



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

February 13, 2020
Agenda Item No. 8

SUBJECT: Wells Residence (PA2019-174)
• Coastal Development Permit No. CD2019-047
SITE LOCATION: 1140 West Bay Avenue
APPLICANT: Bradford C. Smith, Architect
OWNER: Mr. and Mrs. John Wells
PLANNER: Patrick Achis, Planning Technician
949-644-3237, pachis@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RS-D (Single-Unit Residential Detached)
- **Zoning District :** R-1 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-C (Single-Unit Residential Detached) (10.0 – 19.9 DU/AC)
- **Coastal Zoning District:** R-1 (Single-Unit Residential)

PROJECT SUMMARY

A coastal development permit (CDP) to allow the demolition of an existing single-family residence and the construction of a new three-story, 4,052-square-foot, single-family residence with an attached 740-square-foot, three-car garage. The proposed development includes additional appurtenances such as patios, hardscape, drainage devices, and landscaping. All work will occur within the confines of the private property and no work will be conducted bayward of the existing bulkhead. The design complies with all applicable development standards and no deviations are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2019-047 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-family residence. The neighborhood is primarily developed with two-story, single-family residences and, particularly on the opposite side of West Bay Avenue, multi-family structures. Newer residential developments in the neighborhood are three stories and the proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans (Attachment No. ZA 3) and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (minimum)		
Front (Street)	5 feet	5 feet
Front (Water)	25 feet	25 feet
Sides	4 feet	4 feet
Allowable Floor Area	5,489 square feet (maximum)	4,792 square feet
Allowable 3rd Floor Area	411 square feet (maximum)	410 square feet
Open Space (minimum)	412 square feet	713 square feet
Parking (minimum)	3 parking spaces	3 parking spaces
Height (maximum)	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

Hazards

- Located on the northern extent of the Newport Peninsula, between 12th Street and 11th Street, the site is a private bay front parcel. An existing seawall centrally protects the site with the top of the bulkhead at an approximate elevation of 9.5 feet based on the North American Vertical Datum of 1988 (NAVD88). The on-site privacy wall located along the 12th Street side is a secondary shoreline protective device. As described in the project's bulkhead condition report, visual inspection of the bay front seawall revealed that the structure appears to be in good condition and is not in need of maintenance. However, existing structures and improvements prevent a precise

determination of its adequacy if it is found necessary to add protection up to the required elevation of 10.60 feet (NAVD88). The side-facing shoreline protection wall should be replaced if needed. The report recommends a structural assessment of both the bay and side property walls after removal of the site's rear patio. If the bay wall proves adequate, then the elevation of the top of the shore protection will be capped to the minimum elevation of 10.6 feet (NAVD88). Alternatively, if it is determined the bay front wall requires replacement, a new bulkhead will be constructed to the minimum elevation of 10.6 feet (NAVD88). Consistent with Condition of Approval No. 4, the applicant is required to obtain approval from the California Coastal Commission (CCC) to either raise or replace the existing bulkhead.

- GeoSoils, Inc. prepared the project's Coastal Hazards and Bulkhead Condition Report, dated October 29, 2019. As described above, this report directs additional investigation of the existing seawall's structure to help determine whether a cap or an entirely new seawall will be required up to the minimum 10.6-foot (NAVD88) elevation. Newport Bay's historical design flood elevation is 7.7 feet (NAVD88). In employing the high estimate of the "low risk aversion" scenario for sea level rise from the California Ocean Protection Council, the projection is a 2.9-foot increase in sea level rise (or overall elevation of 10.6 feet [NAVD88]) for the next 75 years. Waves resulting from wakes and winds pose the possibility to reach the shore protection fronting the site. The site has not been subject to flooding, erosion damage, or wave runup attack in the past. Based on the calculated wave run up under the current 100-year recurrence interval conditions, future sea level rise of more than 2 feet could enable boat wakes during high tides to overtop the bulkhead. For this reason, after the patio demolition, the report advises an analysis of the existing wall to achieve an added wall height of 12.5 feet (NAVD88), in keeping with the adaptation strategy from the CCC Sea Level Rise Policy Guidance (2018). Ultimately, the GeoSoils, Inc. study recognizes that the new or modified bulkhead with the minimum 10.6-foot (NAVD88) elevation and the maintenance of the 12th Street privacy wall would protect the proposed development from any existing or anticipated future coastal hazards for the next 75 years or more. During this 75-year period, no additional shoreline protective devices will be necessary to protect the proposed development.
- The proposed dwelling's lowest finished floor elevation is 10.0 feet (NAVD88) and surpasses the minimum standard of 9.0 feet (NAVD88) for new structures. The current high tide shoreline will remain at the shore protection and shoreline erosion will not affect or be affected by the proposed development.
- Pursuant to Newport Beach Municipal Code (NBMC) Subsection 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards such as waves, erosion, and sea level rise. This agreement is referred to as the "Waiver of Future Protection Devices" and must be executed and recorded prior to final building permit inspection as

described in Condition of Approval No. 6. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Subsection 21.30.015(D)(3)(c). Condition of Approval No. 7 requires this acknowledgement, which is called the "Acknowledgement of Waterfront Hazards and Waiver of Claims," to be completed and submitted prior to the issuance of a building permit.

- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
- Proposed landscaping complies with NBMC Section 21.30.075 (Landscaping) by incorporating drought-tolerant, non-invasive plant species and a water efficient irrigation design. Condition of Approval No. 22 requires the approval of a final landscape plan prior to the issuance of a building permit.

Water Quality

- Pursuant to NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. Construction plans are to be reviewed for compliance with the approved WQHP prior to building permit issuance, as stated in Condition of Approval No. 21. The WQHP would include a polluted runoff and hydrologic site characterization, a sizing standard for Best Management Practices (BMPs), use of an LID (Low Impact Development) approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.
- The project design will address water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access and Views

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities. The existing residential development neither provides nor inhibits public coastal access. NBMC Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact be proportional to the impact. In this case, the project replaces an existing single-family residence with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
- The nearest coastal access opportunity is currently provided at the north ends of 12th and 11th Street. The first directly abuts the subject site to the west and the latter lies approximately 360 feet eastward of the subject site. Vertical access to the public beach is available along the south street ends of 12th Street and 11th Street, between 580 and 700 feet away from the project site. The public beach to the south also includes a 12-foot-wide public sidewalk along West Ocean Front, providing lateral access and views of the beach. The proposed replacement of the existing single-family residence with a new single-family residence does not include any features that would provide or inhibit coastal public access opportunities.
- Per Condition of Approvals No. 5 and 9, 12th Street will remain free and clear of any obstructions during construction and new or existing improvements (including landscaping and construction activities) are *not* authorized on State tidelands, public beaches, or the public right-of-way.
- The closest designated Public Viewpoint is located at the City's Marina Park Community and Sailing Center, which is approximately 1,500 feet to the west of the property with three blocks of existing residential development between. The proposed residence is also not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the Public Viewpoint and the project's compliance with height, setbacks, and floor area limits, the project will not impact coastal views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment. The Class 3 exemption includes the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-1 Coastal Zoning District.

Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 4,052-square-foot, single-family residence with an attached 740-square-foot, three-car garage.

The exceptions to this categorical exemption under Section 15300.2 do not apply. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of NBMC Title 21 (Local Coastal Implementation Plan). Final action taken by the City may be appealed to the Coastal Commission in compliance with NBMC Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Patrick Achis
Planning Technician
BMZ/pa

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2020-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-047 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE WITH A THREE-CAR GARAGE AND ACCESSORY STRUCTURES LOCATED AT 1140 WEST BAY AVENUE (PA2019-174)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Bradford C. Smith, Architect (Applicant), with respect to property located at 1140 West Bay Avenue, requesting approval of a coastal development permit.
2. The lot at 1140 West Bay Avenue is legally described as Lot 1, Block 4 of Tract 626.
3. The Applicant proposes a coastal development permit (CDP) to allow the demolition of an existing single-family residence and the construction of a new three-story, 4,052-square-foot, single-family residence, including an attached 740-square-foot, three-car garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping. No work will be conducted bayward of the existing bulkhead. The design complies with all applicable development standards and no deviations are requested.
4. The subject property is designated Single-Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential Detached (RSD-C) (10.0 – 19.9 DU/AC) and it is located within the Single-Unit Residential (R-1) Coastal Zone District.
6. A public hearing was held on February 13, 2020, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or

Conversion of Small Structures), because it has no potential to have a significant effect on the environment.

2. Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 4,052-square-foot, single-family residence with an attached 740-square-foot, three-car garage. The proposed project is a new single-family residence located in the R-1 Coastal Zoning District.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Newport Beach Municipal Code (NBMC) Section 21.52.015 (Coastal Development Permits, Findings and Decision), the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 5,489 square feet and the proposed floor area is 4,792 square feet.
 - b. The proposed development provides or exceeds the minimum required setbacks, which are 25 feet along the front property line abutting Newport Bay, 4 feet along each side property line, and 5 feet along the second frontage abutting West Bay Avenue.
 - c. The highest guardrail is 24 feet from established grade (9.53 feet based on the North American Vertical Datum of 1988 [NAVD88]) and the highest ridge is no more than 29 feet from established grade, which comply with the maximum height requirements.
 - d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-family residences with more than 4,000 square feet of living area.

2. The neighborhood is primarily developed with two-story, single-family residences and, particularly on the opposite side of West Bay Avenue, multi-family structures. Newer residential developments in the neighborhood are three stories and the proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
3. Located on the northern extent of the Newport Peninsula, between 12th Street and 11th Street, the site is a private bay front parcel. An existing seawall centrally protects the site with the top of the bulkhead at an approximate elevation of 9.5 feet based on the North American Vertical Datum of 1988 (NAVD88). The on-site privacy wall located along the 12th Street side is a secondary shoreline protective device. As described in the project's bulkhead condition report, visual inspection of the bay front seawall revealed that the structure appears to be in good condition and is not in need of maintenance. However, existing structures and improvements prevent a precise determination of its adequacy if it is found necessary to add protection up to the required elevation of 10.60 feet (NAVD88). The side-facing shoreline protection wall should be replaced if needed. The report recommends a structural assessment of both the bay and side property walls after removal of the site's rear patio. If the bay wall proves adequate, then the elevation of the top of the shore protection will be capped to the minimum elevation of 10.6 feet (NAVD88). Alternatively, if it is determined the bay front wall requires replacement, a new bulkhead will be constructed to the minimum elevation of 10.6 feet (NAVD88).
4. GeoSoils, Inc. prepared the project's Coastal Hazards and Bulkhead Condition Report, dated October 29, 2019. As described above, this report directs additional investigation of the existing seawall's structure to help determine whether a cap or an entirely new seawall will be required up to the minimum 10.6-foot (NAVD88) elevation. Newport Bay's historical design flood elevation is 7.7 feet (NAVD88). In employing the high estimate of the "low risk aversion" scenario for sea level rise from the California Ocean Protection Council, the projection is a 2.9-foot increase in sea level rise (or overall elevation of 10.6 feet [NAVD88]) for the next 75 years. Waves resulting from wakes and winds pose the possibility to reach the shore protection fronting the site. The site has not been subject to flooding, erosion damage, or wave runup attack in the past. Based on the calculated wave run up under the current 100-year recurrence interval conditions, future sea level rise of more than 2 feet could enable boat wakes during high tides to overtop the bulkhead. For this reason, after the patio demolition, the report advises an analysis of the existing wall to achieve an added wall height of 12.5 feet (NAVD88), in keeping with the adaptation strategy from the CCC Sea Level Rise Policy Guidance (2018). Ultimately, the GeoSoils, Inc. study recognizes that the new or modified bulkhead with the minimum 10.6-foot (NAVD88) elevation and the maintenance of the 12th Street privacy wall would protect the proposed development from any existing or anticipated future coastal hazards for the next 75 years or more. During this 75-year period, no additional shoreline protective devices will be necessary to protect the proposed development.

5. Pursuant to Newport Beach Municipal Code (NBMC) Subsection 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards such as waves, erosion, and sea level rise. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Subsection 21.30.015(D)(3)(c).
6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
1. The property is located adjacent to coastal waters. Pursuant to NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. The WQHP would include a polluted runoff and hydrologic site characterization, a sizing standard for Best Management Practices (BMPs), use of an LID (Low Impact Development) approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.
7. Proposed landscaping complies with NBMC Section 21.30.075 (Landscaping) by incorporating drought-tolerant, non-invasive plant species and a water efficient irrigation design. Condition of Approval No. 22 requires the approval of a final landscape plan prior to the issuance of a building permit.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline, but the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities. The nearest coastal access opportunity is currently provided at the north ends of 12th and 11th Street: the first directly abuts the subject site and the latter lies approximately 360 feet westward of the subject site.
2. Vertical access to the public beach is available along the south street ends of 12th Street and 11th Street, between 580 and 700 feet away from the project site. The public beach to the south also includes a 12-foot-wide public sidewalk along West Ocean Front, providing lateral access and views of the beach. The proposed replacement of the existing single-

family residence with a new single-family residence does not include any features that would provide or inhibit coastal public access opportunities.

