



## **CITY OF NEWPORT BEACH PLANNING COMMISSION STAFF REPORT**

March 5, 2020  
Agenda Item No. 2

**SUBJECT:** Newport Animal Hospital Expansion (PA2019-268)  
▪ Conditional Use Permit No. UP2019-060

**SITE LOCATION:** 21159 Newport Coast Drive

**APPLICANT:** John A. Giannone

**OWNER:** Irvine Company

**PLANNER:** David S. Lee, Associate Planner  
949-644,3225, dlee@newportbeachca.gov

---

### **PROJECT SUMMARY**

A conditional use permit for the expansion of an existing 1,766-square-foot animal clinic for domestic pets into a 1,500-square-foot adjacent suite. The expansion will result in a 3,266-square-foot clinic. The hours of operation are from 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday. Animals no larger than the largest breed of dogs will be given medical and surgical treatment and the facility primarily provides outpatient services. Only critical patients will be kept longer than 24 hours and boarding is not permitted nor provided at the facility. The applicant expects to assist 10 to 40 clients per day.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Resolution No. \_\_\_\_ approving Use Permit No. UP2019-060 (Attachment No. PC 1).

INTENTIONALLY BLANK PAGE

### VICINITY MAP



### GENERAL PLAN



### ZONING



LOCATION	GENERAL PLAN	ZONING	CURRENT USE
ON-SITE	Neighborhood Commercial (CN)	Newport Ridge Planned Community (PC53)	Neighborhood Shopping Center
NORTH	Parks and Recreation (PR) and Public Facilities (PF)	Newport Ridge Planned Community (PC53)	Community Center
SOUTH	Neighborhood Commercial (CN)	Newport Ridge Planned Community (PC53)	Fire Station & Open Space
EAST	Public Facilities (PF)	Newport Coast Planned Community (PC53)	Elementary School & Residential Development
WEST	Multi-Unit Residential (RM-D)	Newport Ridge Planned Community (PC53)	Detached condominiums

## **INTRODUCTION**

### **Project Setting and Background**

The project site is located within an existing shopping center. In 2000, the County of Orange approved a Site Development Permit for the development of the shopping center. Newport Ridge was annexed into the City in September, 2000 after land entitlements had been approved through the County of Orange for the development of the shopping center.

The surrounding area is developed with a variety of land uses, including retail shops, an elementary school, open space, the Newport Coast Community Center, as well as residential development. The Newport Coast Shopping Center has 103,660 square feet of retail commercial uses including a 55,232-square foot Pavilions supermarket and three (3) inline general retail/food service buildings totaling 48,428 square feet. A shared parking lot with 541 parking spaces is provided.

The existing animal clinic at 21157 Newport Coast Drive was authorized through a Use Permit (UP2010-026) by the Planning Commission on November 18, 2010. The approval consisted of a 1,766-square-foot animal clinic for domestic pets in a tenant suite that was previously occupied by a real estate office. The outpatient facility was authorized to serve animals no larger than the largest breed of dogs with only critical patients kept longer overnight. Boarding of animals was not permitted at the facility. The hours of operation are from 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday. At the time of the approval, the clinic employed three full-time employees and two part-time employees, while assisting between five and 30 clients per day.

### **Project Description**

As noted in the summary, the applicant proposes to expand the existing 1,766-square-foot into the adjacent 1,500-square-foot suite resulting in a 3,266-square-foot clinic. The proposed operational characteristics of the expansion, including the hours of operation, match those of the originally approved clinic. Due to the expansion, the applicant will increase the staff to ten full-time employees and one part-time employee, while assisting between ten to 40 clients per day.

## **DISCUSSION**

### *General Plan*

The General Plan land use category for this site is Neighborhood Commercial (CN) which provides for a limited range of retail and service uses developed in one or more distinct centers oriented toward the needs of residential uses in the immediate area. The proposed animal clinic is consistent with this land use category and would primarily serve the local Newport Coast area.



### *Zoning Code*

The site is located in the Newport Ridge Planned Community (PC53) District with a land use designation of Commercial Village. The Commercial Village Sub-Area allows for animal clinics subject to the approval a use permit. The Newport Ridge Planned Community Text also refers to additional regulations of the Orange County Zoning Code (OCZC), Section 7-9-146.1, for the approval of an animal clinic. The OCZC does not provide for the administrative approval of a use permit, and thus, the proposed application requires consideration by the Planning Commission.

### *Local Coastal Plan*

The subject site is not located within the Coastal Zone.

### *Parking*

The shopping center requires one parking space for each 200 square feet of gross floor area or 519 total parking spaces for all uses within the shopping center pursuant to the Orange County Zoning Code (OCZC) and the approved Site Development Permit for the center.

Table 1: Required Parking

Square Feet	Parking Ratio	Spaces Required	Spaces Provided
103,660	1 / 200	519	537

The Site Development Permit allows for any combination of food service and retail uses. The approved Site Development Permit also does not establish a limit on food service within the shopping center. Pursuant to the OCZC, restaurants require parking at a one space per 100 square feet of gross floor area ratio and animal clinics require one parking space per 150 square feet of gross floor area. Although the parking ratio for animal clinics is higher, the OCZC allows for any combination of food service and retail uses and animal clinics fall into these categories. As a result, no additional parking is required for the use because the overall gross floor area of the shopping center is not increasing. Staff observation of the parking indicates that parking is available and the site provides 18 excess parking spaces than required.

### *Animal Nuisance*

Conditions of approval have been included to ensure that impacts to nearby residences and neighboring tenant spaces are minimized from potential nuisances resulting from animals. Condition Nos. 9 through 11 require sound abatement and the regulation of noise within the tenant suite. Animals are kept within the tenant suite and walked at the rear of the shopping center. Condition Nos. 22 through 25 require adequate maintenance of the exterior of the tenant suite, cleanup of animal waste, and the provision of trash

enclosures. Finally, Condition No. 35 requires the safe use of gases (such as oxygen for surgery) within the tenant space.

### Use Permit Findings

In accordance with Section 20.52.020.F (Conditional Use Permits and Minor Use Permits), the Planning Commission must make the following findings for approval for a conditional use permit:

1. *The use is consistent with the General Plan and any applicable specific plan.*
2. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning Code and the Municipal Code.*
3. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity.*
4. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.*
5. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

The proposed project is an expansion of an existing animal clinic in an existing shopping center. The existing animal clinic was previously authorized by the Planning Commission by Use Permit No. UP2010-026. The expanded animal clinic would maintain identical operational characteristics as the existing clinic. The City has received no complaints about the operation. Parking is sufficient for the entire shopping center, including the proposed expanded animal clinic, as 519 spaces are required and 537 spaces are provided. Therefore, the proposed animal clinic expansion is compatible with the allowed uses in the vicinity and would not be detrimental to the surrounding neighborhood.

As previously indicated, the proposed project includes uses consistent with the Neighborhood Commercial (CN) General Plan land use category. Staff believes that the expansion of an existing animal clinic use is compatible with the existing shopping center uses. As previously discussed, the expansion of an existing animal clinic would be consistent with the purpose and intent of the PC53 District.

Staff believes sufficient facts exist in support of each finding. The building is physically suitable and the location and area proposed are compatible with the neighborhood. The draft resolution includes conditions of approval to ensure that potential conflicts with the surrounding land uses are minimized to the greatest extent possible.

### Alternatives

1. The Planning Commission may suggest specific project modifications or operational changes that are necessary to alleviate concerns. Modifications may address the business operation plan. If the changes are substantial, the item should be continued to a future meeting to allow the changes to be incorporated.
2. If the Planning Commission believes that the facts to support the findings for approval are insufficient at this time, the Planning Commission may deny the application. Refer to the draft resolution for denial provided as Attachment No. PC 2.

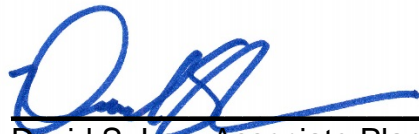
### Environmental Review

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

### Public Notice

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

Prepared by:



David S. Lee, Associate Planner

Submitted by:



Jim Campbell  
Deputy Community Development Director

### ATTACHMENTS

- PC 1 Draft Resolution with Findings and Conditions
- PC 2 Draft Resolution for Denial
- PC 3 Project Plans

INTENTIONALLY BLANK PAGE

# **Attachment PC 1**

Draft Resolution with Findings and Conditions



INTENTIONALLY BLANK PAGE

## **RESOLUTION NO. PC2020-008**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING CONDITIONAL USE PERMIT NO. 2019-060 FOR THE EXPANSION OF AN EXISTING ANIMAL CLINIC INTO AN ADJACENT SUITE LOCATED AT 21159 NEWPORT COAST DRIVE (PA2019-268)**

THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by John A. Giannone ("Applicant"), with respect to property located at 21157 and 21159 Newport Coast Drive, and legally described as Parcel 2 of Parcel Map No. 2000-160, in the City of Newport Beach, County of Orange, State of California, as shown on a map filed in Book 318, Pages 27 to 31 of parcel maps, in the office of the county recorder of said county ("Property") requesting approval of a use permit.
2. The Applicant proposes the expansion of an existing 1,766-square-foot animal clinic for domestic pets into the adjacent 1,500-square-foot suite. The expansion will result in a 3,266 square-foot clinic. The hours of operation are from 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday. Animals no larger than the largest breed of dogs will be given medical and surgical treatment and the facility is primarily for the treatment of outpatients. Only critical patients will be kept longer than 24 hours and boarding is not permitted at the facility. The Applicant expects to assist 10 to 40 clients per day.
3. The Property is designated Neighborhood Commercial (CN) by the Land Use Element of the City of Newport Beach General Plan ("General Plan") and is located within the Newport Ridge Planned Community (PC53).
4. The Property is not located within the coastal zone.
5. A public hearing was held on March 5, 2020 in the Council Chambers at 100 Civic Center Drive, Newport Beach, California. A notice of time, place and purpose of the hearing was given in accordance with Government Code Section 54950 *et seq.* ("Ralph M. Brown Act") and Chapter 20.62 (Public Hearings) of the Newport Beach Municipal Code ("NBMC"). Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

2. Class 1 includes interior or exterior alterations to existing facilities. The proposed project is located within an existing retail tenant space and will only require minor improvements.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.020 (Conditional Use Permits and Minor Use Permits) of the NBMC, the following findings and facts in support of such findings are set forth:

#### Finding:

*A. The use is consistent with the General Plan and any applicable specific plan.*

#### Fact in Support of Finding:

1. The General Plan land use designation for this site is CN (Neighborhood Commercial). The CN designation is intended to provide for a limited range of retail and service uses developed in one or more distinct centers oriented to serve the needs of and maintain compatibility with residential uses in the immediate area. An animal clinic is consistent with this land use designation.

#### Finding:

*B. The use is allowed within the applicable zoning district and complies with all other applicable provisions of Title 20 (Planning and Zoning), and the NBMC.*

#### Facts in Support of Finding:

1. The project is located in the Commercial Village sub-area of PC53 (Newport Ridge Planned Community), which is intended to provide for a variety of local commercial uses, facilities supporting the surrounding community, and the opportunity for multifamily residential uses. Local commercial uses within the Commercial Village may include retail sales, local services, and limited professional and administrative office uses.
2. The Commercial Village Sub-Area allows for animal clinics subject to the approval a use permit. The Newport Ridge Planned Community Text also refers to additional regulations of the Orange County Zoning Code (OCZC), Section 7-9-146.1, for the approval of an animal clinic. The OCZC does not provide for the administrative approval of a use permit, and thus, the proposed application requires consideration by the Planning Commission.
3. One parking space for each 200 square feet of gross floor area is required for the shopping center pursuant to the Orange County Zoning Code (OCZC) and the approved Site Development Permit for the center. The approved Site Development Permit does not establish a limit on food service floor area within the shopping center. Pursuant to the OCZC, the parking requirement for an animal clinic is one parking space per 150 square feet of gross floor area, which is less than the parking

requirement for a restaurant (one space per 100 square feet of gross floor area). Though the parking requirement for the animal clinic is higher than the requirement for retail uses (one space per 200 square feet), the approved Site Development Permit allows for any combination of food service and retail. Therefore, since the required parking for an animal clinic is less than what is required for a food service use, the required parking spaces are provided for the proposed clinic expansion.

4. Tenant improvements to the existing tenant space are interior and will require issuance of applicable building permits. No changes to the existing gross floor area or building footprint are proposed.

Finding:

*C. The design, location, size, operating characteristics of the use are compatible with the allowed uses in the vicinity.*

Facts in Support of Finding:

1. The existing shopping center provides a variety of retail, service, and restaurant uses, which serve the surrounding residential community. The proposed project seeks to expand an existing animal clinic, which will serve the surrounding community and visitors to the area in an expanded capacity.
2. The existing shopping center is surrounded by a residential neighborhoods to the east and south, and public facilities to the north and west. A larger residential community is also located further west beyond the public facility. The proposed use is compatible with the uses in the vicinity as it will serve residents with pets who need medical attention.
3. The operation of the animal clinic will be restricted to the hours between 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday.
4. The project includes conditions of approval to ensure that potential conflicts are minimized to the greatest extent possible. The animal clinic is located within an existing retail shopping center and conditions of approval are required to ensure that trash and noise do not negatively impact the neighboring tenant spaces and that the use of gases within the tenant space is done safely. To date, there is no evidence that the existing animal clinic has been incompatible with the other shopping center tenants.

Finding:

*D. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.*

Facts in Support of Finding:

1. The proposed tenant improvements would be limited to the inside of the existing tenant space and would not affect pedestrian circulation, parking spaces, or access to existing tenants.
2. Access to the existing shopping center is provided on San Joaquin Hills Road and Newport Coast Drive. No changes to emergency access are proposed and onsite circulation would not change.
3. The existing shopping center is adequately served by public services and utilities.
4. The design of the improvements will comply with all Building, Public Works, and Fire Codes, and plans will be reviewed prior to the issuance of building permits.

Finding:

*E. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

Facts in Support of Finding:

1. The proposed project is an expansion of an existing animal clinic which has operated since its original approval in 2010. The expanded area of the clinic will have an identical operation with expanded space for additional patients.
2. The Project includes conditions of approval to ensure that potential conflicts with the surrounding land uses and City as a whole are minimized to the greatest extent possible. The operator is required to take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance within the facility, adjacent properties, or surrounding public areas, sidewalks, or parking lots, during business hours, if directly related to the patrons of the business.
3. The hours of operation are compatible with the surrounding retail uses in the existing shopping center.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Planning Commission of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.



2. The Planning Commission of the City of Newport Beach hereby approves UP2019-060 subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 (Planning and Zoning), of the NBMC.

**PASSED, APPROVED, AND ADOPTED THIS 5<sup>TH</sup> DAY OF MARCH, 2020.**

AYES:

NOES:

ABSTAIN:

ABSENT:

BY: \_\_\_\_\_  
Peter Koetting, Chairman

BY: \_\_\_\_\_  
Lee Lowrey, Secretary

**EXHIBIT “A”**

**CONDITIONS OF APPROVAL**

SEE PC STANDARD CONDITIONS.DOC

*(Project-specific conditions are in italics)*

**Planning Division**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
4. *Use Permit No. UP2019-060 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the NBMC, unless an extension is otherwise granted.*
5. This Use Permit may be modified or revoked by the Planning Commission should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
6. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
7. *The hours of operation of the animal clinic shall be limited to between 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday.*
8. *All proposed signs shall be in conformance with the Newport Ridge Planned Community text and any City or County of Orange approved sign program.*
9. *Prior to implementation of the proposed operation, the Applicant shall install noise-abating material to both the interior walls and ceiling of the tenant space which abuts any neighboring tenant space that may be adversely impacted by operations of the facility. The proposed material shall be reviewed and approved by both the Planning and Building Departments for installation requirements.*

10. *The facility shall be air conditioned and sound attenuated. Air conditioning shall be sound attenuated so as to minimize noise from within the building.*
11. *Runs shall be in an air-conditioned and sound-attenuated building.*
12. *All facilities for the treatment and confinement of animals shall be designed, installed, or constructed and maintained in a manner meeting the approval of the Director, the Newport Beach Police Department, and Orange County Health Department.*
13. *The disposal of medical waste or any bi-products shall be subject to all local regulations governing the disposal of medical waste for the establishment, including the Orange County Health Department.*
14. *All employees are required to park on-site.*
15. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
16. Prior to the issuance of a building permit, the Applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Use Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Use Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
17. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
18. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) and all other applicable noise control requirements of the NBMC. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
Location	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

19. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the

current business owner, property owner or the leasing agent.

20. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
21. No outside paging system shall be utilized in conjunction with this establishment.
22. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes. All medical waste shall be properly disposed of.
23. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.
24. *The area outside of the establishment, including public sidewalks, walkways, and landscape areas, shall be maintained in a clean and orderly manner (including but not limited to pet nuisances). The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.*
25. The Applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14 (Water and Sewers) of the NBMC, including all future amendments (including Water Quality related requirements).
26. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. on weekdays and Saturdays and between the hours of 10:00 p.m. and 9:00 a.m. on Sundays and Federal holidays, unless otherwise approved by the Director of Community Development, and may require an amendment to this Use Permit.
27. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the NBMC to require such permits.

28. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 (Planning and Zoning) of the NBMC.
29. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Newport Animal Hospital Expansion including, but not limited to, UP2019-060 (PA2019-268). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **Building Division**

30. The Applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Approval from the Orange County Health Department is required prior to the issuance of a building permit.
31. Exits shall not pass through intervening rooms with lock doors, storage or utility areas, or any similarly used areas.
32. The construction plans must meet all applicable State Disabilities Access requirements.
33. *Prior to the issuance of a building permit, approval from the Orange County Health Department is required.*
34. *The X-Ray shielding shall be documented within the plans and shall comply with licensure requirements.*

### **Fire Department Conditions**

35. *All medical gases, such as oxygen with associated piping, shall be shown on the plans submitted for plan check.*



INTENTIONALLY BLANK PAGE

## **Attachment PC 2**

Draft Resolution for Denial

INTENTIONALLY BLANK PAGE

## **RESOLUTION NO. PC2020-008**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH, CALIFORNIA DENYING CONDITIONAL USE PERMIT NO. 2019-060 FOR THE EXPANSION OF AN EXISTING ANIMAL CLINIC INTO AN ADJACENT SUITE LOCATED AT 21159 NEWPORT COAST DRIVE (PA2019-268)**

THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by John A. Giannone ("Applicant"), with respect to property located at 21157 and 21159 Newport Coast Drive, and legally described as Parcel 2 of Parcel Map No. 2000-160, in the City of Newport Beach, County of Orange, State of California, as shown on a map filed in Book 318, Pages 27 to 31 of parcel maps, in the office of the county recorder of said county ("Property") requesting approval of a use permit.
2. The Applicant proposes the expansion of an existing 1,766-square-foot animal clinic for domestic pets into the adjacent 1,500-square-foot suite. The hours of operation are from 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday. The expansion will result in a 3,266 square-foot clinic. Animals no larger than the largest breed of dogs will be given medical and surgical treatment and the facility is primarily for the treatment of outpatients. Only critical patients will be kept longer than 24 hours and boarding is not permitted at the facility. The Applicant expects to assist 10 to 40 clients per day.
3. The Property is designated Neighborhood Commercial (CN) by the Land Use Element of the City of Newport Beach General Plan ("General Plan") and is located within the Newport Ridge Planned Community (PC53).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on March 5, 2020 in the Council Chambers at 100 Civic Center Drive, Newport Beach, California. A notice of time, place and purpose of the hearing was given in accordance with Government Code Section 54950 *et seq.* ("Ralph M. Brown Act") and Chapter 20.62 (Public Hearings) of the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. Pursuant to Section 15270 of the California Environmental Quality Act (CEQA) Guidelines, projects which a public agency rejects or disapproves are not subject to CEQA review.

### SECTION 3. REQUIRED FINDINGS.

The planning Commission may approve a use permit only after making each of the five required findings set forth in NBMC Subsection 20.52.020 (F) (Findings and Decision) of NBMC. In this case, the Planning Commission was unable to make the required findings based upon the following:

#### Findings for Conditional Use Permit:

- A. *The use is consistent with the General Plan and any applicable specific plan;*
- B. *The use is consistent with the applicable zoning district and complies with all other applicable provisions of Title 20 (Planning and Zoning) and the NBMC ;*
- C. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity;*
- D. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, nor endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

#### Facts Not in Support of Findings:

- 1. The Planning Commission determined, in this case, that the expansion of an existing animal clinic within the Newport Ridge Planned Community (PC53) district would not be consistent with the purpose and intent of the PC53 Planned Community Text nor Subsection 20.52.020 (Conditional Use Permits and Minor Use Permits) of the NBMC.
- 2. The applicant's request may lead to a proliferation of animal clinics within an existing shopping center.
- 3. The expansion of the existing animal clinic use may impact surrounding residential neighborhoods.

### SECTION 4. DECISION.

#### **NOW, THEREFORE, BE IT RESOLVED:**

- 1. The Planning Commission of the City of Newport Beach hereby denies Conditional Use Permit No. UP2019-060 subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
- 2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 (Planning and Zoning), of the NBMC.



**PASSED, APPROVED, AND ADOPTED THIS 5<sup>TH</sup> DAY OF MARCH, 2020.**

AYES:

NOES:

ABSTAIN:

ABSENT:

BY: \_\_\_\_\_  
Peter Koetting, Chairman

BY: \_\_\_\_\_  
Lee Lowrey, Secretary

## EXHIBIT "A"

### CONDITIONS OF APPROVAL

SEE PC STANDARD CONDITIONS.DOC

*(Project-specific conditions are in italics)*

#### **Planning Division**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
3. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
4. *Use Permit No. UP2019-060 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the NBMC, unless an extension is otherwise granted.*
5. This Use Permit may be modified or revoked by the Planning Commission should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
6. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
7. *The hours of operation of the animal clinic shall be limited to between 8:00 a.m. to 7:00 p.m., Monday through Friday and 8:00 a.m. to 3:00 p.m., Saturday.*
8. *All proposed signs shall be in conformance with the Newport Ridge Planned Community text and any City or County of Orange approved sign program.*
9. *Prior to implementation of the proposed operation, the applicant shall install noise-abating material to both the interior walls and ceiling of the tenant space which abuts any neighboring tenant space that may be adversely impacted by operations of the facility. The proposed material shall be reviewed and approved by both the Planning and Building Departments for installation requirements.*

10. *The facility shall be air conditioned and sound attenuated. Air conditioning shall be sound attenuated so as to minimize noise from within the building.*
11. *Runs shall be in an air-conditioned and sound-attenuated building.*
12. *All facilities for the treatment and confinement of animals shall be designed, installed, or constructed and maintained in a manner meeting the approval of the Director, the Newport Beach Police Department, and Orange County Health Department.*
13. *The disposal of medical waste or any bi-products shall be subject to all local regulations governing the disposal of medical waste for the establishment, including the Orange County Health Department.*
14. *All employees are required to park on-site.*
15. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
16. Prior to the issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Use Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Use Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
17. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
18. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) and all other applicable noise control requirements of the NBMC. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
Location	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

19. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the

current business owner, property owner or the leasing agent.

20. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
21. No outside paging system shall be utilized in conjunction with this establishment.
22. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes. All medical waste shall be properly disposed of.
23. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.
24. *The area outside of the establishment, including public sidewalks, walkways, and landscape areas, shall be maintained in a clean and orderly manner (including but not limited to pet nuisances). The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.*
25. The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14 (Water and Sewers) of the NBMC, including all future amendments (including Water Quality related requirements).
26. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. on weekdays and Saturdays and between the hours of 10:00 p.m. and 9:00 a.m. on Sundays and Federal holidays, unless otherwise approved by the Director of Community Development, and may require an amendment to this Use Permit.
27. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the NBMC to require such permits.

28. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 (Planning and Zoning) of the NBMC.
29. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Newport Animal Hospital Expansion including, but not limited to, UP2019-060 (PA2019-268). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **Building Division**

30. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Approval from the Orange County Health Department is required prior to the issuance of a building permit.
31. Exits shall not pass through intervening rooms with lock doors, storage or utility areas, or any similarly used areas.
32. The construction plans must meet all applicable State Disabilities Access requirements.
33. *Prior to the issuance of a building permit, approval from the Orange County Health Department is required.*
34. *The X-Ray shielding shall be documented within the plans and shall comply with licensure requirements.*

### **Fire Department Conditions**

35. *All medical gases, such as oxygen with associated piping, shall be shown on the plans submitted for plan check.*

