



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

January 16, 2020
Agenda Item No. 4

SUBJECT: Moore Residence (PA2019-230)
▪ Coastal Development Permit No. CD2019-058

SITE LOCATION: 732 Via Lido Nord

APPLICANT: Cynthia Childs, Architect

OWNER: Gary Moore

PLANNER: Liane Schuller, Planning Consultant
949-644-3200, lschuller@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RS-D (Single-Unit Residential Detached)
- **Zoning District:** R-1 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-C (Single-Unit Residential Detached) (10.0-19.9 DU/AC)
- **Coastal Zoning District:** R-1 (Single-Unit Residential)

PROJECT SUMMARY

A request for a coastal development permit to allow the demolition of an existing single-family residence and construction of a new 4,440-square-foot, single-family residence with an attached 789-square-foot, three-car garage. The project includes accessory appurtenances such as walls, fences, patios, drainage devices, and landscaping. The property contains a private bulkhead which is proposed to be repaired and maintained. The project complies with all applicable development standards including height, setbacks, and floor area limits, and no deviations are requested. All proposed improvements are located within the confines of the private property.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2019-058 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-1 (Single-Unit Residential) Coastal Zoning District, which provides for detached single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The project site is currently developed with a single-family residence. The neighborhood is predominantly developed with two-story, single-family residences. A third level may be allowed subject to certain development standards. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed project will conform to all applicable development standards, including floor area limit, setbacks, and height, as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (street)	4 feet	4 feet
Front (bayfront)	10 feet	10 feet
Side	4 feet each	4 feet each
Allowable Floor Area	6,764 square feet	5,229 square feet
Allowable 3rd Floor Area	507 square feet	None proposed
Open Volume Area	507 square feet	1,206 square feet
Parking	3 enclosed	3 enclosed
Height	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

Hazards

- The property fronts the Newport Bay and is a private waterfront parcel. A Coastal Hazards Analysis Report was prepared for the project by PMA Consulting, Inc., dated October 18, 2019. The current maximum bay water elevation is 7.7 feet North American Vertical Datum of 1988 (NAVD 88). According to the report, the estimated sea level rise at the site is between 2.8 and 4.95 feet over the next 75 years utilizing different probabilistic scenarios, accounting for the bay water level rising to between 10.5 and 12.65 feet NAVD 88. The Newport Beach City Council has approved the use of the high estimate of the “low risk aversion” scenario, which is

3.2 feet by the year 2100, or 2.9 feet by 2094. Therefore, the sea level is estimated to likely reach approximately 10.6 feet NAVD 88 over the next 75 years (i.e. the life of the structure). The report also identifies that there is a 0.5 percent chance (“medium-high risk aversion” scenario) that sea level rise (SLR) would be greater than 2.9 feet around the year 2070 and could be as high as 13.1 feet NAVD 88 by the year 2100. If future SLR is greater than the likely estimate of the “low risk aversion” scenario by 2094 (10.6 feet NAVD 88), then the bulkhead can be raised without further bayward encroachment. Future raising of the bulkhead height would require a separate local coastal development permit (CDP).

- The project site is protected by an existing bulkhead that will be repaired and maintained at its current height of 11.54 feet NAVD 88, which can be raised to protect the property if needed in the future. The finished floor elevation of the first floor of the proposed living area is 12.98 feet NAVD 88, which exceeds the minimum 9.0-foot NAVD 88 elevation standard for new structures and exceeds the minimum requirements for sea level rise (10.6 feet NAVD 88) for the anticipated 75-year life of the structure.
- Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
- The property is located in an area known for the potential for seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The property is adjacent to Newport Bay. Pursuant to Section 21.35.030 (Construction Pollution Prevention Plan) of the Municipal Code, a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from

construction chemicals and materials. A CPPP has been provided and construction plans and activities will be required to adhere to the CPPP.

- Pursuant to Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQHP has been prepared for the project by Forkert Engineering & Surveying, Inc., dated November 1, 2019. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of a Low Impact Development (LID) approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.
- The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The existing residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
- The project is designed and sited so as not block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the project. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the beach and water.
- The project site is not located adjacent to a coastal view road or coastal viewpoint identified by Local Coastal Program maps. The project site may be located within the viewshed of distant public viewing areas; however, the project will replace an existing single-family residence with a new single-family residence that complies with all applicable Local Coastal Program (LCP) development standards. It will also maintain a building envelope consistent with the existing and anticipated neighborhood pattern of development. Therefore, the project does not have the

potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment.

Class 3 exempts the construction of up to three single-family residences in an urbanized area. The proposed project includes the demolition of an existing single-family residence and construction of a new 4,440-square-foot, single-family residence and attached 789-square-foot, three-car garage.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Program Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:


Liane Schuller
Planning Consultant

GR/ls

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2020-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-058 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 732 VIA LIDO NORD (PA2019-230)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Cynthia Childs, Architect, with respect to property located at 732 Via Lido Nord, and legally described as Lot 44 and southeasterly one-half of Lot 45, Tract 907 requesting approval of a coastal development permit.
2. The applicant proposes to demolish an existing single-family residence and construct a new 4,440-square-foot, single-family residence with an attached 789-square-foot, three-car garage.
3. The subject property is located within the R-1 (Single-Unit Residential) Zoning District and the General Plan Land Use Element category is RS-D (Single-Unit Residential Detached).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RSD-C (Single Unit Residential Detached) (10.0 - 19.9 DU/AC) and the Coastal Zoning District is R1 (Single-Unit Residential).
5. A public hearing was held on January 16, 2020, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. Class 3 includes the construction of a single-family residence in a residential zone. The proposed project includes the demolition of an existing single-family residence and construction of a new 4,440-square-foot, single-family residence with an attached 789-square-foot, three-car garage.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a

state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The proposed structure conforms to all applicable development standards including, but not limited to, floor area limitation, setbacks, height, and parking:
 - a. The maximum floor area limitation is 6,764 square feet and the proposed gross floor area is 5,229 square feet.
 - b. The proposed development will provide the required setbacks, which are 4 feet along the front property line abutting the street, 10 feet along the bayfront property line, and 4 feet along the side property lines.
 - c. The highest guardrail or flat roof is no more than 24 feet, measured from established grade at every point as required by Zoning Code Section 20.30.050(B)(3) and the highest ridge is no more than 29 feet from established grade, which complies with the maximum height limitation.
 - d. The project includes enclosed garage parking for three vehicles, which complies with the minimum three-space parking requirement for single-family residences having more than 4,000 square feet of livable floor area.
2. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood's pattern of development and expected future development consistent with applicable development standards as the neighborhood is predominantly developed with two-story, single-family residences.
3. A Coastal Hazards Analysis Report was prepared for the project by PMA Consulting, Inc., dated October 18, 2019. The current maximum bay water elevation is 7.7 feet North American Vertical Datum of 1988 (NAVD 88). According to the report, the estimated sea level rise at the site is between 2.8 and 4.95 feet over the next 75 years utilizing different probabilistic scenarios, accounting for the bay water level rising to between 10.5 to 12.65 feet NAVD 88. The Newport Beach City Council has approved the use of the high estimate of the "low risk aversion" scenario, which is 3.2 feet by the year 2100, or 2.9 feet by 2094. Therefore, the sea level is estimated to likely reach approximately 10.6 feet NAVD 88 over the next 75 years (i.e. the life of the structure). The report also identifies that there is a 0.5 percent chance ("medium-high risk aversion" scenario) that sea level rise (SLR) would be