3. The 12th Street public right-of-way will remain free and clear of any obstructions during construction and new or existing improvements (including landscaping and construction activities) are *not* authorized on State tidelands, public beaches, or the public right-of-way.
4. The property is not located near designated public viewpoints or coastal view roads. The nearest public viewpoint is located at the City's Marina Park Community and Sailing Center, approximately 1,500 feet westward of the property. Due to the distance of the proposed development from the public viewpoints and the project's compliance with height and setbacks, the project will not impact coastal views. The proposed single-family residence complies with all applicable development standards and maintains front setback areas consistent with the existing neighborhood pattern of development. The project does not contain any unique features that could degrade the visual quality of the coastal zone.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-047, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of NBMC Title 21 Local Coastal Implementation Plan. Final action taken by the City may be appealed to the Coastal Commission in compliance with NBMC Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 13TH DAY OF FEBRUARY, 2020.

Jaime Murillo, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. This Coastal Development Permit does not authorize any development seaward of the private property. Should the bulkhead require repair or replacement with construction equipment bayward of the private property, an additional coastal development permit shall be obtained for the bulkhead from the California Coastal Commission.
3. *Prior to the issuance of a demolition permit for the principal dwelling, the Applicant shall take the minimum steps necessary to assess the structural integrity of the primary and secondary shoreline protective devices.*
4. *Prior to the issuance of a demolition permit for the principal dwelling, the Applicant shall obtain approval from the California Coastal Commission to increase the height of the existing bulkhead to a minimum elevation of 10.6 feet (NAVD88) or replace the existing bulkhead with a new bulkhead at a minimum elevation of 10.6 feet (NAVD88).*
5. *The 12th Street public right-of-way shall remain free and clear of any obstructions during construction, unless otherwise permitted.*
6. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.
7. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.
8. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.

9. This approval does not authorize any new or existing improvements (including landscaping and construction activities) on State tidelands, public beaches, or the public right-of-way.
10. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
11. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
12. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
13. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
14. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
15. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
17. Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
18. Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
19. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.

20. Prior to the issuance of a building permit, the Applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
21. Prior to issuance of a building permit, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.
22. Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
23. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
24. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
25. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

26. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
27. This Coastal Development Permit No. CD2019-047 shall expire unless exercised within 24 months from the date of approval as specified in NBMC Section 21.54.060 (Time Limits and Extensions), unless an extension is otherwise granted.
28. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Wells Residence including, but not limited to, Coastal Development Permit No. CD2019-047 (PA2019-174). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. CD2019-047
PA2019-174

1140 West Bay Avenue

Attachment No. ZA 3

Project Plans

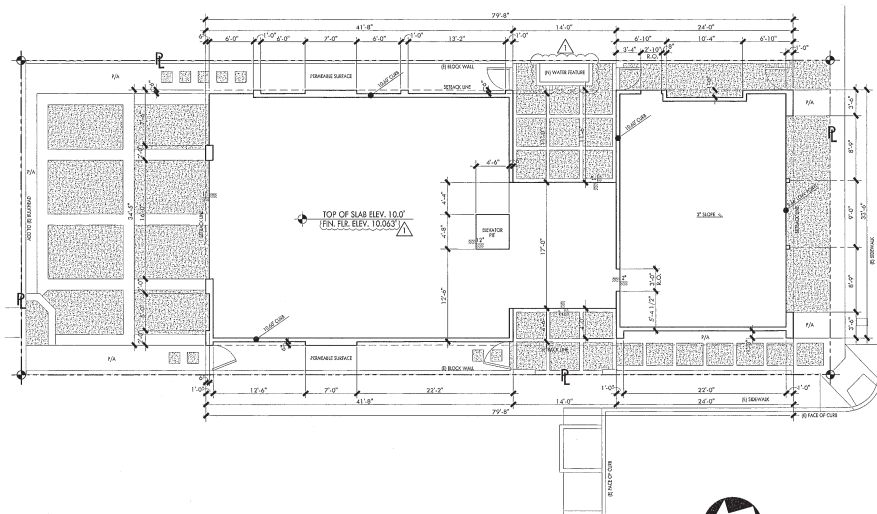
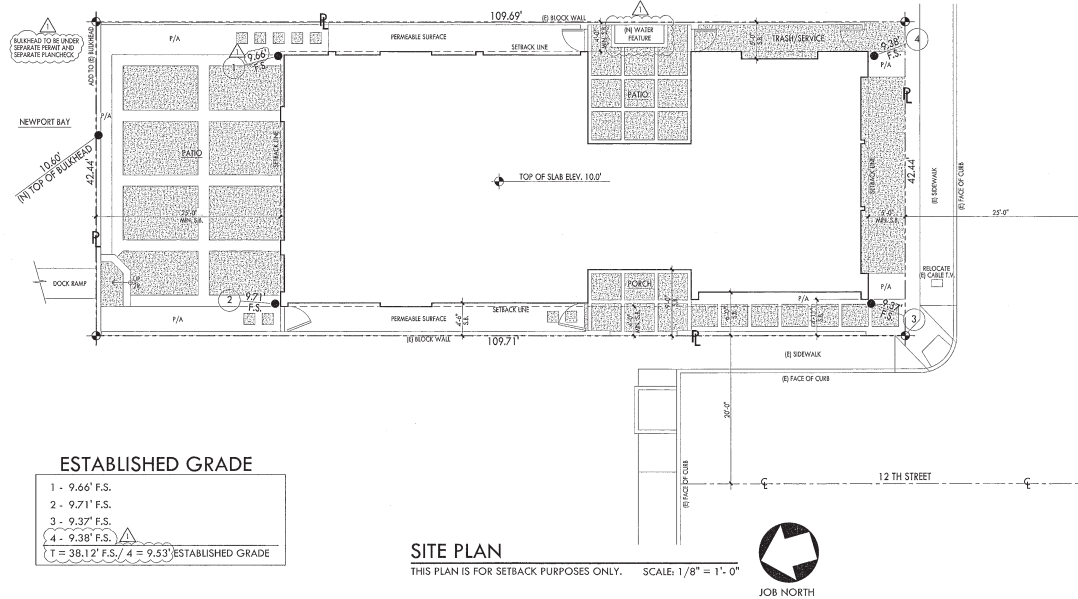
GENERAL NOTES:

- THE SCOPE OF SERVICES UNDER THIS CONTRACT IS LIMITED TO PROVIDING A "BUILDER'S SET" OF PLANS. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT. HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS "BUILDER'S SET". THE IMPLEMENTATION OF THE PLANS REQUIRES A GENERAL CONTRACTOR AND SUBCONTRACTORS THOROUGHLY KNOWLEDGEABLE OF THE APPLICABLE CODES & METHODS OF CONSTRUCTION. PLANS DELINEATE A DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF MATERIAL INSTALLATION.
- ALL WORK SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY, STATE AND GENERAL LAWS, RULES, CODES, ORDINANCES OR REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE - MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS AND REPAIRS ARISING FROM THE NON - CONFORMING WORK.
- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA PLUMBING CODE AND 2016 CALIFORNIA ELECTRICAL CODES.
- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
- ANY ERROR OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL GRADING AND EXCAVATION FOR STRUCTURAL COMPONENTS SHALL CONFORM TO THE PROJECT SOILS REPORT.
- OWNER SHALL RECONSTRUCT EXISTING DAMAGED SIDEWALK/CURB/GUTTER, EXTENT DETERMINED BY PUBLIC WORKS INSPECTOR.
- ROOF AND GROUND MOUNTED MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW AND THE VIEW OF ADJACENT RESIDENCES.
- WITHIN THE REQUIRED FRONT SETBACK NO FENCE, HEDGE, RETAINING WALL, GUARDRAIL OR ANY COMBINATION THEREOF MAY EXCEED 42" FROM EXISTING GRADE PRIOR TO CONSTRUCTION.
- ALL PERMITS RELATED TO THE PROPOSED PROJECT SHALL BE ISSUED AT THE SAME TIME, OR SEPARATE PLANS AND PLAN REVIEW WILL BE REQUIRED FOR ITEMS NOT ISSUED WITH THIS REVIEW. PROVIDE ADDITIONAL PERMIT WORKSHEETS FOR THE FOLLOWING.
 - ACCESSORY STRUCTURES, DETACHED PATIO COVERS AND TRELISES.
 - DETACHED OR FREE STANDING TRASH ENCLOSURES.
 - MASONRY OR CONCRETE FENCES OVER 3.5 FEET HIGH.
 - RETAINING WALLS OVER 4 FOOT HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF THE WALL.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING DUCTS TO BE AT OR ABOVE BASE FLOOD ELEVATION OF 9.0 MSL (NAVD 88).
- WASTE LINES IN WALLS AT FIRST FLOOR TO BE CAST IRON.
- RECYCLE AND/OR SALVAGE FOR RE-USE A MINIMUM OF 65% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 CAL GREEN CODE

PUBLIC WORKS NOTES

- ALL PRIVATE IRRIGATION SPRINKLER HEADS TO BE INSTALLED & POSITIONED IN A MANNER THAT WILL NOT CAUSE WATER OVER SPRAY ONTO THE PUBLIC RIGHT OF WAY.
- IF THE WATER METER IS LOCATED IN THE DRIVEWAY APRON, THE BOX MUST BE REPLACED WITH ONE HAVING A STEEL LID TRAFFIC GRADE.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS TO COMPLY W/ CITY/COUNTY POLICY 1-6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO OBTAIN SUCH PERMITS FROM THE PUBLIC WORKS DEPARTMENT.
- A NEW SEWER CLEANOUT SHALL BE INSTALLED AT THE EXPENSE OF THE OWNER. THE SEWER LATERAL SHALL BE REPLACED FROM THE SEWER MAIN TO THE PROPERTY LINE, WHERE A CLEAN-OUT SHALL BE INSTALLED PER STD-400-L WITH A TRAFFIC-FRAME BOX AND COVER, ADJACENT TO THE PROPERTY LINE IN THE PUBLIC RIGHT-OF-WAY.
- ADDITIONAL SURFACING REQUIREMENTS MAY BE SPECIFIED BY THE PUBLIC WORKS DEPARTMENT WHEN TRENCHING WORK OCCURS WITHIN PAVEMENTS LESS THAN FIVE YEARS OLD.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/ STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1" WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT W/ BOX & LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER. (UNIFORM CODES 14.24.020 AND 14.08.020). WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER. S&D DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- A LICENSED SURVEYOR SHALL COMPLETE FEMA ELEVATION CERTIFICATE AND SUBMIT IT TO THE BUILDING DEPARTMENT INSPECTOR DURING FINAL INSPECTION.
- BUILDING SITE IS LOCATED IN A SPECIAL FLOOD ZONE. TOP OF SLAB OF FIRST FLOOR TO BE AT OR ABOVE ELEVATION 9.0 MSL (NORTH AMERICAN VERTICAL DATUM, SHOWN AS NAVD 88) NGVD = NAVD - 2.4' N.B.M.C. 13.50.200 (S)
- RE - PAINT ALL EXISTING RED CURBS AT THE INSTRUCTION OF BUILDING INSPECTOR.
- ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.
- ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION/SEWER CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.
- OBTAIN PERMIT TO BE LOCATE EXISTING CABLE TV, WATER IN RIGHT OF WAY.

WELLS RESIDENCE



SHEET INDEX	
1	TITLE SHEET/SITE PLAN/SLAB EDGE PLAN
2	FIRST FLOOR PLAN
3	SECOND FLOOR PLAN
4	THIRD FLOOR PLAN
5	ROOF PLAN
6	NOT INCLUDED
7	BUILDING SECTIONS
8	EXTERIOR ELEVATIONS
9	EXTERIOR ELEVATIONS
S.F.A.1	FIRST & SECOND FLOOR SQUARE FOOTAGE ANALYSIS
S.F.A.2	THIRD FLOOR SQUARE FOOTAGE ANALYSIS
O.S.	OPEN SPACE ANALYSIS
L.1	LANDSCAPE PLAN
C.1	TOPOGRAPHIC SURVEY
C.2	PRELIMINARY PRECISE GRADING PLAN
C.3	EROSION CONTROL PLAN
SR SOILS REPORT	

LEGAL DESCRIPTION

LOT NO. 1, BLOCK 4, A.P.N. 047 - 261 - 01, THE SOUTHEASTERLY HALF OF LOT 616 AND ALL OF LOT 617, OF TRACT NO. 907, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 25 - 36 INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER IN SAID COUNTY.

CONSTRUCTION TYPE: V-B - SPRINKLERED

SETBACKS: FRONT = 25' (HARBOR/SIDE 4') FRONT = 5' (WEST BAY AVE.)

PROJECT DESCRIPTION

DEMOLITION OF EXISTING DWELLING & CONSTRUCT A NEW, 3-STORY HOME W/ ATTACHED 3-CAR GARAGE. T. O. SLAB 10.0' & T. O. CURB 10.6' ABV. NAVD 88

AREA CALCULATIONS

FIRST FLOOR LIVING AREA	1,629.3 S.F.
SECOND FLOOR LIVING AREA	2,013.0 S.F.
THIRD FLOOR LIVING AREA	498.2 S.F.
TOTAL LIVING AREA	4,051.4 S.F.
3 - CAR GARAGE AREA	739.5 S.F.
TOTAL ENCLOSED AREA	4,790.9 S.F.
LOT AREA	6,855.2 S.F.
BUILDABLE AREA: 2,744.5 S.F. x 2 = S.F. MAXIMUM BUILDABLE AREA	5,489.0 S.F.
OPEN SPACE REQUIRED: 411.6 S.F.	
MAX. THIRD FLOOR ALLOWED: 2,744.5 S.F. x 1.5 = 411.6 S.F.	