INTENTIONALLY BLANK PAGE

# **Attachment PC 3**

Project Plans

INTENTIONALLY BLANK PAGE



GENERAL NOTES	T24-ENERGY NOTES	FIRE DEPT NOTES	AGENCY RESPONSE NOTES	ABBREVIATIONS	SHEET INDEX																																																																																																																																																																																																																																																																																																																
<p>1. THESE DOCUMENTS ARE PROPERTY OF JOHN A. SALAT ARCHITECTS AND ARE REGISTERED/COPY RIGHT PROTECTED FROM BOTH REPRODUCTION AND MODIFICATION TO PROTECT MISUSE.</p> <p>2. CONTRACTOR SHALL CONFORMED TO ALL REQUIREMENTS SET FORTH FROM IRVINE COMPANY "ENHANCER" AND RELATED CONSTRUCTION PROVISIONS NOT MENTIONED IN THESE DOCUMENTS.</p> <p>3. THESE NOTES APPLY TO ALL DRAWINGS, UNLESS NOTED OTHERWISE. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES ARE TO BE BRING TO THE ATTENTION OF THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.</p> <p>4. ALL DRAWINGS AND SPECIFICATIONS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR IS TO SUPERVISE AND DIRECT THE WORK UNDER HIS CONTRACT AND IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR HIS CONSULTANTS ARE NOT TO INCLUDE INSPECTIONS OF REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS DURING CONSTRUCTION ARE TO BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH DESIGN CONCEPT AND CONTRACT DRAWINGS AND SPECIFICATIONS AND THEREFORE, THEY DO NOT QUANTIFY CONTRACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.</p> <p>5. CONTRACTOR AND HIS SUBS SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS TO BE REMOVED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE SITE CONDITION.</p> <p>6. THE CONTRACTOR SHALL EXAMINE THE JOB SITE, CONFIRM ALL UTILITY LOCATIONS, SIZES, PRESSURES, ETC., AND PROTECT, RELOCATE, CONNECT OR REMOVE ALL NECESSARY FOR TOTAL PROJECT COMPLETION. VERIFY ALL DIMENSIONS AND LOCATIONS AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING WORK.</p> <p>7. ALL CONTRACTORS AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE CONTENTS OF ALL THE DRAWING AND ALL SPECIFICATION SECTIONS, REGARDLESS OF THEIR LICENSE CLASSIFICATION. NO REQUEST FOR CHANGE ORDER WILL BE CONSIDERED BASED UPON INFORMATION FOUND IN ONE AREA OF THE PLANS OR SPECIFICATIONS, AND NOT THE OTHER INFORMATION FOUND IN ONE PART OF THE PLANS SHALL BE DEEMED TO BE IN ALL SECTIONS.</p> <p>8. THE CONTRACT DOCUMENTS AND SPECIFICATIONS REPRESENT THE FINISH STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND SAFETY OF WORKMEN DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC., OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER. SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS AND DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES FOR THE ABOVE, UNLESS NOTED OTHERWISE.</p> <p>9. DO NOT SCALE DRAWINGS. PRINTED DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS AND LARGE SCALE OVER SMALL.</p> <p>10. ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE. PRIOR TO BID SUBMITTAL, PART OF THE CONSTRUCTION, AND/OR FABRICATION OF MATERIALS, IF DISCREPANCIES ARE ENCOUNTERED, OR CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.</p> <p>11. THE CONTRACT DOCUMENTS AND SPECIFICATIONS REPRESENT THE FINISH STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND SAFETY OF WORKMEN DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC., OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER. SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS AND DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES FOR THE ABOVE, UNLESS NOTED OTHERWISE.</p> <p>12. ALL VESTIBULES, CLOSETS, COLUMNS, PROJECTIONS, RECESSES OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREAS TO RECEIVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR, PROVIDE STUDS, OR FURNISH FULL LENGTH OF ROOM WALL WHERE REQUIRED TO ACCOMMODATE PLUMBING AND ELECTRICAL INSTALLATIONS, UNLESS NOTED OTHERWISE. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT TO PROVIDE ALL ACCESSORIES, MATERIALS AND INCIDENTALS NECESSARY FOR THE PROPER COMPLETION OF THEIR PORTION OF THE WORK. PROVIDE METAL GROUNDS WHERE PLASTER FINISH BUTTS OR LAPS OTHER MATERIALS. OUTSIDE BOARD MUST BE CONTINUOUS BEHIND CABINETS, FIXTURES, ETC. RECESSES FOR ELECTRICAL PANELS, HOSE REELS, ETC., IN STUD WALLS WHICH REQUIRE ONE HOUR FIRE PROTECTION MUST BE LINED WITH 5/8" TYPE "X" Gypsum BOARD. PROVIDE BACKING AS REQUIRED FOR ANY WALL SUPPORTED ITEM.</p> <p>13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BUILDING BAKING SLEEVES, FRAMING FOR LIGHT FIXTURES, ELECTRICAL LIGHTS, A/C EQUIPMENT, DRYER, CEILING TRACKS, PLUMBING EQUIPMENT, COUNTERS, HANDRAILS, AND ALL OTHER ITEMS REQUIRING BAKING SUPPORT.</p> <p>14. SEPARATE PERMITS ARE REQUIRED FOR FIRE SPRINKLER AND SHORING. ALL DEFERRED PERMITS SECURED BY CITY THROUGH THAT TRADESMEN OF THAT DISCIPLINE WHEN ITEMS ARE NOT IDENTIFIED ON THIS DRAWINGS. SECURE INSTRUCTIONS WITH INSPECTOR FOR SCOPE OF WORK. CONTACT ARCHITECT AND ENGINEER OF RECORD FOR ALL DEFERRED SUBMITTALS, SHOP DRAWINGS AND SPECIALIZED DISCIPLINE PART OF THIS SET OR CONTACT THE ARCHITECT AND ENGINEER FOR DISCREPANCIES, OMISSIONS OR OTHER ITEMS NOT CLEARLY ADDRESSED.</p> <p>15. PROVIDE OPENINGS AND SUPPORTS FOR MECHANICAL EQUIPMENT, DUCTS, PIPING, VENTS, ETC. AS REQUIRED. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL OPENINGS AND EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS. ALL SUSPENDED EQUIPMENT AND MATERIALS TO BE INSTALLED WITH APPROVED LATERAL BRACING. VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT BEFORE CONSTRUCTION OF ANY BASES OR FIDS TO SUPPORT SUCH EQUIPMENT. VERIFY ALL PLUMBING AND EQUIPMENT SIZES BEFORE BEGINNING CONSTRUCTION OF CABINETS.</p> <p>16. NOTIFY THE CITY AND ARCHITECT IN ADVANCE PRIOR TO PLACING CONCRETE OR COVERING UP WITH FINISHES.</p>	<p>1. REFER TO MECHANICAL AND ELECTRICAL T-24 SHEETS FOR ADDITIONAL INFORMATION NOT SHOWN.</p> <p>2. ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING AND HAVE MET T-24 REQUIREMENTS. REFER TO DOOR SCHEDULE FOR NEW INTERIOR AND EXISTING EXTERIOR CONDITIONS.</p> <p><b>T24-HANDICAP NOTES</b></p> <p>1. THESE PLANS SHALL COMPLY WITH THE LATEST TITLE 24 HANDICAP REQUIREMENTS WITH REGARDS TO HANDICAP PARKING, EXTERIOR PATH OF TRAVEL, BUILDING ENTRANCES AND INTERIOR PATHS OF TRAVEL COMPLIANCE, WORK AREA COMPLIANCE, COUNTER TOPS (287.5.4), REST ROOM AND SANITARY FACILITIES COMPLIANCE AND MISCELLANEOUS ITEMS SUCH AS TELEPHONE, SIGNAGE ETC. SEE SHEET D-1 FOR STANDARD HANDICAP T-24 NOTES AND DETAILS.</p> <p><b>CODE (GENERAL)</b></p> <p>GENERAL ALL NEW CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE 2016 EDITION OF THE CBC, CMC, CPC, AND CEC WITH ALL APPLICABLE CURRENT, COUNTY FIRE DEPARTMENT REQUIREMENTS.</p> <p>CALIFORNIA CODE COMPLIANCE: 2016 ABC AND 2016BCC (CAR - TITLE 24, PART 2) 2016 NEC AND 2016 BCC (CAR - TITLE 24, PART 2) 2016 FMC AND 2016 BCC (CAR - TITLE 24, PART 2) 2016 UPC AND 2016 BCC (CAR - TITLE 24, PART 2) 2016 UNIFORM FIRE CODE WITH STATE AMENDMENTS 2016 CALIFORNIA FIRE CODE (CAR - TITLE 24, PART 2) 2016 BUILDING STANDARDS CODE (STATE REFERENCED) STANDARD CODE - PART 12, TITLE 24, CAR)</p> <p>1. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE OWNER AND THE ARCHITECT ANY DISCREPANCIES WITH ALL EXISTING CONDITIONS TO BE REMOVED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE SITE CONDITION.</p> <p>2. CONTRACTOR SHALL COMPLY FULLY WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE, ALL LAWS AND ORDINANCES PERTINENT TO ALL WORK OF THIS PROJECT. IN CASE OF ANY CONFLICT WHEREIN THE METHOD OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN.</p> <p>3. ALL WORK SHALL COMPLY WITH TITLE 24 OF THE CODE OF REGULATIONS AND THE UNIFORM BUILDING CODE LATEST EDITION WITH CBC AMENDMENTS, AND ALL OTHER LOCAL OR STATE AGENCIES HAVING JURISDICTION OVER THIS PROJECT.</p> <p>4. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE CITY BY VENDOR OR SUBCONTRACTOR IN RESPONSIBLE IN CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAS BEEN APPROVED BY THE BUILDING OFFICIAL (CBC 106-3.4.2.2) AS FOLLOWS: THE LEAD SHIELDING REQUIREMENTS FOR THE X-RAY ROOM SHALL HAVE SEPARATE SUBMITTAL SUPPLIED BY EQUIPMENT VENDOR OR SPECIALIZED RADIATION LICENSED CONSULTANT TO SUBMIT A TECHNICAL SHEET, LETTER OR RECOMMENDATIONS TO SECURE SEPARATE PERMIT W/ CITY PRIOR PRIOR TO WORK OF INSTALLATION OF LEAD SHIELD OR OTHER MITIGATIONS OF RADIATION.</p> <p><b>CITY POLLUTANT ORDINANCE</b> THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAIN SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOLS PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET OR GUTTER OR STORM DRAIN SYSTEM.</p>	<p>1. FIRE SPRINKLER PLANS MUST BE REVIEWED AND APPROVED BY THE CITY OF NEWPORT BEACH. FIRE DEPARTMENT PRIOR TO THE SYSTEM MODIFICATIONS. SPRINKLER DRAWINGS TO BE SUBMITTED AND PERMIT ISSUE WITHIN TWO WEEKS FROM BUILDING PERMIT ISSUANCE.</p> <p>2. ANY MODIFICATIONS TO THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL COMPLY WITH THE UBC STANDARD NO. 36-1. SEPARATE PERMIT IS REQUIRED.</p> <p>3. INTERIOR WALLS AND CEILING FINISH FLAME SPREAD RATING SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.</p> <p>4. ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (UBC 1004.3) AND SHALL COMPLY WITH ALL LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.</p> <p>5. ALL DOORS SHALL HAVE A MINIMUM 60" LEVEL LANDING ON THE SWING SIDE OF THE DOOR AND 44" MINIMUM ON THE OPPOSITE SIDE (UBC 1004.9.2.1a) OR GREATER IF REQUIRED BY CODE.</p> <p>6. ALL DOOR HARDWARE SHALL BE LEVER TYPE OR PANIC BAR HARDWARE. (UBC1004.3.1)</p> <p>7. CONTRACTOR SHALL VERIFY THAT A MINIMUM OF 5 CFM OUTSIDE AIR AND TOTAL CIRCULATED AIR OF NOT LESS THAN 15 CFM PER OCCUPANT CAN BE PROVIDED.</p> <p>8. DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED ACCORDING TO THE APPLICABLE MECHANICAL CODE.</p> <p>9. EXIT ILLUMINATION SHALL BE MAINTAINED AS PER UBC SECTION 1012.</p> <p>10. FIRE SPRINKLER, SPRINKLER DRAWINGS TO BE SUBMITTED AND PERMIT ISSUED WITHIN TWO WEEKS FROM BUILDING PERMIT ISSUANCE.</p> <p>11. FIRE ALARM: FIRE ALARM DRAWINGS TO BE SUBMITTED AND PERMIT ISSUED WITHIN TWO WEEKS FROM BUILDING PERMIT ISSUANCE. COORDINATE AND CLASSIFICATIONS OF EXTINGUISHERS TO BE DETERMINED BY FIRE INSPECTOR AS NOTED ON PLANS.</p> <p>12. STORAGE, DISPOSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH CBC CODE REGULATIONS.</p> <p>13. DRAPES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION SHOULD BE PROVIDED. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS AND FIRE EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIALS.</p> <p>14. OCCUPANT LOAD SIGN, WITH MINIMUM ONE INCH LETTERS AND NUMBERS SHALL BE POSTED NEAR MAIN EXIT.</p> <p>15. BUILDING HAS BEEN INSTALLED/APPROVED FOR AUTOMATIC FIRE SPRINKLER SYSTEM MEETING AND IS MAINTAINED THROUGH DEVELOPER ASSOCIATION (NOT PART OF CONTRACT). CONTRACTOR IS RESPONSIBLE FOR AN INDEPENDENT SPRINKLER SUBCONTRACTOR TO RETROFIT EXISTING HEADS TO NEW DROPPED CEILING. (EXISTING SPRINKLER HEADS SHALL NOT BE CONCEALED IN ATTIC TO HAMPER PERFORMANCE AT SPACES BELOW). INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM SHALL BE APPROVED PRIOR TO THE INSTALLATION OR MODIFICATION. SPRINKLER HEADS TO ALIGN IN BOTH DIRECTIONS WITH CENTER OF CEILING GRID -ARCHITECT OR DESIGNER TO COORDINATE SPRINKLER DRAWINGS WITH ARCHITECTURAL DRAWINGS AND CEILING SPRINKLER DRAWINGS.</p> <p>16. SIGNS SHALL BE PLACED AT ENTRANCES TO WHERE HAZARDOUS MATERIAL ARE STORED, DISPENSE USED OR HANDLED IN QUANTITIES REQUIRING CFC PERMIT (CFC 800.7). THE SIGNS SHALL USE PLAIN LANGUAGE AND STATE THE HAZARDOUS PRESENT (e.g. CLASS 111-A COMBUSTIBLE LIQUID, IRRITANT LIQUID AND OTHER HEALTH HAZARD LIQUID), THE LETTERS OF WHICH SHALL BE A MINIMUM OF 1" IN SIZE. FOR CHEMICALS THAT ARE NOT CLASS 111-A COMBUSTIBLE LIQUID MUST REFLECT THE CORRECT HAZARDOUS CLASSIFICATION.</p> <p>17. PROVIDE SIGNS OF EACH "HAZARDOUS MATERIAL" DESIGNATION AS POSTED ON PLANS OR AS FIELD DIRECTED BY FIRE MARSHAL INSPECTOR IN CONJUNCTION TO THE OWNER PROVIDED "MATERIAL SAFETY DATA" SHEET FOR ITEMS RELATING TO THE POSSIBILITY OF CLASS 111-A COMBUSTIBLE LIQUID, IRRITANT LIQUID AND OTHER HEALTH HAZARDOUS LIQUIDS-ALL MUST REFLECT THE CORRECT HAZARDOUS CLASSIFICATION.</p> <p>18. PROVIDE "NO SMOKING" SIGNS AS POSTED ON PLANS OR AS FIELD DIRECTED BY FIRE MARSHAL INSPECTOR IN CONJUNCTION TO THE OWNER PROVIDED "MATERIAL SAFETY DATA" SHEET FOR ITEMS RELATING TO THE POSSIBILITY OF CLASS 111-A COMBUSTIBLE LIQUID, IRRITANT LIQUID AND OTHER HEALTH HAZARDOUS LIQUIDS-ALL MUST REFLECT THE CORRECT HAZARDOUS CLASSIFICATION.</p> <p>19. ALL SPRINKLER HEADS AT PUBLIC AREAS TO BE RECESSED</p>	<p><b>LANDLORDS REQUIRED SUB CONTRACTORS</b></p> <table><tbody><tr><td>Fire Sprinkler System (Choose One)</td><td>NL Fire Protection Company 13941 Nautilus Drive Garden Grove, CA 92648</td><td>Tom Dickson Phone: (714) 554-6132 Fax: (714) 554-9377</td></tr><tr><td>Roofing Put Back (Choose One)</td><td>DC Fire Protection 16772 Harper Street Midway City, CA 92655</td><td>Daniel Compt Phone: (714) 974-373-1800 Fax: (714) 991-6327</td></tr><tr><td>Roofing Inspector (Choose One)</td><td>RDAM Waterproofing 22982 La Colina, Suite 201 Laguna Hills, CA 92653</td><td>Mike Deane Phone: (714) 864-8719 Fax: (949) 855-1397</td></tr><tr><td>Roofing Inspector (Choose One)</td><td>Meas Roofing 2510 S. Macdonald Way, Suite 9 100 Anaheim, CA 92805</td><td>Richard Townsend Phone: (714) 632-0929</td></tr><tr><td>Roofing Inspector (Choose One)</td><td>San Marino Roofing 2187 N. Buena Vista Road Orange, CA 92665</td><td>Martha Richter Phone: (714) 974-3870 Fax: (714) 382-1177</td></tr><tr><td>Roofing Inspector (Choose One)</td><td>Independent Roofing Consultants 1761 E. Gary Avenue, Suite 100 Santa Ana, CA 92705</td><td>Jeff Star Phone: (949) 476-6626 Fax: (949) 476-0910</td></tr><tr><td>Mechanics Barrier</td><td>Advanced Concrete Restoration &amp; Waterproofing 1618 Hammer Road # 314 Fullerton, CA 92635</td><td>David Richardson Phone: (714) 493-3664</td></tr><tr><td>Mechanics Inspections</td><td>Mechanics Specialists 621 Via Alhambra, Suite 611 Costa Mesa, CA 92626</td><td>Chris Phone: (805) 987-5356 Fax: (805) 987-5968</td></tr><tr><td>Subs Engineers</td><td>NMG Geotechnical, Inc. 17991 Fitch Irvine, CA 92614</td><td>Bob Karlin Phone: (949) 442-2442 Fax: (949) 476-3848</td></tr><tr><td>Design Inspections</td><td>Reliant Testing Engineers 3015 S. Harbor Blvd. Santa Ana, CA 92704</td><td>Denise DeCoff Phone: (714) 556-5867 Fax: (714) 556-5868</td></tr><tr><td>Structural Engineers</td><td>J.S. Dyer &amp; Associates 8891 Research Drive Irvine, California 92618</td><td>Jeff Dyer Phone: (949) 296-8858 Fax: (949) 296-0768</td></tr><tr><td>Fire, Life &amp; Safety Systems</td><td>Greiner Alarm</td><td>Emma De Phone: (949) 399-2807</td></tr></tbody></table> <p>*IMPORTANT: It is a requirement that these consultants are engaged anytime the concrete slab is removed or replaced. The Tenant's contractor is to provide inspection documentation to the Fire Marshal Inspector, based whenever the mechanics barrier is penetrated or the re-encasement of the concrete. The re-encasement must be reviewed with the Tenant's consultant prior to re-open of concrete slab. Contact: Brandon Macks, Manager Tenant Coordination 949-720-4198.</p>	Fire Sprinkler System (Choose One)	NL Fire Protection Company 13941 Nautilus Drive Garden Grove, CA 92648	Tom Dickson Phone: (714) 554-6132 Fax: (714) 554-9377	Roofing Put Back (Choose One)	DC Fire Protection 16772 Harper Street Midway City, CA 92655	Daniel Compt Phone: (714) 974-373-1800 Fax: (714) 991-6327	Roofing Inspector (Choose One)	RDAM Waterproofing 22982 La Colina, Suite 201 Laguna Hills, CA 92653	Mike Deane Phone: (714) 864-8719 Fax: (949) 855-1397	Roofing Inspector (Choose One)	Meas Roofing 2510 S. Macdonald Way, Suite 9 100 Anaheim, CA 92805	Richard Townsend Phone: (714) 632-0929	Roofing Inspector (Choose One)	San Marino Roofing 2187 N. Buena Vista Road Orange, CA 92665	Martha Richter Phone: (714) 974-3870 Fax: (714) 382-1177	Roofing Inspector (Choose One)	Independent Roofing Consultants 1761 E. Gary Avenue, Suite 100 Santa Ana, CA 92705	Jeff Star Phone: (949) 476-6626 Fax: (949) 476-0910	Mechanics Barrier	Advanced Concrete Restoration & Waterproofing 1618 Hammer Road # 314 Fullerton, CA 92635	David Richardson Phone: (714) 493-3664	Mechanics Inspections	Mechanics Specialists 621 Via Alhambra, Suite 611 Costa Mesa, CA 92626	Chris Phone: (805) 987-5356 Fax: (805) 987-5968	Subs Engineers	NMG Geotechnical, Inc. 17991 Fitch Irvine, CA 92614	Bob Karlin Phone: (949) 442-2442 Fax: (949) 476-3848	Design Inspections	Reliant Testing Engineers 3015 S. Harbor Blvd. Santa Ana, CA 92704	Denise DeCoff Phone: (714) 556-5867 Fax: (714) 556-5868	Structural Engineers	J.S. Dyer & Associates 8891 Research Drive Irvine, California 92618	Jeff Dyer Phone: (949) 296-8858 Fax: (949) 296-0768	Fire, Life & Safety Systems	Greiner Alarm	Emma De Phone: (949) 399-2807	<table><tbody><tr><td>AB</td><td>ANCHOR BOLT</td><td>INT</td><td>INTERIOR</td></tr><tr><td>AC</td><td>ASPHALTIC CONCRETE</td><td>LONG</td><td>LONG (LENGTH)</td></tr><tr><td>ADJ</td><td>ADJUSTABLE</td><td>LAM</td><td>LAMINATED</td></tr><tr><td>AF</td><td>ABOVE FINISH FLOOR</td><td>LAV</td><td>LAVATORY</td></tr><tr><td>AL</td><td>ALUMINUM</td><td>LT</td><td>LIGHT</td></tr><tr><td>ANOD</td><td>ANODIZED</td><td>MAS</td><td>MASONRY</td></tr><tr><td>AP</td><td>ACCESS PANEL</td><td>MAX</td><td>MAXIMUM</td></tr><tr><td>BD</td><td>BOARD</td><td>MECH</td><td>MECHANICAL</td></tr><tr><td>BEL</td><td>BELLOW</td><td>MED</td><td>MEDIUM</td></tr><tr><td>BLOC</td><td>BUILDING BLOCK(ING)</td><td>MFR</td><td>METAL MANUFACTURE(ER)</td></tr><tr><td>BM</td><td>BEAM</td><td>MIN</td><td>MINIMUM</td></tr><tr><td>B</td><td>BOTTOM</td><td>MISC</td><td>MISCELLANEOUS</td></tr><tr><td>BRG</td><td>BEARING</td><td>MLC</td><td>MATERIAL(S)</td></tr><tr><td>BUS</td><td>BOTH SIDES</td><td>NAT</td><td>NATURAL</td></tr><tr><td>BUL</td><td>BULLETIN</td><td>NEW</td><td>NEW</td></tr><tr><td>BUR</td><td>BUILT UP ROOFING</td><td>NOT</td><td>NOT IN CONTRACT</td></tr><tr><td>CB</td><td>CATCH BASIN</td><td>NOM</td><td>NOMINAL</td></tr><tr><td>CL</td><td>CEILING JOIST</td><td>NTS</td><td>NOT TO SCALE</td></tr><tr><td>CLC</td><td>CEILING</td><td>OC</td><td>ON CENTER(S)</td></tr><tr><td>CLR</td><td>CLEARANCE</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr><tr><td>COL</td><td>COLUMN</td><td>OPNG</td><td>OPENING</td></tr><tr><td>CONC</td><td>CONCRETE</td><td>OPP</td><td>OPPOSITE</td></tr><tr><td>CONSTR</td><td>CONSTRUCTION</td><td>PLWOD</td><td>PLYWOOD</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>PSF</td><td>POUNDS PER SF</td></tr><tr><td>CONTRACTOR</td><td>CONTRACTOR</td><td>PSI</td><td>POUNDS PER SI</td></tr><tr><td>CR</td><td>CRACK</td><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr><tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS</td></tr><tr><td>DAM</td><td>DIAMETER</td><td>REF</td><td>REFERENCE</td></tr><tr><td>DN</td><td>DIMENSION</td><td>REIN</td><td>REINFORCE(MENT)</td></tr><tr><td>DOWN</td><td>DOWN</td><td>REIN</td><td>REINFORCE(MENT)</td></tr><tr><td>DR</td><td>DOWN</td><td>REQ</td><td>REQUIRED</td></tr><tr><td>DS</td><td>DOWNSPOUT</td><td>REVISION</td><td>REVISION(S)</td></tr><tr><td>DTL</td><td>DETAIL</td><td>RM</td><td>ROOM</td></tr><tr><td>E</td><td>EAST</td><td>RO</td><td>ROUGH OPENING</td></tr><tr><td>EA</td><td>EACH</td><td>SC</td><td>SOLID CORE</td></tr><tr><td>ELEV</td><td>ELEVATION</td><td>SEC</td><td>SECTION</td></tr><tr><td>EMER</td><td>EMERGENCY</td><td>SF</td><td>SQUARE FOOT</td></tr><tr><td>EQ</td><td>EQUAL</td><td>SHT</td><td>SHEET</td></tr><tr><td>EX</td><td>EXHAUST</td><td>SM</td><td>SIMILAR</td></tr><tr><td>EXP</td><td>EXISTING</td><td>SPEC</td><td>SPECIFICATION(S)</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>SQ</td><td>SQUARE</td></tr><tr><td>F</td><td>FLOOR</td><td>SYN</td><td>SYMMETRY(CAL)</td></tr><tr><td>FD</td><td>FLOOR DRAIN</td><td>T</td><td>TREAD, TOP</td></tr><tr><td>FAU</td><td>FORCED AIR UNIT</td><td>TEL</td><td>TELEPHONE</td></tr><tr><td>FIN</td><td>FINISH FLOOR</td><td>TEMP</td><td>TEMPERED</td></tr><tr><td>FJ</td><td>FLOOR JOIST</td><td>T&amp;G</td><td>TONGUE AND GROVE</td></tr><tr><td>FLC</td><td>FACE OF CONCRETE</td><td>THK</td><td>THICKNESS</td></tr><tr><td>FLO</td><td>FLOOR(ING)</td><td>TOP</td><td>TOP OF PARAPET</td></tr><tr><td>FOF</td><td>FACE OF FINISH</td><td>TOS</td><td>TOP OF SLAB</td></tr><tr><td>FOM</td><td>FACE OF MASONRY</td><td>TS</td><td>TOP OF STEEL</td></tr><tr><td>FOS</td><td>FACE OF STUDS</td><td>TW</td><td>TOP OF WALL</td></tr><tr><td>FV</td><td>FIELD VERIFY</td><td>TYP</td><td>TYPICAL</td></tr><tr><td>GA</td><td>GAUGE</td><td>UN</td><td>UNLESS OTHERWISE NOTED</td></tr><tr><td>GL</td><td>GALVANIZED IRON</td><td>VERT</td><td>VERTICAL</td></tr><tr><td>GR</td><td>GRASS</td><td>VIN</td><td>VINYL</td></tr><tr><td>GSB</td><td>GLUE LAMINATED BEAM</td><td>WC</td><td>WALL CLOSET</td></tr><tr><td>GYP</td><td>GYPSUM</td><td>WO</td><td>WOOD</td></tr><tr><td>H</td><td>HIGH (HEIGHT)</td><td>Ø</td><td>AT</td></tr><tr><td>HB</td><td>HOSE BIBB</td><td>Ø</td><td>OVER</td></tr><tr><td>HCB</td><td>HOLLOW CORE</td><td>Ø</td><td>ROUND</td></tr><tr><td>HDR</td><td>HEADER</td><td>W</td><td>WITH</td></tr><tr><td>HDW</td><td>HARDWARE</td><td>W/O</td><td>WITHOUT</td></tr><tr><td>HLM</td><td>HOLLOW METAL</td><td></td><td></td></tr><tr><td>HT</td><td>HORIZONTAL</td><td></td><td></td></tr><tr><td>HT</td><td>HEIGHT</td><td></td><td></td></tr><tr><td>IND</td><td>INSIDE DIAMETER</td><td></td><td></td></tr><tr><td>INCL</td><td>INCLUDE(D)</td><td></td><td></td></tr></tbody></table>	AB	ANCHOR BOLT	INT	INTERIOR	AC	ASPHALTIC CONCRETE	LONG	LONG (LENGTH)	ADJ	ADJUSTABLE	LAM	LAMINATED	AF	ABOVE FINISH FLOOR	LAV	LAVATORY	AL	ALUMINUM	LT	LIGHT	ANOD	ANODIZED	MAS	MASONRY	AP	ACCESS PANEL	MAX	MAXIMUM	BD	BOARD	MECH	MECHANICAL	BEL	BELLOW	MED	MEDIUM	BLOC	BUILDING BLOCK(ING)	MFR	METAL MANUFACTURE(ER)	BM	BEAM	MIN	MINIMUM	B	BOTTOM	MISC	MISCELLANEOUS	BRG	BEARING	MLC	MATERIAL(S)	BUS	BOTH SIDES	NAT	NATURAL	BUL	BULLETIN	NEW	NEW	BUR	BUILT UP ROOFING	NOT	NOT IN CONTRACT	CB	CATCH BASIN	NOM	NOMINAL	CL	CEILING JOIST	NTS	NOT TO SCALE	CLC	CEILING	OC	ON CENTER(S)	CLR	CLEARANCE	OD	OUTSIDE DIAMETER	COL	COLUMN	OPNG	OPENING	CONC	CONCRETE	OPP	OPPOSITE	CONSTR	CONSTRUCTION	PLWOD	PLYWOOD	CONT	CONTINUOUS	PSF	POUNDS PER SF	CONTRACTOR	CONTRACTOR	PSI	POUNDS PER SI	CR	CRACK	PVC	POLYVINYL CHLORIDE	DIAG	DIAGONAL	R	RADIUS	DAM	DIAMETER	REF	REFERENCE	DN	DIMENSION	REIN	REINFORCE(MENT)	DOWN	DOWN	REIN	REINFORCE(MENT)	DR	DOWN	REQ	REQUIRED	DS	DOWNSPOUT	REVISION	REVISION(S)	DTL	DETAIL	RM	ROOM	E	EAST	RO	ROUGH OPENING	EA	EACH	SC	SOLID CORE	ELEV	ELEVATION	SEC	SECTION	EMER	EMERGENCY	SF	SQUARE FOOT	EQ	EQUAL	SHT	SHEET	EX	EXHAUST	SM	SIMILAR	EXP	EXISTING	SPEC	SPECIFICATION(S)	EXT	EXTERIOR	SQ	SQUARE	F	FLOOR	SYN	SYMMETRY(CAL)	FD	FLOOR DRAIN	T	TREAD, TOP	FAU	FORCED AIR UNIT	TEL	TELEPHONE	FIN	FINISH FLOOR	TEMP	TEMPERED	FJ	FLOOR JOIST	T&G	TONGUE AND GROVE	FLC	FACE OF CONCRETE	THK	THICKNESS	FLO	FLOOR(ING)	TOP	TOP OF PARAPET	FOF	FACE OF FINISH	TOS	TOP OF SLAB	FOM	FACE OF MASONRY	TS	TOP OF STEEL	FOS	FACE OF STUDS	TW	TOP OF WALL	FV	FIELD VERIFY	TYP	TYPICAL	GA	GAUGE	UN	UNLESS OTHERWISE NOTED	GL	GALVANIZED IRON	VERT	VERTICAL	GR	GRASS	VIN	VINYL	GSB	GLUE LAMINATED BEAM	WC	WALL CLOSET	GYP	GYPSUM	WO	WOOD	H	HIGH (HEIGHT)	Ø	AT	HB	HOSE BIBB	Ø	OVER	HCB	HOLLOW CORE	Ø	ROUND	HDR	HEADER	W	WITH	HDW	HARDWARE	W/O	WITHOUT	HLM	HOLLOW METAL			HT	HORIZONTAL			HT	HEIGHT			IND	INSIDE DIAMETER			INCL	INCLUDE(D)			<p><b>ARCHITECTURAL</b></p> <p>A-1 COVER SHEET A-2 SITE PLAN A-3 FLOOR PLANS A-4 DEMO AND CEILING PLANS A-5 ROOF PLAN, SECTION AND EXTERIOR ELEVATION A-6 DOOR AND FINISH SCHEDULE D-1 HANDICAP DETAILS D-2 MISCELLANEOUS DETAILS D-3 MISCELLANEOUS DETAILS</p> <p><b>MECHANICAL/ELECTRICAL PLUMBING</b></p> <p>HVAC M1.0 GENERAL NOTES M2.0 HVAC DETAILS M1.1 HVAC FLOOR PLAN M1.2 HVAC ROOF PLAN</p> <p><b>ELECTRICAL</b> E0.1 GENERAL NOTES E0.2 ELECTRICAL SPECS E0.3 ELECTRICAL CERTIFICATES E0.4 T-24 ENERGY CERTIFICATES E1.1 ELECTRICAL LIGHTING PLAN E2.0 ELECTRICAL POWER PLAN</p> <p><b>PLUMBING</b> P0.1 GENERAL NOTES P0.2 PLUMBING SCHEDULE P0.3 PLUMBING DETAILS P1.1 PLUMBING WASTE &amp; VENT P1.2 PLUMBING HOT AND COLD WATER</p> <p><b>CONSULTANTS</b></p> <p><b>ARCHITECTURAL</b> JOHN A. SALAT Architects 22386 Woodgrove Rd, Lake Forest, CA 92630 ATTN: John Salat Email: freeingwinds@earthlink.net Ph 949-235-4847 Fax 949-859-8133</p> <p><b>T-24/HVAC/ELECTRICAL/PLUMBING ENGINEERING</b> Myint Aung, PE, LEED AP BD + C HVAC Electrical . Plumbing . Energy 4555 Larwin Ave., Cypress, CA 90630 ATTN: AUNG ENGINEERS Email: myint@aungengineers.com Ph 714- 349-9181</p> <p><b>CONTRACTORS</b></p> <p><b>GENERAL CONTRACTOR</b> COPA CONSTRUCTION #24212 26226 Enterprise Ct Lake Forest, CA 92630-8405 (949) 752-2525 ATTN: David Cole E-mail: david@copa.construction.com Ph (949) 752-2525 Fx (949) 770-9500</p>
Fire Sprinkler System (Choose One)	NL Fire Protection Company 13941 Nautilus Drive Garden Grove, CA 92648	Tom Dickson Phone: (714) 554-6132 Fax: (714) 554-9377																																																																																																																																																																																																																																																																																																																			
Roofing Put Back (Choose One)	DC Fire Protection 16772 Harper Street Midway City, CA 92655	Daniel Compt Phone: (714) 974-373-1800 Fax: (714) 991-6327																																																																																																																																																																																																																																																																																																																			
Roofing Inspector (Choose One)	RDAM Waterproofing 22982 La Colina, Suite 201 Laguna Hills, CA 92653	Mike Deane Phone: (714) 864-8719 Fax: (949) 855-1397																																																																																																																																																																																																																																																																																																																			
Roofing Inspector (Choose One)	Meas Roofing 2510 S. Macdonald Way, Suite 9 100 Anaheim, CA 92805	Richard Townsend Phone: (714) 632-0929																																																																																																																																																																																																																																																																																																																			
Roofing Inspector (Choose One)	San Marino Roofing 2187 N. Buena Vista Road Orange, CA 92665	Martha Richter Phone: (714) 974-3870 Fax: (714) 382-1177																																																																																																																																																																																																																																																																																																																			
Roofing Inspector (Choose One)	Independent Roofing Consultants 1761 E. Gary Avenue, Suite 100 Santa Ana, CA 92705	Jeff Star Phone: (949) 476-6626 Fax: (949) 476-0910																																																																																																																																																																																																																																																																																																																			
Mechanics Barrier	Advanced Concrete Restoration & Waterproofing 1618 Hammer Road # 314 Fullerton, CA 92635	David Richardson Phone: (714) 493-3664																																																																																																																																																																																																																																																																																																																			
Mechanics Inspections	Mechanics Specialists 621 Via Alhambra, Suite 611 Costa Mesa, CA 92626	Chris Phone: (805) 987-5356 Fax: (805) 987-5968																																																																																																																																																																																																																																																																																																																			
Subs Engineers	NMG Geotechnical, Inc. 17991 Fitch Irvine, CA 92614	Bob Karlin Phone: (949) 442-2442 Fax: (949) 476-3848																																																																																																																																																																																																																																																																																																																			
Design Inspections	Reliant Testing Engineers 3015 S. Harbor Blvd. Santa Ana, CA 92704	Denise DeCoff Phone: (714) 556-5867 Fax: (714) 556-5868																																																																																																																																																																																																																																																																																																																			
Structural Engineers	J.S. Dyer & Associates 8891 Research Drive Irvine, California 92618	Jeff Dyer Phone: (949) 296-8858 Fax: (949) 296-0768																																																																																																																																																																																																																																																																																																																			
Fire, Life & Safety Systems	Greiner Alarm	Emma De Phone: (949) 399-2807																																																																																																																																																																																																																																																																																																																			
AB	ANCHOR BOLT	INT	INTERIOR																																																																																																																																																																																																																																																																																																																		
AC	ASPHALTIC CONCRETE	LONG	LONG (LENGTH)																																																																																																																																																																																																																																																																																																																		
