



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

February 13, 2020
Agenda Item No. 3

SUBJECT: South Bayfront Waterpointe, LLC. Residence (PA2019-265)
▪ Coastal Development Permit No. CD2019-075

SITE LOCATION: 400 South Bay Front

APPLICANT: Brandon Architects

OWNER: South Bayfront Waterpointe, LLC.

PLANNER: Liane Schuller, Planning Consultant
949-644-3200, lschuller@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RT (Two-Unit Residential)
- **Zoning District:** R-BI (Balboa Island)
- **Coastal Land Use Category:** RT-E (Two Unit Residential) (30.0 - 39.9 DU/AC)
- **Coastal Zoning District:** R-BI (Balboa Island)

PROJECT SUMMARY

A request for a coastal development permit to allow the construction of a new 5,689square-foot, single-family residence with an attached 715square-foot, three-car garage on a vacant lot. The project includes accessory appurtenances such as walls, fences, patios, drainage devices, and landscaping. The project complies with all applicable development standards including height, setbacks, and floor area limits, and no deviations are requested. All proposed improvements are located within the confines of the private property.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2019-075 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-BI (Balboa Island) Coastal Zoning District, which provides for a maximum two-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- Coastal Development Permit CD2018-073 was reviewed and approved for the project site on February 28, 2019, allowing demolition of two existing multi-unit structures containing a total of five units. Additionally, the demolition was found to be compliant with Newport Beach Municipal Code (NBMC) Chapters 20.34 and 21.34 (Conversion or Demolition of Affordable Housing) and the Mello Act by the Community Development Director on February 8, 2019. A building permit was issued for the approved demolition on April 4, 2019, and the structures have been removed. The property is therefore not subject to the provisions of Senate Bill 330, which became effective on January 1, 2020.
- The neighborhood is developed with a mix of one-, two- and three-story, residential structures. The design, bulk, and scale of the proposed new development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed structures will conform to all applicable development standards, including floor area limits, setbacks, and height, as evidenced by the project plans and illustrated in Tables 1 and 2 below:

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front	0 feet	2 feet, 10 inches
Side	4 feet each	4 feet each
Rear	5 feet	5 feet, 7 inches
Allowable Floor Area	6,544 square feet	6,404 square feet
Allowable 3rd Floor Area	634 square feet	395 square feet
Open Volume Area	634 square feet	1,140 square feet
Parking	3 enclosed	3 enclosed
Height	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

Hazards

- The property is an oceanfront parcel that is separated from the ocean by a public boardwalk and City-owned concrete seawall/bulkhead. The bulkhead which protects the subject property is part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this project.
- A Coastal Hazards and Sea Level Rise report, dated December 5, 2019, was prepared for the project by GeoSoils, Inc. The report concludes that with the implementation of sea level rise (SLR) adaptation strategies (waterproofing of the structure and future raising of the City's bulkhead), the proposed development will not be adversely impacted by potential coastal hazards over the next 75 years. No additional protective devices will be necessary to protect the proposed development.
- The finished floor elevation of the first habitable floor of the proposed structure is 9 feet North American Vertical Datum of 1988 (NAVD 88), which complies with the minimum 9 feet NAVD 88 elevation standard for new structures. The development will be required to be waterproofed to 10.6 feet NAVD 88 to accommodate future anticipated potential sea level rise.
- Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
- The property is located in an area known for the potential for seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The development, as proposed and conditioned, incorporates design features to minimize the effect of construction and post-construction activities on the marine environment. These design features include, but are not limited to, one or more of

the following: the appropriate management of equipment and construction materials, reducing runoff with permeable surfaces, and the use of post-construction best management practices to minimize the project's adverse impact on coastal water.

- The project design addresses water quality during construction with a construction erosion control plan. All new construction resulting from the project will tie into an existing post-construction drainage system that includes features designed to retain dry weather and minor rain event runoff onsite. Any water not retained onsite is directed to the City's storm drain system.

Public Access

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The existing residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
- The project is designed and sited so as not to block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the project. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the public boardwalk along the waterfront.
- The project site is not located adjacent to a coastal view road or coastal viewpoint identified by Local Coastal Program maps. The project site abuts Pearl Avenue, which provides a view corridor to the Bay; however, development will not block or impede public views. The project site may be located within the viewshed of distant public viewing areas; however, the project comprises a new single-family residence that complies with all applicable Local Coastal Program (LCP) development standards. The project will also maintain a building envelope consistent with the existing and anticipated neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment.

Class 3 exempts the construction of up to three single-family residences in an urbanized area. The proposed project includes the construction of a new 5,689square-foot, single-family residence and attached 715square-foot, three-car garage on a vacant lot.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Program Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:


Liane Schuller
Planning Consultant

GR/ls

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2020-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-075 TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE AT 400 SOUTH BAY FRONT (PA2019-265)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Brandon Architects (“Applicant”), on behalf of South Bayfront Waterpointe, LLC. (“Owner”), with respect to property located at 400 South Bay Front, and legally described as Lots 1 and 2 in Block 7 of Section 1, Balboa Island, requesting approval of a coastal development permit. The lots were previously combined into a single parcel for development purposes in 1983 (PM 83-710).
2. The Applicant proposes to construct a new 5,689square-foot, single-family residence with an attached 715square-foot, three-car garage.
3. The subject property is located within the R-BI (Balboa Island) Zoning District and the General Plan Land Use Element category is RT (Two-Unit Residential).
4. The subject property is located within the coastal zone and has a Coastal Land Use Designation of Two-Unit Residential (RT-E) (30.0 - 39.9 DU/AC) and a Coastal Zoning District of Balboa Island (R-BI).
5. A public hearing was held on February 13, 2020, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
2. Class 3 includes the construction of a single-family residence in a residential zone. The proposed project includes the construction of a new 5,689square-foot, single-family residence with an attached 715square-foot, three-car garage.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the

environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The proposed structure conforms to all applicable development standards including, but not limited to, floor area limitation, setbacks, height, and parking:
 - a. The maximum floor area limitation is 6,544 square feet and the proposed gross floor area is 6,404 square feet.
 - b. The proposed development will provide the required setbacks, which are zero feet along the front property line abutting the boardwalk, four feet along the side property lines, and five feet along the rear property line abutting the alley.
 - c. The highest flat roof or guardrail is no more than 24 feet, measured from the finished floor level of 9 feet North American Vertical Datum of 1988 (NAVD 88) and the highest roof ridge is no more than 29 feet, measured from the finished floor level, which complies with the maximum height limitation.
 - d. The project includes enclosed garage parking for three vehicles, which complies with the minimum three-space parking requirement for single-family residences with more than 4,000 square feet of livable floor area.
2. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards as the neighborhood is developed with a mix of one-, two- and three-story, single-family residences.
3. Coastal Development Permit CD2018-073 was reviewed and approved for the project site on February 28, 2019, allowing demolition of two existing multi-unit structures containing a total of five units. Additionally, the demolition was found to be compliant with NBMC Chapters 20.34 and 21.34 (Conversion or Demolition of Affordable Housing) and the Mello Act by the Community Development Director on February 8, 2019. A building permit was issued for the approved demolition on April 4, 2019, and the structures have been removed. The property is therefore not subject to the provisions of Senate Bill 330, which became effective on January 1, 2020.

4. The property is an oceanfront lot that is separated from the ocean by a public boardwalk and City-owned concrete seawall/bulkhead. The bulkhead which protects the subject property is part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this project. A Coastal Hazards and Sea Level Rise report, dated December 5, 2019, was prepared for the project by GeoSoils, Inc. The report concludes that, with the implementation of sea level rise (SLR) adaptation strategies (waterproofing of the structure and future raising of the City's bulkhead), the proposed development will not be adversely impacted by potential coastal hazards over the next 75 years. No additional protective devices will be necessary to protect the proposed development.
5. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
6. The finished floor elevation of the first habitable floor of the proposed structure is 9 feet North American Vertical Datum of 1988 (NAVD 88), which complies with the minimum 9foot (NAVD 88) elevation standard for new structures. The development will be required to be waterproofed to 10.6 feet NAVD 88 to accommodate future anticipated potential sea level rise.
7. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and the CBC prior to building permit issuance.
8. A post-construction drainage system will be installed that includes drainage and percolation features designed to retain dry weather and minor rain runoff onsite to ensure the project does not impact water quality. Any water not retained onsite is directed to the City's storm drain system.
9. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.

10. New landscaping will be verified for compliance with NBMC Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant, and prohibits invasive species. Prior to issuance of the building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
11. The property is not located adjacent to a coastal view road or coastal viewpoint identified by Local Coastal Program maps. The project site may be located within the viewshed of distant public viewing areas; however, the project will replace an existing single-family residence with a new single-family residence that complies with all applicable Local Coastal Program (LCP) development standards. It will also maintain a building envelope consistent with the existing and anticipated neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The proposed residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of a new single-family residence. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
2. The project is designed and sited so as not to block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the proposed development. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the public boardwalk along the waterfront.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-075, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 13th DAY OF FEBRUARY, 2020.

Jaime Murillo, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
3. Coastal Development Permit No. CD2020-075 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
4. *Prior to issuance of building permits, the project plans shall be updated to reflect that a waterproofing curb will be constructed around the proposed residence as an adaptive flood protection device up to 10.6 feet North American Vertical Datum of 1988 (NAVD 88). Flood shields (sand bags and other barriers) can be deployed across the openings to protect prevent flooding to the structure.*
5. Prior to the issuance of a building permit, the property owner shall sign a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgements, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. The letter shall be scanned into the plan set prior to building permit issuance.
6. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
7. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
8. This Coastal Development Permit does not authorize any development seaward of the private property.

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9. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
 10. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
 11. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
 12. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
 13. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
 14. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
 15. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

16. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
17. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
18. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
19. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
20. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
21. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
22. Prior to issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.
23. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
24. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

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25. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
 26. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
 27. This Coastal Development Permit No. CD2019-075 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
 28. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of South Bayfront Waterpointe, LLC. Residences including, but not limited to, Coastal Development Permit No. CD2019-075 (PA2019-265). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. CD2019-075
PA2019-265

400 South Bay Front

Attachment No. ZA 3

Project Plans

400 S. BAY FRONT, NEWPORT BEACH, CA 92662



THE SUBJECT PROPERTY IS LOCATED IN NEWPORT BEACH, CA ON BALBOA ISLAND ON SOUTH BAY FRONT, NORTH OF THE FERRY TERMINAL. THE EXISTING LOT IS APPROX. 61' WIDE BY APPROX. 86' DEEP AND ZONED R-BI (BALBOA ISLAND RESIDENTIAL). THE CLIENT PRAISES THE LOCATION AS BEING ONE OF THE BEST 3 STORY SINGLE FAMILY RESIDENCES IN THE AREA AT APPROX. \$1,100/SQ FT. THE HOME HAS A GORGEOUS FIRST FLR PANTRY & CLOSET BUT NOT LIMITED TO EATING KITCHEN W/ ISLAND & PANTRY, GREAT ROOM W/ FIREPLACE, LIVING ROOM WITH HARDWOOD FLOORING, SLENDER ROOFS, SECOND FLOOR BEDROOMS WITH CLOSETS, INCLUDES MASTER SUITE, MASTER BATH AND WALK IN CLOSET, 4 SECONDARY BEDROOMS WITH ATTACHED BATHS & CLOSETS, FAMILY ROOM, GAME ROOM, AND LAUNDRY ROOM. THIRD FLOOR WILL HAVE AN OUTSTANDING VIEW OF THE OCEAN AND CITY LIGHTS. THE INTERIOR DESIGN WILL BE OF TRADITIONAL CAPE COD THEMED FOCUSING ON EXTERIOR VIEWS OF THE BAYFRONT. EXTERIOR MATERIALS TO BE OF HIGH QUALITY AND DURABILITY INCLUDING NATURAL WOOD SHINGLES.

[illegible]

43. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AND SUPPORTING DRAINAGE, FREE OF DEBRIS OR HAZARDOUS MATERIALS AT ALL TIMES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM BEING

44. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEM DAMAGED DURING CONSTRUCTION OR CLEAN-UP. ANY DAMAGE TO EXISTING STRUCTURES DURING THE CONSTRUCTION OF THE NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTORS EXPENSE.

45. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL SIGNAGE REGULATING FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.

46. CONTRACTOR SHALL PROVIDE PROPER SAFETY MEASURES DURING ALL PHASES OF CONSTRUCTION.

47. CONTRACTOR TO REMOVE, ELICATE OR RE-ROUTE, ANY NECESSARY ELECTRICAL, TELEPHONE, WATER, SEWER, GAS OR ANY OTHER UTILITIES ENCASED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.

48. CONTRACTOR SHALL PROVIDE RESPONSIBLE WEATHER PROTECTION FOR PORTIONS OF THE WORK THAT BECAME EXPOSED TO WEATHER AND SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY INSUFFICIENT PROTECTION.

49. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.

50. CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE OWNER FOR REVIEW AND APPROVAL. NO WORK TO PROCEED UNTIL AUTHORIZATION TO PROCEED, ISSUED BY THE ARCHITECT & OWNER REPRESENTATIVE IS RETURNED TO THE GENERAL CONTRACTOR.

51. CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED ASSEMBLIES, AS SPECIFIED FOR THE BUILDINGS CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATION OF MATERIALS WITHIN FIRE RATED ASSEMBLIES, AS SPECIFIED ON THE DRAWINGS AND SPECIFICATIONS, ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE RATED ASSEMBLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION OF MATERIALS THAT ARE INTERESTED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY OFFER OR GUARANTEE THE CONSTRUCTION ASSEMBLY. SPECIFIC SPECIFICATIONS OR METHODS OF ACHIEVING THE RATED ASSEMBLY ARE REQUIRED BY A. N. I. LISTING SHALL BE FOLLOWED WITHOUT DEVIATION, UNLESS OTHERWISE NOTED OR SET FORTH.

52. CONTRACTOR TO FURNISH AND INSTALL ALL BLOCKING REQUIRED FOR WALL MOUNTED OR BRACKET FIXTURES, MILLWORK, SHELVES, TOILET FIXTURES, AND ACCESSORIES OR BY OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE BLOCKING. BLOCKING SHALL BE CONSTRUCTED TO SUPPORT THE IMPOSED LOADS.

53. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, DIRECTED, USED, CLEANED AND COMPLETED AS DIRECTED BY THE MANUFACTURER.

54. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

55. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY CONSTRUCTION UTILITY REQUIREMENTS FOR ALL OVERMINER/UNDERMINED EXISTING UTILITIES, FIXTURES OR APPLIANCES.

56. CONTRACTOR SHALL PROVIDE ALL NECESSARY FASTENERS, SUPPORTS, SHIMMING, PLATING, ETC. FOR THE PROPER INSTALLATION OF SUCH ITEMS AS DIRECTED BY THE MANUFACTURERS.

57. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE TO THE OWNER A COMPLETE SET OF AS-BUILT C.U. LANDSCAPE, ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY DISCREPANCIES OR OMISSIONS IN THE AS-BUILT DRAWINGS. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS AND SPECIFICATIONS. INFORMATION SHALL BE RECORDED BY CONTRACTOR ON CONSTRUCTION PROGRESS AND REVISIONS.

58. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VACUUM ALL CLEAN CARPETED AREAS, FLOOR ALL FLOORING, MILLWORK, LIGHT FIXTURES, GLASS, ETC. AND UNDERNEATH VACUUM OR ALL MECH. UNITS AFTER THE WORK IS COMPLETED AND MAINTAIN CLEAN CONDITIONS THROUGHOUT THE TENANTS MOVE-IN.

GENERAL NOTES CONTINUED

3	GENERAL NOTES	1
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LEGEND	
	BLOCK WALL
	WOOD FENCE (WDF)
	ASPHALT PAVEMENT
	CENTERLINE
	EDGE OF GUTTER
	FINISHED CONCRETE
	FINISHED FLOOR
	FINISHED FLOOR GARAGE
	FLOWLINE
	FINISHED SURFACE
	GAS METER
	GUARD POST
	NATURAL GROUND
	PALM TREE CLUSTER
	SEWER CLEAN OUT
	STORM DRAIN
	TRASH BIN
	TOP OF BULKHEAD
	TOP OF CURB
	TOP OF STEP
	WOOD FENCE
	WATER METER
	EXISTING ELEVATION
	FOUND MONUMENT
	SEARCHED, FOUND NOTHING, SET NOTHING
	TEMPORARY BENCHMARK SET ON SEWER MANHOLE (BHM) ELEVATION = 5.98 FEET

TITLE REPORT/EASEMENT NOTES
 400 SOUTH BAY FRONT #5
 NEWPORT BEACH, CA 92662
 (APN: 050-043-13)
 NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:

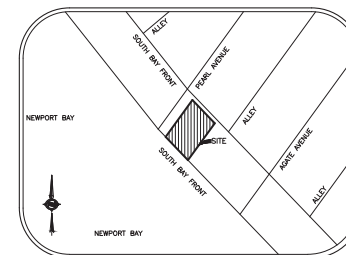
LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

BENCHMARK INFORMATION

DESCRIBED BY OCS 2002 - FOUND 3" INCH ALUMINUM BENCHMARK DISK STAMPED "NBS-15-70" SET IN THE EASTERLY END OF A CONCRETE SEAWALL. MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF PARK AVENUE AND SOUTH BAY FRONT. 10 FT. SOUTHERLY OF THE CENTERLINE OF PARK AVENUE AND 8 FT. WESTERLY OF PEDESTRIAN WALKWAY. MONUMENT IS SET LEVEL WITH THE TOP OF THE SEAWALL.
 ELEVATION: 7.966 FEET (NAVD88), YEAR LEVELED 1992

BASES OF BEARINGS

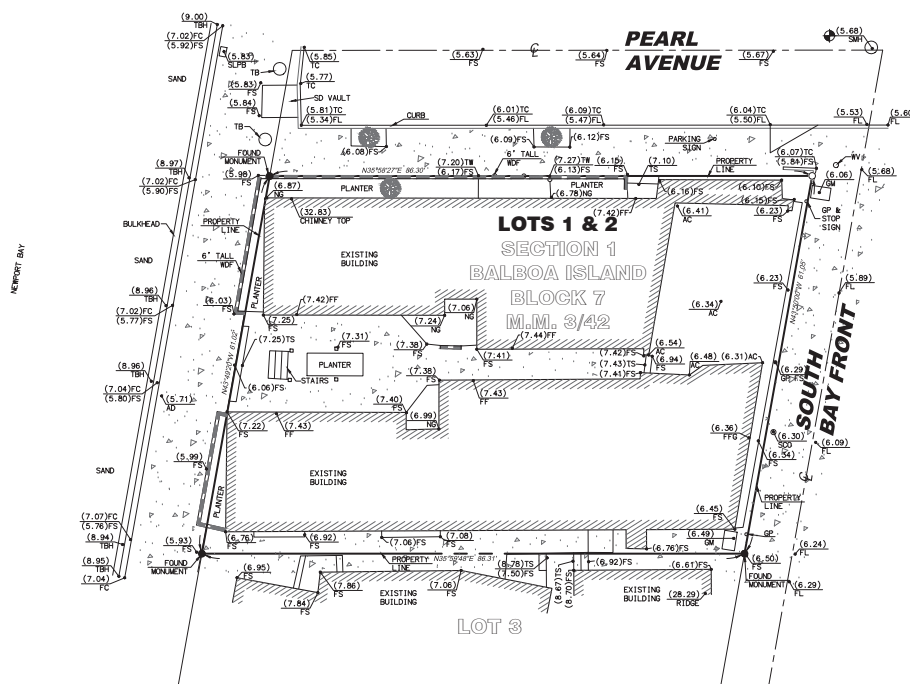
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH BAY FRONT, BEING N43°50'00"W PER P.M.B. 183, PAGES 1718, RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.



VICINITY MAP
NO SCALE



GRAPHIC SCALE
 0 2 4 8 16
 (IN FEET)
 1 INCH = 8 FT.



SURVEYOR'S NOTES
 SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.
 PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.

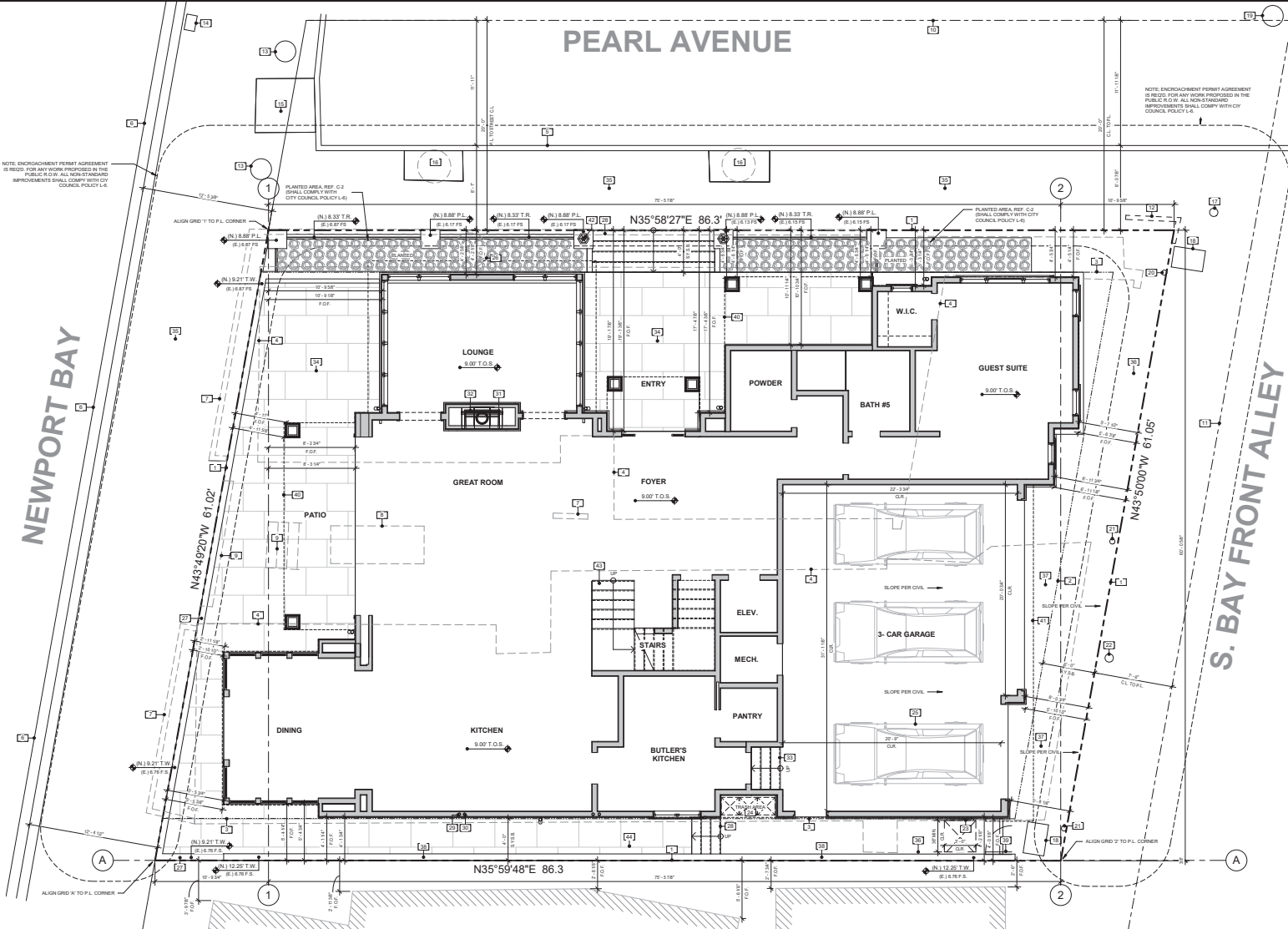


Paul D. Craft

3/11/2019
DATE

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT SURVEY		PROJECT NO. 18046	
DATE	3/11/2019	PROJECT SURVEY	PROJECT NO. 18046
SCALE	AS SHOWN	PROJECT	PROJECT NO. 18046
DRAWN BY	A. R. H.	PROJECT	PROJECT NO. 18046
CHECKED	P. D. C.	PROJECT	PROJECT NO. 18046
TOPOGRAPHIC SURVEY		PROJECT NO. 18046	
400 S BAY FRONT #5		PROJECT NO. 18046	
NEWPORT BEACH, CA 92662		PROJECT NO. 18046	
(APN: 050-043-13)		PROJECT NO. 18046	
SHEET NO.		PROJECT NO. 18046	
1 of 1		PROJECT NO. 18046	



NOTE: ENCROACHMENT PERMIT AGREEMENT IS REQUIRED FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY 1.6.

NOTE: ENCROACHMENT PERMIT AGREEMENT IS REQUIRED FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY 1.6.

GENERAL NOTE:
SEE SHEET A-0.3 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHADING (EXT. WALLS) OR FACE OF STRUCTURE (P.O.S.) TYP. (U.N.D. REQUIRED) TO THE NEAREST 1/8". CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS NOT SCALE PLANS.

C.N.B. NOTES:
1. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
3. A CALIFORNIA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.

LANDSCAPE NOTES:
1. ENCROACHMENT PERMIT REQUIRED. FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W.
2. IF APPLICABLE, PRELIMINARY LANDSCAPE PLAN, FOR ALL HARDSCAPE & PLANTING AREAS WITH RESPECTIVE HEIGHTS AND MATERIALS.