greater than 2.9 feet around the year 2070 and the bay water level could be as high as 13.7 feet NAVD 88 by the year 2094. If future SLR is greater than the likely estimate of the “low risk aversion” scenario by 2094 (10.6 feet NAVD 88), then the bulkhead can be raised without further bayward encroachment. Future raising of the bulkhead height would require a separate local coastal development permit (CDP).

4. The project site is protected by an existing bulkhead that will be repaired and maintained at its current height of 11.54 feet NAVD 88, which can be raised to protect the property if needed in the future. The finished floor elevation of the first floor of the proposed living area is 12.98 feet NAVD 88, which exceeds the minimum 9.0-foot NAVD 88 elevation standard for new structures and exceeds the minimum requirements for sea level rise (10.6 feet NAVD 88) for the anticipated 75-year life of the structure.
5. Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and the CBC prior to building permit issuance.
7. Pursuant to Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQHP has been prepared for the project by Forkert Engineering & Surveying, Inc., dated November 1, 2019. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of a Low Impact Development (LID) approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.
8. The project design addresses water quality with a Construction Pollution Prevention Plan (CPPP) that includes temporary best management practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.
9. New landscaping will be verified for compliance with NBMC Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant and

prohibits invasive species. Prior to issuance of the building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

10. The property is not located near coastal view roads and is not located near any identified public viewpoints; therefore, the project will not negatively impact public coastal views.

Finding:

B. Conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The proposed residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the replacement of an existing single-family residence with a new single-family residence. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
2. The project is designed and sited so as not to block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the proposed development. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the beach and water.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-058, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal

Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 16th DAY OF JANUARY, 2020.

James Campbell, Zoning Administrator

EXHIBIT “A”**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
3. Coastal Development Permit No. CD2019-058 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
4. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
5. Prior to the issuance of building permit, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.
6. Prior to the issuance of a building permit, the property owner shall sign a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgements, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. The letter shall be scanned into the plan set prior to building permit issuance.
7. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
8. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

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9. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
 10. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A," shall be incorporated into the Building Division and field sets of plans.
 11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
 12. No demolition or construction materials, equipment debris or waste shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain, or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.
 13. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
 14. This Coastal Development Permit does not authorize any development seaward of the private property.
 15. Construction staging, storage and/or access is not allowed to occur on or from the adjacent sandy beach.
 16. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.

17. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
18. Prior to the issuance of building permits, the applicant shall submit a final Construction Pollution Prevention Plan (CPPP). The plan shall be subject to the review and approval by the Building Division.
19. Prior to issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.
20. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
21. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the coastal development permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this coastal development permit.
22. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species and water-efficient irrigation design. The plans shall be approved by the Planning Division.
23. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
24. Prior to issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
25. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far as far away from storm drain systems or receiving waters as possible.
26. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

27. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Moore Residence including, but not limited to Coastal Development Permit No. CD2019-058 (PA2019-230)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP

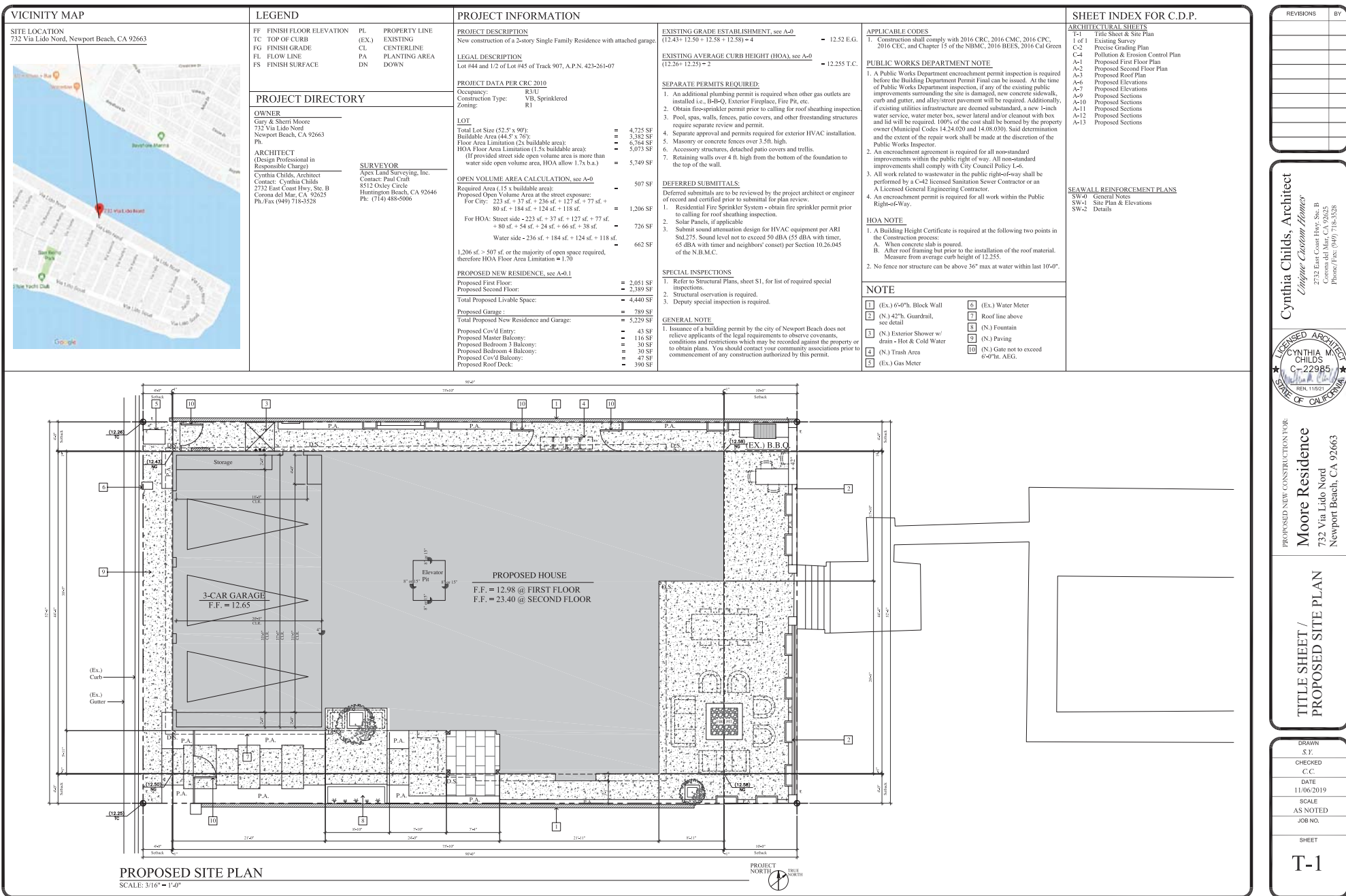


Coastal Development Permit No. CD2019-058
PA2019-230

732 Via Lido Nord

Attachment No. ZA 3

Project Plans



REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
732 East Coast Hwy, Ste. B
Corona del Mar, CA 92625
Phone / Fax: (949) 718-5528