ADJ	ADJUSTABLE	LAM	LAMINATED																																																																																																																																																																																																																																																																																																																		
AF	ABOVE FINISH FLOOR	LAV	LAVATORY																																																																																																																																																																																																																																																																																																																		
AL	ALUMINUM	LT	LIGHT																																																																																																																																																																																																																																																																																																																		
ANOD	ANODIZED	MAS	MASONRY																																																																																																																																																																																																																																																																																																																		
AP	ACCESS PANEL	MAX	MAXIMUM																																																																																																																																																																																																																																																																																																																		
BD	BOARD	MECH	MECHANICAL																																																																																																																																																																																																																																																																																																																		
BEL	BELLOW	MED	MEDIUM																																																																																																																																																																																																																																																																																																																		
BLOC	BUILDING BLOCK(ING)	MFR	METAL MANUFACTURE(ER)																																																																																																																																																																																																																																																																																																																		
BM	BEAM	MIN	MINIMUM																																																																																																																																																																																																																																																																																																																		
B	BOTTOM	MISC	MISCELLANEOUS																																																																																																																																																																																																																																																																																																																		
BRG	BEARING	MLC	MATERIAL(S)																																																																																																																																																																																																																																																																																																																		
BUS	BOTH SIDES	NAT	NATURAL																																																																																																																																																																																																																																																																																																																		
BUL	BULLETIN	NEW	NEW																																																																																																																																																																																																																																																																																																																		
BUR	BUILT UP ROOFING	NOT	NOT IN CONTRACT																																																																																																																																																																																																																																																																																																																		
CB	CATCH BASIN	NOM	NOMINAL																																																																																																																																																																																																																																																																																																																		
CL	CEILING JOIST	NTS	NOT TO SCALE																																																																																																																																																																																																																																																																																																																		
CLC	CEILING	OC	ON CENTER(S)																																																																																																																																																																																																																																																																																																																		
CLR	CLEARANCE	OD	OUTSIDE DIAMETER																																																																																																																																																																																																																																																																																																																		
COL	COLUMN	OPNG	OPENING																																																																																																																																																																																																																																																																																																																		
CONC	CONCRETE	OPP	OPPOSITE																																																																																																																																																																																																																																																																																																																		
CONSTR	CONSTRUCTION	PLWOD	PLYWOOD																																																																																																																																																																																																																																																																																																																		
CONT	CONTINUOUS	PSF	POUNDS PER SF																																																																																																																																																																																																																																																																																																																		
CONTRACTOR	CONTRACTOR	PSI	POUNDS PER SI																																																																																																																																																																																																																																																																																																																		
CR	CRACK	PVC	POLYVINYL CHLORIDE																																																																																																																																																																																																																																																																																																																		
DIAG	DIAGONAL	R	RADIUS																																																																																																																																																																																																																																																																																																																		
DAM	DIAMETER	REF	REFERENCE																																																																																																																																																																																																																																																																																																																		
DN	DIMENSION	REIN	REINFORCE(MENT)																																																																																																																																																																																																																																																																																																																		
DOWN	DOWN	REIN	REINFORCE(MENT)																																																																																																																																																																																																																																																																																																																		
DR	DOWN	REQ	REQUIRED																																																																																																																																																																																																																																																																																																																		
DS	DOWNSPOUT	REVISION	REVISION(S)																																																																																																																																																																																																																																																																																																																		
DTL	DETAIL	RM	ROOM																																																																																																																																																																																																																																																																																																																		
E	EAST	RO	ROUGH OPENING																																																																																																																																																																																																																																																																																																																		
EA	EACH	SC	SOLID CORE																																																																																																																																																																																																																																																																																																																		
ELEV	ELEVATION	SEC	SECTION																																																																																																																																																																																																																																																																																																																		
EMER	EMERGENCY	SF	SQUARE FOOT																																																																																																																																																																																																																																																																																																																		
EQ	EQUAL	SHT	SHEET																																																																																																																																																																																																																																																																																																																		
EX	EXHAUST	SM	SIMILAR																																																																																																																																																																																																																																																																																																																		
EXP	EXISTING	SPEC	SPECIFICATION(S)																																																																																																																																																																																																																																																																																																																		
EXT	EXTERIOR	SQ	SQUARE																																																																																																																																																																																																																																																																																																																		
F	FLOOR	SYN	SYMMETRY(CAL)																																																																																																																																																																																																																																																																																																																		
FD	FLOOR DRAIN	T	TREAD, TOP																																																																																																																																																																																																																																																																																																																		
FAU	FORCED AIR UNIT	TEL	TELEPHONE																																																																																																																																																																																																																																																																																																																		
FIN	FINISH FLOOR	TEMP	TEMPERED																																																																																																																																																																																																																																																																																																																		
FJ	FLOOR JOIST	T&G	TONGUE AND GROVE																																																																																																																																																																																																																																																																																																																		
FLC	FACE OF CONCRETE	THK	THICKNESS																																																																																																																																																																																																																																																																																																																		
FLO	FLOOR(ING)	TOP	TOP OF PARAPET																																																																																																																																																																																																																																																																																																																		
FOF	FACE OF FINISH	TOS	TOP OF SLAB																																																																																																																																																																																																																																																																																																																		
FOM	FACE OF MASONRY	TS	TOP OF STEEL																																																																																																																																																																																																																																																																																																																		
FOS	FACE OF STUDS	TW	TOP OF WALL																																																																																																																																																																																																																																																																																																																		
FV	FIELD VERIFY	TYP	TYPICAL																																																																																																																																																																																																																																																																																																																		
GA	GAUGE	UN	UNLESS OTHERWISE NOTED																																																																																																																																																																																																																																																																																																																		
GL	GALVANIZED IRON	VERT	VERTICAL																																																																																																																																																																																																																																																																																																																		
GR	GRASS	VIN	VINYL																																																																																																																																																																																																																																																																																																																		
GSB	GLUE LAMINATED BEAM	WC	WALL CLOSET																																																																																																																																																																																																																																																																																																																		
GYP	GYPSUM	WO	WOOD																																																																																																																																																																																																																																																																																																																		
H	HIGH (HEIGHT)	Ø	AT																																																																																																																																																																																																																																																																																																																		
HB	HOSE BIBB	Ø	OVER																																																																																																																																																																																																																																																																																																																		
HCB	HOLLOW CORE	Ø	ROUND																																																																																																																																																																																																																																																																																																																		
HDR	HEADER	W	WITH																																																																																																																																																																																																																																																																																																																		
HDW	HARDWARE	W/O	WITHOUT																																																																																																																																																																																																																																																																																																																		
HLM	HOLLOW METAL																																																																																																																																																																																																																																																																																																																				
HT	HORIZONTAL																																																																																																																																																																																																																																																																																																																				
HT	HEIGHT																																																																																																																																																																																																																																																																																																																				
IND	INSIDE DIAMETER																																																																																																																																																																																																																																																																																																																				
INCL	INCLUDE(D)																																																																																																																																																																																																																																																																																																																				
<p><b>ARCHITECTURAL SYMBOLS</b></p> <p><b>INTERIOR ELEVATION BUBBLE</b> SEE DOOR SCHEDULE AT SHEET A-5 DOOR KEY(E) DESIGNATION = EXISTING DOOR TO REMAIN DOOR SYMBOL DOOR MARK &amp; NUMBER</p> <p><b>BUILDING SECTION OR DETAIL BUBBLE</b> WALL TYPE PER SHEET A-3 WALL MARK</p> <p><b>REVISION DELTA</b> Delta Number for sequence of changer</p> <p><b>EQUIP. MARK</b> EQUIPMENT NUMBER, SEE "W" EQUIP. MARK FOR SCHEDULE</p>					<p><b>GENERAL PROJECT DATA</b></p> <p><b>TENANT</b> JOHN A. GIANNONE 5504 Seashore Drive, Newport Beach, CA 92663 CELL 203-561-7490 HOME 949-706-5092 E-MAIL: DRJAG1@GMAIL.COM</p> <p><b>PROPERTY ADDRESS</b> 21159 NEWPORT COAST DR NEWPORT BEACH, CA 92657</p> <p><b>LEGAL DESCRIPTION</b> LEGAL DESCRIPTION: PARCEL 1, lot 4 PARCEL MAP #2000-160 COUNTY OF ORANGE STATE OF CALIFORNIA</p> <p><b>BUILDING OWNER/PROPERTY MGR</b> Irvine Company Retail properties, Inc. 100 Innovation Drive Irvine, CA 92617 Owner Rep:Timothy Murphy: Tenant Coordinator E-Mail: tmurphy@irvinecompany.com P (949) 720-3152 F:(949) 720-2303</p> <p><b>PROPERTY OWNER (LEASED LAND)</b> Piazza Manor Associates 500 Newport Center Dr #440 Newport Beach, CA 92660 Attn: John Flynn</p> <p><b>WORK DESCRIPTION (TENANT IMPROVEMENT ONLY)</b> PROPOSING A DOMESTIC PET CLINIC EXPANSION FROM EXISTING UNIT #21157 INTO ADJACENT UNIT #21159. THE SINGLE STORY TENANT IMPROVEMENT WORK INVOLVES INSIDE THE EXISTING BUILDING 100A INTERIOR SHELL ONLY. THE UNIT EXPANSION IS EMPTY (PRE-DEMO) AND WILL RESTORE SPACE WITHIN (E) SHELL FOR ADDING NEW DIVISION WALLS FOR (N) ROOMS AND RECONFIGURE SPRINKLER SYSTEM (NO EXTERIOR WORK SINCE WALL KEEP ADJACENT UNIT SIGN)</p>																																																																																																																																																																																																																																																																																																																
<p><b>IRVINE COMPANY NOTES</b></p> <p>1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH ALL LANDLORD REQUIREMENTS, CRITERIA AND RESTRICTIONS. ALL WORK PERFORMED AS A PART OF THE PROJECT MUST BE CAREFULLY COORDINATED WITH THE TENANT COORDINATOR AND BE IN FULL COMPLIANCE WITH ALL LANDLORD RESTRICTIONS. (REFER TO BUT NOT LIMITED TO TENANT DESIGN GUIDELINES AND EXHIBIT "C" PROVISIONS)</p> <p>2. WORK SHALL BE SUBJECT TO INSPECTION BY THE TENANT COORDINATOR FOR THE LANDLORD. ANY WORK FOUND NOT IN COMPLIANCE WITH GOOD CONSTRUCTION STANDARDS SHALL BE CORRECTED WITHOUT ADDITIONAL COST TO THE LANDLORD.</p> <p>3. ALL CONTRACTORS SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF OPERATION FOR THE PURPOSES OF DELI- VERY AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS, TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATION. ACCEPTABLE WORKING HOURS SHALL BE: 10:00 PM TO 7:00AM UNLESS FIRE-APPROVED BY THE TENANT COORDINATOR.</p> <p>4. PERFORM ALL WORK IN A GOOD AND WORKMANLIKE MANNER AND PROSECUTE TO COMPLETION WITH ALL DUE DILIGENCE. TIME IS OF THE ESSENCE WITH RESPECT TO THE WORK PERFORMED UNDER THIS CONTRACT.</p> <p>5. PERFORM ALL CUTTING AND PATCHING IN A NEAT AND WORKMANLIKE MANNER. ALL EXISTING MATERIALS AND/OR FINISHES THAT ARE TO REMAIN AND ARE DISTURBED OR DAMAGED BY THE CONTRACTOR DURING THE COURSE OF THE WORK SHALL BE REPLACED/REPAIRED IN KIND AND FINISH TO MATCH ADJACENT EXISTING CONDITIONS AT THE CONTRACTOR'S COST.</p>					<p><b>AREA CALCULATIONS:</b></p> <table><tbody><tr><td>AREA TO REMAIN- NO WORK AS PERMITTED BACK IN 2011</td><td>AREA OF WORK (PORTION INCLUDED IN THIS SCOPE 2019)</td></tr><tr><td>TOTAL EXISTING GROSS AREA FOR UNIT SPACE 1,637 SF</td><td>TOTAL NEW GROSS AREA FOR UNIT SPACE 1,500 SF</td></tr><tr><td>LOBBY 445 SF (+)</td><td>EXIT LOBBY 300 SF (+)</td></tr><tr><td>STAFF 1,055 SF (+)</td><td>STAFF 1,150 SF (+)</td></tr><tr><td>TOTAL NET SQUARE FOOTAGE (INSIDE WALLS) 1,500 SF (+)</td><td>TOTAL NET SQUARE FOOTAGE (INSIDE WALLS) 1,450 SF (+)</td></tr><tr><td>TOTAL GROSS SQUARE FOOTAGE 1,637 SF (+)</td><td>TOTAL GROSS SQUARE FOOTAGE 1,500 SF (+)</td></tr></tbody></table> <p><b>PARKING SUMMARY:</b> (INFO PROVIDED BY IRVINE COMPANY FOR ENTIRE COMPLEX)</p> <table><tbody><tr><td>USES</td><td>SQUARE FEET</td><td>RATIO</td><td>SPACE PROVIDED</td><td>SPACE REQUIRED</td></tr><tr><td>ALL RETAIL USES</td><td>103,660</td><td>1/200</td><td>537</td><td>519</td></tr></tbody></table> <p>EXTRA SPARE STALLS 18</p>	AREA TO REMAIN- NO WORK AS PERMITTED BACK IN 2011	AREA OF WORK (PORTION INCLUDED IN THIS SCOPE 2019)	TOTAL EXISTING GROSS AREA FOR UNIT SPACE 1,637 SF	TOTAL NEW GROSS AREA FOR UNIT SPACE 1,500 SF	LOBBY 445 SF (+)	EXIT LOBBY 300 SF (+)	STAFF 1,055 SF (+)	STAFF 1,150 SF (+)	TOTAL NET SQUARE FOOTAGE (INSIDE WALLS) 1,500 SF (+)	TOTAL NET SQUARE FOOTAGE (INSIDE WALLS) 1,450 SF (+)	TOTAL GROSS SQUARE FOOTAGE 1,637 SF (+)	TOTAL GROSS SQUARE FOOTAGE 1,500 SF (+)	USES	SQUARE FEET	RATIO	SPACE PROVIDED	SPACE REQUIRED	ALL RETAIL USES	103,660	1/200	537	519																																																																																																																																																																																																																																																																																										
AREA TO REMAIN- NO WORK AS PERMITTED BACK IN 2011	AREA OF WORK (PORTION INCLUDED IN THIS SCOPE 2019)																																																																																																																																																																																																																																																																																																																				
TOTAL EXISTING GROSS AREA FOR UNIT SPACE 1,637 SF	TOTAL NEW GROSS AREA FOR UNIT SPACE 1,500 SF																																																																																																																																																																																																																																																																																																																				
LOBBY 445 SF (+)	EXIT LOBBY 300 SF (+)																																																																																																																																																																																																																																																																																																																				
STAFF 1,055 SF (+)	STAFF 1,150 SF (+)																																																																																																																																																																																																																																																																																																																				
TOTAL NET SQUARE FOOTAGE (INSIDE WALLS) 1,500 SF (+)	TOTAL NET SQUARE FOOTAGE (INSIDE WALLS) 1,450 SF (+)																																																																																																																																																																																																																																																																																																																				
TOTAL GROSS SQUARE FOOTAGE 1,637 SF (+)	TOTAL GROSS SQUARE FOOTAGE 1,500 SF (+)																																																																																																																																																																																																																																																																																																																				
USES	SQUARE FEET	RATIO	SPACE PROVIDED	SPACE REQUIRED																																																																																																																																																																																																																																																																																																																	
ALL RETAIL USES	103,660	1/200	537	519																																																																																																																																																																																																																																																																																																																	
<p><b>BUILDING KEY PLAN (UTILITY &amp; OCCUPANCY/EXIT REFERENCE)</b></p> <p>EXIT TO ALLEY 8 OCCUPANTS (REAR)</p> <p>BUSINESS 1,500 sq.ft.gross B OCCUPANCY 15 OCC @ 1/100</p> <p>EXIT TO P-LOT 8 OCCUPANTS (ENTRANCE)</p> <p>(E) ROOF ACCESS TO BUILDING</p> <p>(E) TRASH ENCLOSURE TO BUILDING</p> <p>(E) ELECTRIC ROOM &amp; METER LOCATION -SEE "E" SHEETS</p> <p>(E) GAS/WATER SUPPLY METER LOCATION -SEE "P" SHEETS</p> <p>FOR ENLARGED BUILDING PLAN, SEE COVER SHEET A-3</p> <p><b>LEGEND</b></p> <p>EXITS</p> <p>SUBJECT UNIT TENANT SPACE 21557</p> <p><b>BUILDING 100A KEY PLAN</b> SEE SITE PLAN SHEET A-2 FOR FULL LAYOUT</p>					<p><b>TENANT IMPROVEMENT NEWPORT ANIMAL HOSPITAL COVER PAGE</b></p> <p><b>OWNER/SITE ADDRESS:</b> JOHN A. GIANNONE 21159 NEWPORT COAST DR NEWPORT BEACH, CA 92657 PHONE: 203-561-7490</p> <p><b>DRAWN</b> J <b>CHECKED</b> J <b>DATE</b> 10/10/2019 <b>SCALE</b> 1/8"=1'-0" <b>JOB NO./NAME</b> 100A <b>SHEET</b> A-1</p> <p>1 OF 33 SHEETS</p>																																																																																																																																																																																																																																																																																																																