KEYNOTE LEGEND	
1	PROPERTY LINE
2	REAR YARD SETBACK
3	REAR YARD SETBACK
4	EXISTING EXTERIOR WALL - TO BE DEMOLISHED
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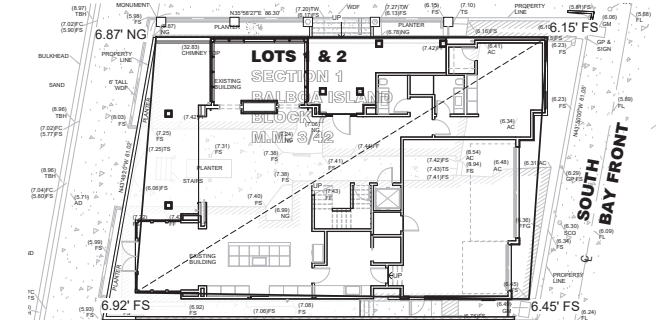
1. ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

TRUE NORTH **PROJECT NORTH**

NOTES:
1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, TRANSPORTATION, MATERIALS, AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL LANDSCAPE ELEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
2. ALL WORK SHALL BE PERFORMED BY A CALIFORNIA LICENSED CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE NATURE AND LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ALL COSTS INCURRED DUE TO DAMAGE AND/OR REPAIRS TO ANY UTILITIES, PIPES, AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES.
5. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS ABOUT THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ANY DISCREPANCIES NOT REPORTED TO THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES NOT REPORTED TO THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. NO WORK SHALL BE PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY OR ANY OF THE APPLICANT'S OWNERS, OR HIS OR HER AGENTS UNTIL A PUBLIC PROPERTY ENCROACHMENT PERMIT IS ISSUED BY THE CITY ENGINEER.
7. CONTRACTOR SHALL INSTALL THIS PROJECT IN ACCORDANCE TO ALL CITY CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES.
8. WITH THE ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR AND OWNER AGREE TO HOLD LANDSCAPE ARCHITECT HARMLESS OF ANY UNFORESEEN CONSTRUCTION COSTS DUE TO ELEMENTS NOT SPECIFIED ON THESE PLANS.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL DEMOLITION AND ANY SOIL REPORT AND OR EXPERT NEEDED TO COMPLETE THIS PROJECT.
10. CONTRACTOR SHALL INSTALL THIS PROJECT UTILIZING THE LANDSCAPE INDUSTRIES' M.P. BEST MANAGEMENT PRACTICES.

"ALL PLANTS TO BE DROUGHT-TOLERANT, NON-INVASIVE PLANT SPECIES. PLANT HEIGHT 4' MAX."

GENERAL MATERIAL SPECIFICATION:
1. GROUT CELLS WITH REINFORCED CEMENT PER ASTM C1015 1 PORTLAND CEMENT - 1 TO 3 PARTS LOOSE SAND, 1 PARTS PORTLAND CEMENT.
2. REINFORCING: #5 - 30,000 PSI ASTM A615 GRADE 40.
3. MASONRY: FC - 1,500 PSI GRADE 'N' PER ASTM C130.
4. CONCRETE: FC - 3,000 PSI AT 28 DAYS CEMENT PER ASTM C1015.
5. POUL ALL WALL FOOTINGS AGAINST NATURAL UNDISTURBED SOILS.
6. TELEPHONE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE NOT AS SHOWN.
PROJECT HARDSCAPE MATERIALS:
STONE SHOULD MATCH THE STONE USED ON THE HOUSE.
PAVING STONE SHALL BE SHADOW GRAY SANDSTONE/QUARTZITE.
ALL GROUP JOINTS SHALL BE PIGMENTED PER ARCH./G.C. APPROVAL.
ALL LANDSCAPE MATERIAL SHALL RECEIVE A M.L. VOUCHER ON UNDER SIDE FOR WATERPROOF PROTECTION.
TOTAL LANDSCAPING AREA: 106.47 SQFT.



2. GRADE PLANE EXHIBIT
1" = 10'-0"

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
CDP FIRST CHECK

BRANDON ARCHITECTS

11777 S. BAY FRONT ALLEY, SUITE 100
NEWPORT BEACH, CA 92660

OWNER: M. CHAN, C/O
SOUTHBAYFRONT L.L.C.
WATERPONT L.L.C.
DRIVE, SUITE 100
NEWPORT BEACH, CA 92660

PROJECT MANAGER/ARCHITECT
CAULIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

ARCHITECTURAL SITE PLAN

NO. / REVISION / DATE

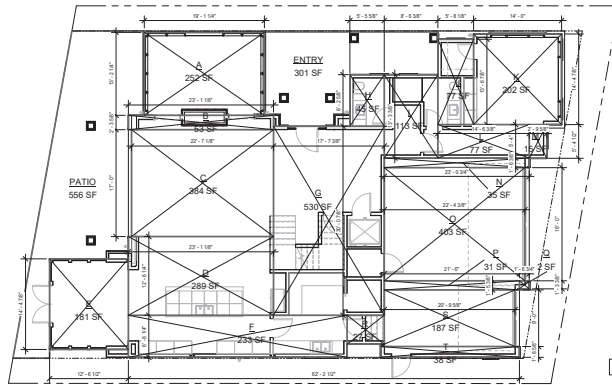
JOB NO.
2018-30

DATE
12/19/2019

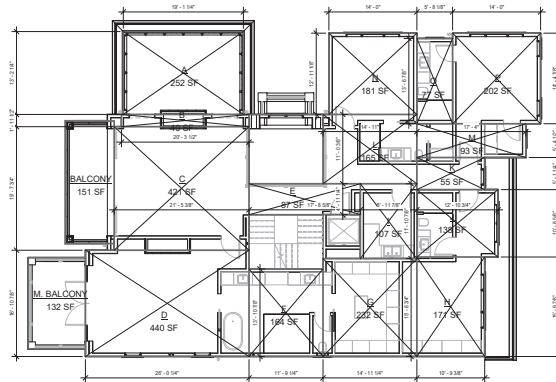
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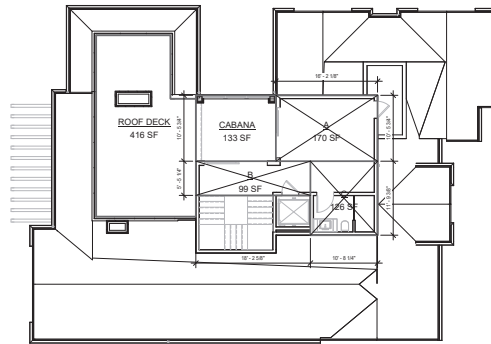
23



1 FIRST FLOOR AREA PLAN
1/8" = 1'-0"



2 SECOND FLOOR AREA PLAN
1/8" = 1'-0"



3 THIRD FLOOR AREA PLAN
1/8" = 1'-0"

FIRST FLOOR AREA

Name	Area	Comments
A	252 SF	
C	384 SF	
E	181 SF	
F	233 SF	
G	530 SF	
H	45 SF	
I	113 SF	
J	77 SF	
K	202 SF	
L	77 SF	
M	15 SF	
N	63 SF	
O	289 SF	
P	2451 SF	
FIRST FLOOR LIVING TOTAL		
N	35 SF	
O	403 SF	
P	2 SF	
Q	31 SF	
R	187 SF	
S	36 SF	
T	27 SF	
U	723 SF	
V	3174 SF	
GARAGE TOTAL		
FIRST FLOOR TOTAL		
ENTRY	301 SF	PARTIALLY COVERED
PATIO	556 SF	PARTIALLY COVERED
OPEN SPACE TOTAL		857 SF

LOT INFORMATION:

ZONED R-B
SITE AREA = 3.14 AC 5.7' BUILDABLE AREA = 239,273 S.F.
TOTAL ALLOWABLE AREA = 13 + 629,213 S.F. = 642,813 S.F. (400 S.F. = 643,813 S.F.)
NET OPEN VOLUME = 629,213 S.F. x 15' = 9,438,195 S.F. (7'4" = 10' MIN.)
OPEN VOLUME PROVIDED = 1,142 S.F. x 624.38 S.F.

BUILDING AREA SCHEDULE

3D	AREA	COMMENTS
FIRST FLOOR	2470 SF	
SECOND FLOOR	2654 SF	
THIRD FLOOR	396 SF	
TOTAL LIVING	5589 SF	
3 CAR GARAGE	715 SF	
TOTAL GARAGE	715 SF	
GRAND TOTAL	6304 SF	

OUTDOOR AREA SCHEDULE

NAME	AREA	COMMENTS
ENTRY	301 SF	PARTIALLY COVERED
PATIO	556 SF	PARTIALLY COVERED
TOTAL FIRST FLOOR	857 SF	
M. BALCONY	132 SF	UNCOVERED
BALCONY	151 SF	PARTIALLY COVERED
TOTAL SECOND FLOOR	283 SF	
VIEW DECK	416 SF	
CABANA	133 SF	UNCOVERED
TOTAL THIRD FLOOR	550 SF	COVERED
TOTAL OPEN SPACE	1940 SF	

SECOND FLOOR AREA

Name	Area	Comments
A	252 SF	
B	40 SF	
C	421 SF	
D	440 SF	
E	164 SF	
F	87 SF	
G	165 SF	
H	181 SF	
I	77 SF	
J	202 SF	
K	93 SF	
L	55 SF	
M	138 SF	
N	107 SF	
O	232 SF	
P	171 SF	
SECOND FLOOR TOTAL		
M. BALCONY	132 SF	UNCOVERED
BALCONY	151 SF	PARTIALLY COVERED
OPEN SPACE TOTAL		283 SF

THIRD FLOOR AREA

Name	Area	Comments
A	170 SF	
B	99 SF	
C	133 SF	
THIRD FLOOR TOTAL		
ROOF DECK	416 SF	UNCOVERED
CABANA	133 SF	COVERED
OPEN SPACE TOTAL		550 SF

PROJECT NAME

BAY FRONT TRADITIONAL

STATUS

CDP FIRST CHECK

BRANDON ARCHITECTS

1111 BAYVIEW BLVD, SUITE 100, NEWPORT BEACH, CA 92660

714.774.4526 | WWW.BRANDONARCHITECTS.COM

OWNER: M. CHAN, C/O

SOUTHBAYFRONT WATERFRONT, LLC

400 S BAY FRONT DRIVE, SUITE 300, NEWPORT BEACH, CA 92660

PROJECT MANAGER/ARCHITECT

CAITLIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

REVISIONS:

NO.	REVISION	DATE
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JOB NO.

2018-30

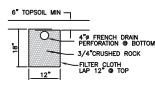
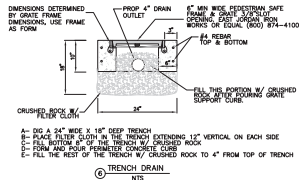
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12/19/2019

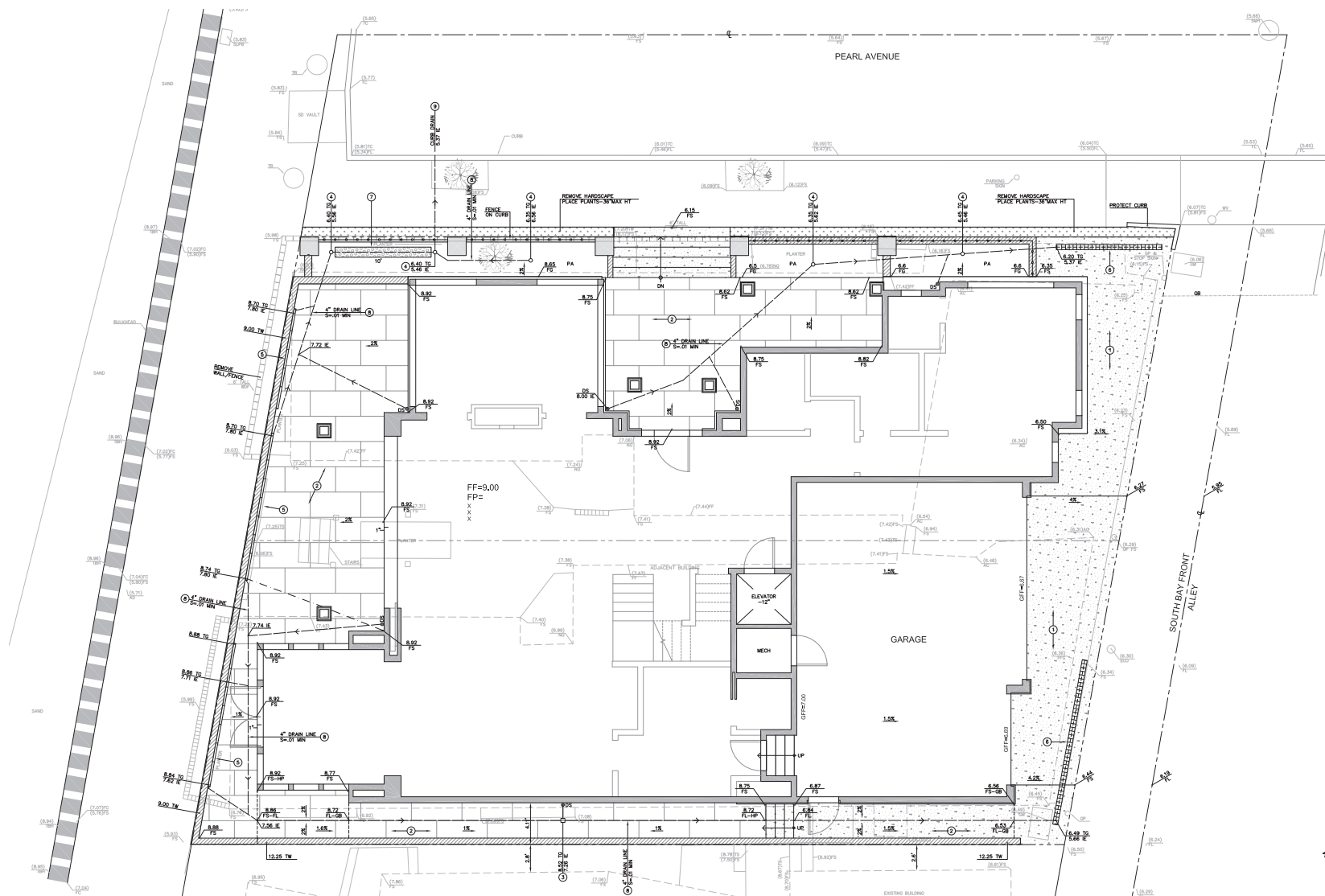
SHEET NO.