PROPOSED NEW CONSTRUCTION FOR:
Moore Residence
732 Via Lido Nord
Newport Beach, CA 92663

TITLE SHEET /
PROPOSED SITE PLAN

DRAWN
S.Y.
CHECKED
C.C.
DATE
11/06/2019
SCALE
AS NOTED
JOB NO.
SHEET
T-1

FLOOR PLAN NOTES

FRAMING NOTES

- F1. Distance from face of the foundation to property line to be zoning setback plus wall finish thickness (minimum).
- F2. All exterior walls to be 2x6, all interior walls to be 2x6, U.N.O.
- F3. All interior walls that house pocket doors or have plumbing drain lines to be 2x6, U.N.O.
- F4. All dimensions are to face of stud, U.N.O.
- F5. Provide 2x blocking for mirrors, towel bars, hooks, toilet paper dispensers, shelving, handrails and artwork. See interior elevations for more information.
- F6. Provide framing for steep and shower niches at all baths and showers. See detail 915a.
- F7. Provide framing for custom medicine cabinets at baths (if applicable). See detail 14 & 15Dc.
- F8. All plywood below R.F.C. to be pressure treated.
- F9. Allow 1/2" slope minimum from corners of all water closets to adjacent finish surfaces, clearance for water closet to be a minimum of 24" at floor.
- F10. Fireproof hearth dimensions per CBC 3102.7.12 (Not applicable).
- F11. Provide 2" clearance to framing around fireplaces and chimney or thickness from lining to combustibles to be 12". CBC 2113.19.
- F12. Superior WRT 4545 fireproof with flush hearth, see T-5 for the spec.
- F13. Fire place shall be a listed solid fuel burning fireplace that must have an anchored gossens heat burning plus within the firebox and shall comply with the California Energy Standards.
- F14. Provide a glass door covering the entire hearth opening. CBC 1506(g)(1).
- F15. The gas log should be permanently fixed to the hearth slab.
- F16. Provide seismic anchorage per manufacturer's instructions.
- F17. Combustion air and exhaust vent shall not be on the side of the chimney when its exterior wall is within 3 feet of the property line. No openings shall be permitted in the exterior walls, including vents, of Group R-3 Occupancy where the exterior wall is closer than 3 ft. to the property line.

CONTRACTOR NOTES

- C1. All garage doors, between house & garage to be 1 1/2" self-closing solid wood slab, self latching and 20 min. rated.
- C2. Provide 5/8" type "x" gypsum board at all garage walls, ceiling and on individual posts per CBC 302.4.
- C3. All gypsum board to have straight corners "smooth texture" throughout. (Verify with owner)
- C4. Laundry chute shall have a one hour fire-rated wall covering or 26 gauge galvanized metal with all openings protected by not less than a self-closing solid wood door 1 3/8 inch thick per equivalent per CBC 711.6, if applicable.
- C5. Contractor to provide termit treatment for subterranean termite prevention, in the foundation and slab on grade usage.
- C6. Contractor to provide central vacuum.

PLUMBING NOTES

- P1. Plumbing contractor to provide reverse osmosis outlets with 3/8" vinyl plastic to all kitchen faucets, faucets, refrigerators, ice makers, bars and bathrooms. (Verify with owner.)
- P2. Hot and cold water to Laundry Room and for washer to be installed as recessed box with drains below top of washer & dryer.
- P3. Provide heating facilities per CBC 1204.1 (Refer to energy calculations, sheet T-24)
- P4. Net area of shower enclosures shall be not less than 1,024 sq. ft. (7 sq. ft.) of floor area and a minimum of 30" diameter circle.
- P5. All plumbing fixtures shall be complying with the maximum flow rate in section 4.303 California Building Standard Code.
- P6. Contractor to provide recirculating pump to tankless water heater.
- P7. Contractor to provide central vacuum per owner.

HVAC NOTES

- H1. HVAC contractor to locate thermostats for EAU efficiency. (Verify location with owner)
- H2. Submit sound attenuation design for HVAC equipment per ASHRAE 2.7.2. Sound level not to exceed 50 dBA (55 dBA with timer, 65 dBA with timer) per Section 10.26.045 of the N.B.M.C. Location of measurement to be at adjacent property patio or opening.
- H3. HVAC contractor will be responsible for all city of Newport Beach sound calculations and permits.
- H4. HVAC contractor to provide adequate zones at the second floor and the first floor.

ELECTRICAL NOTES

- E1. Electrical Contractor to verify height of outlets located above any work surface or counter top to avoid interference with counter-top or splash material design.
- E2. See electrical plans (see sheet A-4 & A-5) for more information and notes.
- E3. Provide all any electrical panel, bonded and grounded. Provide (1) 200 R. 34 mb (after) and (1) cold water ground to the main water shutoff. See detail 18Dc.

LANDSCAPE NOTES

- L1. See landscape drawings for gas, fence and garden wall designs. Separate permit is required for fences, retaining walls, pools, spas, garden structures.
- L2. All walls, fences, and pillars shall not exceed a height of 7' as measured from natural grade within the front yard setbacks. No walls, fences, gates shall exceed a height of 9' as measured from natural grade within the side yard setbacks.

STAIR NOTES

- S1. Stairways and Landings per CBC 1003.3.3. Maximum 7'-5 1/2" rise-Minimum 10" run, 6'-8" vertical headroom, minimum. Clear width to be 36" min.
- S2. Handrails to be 34" to 38" high. Grip width to be 1 1/4" min to 2" max. Maximum clearance between balusters to be less than 4". Handrail ends shall have rounded termination of balusters.
- S3. Provide guardrail per CBC 506. Guardrail to resist 200 lb horizontal load at top of rail. CBC Table 16-8. Min. clear opening less than 4" Min height = 42"
- S4. Provide guards where the open side is more than 30 inches above the floor or grade below. CBC 1003.1
- S5. Stair grade reads with painted risers at all stairs, verify with interior designer
- S6. Provide 5/8" type "x" gypsum board at walls and ceiling below stairways.
- S7. Provide a swing between 3'-6" and 1'-4" on stairways with solid treads where threat depth is less than 11".