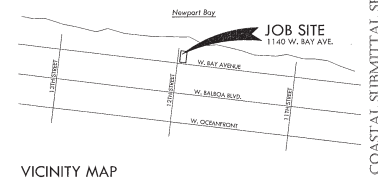
CONSULTANTS

STRUCTURAL ENGINEER	ENERGY CONSULTANT	SURVEYOR
RIGHT ENGINEERING, INC.	SOUTHBANK ENERGY	RDH SURVEYING
8400 CHOUH	PAUL KANDARIAN	KON HADZIMA
26040 ACRES, SUITE 100	1491 GUENEVRE ST.	23016 LAKE FOREST DR.
MISSION VIEJO, CA 92691	LAGUNA BEACH, CA 92651	LAGUNA HILLS, CA 92653
TEL (949) 855-2300	TEL (949) 497-3391	TEL (949) 858-2924

GOVERNING CODES

CALIFORNIA BUILDING CODE	2016 CBC
CALIFORNIA RESIDENTIAL CODE	2016 CRC
CALIFORNIA ELECTRICAL CODE	2016 CEC
CALIFORNIA MECHANICAL CODE	2016 CMC
CALIFORNIA PLUMBING CODE	2016 CPC
CALIFORNIA FIRE CODE	2016 CFC
CALIFORNIA ENERGY CODE	2016 BEES
CALIFORNIA GREEN BUILDING STANDARD CODE, CAL GREEN CHAPTER 15 N.B.A.C.	2016 CGC

NOTE:
ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.



CC-11-26-2019

BRADFORD C. SMITH, ARCHITECT
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NEWPORT BEACH, CALIFORNIA 92663
(949) 631 - 3682
e: bradsmitharchitect@gmail.com

TITLE SHEET
SITE PLAN
SLAB EDGE PLAN

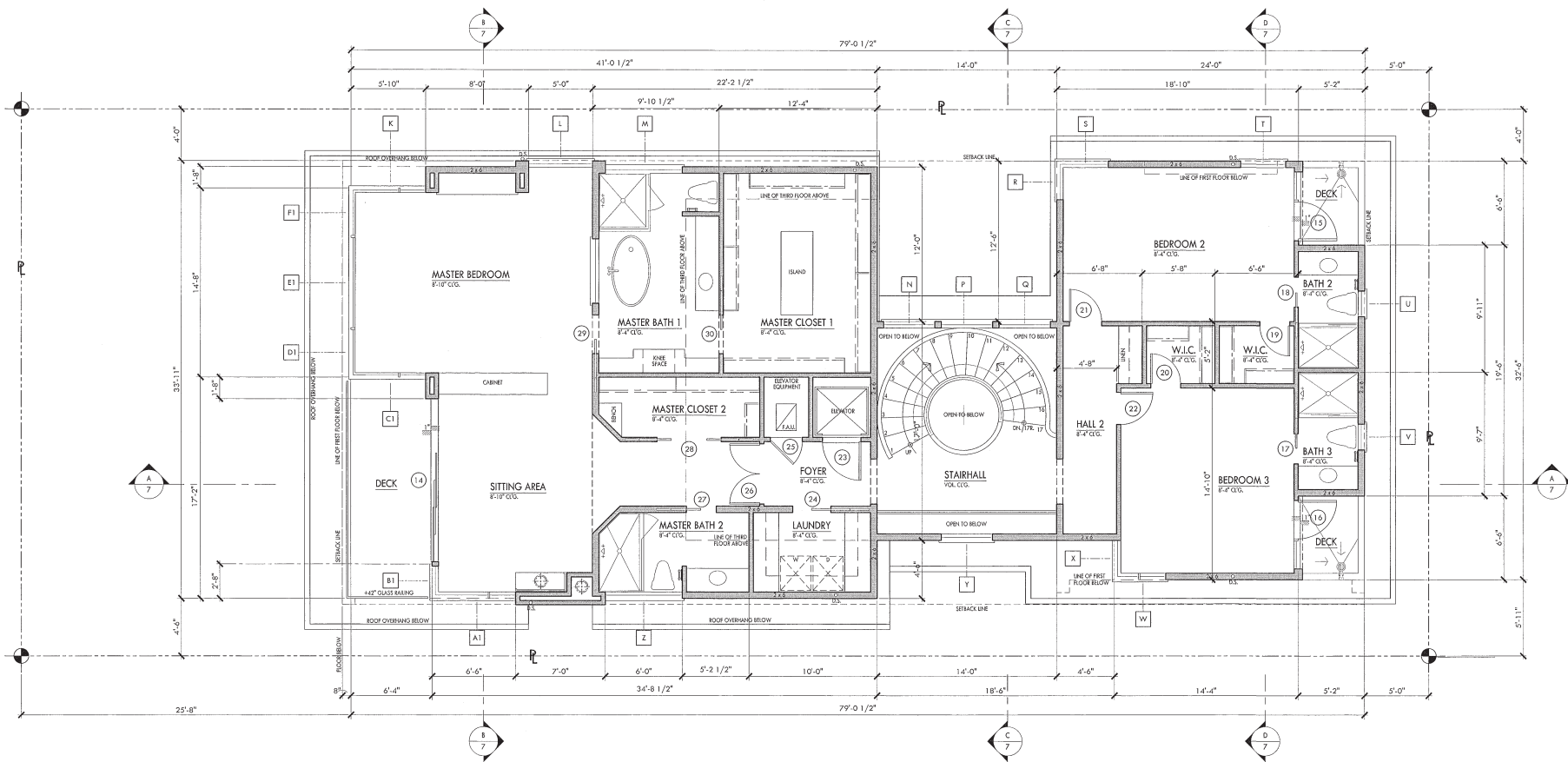
MR. & MRS. JOHN WELLS
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

A NEW HOME FOR:

COASTAL SUBMITTAL SET

DATE: 09 - 16 - 2019
PROJECT NO: 19 - 03
SHEET NO: 1





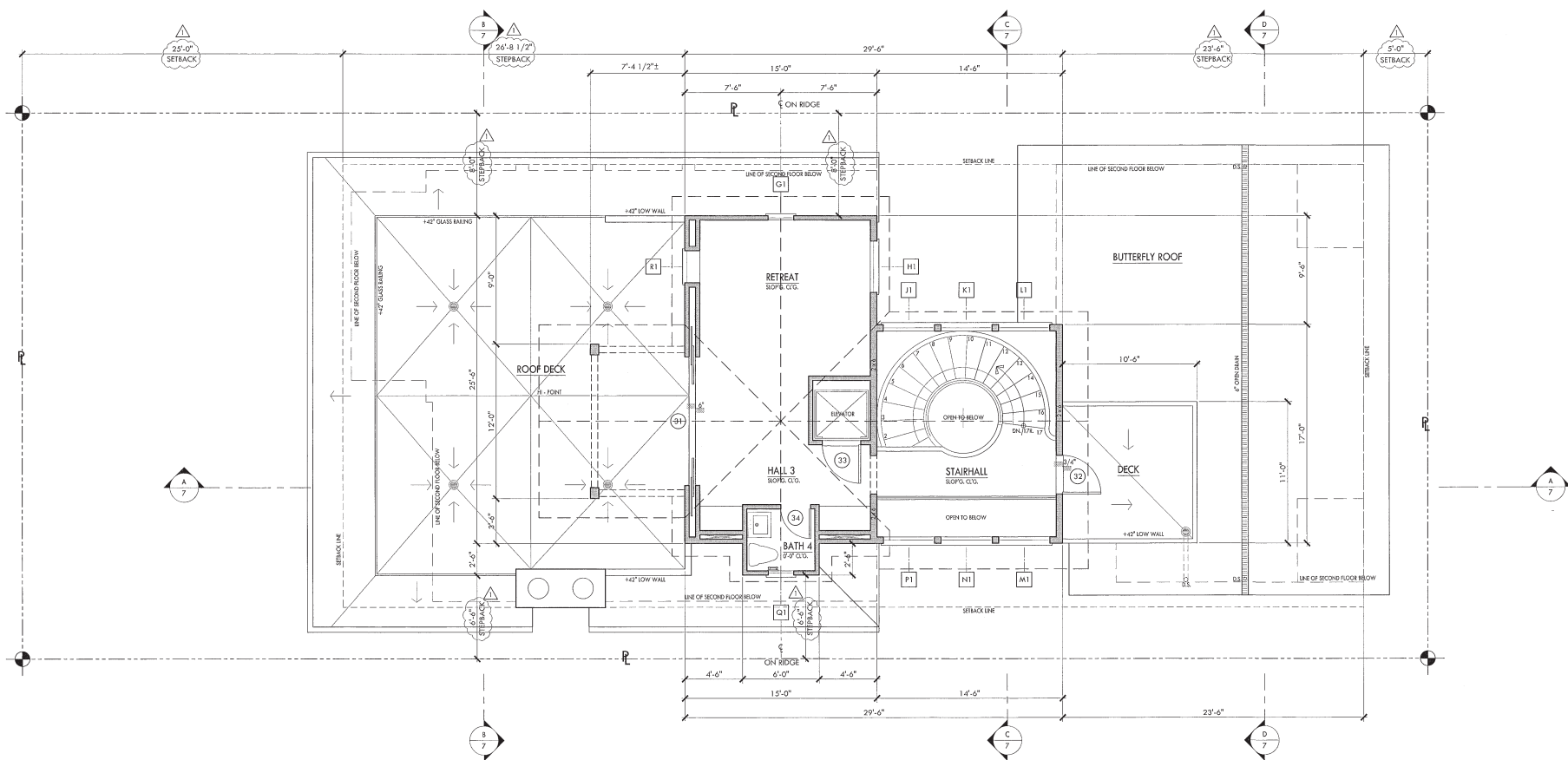
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



JOBS NORTH

COASTAL SUBMITTAL SET A NEW HOME FOR: MR. & MRS. JOHN WELLS 1140 W. RAY AVENUE NEWPORT BEACH, CALIFORNIA 92663	C.C. 11-26-2019
	BRADFORD C. SMITH, ARCHITECT 425 30TH STREET, SUITE 22 NEWPORT BEACH, CALIFORNIA 92663 (949) 631-3682 e: bradsmitharchitect@gmail.com
	SECOND FLOOR PLAN
3	DATE: 09-16-2019 PROJECT NO: 19-03 SHEET NO: 3

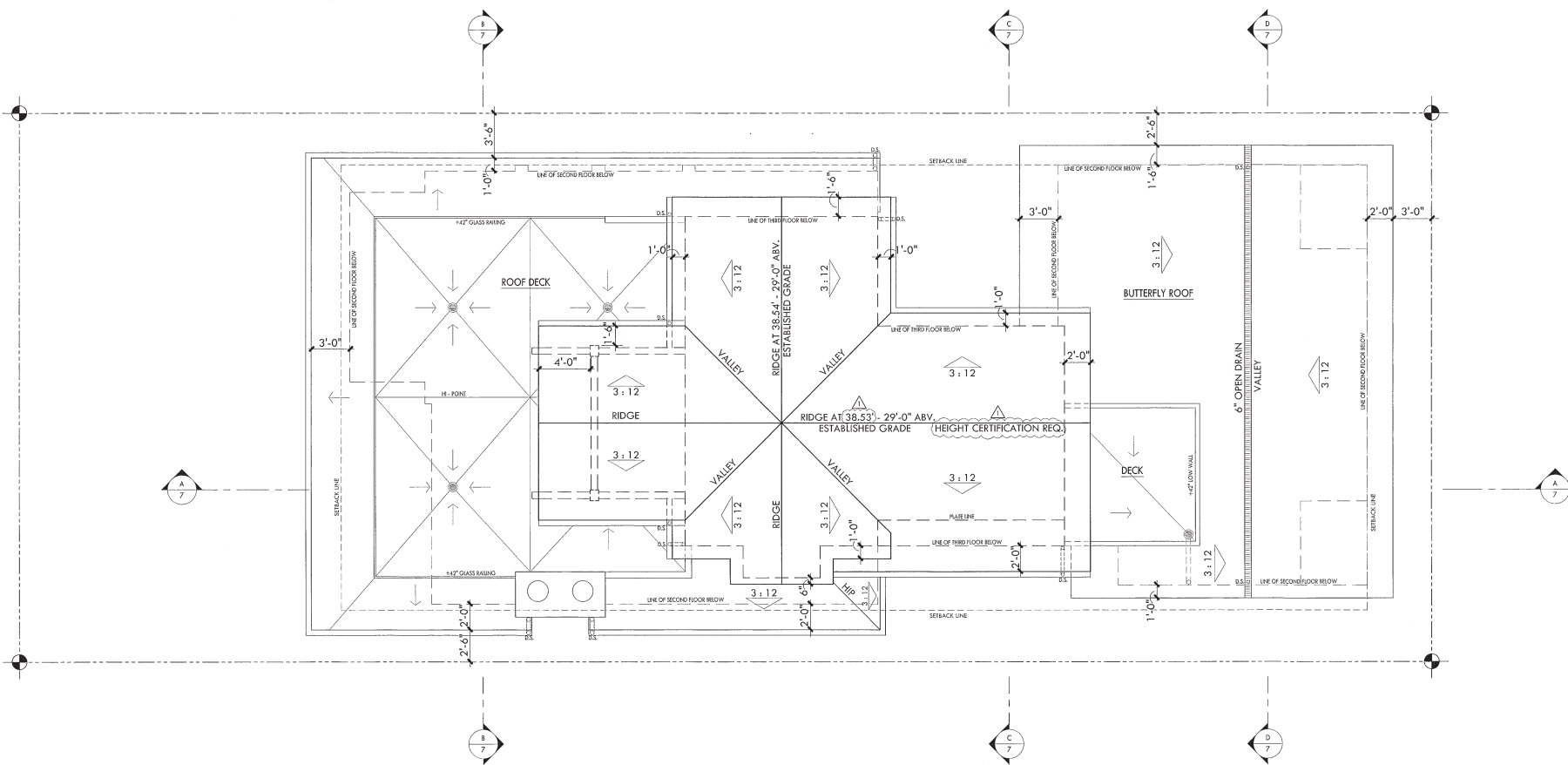


THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



COASTAL SUBMITTAL SET A NEW HOME FOR : MR. & MRS. JOHN WELLS 1140 W. BAY AVENUE NEWPORT BEACH, CALIFORNIA 92663	BRADFORD C. SMITH, ARCHITECT 425 30TH STREET, SUITE 22 NEWPORT BEACH, CALIFORNIA 92663 (949) 631 - 3682 e: bradsmitharchitect@gmail.com	CC 11-26-2019 11-30-19 11-30-19 11-30-19
	THIRD FLOOR PLAN	11-30-19 11-30-19 11-30-19
	11-30-19 11-30-19 11-30-19	11-30-19 11-30-19 11-30-19
	11-30-19 11-30-19 11-30-19	11-30-19 11-30-19 11-30-19