A-0.1

- ① CONSTRUCT 5" MIN CONCRETE DRIVEWAY
- ② CONSTRUCT HARDCAPE FOR LANDSCAPE.
- ③ INSTALL 4" FLAT GRATE DRAIN
- ④ INSTALL 4" ATRIUM GRATE DRAIN
- ⑤ INSTALL SLOT DRAIN
- ⑥ INSTALL TRENCH DRAIN PER DETAIL, SHEET C2
- ⑦ INSTALL PERFORATED DRAIN TRENCH PER DETAIL, SHEET C2.
- ⑧ INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
- ⑨ INSTALL CURB DRAIN PER STD-184-L.
- ⑩ INSTALL NEW SEWER CLEANOUT PER STD 408-L ON EXISTING SEWER LATERAL LINE VERIFY.



⑦ PERFORATED DRAIN/
TRENCH DETAIL.

[illegible][illegible]

EROSION CONTROL

1. IN CASE OF EMERGENCY, CALL GARRETT CALACHI AT 949444-8800
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL). TO NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOLIDS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DEPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 4 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DEBILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL, IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DEPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS MAINT CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO REMOVE CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DEPOSED OF AS A SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY. IF THERE IS A MIN CHANCE OF QUANTER RICH OR MORE OF PRECIPITATION, PRECIPITATION, AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOGS SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL. COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST.
16. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RUNWAYS AND DISPOSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOIL OR DENIED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
20. ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

BMP FACTS SHEET

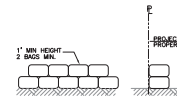
- WM-1 MATERIAL DELIVERY AND STORAGE**
PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.
- WM-2 MATERIAL USE**
HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
- WM-3 SPILL PREVENTION AND CONTROL**
IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
- WM-5 SOLID WASTE MANAGEMENT**
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPOSAL.
- WM-6 HAZARDOUS WASTE MANAGEMENT**
HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
- WM-7 CONTAMINATED SOIL MANAGEMENT**
PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.
- WM-8 LOGGED SOLID WASTE MANAGEMENT**
STORE DIRT AND MET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAMINANT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT**
UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE**
A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.
- SE-1 SILT FENCE**
SE-2 SEDIMENT TRAP
SE-3 GRAVEL BAGS
- SE-4 EROSION CONTROL**
EROSION CONTROL DEVICES MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMPs ARE DEEMED SUFFICIENT.

BMP FACTS SHEET

- ALL BMPs SHALL BE IN ACCORDANCE WITH MODEL BMPs FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM
- EC-1** CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 17" HIGH MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #W-4.
- EC-2** CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #W-6.
- EC-3** CONSTRUCT MATERIALS STORAGE ARE IN ACCORDANCE WITH BMP FACTS SHEET #W-1.
- EC-4** EXISTING WALL TO REMAIN, PROTECT IN PLACE.