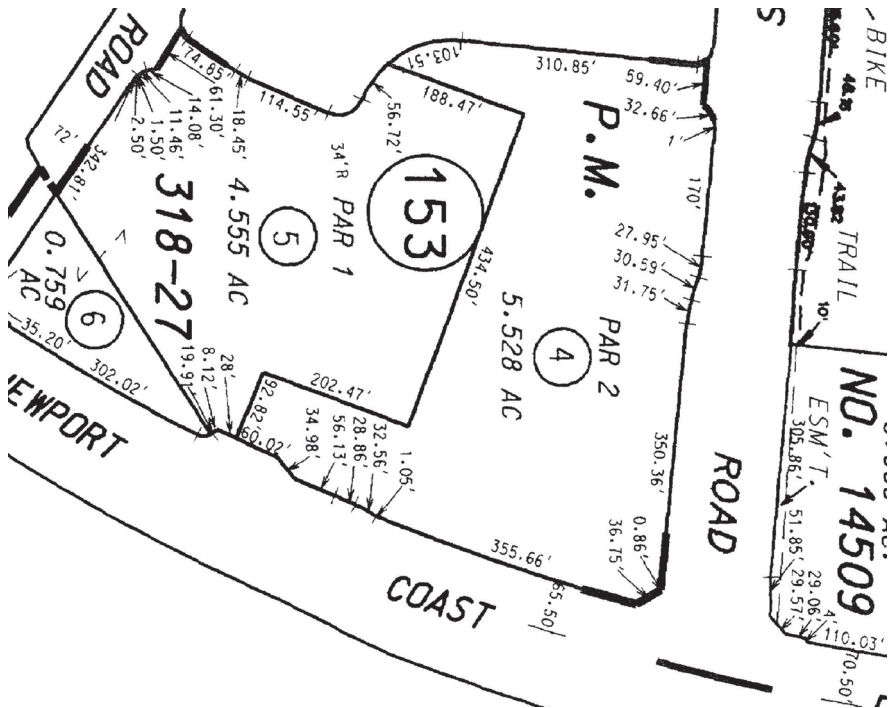
These documents are property of John A. Salat Architects and are registered/copy right protected from both reproduction and modification to protect misuse. It is unlawful/punishable and down to full extent of law from claims arising of legal expenses associated of misuse whether directly or indirectly related for these documents to this project. Drawings are not intended as record of actual installed construction, therefore make responsible for discrepancies.





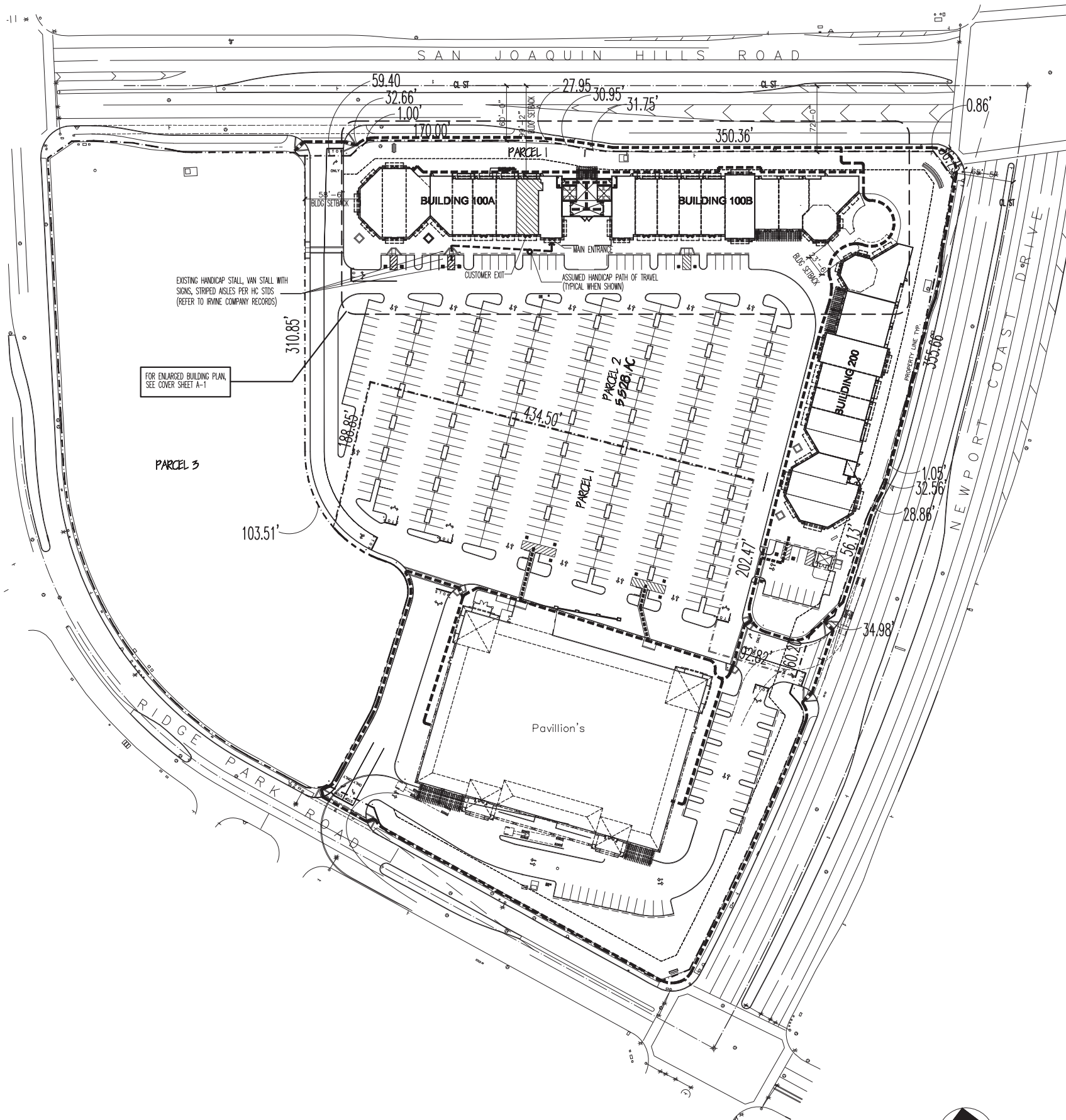
SITE PLAN ARIAL (REFERENCE ONLY)

