



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

May 28, 2020
Agenda Item No. 5

SUBJECT: La Plante Family Trust Mixed-Use Remodel and Addition (PA2019-260)
▪ Coastal Development Permit No. CD2019-072

SITE LOCATION: 112 Agate Avenue

APPLICANT: Aslan Companies, Inc

OWNER: La Plante Family Trust

PLANNER: Joselyn Perez, Assistant Planner
949-644-3312, jperez@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** MU-W2 (Mixed Use Water Related)
- **Zoning District:** MU-W2 (Mixed Use Water Related)
- **Coastal Land Use Plan Category:** MU-W (Mixed Use Water)
- **Coastal Zoning District:** MU-W2 (Mixed Use Water Related)

PROJECT SUMMARY

The Applicant proposes the renovation of an existing nonconforming mixed-use building. The project generally includes installing small landscape planters on the ground floor level, reconfiguring and refreshing the existing commercial storefront, remodeling the residential second floor, and constructing a third-story addition with a roof deck. The project would result in a net addition of 65 square feet of floor area bringing the total gross floor area of the building to 3,158 square feet. The coastal development permit (CDP) is required as the project will increase the height of the existing structure by more than 10 percent.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2019-072 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the MU-W2 Coastal Zoning District, which provides for marine-related uses intermixed with general commercial, visitor-serving commercial and residential dwelling units on the upper floors. The renovated laundromat will serve residents with a year-round service while supporting visitors and tourism to Balboa Island. The residential unit is limited to the second and third floor and the overall mix of uses within the building conforms with the intent and purpose of the zoning district. The project is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- A CDP is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property is currently developed with a 3,093-square-foot mixed-use building. There is an existing 1,634-square-foot commercial laundromat on the ground floor with a single 1,459-square-foot residential unit above. The Applicant proposes to add small landscape planters to the frontage along Agate Avenue, reconfigure the existing storefront resulting in a 47-square-foot reduction of nonresidential floor area, remodel the second floor resulting in a 123-square-foot reduction of residential floor area, add a 235-square-foot third-floor bedroom and bathroom, and add a partially covered roof top deck and patio. The total increase in residential floor area is 112 square feet, which is less than 10 percent of the existing residential floor area. The project ultimately results in a net addition of 65 square feet, bringing the total gross floor area of the building to 3,158 square feet with a Floor Area Ratio (FAR) of 1.24. The height of the building will increase from 21 feet, 7 inches to 31 feet, which complies with the allowed height limit in the MU-W2 District.
- The existing building was built in 1962, in accordance with Use Permit No. UP0678. There are multiple design features that do not conform to the current development standards. Newport Beach Municipal Code (NBMC) Subsection 21.38.030(C) defines a "legal nonconforming structure" as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. The following are considered legal nonconformities:
 - a. The ground-floor laundromat has an existing gross floor area of 1,634 square feet and a resultant FAR of 0.64, whereas the current Code allows only 0.50;

- b. There is no commercial parking provided, whereas the current requirement would be seven parking spaces for the laundromat use;
 - c. The residential parking provided is in the form of a two-space carport, whereas the current requirement is two enclosed parking spaces; and
 - d. The existing building is set back only 5 feet from the rear property line, whereas the current requirement is 10 feet. At present, there are stairs and site walls within the rear setback.
- The proposed addition to the residential portion is designed in accordance with NBMC Section 21.38.060 (Nonconforming Parking), which allows for additions up to a maximum of 10 percent of the existing gross floor area of the structure within any 10-year period without requiring the parking to be brought into compliance with current Code. Furthermore, the renovation of the laundromat will result in the overall reduction of the commercial FAR. The commercial FAR will decrease from 0.64 to 0.62 which ultimately makes the building more conforming.
 - While the project proposes a patio cover on the second floor, adjacent to the existing nonconforming rear setback, the project has been designed to ensure the new patio cover posts are within the buildable area and none of the proposed improvements are within the rear alley setback.
 - The proposed construction conforms to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards			
Development Standard	Standard	Existing	Proposed
Setbacks (min.)			
Front	0 feet	0 feet	0 feet
Sides	0 feet	0 feet	0 feet
Rear	10 feet	5 feet	10 feet (for the new construction)
Residential Floor Area Ratio (FAR)	0.75	0.57	0.62
Commercial FAR	0.50	0.64	0.62
Total FAR	1.25	1.21	1.24
Height (max.)	26-foot flat roof or flat elements 31-foot sloped roof	21 feet, 7 inches	26-foot guardrails 31-foot sloped roof

- The project was not deemed a new structure and was not evaluated in accordance with NBMC Section 20.48.130 (Mixed-Use Projects). Approval of a site development review is not required.

- The neighborhood is predominantly developed with two-story residential structures intertwined with two-story mixed-use buildings that also have commercial on the ground floor and residential above. The adjacent two-story MU-W2 properties along Agate Avenue have heights generally around 20 feet from finished grade to the top of the structure; however if the properties were to be demolished and redeveloped, they would be allowed a maximum height of 31 feet measured from a finished floor elevation of 9.00 feet North American Vertical Datum of 1988 (NAVD88). As this project is the remodel of an existing structure, the height of the structure is being measured from the average existing grade of 6.55 feet NAVD88. The proposed height of the building conforms to the development standards of the Zoning District and actually results in a lower overall height than a new structure.

Hazards

The development is located on an inland property in a developed area approximately 185 feet from the bay. The project site is separated from the bay (the nearest body of water) by a row of structures, both the South Bay Front pedestrian walkway (also known as the boardwalk or the Balboa Island Loop) and South Bay Front Alley, as well as a City-owned concrete seawall/bulkhead. The bulkhead is part of a larger bulkhead system which surrounds Balboa Island.

- The finished floor elevation of the first floor of the existing structure is 6.71 feet (NAVD88). While this elevation would not comply with the minimum 9.0-foot (NAVD88) elevation standard for new structures, this project is not considered a new structure based on the project valuation in accordance with NBMC 15.50.200(C).
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The property is located approximately 185 feet from coastal waters. A Water Quality and Hydrology Plan (WQHP) has not been required; however a Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize

pollution of runoff and coastal waters derived by construction chemicals and materials.

- This project proposes no paving or grading.

Public Access and Views

- The project site is located between the nearest public road and the sea. NBMC Section 21.30A.040 (A) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project renovates an existing mixed-use building. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan and the nearest coastal viewpoint is approximately half a mile away at the intersection of Park Avenue and Grand Canal. The Applicant's investigation of the project site and surrounding area did not identify any other public view opportunities (as described in attachment ZA 3 Applicant's Project Justification).
- The existing development does not currently provide nor does it inhibit public coastal access. The existing building is located on an interior lot approximately 180 feet northeast of the Balboa Island Loop, where lateral access is provided and will continue to be provided by the Balboa Island Loop.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Article 19 of Chapter 3 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment. The Class 1 exemption includes additions to existing structures up to 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less.

The proposed project includes the renovation of an existing nonconforming building and the addition of a 235-square-foot residential third floor and roof top deck.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Joselyn Perez
Assistant Planner

BMZ/jp

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Applicant's Project Justification
	ZA 4	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2020-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-072 TO RENOVATE AN EXISTING NONCONFORMING MIXED-USE BUILDING AND ADD A 235-SQUARE-FOOT RESIDENTIAL THIRD STORY AND ROOF TOP DECK LOCATED AT 112 AGATE AVENUE (PA2019-260).

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Aslan Companies, Inc, ("Applicant") with respect to property located at 112 Agate Avenue, requesting approval of a coastal development permit (CDP).
2. The lot at 112 Agate Avenue is legally described as Lot 31 of Block 9, Resubdivision of Section 1, Balboa Island.
3. The Applicant proposes the renovation of an existing nonconforming mixed-use building. The project generally includes installing small landscape planters on the ground floor level, reconfiguring and refreshing the existing commercial storefront, remodeling the residential second floor, and constructing a third-story addition with a roof deck. The project would result in a net addition of 65 square feet of floor area bringing the total gross floor area of the building to 3,158 square feet. The CDP is required as the project will increase the height of the existing structure by more than 10 percent.
4. The subject property is designated MU-W2 (Mixed Use Water Related) by the General Plan Land Use Element and is located within the MU-W2 (Mixed Use Water) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is MU-W (Mixed Use Water) and it is located within the MU-W2 (Mixed Use Water Related) Coastal Zone District.
6. A public hearing was held on May 28, 2020, in the Council Chambers at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15301, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities) because it has no potential to have a significant effect on the environment.

2. Class 1 includes additions to existing structures. The proposed project includes the renovation of an existing nonconforming building and the addition of a 235-square-foot residential third floor and roof top deck.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The project site is zoned MU-W2 (Mixed-Use Water). This Coastal Zoning District provides for marine-related uses to be intermixed with general commercial, visitor-serving commercial and residential dwelling units on the upper floors. The renovated laundromat will serve residents with a year-round service while supporting visitors and tourism to Balboa Island. The residential unit is limited to the second and third floor and the overall mix of uses within the building conforms with the intent and purpose of the zoning district.
2. The property is currently developed with a 3,093-square-foot mixed-use building. There is an existing 1,634-square-foot commercial laundromat on the ground floor with a single 1,459-square-foot residential unit above. The Applicant proposes to add small landscape planters to the frontage along Agate Avenue, reconfigure the existing storefront resulting in a 47-square-foot reduction of nonresidential floor area, remodel the second floor resulting in a 123-square-foot reduction of residential floor area, add a 235-square-foot third-floor bedroom and bathroom, and add a partially covered roof top deck and patio. The total increase in residential floor area is 112 square feet, which is less than 10 percent of the existing residential floor area. The project ultimately results in a net addition of 65 square feet, bringing the total gross floor area of the building to 3,158 square feet with a Floor Area Ratio (FAR) of 1.24. The height of the building will increase from 21 feet, 7 inches to 31 feet, which complies with the allowed height limit in the MU-W2 District.
3. The existing building was built in 1962, in accordance with Use Permit No. UP0678. There are multiple design features that do not conform to the current development standards. NBMC Subsection 21.38.030(C) defines a "legal nonconforming structure" as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. The following are considered legal nonconformities:
 - a. The ground-floor laundromat has an existing gross floor area of 1,634 square feet and a resultant FAR of 0.64, whereas the current Code allows only 0.50;

- b. There is no commercial parking provided, whereas the current requirement would be seven (7) parking spaces for the laundromat use;
 - c. The residential parking provided is in the form of a two (2)-space carport, whereas the current requirement is two (2) enclosed parking spaces; and
 - d. The existing building is set back only five (5) feet from the rear property line, whereas the current requirement is 10 feet. At present, there are stairs and site walls within the rear setback.
4. The proposed addition to the residential portion is designed in accordance with NBMC Section 21.38.060 (Nonconforming Parking), which allows for additions up to a maximum of 10 percent of the existing gross floor area of the structure within any 10-year period without requiring the parking to be brought into compliance with current Code. Furthermore, the renovation of the laundromat will result in the overall reduction of the commercial FAR. The commercial FAR will decrease from 0.64 to 0.62 which ultimately makes the building more conforming.
5. The proposed development complies with applicable mixed-use development standards including, but not limited to, floor area limitation, setbacks, and height.
- a. The maximum floor area limitation is 3,187.5 square feet and the proposed floor area is 3,158 square feet. The proposed residential FAR of 0.62 along with the proposed commercial FAR of 0.62 results in an overall FAR of 1.24 which is consistent with the maximum allowable FAR of 1.25 for the MU-W2 Zoning District.
 - b. The proposed development complies with the minimum required setbacks of the property which are 0 feet along the front property line abutting Agate Avenue, 0 feet along each side property line, and 10 feet along the rear property line abutting the alley.
 - c. The highest guardrail is less than 26 feet from established grade (6.55 feet based on the North American Vertical Datum of 1988 [NAVD88]) and the highest ridge is no more than 31 feet from established grade, which comply with the maximum height requirements.
6. The neighborhood is predominantly developed with two (2)-story residential structures intertwined with two (2)-story mixed-use buildings that also have commercial on the ground floor and residential above. The adjacent two (2)-story MU-W2 properties along Agate Avenue have heights generally around 20 feet from finished grade to the top of the structure; however if the properties were to be demolished and redeveloped, they would be allowed a maximum height of 31 feet measured from a finished floor elevation of 9.00 feet NAVD88. As this project is the remodel of an existing structure, the height of the structure is being measured from the average existing grade of 6.55 feet NAVD88. The proposed height of the building conforms to the development standards of the Zoning District and actually results in a lower overall height than a new structure.

