

SHEET 1 OF 5 SHEETS
(ALL OF VESTING TENTATIVE
TRACT NO. 18135)
1 NUMBERED LOT
GROSS AREA: 6.660 ACRES
NET AREA: 5.767 ACRES
NT 2017-005

TRACT NO. 18135
IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
BEING A SUBDIVISION OF A PORTION OF BLOCK 53, OF IRVINE'S SUBDIVISION, AS
PER MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS IN THE OFFICE
OF THE COUNTY RECORDER OF SAID COUNTY
FOR CONDOMINIUM PURPOSES

DANE P. MCDUGALL
L.S. 9297



DATE OF SURVEY:
AUGUST, 2017

ACCEPTED AND FILED
AT THE REQUEST OF
FIRST AMERICAN TITLE COMPANY

DATE _____
TIME _____ FEE \$ _____
INSTRUMENT NO. _____
BOOK _____ PAGE _____
HUGH NGUYEN
COUNTY CLERK-RECORDER
BY _____
DEPUTY

OWNERSHIP CERTIFICATE

WE, THE UNDERSIGNED, BEING ALL PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND COVERED BY THIS MAP, DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP, AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED IN FEE FOR PUBLIC HIGHWAY AND PUBLIC UTILITY PURPOSES: IRVINE AVENUE AND MARINERS DRIVE.

WE HEREBY DEDICATE TO THE CITY OF NEWPORT BEACH: EASEMENTS FOR EMERGENCY ACCESS, PUBLIC ACCESS, PUBLIC SIDEWALK AND UTILITY PURPOSES OVER LOT 1 AS SHOWN ON THIS MAP.

WE ALSO HEREBY RELEASE AND RELINQUISH TO THE CITY OF NEWPORT BEACH ALL VEHICULAR AND PEDESTRIAN ACCESS RIGHTS TO IRVINE AVENUE, MARINERS DRIVE, AND RUTLAND ROAD, EXCEPT AT APPROVED ACCESS LOCATIONS.

SHEA HOMES LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP

BY: _____ BY: _____
JOHN VANDER VELDE JOHN DANVERS
AUTHORIZED AGENT AUTHORIZED AGENT

NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }
COUNTY OF _____ } SS

ON THIS _____ DAY OF _____, 2020, BEFORE ME, _____
A NOTARY PUBLIC, PERSONALLY APPEARED _____

_____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE _____ MY PRINCIPAL PLACE OF BUSINESS IS
NOTARY PUBLIC IN AND FOR SAID STATE
IN _____ COUNTY
(NAME PRINTED) MY COMMISSION NO. _____
MY COMMISSION EXPIRES _____

NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }
COUNTY OF _____ } SS

ON THIS _____ DAY OF _____, 2020, BEFORE ME, _____
A NOTARY PUBLIC, PERSONALLY APPEARED _____

_____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE _____ MY PRINCIPAL PLACE OF BUSINESS IS
NOTARY PUBLIC IN AND FOR SAID STATE
IN _____ COUNTY
(NAME PRINTED) MY COMMISSION NO. _____
MY COMMISSION EXPIRES _____

PURPOSE STATEMENT

THE PURPOSE OF THIS MAP IS TO CREATE ONE LOT FROM AN EXISTING PARCEL FOR CONDOMINIUM PURPOSES.

SIGNATURE OMISSIONS

SEE SHEET 2

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF MELIA HOMES, INC. IN JULY 2017. I HEREBY STATE THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN SUCH POSITIONS WITHIN 90 DAYS AFTER ACCEPTANCE OF IMPROVEMENTS; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

DANE P. MCDUGALL DATE
L.S. 9297



COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND HAVE FOUND THAT ALL MAPPING PROVISIONS OF THE SUBDIVISION MAP ACT HAVE BEEN COMPLIED WITH AND I AM SATISFIED SAID MAP IS TECHNICALLY CORRECT.

DATED THIS _____ DAY OF _____, 2020.