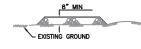
EROSION CONTROL LEGEND

PLACE GRAVEL BAGS AND FENCE WITH WIND SCREEN



GRAVEL BAG DETAIL

NTS

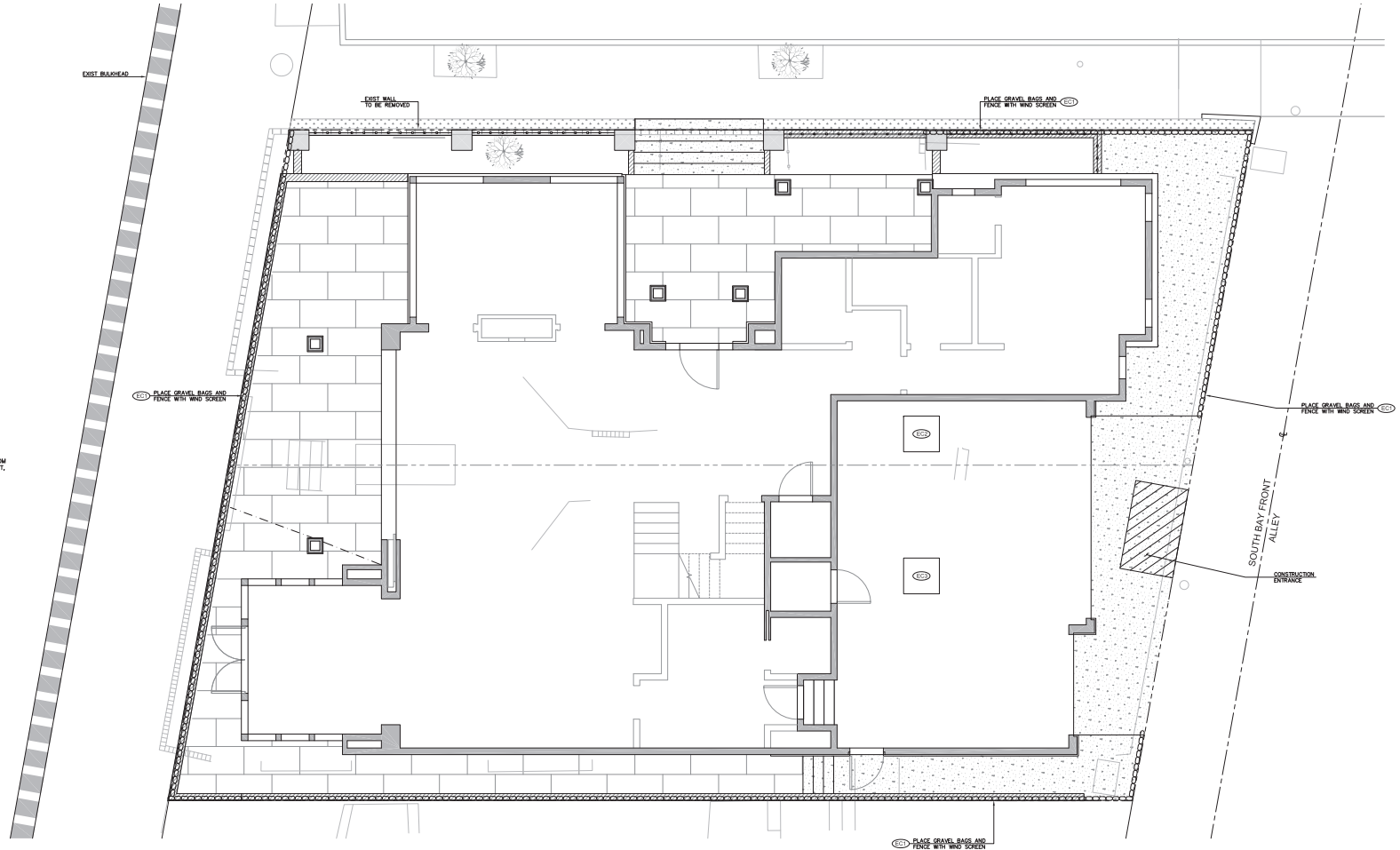


PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND STREET

CONSTRUCTION ENTRANCE

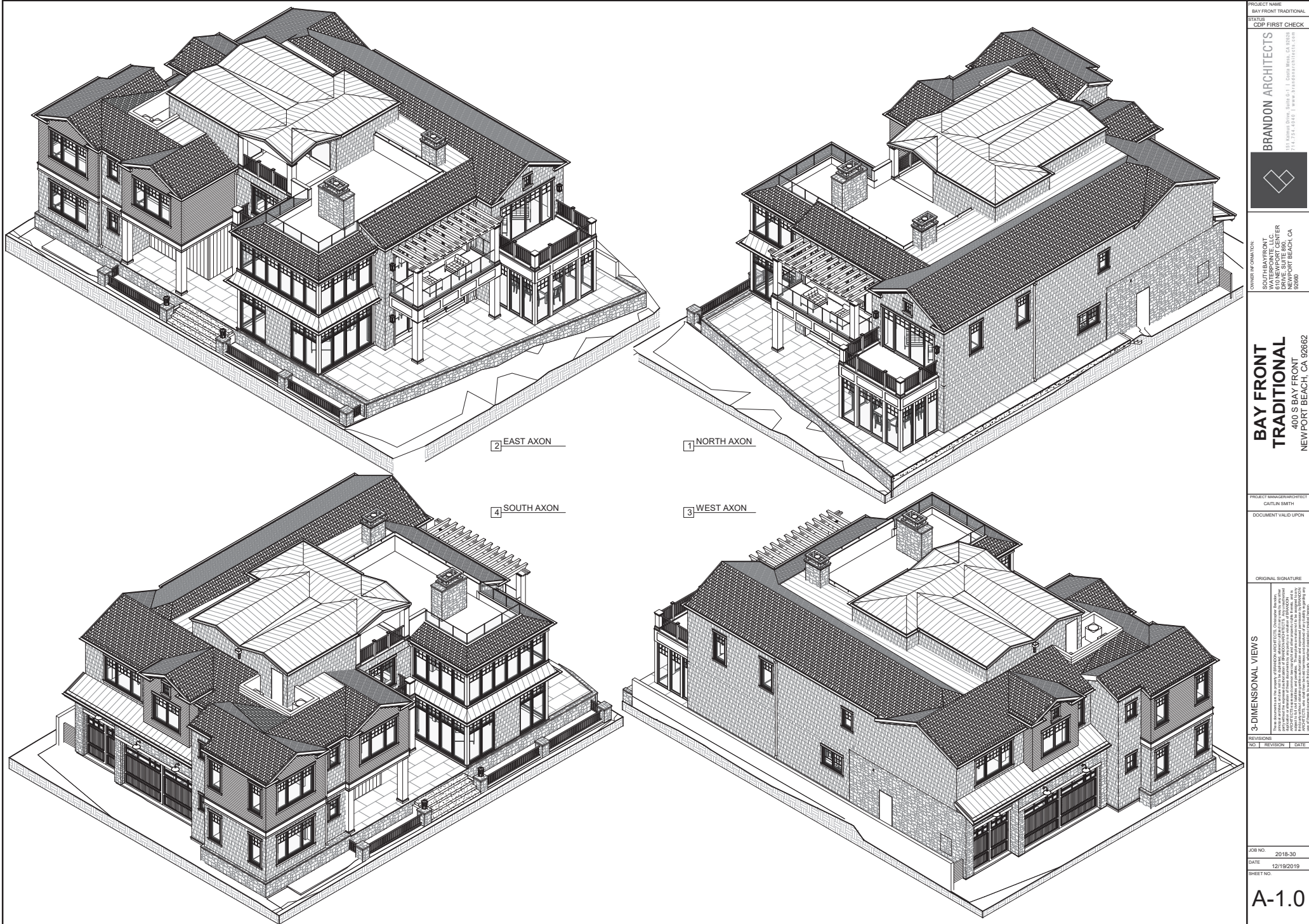
NTS

PEARL AVENUE

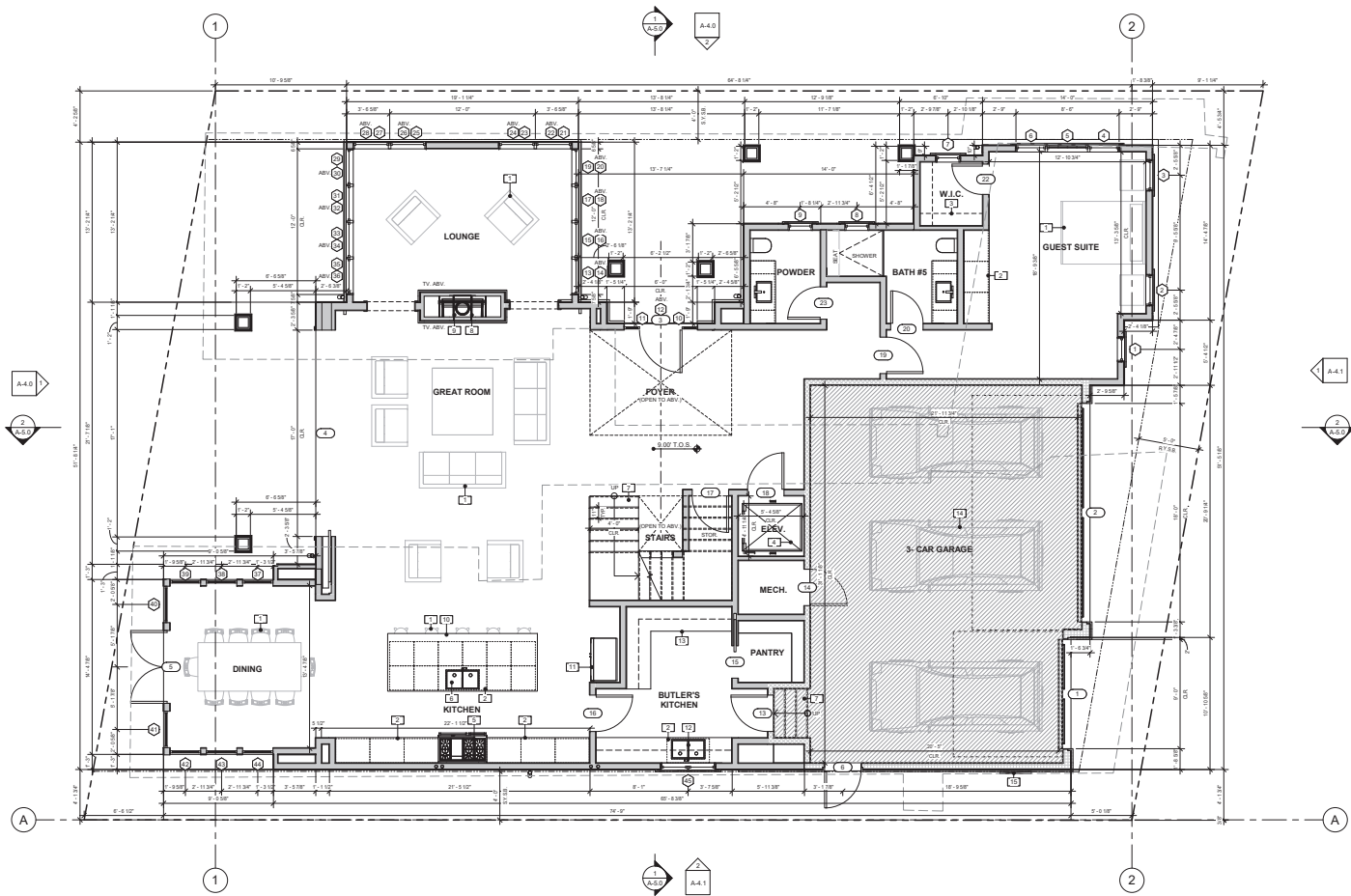


1"=4'

		ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:	SOLIS ENGINEER/GEOLIST:	BENCHMARK:	LEGAL DESCRIPTION:	EROSION CONTROL PLAN	SHEET:
		BRANDON ARCHITECTS 151 KALAMAZO DR. SUITE C-1 COSTA MESA, CA 92626 (714) 754-0466	SOUTH BAY FRONT 400 S. BAY FRONT NEWPORT BEACH, CA 92662	FORKERT ENGINEERING & SURVEYING, INC. 22111 BROCKHURST ST. STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-4793 JULY 1997	EGA CONSULTANTS, LLC 3716 MONTE VISTA AVENUE COSTA MESA, CALIFORNIA 92627 PH (949) 445-8309 PROJECT NO. WPT-26.1 JULY 5, 2018	BENCHMARK NO: NBS-15-70 ELEVATION: 7.386 FEET (NAVD83) YEAR LEVELED 1992	LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALDWIN ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.	CONSTRUCTION POLLUTION PREVENTION PLAN 400 S. BAY FRONT NEWPORT BEACH, CA	C4
		DRWN: MJ							
		CHK'D: TR							
		DATE: 12/17/19							
		NO.	DATE	R E V I S I O N S					



PROJECT NAME BAY FRONT TRADITIONAL	
STATUS CDD FIRST CHECK	
PROJECTING BRANDON ARCHITECTS 11175 45TH AVE. SUITE 100 NEWPORT BEACH, CA 92660 WWW.BRANDONARCHITECTS.COM	
PROJECT MANAGER/ARCHITECT CAULIN SMITH	
DOCUMENT VALID UPON	
ORIGINAL SIGNATURE	
<small>THIS DOCUMENT IS THE PROPERTY OF BRANDON ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BRANDON ARCHITECTS. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LITIGATION AND DAMAGES. A FEE OF \$1000.00 WILL BE CHARGED FOR ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT.</small>	
NO.	REVISION / DATE
JOB NO. 2018-30	
DATE 12/19/2019	
SHEET NO.	
A-1.0	



1 FIRST FLOOR PLAN

1/4" = 1'-0"

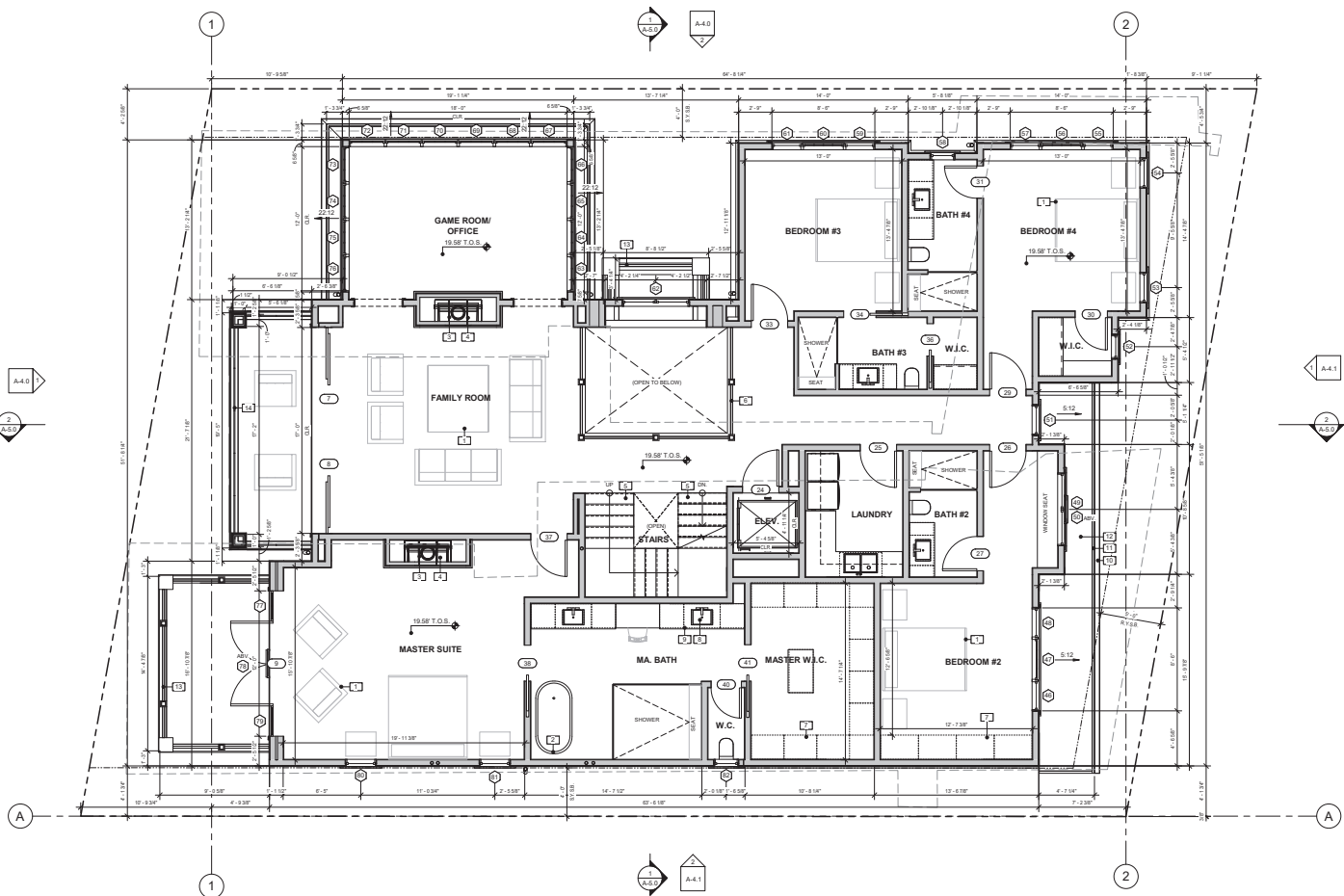
TRUE NORTH PROJECT NORTH

MECHANICAL VENTILATION NOTE:
 1. PROVIDE WHOLE-BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2-2010 SECTION 4 WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING VENTILATION. FOR CONTINUOUS WHOLE-BUILDING VENTILATION, AIR REQUIRED SHALL BE 1 CFM PER SQUARE FOOT OF VENTILATION 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 2.5 CFM FOR EACH OCCUPANT ONE OCCUPANT PER ROOM. VENTILATION TO BE PROVIDED BY EXHAUST AIR SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.
 2. PROVIDE IN-KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOOR WITH MIN. 100 CFM PART OF WHOLE-BUILDING VENTILATION REQUIREMENT.
 CALCULATIONS:
 UNITS: 2.28 S.F.
 (8500 S.F. + 27.5 CFM + 2000 S.F. + 111.12 CFM REQ.)
 8577.5 S.F. + 111.12 CFM REQ.

- KEYNOTE LEGEND**
- 1. FIRE RATED CEILING ASSY. REF. DTL. 7/AD-1
 - 2. EXT. FIRE RATED PARTITION REF. DTL. 5/AD-1
 - 3. INT. FIRE RATED PARTITION REF. DTL. 7/AD-1
 - 4. NEW WALL - 2 x 4 STUDS @ 16" O.C.
 - 5. NEW WALL - 2 x 4 STUDS @ 16" O.C.
 - 6. WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.
 - 7. CONCRETE RETAINING WALL - REF. STRUCTURAL
 - 8. CONCRETE MASONRY WALL - 6" CMU U.N.O.
 - 9. DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
 - 10. WINDOW - REFERENCE SCHEDULE
 - 11. DOOR - REFERENCE SCHEDULE
 - 12. CABINET - BUILT IN CASEWORK
 - 13. COLUMN - REF. STRUCTURAL DWGS.
 - 14. FURNITURE - FOR PRESENTATION PURPOSES ONLY
 - 15. FIREPLACE - PREFAB GAS-ONLY APPLIANCE
 - 16. PLUMBING FIXTURE - SINK (AS SELECTED)
 - 17. PLUMBING FIXTURE - TOILET (AS SELECTED)
 - 18. LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
 - 19. WINDOW WALL TAG - REFERENCE SHEET A-7.0
 - 20. DOOR TAG - REFERENCE SHEET A-7.0
 - 21. WINDOW TAG - REFERENCE SHEET A-7.0
 - 22. KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHIT.

A PLAN LEGEND

PROJECT NAME BAY FRONT TRADITIONAL	
STATUS CDP FIRST CHECK	
BRANDON ARCHITECTS 1000 S. GATEWAY BLVD. SUITE 100 SAN ANTONIO, TX 78205 714.774.4626 WWW.BRANDONARCHITECTS.COM	
OWNER: MR. JAMES KOEN SOUTHBAYFRONT WATERPOINTE, LLC DRIVE, SUITE 300 NEWPORT BEACH, CA 92660	
PROJECT MANAGER/ARCHITECT CAULIN SMITH	
DOCUMENT VALID UPON	
ORIGINAL SIGNATURE	
THESE DRAWINGS ARE THE PROPERTY OF BRANDON ARCHITECTS. UNLESS OTHERWISE NOTED, ALL RIGHTS ARE RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BRANDON ARCHITECTS. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LITIGATION.	
NO.	REVISION DATE
JOB NO.	2018-30
DATE	12/19/2019
SHEET NO.	
A-2.0	



MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2-2019 SECTION 6.2 WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING VENTILATION. FOR CONTINUOUS WHOLE-BUILDING VENTILATION, AIR REQUIRED SHALL BE 0.06 CFM PER SQUARE FOOT OF FLOOR AREA PLUS 0.75 CFM FOR EACH OCCUPANT. ONE OCCUPANT PER BEDROOM. VENTILATION TO BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.

2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH MIN. 100 CFM CAPACITY OF WHOLE-BUILDING VENTILATION REQUIREMENT.