7. The development is located on an inland property in a developed area approximately 185 feet from the bay. The project site is separated from the bay (the nearest body of water) by a row of structures, both the South Bay Front pedestrian walkway (also known as the boardwalk or the Balboa Island Loop) and the South Bay Front Alley, as well as a City-owned concrete seawall/bulkhead. The bulkhead is part of a larger bulkhead system which surrounds Balboa Island. The finished floor elevation of the first floor of the existing structure is 6.71 feet (NAVD88). While this elevation would not comply with the minimum 9.0-foot (NAVD88) elevation standard for new structures, this project is not considered a new structure based on the project valuation in accordance with NBMC Subsection 15.50.200(C). Conditions of Approval No. 2 and 3 included in Exhibit "A" of this resolution stipulate that if at any point, the valuation of the project increases to be considered substantial improvement (and thus a new structure), this CDP will no longer be valid, and a new CDP will need to be obtained for the new development.
8. Because the project was not deemed a new structure, it was not evaluated in accordance with NBMC Section 20.48.130 (Mixed-Use Projects) and a site development review approval is not required.
9. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
10. The property is located within 185 feet of coastal waters. A Water Quality and Hydrology Plan (WQHP) has not been required; however, a Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials. Furthermore, this project proposes no paving or grading.
11. New landscaping within the planters will be verified for compliance with NBMC Section 21.30.075 (Landscaping). Condition of Approval No. 17 requires drought-tolerant species and prohibits invasive species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
12. The project site is not located adjacent to a designated coastal view road or Coastal Viewpoint as identified in the Coastal Land Use Plan.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea. NBMC Section 21.30A.040(A) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project renovates an existing mixed-use building. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. The existing development does not currently provide nor does it inhibit public coastal access. The existing building is located on an interior lot approximately 180 feet northeast of the Balboa Island Loop, where lateral access is provided and will continue to be provided. The Balboa Island Loop grants users with bay views and the opportunity to travel the outer perimeter of Balboa Island. Vertical access to the Balboa Island Loop is provided by Agate Avenue.
3. The nearest designated coastal viewpoint is approximately one-half mile east of the site at the intersection of Park Avenue and Grand Canal. The project site is located adjacent to Balboa Island Park, which is accessible to the public and provides some limited opportunities to view the bay. The proposed addition complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the allowable neighborhood pattern of development. Additionally, Agate Avenue is a highly traveled corridor that terminates at the Balboa Island Ferry. The reconfiguration of the commercial storefront, installation of landscape planters, and façade renovation will refresh the building and provide an enhanced pedestrian experience. The project will create an improved view corridor down Agate Avenue.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No.CD2019-072, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section

21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 28TH DAY OF MAY, 2020.

Jaime Murillo, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. After building permit issuance, any potential revisions beyond the scope of work reviewed and approved under this Coastal Development Permit (CDP) shall be discussed with the Planning and Building Divisions. Approval of revisions to project plans are not guaranteed. The Applicant acknowledges that any changes in the current scope of work may require the entire structure to be demolished and redeveloped in conformance with the current development standards.
3. If at any time the project is deemed to be a substantial improvement (i.e., a new structure) pursuant to NBMC 15.50.200(C), this CDP shall be void and a new CDP shall be obtained.
4. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
5. This CDP does not authorize any development seaward of the private property.
6. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
7. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.

8. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
9. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
10. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
11. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
12. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
13. This CDP may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
14. Prior to the issuance of building permits, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
15. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
16. Prior to issuance of a building permit, the Applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
17. Prior to the issuance of building permits, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.

18. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
19. Prior to the issuance of building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
20. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
21. This Coastal Development Permit No. CD2019-072 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
22. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of La Plante Family Trust Mixed-Use Remodel and Addition including, but not limited to, Coastal Development Permit No. CD2019-072 (PA2019-260). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. CD2019-072
PA2019-260

112 Agate Avenue

Attachment No. ZA 3

Applicant's Project Justification

April 15, 2020

Joselyn Perez
Assistant Planner
City of Newport Beach
100 Civic Center Drive
Newport Beach, CA 92660

Subject: Coastal Development Permit
Project Description
112 Agate Avenue
Newport Beach, CA 92662-1002

Letter of Justification

Project Description

Existing Project:

- Existing Building with Commercial on 1st Floor, Residential on 2nd Floor, and no on-site parking for the commercial and 2 existing residential parking spaces.
- Existing 1st Floor has an existing 1,595 Gross SF Laundrymat.
- Existing 2nd Floor has an existing 1,459 Gross SF single Family Residential Unit.

Project Description:

- Add Small Landscape planters to frontage along Agate, no other modification to the site is planned. No paving and no grading.
- Replace storefront on existing 1st Floor Laundrymat, repaint/refinish exterior walls. No interior modifications proposed.
- Remodel Existing 2nd Floor, remove 123 SF for an exterior balcony and remove an existing bedroom to provide for an exterior stairway.
- Add 3rd Floor patio and 235 SF bedroom/bath
- Net Additional Floor Area added to project is 112SF (less than a 10 % increase in total residential floor area)
- 3rd Floor Patio consists of a 363SF Covered Patio and a 352SF Deck.

Justification:

Findings for the Coastal Development Permit:

Land Use:

The subject property is located in the MU-W-2 (Mixed-Use Water) Zoning District. This zoning district applies to waterfront properties in which marine-related uses may be intermixed with general commercial, visitor-serving commercial and residential dwelling units on the upper floors.

The property currently consists of a single property developed with a Laundrymat on the first floor and a single-family residence on the 2nd floor.

Existing Non-Conforming

The rear setback, because it is adjoining an Alley is 10'. The existing rear site walls and 2nd floor deck encroach into the required 10' setback by 4'-7".

The existing commercial requires 7 on-site parking spaces. There are none provided.

The Commercial is limited to 50% FAR or 1,250SF. The existing 1,595SF Commercial is 62.5% FAR.

Development Standards

The neighborhood is predominantly developed with two- and three-story, single-family residences and mixed use 2 and 3 story units with commercial on the first floor and residential on the 2 and 3rd floors.

The proposed design, bulk, and scale of the 3rd floor development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.

The existing commercial with single-family dwelling with the proposed addition, with the exception of the existing non-conforming elements above, conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans.

Public Access

The project site is located on Balboa Island between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to that impact.

In this case, the project is an addition on the 3rd Floor of less than 10% of the residential Floor area to an existing building. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. The site is currently developed and appears as Commercial with a single-family residence on a single lot. The proposed addition would not increase the demand for public access.

The subject lot is an interior lot, and only visible to pedestrians and motorists traveling along Agate Avenue. The project site does not currently provide any views or public access from the street to the harbor.

An investigation of the project site and surrounding area did not identify any other public view opportunities. The proposed addition complies with all applicable LCP development standards and will update the appearance of existing structure onsite. The project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Sincerely,
ASLAN COMPANIES, INC

A handwritten signature in black ink that reads "SCOTT PEOTTER". The signature is stylized with thick, bold strokes.

Scott Peotter, Architect

Attachment No. ZA 4

Project Plans



112 AGATE REMODEL

COASTAL DEVELOPMENT PERMIT
APRIL 15, 2020

ASLAN
COMPANIES
INCORPORATED

ASLAN COMPANIES, INC. C-349-250-7118
SPEOTERRASLANCO.COM - WWW.ASLANCO.COM
14252 CULVER DRIVE, SUITE A-305, IRVINE, CA 92604

[illegible]

WATER DEVELOPMENT (4.106)
STORM WATER DRAINAGE MANAGEMENT PLAN SHALL BE IMPLEMENTED DURING CONSTRUCTION.

INDOOR WATER USE (4.103)
MAXIMUM PLUMBING FUTURE FLOW REQUIREMENTS SHALL BE AS FOLLOWS:
SHOWER HEADS: 20 GPM
LAVATORY FAUCETS: 1.5 GPM
KITCHEN FAUCETS: 1.8 GPM
WATER CLOSETS: 1.28 GALLONS/FLUSH
WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.

OUTDOOR WATER USE (4.104)
AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.

ENHANCED DURABILITY AND REDUCED MAINTENANCE (4.105)
CONCRETE, MASONRY, BRICK, CERAMIC, GROUTS OR OTHER FINISHES ON PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST TEN PERCENT (10%) OF THE SURFACE AREA OF THE FINISHES BY CLOSING SUCH OPENINGS WITH GEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (4.108)
A MINIMUM OF 60% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED BY USING THE FOLLOWING METHODS:
1. LAND FILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE APPROVED BY ENVIRONMENTAL SERVICES DIVISION.

BUILDING MAINTENANCE AND OPERATION (4.110)
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE OCCUPANT OR OWNER.

FIREPLACES (4.109)
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT VENT SEALED COMBUSTION TYPE.

POLLUTANT CONTROL (4.104)
DUST OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. COMPLIANCE WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
PAINTS, STAINS AND OTHER COMPONENTS SHALL BE COMPLIANT WITH VOC LIMITS.
AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT-SPECIFIED MANUFACTURER LIMITS FOR VOC AND OTHER TOXIC COMPOUND LIMITS.
CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
DUST SHALL BE PROVIDED TO THE COUNTY BUILDING INSPECTOR OR VARIANTS THAT COMPLIANT VOC LIMIT MATERIALS HAVE BEEN USED.
FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMIT DEFINED IN THE COLLABORATION FOR HIGH PERFORMANCE BUILDINGS (CHPB) LOW EMISSION MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERINGS INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
PARTICLE BOARD, MEDIUM DENSITY FIBER BOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH THE LOW FORMALDEHYDE STANDARDS.

INTERIOR MOISTURE CONTROL (4.109)
BEFORE THE FLOORING AND CARPENTRY BREAK IS INSTALLED AT SUB-ON-GRADE FOUNDATIONS, MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
ENVIRONMENTAL COMFORT (4.107)
DUST SYSTEMS ARE USED, DESIGNED AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1. SIZE DUST SYSTEMS ACCORDING TO AGCA 25-D (MANUAL D) OR EQUIVALENT.
2. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO AGCA 38-S (MANUAL S) OR EQUIVALENT.

INDOOR AIR QUALITY AND EXHAUST (4.106)
IF NON-FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS SHALL BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 90 PERCENT.

BUILDING AREA(SEE TABLE BELOW FOR MORE DETAIL)	
EXISTING FIRST FLOOR-COMMERCIAL	1,634 SF
PROPOSED FIRST FLOOR - COMMERCIAL	1,581 SF
EXISTING SECOND FLOOR-RESIDENTIAL	1,459 SF
PROPOSED SECOND FLOOR-RESIDENTIAL	1,331 SF
EXISTING THIRD FLOOR-RESIDENTIAL	NONE
PROPOSED THIRD FLOOR-RESIDENTIAL	735 SF
TOTAL EXISTING COMMERCIAL	1,634 SF
TOTAL PROPOSED COMMERCIAL	1,581 SF
TOTAL EXISTING RESIDENTIAL	1,459 SF
TOTAL PROPOSED RESIDENTIAL	1,511 SF
TOTAL INCREASE (ALL RESIDENTIAL)	65 SF
FLOOR AREA RATIO	
COMMERCIAL (EXISTING/PROPOSED)	64.0% 62.7%
RESIDENTIAL (EXISTING/PROPOSED)	51.7% 61.6%
TOTAL (EXISTING/PROPOSED)	57.3% 62.2%

OWNER:
PHILLIP LAFLANTE / LAFLANTE FAMILY TRUST
115 TURBOOSE AVE
NEWPORT BEACH, CA 92662-0036
545-238-1748
PHILLIP@PACIFICCOASTINVESTMENTS.BIZ

ARCHITECT:
ASLAN COMPANIES, INC.
80071 FORTIFIER
14352 CULVER DRIVE, SUITE A-305
IRVINE, CA 92614
545-250-7118
OFFICE@ASLANCO.COM

LAND SURVEYOR:
THE LAND SURVEYOR
7230 W CHAPMAN AVE
SUITE 106, ORANGE, CA 92668
(714) 376-1723
640-9710@LANDSURVEYOR.COM

STRUCTURAL ENGINEER:
STROMQUIST ENGINEERING
26407, SOTEL
MISSION VIEJO, CA 92692
(949)458-3072
JON@SEECOC.COM

ASLAN COMPANIES INC.
ASLAN COMPANIES, INC.
14352 CULVER DRIVE, SUITE A-305
IRVINE, CA 92614
OFFICE@ASLANCO.COM • (545) 250-7118

COVER SHEET	
A0.0	DATA SHEET
A0.1	FIRST FLOOR SCOPE PLAN
A0.2	SECOND FLOOR SCOPE PLAN
A0.3	THIRD FLOOR SCOPE PLAN
A0.4	AREA CALCULATION PLAN
A0.5	FEHA CALCULATION
A0.6	FRONT PERSPECTIVE
A0.7	NO STREET PERSPECTIVE
A0.8	SW STREET PERSPECTIVE
A0.9	SE REAR PERSPECTIVE
A0.10	NE REAR PERSPECTIVE
A0.11	STAIR SCREEN PERSPECTIVE
A1.1	EXISTING SITE SURVEY
A1.2	ARCHITECTURAL SITE PLAN
A1.3	PRELIMINARY GRADING PLAN
A1.4	EROSION CONTROL PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN
A2.4	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS

LOCATION OF ELEVATION	EXISTING ELEVATION
NW CORNER	6.41
SW CORNER	6.3
NE CORNER	6.79
SE CORNER	6.71
AVERAGE ELEVATION	6.5525
ZONING HEIGHT REQUIREMENTS	31
MAX HEIGHT OF BUILDING	31.5525