APPLIANCE SCHEDULE

- A1. Refer to sheet T-2
- A2. Central Vacuum

PLUMBING SCHEDULE

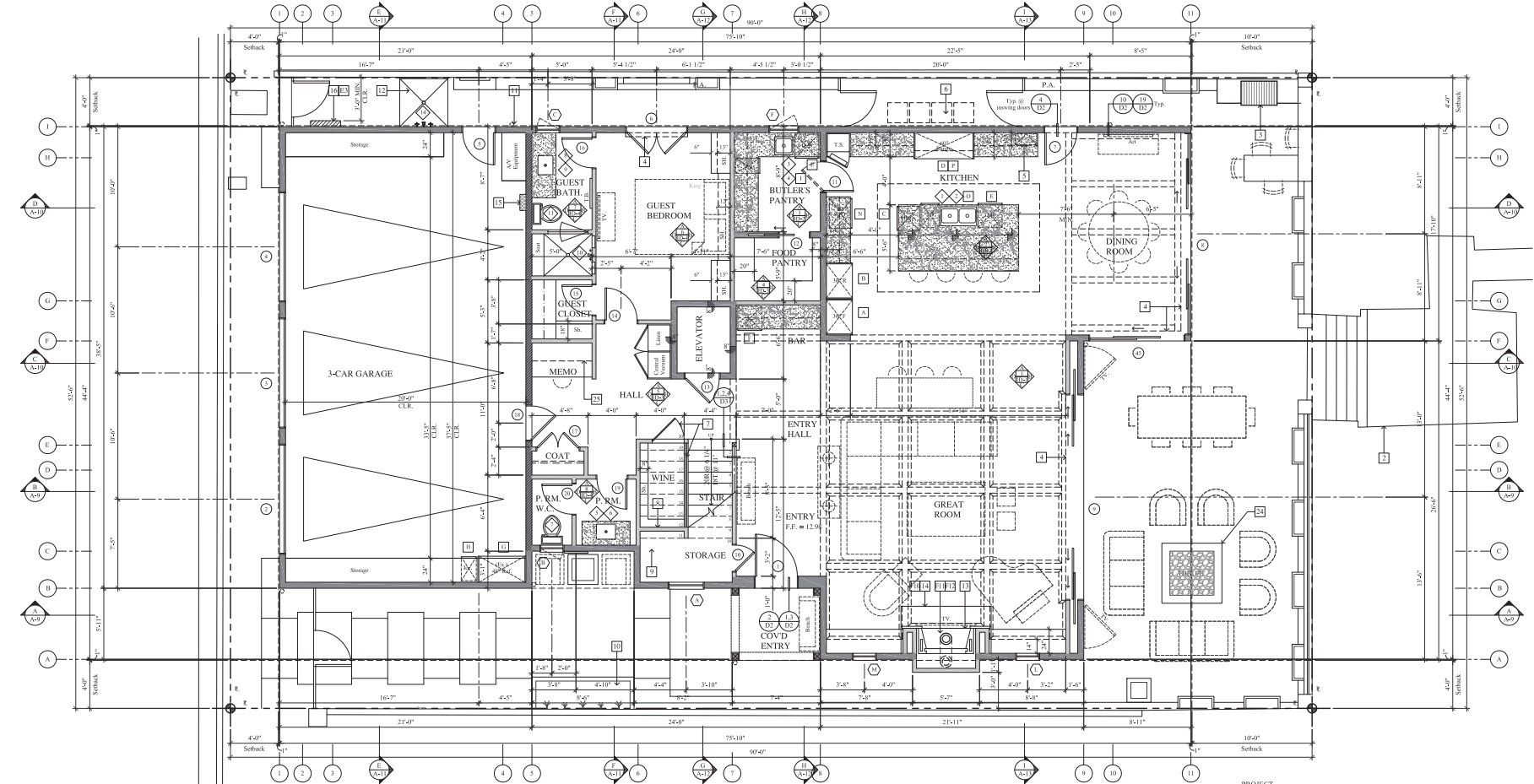
- PL-1. Refer to sheet T-2

KEY NOTES

- 1 Not used
- 2 Electrical upgrade to Xmas lighting
- 3 (E+) B.B.Q. to remain
- 4 Shade Pocket
- 5 T.V. folding under cabinet
- 6 Trash Area
- 7 Glass Wall and Door
- 8 5'4" Hc. min. at back of Wine
- 9 Wine Condenser
- 10 Fountain
- 11 Vent for A/V Equipment
- 12 Exterior Shower with drain, hot & cold water, see civil plan for drainage
- 13 Fireplace
- 14 Flush Hearth
- 15 Tankless Water Heater - 4-0" Gls. below. Tankless Water Heater shall be vented vertically through the roof.
- 16 Electrical Panel
- 17 Bath Door
- 18 Toilet Paper Cabinet
- 19 Floor Drain & Overflow, see 915a-1
- 20 Skylight
- 21 Mirror
- 22 Attic Access
- 23 Vent Dryer thru roof
- 24 Fireproof with Table Top
- 25 Printer at upper cabinet
- 26 Stainless Steel Clothes Rod

FLOOR PLAN LEGEND

- New exterior wall, 2x6 wood studs @ 16" o.c.
- New interior wall, 2x6 wood studs @ 16" o.c.
- to accommodate interior pocket door and/or plumbing
- New 2x4 interior wall, 2x4 wood studs @ 16" o.c.
- 1-hour rated wall within 7'-4" of P.L. - See detail 11-D-4
- Door symbol with door number, refer to door schedule
- Window symbol with window letter, refer to window schedule
- Indicates interior elevations key
- Hose bibb
- Hose bibb, recessed in beam box
- Cold Water Connection for Appliance or Pot Filler
- Fuel gas line
- Loose key valve for fuel gas
- Appliances symbol, refer to appliance schedule, sheet T-2
- Plumbing fixture symbol, refer to plumbing schedule, sheet T-2
- Property Line
- Setback Line



PROPOSED FIRST FLOOR CONCEPT A
SCALE: 1/4" = 1'-0"

REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
2732 East Coast Hwy, Ste. B
Corona del Mar, CA 92625
Phone/Fax: (949) 718-3528



PROPOSED NEW CONSTRUCTION FOR:
Moore Residence
732 Via Lido Nord
Newport Beach, CA 92663