KEVIN R. HILLS, COUNTY SURVEYOR
L.S. 6617



LILY M. N. SANDBERG, DEPUTY COUNTY SURVEYOR
P.L.S. 8402

CITY ENGINEER'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND HAVE FOUND IT TO BE SUBSTANTIALLY IN CONFORMANCE WITH THE TENTATIVE MAP, IF REQUIRED, AS FILED WITH, AMENDED AND APPROVED BY THE CITY PLANNING COMMISSION; THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND CITY SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH. THIS STATEMENT WILL BE EFFECTIVE ON THE DATE UPON WHICH THE COUNTY OF ORANGE APPROVES THE MAP AS TECHNICALLY CORRECT.

DATED THIS _____ DAY OF _____, 2020.

JAMES M. HOULIHAN, R.C.E. 51568
DEPUTY PUBLIC WORKS DIRECTOR/CITY ENGINEER
CITY OF NEWPORT BEACH
EXP. 6/30/2020



CITY CLERK'S CERTIFICATE

STATE OF CALIFORNIA }
COUNTY OF ORANGE } SS
CITY OF NEWPORT BEACH }

PURSUANT TO SECTION 19.60.010 OF THE SUBDIVISION CODE, AND PURSUANT TO THE PROVISIONS OF SECTION 66436(a)(3) OF THE SUBDIVISION MAP ACT, I HEREBY CERTIFY THAT THIS MAP WAS PRESENTED FOR APPROVAL TO THE CITY COUNCIL OF THE CITY OF NEWPORT BEACH AT A REGULAR MEETING THEREOF HELD ON _____, _____ AND THAT THEREUPON SAID COUNCIL DID, BY AN ORDER DULY PASSED AND ENTERED, APPROVE SAID MAP AND DID ACCEPT ON BEHALF OF THE PUBLIC, SUBJECT TO IMPROVEMENTS, THE FEE DEDICATION FOR PUBLIC HIGHWAY AND PUBLIC UTILITY PURPOSES OF: IRVINE AVENUE AND MARINERS DRIVE.

AND DID ALSO ACCEPT ON BEHALF OF THE CITY OF NEWPORT BEACH:

THE EMERGENCY ACCESS, PUBLIC ACCESS, PUBLIC SIDEWALK, AND UTILITY EASEMENTS OVER LOT 1 AS DEDICATED.

THE VEHICULAR AND PEDESTRIAN ACCESS RIGHTS TO IRVINE AVENUE, MARINERS DRIVE, AND RUTLAND ROAD EXCEPT AT APPROVED ACCESS LOCATIONS AS RELEASED AND RELINQUISHED.

AND DID ALSO APPROVE SUBJECT MAP PURSUANT TO THE PROVISIONS OF SECTION 66436 (a)(3)(A) OF THE SUBDIVISION MAP ACT.

DATED THIS _____ DAY OF _____, 2020.

LEILANI I. BROWN
CITY CLERK OF NEWPORT BEACH

COUNTY TREASURER-TAX COLLECTOR'S CERTIFICATE

STATE OF CALIFORNIA }
COUNTY OF ORANGE } SS

I HEREBY CERTIFY THAT ACCORDING TO THE RECORDS OF MY OFFICE, THERE ARE NO LIENS AGAINST THE LAND COVERED BY THIS MAP OR ANY PART THEREOF FOR UNPAID STATE, COUNTY, MUNICIPAL OR LOCAL TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES, EXCEPT TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES NOT YET PAYABLE.

AND DO CERTIFY TO THE RECORDER OF ORANGE COUNTY THAT THE PROVISIONS OF THE SUBDIVISION MAP ACT HAVE BEEN COMPLIED WITH REGARDING DEPOSITS TO SECURE PAYMENT OF TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES ON THE LAND COVERED BY THIS MAP.

DATED THIS _____ DAY OF _____, 2020.

SHARI L. FREIDENRICH BY: _____
COUNTY TREASURER-TAX COLLECTOR TREASURER - TAX COLLECTOR

SHEET 2 OF 5 SHEETS
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FOR CONDOMINIUM PURPOSES

DANE P. MCDUGALL
L.S. 9297



DATE OF SURVEY:
AUGUST, 2017

SIGNATURE OMISSIONS

PURSUANT TO THE PROVISIONS OF SECTION 66436(a)(3)(A) & (C) OF THE SUBDIVISION MAP ACT, THE FOLLOWING SIGNATURES HAVE BEEN OMITTED:

CITY OF NEWPORT BEACH, HOLDER OF AN EASEMENT FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, RECORDED MAY 18, 1959 IN BOOK 4718, PAGE 190 OF OFFICIAL RECORDS.