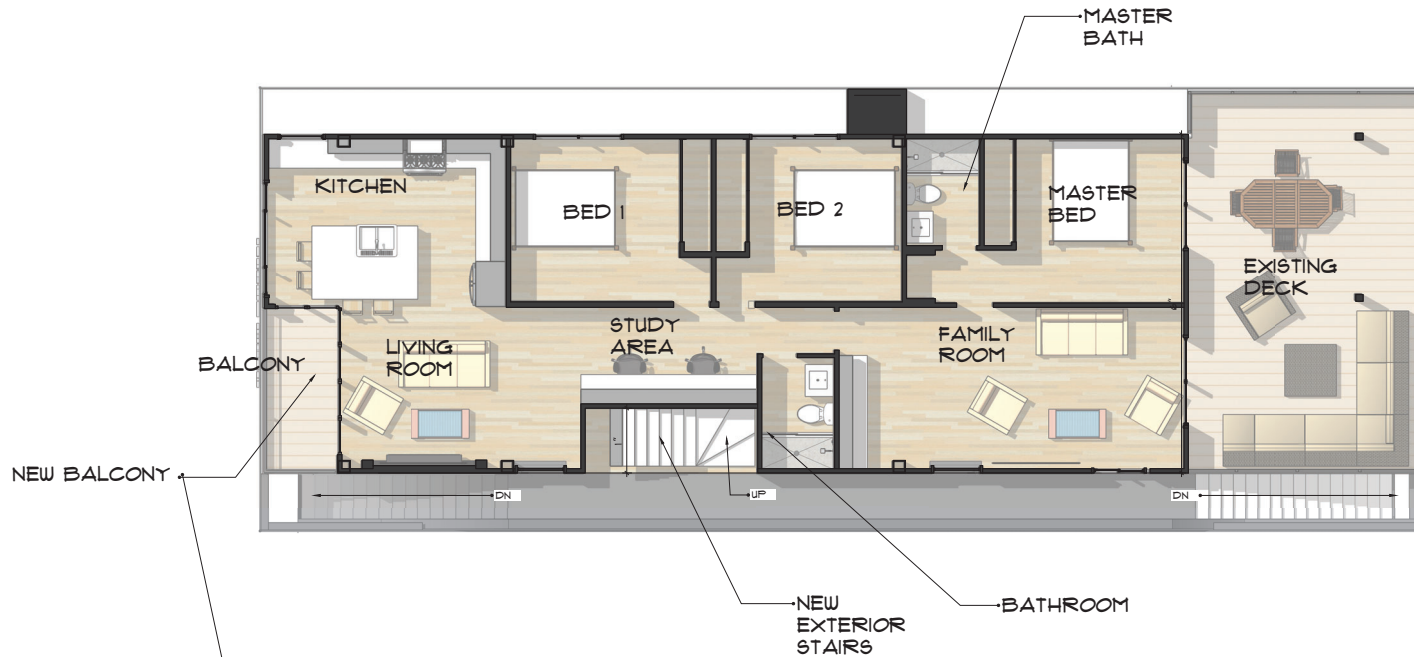
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EXISTING PROJECT:

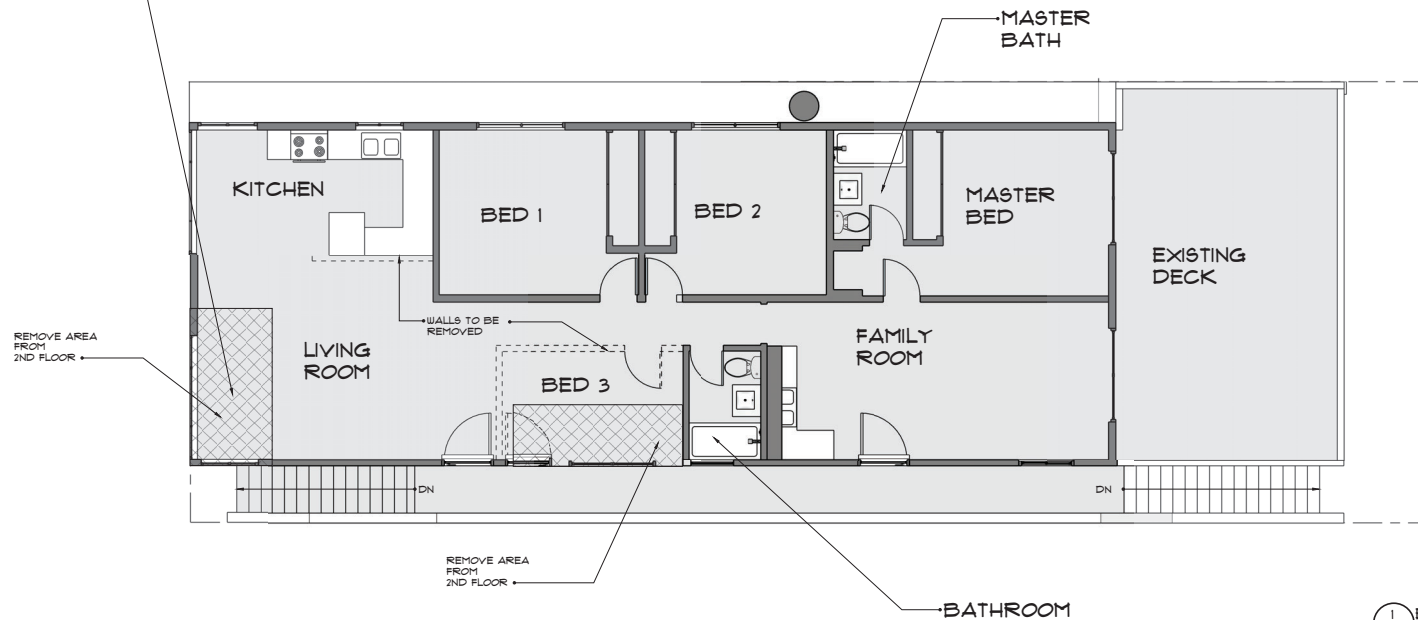
1. EXISTING BUILDING WITH COMMERCIAL ON 1ST FLOOR, RESIDENTIAL ON 2ND FLOOR, AND 2 EXISTING RESIDENTIAL PARKING SPACES.
2. EXISTING 1ST FLOOR HAS AN EXISTING 1,634 GROSS SF LAUNDRYMAT.
3. EXISTING 2ND FLOOR HAS AN EXISTING 1,459 GROSS SF SINGLE FAMILY RESIDENTIAL UNIT.

1. ADD SMALL LANDSCAPE PLANTERS TO FRONTAGE ALONG AGATE, NO OTHER MODIFICATION TO THE SITE IS PLANNED. NO PAVING AND NO GRADING.
2. REPLACE STOREFRONT ON EXISTING 1ST FLOOR LAUNDRY/ATM, REPAINT/REFINISH EXTERIOR WALLS, NO INTERIOR MODIFICATIONS PROPOSED.
3. REMODEL EXISTING 2ND FLOOR, REMOVE 123 SF FOR AN EXTERIOR BALCONY AND REMOVE AN EXISTING BEDROOM TO PROVIDE FOR AN EXISTING STAIRWELL.
4. ADD 3RD FLOOR PATIO AND 235 SF BEDROOM/BATH.
5. NET ADDITIONAL FLOOR AREA ADDED TO PROJECT IS 655SF (LESSER THAN A 10 % INCREASE IN TOTAL RESIDENTIAL FLOOR AREA).
6. 3RD FLOOR PATIO CONSISTS OF A 363SF COVERED PATIO AND A 352SF DECK.

AREAS (SF)	EXISTING COMMERCIAL	EXISTING RESIDENTIAL	TOTAL EXISTING	PROPOSED COMMERCIAL	PROPOSED RESIDENTIAL	TOTAL PROPOSED	PROPOSED CHANGE
FIRST FLOOR	1,634		1,634	1,581		1,581	
SECOND FLOOR		1,459	1,459		1,331	1,331	
BALCONY TO BE REMOVED (609SF)							(609)
STAIRWAY TO BE REMOVED (639SF)							(639)
THIRD FLOOR							
ENCLOSED BED/BATH					235	235	235
COVERED PATIO							
DECK							
TOTAL	1,634	1,459	3,093	1,581	1,511	3,150	65
SITE AREA	2,550	2,550	2,550	2,550	2,550	2,550	4.4%
FAR	64.0%	51.2%	121.3%	62.2%	61.6%	123.8%	
ALLOWABLE FAR (GLUP)	70.0%	80.0%	150.0%	70.0%	80.0%	123.8%	
ALLOWABLE FAR (CITY ZONING)	50.0%	75.0%	125.0%	50.0%	75.0%	123.8%	



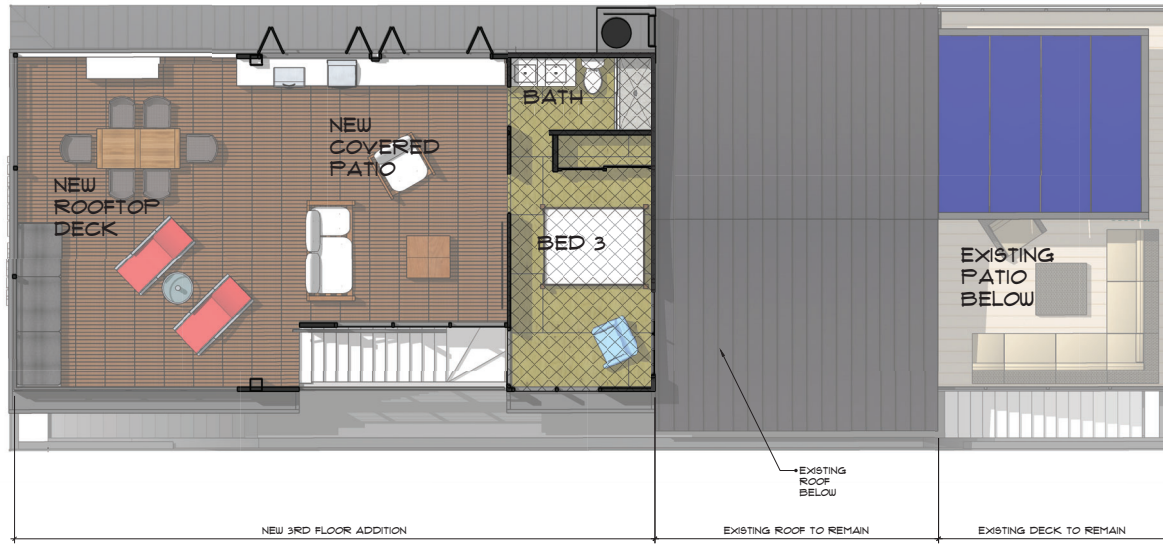
2 PROPOSED SECOND FLOOR SCOPE PLAN
A0.2 SCALE 1/4"=1'-0"



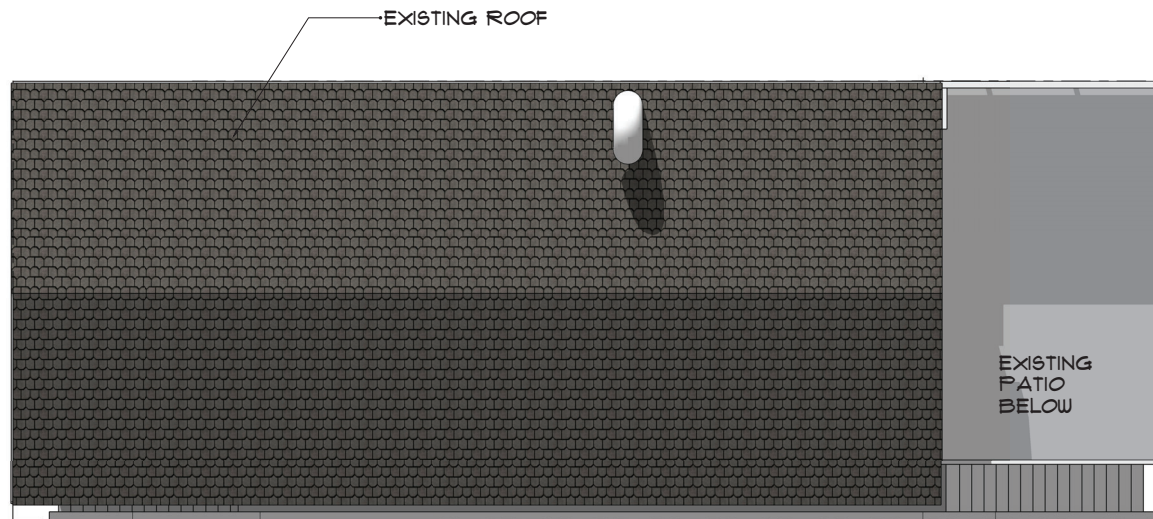
THIS DRAWING IS TO IDENTIFY THE PROPOSED SCOPE OF THIS PROJECT.