PROPOSED
FIRST FLOOR PLAN

DRAWN S.Y.
CHECKED C.C.
DATE 11/06/2019
SCALE AS NOTED
JOB NO.
SHEET

A-1

FLOOR PLAN NOTES

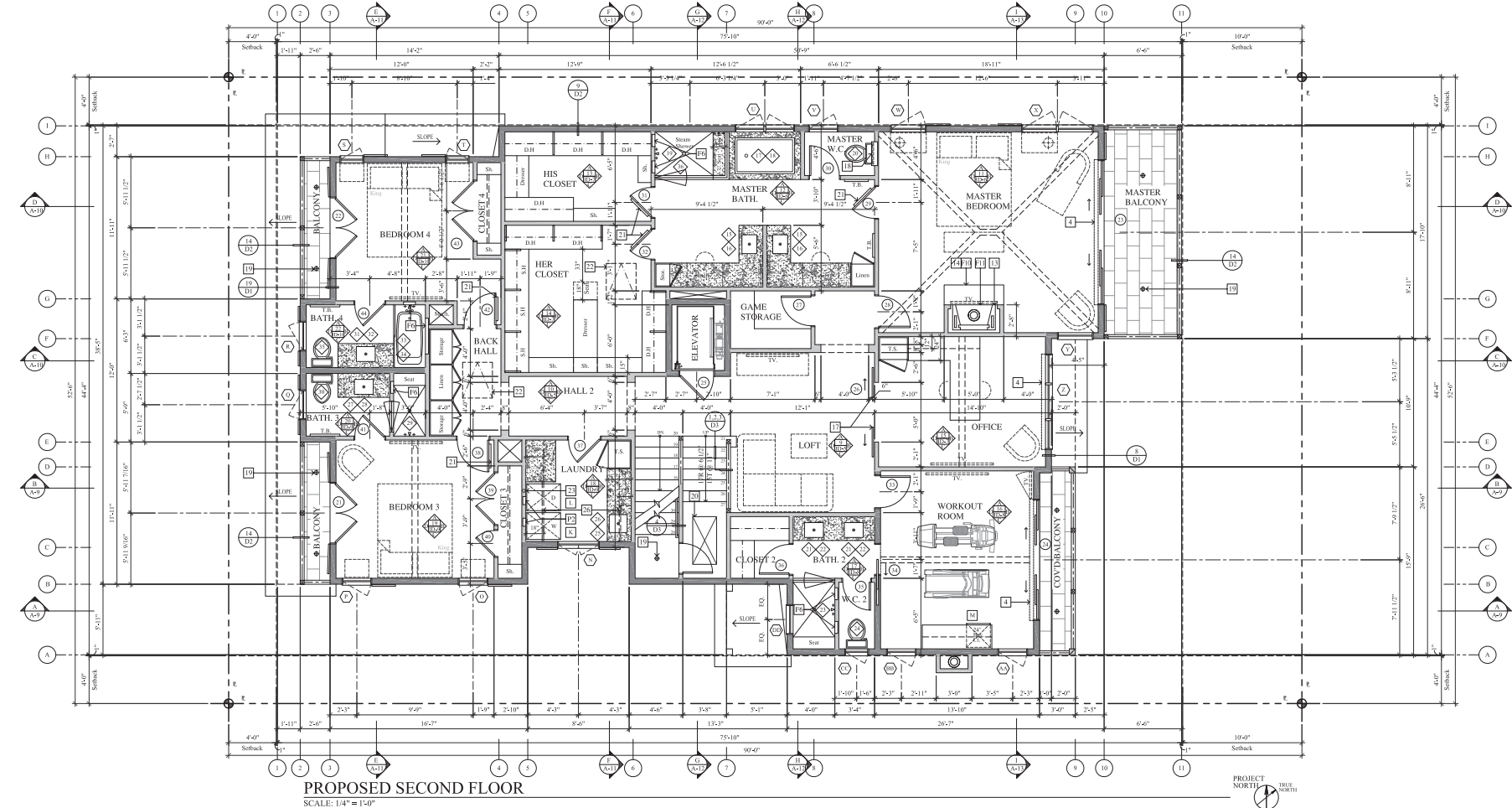
- FRAMING NOTES**
- Distance from face of the foundation to property line to be zoning setback plus wall finish thickness (minimum).
 - All exterior walls to be 2x6. All interior walls to be 2x4, U.N.O.
 - All interior walls that house pocket doors or have plumbing drain lines to be 2x6, U.N.O.
 - All dimensions are to face of stud, U.N.O.
 - Provide 2x blocking for mirrors, towel bars, hooks, toilet paper dispensers, shelving, handrails and artwork. See interior elevations for more information.
 - Provide framing for soap and shampoo niches at all baths and showers. See detail 915D.
 - Provide framing for custom medicine cabinets at baths (if applicable). See detail 14 & 15DC.
 - All plywood below R.F.C. to be pressure treated.
 - Allow 1/2" slope minimum from corners of all water closets to adjacent finish surfaces, clearance for water closets to be a minimum of 24" at floor.
 - Fireplace hearth dimensions per CBC 3102.7.12 (Door applicable).
 - Provide 2" clearance to framing around firebox and chimney or thickness from lining to combustibles to be 12". CBC 2113.19.
 - Exterior combustion air ducts shall be listed components of the fireplace, and installed in accordance with their listing and manufacturer instructions. CBC 2111.13.1.
 - Superior WRT 4545 fireplace with flush hearth, see T-5 for the spec.
 - Fire place shall be a listed solid fuel burning fireplace that must have an anchored gessoes hot burning pipe within the firebox and shall comply with the California Energy Standards.
 - Provide a glass door covering the entire hearth opening. CBC 1906(c)(1).
 - The gas log should be permanently fixed to the hearth slab.
 - Provide seismic anchorage per manufacturer's instructions.
 - Combustion air and exhaust vent shall not be on the side of the chimney when its exterior wall is within 3 feet of the property line. No openings shall be permitted in the exterior walls, including vents, of Group R-3 Occupancy where the exterior wall is closer than 3 ft. to the property line.

- CONTRACTOR NOTES**
- See sheet T-1 for Residential Construction Minimum Requirements.
 - All gesso doors, between house & garage to be 1 1/2" self-closing solid wood slab, self latching and 20 min. rated.
 - Provide 5/8" type "X" gypsum board at all garage walls, ceiling and on individual posts per CBC 302.4.
 - All gypsum board to have straight corners "smooth texture" throughout. (Verify with owner)
 - Laundry chute shall have a one hour fire-rated wall covering or 26 gage galvanized metal with all openings protected by not less than a self-closing solid wood door 1 3/8 inch thick per equivalent per CBC 711.6, if applicable.
 - Contractor to provide termite treatment for subterranean termite prevention, in the foundation and slab on grade walls.
 - Contractor to provide central vacuum.
- PLUMBING NOTES**
- Plumbing contractor to provide reverse osmosis outlets with 3/8" vinyl plastic to all kitchen faucets, faucets, refrigerators, ice makers, bars and bathrooms. (Verify with owner.)
 - Hot and cold water in Laundry Room and for washer to be installed in recessed box with drains below top of washer & dryer.
 - Provide heating facilities per CBC 1204.1 (Refer to energy calculations, sheet T-204)
 - Net area of shower enclosures shall be not less than 1,024 sq. ft. (7 sq. ft. of floor area and a minimum of 30" diameter circle).
 - All plumbing fixtures shall be complying with the maximum flow rates in section 4.303 California Building Standard Code.
 - Contractor to provide recirculating pump to tankless water heater.
 - Contractor to provide central vacuum per owner.