NO SCALE: KEY PLAN



PARCEL MAP (REFERENCE ONLY)

NO SCALE:



OVERALL KEY SITE PLAN (REFERENCE ONLY-NO EXTERIOR WORK IN THIS CONTRACT)

SCALE: 1" = 60'-0"



NOTE: THIS SITE PLAN IS A REFERENCE SITE PLAN AND NOT TO BE USED FOR ANY OTHER PURPOSE OTHER THAN FOR T.I. SUBMITTAL (ARCHITECT TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DRAWINGS)

REVISIONS	NO.
1	CUP REVIEW 12-19-19

JOHN A. SALAT ARCHITECTS  
22366 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: john@zenarchitect.com  
zenarchitect.com

architect

TENANT IMPROVEMENT  
NEWPORT ANIMAL HOSPITAL  
EXISTING SITE PLAN

OWNER/SITE ADDRESS:  
JOHN A. GIANNONE  
21159 NEWPORT COAST DR  
NEWPORT BEACH, CA 92657  
PHONE: 203-561-7490



DRAWN	5
CHECKED	5
DATE	10-29-21
SCALE	AS NOTED
JOB NO./NAME	1017/01C
SHEET	

A-2

KEY WALL LEGEND

SEE ALSO SHT D-2 FOR GRAHICS AND TABELS

**A** NEW 2-1/2" METAL STUDS (20 GA) AT 16" O.C. W/ 5/8" TYPE "X" GYPSUM BOARD AT EA. SIDE W/ 2-1/2" SOUND BATT INSULATION -EXTEND HEIGHT 8" BEYOND CEILING LINE

**B** SOUND WALL  
EXISTING TENANT DIVISION WALL W/ EXISTING 6", 20 GA METAL STUDS AT 16" O.C. W/ (N) 5-1/2" SOUND BATT INSULATION INFILL INSIDE (E) CAVITY WITH (N) RSIC-1 (tm) 20 GA CLIPS AT 48" O.C. W/ 7/8" X 2-1/2" 25 GA RESILIENT CHANNELS AT 24" OC W/ (N) 2- LAYERS OF 5/8" FIRE CODE "C" GYP BD FULL HEIGHT FOR SOUND AND FIRE PROTECTION. PER UL U419 AND UL423 TEST FOR STC 58 BY PACT INTERNATIONAL AS ENTIRE APPROVED WALL ASSEMBLY -PROVIDE FULL CONTINUOUS ACOUSTIC CAULKING AT JOINTS, HOLES AND JUNCTURES FOR BOTH SOUND AND PERMANENT ODOR SEAL CONTROL BETWEEN UNITS  
NOTE: WHERE WALLS ARE CURRENTLY SEALED, SEE KEY NOTE "H (BELOW) FOR INSTRUCTIONS

**C** (E) 8" THK CONCRETE MASONRY UNITS W/ (N) 2-1/2" METAL (25 GA) FURRING AT INT. SIDE AT 24" O.C. W/ 5/8" GYPSUM BOARD INT. FINISH

**D** (N) 3-5/8" METAL STUDS (20 GA) AT 16" O.C. TYPE "X" 5/8" GYPSUM BOARD AT EA. SIDE (EXTENDED HEIGHT WALL)

**E** (E) STOREFRONT SYSTEM TO REMAIN. AT ADJACENT JAMBS, HEAD AND LOWER SILL - (E) 2 X 6 EXPOSED STUD WALL FRAMING W/ (E) BATT INSULATION INFILL W/ (N) 2-1/2" METAL (25 GA) FURRING AT INT. SIDE AT 24" O.C. W/ 5/8" GYPSUM BOARD INT. FINISH

**F** (E) STUD WALL AND FINISH TO REMAIN (SEE FINISH SCHEDULE FOR PAINTING)

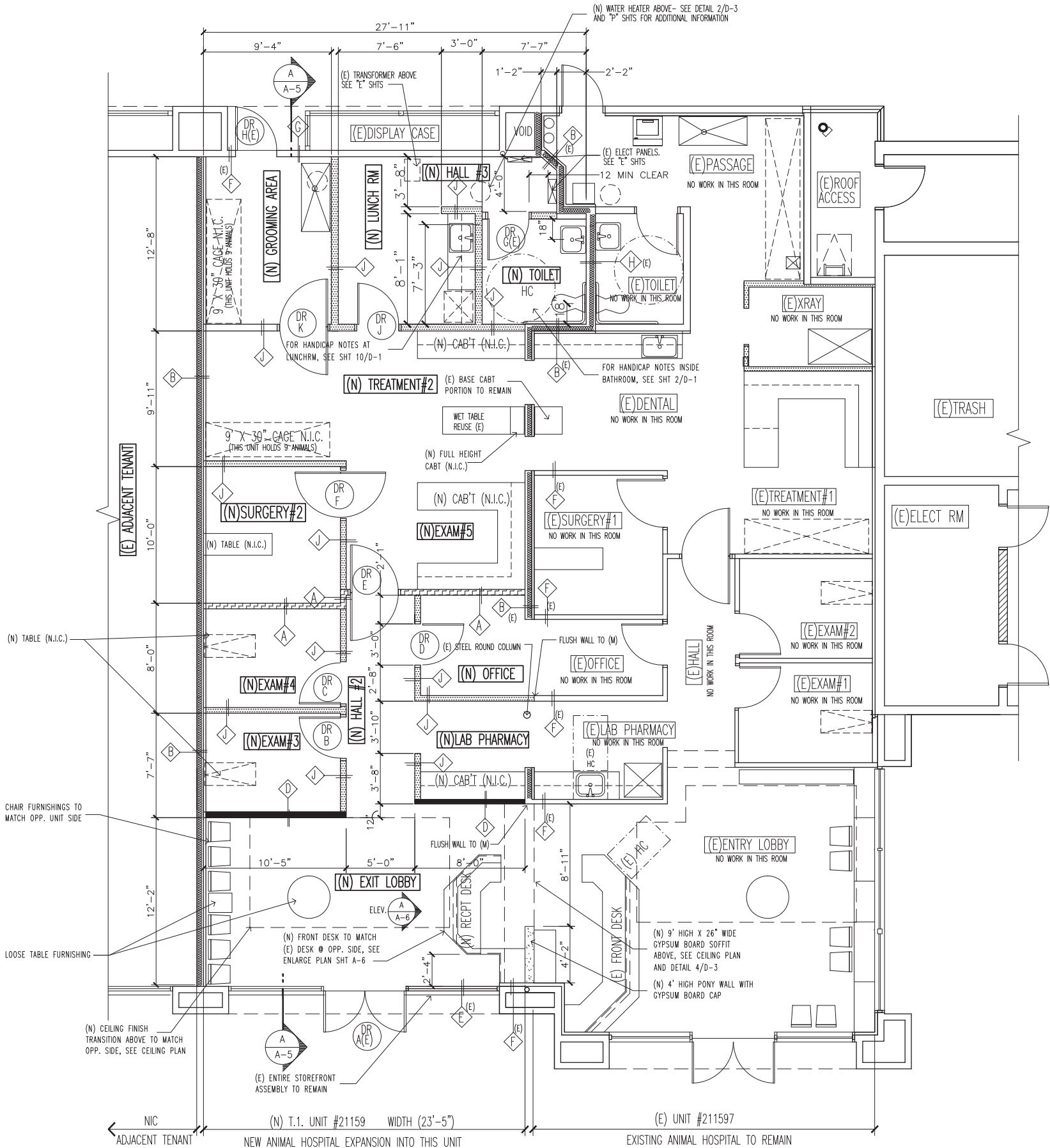
**G** (E) 2 X 6 EXPOSED STUD WALL FRAMING W/ (E) BATT INSULATION INFILL W/ (N) 2-1/2" METAL FURRING AT INTERIOR SIDE W/ 5/8" TYPE "X" GYP BOARD INTERIOR FINISH

**H** (E) PLUMBING WALL CURRENTLY SEALED

**J** NEW 2-1/2" METAL STUDS (20 GA) AT 16" O.C. W/ 5/8" TYPE "X" GYPSUM BOARD EA. SIDE -EXTEND HT 8" BEYOND CEILING LINE -AT X-RAY ROOM, SEE NOTE #6 BELOW FOR SUPPLEMENTAL MATERIALS

MISCELLANEOUS PLAN NOTES

1. REFER TO COVER SHEET FOR TYPICAL NOTES, LEGENDS AND SYMBOLS NOT SHOWN ON THIS PAGE
2. REFER TO "M","P", "E", & INT. SCHEDULE SHT FOR ADDITIONAL INFORMATION OF TRADES, DEMO, NOTES, & SPECS NOT SHOWN ON THIS SHT
3. SECURITY ALARM AND SOUND SYSTEM NOT ADDRESSED IN THESE DRAWINGS (N.I.C.) COORDINATE ALL LOW VOLTAGE SYSTEM WITH OWNER AND IRVINE COMPANY IF APPLICABLE W/ THIS PROJECT
4. EXTERIOR SIGNAGE:NONE REQUIRED FOR THIS PROJECT
5. FOR ALL SOUND ATTENUATED WALLS, (ENTIRE TENANT WALL) CAULK AND SEAL TIGHTLY ALL PENETRATIONS AND AT PERIMETERS FOR PERMANENT ODOR SEAL AND SOUND CONTROL BETWEEN UNITS
6. ANIMAL CAGE NOTE FOR BUILDING DEPATREMENT USE: 9' X 30" CAGE EACH UNIT HOLDS 9 ANIMALS (X2) MAKING A TOTAL OF 18 ON SITE



FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	NO.
1	CLIP REVIEW 12-19-19

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freeringmns@earthlink.net  
zenarchitect.com

architect

TENANT IMPROVEMENT

NEWPORT ANIMAL HOSPITAL

FLOOR PLAN

OWNER/SITE ADDRESS:  
JOHN A. GIANNONE  
21159 NEWPORT COAST DR  
NEWPORT BEACH, CA 92657  
PHONE: 203-561-7490



DRAWN	J5
CHECKED	J5
DATE	AS NOTED ABOVE
SCALE	AS NOTED
JOB NO./NAME	NO PET CLINIC
SHEET	

A-3

These documents are property of John A. Salat Architects and are registered/copy right protected from both reproduction and modification to protect misuse. It is unlawful/punishable and taken to full extent of law from claims arising of legal expenses associated of misuse weather directly or indirectly related to this project. Drawings are not intended as record or actual installed construction, therefore waive responsibility for discrepancies



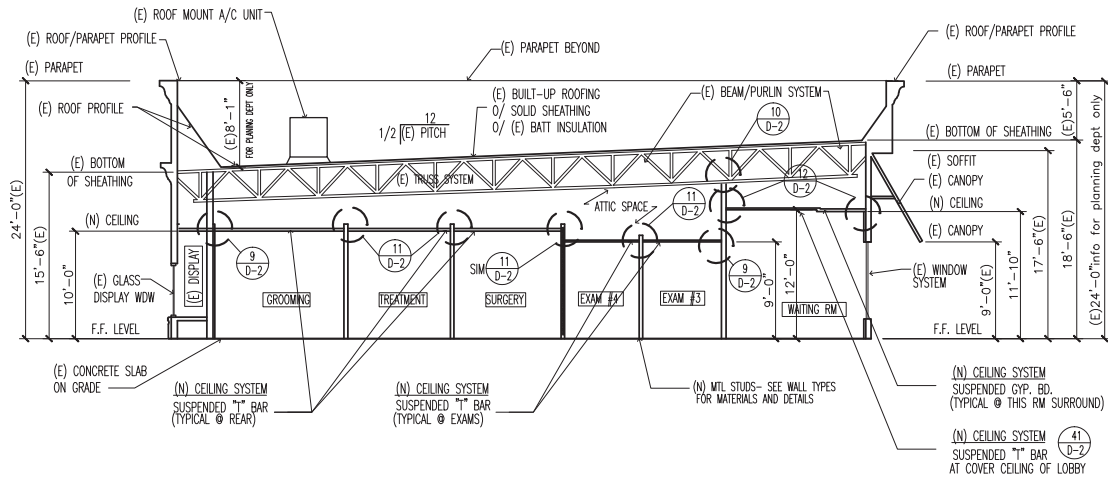


1 OF 36 SHEETS

These documents are property of John A. Solt Architects and are registered/copy right protected from both reproduction and modification to protect misuse. It is unlawful/punishable and taken to full extent of law from claims arising of legal expenses associated of misuse whether directly or indirectly related for these documents to this project. Drawings are not intended as record actual installed construction, therefore waive responsibility for discrepancies