ROOF PLAN

SCALE: 1/8" = 1'- 0"



COASTAL SUBMITTAL SET

A NEW HOME FOR :

MR. & MRS. JOHN WELLS
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

DATE:
09 - 16 - 2019

PROJECT NO:
19 - 03

SHEET NO:

5

ROOF PLAN

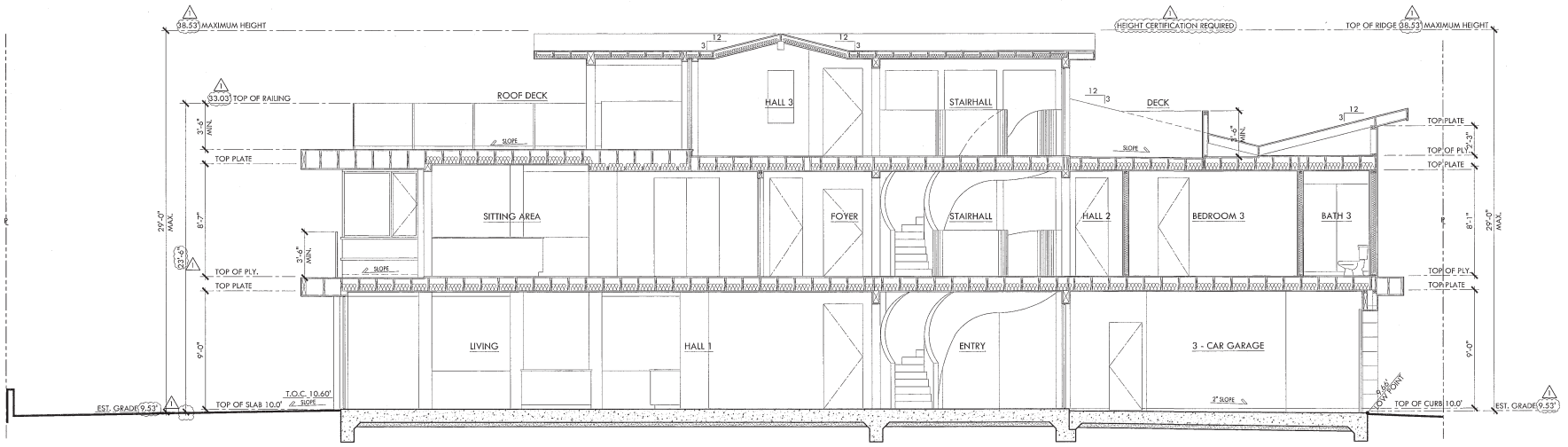
BRADFORD C. SMITH, ARCHITECT

425 30TH STREET, SUITE 22
NEWPORT BEACH, CALIFORNIA 92663
(949) 631 - 3682

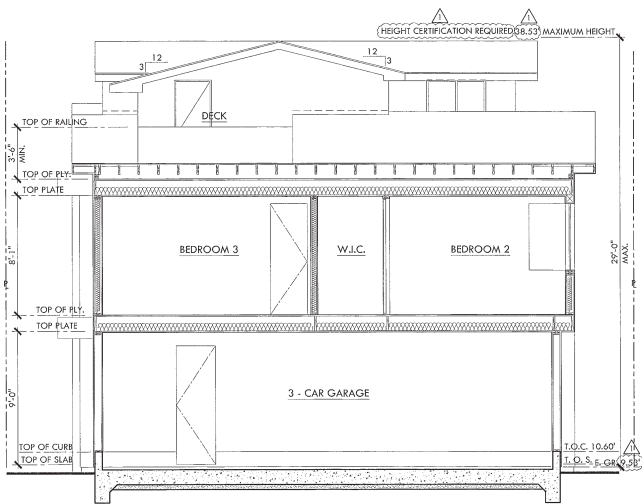
e) bradsmitharchitect@gmail.com



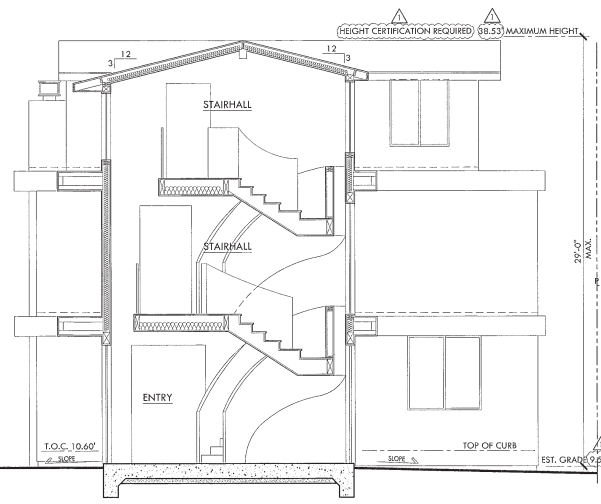
C.C. 11-26-2019



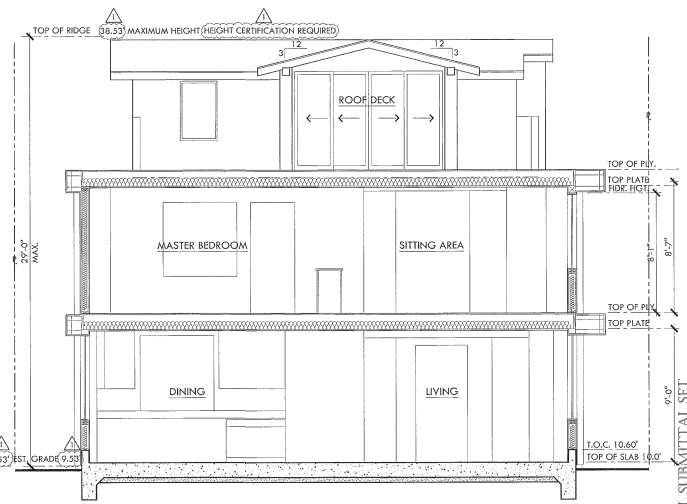
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



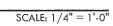
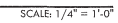
D BUILDING SECTION
SCALE: 1/4" = 1'-0"

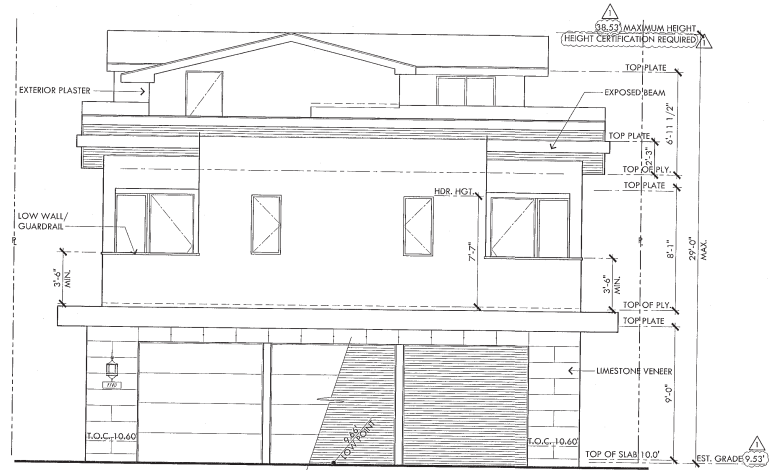


C BUILDING SECTION
SCALE: 1/4" = 1'-0"



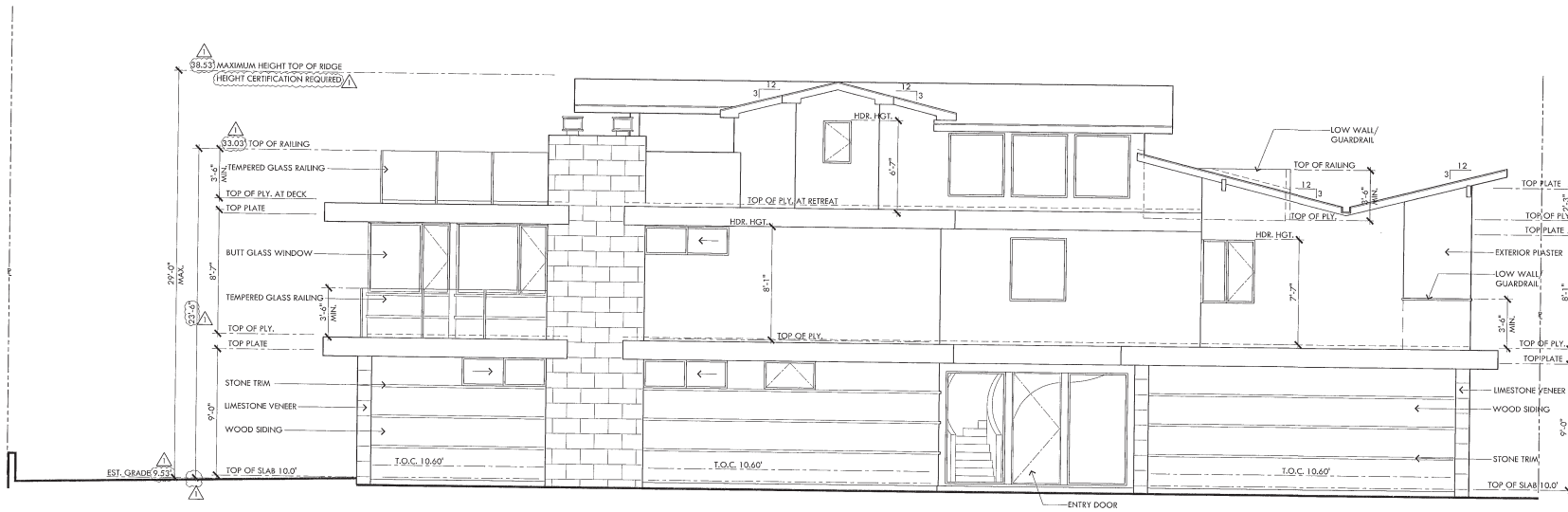
B BUILDING SECTION
SCALE: 1/4" = 1'-0"





STREET ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CC 11-26-2019



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949 631 - 3682
e) bradsmitharchitect@gmail.com

EXTERIOR ELEVATIONS

A NEW HOME FOR:
MR. & MRS. JOHN WELLS
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

09 - 16 - 2019

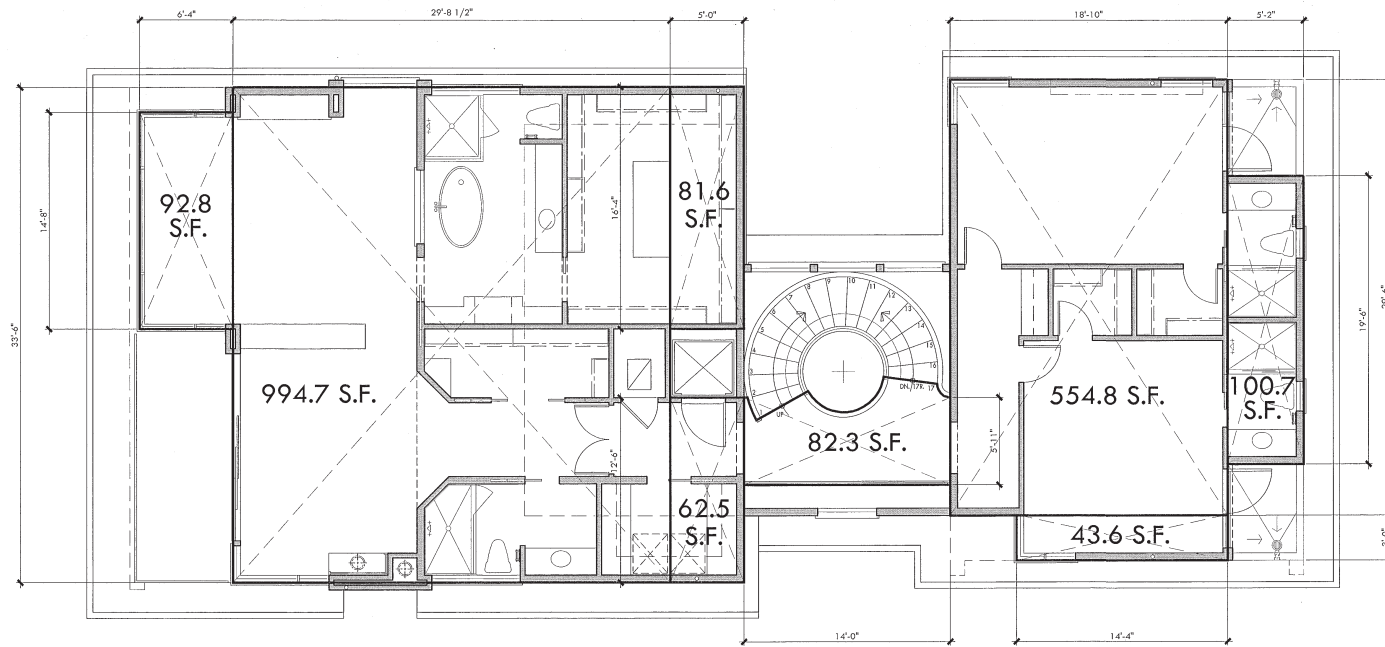
PROJECT NO.