- HVAC NOTES**
- HVAC contractor to locate thermostats for EAU efficiency. (Verify location with owner)
 - Submit sound attenuation design for HVAC equipment per ASHRAE 2.2.7. Sound level not to exceed 50 dBA (55 dBA with timer, 65 dBA with timer) per Section 10.20.045 of the N.B.M.C.
 - Location of measurement to be at adjacent property patio or opening.
 - HVAC contractor will be responsible for all city of Newport Beach sound calculations and permits.
 - HVAC contractor to provide adequate zones at the second floor and the first floor.
- ELECTRICAL NOTES** (See A-4 & A-5 for Electrical Plans)
- Electrical Contractor to verify height of outlets located above any work surface or counter to avoid interference with counter-top or splash material design.
 - See electrical plans (see sheet A-4 & A-5) for more information and notes.
 - Provide 400 amp electrical panel, bonded and grounded. Provide (3) 20" R. 3/4 inch (after) and (1) cold water ground to the main water shutoff. See detail 18D2.
- LANDSCAPE NOTES**
- See landscape drawings for gate, fence and garden wall designs. Separate permit is required for fences, retaining walls, pools, spas, garden structures.
 - All walls, fences, and pillars shall not exceed a height of 7' as measured from natural grade within the front yard setback. No walls, fences, gates shall exceed a height of 9' as measured from natural grade within the side yard setbacks.

- STAIR NOTES**
- Stairways and Landings per CBC 1003.3.3. Maximum 7'-6" rise-Minimum 10" run, 6'-8" vertical headroom, minimum. Clear width to be 36" min.
 - Handrails to be 34" to 38" high. Grip width to be 1 1/4" min to 2" max. Maximum clearance between balusters to be less than 4". Handrail ends shall have rounded termination of heads.
 - Provide guardrail per CBC 506. Guardrail to resist 200 lb horizontal load at top of rail. CBC Table 16-8B. Max. clear opening less than 4" Min height = 42"
 - Provide guards where the open side is more than 30 inches above the floor or grade below. CBC 1003.1
 - Stair grade reads with painted risers at all stairs, verify with interior designer
 - Provide 5/8" type "X" drywall at walls and ceiling below stairways.
 - Provide a landing between 3'-6" and 1'-4" on stairways with solid tread where threat depth is less than 11".
- APPLIANCE SCHEDULE**
- Refer to sheet T-2
 - Central Vacuum
- PLUMBING SCHEDULE**
- Refer to sheet T-2

- KEY NOTES**
- Not used
 - Electrical upgrade to Xmm lighting
 - (E+) B.B.Q. to remain
 - Shade Pocket
 - T.V. folding under cabinet
 - Trash Area
 - Glass Wall and Door
 - 5'-0" Hc. min. at back of Wine
 - Wine Condenser
 - Fountain
 - Vent for A/V Equipments
 - Exterior Shower with drain, hot & cold water, see civil plan for drainage
 - Fireplace
 - Flush Hearth
 - Tankless Water Heater -4'-0" Gr. below Tankless Water Heater shall be vented vertically through the roof.
- FLOOR PLAN LEGEND**
- Electrical Panel
Barn Door
Toilet Paper Cabinet
Floor Drain & Overflow, see WDS
Skylight
Mirror
Attic Access
Vent Drier thru roof
Firepit with Table Top
Printer at upper cabinet
Stainless Steel Clothes Rod
- Indicates interior elevations key
- Hose bibb
Hose bibb, recessed in beam box
Cold Water Connection for Appliance or Pot Filler
Fuel gas line
Loss key valve for fuel gas
Appliances symbol, refer to appliance schedule, sheet T-2
Plumbing fixture symbol, refer to plumbing schedule, sheet T-2
- Property Line
Setback Line



PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0"

REVISIONS	BY

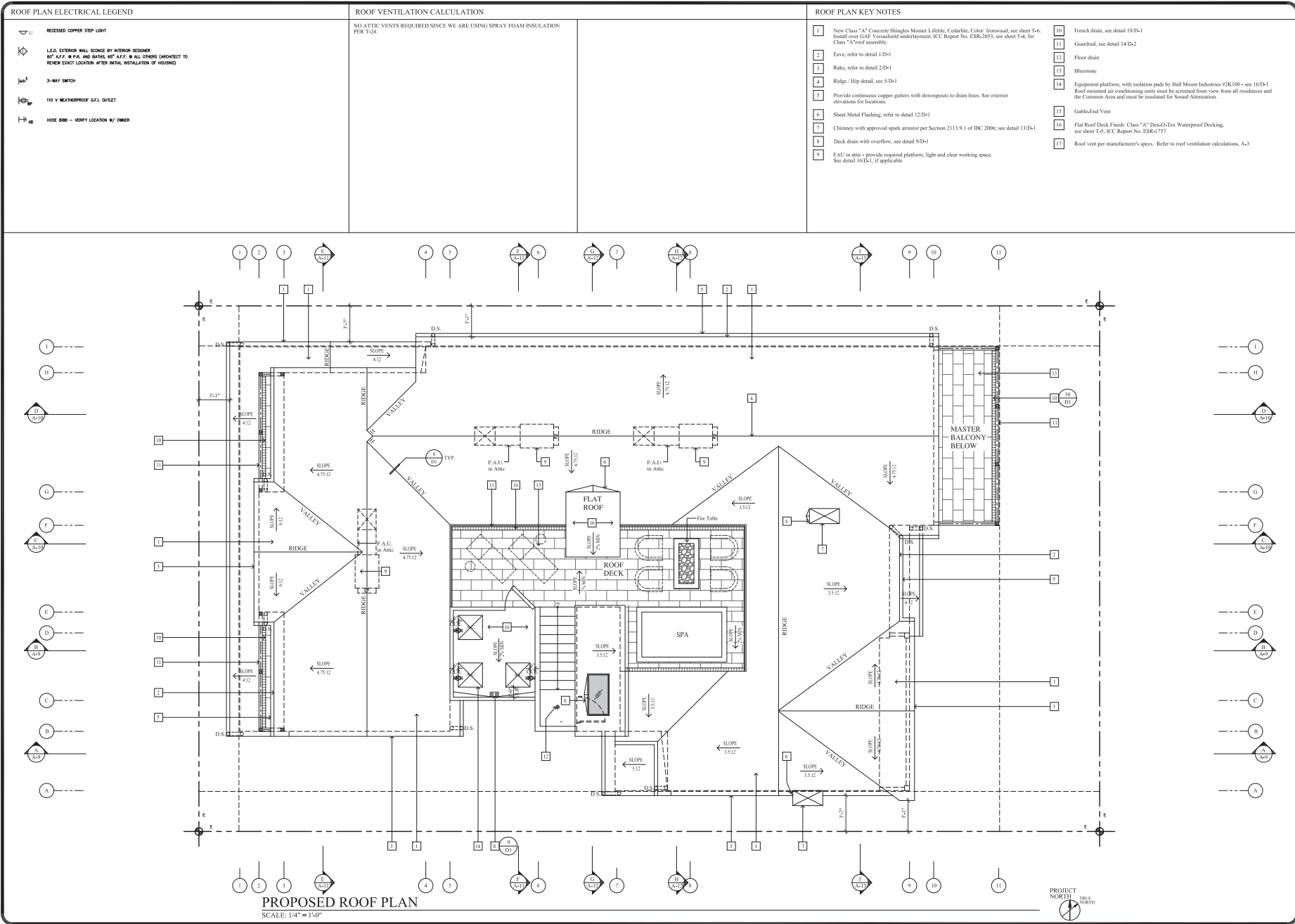
Cynthia Childs, Architect
Unique Custom Homes
2732 East Coast Hwy, Ste. B
Corona del Mar, CA 92625
Phone/Fax: (949) 718-3528