SEE FLOOR PLANS FOR DETAILS AND DIMENSIONS

1 EXISTING SECOND FLOOR SCOPE PLAN
A0.2 SCALE 1/4"=1'-0"



2 PROPOSED THIRD FLOOR SCOPE PLAN
A0.3 SCALE 1/4"=1'-0"



1 EXISTING ROOF PLAN
A0.3 SCALE 1/4"=1'-0"

THIS DRAWING
IS TO IDENTIFY
THE PROPOSED SCOPE
OF THIS PROJECT.

SEE FLOOR PLANS
FOR DETAILS
AND DIMENSIONS



ASLAN COMPANIES, INC.
11850 CULVER DRIVE, SUITE A-300, IRVINE, CA 92614
SP1027ENALAN.COY-ILLALAN.COY - C3412-250-118



112 AGATE REMODEL

112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

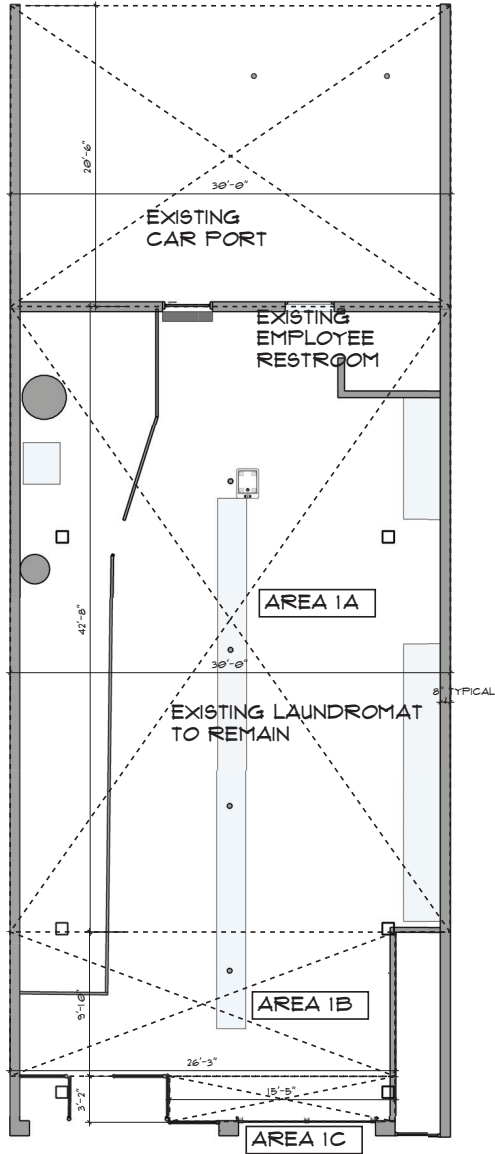
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APRIL 15, 2020
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THIRD FLOOR
SCOPE PLAN

A0.3

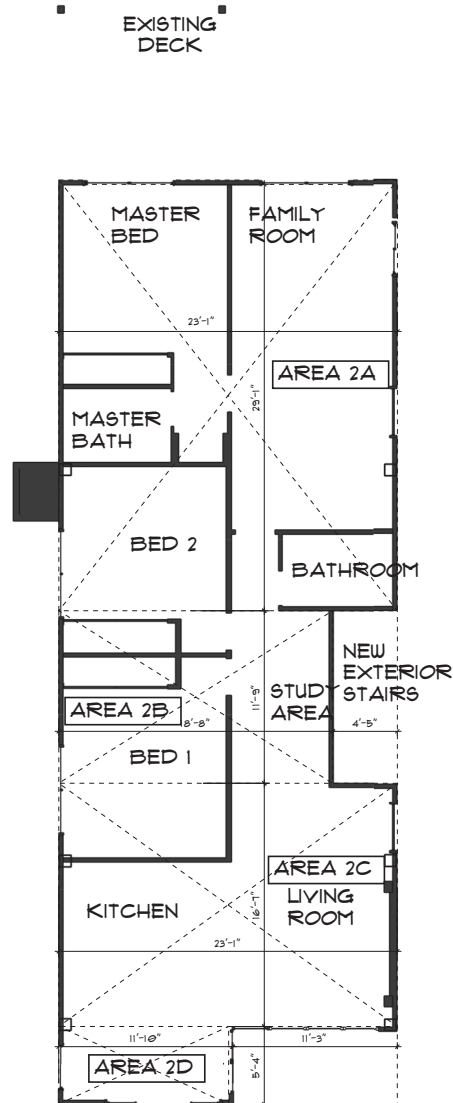
1ST FLOOR AREA:					
1A	42.66	X	30.00	=	1,280 SF
1B	9.83	X	26.25	=	258 SF
1C	3.16	X	15.41	=	49 SF
					1,587 SF



1 1ST FLOOR AREA CALCULATION PLAN
A0.4 SCALE: 1/4"=1'-0"

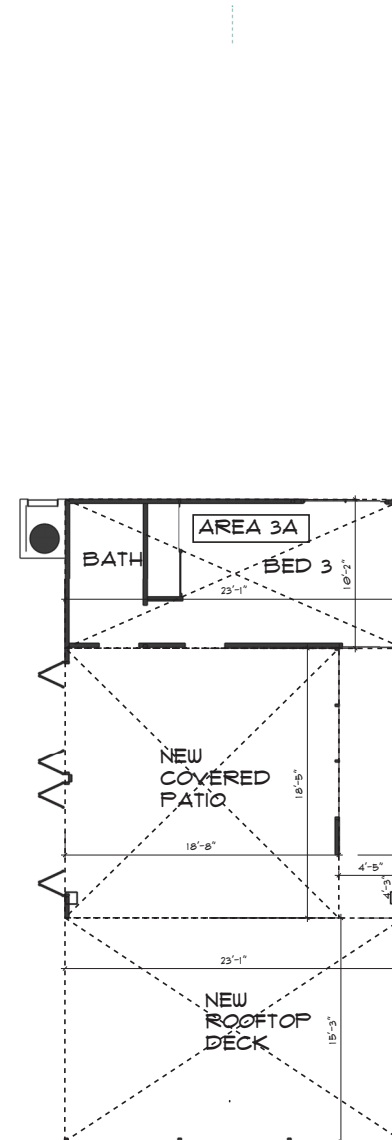
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2ND FLOOR AREA:					
2A	29.08	X	23.08	=	671 SF
2B	11.75	X	18.66	=	219 SF
2C	16.58	X	23.08	=	383 SF
2D	5.33	X	11.83	=	63 SF
					1,337 SF



2 2ND FLOOR AREA CALCULATION PLAN
A0.4 SCALE: 1/4"=1'-0"

3RD FLOOR AREA:					
3A	23.08	X	10.16	=	235 SF



3 3RD FLOOR AREA CALCULATION PLAN
A0.4 SCALE: 1/4"=1'-0"



ASLAN COMPANIES, INC.
11825 CALVERT DRIVE, SUITE A-300, IRVINE, CA 92614
SPRINTER MAILING COMPANY - 03/10/2010



112 AGATE REMODEL

112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

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AREA
CALCULATION
PLAN

A0.4



PROPERTY ADDRESS: 112 AGATE AVE DATE: 4/15/2020
 APPLICANTS NAME: SCOTT PEOTTER/ASLAN COMPANIES, INC.
 CONTACT NUMBER: 949-250-1118 LICENSE # CA ARCH C12800

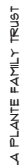
Primary Description of Work Under the Proposed Permit:	Valuation
ADD 3RD FLOOR DECK AND LIVING AREA(SEE ATTACHED)	\$254,826

1. POTENTIAL FUTURE 1ST FLR TENANT IMPROVEMENTS	(A2)\$	64,181
NO PERMIT AT THIS TIME, NOT SCHEDULED		
2. _____	(A3)\$	
3. _____	(A4)\$	
4. _____	(A5)\$	

A - Excellent Condition	B - Good Condition	C - Average Condition
0-3 Yrs = 3%	0-5 Yrs = 3%	0-5 Yrs = 5%
	5-10 Yrs = 7%	5-10 Yrs = 9%
	10-15 Yrs = 11%	10-15 Yrs = 13%
	15-20 Yrs = 14%	15-20 Yrs = 18%
	20-25 Yrs = 17%	20-25 Yrs = 23%
	25 + Yrs = 20%	25-30 Yrs = 27%
		30 + Yrs = 30%

Date: _____

EXISTING PRE-FIRM BUILDING CONSTRUCTED IN 1961	\$F	\$/SF	TOTAL	REMARKS
FIRST FLOOR	1,581	\$ 300.00	\$ 474,303	\$500/SF FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY
SECOND FLOOR	1,453	\$ 300.00	\$ 435,900	\$500/SF FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY
CAR PORT	601	\$ 15.00	\$ 9,015	\$150/SF FOR GARAGE FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY USE 50% (\$75/SF) FOR CAR PORT
DECK	601	\$ 15.00	\$ 9,015	\$500/SF FOR NEW CONSTRUCTION AS THIS IS A 2ND FLOOR DECK FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY USE 25% (\$125/SF) FOR STRUCTURAL FLOOR AND HALF WALLS
TOTAL EXISTING BUILDING VALUE			\$1,004,058	
PERA VALUE AFTER DEPRECIATION	UNIT	PERCENTAGE	TOTAL	
DEPRECIATE	\$1,004,058	20.00%	\$ 200,812	GOOD CONDTION OLDER THAN 25 YEARS USE 20% FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY
CURRENT VALUE			\$ 803,247	TOTAL VALUE, LESS DEPRECIATION
SUBSTANTIAL IMPROVEMENT VALUE	UNIT	PERCENTAGE	TOTAL	
50% OF CURRENT VALUE	\$ 803,247	50.00%	\$ 401,623	SUBSTANTIAL IMPROVEMENT IS BASED ON 50% OF CURRENT VALUE
NEW CONSTRUCTION	\$F	\$/SF	TOTAL	
NEW ENCLOSED AREA	235	\$ 160.00	\$ 37,600	\$160/SF FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY
COVERED AREA	363	\$ 15.00	\$ 5,445	\$150/SF FOR GARAGE FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY USE 50% (\$75/SF) FOR CAR PORT/COVERED DECK
DECK AREA	352	\$ 15.00	\$ 5,280	\$500/SF FOR NEW CONSTRUCTION AS THIS IS A 3RD FLOOR DECK FROM CITY OF NEWPORT BEACH BUILDING CODE POLICY USE 25% (\$125/SF) FOR STRUCTURAL FLOOR AND HALF WALLS
STRUCTURE FOR ROOF AT FIRST FLOOR	600	\$ 50.00	\$ 30,000	STRUCTURAL FOR NEW 3RD FLOOR GOES ALL THE WAY TO FOUNDATIONS AND IS A STAND ALONE DESIGN. THE STRUCTURAL COSTS ARE PART OF THE SF COSTS AT THAT FLOOR. THIS COST ITEM IS FOR THE LONGER COLUMNS THAT GO THRU THE 1ST FLOOR AND ARE NOT ACCOUNTED FOR IN ANY OTHER SQUARE FOOTAGE COSTS. 6 COLUMNS @ EACH.
FOUNDATION WORK FOR 3RD FLOOR	23	\$ 400.00	\$ 9,200	DETERMINE THE CUBIC YARDAGE OF NEW GRADE BEAMS X \$400/CY PLACED REINFORCED CONCRETE
REHAB EXISTING 2ND FLOOR	1,331	\$ 20.00	\$ 26,620	FINISHES INSIDE AND OUT, ALONG WITH MINOR REPAIRS AS NEEDED-USE \$20/SF FROM BUILDING VALUATION TABLES
REHAB EXISTING DECK	601	\$ 18.75	\$ 11,259	NEW FINISHES AND TRAMPING REPAIRS AS REQUIRED USE COSTS FOR NEW DECK (\$26.50/SF) FROM BUILDING VALUATION TABLE USE 50% FOR REHAB COSTS.
CONTINGENCY	\$ 21,500	15.00%	\$ 3,225	CONTINGENCIES DURING CONSTRUCTION, WHERE SCOPE MAY EXPAND.
TOTAL			\$ 254,026	PLANNED CONSTRUCTION
PERCENTAGE OF NEW CONSTRUCTION TO DEPRECIATED VALUE			31.12%	
POTENTIAL FUTURE CONSTRUCTION	\$F	\$/SF	TOTAL	
FUTURE T15 ON 1ST FLOOR	1,581	\$ 35.50	\$ 56,036	THERE IS NO WORK ANTICIPATED AT THIS TIME BUT WE ARE ANTICIPATING A FUTURE OFFICE TENANT IMPROVEMENT WITH A FUTURE NEW TENANT. USE \$35.50/SF FROM BUILDING VALUATION TABLES FOR OFFICE TI IN TYPE V CONSTRUCTION.
CONTINGENCY	\$ 56,036	15.00%	\$ 8,405	CONTINGENCIES DURING CONSTRUCTION, WHERE SCOPE MAY EXPAND.
TOTAL POTENTIAL FUTURE CONSTRUCTION			\$ 64,441	
PREVIOUS CONSTRUCTION COSTS			\$ 254,026	FROM TOTAL ABOVE
CUMULATIVE FUTURE CONSTRUCTION COSTS			\$ 315,613	
PERCENTAGE OF NEW CONSTRUCTION TO DEPRECIATED VALUE			31.12%	