THE COUNTY OF ORANGE, HOLDER OF AN EASEMENT FOR AVIGATION PURPOSES, RECORDED MARCH 17, 1964 IN BOOK 6965, PAGE 721 OF OFFICIAL RECORDS.

SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 4, 1969 IN BOOK 8864, PAGE 635 OF OFFICIAL RECORDS.

THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY, A CORPORATION, HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MAY 23, 1969 IN BOOK 8966, PAGE 652 OF OFFICIAL RECORDS.

THE IRVINE COMPANY LLC, A DELAWARE LIMITED LIABILITY COMPANY, HOLDER OF ALL OIL, OIL RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS AS RESERVED IN THE DEED RECORDED MARCH 21, 2013 AS INSTRUMENT NO. 2013000171786 OF OFFICIAL RECORDS.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN ORANGE COUNTY SURVEYOR'S HORIZONTAL CONTROL STATION GPS NO. 6254 AND GPS NO. 6236R1 BEING NORTH 39°41'54" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

DATUM STATEMENT

COORDINATES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, 1983 N.A.D. (2007.00 EPOCH OCS GPS ADJUSTMENT). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE, MULTIPLY GROUND DISTANCE BY 0.99996848, (GPS 6254 VALUE).

LEGEND

R1 – RECORD OF SURVEY 2012-1123, R.S.B. 264 / 38

R2 – TRACT NO. 3606, M.M. 130 / 31-32

R3 – TRACT NO. 4225, M.M. 153 / 23-24

R4 – TRACT NO. 4824, M.M. 173 / 28

R5 – RECORD OF SURVEY 86-1071, R.S.B. 114 / 20

R6 – CITY TIE, BOOK VII, PAGE 104.

[] – INDICATES RECORD OR CALCULATED DATA PER R1.

{ } – INDICATES RECORD OR CALCULATED DATA PER R3.

() – INDICATES RECORD OR CALCULATED DATA PER R4, UNLESS OTHERWISE NOTED.

< > – INDICATES RECORD OR CALCULATED DATA PER R5.

M & R INDICATES MEASURED AND RECORD DATA PER R2, UNLESS OTHERWISE NOTED.

SYMBOLS & ABBREVIATIONS

B.C. BEGINNING OF CURVE

☉ CENTERLINE

C.R. CORNER RECORD

EST. ESTABLISHED

FD. FOUND

INT. INTERSECTION

L&T LEAD & TACK

LT&T LEAD, TACK & TAG

MEAS. MEASURED

S&W SPIKE AND WASHER

SFN. SEARCHED, FOUND NOTHING.

MONUMENT NOTES

- ① OCS GPS POINT NO. 6254 N 2176288.90 E 6056800.24
FD. PUNCHED 2" BRASS DISK IN CONC., DOWN 0.9' IN WELL MONUMENT. STATION IS LOCATED AT THE ☉ INT. OF IRVINE AVENUE AND 17TH/WESTCLIFF STREET PER PM 99-139, PMB 309/31-32.
- ② OCS GPS POINT NO. 6236R1 N 2178575.75 E 6058698.71
FD. PUNCHED SPIKE AND 1 1/2" OCS BRASS WASHER STAMPED "6236R1 3-01" FLUSH. STATION IS LOCATED IN THE WESTERLY PORTION OF THE INT. OF COSTA MESA STREET AND IRVINE AVENUE PER PM 2016-109, PMB 388/24-25.
- ③ FD. LONG NAIL 0.2' ABOVE REMAINS OF CONCRETE BASE, NO REF, FITS REMAINING TIE PER CITY TIE BOOK VII PAGE 104. CONC BASE IS 0.6' DOWN, ACCEPTED AS THE CENTERLINE INT. OF MARINERS DRIVE AND RUTLAND ROAD. SET 8" S&W STAMPED "LS 9297", FLUSH.
- ④ FD. LONG NAIL 0.1' ABOVE REMAINS OF CONCRETE BASE, NO REF, ACCEPTED AS B.C. CONC BASE IS 0.3' DOWN. SET 8" S&W STAMPED "LS 9297", FLUSH.
- ⑤ FD. 4 NOTCHES IN SEWER MANHOLE RIM PER R1, ACCEPTED AS THE CENTERLINE INT. OF WESTCLIFF DRIVE AND BUCKINGHAM LANE.
- ⑥ FD. S&W, NO STAMPING, AS SHOWN ON R1, ACCEPTED AS THE CENTERLINE INT. OF IRVINE AVENUE AND MARINERS DRIVE. DOWN 0.2'.
- ⑦ FD. S&W, STAMPED "RCE 6579 – COSTA MESA" AS SHOWN ON R1, ACCEPTED AS THE CENTERLINE INT. OF IRVINE AVENUE AND WESTCLIFF DRIVE. DOWN 0.3'.
- ⑧ FD. S&W, NO STAMPING, AS SHOWN ON R1, DOWN 0.3'.
- ☐ INDICATES 8" S&W STAMPED "LS 9297" IN ASPHALT PAVING OR 1" I.P. TAGGED "LS 9297" TO BE SET.
- INDICATES 2" IP TAGGED "LS 9297", FLUSH; OR LT&T STAMPED "LS 9297" IN CONCRETE, TO BE SET.
- FOUND MONUMENT AS NOTED.
- ▲ FOUND O.C.S. GPS HORIZONTAL CONTROL STATION MONUMENT PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