PROPOSED NEW CONSTRUCTION FOR:
Moore Residence
732 Via Lido Nord
Newport Beach, CA 92663

PROPOSED SECOND FLOOR PLAN

SEAL OF THE ARCHITECT
CYNTHIA M. CHILDS
C-22985
Exp. 11/30/17
STATE OF CALIFORNIA

DRAWN S.Y.
CHECKED C.C.
DATE 11/06/2019
SCALE AS NOTED
JOB NO.
SHEET A-2



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Cynthia Childs, Architect
Unique Custom Homes
2732 East Coast Hwy, Ste. B
Corona del Mar, CA 92625
Phone/Fax: (949) 718-3528

PROPOSED NEW CONSTRUCTION FOR:

Moore Residence
732 Via Lido Nord
Newport Beach, CA 92663

PROPOSED ROOF PLAN

DRAWN
S.Y.

CHECKED
C.C.

DATE
11/06/2019

SCALE
AS NOTED

JOB NO.

SHEET

A-3

ELEVATION NOTES

- | | |
|---|---|
| <p>1 Class "A" Concrete Shingles, see Roof Plan</p> <p>2 Typical Eave detail, see 1D-1</p> <p>3 Typical Rake detail, see 2D-1</p> <p>4 Gable-End Vent, see detail</p> <p>5 Chimney with Thin Brick Veneer • Provide approved spark arrester per Section 2113.8.1 of CBC 2013. See Detail 13D-1
Chimney shall extend at least 2 ft. higher than any portion of the building within 10 ft., but shall not be less than 3 ft. above the highest point where the chimney passes through the roof.</p> <p>6 Board and Batten, see 9D-2</p> <p>7 8" Channel Siding, see 10D-2</p> <p>8 Thin Brick Veneer, Painted White</p> <p>9 Aluminum-Clad Wood Doors and Windows, see 1-2 for schedules</p> <p>10 Dutch Entry Door</p> | <p>11 Wood Trim Work @ Doors and Windows, see 7D-2</p> <p>12 Paint Grade Wood Columns, see 4D-1</p> <p>13 Exterior Shutters</p> <p>14 Gaudinail, see 14D-2</p> <p>15 Skylight</p> <p>16 Exterior Shower</p> <p>17 Roof to Wall detail, see 8D-1</p> <p>18 Material Transition, see 19D-1</p> <p>19 Gate, not to exceed 6'0" H, A.E.G.</p> |
|---|---|



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY

Cynthia Childs, Architect
Unique Coastal Homes
2732 East Coast Hwy, Ste. B
Corona del Mar, CA 92625
Phone/Fax: (949) 718-3528

PROPOSED NEW CONSTRUCTION FOR:
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732 Via Lido Nord
Newport Beach, CA 92663



ELEVATIONS

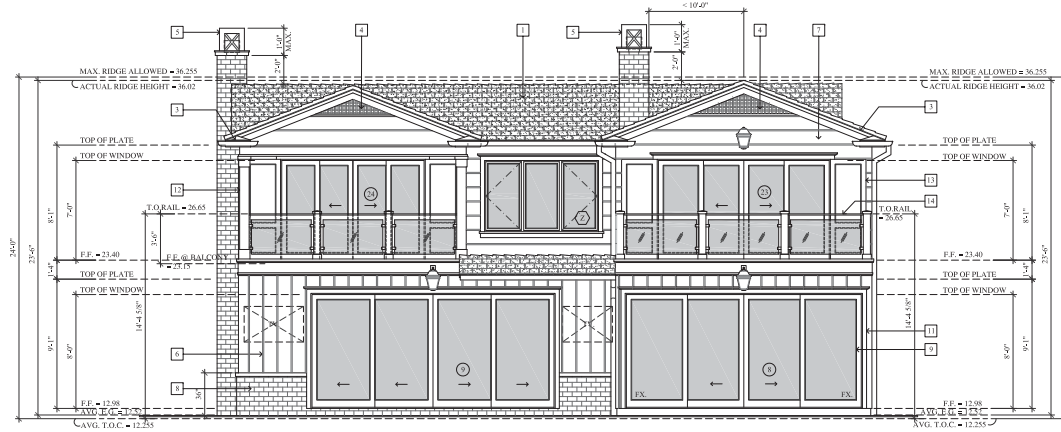
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SHEET	

A-6

ELEVATION NOTES

- 1 Class "A" Concrete Shingles, see Roof Plan
- 2 Typical Eave detail, see 1D-1
- 3 Typical Rake detail, see 2D-1
- 4 Gable-End Vent, see detail
- 5 Chimney with Thin Brick Veneer • Provide approved spark arrester per Section 2113.8.1 of CBC 2013. See Detail 13D-1
Chimney shall extend at least 2 ft. higher than any portion of the building within 10 ft., but shall not be less than 3 ft. above the highest point where the chimney passes through the roof.
- 6 Board and Batten, see 9D-2
- 7 8" Channel Siding, see 10D-2
- 8 Thin Brick Veneer, Painted White
- 9 Aluminum-Clad Wood Doors and Windows, see 1-2 for schedules
- 10 Dutch Entry Door

- 11 Wood Trim Work @ Doors and Windows, see 7D-2
- 12 Paint Grade Wood Columns, see 4D-1
- 13 Exterior Shutters
- 14 Gaudhailing, see 14D-2
- 15 Skylight
- 16 Exterior Shower
- 17 Roof to Wall detail, see 8D-1
- 18 Material Transition, see 19D-1
- 19 Gate, not to exceed 6'-0" H, A.E.G.