REV.	DATE	REMARK
------	------	--------

A0.5





112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

REV.	DATE	REMARK

A0.7

32

112 AGATE AVE
BALBOA ISLAND, CA 92661

DOCUMENT DATE:
APRIL 15, 2020
DOCUMENT PHASE:
COASTAL DEVELOPMENT
PERMIT

REV.	DATE	REMARK

A0.8



2 WEST PERSPECTIVE
A0.9 NTS



ASLAN COMPANIES, INC.
11850 CULVER DRIVE, SUITE A-309, IRVINE, CA 92614
SP1027ENR/ALAN/COPT-MILL/ALAN/COPT - C-342-258-118



112 AGATE REMODEL

112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

DOCUMENT DATE:
APRIL 15, 2020
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COASTAL DEVELOPMENT
PERMIT

REV. DATE REMARK

SE REAR
PERSPECTIVE

A0.9





TOPOGRAPHIC SURVEY

PREPARED BY:

SAM A. SOLIVEN, P.L.S.
1215 W. IMPERIAL HIGHWAY, SUITE 208
BREA, CA 92821
PH: (714) 376-7123
FAX: (714) 599-3848
EMAIL: SAM@THELANDSURVEYOR.COM

SAM A. SOLIVEN DATE:

PREPARED FOR:

PHILIP LA PLANTE
PACIFIC COAST INVESTMENTS
220 NEWPORT CENTER DRIVE, SUITE 110
NEWPORT BEACH, CA 92660
C/O SCOTT PEOTER
(949) 250-7118

PROJECT ADDRESS:

112 AGATE AVENUE
NEWPORT BEACH, CA 92662

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 31 IN BLOCK 9, RESUBDIVISION OF SECTION ONE OF BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN C.C.S. HORIZONTAL CONTROL STATION GPS NO. 6183R1 AND STATION GPS NO. 6093R1 BEING N 73° 05' 06" W PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATE OF SURVEY:

OCTOBER 4, 2019

BASIS OF ELEVATIONS:

BENCHMARK DESIGNATION: NB3-15-70

DESCRIBED BY OCS 2002- FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB3-15-70", SET IN THE EASTERLY END OF A CONCRETE SEAWALL. MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF PARK AVENUE AND SOUTH BAY FRONT, 15 FT. SOUTHERLY OF THE CENTERLINE OF PARK AVENUE AND 6 FT. WESTERLY OF PEDESTRIAN WALKWAY. MONUMENT IS SET LEVEL WITH THE TOP OF SEAWALL.

ELEVATION 7.986 FEET (NAVD 1988), YEAR LEVELED 1992

NOTE:

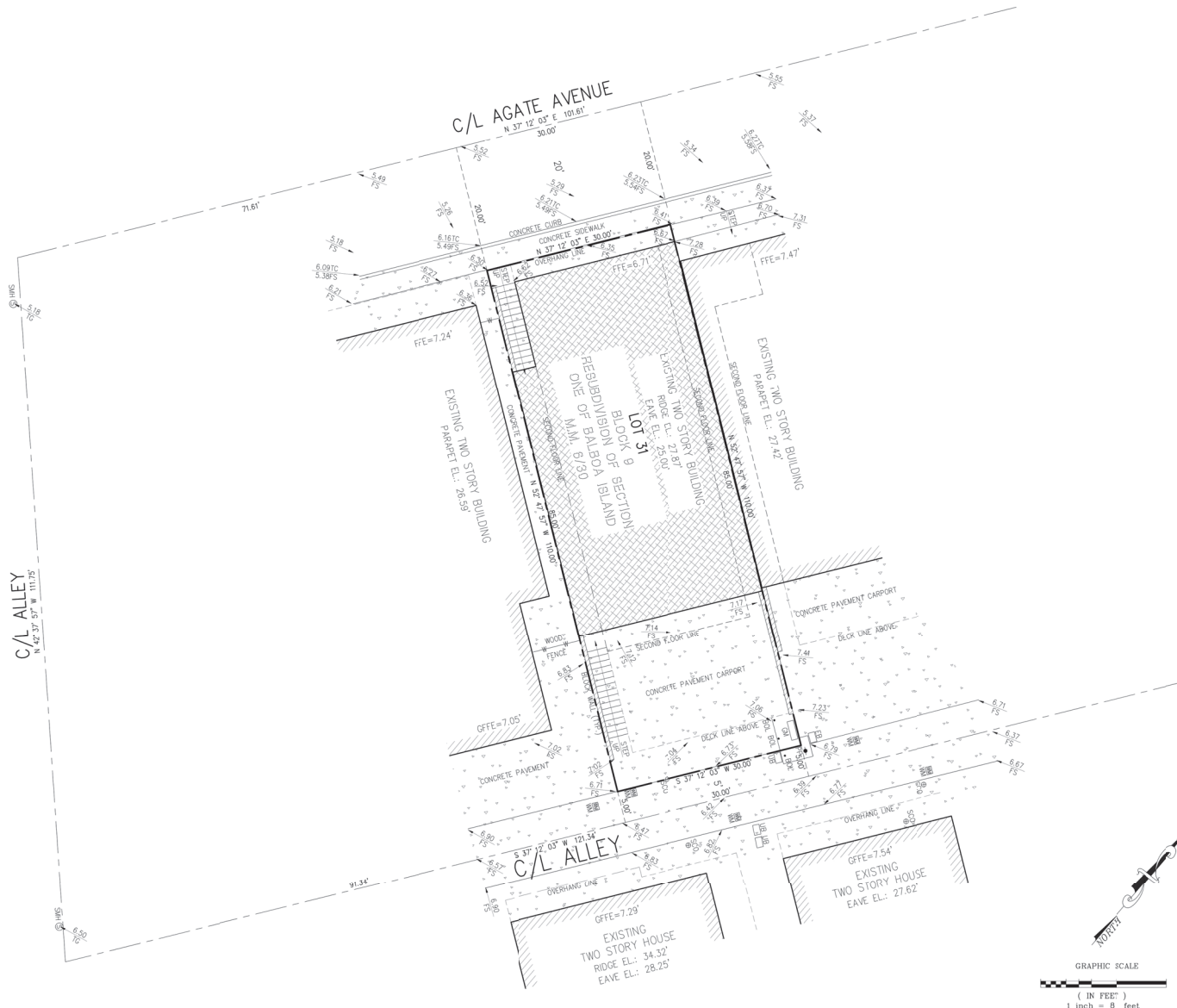
EASEMENTS, DEDICATIONS, IF ANY, NOT PLOTTED

LEGEND:

C/L	CENTERLINE
BOL	METAL BILLIARD
EB	EDISON BOX
EL	ELEVATION
FF	FINISHED FLOOR ELEVATION
GFFE	GARAGE FINISHED FLOOR ELEVATION
FS	FINISHED SURFACE
FL	FLOW LINE
GM	GAS METER
MB	MAP BOX
NG	NATURAL GRADE
PP	POWER POLE
SMH	SEWER MANHOLE
SCO	SEWER CLEANOUT
TC	TOP OF CURB
TG	TOP OF GRATE
TYP	TYPICAL
UB	UTILITY BOX
WM	WATER METER

SURVEYOR'S NOTES:

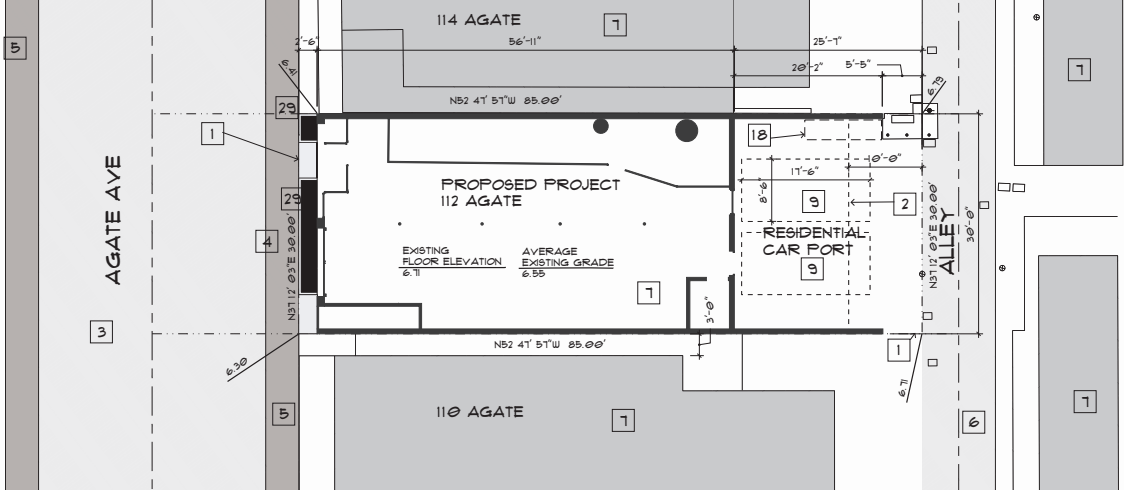
NO MONUMENTS WERE FOUND ON THE LOT CORNERS. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS IN THE FUTURE (BEFORE STARTING GRADING).



1 EXISTING SITE SURVEY
A1.1 SCALE 1/8"=1'-0"

A1.1

LOCATION OF ELEVATION	EXISTING ELEVATION
NW CORNER	6.41
SW CORNER	6.3
NE CORNER	6.13
SE CORNER	6.71
AVERAGE EXISTING GRADE	6.5525
ZONING HEIGHT REQUIREMENTS	31
MAX HEIGHT OF BUILDING	31.5525



1 ARCHITECTURAL SITE PLAN
A1.2 1/8" = 1'-0"

SITE PLAN NOTES

- PROPERTY LINE
- SETBACK LINE
- EXISTING STREET
- EXISTING CURB AND GUTTER
- EXISTING SIDEWALK
- EXISTING ALLEY
- EXISTING BUILDING
- EXISTING DRIVEWAY
- EXISTING PARKING SPACE-RESIDENTIAL
- EXISTING CARPORT
- EXISTING HARDSCAPE
- EXISTING LANDSCAPING
- EXISTING PAVING
- EXISTING BOLLARDS
- EXISTING GAS METER
- EXISTING POWER POLE
- EXISTING STAIRS
- EXISTING TRASH AREA
- PROPOSED STREET
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED ALLEY
- PROPOSED BUILDING
- PROPOSED DRIVEWAY
- PROPOSED PARKING SPACE
- PROPOSED HARDSCAPE
- PROPOSED LANDSCAPING
- PROPOSED PAVING



112 AGATE REMODEL

DOCUMENT DATE:
APRIL 15, 2020
DOCUMENT PHASE:
COASTAL DEVELOPMENT
PERMIT

REV. DATE REMARK

ARCHITECTURAL
SITE PLAN

A1.2

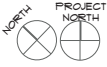
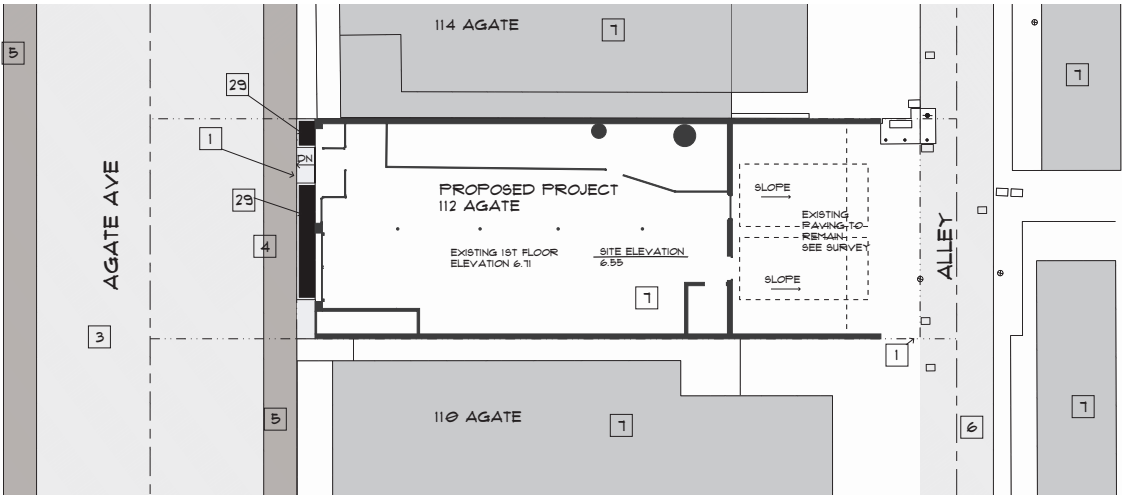
112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

ASLAN COMPANIES, INC.
11850 GULFVIEW DRIVE, SUITE A-300, IRVINE, CA 92614
SP1027ENR/ANAL/COPT-MILL/ANAL/COPT - 03/15/2019-118

SITE PLAN NOTES

1. PROPERTY LINE
2. SETBACK LINE
3. EXISTING STREET
4. EXISTING CURB AND GUTTER
5. EXISTING SIDEWALK
6. EXISTING ALLEY
7. EXISTING BUILDING
8. EXISTING DRIVEWAY
9. EXISTING PARKING SPACE-RESIDENTIAL
10. EXISTING CARPORT
11. EXISTING HARDSCAPE
12. EXISTING LANDSCAPING
13. EXISTING PAVING
14. EXISTING BOLLARDS
15. EXISTING GAS METER
16. EXISTING POWER POLE
17. EXISTING STAIRS
18.
19.
20.
21. PROPOSED STREET
22. PROPOSED CURB AND GUTTER
23. PROPOSED SIDEWALK
24. PROPOSED ALLEY
25. PROPOSED BUILDING
26. PROPOSED DRIVEWAY
27. PROPOSED PARKING SPACE
28. PROPOSED HARDSCAPE
29. PROPOSED LANDSCAPING
30. PROPOSED PAVING
31.