CALCULATIONS:
 UNITS: 2.28 x 10⁻³
 60.000 FPM x 1.075 x 10⁻³ = 0.0645 CFM x 1000 = 64.5 CFM
 60.000 FPM x 1.075 x 10⁻³ = 0.0645 CFM x 1000 = 64.5 CFM

KEYNOTE LEGEND

1	STAIRWAYS - AS SHOWN
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100	STAIRWAYS - AS SHOWN

1 SECOND FLOOR PLAN

TRUE NORTH PROJECT NORTH

STAIRWAY NOTE:
 ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER IRC 703.3.7

ROUGH FRAMING:
 ALL INTERIOR WALLS TO BE FRAMED WITH 2 X 6 STUDS SECOND AND THIRD FLOOR FLYWOOD TO BE 1-1/2" ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD (SHEATH VERIFICATION REQUIRED - REFERENCE T-34.1)

	FIRE RATED CEILING ASSY. REF. DTL. 7/AID-1
	EXT. FIRE RATED PARTITION REF. DTL. 5/AID-1
	INT. FIRE RATED PARTITION REF. DTL. 7/AID-1
	NEW WALL - 2 x 6 STUDS @ 16" O.C.
	NEW WALL - 2 x 4 STUDS @ 16" O.C.
	WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.
	CONCRETE RETAINING WALL - REF. STRUCTURAL
	CONCRETE MASONRY WALL - 6" CMU U.N.O.
	DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
	WINDOW - REFERENCE SCHEDULE
	DOOR - REFERENCE SCHEDULE
	CABINET - BUILT IN CASEWORK
	COLUMN - REF. STRUCTURAL DWGS.
	FURNITURE - FOR PRESENTATION PURPOSES ONLY
	FIREPLACE - PREFAB GAS-ONLY APPLIANCE
	PLUMBING FIXTURE - SINK (AS SELECTED)
	PLUMBING FIXTURE - TOILET (AS SELECTED)
	LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
	WINDOW WALL TAG - REFERENCE SHEET A-7.0
	DOOR TAG - REFERENCE SHEET A-7.0
	WINDOW TAG - REFERENCE SHEET A-7.0
	KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHIT.

A PLAN LEGEND

PROJECT NAME: BAY FRONT TRADITIONAL

STATUS: CDP FIRST CHECK

BRANDON ARCHITECTS

1111 11TH AVENUE, SUITE 100, NEWPORT BEACH, CA 92660

OWNER: BAY FRONT TRADITIONAL

SOUTH BAYFRONT TRADITIONAL LLC, 400 S BAYFRONT DRIVE, SUITE 100, NEWPORT BEACH, CA 92660

PROJECT MANAGER/ARCHITECT: CAULIN SMITH

DOCUMENT VALID UPON: ORIGINAL SIGNATURE

SECOND FLOOR PLAN

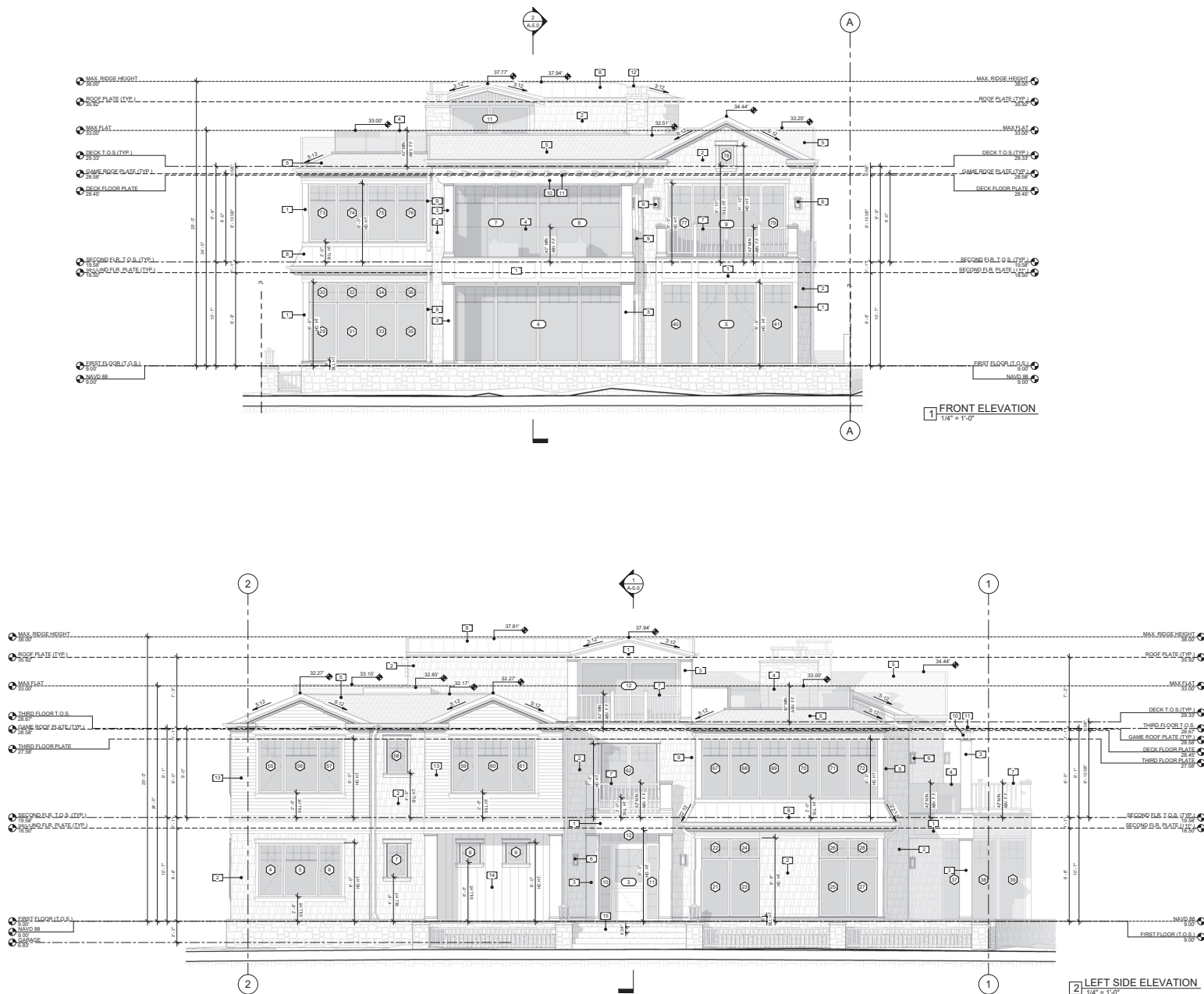
NO. | REVISION | DATE

JOB NO. 2018-30

DATE 12/19/2019

SHEET NO.

A-2.1



1 FRONT ELEVATION
1/4" = 1'-0"

2 LEFT SIDE ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:
AUTHORISED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ABBOTT AND BELL BUILDING SUPPLY
ADDRESS: 3000 N. 10TH AVE., SUITE 100, COSTA MESA, CA 92626
CONTACT: JOE YOUNG
PHONE: 714-825-3333
FAX: 714-825-3333
EMAIL: JOE@ABBOTTANDBELL.COM
WEB: WWW.ABBOTTANDBELL.COM

ALUMINUM CLAD WINDOWS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3200 LAKEVIEW BLVD. P.O. BOX 120, CLATSOP FALLS, OREGON 97101
PHONE: 503-865-1112 OR 800-555-3058
FAX: 503-865-2331
WEB: WWW.JELD-WEN.COM

WOOD SHINGLE SIDING:
MANUFACTURER: (TBD)
SPECIES: 4" WESTERN RED CEDAR
SIZE: 1/2" BE-BUTTED & RE-JOINED PERFECTION SHINGLES (100% EDGE GRAIN, 100% CLEAR) 5" X 12"
TREATMENT: PRE-STAINED W/ CABOT BLEACHING OIL (VERIFY W/ OWNER)
APPLICATION: PER DETAIL S4-D. NO EDGE BOARDING, MITERED SAWTOOTH CORNERS 1/2" SHINGLES W/ 3/4" EXPOSED

BOARD & BATTEN
PRODUCT: WOOD SHIM
MANUFACTURER: TBD
COLOR: COLOR AS SEL. (ARCH. TO APPROVE)
APPLICATION: PER DETAIL 16A-D-1
CODE: NA

WOOD FASCIA & TRIM:
MFOR: VINEYARD
COLOR: PAINTED WHITE (VERIFY W/ OWNER)
APPLICATION: ARCH. TO APPROVE PROFILES

EXTERIOR STONE VENEER
SUPPLIER: SEPULVEDA BUILDING MATERIAL
2800 FORBES ROAD
LAGUNA BEACH, CA 92653
PHONE: 949-261-2700
STONE TYPE: TBD
COLOR: LT. BEIGE & WHITE. COLOR GROUT TO MATCH
APPLICATION: 3/4" X 4" T&T. TIGHT GROUT
THICKNESS: 1" - 1 1/2" NOMINAL
WEIGHT: LESS THAN 15 LBS./S.F.

ROOFING (METAL):
MANUFACTURER: CUSTOMER METALS
1300 MACDONALD AVE.
CHINO, CA 91710
PRODUCT: STANDING SEAM ZINC ROOFING, CB-100
COLOR: NATURAL ZINC
NOTES: USE CONTINUOUS 1/2" OR 1/4" PANE - VERIFY W/ ARCH. SIZE & LOC. OF SEAMS
(NO TRANSVERSE SEAMS) REF. DET. 12-B-3
WEIGHT: APPROX. 2.0 PSF
CODE: ICC ESR-2448, CB-100

ROOFING (WOOD):
PRODUCT: WOOD SHINGLE - FIRE TREATED
MFOR: FOR TREATMENT, INC. WWW.FIRESMARROOFING.COM
COLOR: NATURAL

GUTTERS:
MATERIAL: METAL - ALUM. PAINTED KYNAR
SHAPE: HALF ROUND (3") (VERIFY W/ ARCH.)

GARAGE DOORS:
MATERIAL: CUSTOM BUILT WOOD & GLASS
STYLE: CUSTOM

WATERPROOF DECK MEMBRANE:
MATERIAL: TFS GATEWAY CENTER DRIVE
SARASOTA, FL 34230
WWW.WESTCOAT.COM
CODE: ICC ESR-2201

FLASHING & WEATHERSTRIPPING:
PROVIDE MIN. 48 GAUGE METAL 16 OZ. SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATION. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

NOTE: REF. ROOF PLAN (A-3.0) FOR ALL PLATE HTS. & RIDGE HTS.

KEYNOTE LEGEND

1	WOOD SHIM	PAINTED WHITE	COLOR AS SEL.
2	WOOD SHIM	PAINTED WHITE	COLOR AS SEL.
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MATERIAL SCHEDULE		
A	MATERIAL SCHEDULE	
NOTE: REF. ROOF PLAN (A-3.0) FOR ALL PLATE HTS. & RIDGE HTS.		
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PROJECT NAME:
BAY FRONT TRADITIONAL

STATUS:
COP FIRST CHECK

BRANDON ARCHITECTS

ARCHITECTS & INTERIORS
1114 7TH AVE. SUITE 100
NEWPORT BEACH, CA 92660

OWNER: M. J. JAVIER
SOUTHBAYFRONT
WATERPOINTE LLC
DRIVE, SUITE 100
NEWPORT BEACH, CA 92660

PROJECT MANAGER/ARCHITECT
CAUTLE SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