ESTABLISHMENT NOTES

- Ⓐ SFN. – EST. BY PROPORTIONATE MEASUREMENT PER R1.
- Ⓑ SFN. POINT FALLS ON MANHOLE. – EST. BY PROPORTIONATE MEASUREMENT PER R3.

EASEMENT NOTES

- Ⓐ INDICATES AN EASEMENT FOR EMERGENCY ACCESS, PUBLIC ACCESS AND UTILITY PURPOSES OVER LOT 1 DEDICATED TO THE CITY OF NEWPORT BEACH, AS SHOWN ON THIS MAP.
- Ⓑ INDICATES AN EASEMENT FOR UTILITY PURPOSES OVER LOT 1 DEDICATED TO THE CITY OF NEWPORT BEACH, AS SHOWN ON THIS MAP.
- Ⓒ INDICATES AN EASEMENT FOR PUBLIC SIDEWALK OVER LOT 1 DEDICATED TO THE CITY OF NEWPORT BEACH, AS SHOWN ON THIS MAP.
- ① AN EASEMENT FOR PUBLIC ROAD AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF NEWPORT BEACH PER DOCUMENT RECORDED MAY 18, 1959 IN BOOK 4718, PAGE 190 OF OFFICIAL RECORDS.
- 2 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, PER DOCUMENT RECORDED FEBRUARY 4, 1969 IN BOOK 8864, PAGE 635 OF OFFICIAL RECORDS. (THE LOCATION OF SAID EASEMENT IS INDETERMINATE FROM RECORD)
- 3 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF PACIFIC TELEPHONE AND TELEGRAPH COMPANY, A CORPORATION, PER DOCUMENT RECORDED MAY 23, 1969 IN BOOK 8966, PAGE 652 OF OFFICIAL RECORDS. (THE LOCATION OF SAID EASEMENT IS INDETERMINATE FROM RECORD)
- 4 AN EASEMENT FOR AVIGATION PURPOSES, IN FAVOR OF COUNTY OF ORANGE, PER DOCUMENT RECORDED MARCH 17, 1964 IN BOOK 6965, PAGE 721 OF OFFICIAL RECORDS. (BLANKET IN NATURE)