PRELIMINARY GRADING PLAN
A1.3 1/8" = 1'-0"

CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.ci.newportbeach.ca.us | (949) 644-3200

GENERAL GRADING SPECIFICATIONS

GENERAL

1. All work shall conform to Chapter 15 of the Newport Beach Municipal Code (NBMC), the project soils report and special requirements of the permit.
2. Dust shall be controlled by watering and/or dust palliatives.
3. Sanitary facilities shall be maintained on the site during the construction period.
4. Work hours are limited from 7:00 AM to 6:30 PM Monday through Friday; 8:00 AM to 6:00 PM Saturdays; and NO WORK ON SUNDAYS AND HOLIDAYS per section 10-28 of the NBMC.
5. Noise, excavation, delivery and removal shall be controlled per Section 10-28 of the NBMC.
6. The stamped set of approved plans shall be on the job site at all times.
7. Permittee and Contractor are responsible for locating and protecting utilities.
8. Approved shoring, drainage provision and protective measures must be used to protect adjoining properties during the grading operation.
9. Cesspools and septic tanks shall be abandoned in compliance with the Uniform Plumbing Code and approved by the Building Official.
10. Haul routes for import or export of materials shall be approved by the City Traffic Engineer and procedures shall conform with Chapter 15 of the NBMC.
11. Positive drainage shall be maintained away from all building and slope areas.
12. Failure to request inspections and/or have removable erosion control devices on-site at the appropriate times shall result in a "Stop Work" order.
13. All plastic drainage pipes shall consist of PVC or ABS plastic schedule 40 or SDR 35 or ADS 3000 with glued joints.
14. No paint, plaster, cement, soil, mortar or other residue shall be allowed to enter streets, curbs, gutters or storm drains. All material and waste shall be removed from the site.

EROSION CONTROL

1. Temporary erosion control plans are required from October 15 to May 15.
2. Erosion control devices shall be available on-site between October 15 and May 15.

3. Between October 15 and May 15, erosion control measures shall be in place at the end of each working day whenever the five-day probability of rain exceeds 30 percent. During the remainder of the year, they shall be in place at the end of the working day, whenever the daily rainfall probability exceeds 50 percent.
4. Temporary desilting basins, when required, shall be installed and maintained for the duration of the project.

REQUIRED INSPECTIONS

1. A pre-grading meeting shall be scheduled 48 hours prior to start of grading with the following people present: owner, grading contractor, design civil engineer, soils engineer, geologist, City Building Inspector or their representatives. Required field inspections will be outlined at the meeting.
2. A pre-paving meeting shall be scheduled 48 hours prior to start of the sub-grade preparation for the paving with the following people present: owner, paving contractor, design civil engineer, soils engineer, City Building Inspector or their representatives. Required field inspections will be outlined at the meeting.

GRADING FILLS/CUTS

1. Graded slopes shall be no steeper than 2 horizontal to 1 vertical.
2. Fill slopes shall be compacted to no less than 90 percent relative compaction out to the finished surface.
3. All fills shall be compacted throughout to a minimum of 90 percent relative compaction as determined by ASTM test method 1557, and approved by the soils engineer. Compaction tests shall be performed approximately every two feet in vertical height and of sufficient quantity to attest to the overall compaction effort applied to the fill areas.
4. Areas to receive fill shall be cleared of all vegetation and debris, scarified and approved by the soils engineer prior to placing of the fill.
5. Fills shall be keyed or benched into competent material.
6. All existing fills shall be approved by the soils engineer or removed before any additional fills are added.
7. Any existing irrigation lines and cisterns shall be removed or crushed in place and backfilled and approved by the soils engineer.
8. The engineering geologist and soils engineer shall, after clearing and prior to the placement of fill in canyons, inspect each canyon for areas of adverse stability and determine the presence of, or possibility of future accumulation of, subsurface water or spring flow. If needed, drains will be designed and constructed prior to the placement of fill in each respective canyon.
9. The exact location of the subdrains shall be surveyed in the field for line and grade.
10. ALL trench backfills shall be compacted throughout to a minimum of 90 percent relative compaction, and approved by the soils engineer. The Building Division may require coring of concrete flat work placed over untested backfills to facilitate testing.
11. The stockpiling of excess material shall be approved by the Building Division.
12. Landscaping of all slopes and pads shall be in accordance with Chapter 15 of the NBMC.
13. All cut slopes shall be investigated both during and after grading by an engineering geologist to determine if any stability problem exists. Should excavation disclose any geological hazards or potential geological hazards, the engineering geologist shall recommend and submit necessary treatment to the Building Division for approval.

DOCUMENTATION

1. An as-built grading plan shall be prepared by the civil engineer including original ground surface elevations, as graded ground surface elevations, lot drainage patterns and locations, and elevations of all surface and subsurface drainage facilities. He/she shall provide written approval that the work was done in accordance with the final approved grading plan and state the number of yards of cut and/or fill moved during the operation.
2. A soils grading report prepared by the soils engineer, including locations and elevation of field density tests. Summaries of field and laboratory results and other substantiated data and comments on any changes made during grading and their effect on the recommendations made in the soils engineering investigation report. He shall provide written approval as to the adequacy of the site for the intended use and completion of work in accordance with the job specifications.
3. A geologic grading report prepared by the engineering geologist, including a final description of the geology of the site, including any new information disclosed during the grading and the effect of same on recommendations incorporated in the approved grading plan. He/she shall provide written approval as to the adequacy of the site for the intended use as affected by geologic factors.



112 AGATE REMODEL

DOCUMENT DATE:
APRIL 15, 2020
DOCUMENT PHASE:
COASTAL DEVELOPMENT
PERMIT

REV. DATE REMARK

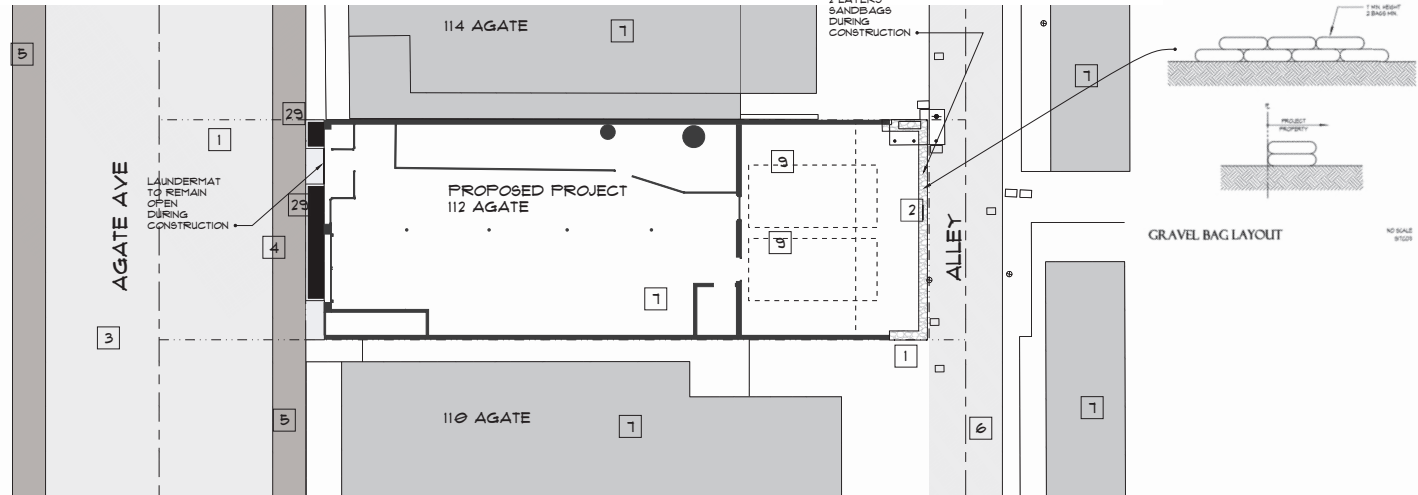
PRELIMINARY GRADING PLAN

A1.3

112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

ASLAN COMPANIES, INC.
11855 CULVER DRIVE, SUITE A-300, IRVINE, CA 92614
SP/ST/TERMINAL/LANDSCAPE/REMODEL/CONTRACT - 03/15/2019-18



SITE PLAN NOTES

1. PROPERTY LINE
2. SETBACK LINE
3. EXISTING STREET
4. EXISTING CURB AND GUTTER
5. EXISTING SIDEWALK
6. EXISTING ALLEY
7. EXISTING BUILDING
8. EXISTING DRIVEWAY
9. EXISTING PARKING SPACE-RESIDENTIAL
10. EXISTING CARPORT
11. EXISTING HARDSCAPE
12. EXISTING LANDSCAPING
13. EXISTING PAVING
14. EXISTING BOLLARDS
15. EXISTING GAS METER
16. EXISTING POWER POLE
17. EXISTING STAIRS
- 18.
- 19.
- 20.
21. PROPOSED STREET
22. PROPOSED CURB AND GUTTER
23. PROPOSED SIDEWALK
24. PROPOSED ALLEY
25. PROPOSED BUILDING
26. PROPOSED DRIVEWAY
27. PROPOSED PARKING SPACE
28. PROPOSED HARDSCAPE
29. PROPOSED LANDSCAPING
30. PROPOSED PAVING
- 31.

- ### EXCAVATION NOTES
- ① BUILDING FOOT AREA SHALL BE OVERELEVATED AT LEAST 2'-0" BELOW EXISTING GRADE OR AT LEAST 2'-0" BELOW EXISTING GRADE OR A MINIMUM OF ONE FOOT BELOW PROPOSED FOUNDATION. SEE PLAN FOR LAYOUT OF OVERELEVATION.
- ### EROSION & SEDIMENT CONTROL CONSTRUCTION NOTES
- ① ALL SHIPMENTS SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR THE CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CALSWAMPBMP.COM
 - ② CONTRACT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES SUBJECT DELIVERY APPROXIMATE 100 SHIPMENTS SHALL BE OF 1000 AND 12" HIGH WEIGHT PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET 2.6.8.
 - ③ CONTRACT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET 1.16.4.
 - ④ CONTRACT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEET 1.16.1.
 - ⑤ DITCHING SHALL TO REMAIN PROTECT IN PLACE.

- ### BMP FACTS SHEET
- PM-1 MATERIAL DELIVERY AND STORAGE
PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAMINANT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.
 - PM-2 MATERIAL USE
HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PRECEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE PROVIDED TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
 - PM-4 SPILL PREVENTION AND CONTROL
SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
 - PM-5 SOLID WASTE MANAGEMENT
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAMINANT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.
 - PM-6 HAZARDOUS WASTE MANAGEMENT
HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
 - PM-7 CONTAMINATED SOIL MANAGEMENT
PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HEAVY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.
 - PM-8 CONCRETE WASTE MANAGEMENT
STORE DRY AND NET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND DRAINAGE. CONCRETE WASTE DEPOSITED ON-SITE SHALL BE SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAMINANT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.
 - PM-4 SANITARY/SEPTIC WASTE MANAGEMENT
UNTREATED RAIN WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.
 - SE-1 SILT FENCE
 - SE-2 SEDIMENT TRAP
 - SE-3 GRAVEL BAGS
EROSION CONTROL DEVICES MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE PAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR. IF OTHER EROSION CONTROL, BMPs ARE DEEMED SUFFICIENT.