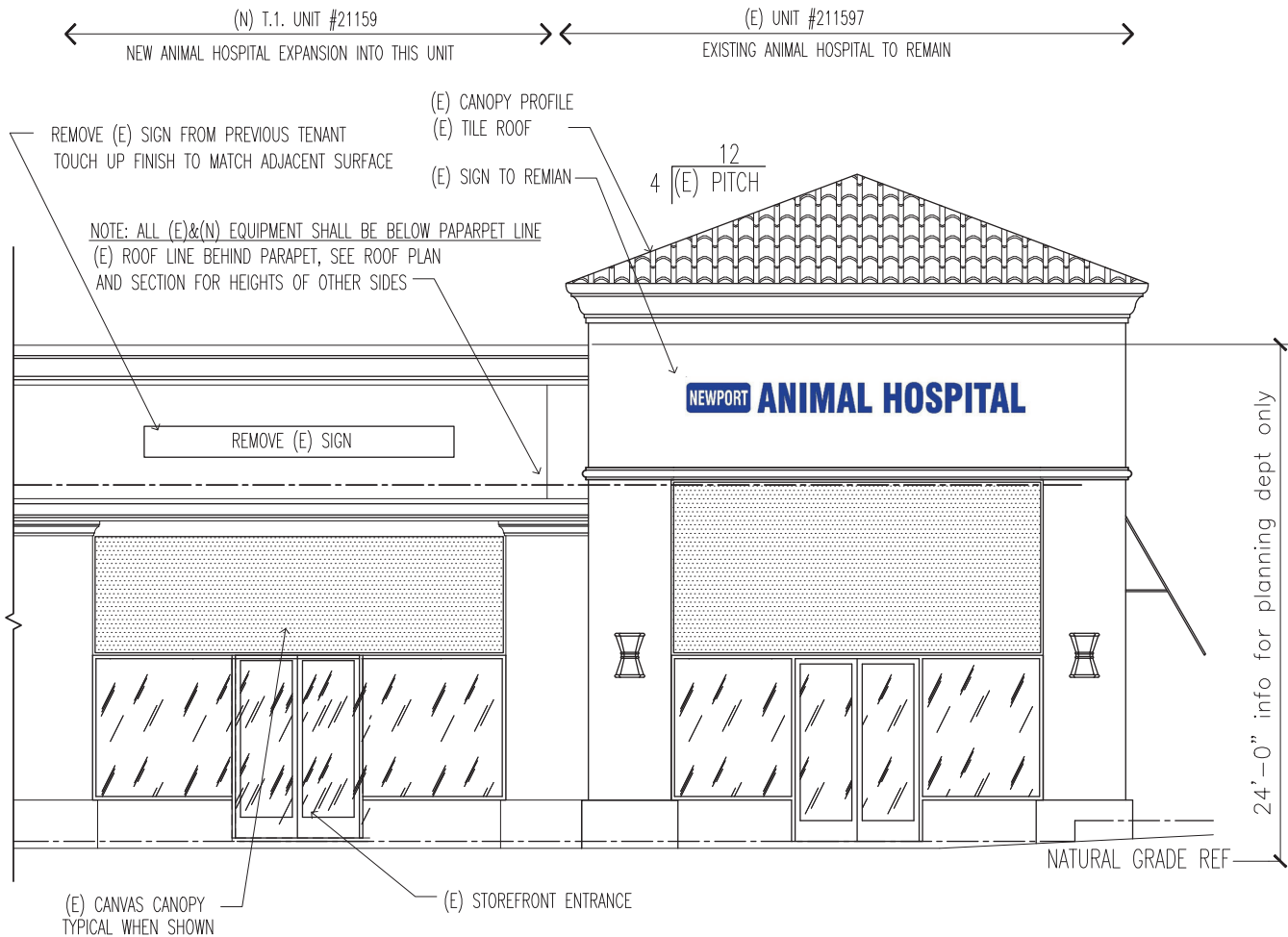


1 OF 27 SHEETS

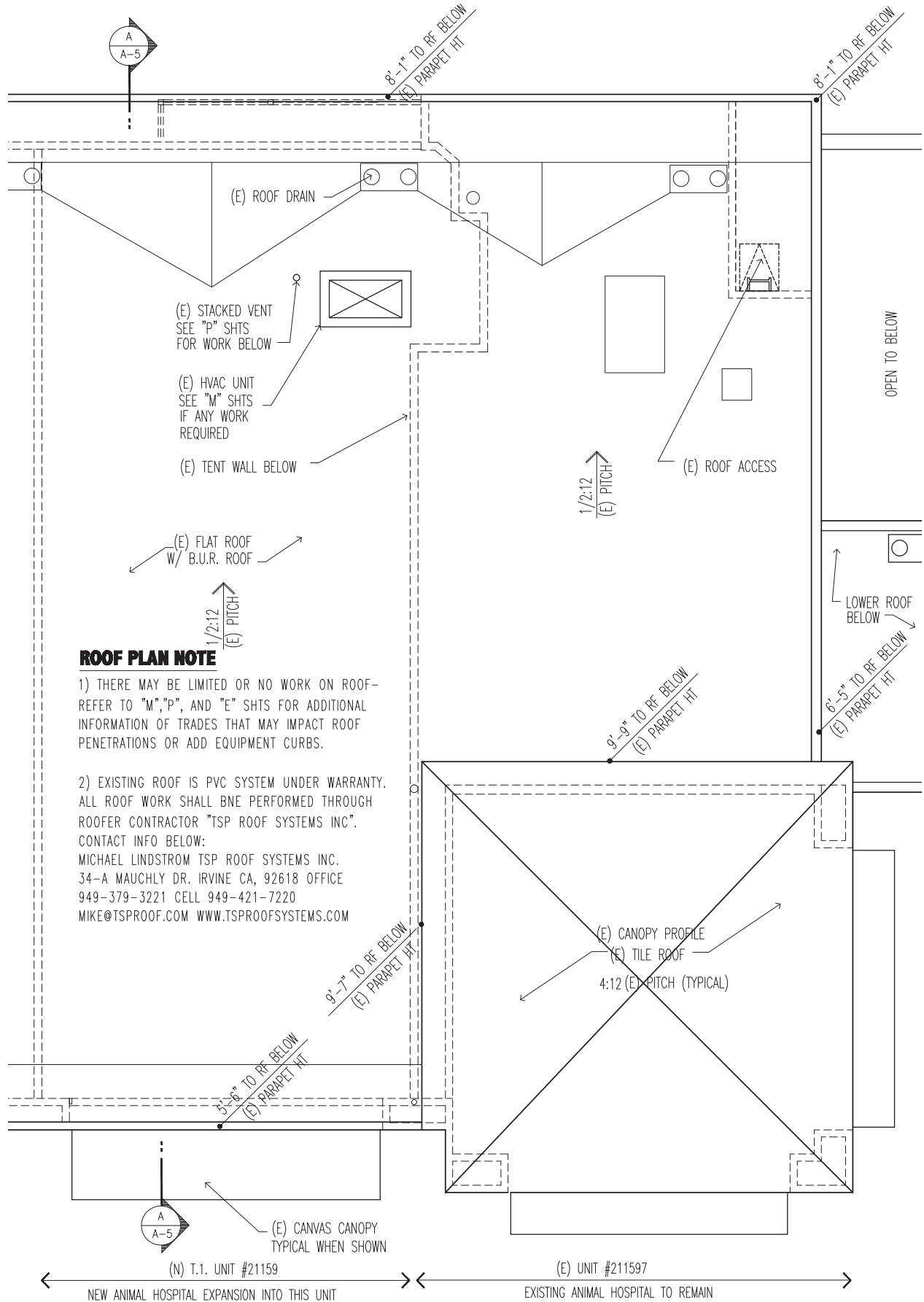


**BUILDING SECTION "A"**

SCALE: 1/8" = 1'-0"



**PARTIAL EXTERIOR ELEVATION** SCALE: 1/4" = 1'-0"  
NOTE: NO EXTERIOR WORK OTHER THAN PATCH REPAIR FROM SIGN REMOVAL (N.I.C.)



**ROOF PLAN NOTE**

- 1) THERE MAY BE LIMITED OR NO WORK ON ROOF- REFER TO "M","P", AND "E" SHTS FOR ADDITIONAL INFORMATION OF TRADES THAT MAY IMPACT ROOF PENETRATIONS OR ADD EQUIPMENT CURBS.
- 2) EXISTING ROOF IS PVC SYSTEM UNDER WARRANTY. ALL ROOF WORK SHALL BNE PERFORMED THROUGH ROOFER CONTRACTOR "TSP ROOF SYSTEMS INC". CONTACT INFO BELOW:  
MICHAEL LINDSTROM TSP ROOF SYSTEMS INC.  
34-A MAUCHLY DR. IRVINE CA, 92618 OFFICE  
949-379-3221 CELL 949-421-7220  
MIKE@TSPROOF.COM WWW.TSPROOFSYSTEMS.COM

**ROOF PLAN**

SCALE: 1/4" = 1'-0"

REVISIONS	NO.
1	CUP REVIEW 12-19-19

**JOHN A. SALAT ARCHITECTS**  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freerights@earthlink.net  
zenarchitect.com

**architect**

**TENANT IMPROVEMENT**  
**NEWPORT ANIMAL HOSPITAL**  
**ROOF PLAN, SECTION**  
**AND ELEVATIONS**

**OWNER/SITE ADDRESS:**  
**JOHN A. GIANNONE**  
**21159 NEWPORT COAST DR**  
**NEWPORT BEACH, CA 92657**  
**PHONE: 203-561-7490**



**DRAWN**  
**5**

**CHECKED**  
**5**

**DATE**  
**16 NOV 2019**

**SCALE**  
**16 NOV 2019**

**JOB NO./NAME**  
**16 NOV 2019**

**SHEET**

**A-5**

1 OF 38 SHEETS



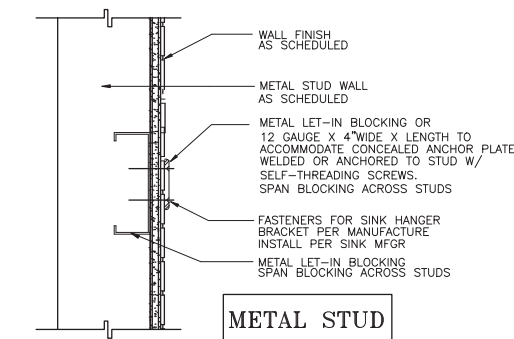


**T- 24 HANDICAP NOTES**

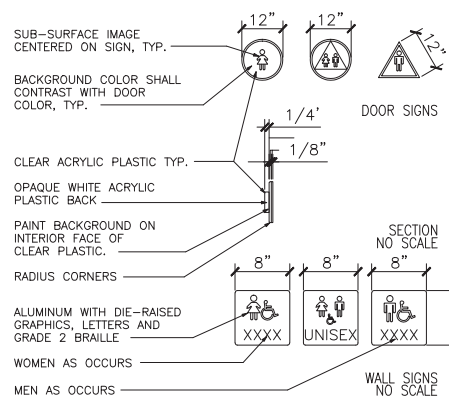
- THESE PLANS SHALL COMPLY WITH THE LATEST TITLE 24 HANDICAP REQUIREMENTS WITH REGARDS TO HANDICAP PARKING, EXTERIOR PATH OF TRAVEL, BUILDING ENTRANCES AND INTERIOR PATHS OF TRAVEL COMPLIANCE, WORK AREA COMPLIANCE, COUNTER TOPS (28"/34"), REST ROOM AND SANITARY FACILITIES COMPLIANCE AND MISCELLANEOUS ITEMS SUCH AS TELEPHONE, SIGNAGE ETC. SEE DETAILS ON THIS SHEET FOR STANDARD HANDICAP T-24 NOTES AND DETAILS FOR ADDITIONAL INFORMATION. -THE EXISTING PARKING LOT, PARKING STALL, EXTERIOR RAMPS AND PATHS COMPLY W/ T-24/CHAPTER, 11 CBC
- ABRUPT CHANGES IN THE LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2". WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2 TO 1 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL WHEN CHANGES IN LEVELS GREATER THAN 1/2" ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
- PASSAGES SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60 INCHES x 60 INCHES AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48 INCHES WIDE BY 44 INCHES DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 24 INCHES TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK. INTERIOR DOORS SHALL HAVE MINIMUM 18-INCHES PAST THE STRIKE EDGE OF DOORS.
- CHANGE IN FLOOR LEVEL AT DOOR/THRESHOLDS: THE FLOOR OF THE LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY AND CHANGE IN LEVEL BETWEEN 1/4 INCH AND 12 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2 TO 1. CHANGE IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP PER 1004.10 U.B.C. AND DETAIL 9 THIS PAGE
- EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOOR ARE USED, A 10-INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE MAXIMUM EFFORT REQUIRED TO OPEN ANY DOOR SHALL NOT EXCEED PRESSURE AS FOLLOWS: 5 LB FOR INTERIOR DOOR NON-RATED DOORS AND 15 POUNDS FOR FIRE RATED DOORS AND 8.5 POUNDS FOR EXTERIOR DOORS.
- DISPENSERS AND RECEPTACLES: WHERE RECEPTACLES AND OTHER SIMILAR DISPENSERS OCCUR, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40 INCHES (1016 mm) FROM THE 7. FINISH FLOOR
- SIGNS AND IDENTIFICATION: COLOR OF SYMBOL: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 5090 IN FEDERAL STANDARD 595a. EXCEPTION: THE APPROPRIATE ENFORCEMENT AGENCY MAY APPROVE SPECIAL 8. SIGNS AND IDENTIFICATION PROVIDING ADEQUATE DIRECTION TO DISABLED PERSONS.
- HAZARD AND PROTRUDING OBJECTS: OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO FURTHER THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES.
- FREESTANDING OBJECTS MOUNTED PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 TO 80 INCHES ABOVE THE FINISHED FLOOR.
- AT GROUND OR FINISHED FLOOR, PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.
- WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES, OR OTHER CIRCULATION SPACE SHALL HAVE 80 INCHES MINIMUM CLEAR HEAD ROOM.
- OVERHANG OBSTRUCTIONS. ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN'S WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION. WHERE A GUY SUPPORT IS USED PARALLEL TO THE PATH OF TRAVEL.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30-INCHES AND 44-INCHES ABOVE THE FLOOR.
- THE FOLLOWING APPLIES PER SECTION 1004.10 UBC A FLOOR OR LANDING MUST BE PROVIDED ON EACH SIDE OF A DOOR. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY WHEN ACCESS FOR PERSONS WITH DISABILITIES IS REQUIRED. EXTERIOR LANDINGS MAY HAVE A SLOPE OF 1/4 INCH PER FOOT OR LESS. LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NO LESS THAN FORTY-FOUR (44) INCHES.SEE ALSO DETAIL 9/D-1 FOR THRESHOLDS
- SURFACE SLOPES OF PARKING AREAS FOR THE DISABLED SHOULD BE MINIMAL BUT ARE REQUIRED NOT TO EXCEED 2% IN ANY DIRECTION.

**STANDARD T- 24 HANDICAP DETAILS**

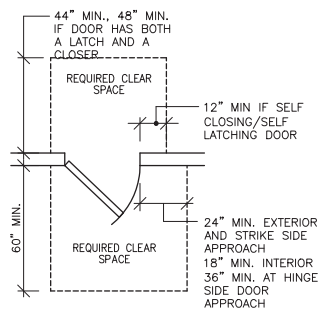
NO SCALE (INFORMATION FOR BUILDING DEPARTMENT USE--NOT ALL MAY APPLY TO THE SCOPE OF THIS PROJECT)



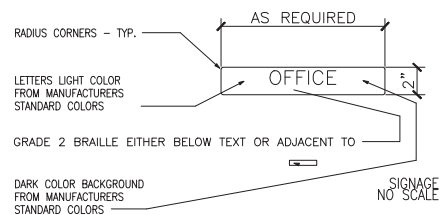
**4 SINK BRACKET SUPPORT**  
NO SCALE



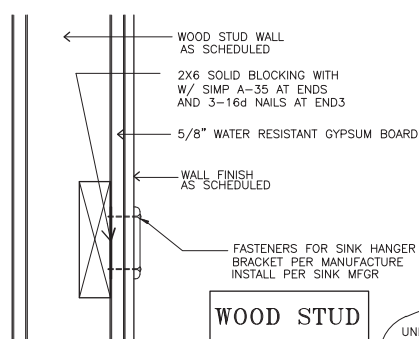
**5 TOILET ROOM SIGNAGE**  
NO SCALE



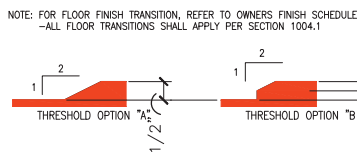
**6 SPACE AT DOORS**  
NO SCALE



**8 ROOM SIGNAGE**  
NO SCALE

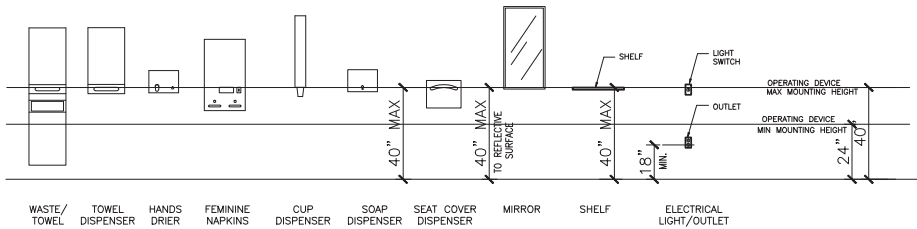


**9 DOOR THRESHOLD OPTIONS**  
NO SCALE

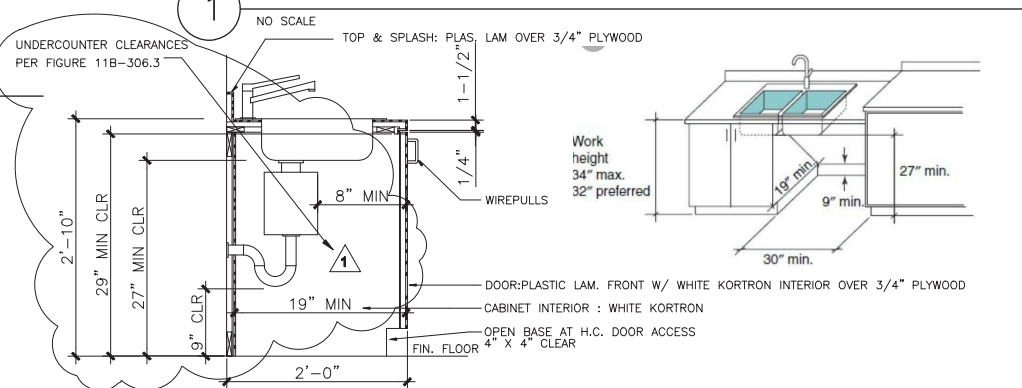


INSTALL PERMANENT IDENTIFICATION SIGNAGE ON THE WALL SURFACE ADJACENT TO THE LATCH SIDE OF THE DOOR AS SHOWN. AT DOUBLE DOORS, PLACE SIGNS ON THE RIGHT SIDE. THE MOUNTING LOCATION MUST ALLOW A PERSON TO APPROACH WITHIN 3" OF THE SIGN WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

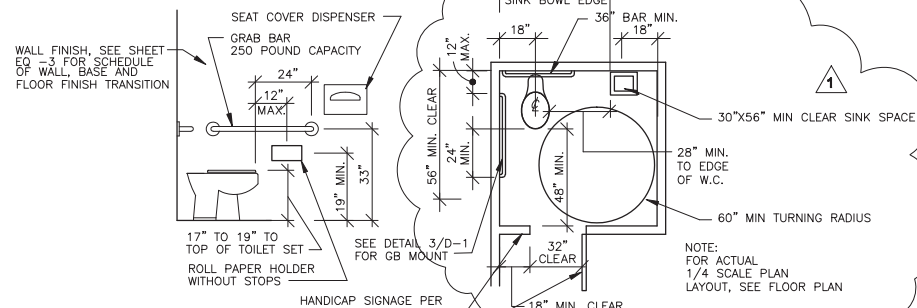
**NOTE:**  
SIGN MATERIAL SHALL BE MINIMUM 0.10" THICK ALUMINUM WITH 1/32" DIE-RAISED GRAPHICS, NUMBERS AND LETTERS. ATTACH WITH SILICONE ADHESIVE AND NON-CORROSIVE, VANDAL-RESISTANT FASTENERS.  
LETTERS AND NUMERALS SHALL BE 1" HIGH, UPPER CASE, SANS-SERIF TYPE (HELVETICA MEDIUM) AND SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.  
MANUFACTURE BY GLOBAL STEEL; MUST MEET ALL CBC REQUIREMENTS



**1 ACCESSORIES**



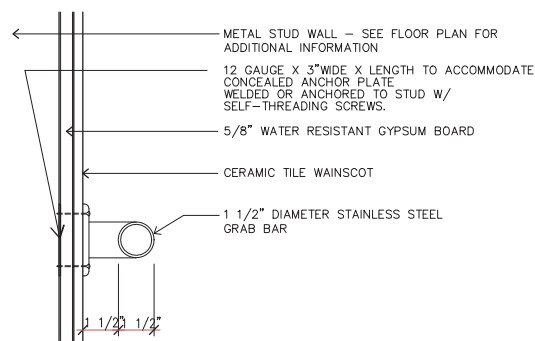
**10 LUNCH ROOM CABINET (HANDICAP @ SINK AREA)**  
NO SCALE



- NOTES:**
- SUFFICIENT SPACE IS REQUIRED IN TOILET ROOM FOR A WHEELCHAIR MEASURING 30" WIDE BY 48" LONG TO ENTER ROOM AND PERMIT DOOR TO CLOSE.
  - WHEN DOOR IS LOCATED IN CORRIDOR SIDE WALL AND SWINGS INTO CORRIDOR, MINIMUM WIDTH OF CORRIDOR SHALL BE 60" UNLESS OTHER STATE OR LOCAL BUILDING CODES ALLOW LESSER CORRIDOR WIDTH.
  - FLUSH CONTROL SHALL BE LOCATED TO MINIMIZE EXCESSIVE BODY MOVEMENT
  - FLUSH CONTROL SHALL BE AN OSCILLATING HANDLE WITH MAXIMUM 3 LBF. OPERATING FORCE, ELECTRIC OPERATION OR APPROVED EQUAL.