19 - 03

SHEET NO.

9

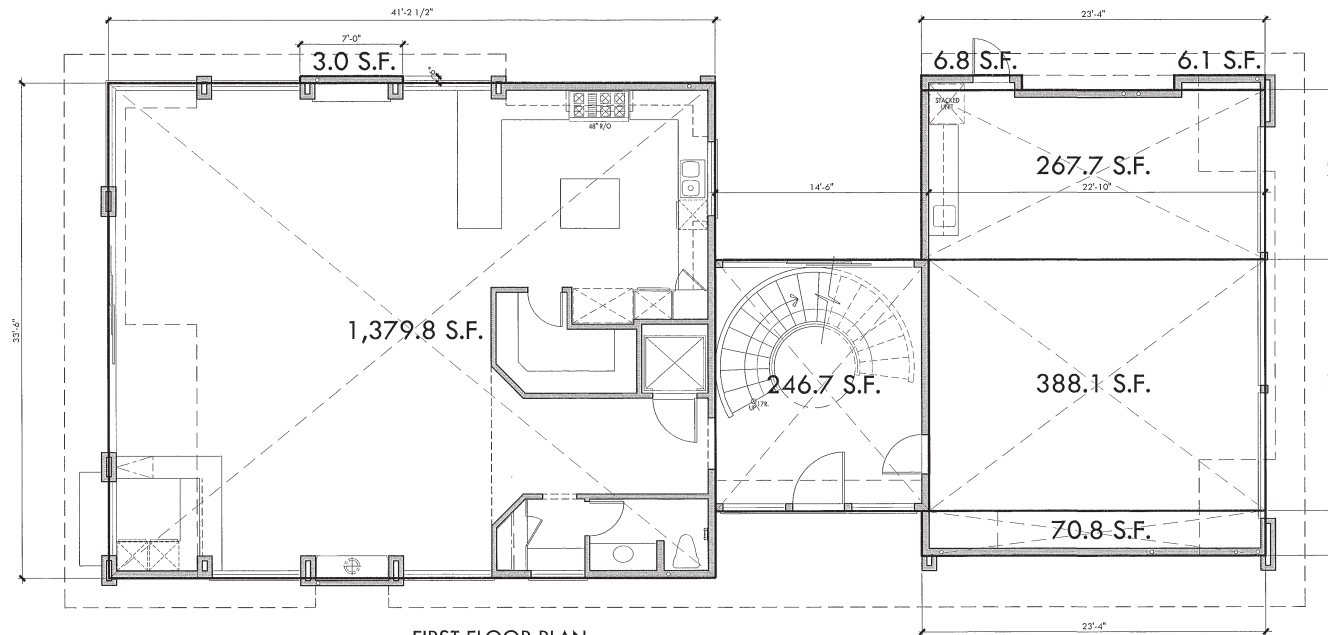
COASTAL SUBMITTAL SET



SECOND FLOOR PLAN

2,013.0 S.F.

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

1,629.5 S.F.

SCALE: 1/4" = 1'-0"



COASTAL SUBMITTAL SET

A NEW HOME FOR :

MR. & MRS. JOHN WELLS

1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

09 - 15 - 2019

PROJECT NO.

19 - 03

SHEET NO.

SFA1

BRADFORD C. SMITH, ARCHITECT

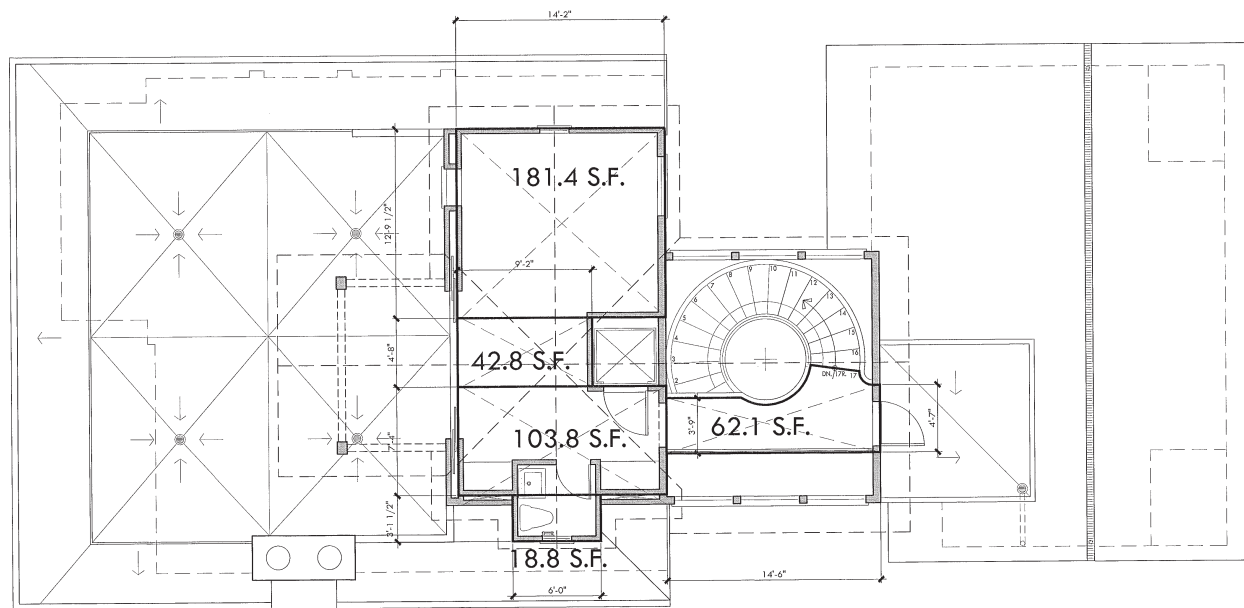
425 30TH STREET, SUITE 22
NEWPORT BEACH, CALIFORNIA 92663

(949) 631 - 3682

e: bradsmitharchitect@gmail.com



CC 11-26-2019

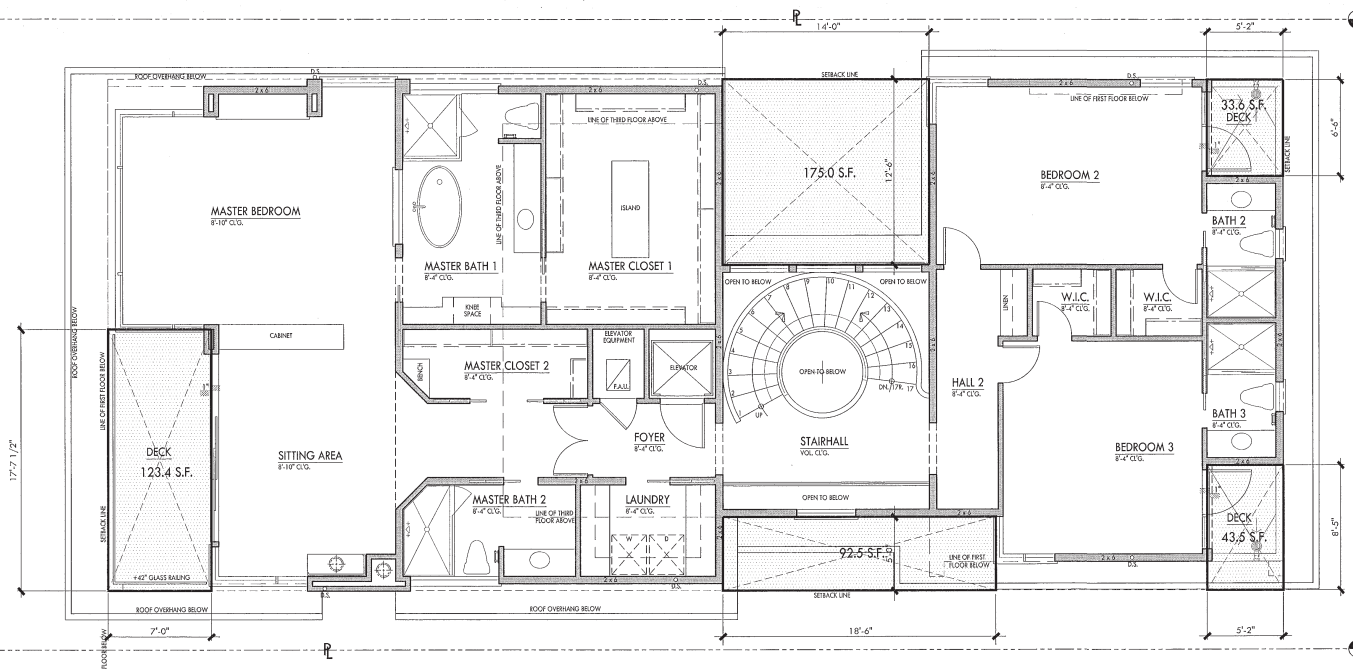


THIRD FLOOR PLAN

408.9 S.F.

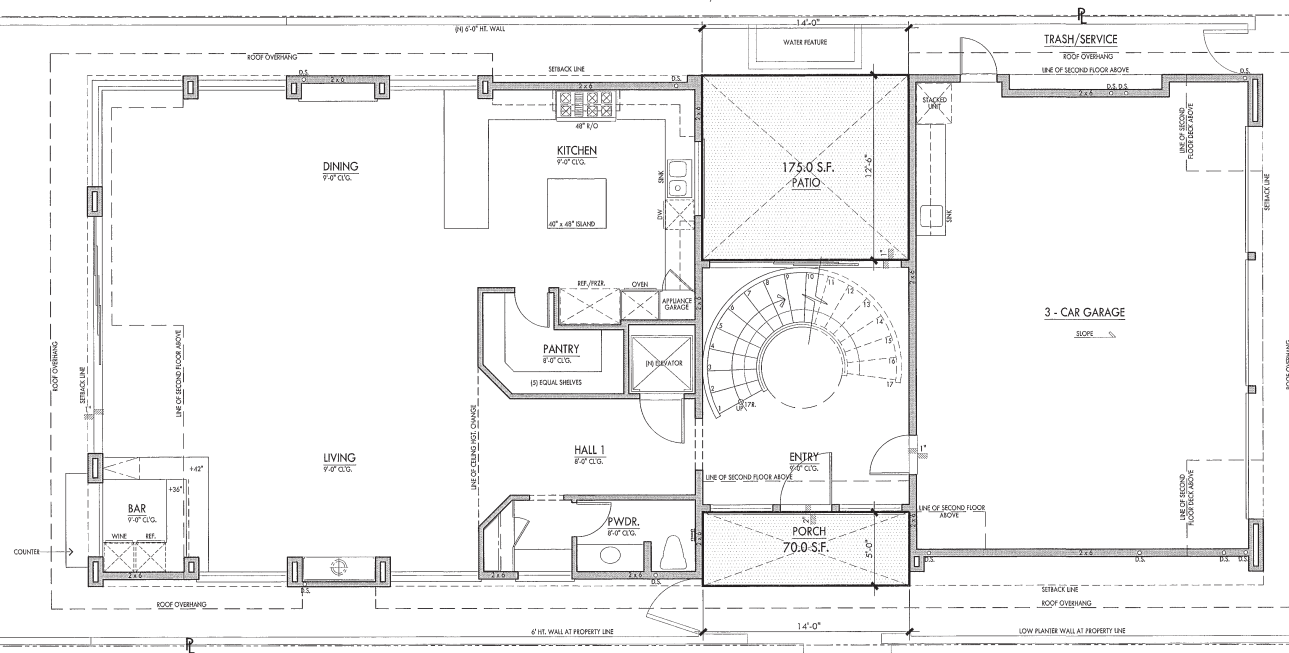
SCALE: 1/4" = 1'-0"





SECOND FLOOR
OPEN SPACE PROVIDED

175.0 S.F.
123.4 S.F.
92.5 S.F.
33.8 S.F.
43.5 S.F.
468.0 S.F.



FIRST FLOOR
OPEN SPACE PROVIDED

175.0 S.F.
200.0 S.F.
245.0 S.F.

TOTAL
OPEN SPACE PROVIDED

245.0 S.F.
468.0 S.F.
713.0 S.F.

TOTAL
OPEN SPACE REQUIRED

411.6 S.F.

CC 11-26-2019

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OPEN SPACE ANALYSIS

A NEW HOME FOR:
MR. & MRS. JOHN WELLS
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