EXTERIOR ELEVATIONS & MATERIAL SCHEDULE

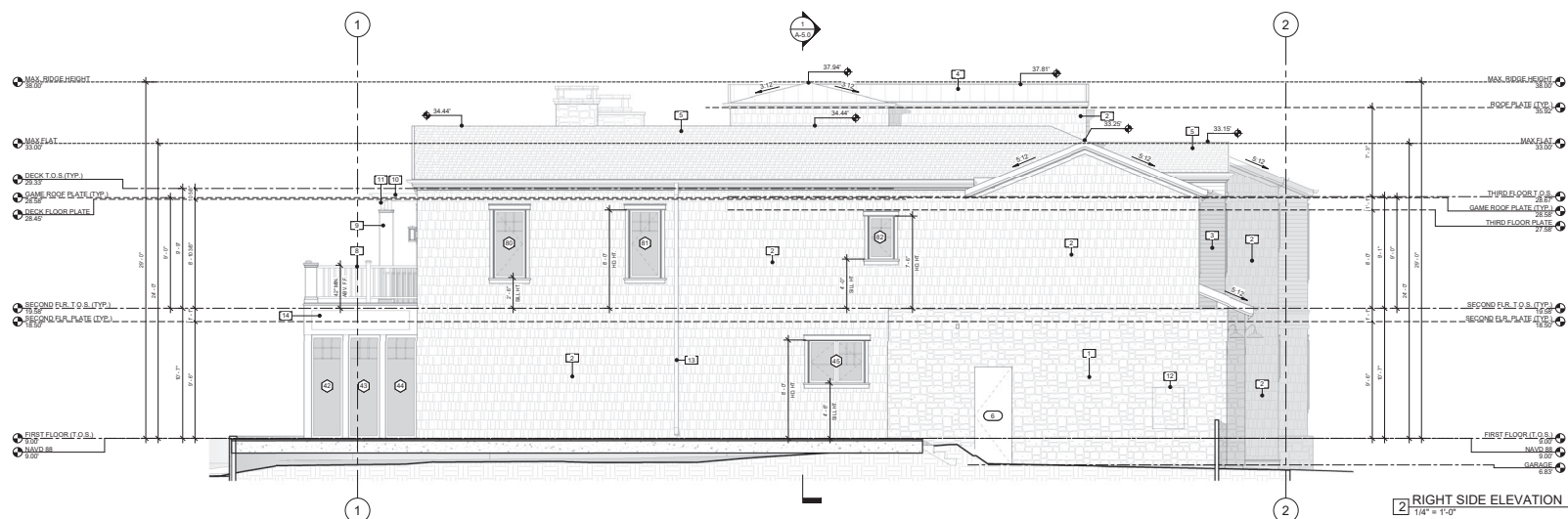
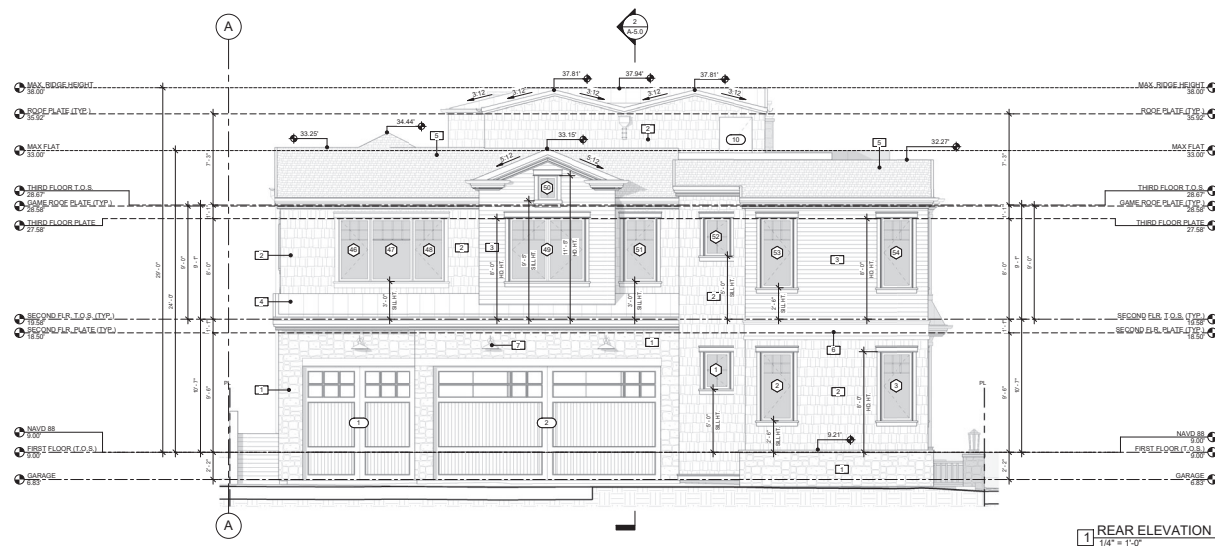
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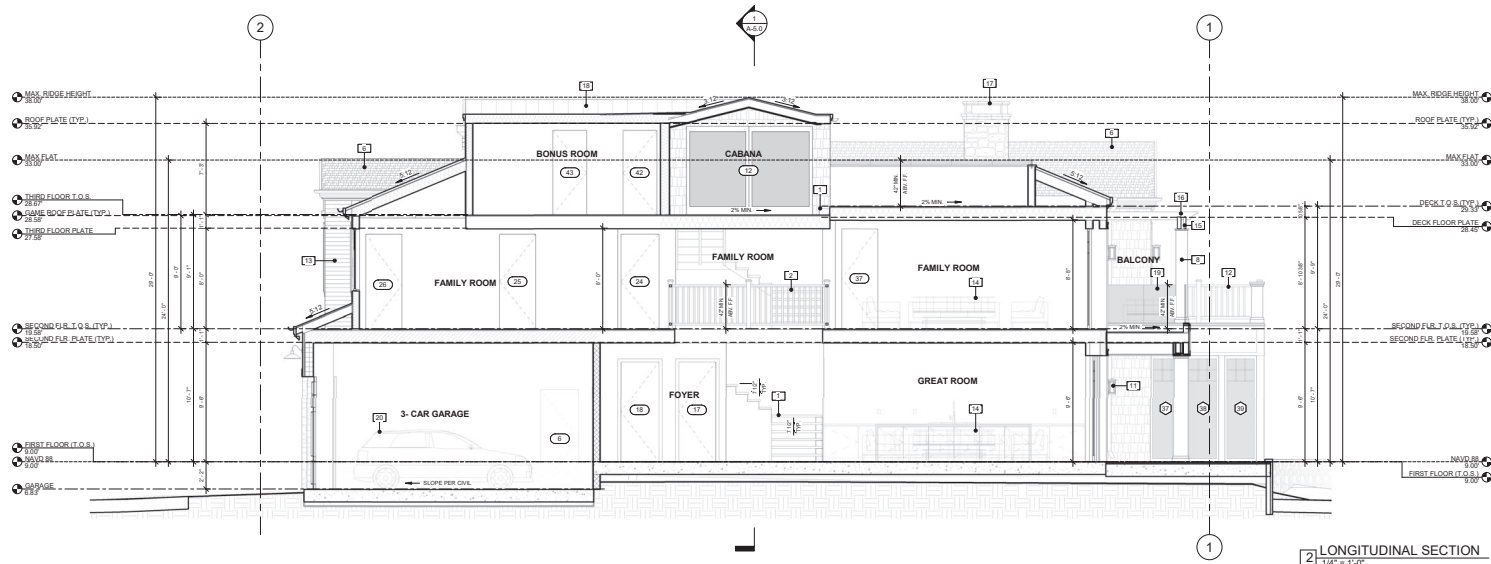
JOB NO.: 2018-30

DATE: 12/19/2019

SHEET NO.

A-4.0

[illegible]



2 LONGITUDINAL SECTION
1/4" = 1'-0"

FIRE-BLOCKING & DRAFT-STOP NOTE

FIRE-BLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT ALL CONCEALED DRAFT OPENINGS AND AIR LEAKAGE THROUGH THE BUILDING ENVELOPE. FIRE-BLOCKING SHALL BE PROVIDED AT EVERY TOP STORY AND AT ROOF OR ATTIC ASSEMBLIES, SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND OTHER CONCEALED SPACES. THE INTEGRITY OF ALL FIRE-BLOCKING AND DRAFT STOP SHALL BE MAINTAINED.

FIRE BLOCKS

FIRE-BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUDY-WALLS AND PARTITIONS, BOLLING FORMER SPACES, AT THE CEILING AND FLOOR LEVELS AND AT JOINTS BETWEEN BOTH VERTICAL AND HORIZONTAL PARTITIONS.

FIRE BLOCK CONSTRUCTION FIRE-BLOCKING SHALL CONSIST OF 2" MINIMUM LUMBER, FIRE RESISTANT TYPE OF DRYWALL BOARD, CEMENT FIBER BOARD, BLOCKS OF MINERAL, OR GIPSUM OR GIPSUM BOARD, OR OTHER MATERIALS. FIRE-BLOCKING SHALL BE INSTALLED TO BE SQUARE TO THE SURFACE OF THE WALL OR FLOOR. FIRE BLOCKING SHALL NOT BE USED TO BRIDGE OVER OR THROUGH ANY OTHER MATERIALS.

CEILING OR FLOOR JOINTS OR STAGGLED JOINTS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OR WALLS OR BLOCKS OF MINERAL OR GIPSUM OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR CEILING ASSEMBLIES

DRAFT STOP SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES OF THE BUILDING. EACH DRAFT STOP SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.










ATTICS









DRAFT STOP SHALL BE INSTALLED IN THE ATTIC, MANICULAR, OVERHANG, FALSE FRONTS SET OUT FROM THE BUILDING OR SMALL CONCEALED SPACES OF THE BUILDING. DRAFT STOP SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

DRAFT STOP CONSTRUCTION

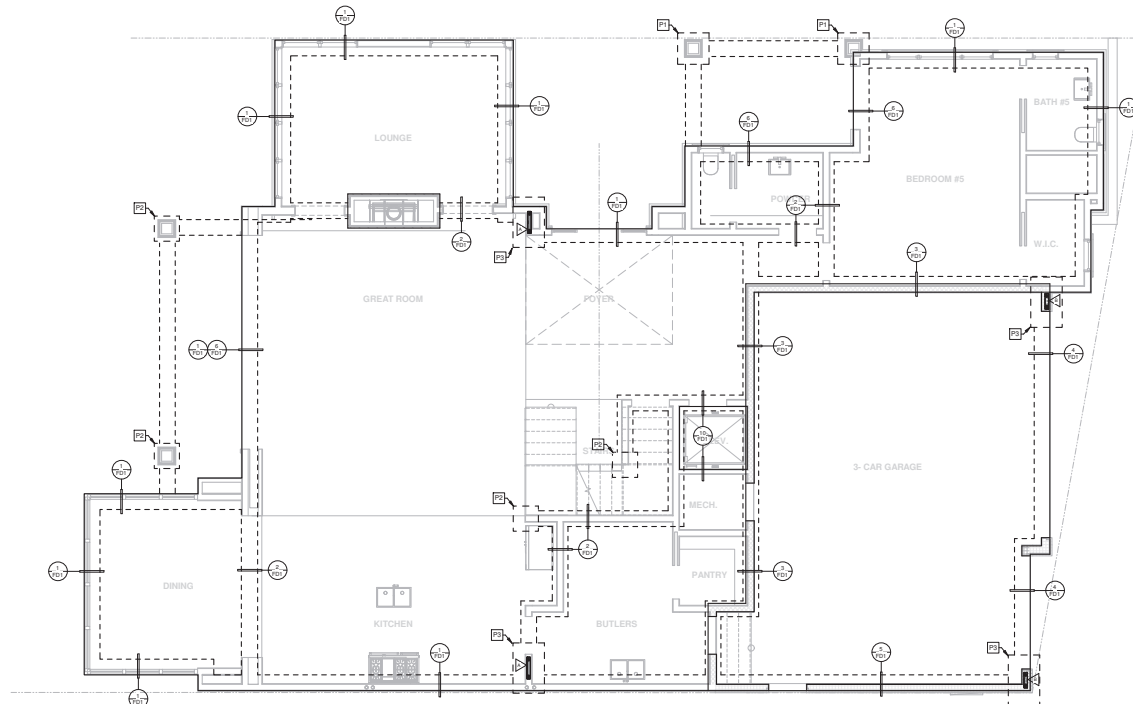
DRAFT STOPPING SHALL NOT BE LESS THAN 2" THICK DRYWALL BOARD, 3/8" THICK FLOOR STRUCTURAL PANEL, 3/8" THICK TYPE II PARTICULATE BOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY FIRE-RESISTING DEVICES WITH AUTOMATIC LATCHES OR OTHER APPROVED MEANS.

[illegible]

	SECTION INDICATOR
	CALL-OUT TAG
	ELEVATION INDICATOR
	REVISION FLAG
	STAIR TAG (NO. OF RISER & HEIGHT)
	WALL TAG
	DOOR TAG - REF. SHEET A-7.0
	WINDOW TAG - REF. SHEET A-7.0
	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A	ANNOTATION LEGEND
	1 HR. FLOOR SYSTEM REF. DTL. 7/AID-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AID-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AID-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

B	SEPARATION LEGEND
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

ALL DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTS DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO COMMENCING OF WORK.

1. ALL BEARING & SHEAR WALLS ARE TO BE SECURED WITH 5/8" DIAMETER BY 12" LONG ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE WITH A MAXIMUM SPACING OF 48" O.C. U.N.O. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER PIECE OF FOUNDATION PLATE WITH ONE BOLT LOCATED WITHIN 12" MAX. 4-12" MIN. OF EA. END OF SA. PIECE. SHEAR WALLS BOLTS SHALL HAVE A PROPERLY SIZED NUT AND A 3/32" 20P WASHER. THE WASHER MAY BE BOLT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE NUT AND WASHER. WASHER TO BE INSTALLED WITHIN A 1/2" OF THE SHEATHED SIDE OF THE PLATE. A STANDARD CUT WASHER MAY BE USED AT NON SHEAR WALL LOCATIONS.

2. FOR ALL INTERIOR NON-SHEAR WALLS USE SIMPSON 140S DIAMETER 3" LONG POP POWDER ACTUATED ANCHORS @ 24" O.C. 16P 40 38 OR EQUIV.

3. INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION ANCHORS FOR MANUFACTURERS RECOMMENDATIONS. DEEPEN FOOTING WHERE NECESSARY TO PROVIDE ANCHOR EMBEDMENT AT HOLDOWN LOCATIONS.

4. ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESURE TREATED (SOLU-FIX OR REDWOOD WITH SODIUM BORATE (SBX) OR DISODIUM OCTABORATE TETRAHYDRATE (DOT).

NOTE:
WHEN REQUIRED BY LOCAL BUILDING DEPARTMENT ALL ANCHOR BOLTS AND HOLDOWN BOLTS TO BE SET IN PLACE PRIOR TO CITY FOUNDATION INSPECTION

SOIL INFORMATION:

1. FOUNDATION SIZES, DEPTHS, AND REINFORCEMENT ARE AS RECOMMENDED WITHIN THE OWNER/DEVELOPERS SOIL ENGINEERS REPORT. SOILS ENGINEER TO PROVIDE FOUNDATION INSPECTOR AS OUTLINED IN LATEST SOIL REPORT.

2. OWNER/DEVELOPER AND SUBCONTRACTORS ARE TO REVIEW THE SOILS REPORT PRIOR TO COMMENCING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, DEVELOPER AND SUBCONTRACTOR TO VERIFY THAT THE REPORT DATA IS CURRENT AND PLAN REQUIREMENTS ARE CONSISTENT WITH ANY UPDATED SOIL REPORTS. ES/ME IS TO BE SUPPLIED WITH ALL UPDATED REPORTS.

10" WIDE x 24" DEEP FTD.
W 3/4" TOP & BOTTOM CONT.
GRADE BEAM PER PLAN
WIDEN AT HARDY FRAME AS REQUIRED
SEE SHEET 1001 FOR SHEAR TIE SPACING

SLAB:
2" THK. W/4 BARS @ 12" O.C. E/W @ MIDDLE NEW CONSTRUCTION WITH SLAB ON GRADE @ HABITABLE SPACE SHALL INSTALL A CAPILLARY BREAK IN COMPLIANCE WITH CO 4555.3.1 WITH A 2-INCH THICK LAYER OF SAND OVER A 15 MIL VAPOR BARRIER COMPLIANT WITH ASTM E-1745 OVER A 4-INCH THICK BASE OF 12-INCH OR LARGER CLEAN AGGREGATE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURING. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 308.2R-06

ANCHOR BOLT LEGEND:

AB48 - 5/8" DIA. X 12" ANCHOR BOLTS AT 48" O.C.
AB60 - 5/8" DIA. X 12" ANCHOR BOLTS AT 60" O.C.
AB32 - 5/8" DIA. X 12" ANCHOR BOLTS AT 32" O.C.
AB24 - 5/8" DIA. X 12" ANCHOR BOLTS AT 24" O.C.
AB18 - 5/8" DIA. X 12" ANCHOR BOLTS AT 18" O.C.
AB12 - 5/8" DIA. X 12" ANCHOR BOLTS AT 12" O.C.

2AB - (2) 5/8" DIA. X 12" ANCHOR BOLTS
3AB - (3) 5/8" DIA. X 12" ANCHOR BOLTS

2.44 - PROVIDE A TOTAL OF 2.44 AT TOP AND 2.44 AT BOTTOM OF FOOTING, 3 PAST POSTS.
3.44 - PROVIDE A TOTAL OF 3.44 AT TOP AND 3.44 AT BOTTOM OF FOOTING, 3 PAST POSTS.

HTT4 - (1) SIMPSON HTT4 PER POST.
HTT5 - (1) SIMPSON HTT5 PER POST.
HDU2 - (1) SIMPSON HDU2 SD3.5 PER POST.
HDU3 - (1) SIMPSON HDU3 SD3.5 PER POST.
HDU4 - (1) SIMPSON HDU4 SD3.5 PER POST.
HDU11 - (1) SIMPSON HDU11 SD3.5 PER POST.
HDU14 - (1) SIMPSON HDU14 SD3.5 PER POST.

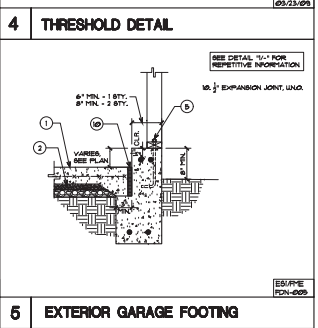
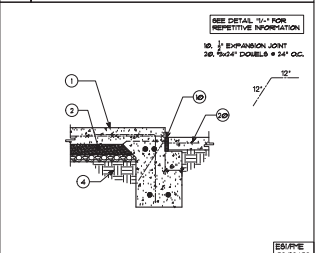
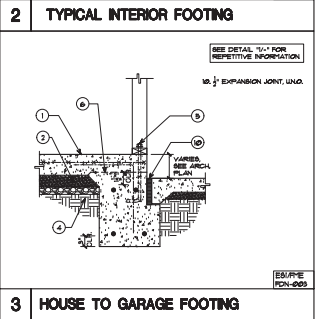
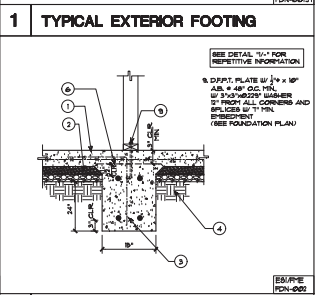
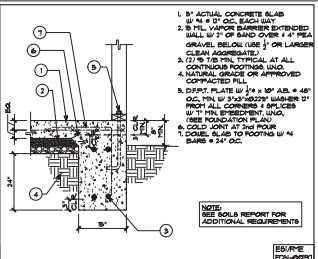
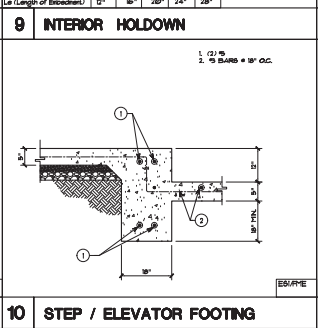
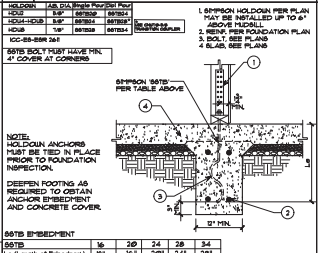
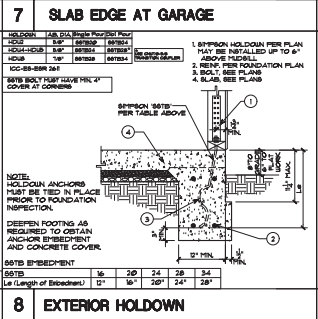
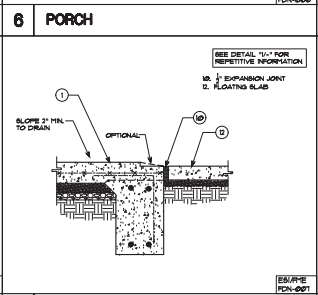
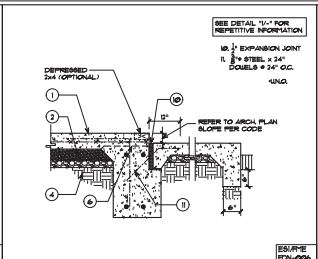
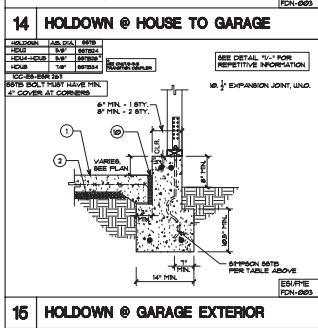
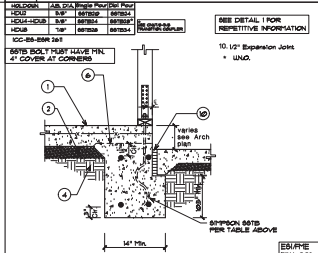
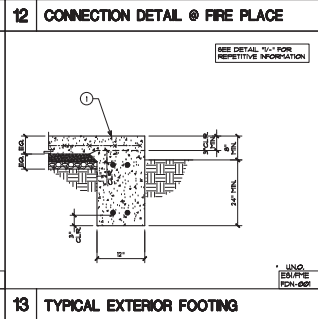
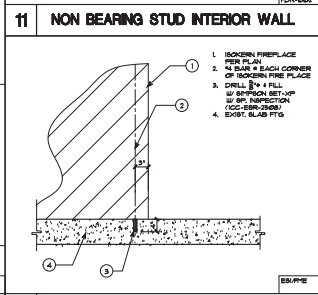
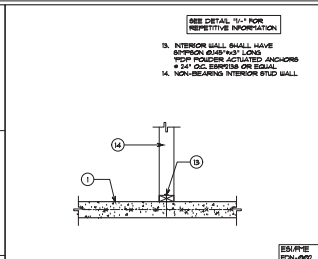
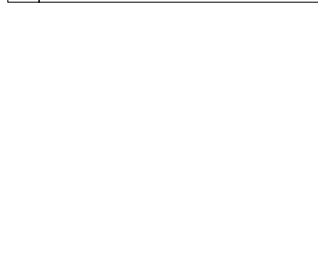
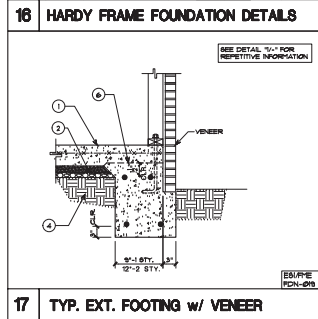
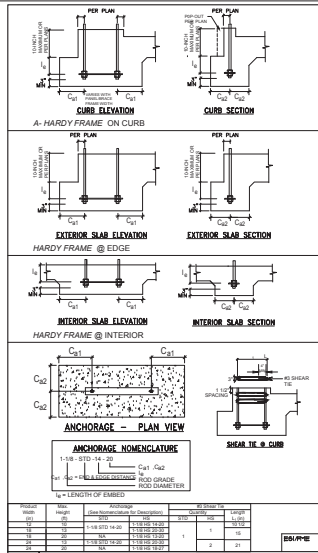
MAT SLAB:
10" THK. MAT SLAB W/4 BARS @ 12" O.C. E/W @ TOP & BOTTOM. OVER 2" WASTE SLAB. OVER WATER PROOFING MEMBRANE. OVER 2" WASTE SLAB. OVER 3/4" GRAVEL.

HARDY FRAME SCHEDULE			
NOTE: FIELD, VERIFY ALL HFX HEIGHTS, SPECIAL UNDER-HEIGHT AS REQUIRED. ALL HFX ON SLAB MUST BE INSTALLED ON DRY PACK. (NOT WOOD SILL PLATE)			
HFX #	HFX SIZE	CUSTOM HEIGHT	NOTES
△	HFX 21x10 1-1/8 H.S.		
△	HFX 15x10 1-1/8 STD.		

PAD FOOTING SCHEDULE	
NOTE: EARTH PADS ON POSTS U.N.O. BOTTOM OF PAD TO MATCH BOTTOM OF FOOTING. RUN FOOTING REINFORCING CONTINUOUS THROUGH PADS.	
PAD #	PAD SIZE AND REINFORCING
P1	30" SQ. x 18" DEEP CONCRETE PAD W/ (6) #4 EACH WAY @ BOTTOM
P2	24" SQ. x 18" DEEP CONCRETE PAD W/ (6) #4 EACH WAY @ BOTTOM
P3	24" x 48" RECT. x 24" DEEP CONCRETE PAD W/ (4) #4 EACH WAY @ BOTTOM

PROJECT NAME BAY FRONT TRADITIONAL	
STATUS FIRST SUBMITTAL	
ES/ME INC. 1000 1/2 STREET SUITE 100 NEWPORT BEACH, CA 92660 TEL: 949.261.1000 FAX: 949.261.1001	REGISTERED PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA NO. 10000
OWNER: W. CHAN TON SOUTH BAY FRONT TRADITIONAL CENTER DRIVE, SUITE 900, NEWPORT BEACH, CA 92660	
BAY FRONT TRADITIONAL 400 S BAY FRONT NEWPORT BEACH, CA 92662	
DOCUMENT VALID UPON	
ORIGINAL SIGNATURE	
FOUNDATION PLAN REVISIONS NO. DESCRIPTION DATE	
JOB NO. K453 DATE 12/5/2019 SHEET NO.	

S1



PROJECT NAME: BAY FRONT TRADITIONAL

STATUS: FIRST SUBMITTAL

CLIENT INFORMATION: ES/PIPE INC. 1000 S BAY FRONT NEWPORT BEACH, CA 92662

DESIGNER: SOUTH BAYFRONT LLC 400 S BAY FRONT NEWPORT BEACH, CA 92662

DATE: 12/05/2019

SHEET NO: FD1