SHEET 3 OF 5 SHEETS
(ALL OF VESTING TENTATIVE
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NT 2017-005

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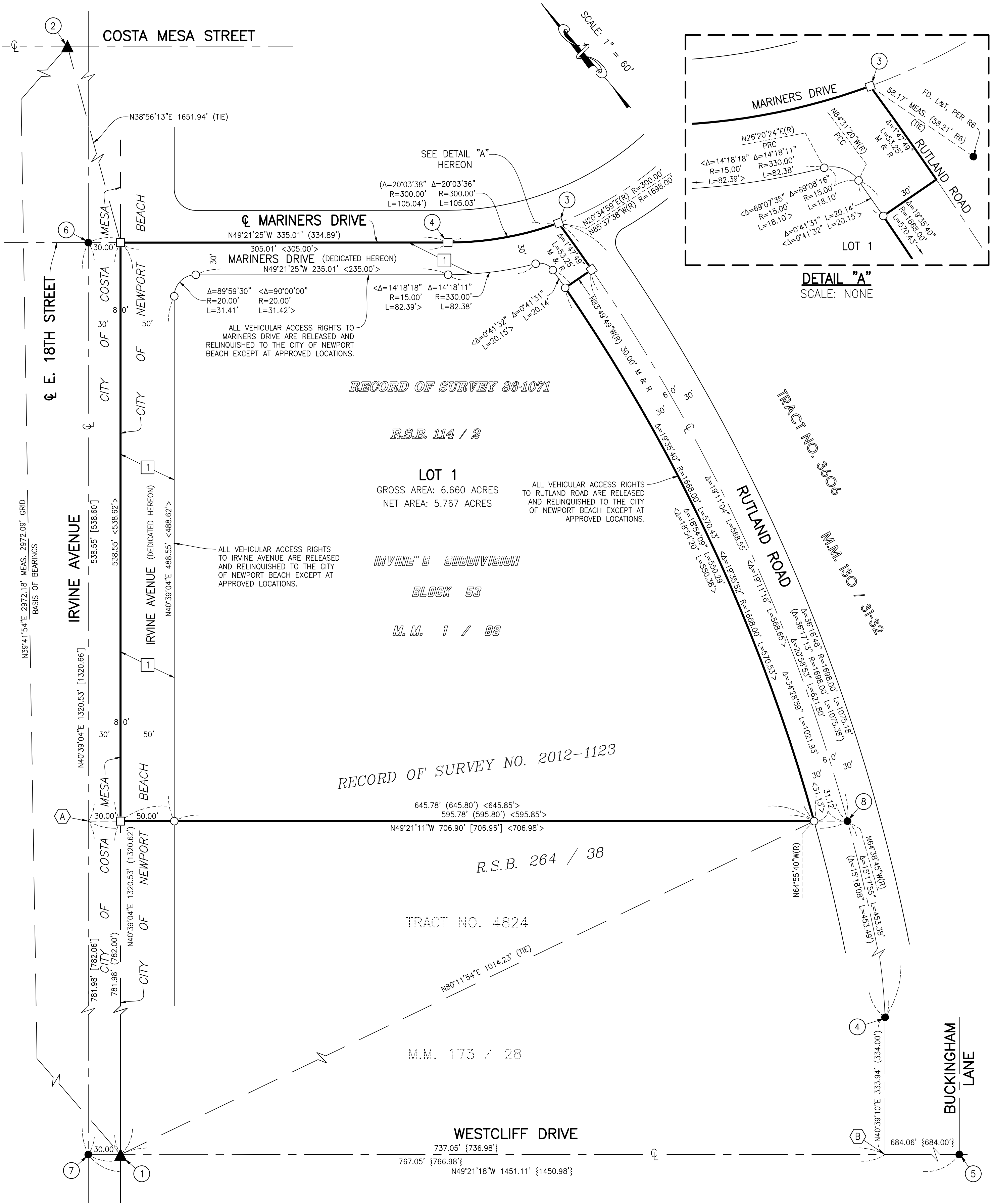
DANE P. MCDOUGALL
L.S. 9297



DATE OF SURVEY:
AUGUST, 2017

SEE SHEET 2 FOR BASIS OF BEARINGS,
MONUMENT NOTES, SURVEYOR'S NOTES,
EASEMENT NOTES, SYMBOLS &
ABBREVIATIONS & NOTES.
SEE SHEET 4-5 FOR EASEMENT DETAIL.