**2 HC TOILET ROOM**

NO SCALE



**3 GRAB BAR SECTION**  
NO SCALE

REVISIONS NO.  
1 CUP REVIEW 12-19-19

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freesigns@earthlink.net  
zenarchitect.com

architect

**TENANT IMPROVEMENT  
NEWPORT ANIMAL HOSPITAL  
HANDICAP DETAILS**

OWNER/SITE ADDRESS:  
**JOHN A. GIANNONE  
21159 NEWPORT COAST DR  
NEWPORT BEACH, CA 92657  
PHONE: 203-561-7490**



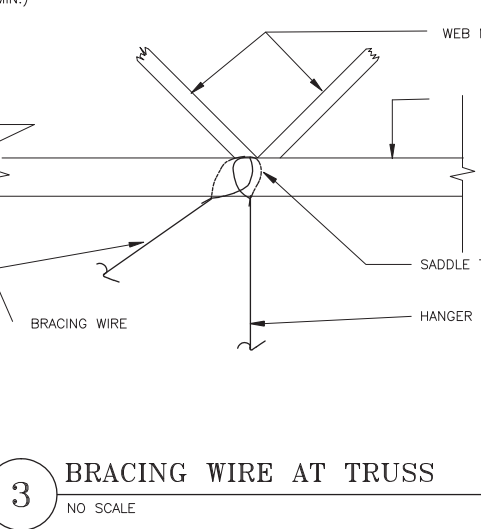
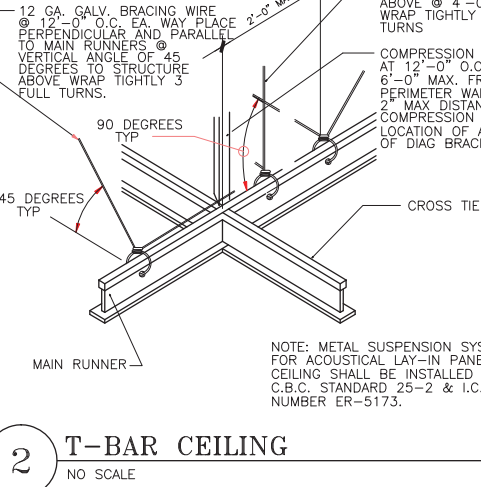
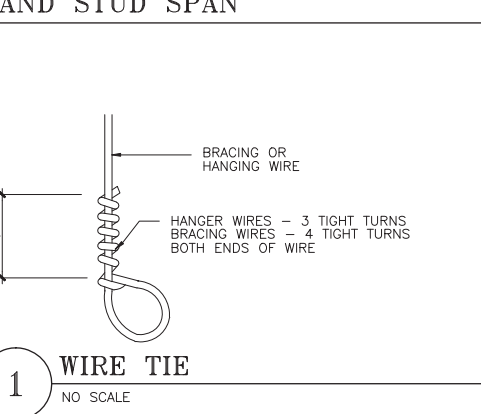
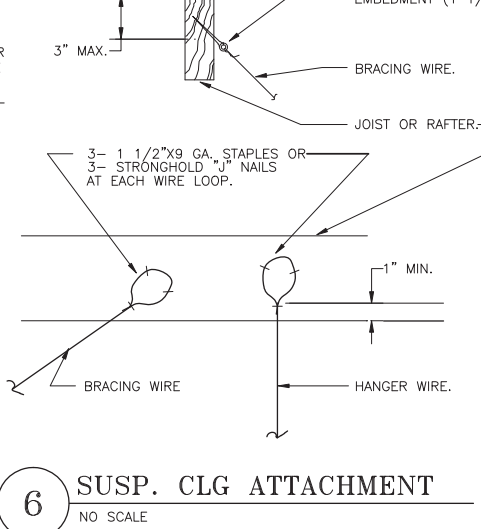
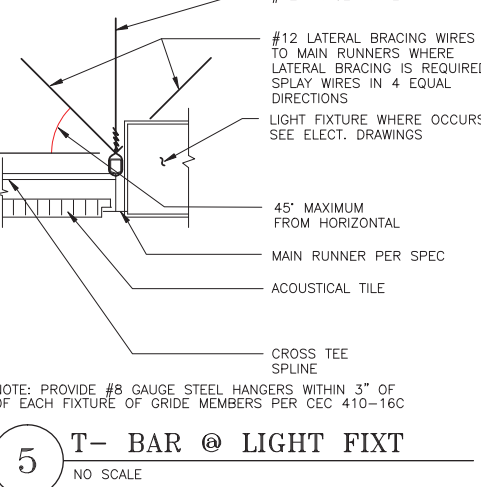
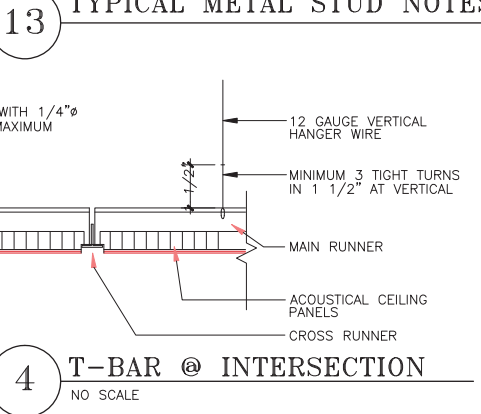
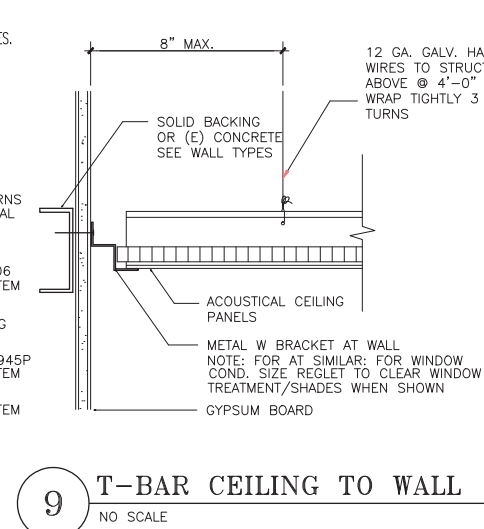
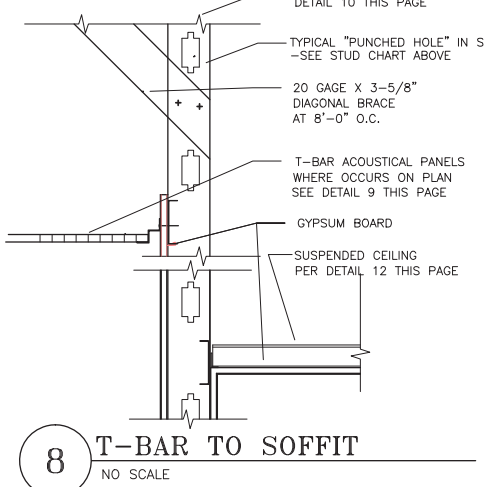
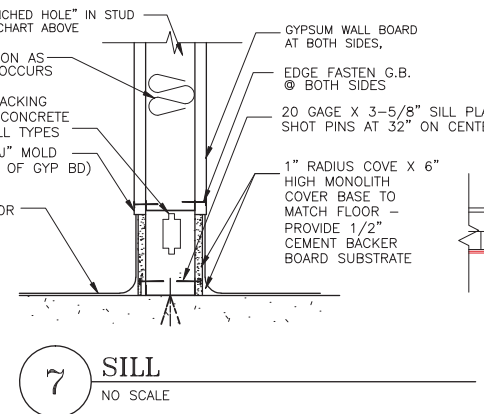
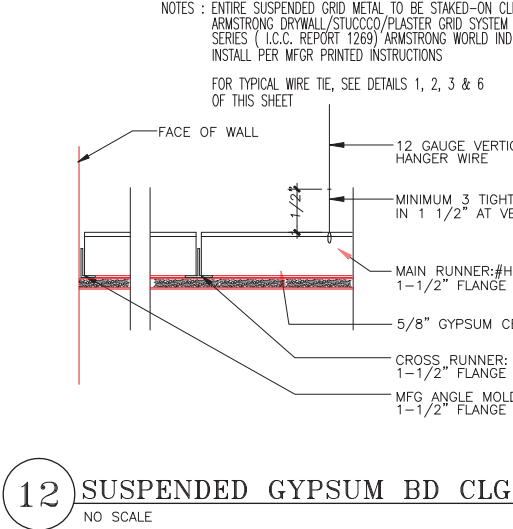
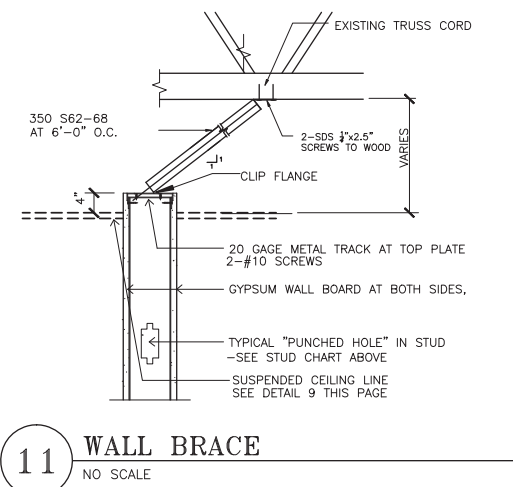
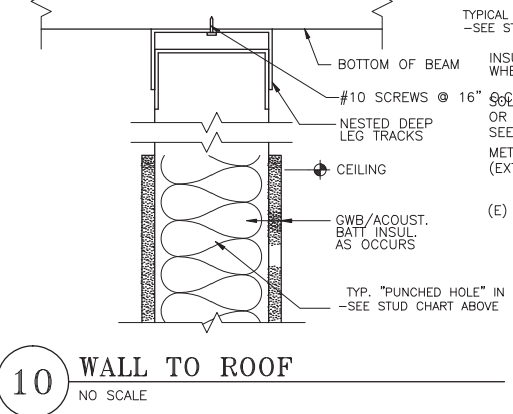
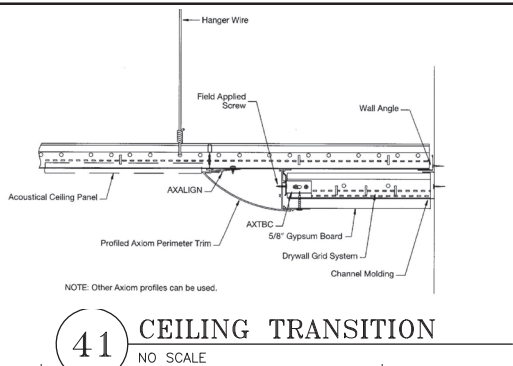
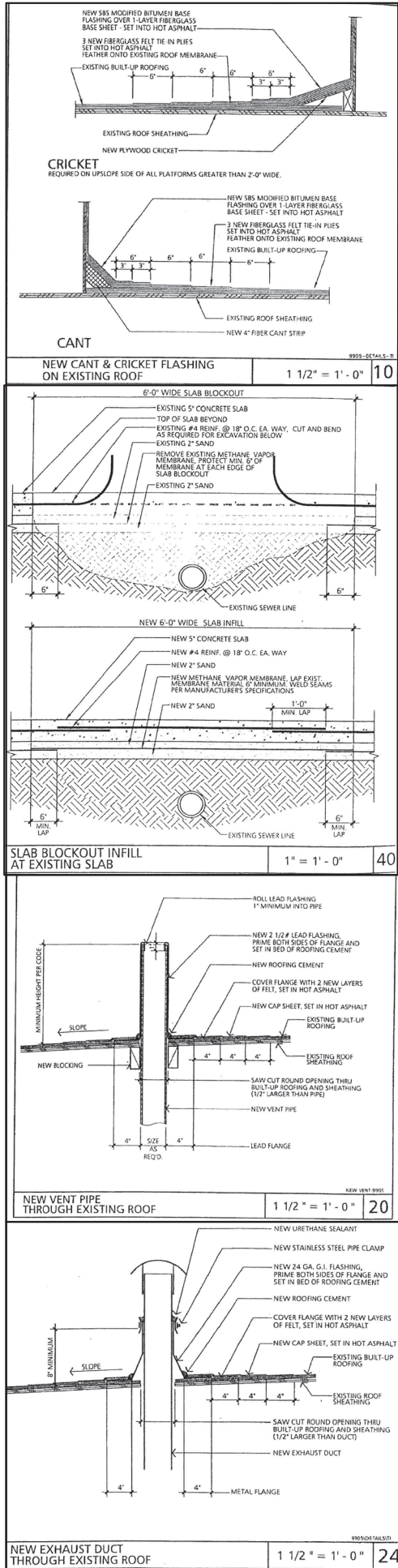
DRAWN  
5  
CHECKED  
5  
DATE  
16/NOV/2016  
SCALE  
16/NOV/2016  
JOB NO./NAME  
16/NOV/2016  
SHEET

**D-1**

1 OF 40 SHEETS

These documents are property of John A. Salat Architects and are registered/copy right protected from both reproduction and modification to protect misuse. It is unlawful/variable and taken to full extent of law from claims arising of legal expense associated of misuse whether directly or indirectly related to these documents to this project. Drawings are not intended as record of actual installed construction, therefore while responsibility for discrepancies





## TYPICAL STUD NOTES:

- STUDS ARE TO BE MANUFACTURED BY: IC OR EQUAL
- I.C.B.O. ES EVALUATION REPORT ER-4943-P
- MAXIMUM STUD SPAN ARE BASED ON L/120 DEFLECTION CRITERIA STUDS TO BE 20 GA. MINIMUM
- HEIGHTS ARE BASED ON BOTH STUD FLANGES BEING CONTINUOUSLY Laterally SUPPORTED FROM FLOOR TO CEILING OR BRACING AT MAXIMUM 48" INCHES ON CENTER
- THE MAXIMUM SPANS ARE FOR NON-BEARING WALL CONDITIONS HAVING 5/8"-INCH TYPE "X" GYPSUM WALLBOARD INSTALLED ON BOTH SIDE OF THE STUD FRAMING
- ALL INSTALLATIONS ARE TO BE PER MANUFACTURERS RECOMMENDATIONS
- BRIDGING AND BLOCKING SHALL BE PER MANUFACTURERS SPECIFICATIONS ON BOTH SIDES
- SHOTS PWS SPECIFIED ARE HILTI-SHOT PINS, PER I.C.B.O. #2388 AND C.O.L.A. RR #2582
- SCREWS SPECIFIED ARE ITW/BUILDEX SELF DRIVERS PER I.C.B.O. #3056 AND C.O.L.A. RR #23971 AND 24029
- INTERIOR NON-STRUCTURAL STUDS OF 2-1/2" X 20 GA SHALL BE 250S 125-30 PER AISI A5.1.3 FOR VERTICAL SPANS LESS THAN 11'-7"

I.C.B.O. REPORT ER-4943-P

STUD	SPACING	MAX. SPAN
362S137-33	12" oc	23'-2"
	16" oc	21'-1"
	24" oc	18'-5"
400S137-33	12" oc	25'-1"
	16" oc	22'-9"
	24" oc	19'-11"
600S137-33	12" oc	34'-7"
	16" oc	31'-5"
	24" oc	27'-5"
800S137-33	12" oc	43'-9"
	16" oc	39'-9"
	24" oc	34'-1"

## 13 TYPICAL METAL STUD NOTES AND STUD SPAN

REVISIONS NO.

1 CUP REVIEW 12-19-19

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: free@johnsalat.com  
zenarchitect.com

architect

TENANT IMPROVEMENT  
NEWPORT ANIMAL HOSPITAL

MISC DETAILS

OWNER/SITE ADDRESS:  
JOHN A. GIANNONE  
21159 NEWPORT COAST DR  
NEWPORT BEACH, CA 92657  
PHONE: 203-561-7490



DRAWN  
5  
CHECKED  
5  
DATE  
10/09/2019  
SCALE  
AS NOTED  
JOB NO./NAME  
10/09/2019  
SHEET

D-2

1 OF 41 SHEETS