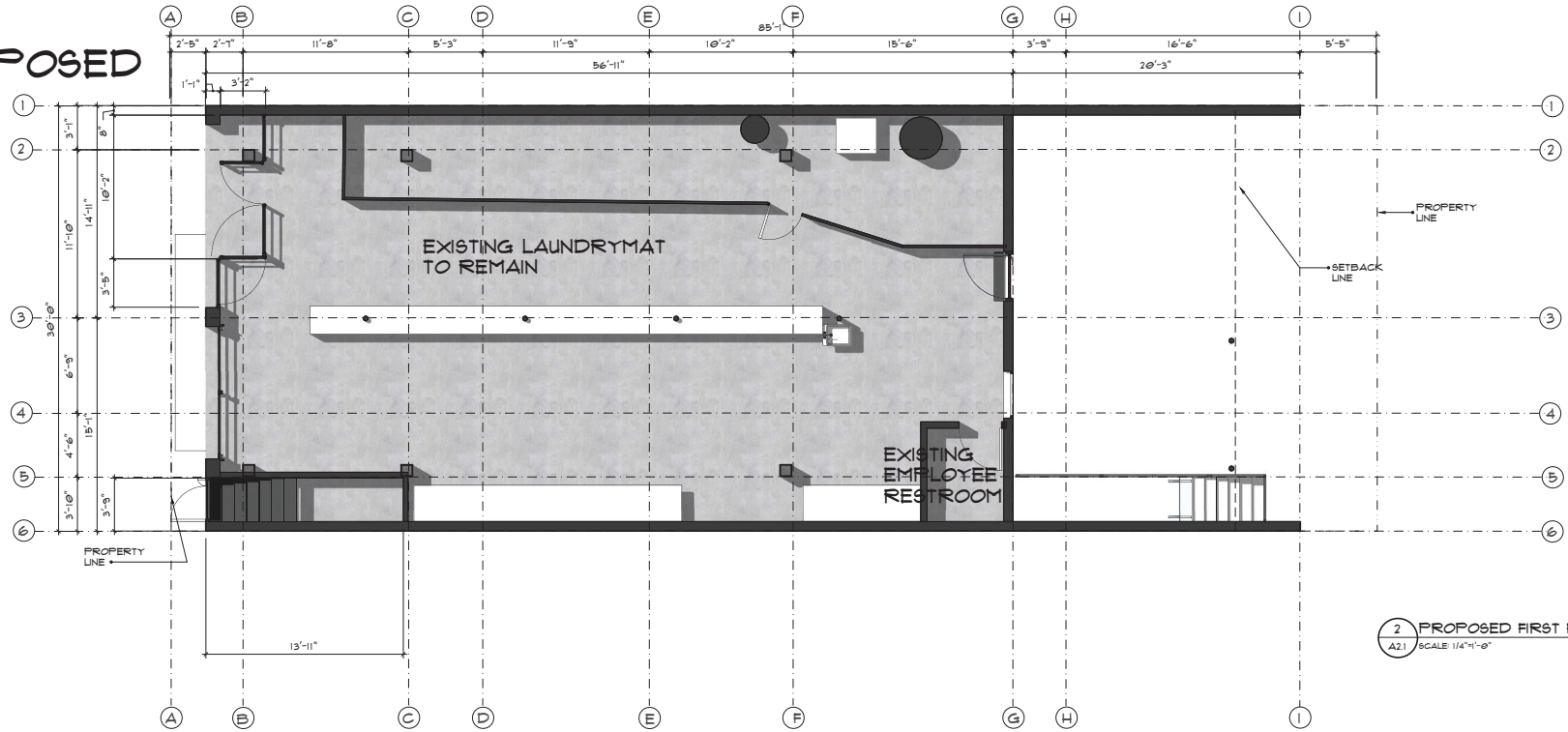


EROSION CONTROL NOTES

(MINIMUM BMP REQUIREMENTS FOR CONSTRUCTION ACTIVITIES FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS)

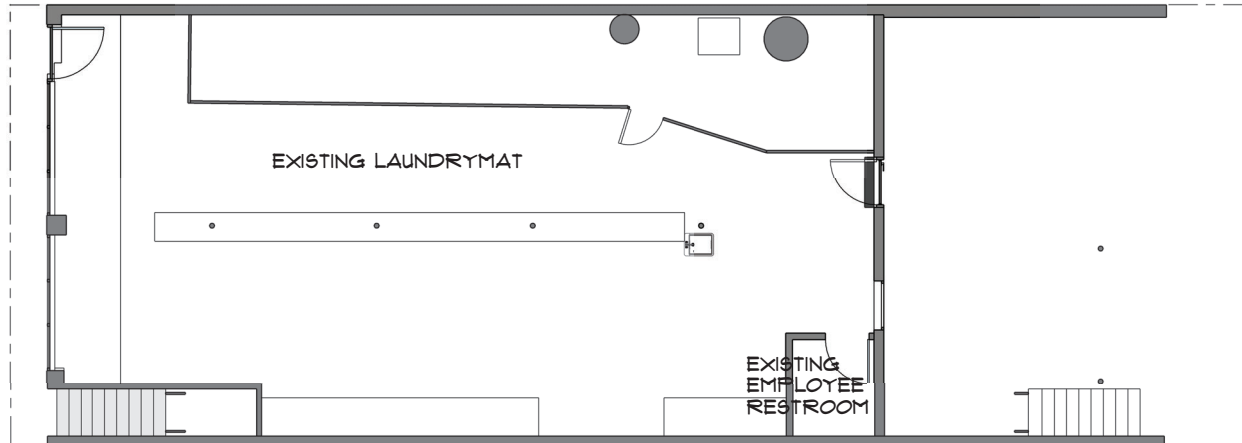
1. IN CASE OF EMERGENCY, CALL 911 AT ONCE.
2. A STANDBY CRUSH FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL. IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINFALL AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINFALL. PUMPING AND DRAINING OF ALL BARRIERS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DRAINAGE OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTROL POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESTABILIZED BARRIERS MAY NOT BE REMOVED OR MADE IMPASSABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MAINTAINED AS NEEDED AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. BROCCED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET PILES, SPALLS, AREA DRAINS, NATURAL DRAINAGE COURSES, OR POND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE PAVED INTO THE DRAINAGE SYSTEM.
14. EXCESS OR WASTE CONCRETE MAY NOT BE PAVED INTO THE PUBLIC PAVEMENT OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY. THERE IS A 40% CHANCE OF QUARTER RICH OR MORE OF PRECIPITATION. AFTER ANCHOR PRECIPITATION, A CONSTRUCTION SITE INSPECTION CALENDAR AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL. COPIES OF THE SELF-INSPECTION LOGS ARE AVAILABLE UPON REQUEST.
16. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERAL BY WIND.
17. SEDIMENTS AND OTHER POLLUTANTS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE PAVED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOILS OR DENIED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
20. ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

PROPOSED



2 PROPOSED FIRST FLOOR PLAN
A2.1 SCALE: 1/4"=1'-0"

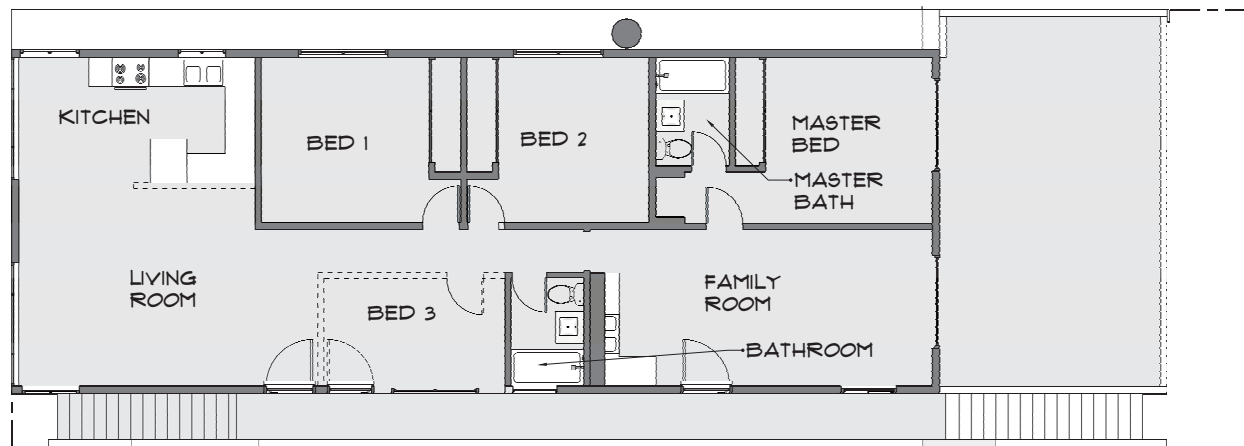
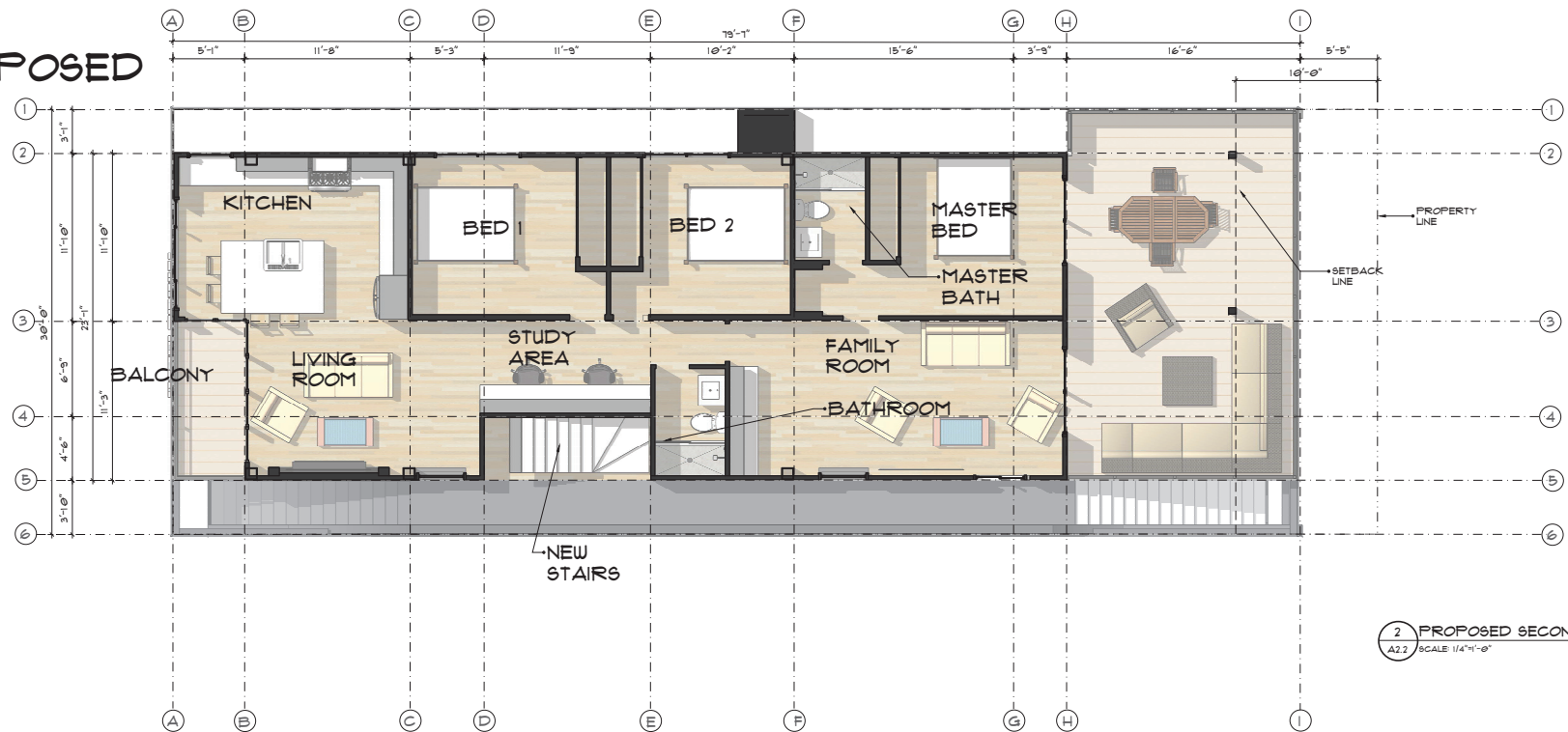
EXISTING



1 EXISTING FIRST FLOOR PLAN
A2.1 SCALE: 1/4"=1'-0"



EXISTING



1 EXISTING SECOND FLOOR PLAN
A2.2 SCALE: 1/4"=1'-0"



112 AGATE REMODEL

112 AGATE AVE
BALBOA ISLAND, CA 92661

A PLANTE FAMILY TRUST

DOCUMENT DATE:
APRIL 15, 2020
DOCUMENT PHASE:
CONSTRUCTION DOCUMENTS

REV.	DATE	REMARK
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BUILDING
DEPARTMENT
SUBMITTAL -1
NOT FOR
CONSTRUCTION