BOUNDARY ESTABLISHMENT & LOT DETAIL



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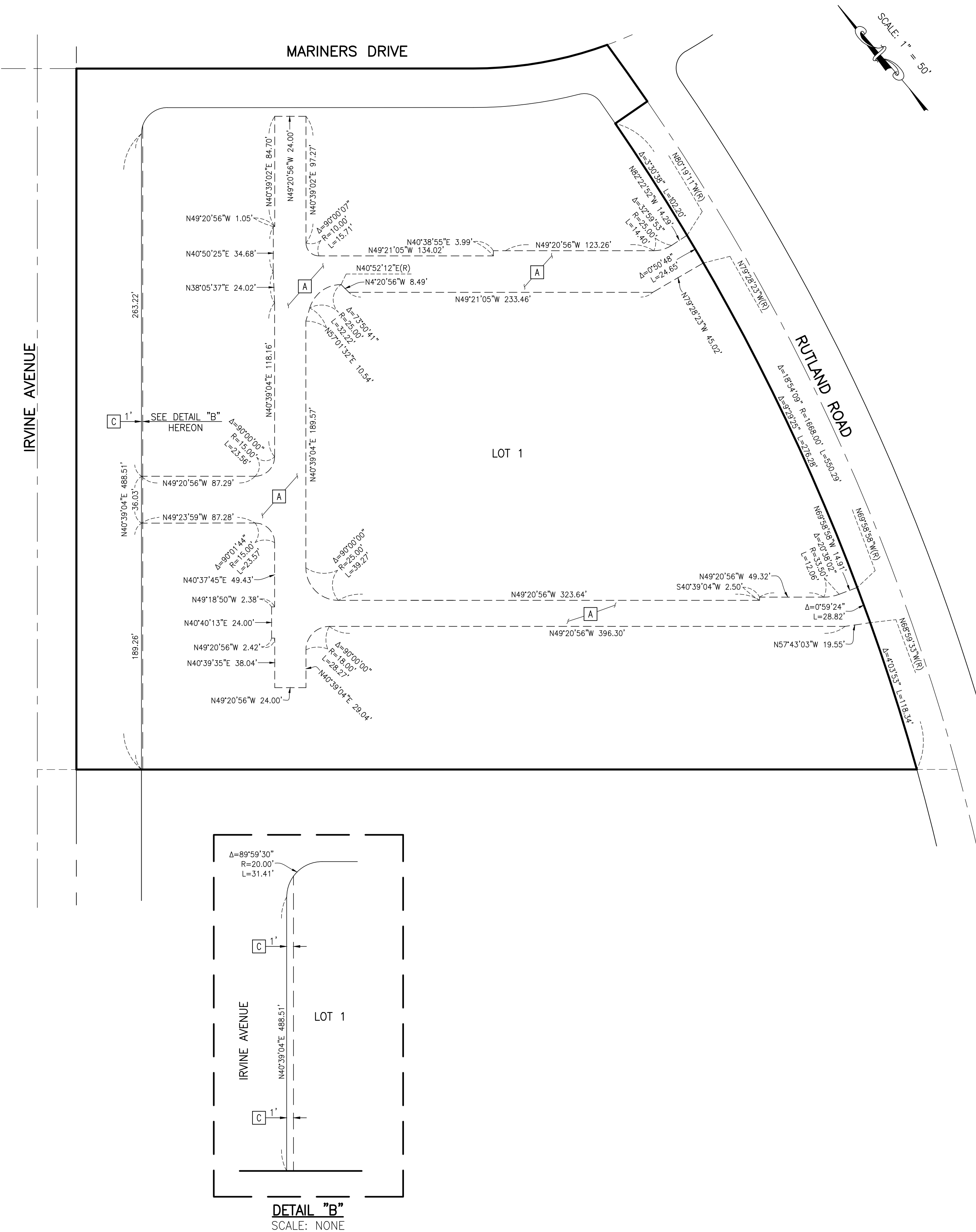
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EASEMENT DETAIL