COASTAL SUBMITTAL SET

09-15-2019
19-03

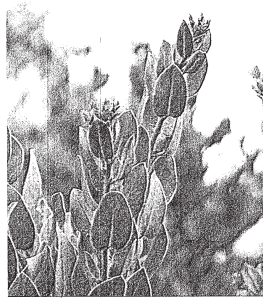
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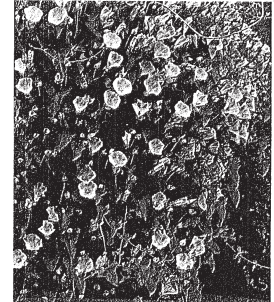
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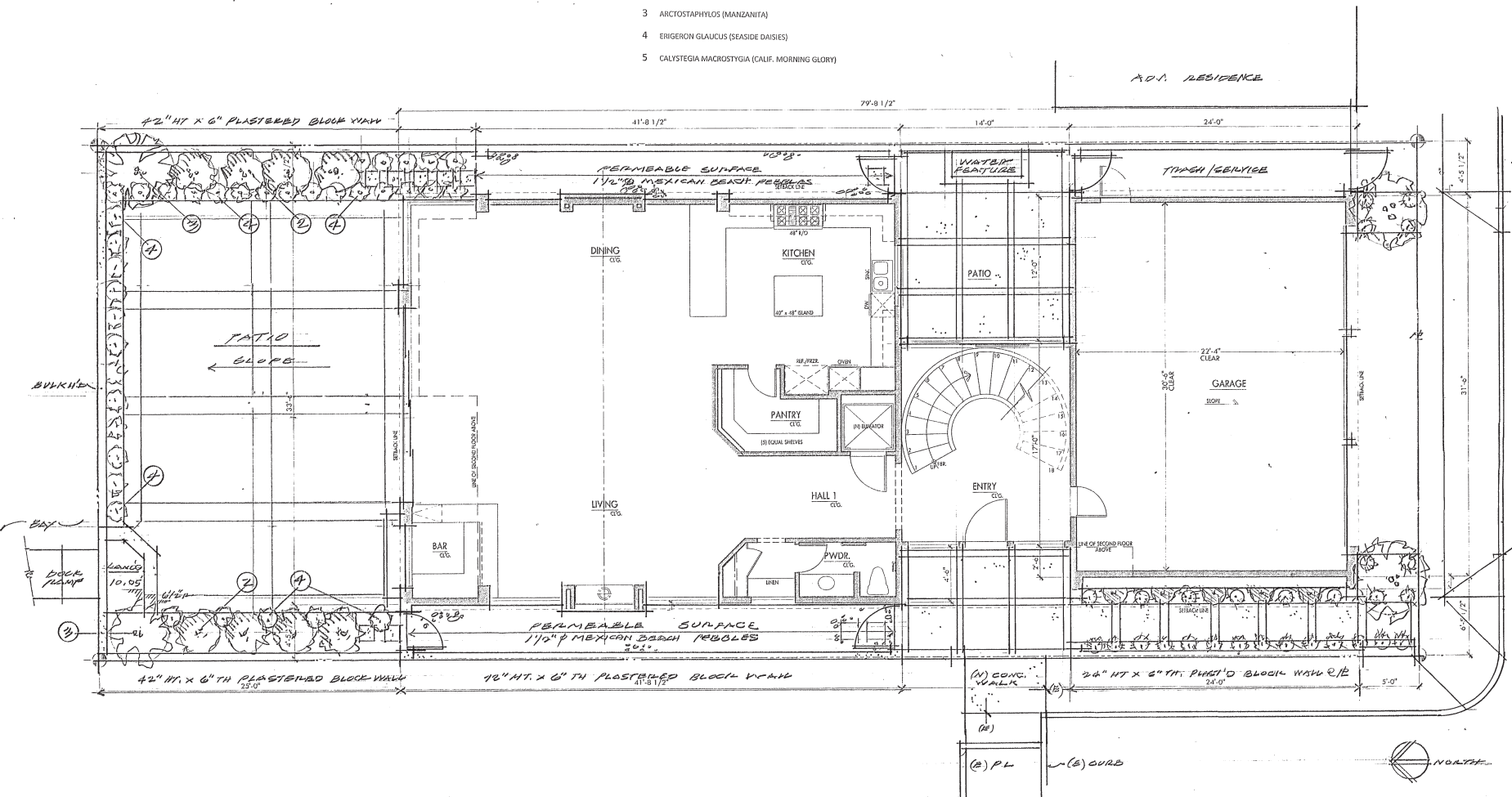
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⑤

PLANT LEGEND

- 1 FESTUCA RUBRA (FESCUE)
- 2 MIMULUS AURANTIACUS (MONKEYFLOWER)
- 3 ARCTOSTAPHYLOS (MANZANITA)
- 4 ERIGERON GLAUCUS (SEASIDE DAISIES)
- 5 CALYSTEGIA MACROSTYGIA (CALIF. MORNING GLORY)



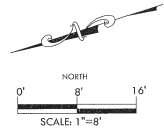
BRADFORD C. SMITH, ARCHITECT
425 30TH STREET, SUITE 22
NEWPORT BEACH, CALIFORNIA 92663
949 631 - 3682
e: bradsmitharchitect@gmail.com

PRELIMINARY
LANDSCAPE PLAN

A NEW HOME FOR:
MR. & MRS. JOHN WELLS
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

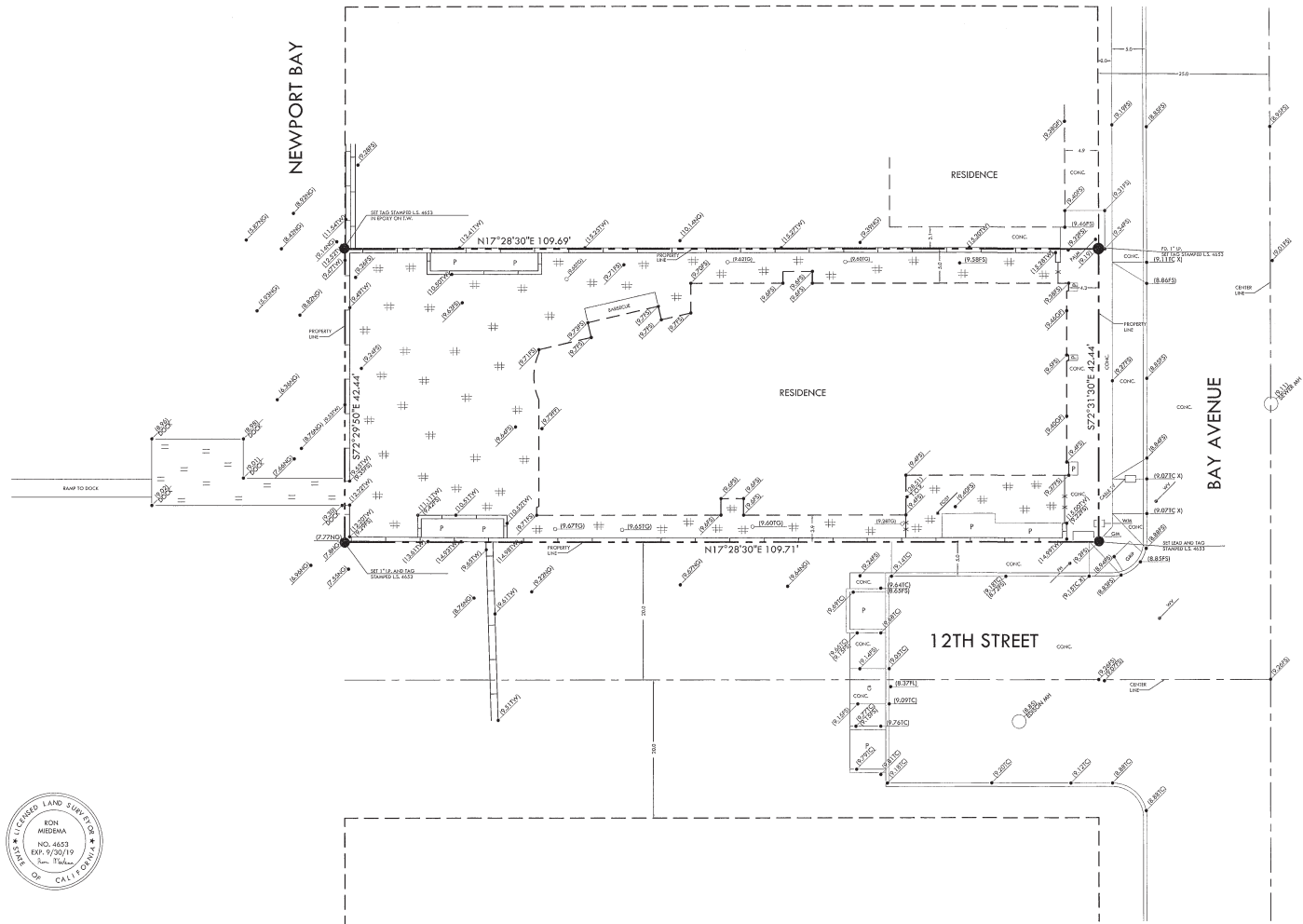
DATE
06 - 17 - 2019
PROJECT NO.
19 - 03
SHEET NO.

L1



NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



LEGEND	
(123.45)	MEAS. ELEVATIONS
(1)	REC. BKG. & DIST.
—#—	DECK
—	BRICK WALL
—	BUILDING
—X—	PROPERTY LINE
—X—	FENCE
⊙	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRADE



RdM SURVEYING INC.

RON MIEDEMA L.S. 4653
23016 LAKE FOREST DR. #409
LAGUNA HILLS, CA 92653
(949) 858-2924 OFFICE
(949) 858-3438 FAX
RDMSURVEYING@COX.NET

TOPOGRAPHIC SURVEY

JOB: 72-31 DATE: 2/7/19

OWNER:
WELLS RESIDENCE

LEGAL DESCRIPTION:
LOT 1 OF BLOCK 4 OF TRACT NO. 626

BENCH MARK:
1" IRON PIPE ELEVATION= 9.19

ADDRESS OF PROJECT:
1140 WEST BAY
NEWPORT BEACH, CA

A NEW HOME FOR :

MR. & MRS. JOHN WELLS
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA 92663

DATE:
09 - 16 - 2019
PROJECT NO:
19 - 03
SHEET NO.

C.1



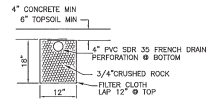
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425 30TH STREET, SUITE 22
NEWPORT BEACH, CALIFORNIA 92663
(949) 631 - 3682
e) bradsmitharchitect@gmail.com

TOPOGRAPHIC SURVEY

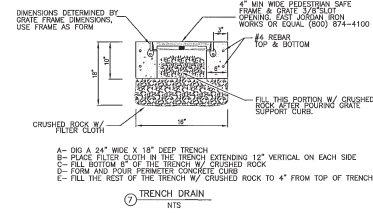
CC: 11-26-2019

CONSTRUCTION NOTES:

1. CONSTRUCT 6" MIN CONCRETE DRIVEWAY
2. CONSTRUCT HARDSCAPE PER LANDSCAPE.
3. INSTALL 4" FLAT GRATE DRAIN
4. INSTALL 4" ATRIUM GRATE DRAIN
5. INSTALL PERFORATED DRAIN TRENCH PER DETAIL SHEET C2
6. INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
7. INSTALL TRENCH DRAIN PER DETAIL, SHEET C2



5 PERFORATED DRAIN/
TRENCH DETAIL
NTS

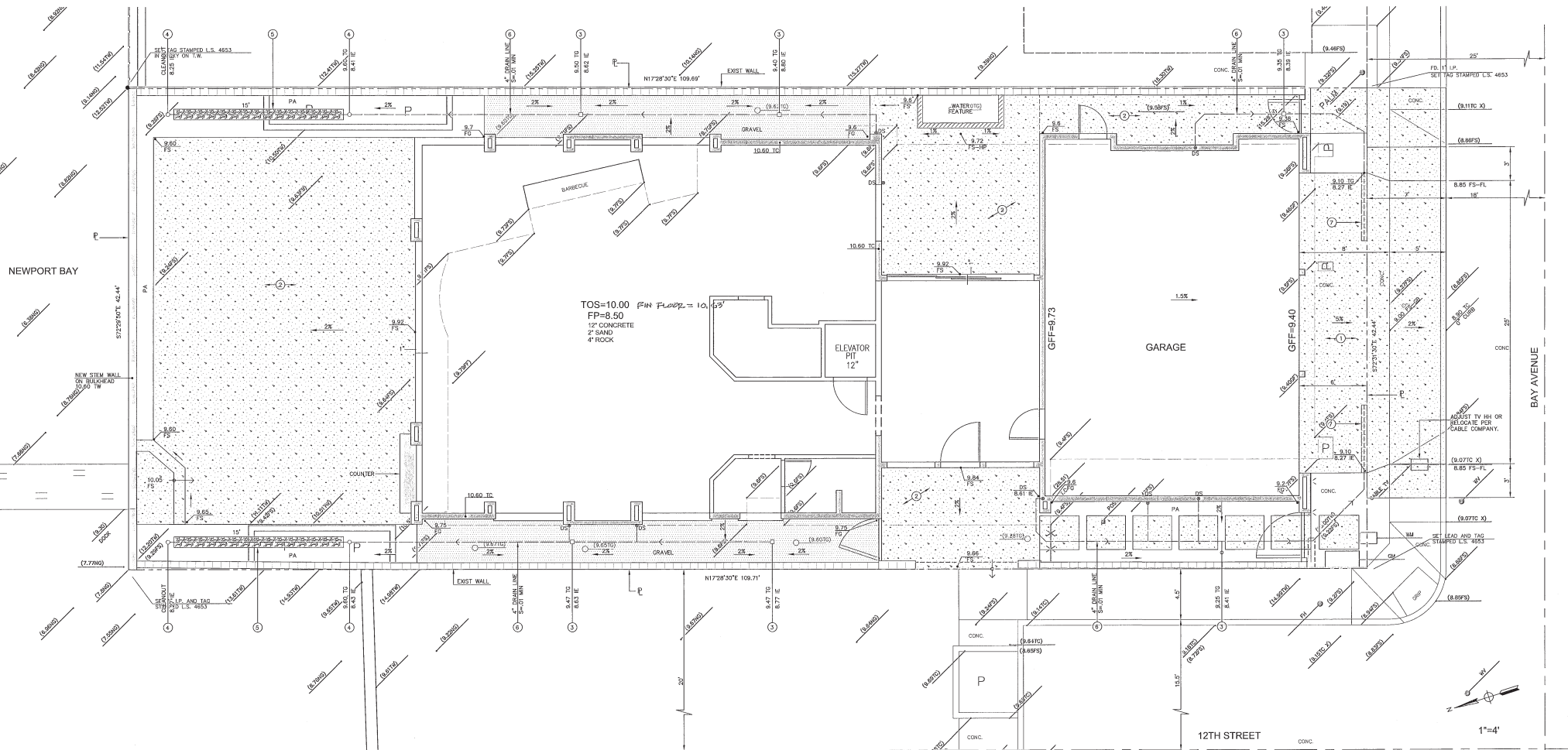


- A- DIG A 24" WIDE X 18" DEEP TRENCH
B- PLACE FILTER CLOTH IN THE TRENCH EXTENDING 12" VERTICAL ON EACH SIDE
C- FILL BOTTOM 8" OF THE TRENCH W/ CRUSHED ROCK
D- FORM AND POUR PERFORATED CONCRETE CURB
E- FILL THE REST OF THE TRENCH W/ CRUSHED ROCK TO 4" FROM TOP OF TRENCH