SECOND
FLOOR PLAN

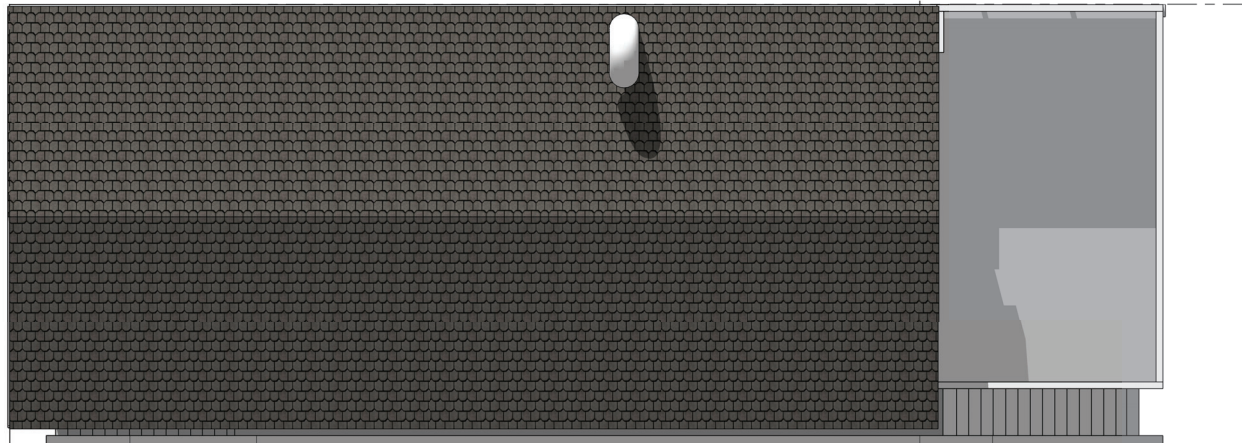
A2.2

PROPOSED



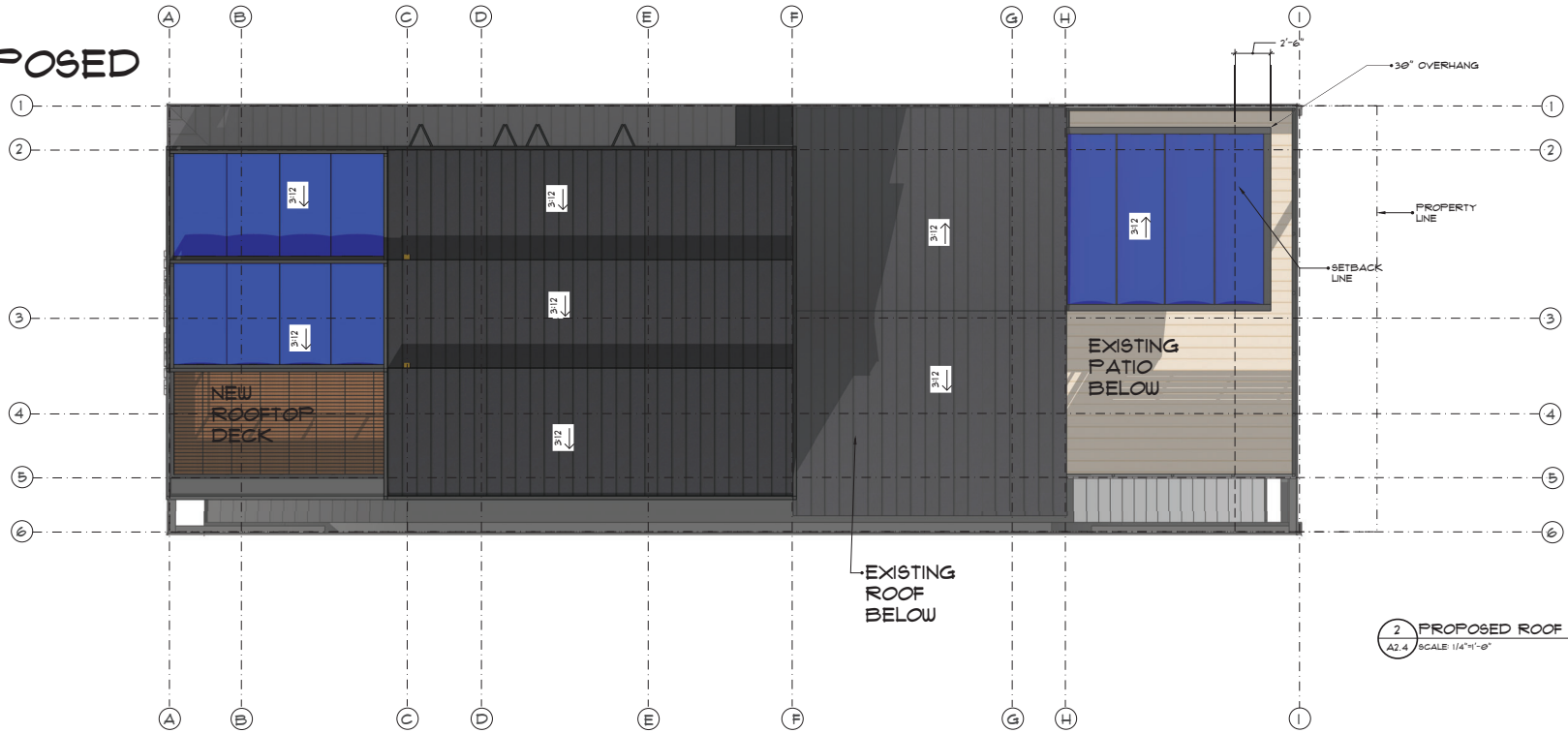
2 PROPOSED THIRD FLOOR PLAN
A2.3 SCALE: 1/4"=1'-0"

EXISTING



1 EXISTING ROOF PLAN
A2.3 SCALE: 1/4"=1'-0"

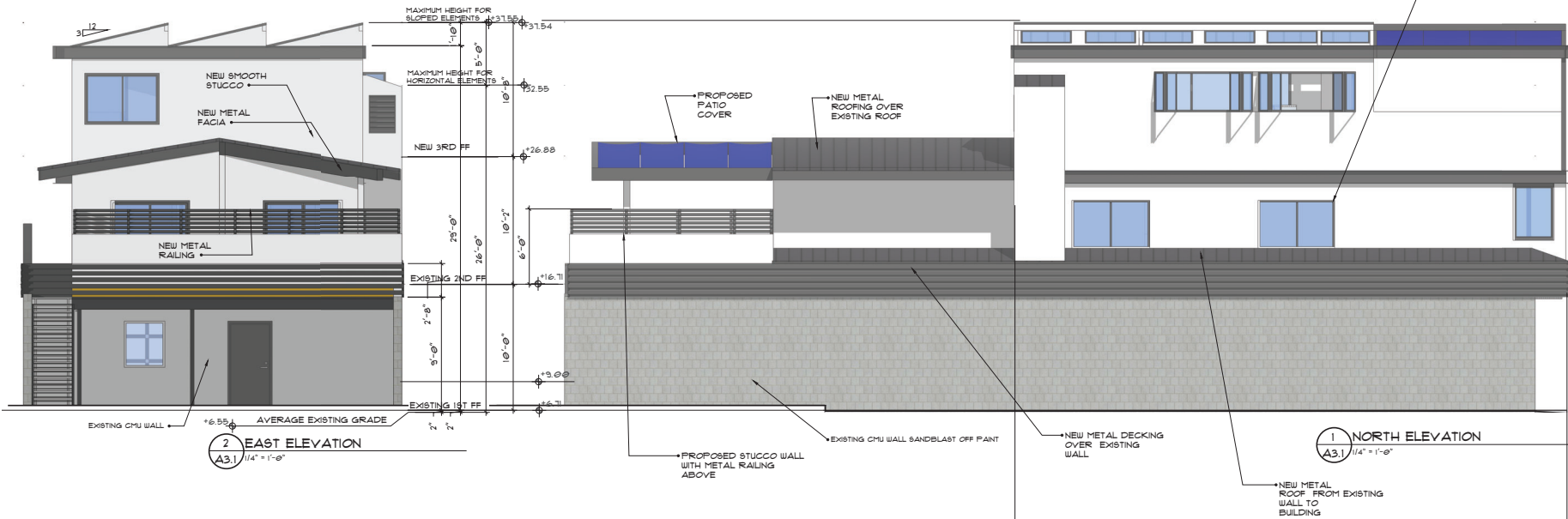
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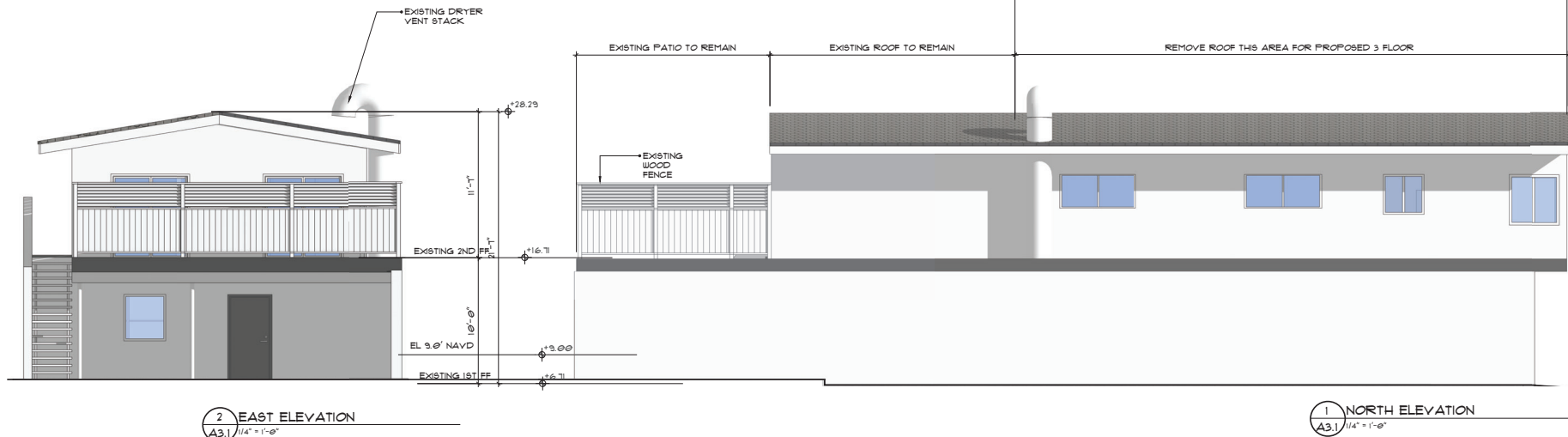
EXISTING



PROPOSED



EXISTING



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ASLAN COMPANIES, INC.
1185 CALVER DRIVE, SUITE A-300, IRVINE, CA 92614
SP107ENALANCO-01-11-2019-001 - 03-15-2019-118



112 AGATE REMODEL

112 AGATE AVE
BALBOA ISLAND, CA 92661

LA PLANTE FAMILY TRUST

DOCUMENT DATE:
MAY 10, 2019
DOCUMENT PHASE:
COASTAL DEVELOPMENT
PERMIT

REV. DATE REMARK

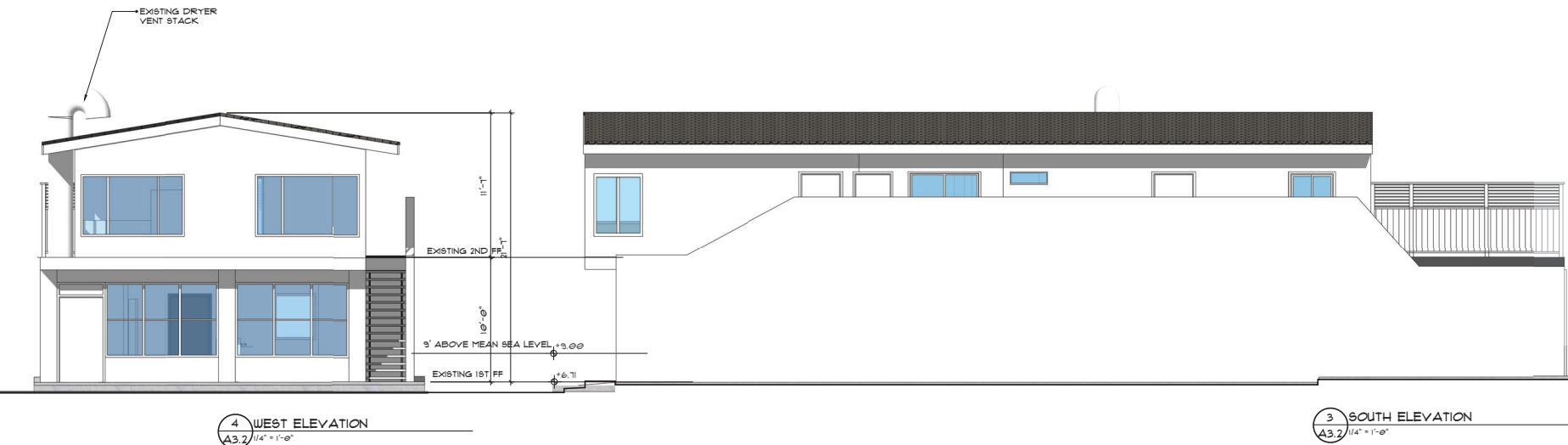
ELEVATIONS

A3.1

PROPOSED



EXISTING



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BALBOA ISLAND, CA 92661

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ELEVATIONS

A3.2