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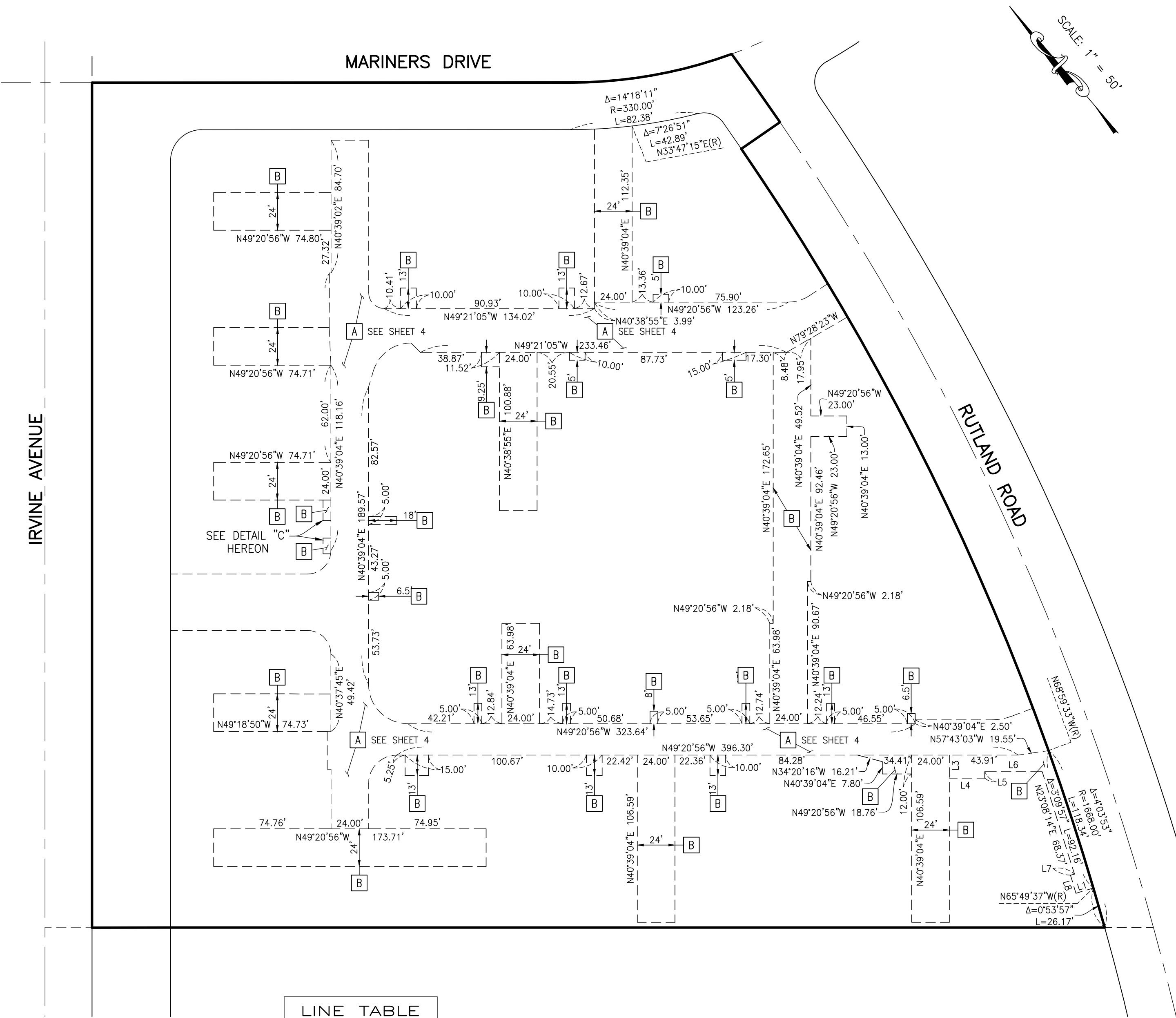
DANE P. MCDUGALL
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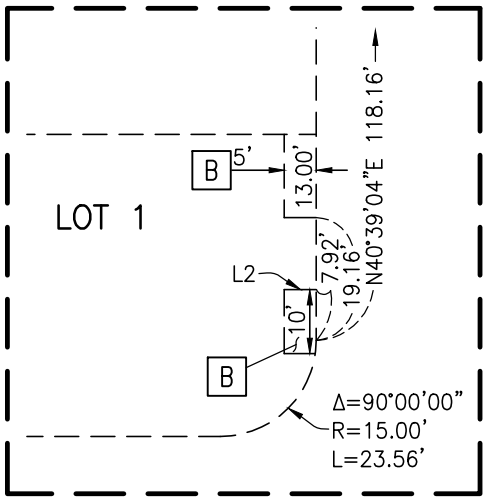
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EASEMENT DETAIL



LINE TABLE		
LINE #	BEARING	LENGTH
L1	N66°01'59"W	11.60'
L2	N49°19'08"W	5.00'
L3	N40°39'04"E	14.70'
L4	N49°20'56"W	22.56'
L5	N40°39'04"E	4.05'
L6	N49°20'56"W	36.63'
L7	N66°01'59"W	2.62'
L8	N23°58'01"E	12.00'



DETAIL "C"
SCALE: NONE