7 TRENCH DRAIN
NTS

EARTHWORK

RAW CUT: 60 CY
RAW FILL: 3 CY



ARCHITECT:

BRADFORD C. SMITH
425 30TH STREET
SUITE 22
NEWPORT BEACH, CA 92663
(949) 631-3882

OWNER/DEVELOPER:

MR & MRS JOHN WELLS
1140 W. BAY AVE.
NEWPORT BEACH, CA 92663

PREPARED BY:

FORKERT ENGINEERING & SURVEYING, INC.
22311 BROOKHURST ST., STE 203
HUNTINGTON BEACH, CA 92646
(714) 963-6793
JN 5889



THOMAS M. RUIZ
11/26/19
DATE

SOILS ENGINEER/GEOLOGIST:

BENCHMARK:

1" IRON PIPE ELEVATION= 9.19

LEGAL DESCRIPTION:

LOT 1 OF BLOCK 4 OF TRACT NO. 626

PRECISE GRADING
1140 W BAY AVENUE
NEWPORT BEACH, CALIFORNIA

SHEET:

C.2

1. IN CASE OF EMERGENCY, CALL JOHN WHEELS
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPOILED AT CONVENIENT LOCATIONS TO FACILITATE THE IMMEDIATE RESPONSE OF EMERGENCY WORK TO ANY UNEXPECTED OR UNDESIRABLE WEATHER OPERATIONS.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDINGS OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO LOT FIELDS LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE DISPOSITION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR CURED WITH THE APPROPRIATE GRASSING OR SEEDING OPERATIONS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL SITES WITHIN 48 HOURS AFTER EACH RAINFALL AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN A POND EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINFALL. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST BE COMPLETED WITHIN 48 HOURS OF THE END OF EACH RAINFALL OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WHEN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESLTING BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE BEFORE NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHIN THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SHOALS, AREA GRASSES, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND MUST NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE CHANCES OF BEING CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND MAINTAINED PROPERLY. A RECORD OF INSPECTION OR CATCHING UP OF ANY OF PROJECTS PREPARED.
16. AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL. COPIES OF THE SELF-INSPECTION LOG AND INSPECTION LOG ARE AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.
17. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF HAWTHARVE AND DISPERSAL BY WIND.
18. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO RETAIN SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
19. ANY SOILS OR DEBRIS THAT MAY BE WASHED INTO THE PUBLIC WAY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
20. ANY SOLOPS WITH DISTURBED SOIL OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.
21. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
22. ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

WM-1. MATERIAL DELIVERY AND STORAGE

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THESE AREAS.

WM-2. MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTICS, SOLVENTS, PAINTS, AND OTHER MATERIALS MUST BE STORED IN A MANNER THAT REDUCES THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION OR PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-4. SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE MATERIALS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

WM-5. SOLID WASTE MANAGEMENT

PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED TRUCKS OR SECONDARY CONTAINERS. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WASTE POLLUTION AND PREVENT WIND DISPERAL.

WM-6. HAZARDOUS WASTE MANAGEMENT

HAZARDOUS WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7. CONTAMINATED SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOILS.

WM-8. CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AMONG FROM CONCRETE STORIES, STRUCTURES, OR CURBS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-9. SANITARY/SEPTIC WASTE MANAGEMENT

SEWAGE AND SEPTIC WASTE NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1. STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED OUT TO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE IN THE FORM OF:

BE-1. TILLAGE

BE-3. SAND/GRIT TRAP

BE-4. GRAVEL BARGE

ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEEMED SUITABLE.

ALL BMP'S SHALL BE IN ACCORDANCE WITH MODEL BMP'S FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM

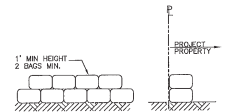
(EC1) CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH. MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #58-6.

(EC2) CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #9M-9.

(EC3) CONSTRUCT MATERIALS STORAGE ARE IN ACCORDANCE WITH BMP FACTS SHEET #9M-1.

(EC4) EXISTING WALL TO REMAIN. PROTECT IN PLACE.

PLACE GRAVEL BAGS AND
FENCE WITH WIND SCREEN

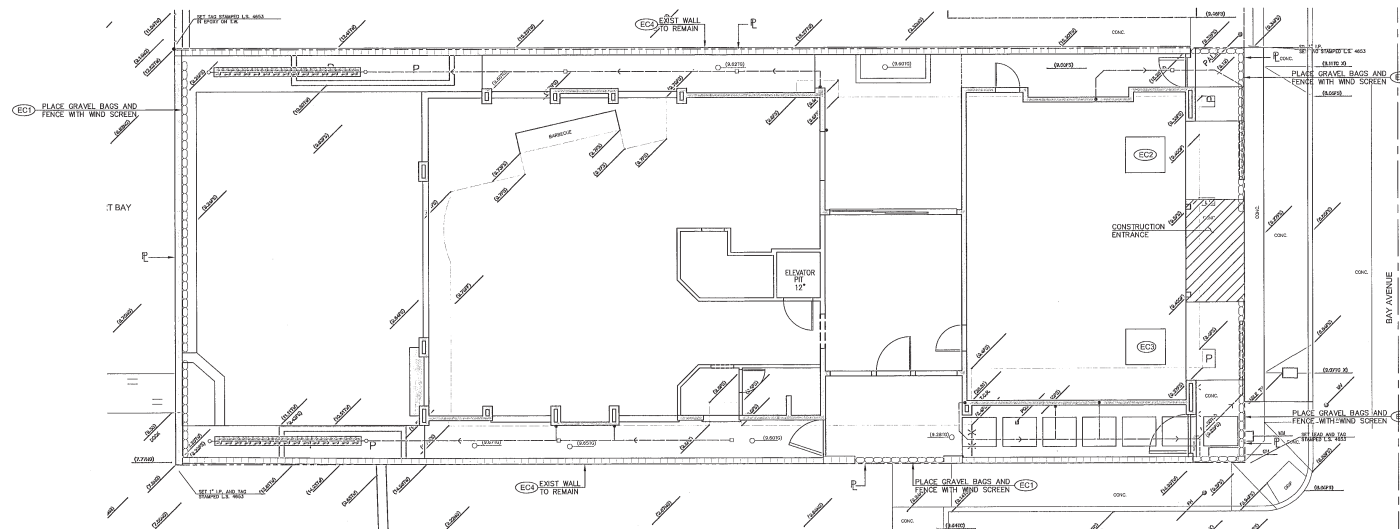


GRAVEL BAG DETAIL
NTS




PROVIDE APPROPRIATE TRANSITION
BETWEEN STABILIZED CONSTRUCTION
ENTRANCE AND STREET

CONSTRUCTION ENTRANCE



1''=6'

		ARCHITECT:		OWNER/DEVELOPER:		PREPARED BY:				SOILS ENGINEER/GEOLOGIST:		BENCHMARK:		LEGAL DESCRIPTION:		EROSION CONTROL PLAN		SHEET:	
		BRAD FORD C. SMITH		MR & MRS. JOHN WELLS		FORKERT ENGINEERING & SURVEYING, INC.		22311 BROOKHURST STE. 203		1" IRON PIPE ELEVATION= 9.19		LOT 1 OF BLOCK 4 OF TRACT NO. 626		CONSTRUCTION POLLUTION PREVENTION		1140 W. BAY AVENUE		C.3	
		425-3011 STREET		NEWPORT BEACH, CA 92663		HUNTINGTON BEACH, CA 92646		(714) 963-6793		THOMAS W. RUIZ						NEWPORT BEACH, CA			
		SUITE 22		(949) 631-3652				JN 6960		11/26/19									
DRAWING: BB										DATE									
CHK'D: TR																			
DATE: 4/15/19																			

April 23, 2019
Project No. BS173.1

John & Janet Wells
c/o: Brad Smith, AIA
425 30th Street
Suite #22
Newport Beach, CA 92663

Subject: **GEOTECHNICAL INVESTIGATION
FOR PROPOSED SINGLE FAMILY DWELLING LOCATED AT
1140 W. BAY AVENUE
NEWPORT BEACH, CALIFORNIA**

Dear John & Janet,

In accordance with your request and with the 2016 CBC, we have completed our Geotechnical Investigation of the above referenced site. This investigation was performed to determine the site soil conditions and to provide geotechnical parameters for the proposed re-grading and construction at the subject site.

It is our understanding that the proposed re-development shall include the demolition of the existing residence and the construction of a new residential dwelling with associated improvements.

This report presents the results of the investigation (including Liquefaction Computations) along with grading and foundation recommendations pertaining to the development of the proposed residences.

This opportunity to be of service is appreciated. If you have any questions, please call.

Very truly yours,

EG&A Consultants, Inc.

DAVID A. WORTHINGTON CEG 2124
Principal Engineering Geologist

JOHN F. EGGERS
Staff Geologist



Copy: (2) Address:

375-C Monte Vista Avenue • Costa Mesa, CA 92627 • (949) 442-9399 • FAX (949) 642-1399



Site: **Proposed SFR - 1140 W. Bay Avenue
Newport Beach, California**

April 23, 2019
Project No. BS173.1

engineering
geotechnical
applications

Executive Summary

Based on our geotechnical study of the site, our review of available reports and literature and our experience, it is our opinion that the proposed residential development is feasible from a geotechnical standpoint. There appear to be no significant geotechnical constraints on-site that cannot be mitigated by proper planning, design, and utilization of sound construction practices. The engineering properties of the soil and native materials, and surface drainage offer favorable conditions for site re-development.

The following key elements are conclusions confirmed from this investigation:

- A review of available geologic records indicates that no active faults cross the subject property.
- The site is located in the seismically active Southern California area, and within 2 kilometers of the Type II Newport-Inglewood Fault. As such, the proposed development shall be designed in accordance with seismic considerations specified in the 2016 California Building Code (CBC) and the City of Newport Beach requirements.
- Foundation specifications herein include added provisions for potential liquefaction on-site per City policy CBC 1803.11-12.

SUMMARY OF RECOMMENDATIONS

Design Item	Recommendations
Foundations:	
Mat Slab:	min. 12 inches with thickened edges (+ 6 inches) with no. 5 bars @ 12" o.c. each way, top and bottom
Passive Lateral Resistance:	200 psf per foot
Perimeter Footing Width:	min. 15 inches with two No. 5 bars top and bottom
Perimeter Footing Depth:	min. 24 inches below lowest adjacent grade
Coefficient of Friction:	0.25
Soil Expansion:	Non-Expansive Beach Sands
Soil Sulfate Content:	Negligible
Building Pad Removals:	min. 2% ft. overexcavation, with 2% ft. envelope
Sandy Soil Max. Density:	118.5 pcf @ 10.5 % Opt. Moisture
Building Slab:	
Concrete slabs cast against properly compacted fill materials shall be a minimum of 6 inches thick (actual) and reinforced with No. 4 rebar at 12 inches on center in both directions.	
Downed all footings to slabs with No. 4 bars at 24 inches on center.	
Concrete building slabs shall be underlain by 2" clean sand, underlain by a min. 15 mil thick moisture barrier, with all laps sealed, underlain by 4" of 1/4-inch gravel (capillary break).	
Seismic Values:	
Site Class Definition (Table 1613.5.2)	D
Maped Spectral Response Acceleration at 0.2s Period, S_s	1.727 g
Maped Spectral Response Acceleration at 1s Period, S_1	0.039 g
Long Period Site Coefficient at 0.2s Period, F_a	1.00
Long Period Site Coefficient at 1s Period, F_v	1.50
Adjusted Spectral Response Acceleration at 0.2s Period, S_{as}	1.727 g
Adjusted Spectral Response Acceleration at 1s Period, S_{1s}	0.057 g
Design Spectral Response Acceleration at 0.2s Period, S_{ds}	1.151 g
Design Spectral Response Acceleration at 1s Period, S_{d1}	0.039 g
	PGA _{max} = 0.715 g

375-C Monte Vista Avenue • Costa Mesa, CA 92627 • (949) 642-9399 • FAX (949) 642-1399

The soil borings were continuously logged by a certified engineering geologist of our firm.

The computations and results of our Liquefaction Analysis, based on CPT blow counts of Boring CPT-1, are attached in Appendix E, herein. The seismically induced settlement analysis was evaluated based on methods published in the references Nos. "a" through "j" (see "Associated References", herein). The liquefaction and seismic settlement calculations indicate seismic settlement (includes dry and saturated sands) in the upper 50 feet is less than 2.0 inches and in the upper 10 feet is 1.38 inches. However, after remedial grading specified in the grading sections below (soil cement in the upper five feet of the proposed building pad), the post-remedial grading seismic settlement calculates less than 1.0 inches in the upper 10 feet, and hence shallow mitigation methods for liquefaction will be implemented per City Policy (No. CBC 1803.5.11-12 last revised 7/3/2014). The pre- and post-remedial grading seismic settlement values are shown on Page 5 of Plate A (Appendix E, herein).

Based on our liquefaction analysis, and in accordance with the City of Newport Beach Policy No. CBC 1803.5.11-12 (NBMC, Chapter 15), we recommend the following mitigative methods to minimize the effects of shallow liquefaction:

- Remedial Grading via Soil Cement in Upper 5 feet** - See Page 12, below
- Mat Slab Foundation** - See Page 13, below

The soil densification via soil cement and the mat slab foundation specifications outlined below will act to decrease the potential settlement due to liquefaction and/or seismically induced lateral deformation to tolerable amounts. The above specifications eliminate the use of piles and associated construction vibrations and groundwater displacement induced by caisson sinking or pile driving. The above specifications are incorporated, the proposed structure shall be stable and adequate for the intended uses and the proposed construction will not adversely impact the subject or adjacent properties.

CONCLUSIONS

Based on our geotechnical study of the site, our review of available reports and literature and our experience, it is our opinion that the proposed improvements at the site are feasible from a geotechnical standpoint. There appear to be no significant geotechnical constraints on-site that cannot be mitigated by proper planning, design, and utilization of sound construction practices. The engineering properties of the soil and native materials, and the surface drainage offer favorable conditions for site re-development.

RECOMMENDATIONS

The following conclusions state the principle geotechnical concerns which should be considered for proper site re-development.

Earthwork

Grading and earthwork should be performed in accordance with the following recommendations and the General Earthwork and Grading Guidelines included in Appendix C. It is our understanding that the majority of grading will be limited to the re-grading of the building pad for the proposed construction. In general, it is anticipated that the removal of the upper 4 feet within the building footprint (slab-on-grade portion) will require removal and recompaction to prepare the site for construction. Additionally, the bottom of the excavation shall be scarified a minimum 12 inches. The removals should be accomplished so that all fill and backfill existing as part of the previous site use and demolition operations are removed.

Where feasible, the limits of the pad fill shall be defined by a three (3) feet envelope encompassing the building footprint. Care should be taken to protect the adjacent property improvements.

A minimum one foot thick fill blanket should be placed throughout the exterior improvements (approaches, hardcape, etc.). The fill blanket will be achieved by re-working (scarifying) the upper 12 inches of the existing grade.

Site Preparation

Prior to earthwork or construction operations, the site should be cleared of surface structures and subsurface obstructions and stripped of any vegetation in the areas proposed for development. Removed vegetation and debris should then be disposed of off-site. A minimum of 4 feet (+12 inches of scarification) of the soils below existing grade will require removal and recompaction in the areas to receive building pad fill. Following removal, the excavated surface should be inspected by the soils engineer or his designated representative prior to the placement of any fill in footing trenches. Holes or pockets of undocumented fill resulting from removal of buried obstructions discovered during this inspection should be filled with suitable compacted fill.

Soil Cement

Due to in situ dry, cohesionless and liquefiable soils layers, we recommend approximately five (5) pallets (35 bags dry mix, each weighing 94 pounds and approximately 1.33 cubic yards) of Portland cement be blended into the newly-placed fill. The first application of the Portland Cement shall be placed on the bottom of the scarified over-excavation(s). This option may be eliminated or reduced if suitable import fills are trucked-in.

Fills

The on-site soils are suitable for reuse as compacted fill, provided they are free of organic materials, debris, and materials larger than four (4) inches in diameter. After removal of any loose, compressible soils, all areas to receive fill and/or other surface improvements should be scarified to a minimum depth of 12 inches, brought to at least 2 percent over optimum moisture conditions and compacted to at least 90 percent relative compaction (based on ASTM: D 1557). If necessary, import soils for near-surface fills should be predominantly granular, possess a very low expansion potential, and be approved by the geotechnical engineer.

Lift thicknesses will be dependent on the size and type of equipment used. In general, fill should be placed in uniform lifts not exceeding 6 inches. Placement and compaction of fill should be in accordance with local grading ordinances under the observation and testing of the geotechnical consultant. We recommend that fill soils be placed at moisture contents at least 2 percent over optimum (based on ASTM: D 1557).

We recommend that oversize materials (materials over 4 inches) should they be encountered, be stockpiled and removed from the site.

Trench Backfill

The on-site soils may be used as trench backfill provided they are screened of rock sizes over 4 inches in dimension and organic matter. Trench backfill should be compacted in uniform lifts (not exceeding 6 inches in compacted thickness) by mechanical means to at least 90 percent relative compaction

Geotechnical Parameters

The following Geotechnical parameters may be used in the design of the proposed structure (also, see "Liquefaction Analysis" section, above):

Mat Foundation Design

As stated above, to further reduce the effects of the thin zones of potentially liquefiable soils, a mat slab foundation system is recommended for the proposed residential building. Mat slabs founded in compacted fill or competent native materials may be designed for an allowable bearing value of 1,000 psf (for dead-plus-live load). The actual design of the foundation and slabs should be completed by the structural engineer.

MIN. DESIGN ITEM	RECOMMENDATIONS
Mat foundations:	1,000 psf
allowable bearing pressure:	200 psf per foot
passive lateral resistance:	min. 12 inches with thickened edges (+ 6 inches)
mat slab thickness:	no. 5 bars @ 12" o.c. each way, top and bottom
steel reinforcement:	0.25
coefficient of friction:	$\mu_p = 90 \text{ kN/m}^2$
Modulus of Subgrade Reaction:	

The mat slab shall be directly underlain by a min. 2-inch thick layer of washed sand, underlain by min. 15-mil sieve wrap (or equiv., lapped and sealed), underlain by 4 inches of gravel (3/4-inch crushed rock), underlain by competent native materials (see "Capillary Break" Section below).

If applicable, for structures under/and footings outside the mat slab, footings should be a minimum of 24 inches deep (measured in the field below lowest adjacent grade). At this depth (24 inches) footings founded in fill materials may be designed for an allowable bearing value of 1,750 and 2,250 psf (for dead-plus-live load) for continuous wall and isolated spread footings, respectively. These values may be increased by one-third for loads of short duration, including wind or seismic forces.

Reinforcement requirements may be increased if recommended by the project structural engineer. In no case should they be decreased from the previous recommendations.

Cement Type for Concrete in Contact with On-Site Earth Materials

Concrete mix design should be based on sulfate testing with Section 1904.2 of the 2016 CBC. Preliminary laboratory testing indicates the site soils possess negligible sulfate exposure. In the event import soils are used, the soils shall be tested for sulfate content and the associated recommendation shall be implemented as follows:

ACI 308 BUILDING CODE - Table 19.3.1.1 REQUIREMENTS FOR CONCRETE EXPOSED TO SULFATE-CONTAINING SOLUTIONS						
Sulfate Exposure (FS)	Water soluble sulfate (SO ₄) in soil, percent by weight	Sulfate (SO ₄) in water, ppm	Cement Type	Maximum water-cementitious material ratio, by weight, normal weight concrete	Minimum f_c of normal-weight and light weight concrete, psi	
Moderate [S2]	0.50 - 5.00, < 10	0 - 500, < 1000	-----	-----	-----	-----
Highly [S3]	0.10 - 5.00, < 200	100 - 500, < 1000	II (Type I), III (Type I), III (Type I), III (Type I)	0.50	4500	
Severe [S3]	0.20 - 5.00, < 200	1000 - 500, < 10,000	V	0.45	4500	
Very Severe [S3]	500 - 2,000	500 - 10,000	V plus pozzolan	0.45	4500	

As a conservative approach, we recommend cement with a minimum strength f_c of 5,000 psi be used for concrete in contact with on-site earth materials.

Settlement

Utilizing the design recommendations presented herein, we anticipate that the majority of any post-grading settlement will occur during construction activities. We estimate that the total settlement for the proposed structure will be on the order of 1 inch. Differential settlement is not expected to exceed 1 inch in 30 feet. These settlement values are expected to be within tolerable limits for properly designed and constructed foundations.

Lateral Load Resistance

Footings founded in fill materials may be designed for a passive lateral bearing pressure of 200 pounds per square foot per foot of depth. A coefficient of friction against sliding between concrete and soil of 0.25 may be assumed.

Capillary Break Below Interior Slabs

In accordance with the 2016 California Green Building Standards Code Section 4.505.2.1, we provide the following building specification for the subject site (living area and garages slabs):

Concrete building slabs shall be directly underlain by a min. 15 mil-thick vapor barrier (e.g. "Siege Wrap"), with all laps sealed, underlain by 4 inches of 3/4-inch gravel. We do not advise placing sand directly on the gravel layer as this would reverse the effects of vapor retardation (due to siltation of fines).

The above specification meets or exceeds the Section 4.505.2.1 requirement.

Exterior Slab-on-grade (Hardscape)

Concrete slabs cast against properly compacted fill materials shall be a minimum of 4 inches thick (actual) and reinforced with No. 3 rebar at 16 inches on center in both directions. The reinforcement shall be supported on chairs to insure positioning of the reinforcement at mid-center in the slab.

Control joints should be provided at a maximum spacing of 8 feet on center in two directions for slabs and at 6 feet on center for sidewalks. Control joints are intended to direct cracking.

Expansion or felt joints should be used at the interface of exterior slabs on grade and any fixed structures to permit relative movement.

Some slab cracking due to shrinkage should be anticipated. The potential for the slab cracking may be reduced by careful control of water/cement ratios. The contractor should take appropriate curing precautions during the pouring of concrete in hot weather to minimize cracking of slabs.

Surface Drainage

Surface drainage shall be controlled at all times. Positive surface drainage should be provided to direct surface water away from structures and toward the street or suitable drainage facilities. Ponding of water should be avoided adjacent to the structures. Recommended minimum gradient is 2 percent for unpaved areas and one percent for concrete/paved areas. Roof gutter discharge should be directed away from the building areas through solid PVC pipes to suitable discharge points. Area drains should be provided for planter areas and drainage shall be directed away from the top of slopes.

Review of Plans

The specifications and parameters outlined in this report shall be considered minimum requirements and incorporated into the Foundation Plans. This office should review the Foundation Plans when available.

PRE-CONSTRUCTION MEETING

It is recommended that no clearing of the site or any grading operation be performed without the presence of a representative of this office. An on-site pre-grading meeting should be arranged between the soils engineer and the grading contractor prior to any construction.

GEOTECHNICAL OBSERVATION AND TESTING DURING CONSTRUCTION

We recommend that a qualified geotechnical consultant be retained to provide geotechnical engineering services, including geotechnical observation/testing, during the construction phase of the project. This is to verify the compliance with the design, specifications and our recommendations, and to allow design changes in the event that subsurface conditions differ from those anticipated.

- Geotechnical observation/testing should be performed at the following stages:
 - During any grading operations, including excavation, removal, filling, compaction, and backfilling, etc.
 - After excavations for footings (or thickened edges) and/or grade beams verify the adequacy of underlying materials.
 - After pre-soaking of new slab sub-grade earth materials and placement of capillary break, plastic membrane, prior to pouring concrete.
 - During backfill of drainage and utility line trenches, to verify proper compaction.
 - Whenever any unusual geotechnical conditions are encountered.
 - Prior to slab pours to ensure proper subgrade compaction and moisture barriers.

Please schedule an inspection with the geotechnical consultant prior to the pouring of ALL interior and exterior slabs.

LIMITATIONS

The geotechnical services described herein have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the geotechnical engineering profession practicing contemporaneously under similar conditions in the subject locality. Under no circumstance is any warranty, expressed or implied, made in connection with the providing of services described herein. Data, interpretations, and recommendations presented herein are based solely on information available to this office at the time work was performed. EG&A Consultants will not be responsible for other parties' interpretations or use of the information developed in this report.

The interpolated subsurface conditions should be checked in the field during construction by a representative of EG&A Consultants, Inc. We recommend that all foundation excavations and grading operations be observed by a representative of this firm to ensure that construction is performed in accordance with the specifications outlined in this report.

We do not direct the contractor's operations, and we cannot be responsible for the safety of others. The contractor should notify the owner if he considers any of the recommended actions presented herein to be unsafe.

Proposed Residence 1140 W. Bay Avenue, Newport Beach, CA
Soils Report
Project No. BS173.1
April 23, 2019

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CC 11-26-2019

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SOILS REPORT

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