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
2732 East Coast Hwy, Ste. B
Corona del Mar, CA 92625
Phone/Fax: (949) 718-3528

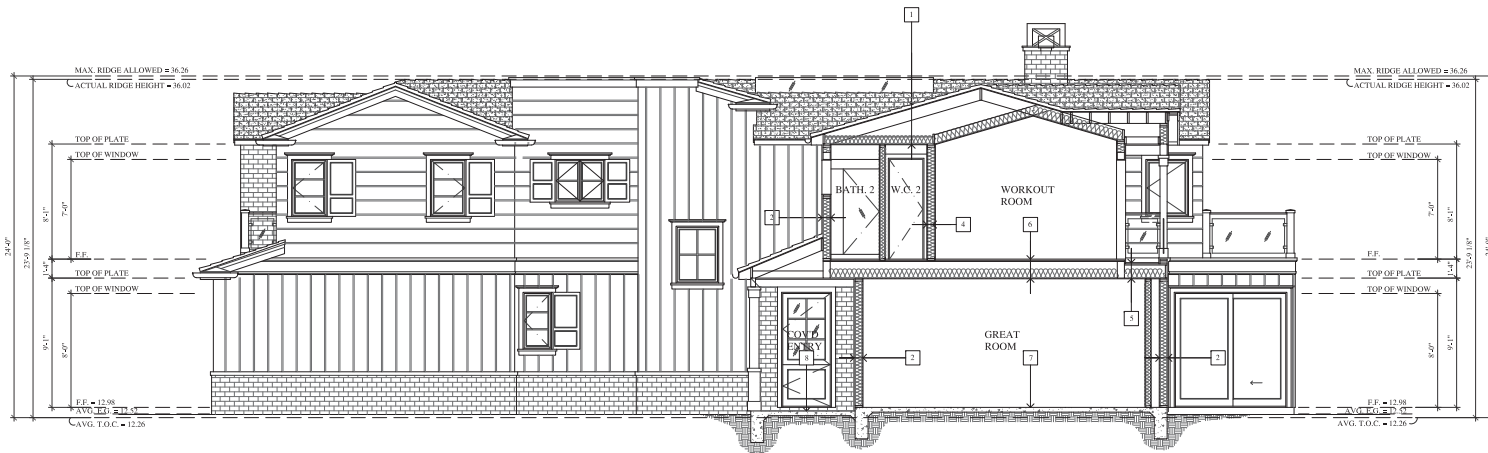


PROPOSED NEW CONSTRUCTION FOR
Moore Residence
732 Via Lido Nord
Newport Beach, CA 92663

ELEVATIONS

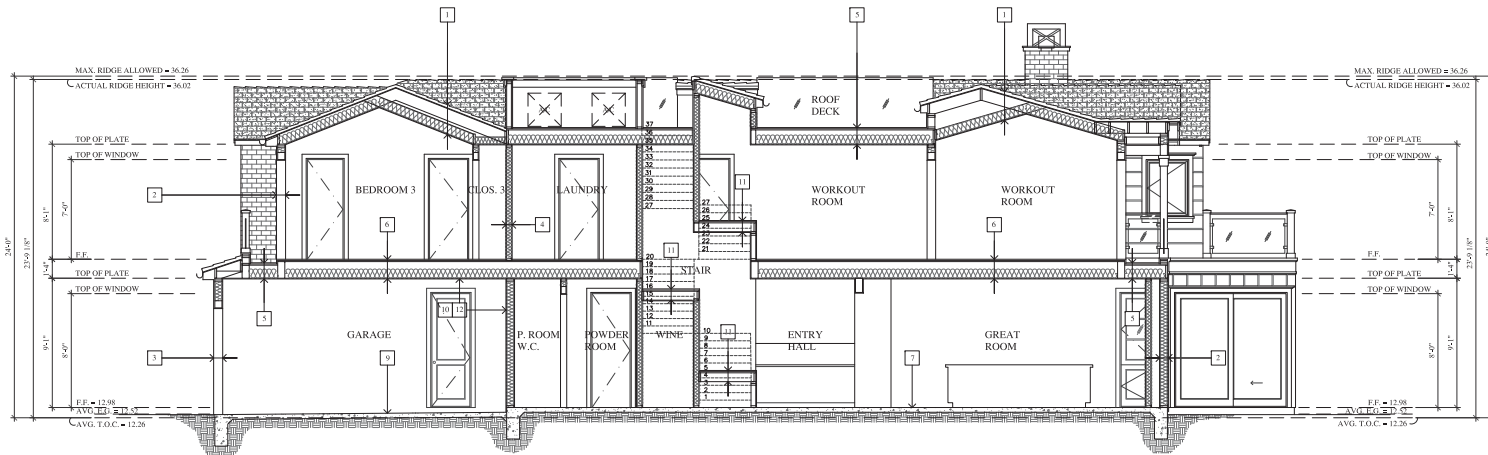
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A-7



SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"

SECTION NOTES

1. TYPICAL CLASS "A" SLOPED ROOF ASSEMBLY:
 - A. Class "A" Concrete Shingles Cedar-elfe, see Roof plan
 - B. Roofing underlayment - per manufacturer's recommendations
 - C. Plywood roof sheathing - per structural plans
 - D. California III framing (where occurs)
 - E. Roof rafters - per structural plans
 - F. Ceiling joists - per structural plans (where occurs)
 - G. Insulation to be R-20
 - H. 2x Soffit framing (where occurs)
 - I. 5/8" gypsum board at ceiling
 - K. Finish ceiling - refer to reflected ceiling plan.
2. TYPICAL EXTERIOR WALL ASSEMBLY (AT HOUSE):
 - A. Chancel siding, cedar shingles or board-and-batten siding - refer to elevations
 - B. Building paper
 - C. Plywood sheathing or shear panel per structural plans
 - D. 2x6 exterior wall framing (unless noted otherwise)
 - E. Insulation to be R-21
 - F. 5/8" type "X" gypsum wallboard
 - G. Interior finish per interior elevations
3. TYPICAL EXTERIOR WALL ASSEMBLY (AT GARAGE):
 - A. Chancel siding, cedar shingles or board-and-batten siding - refer to elevations
 - B. Building paper
 - C. Plywood sheathing or shear panel per structural plans
 - D. 2x6 exterior wall framing (unless noted otherwise)
 - E. 5/8" type "X" gypsum wallboard
 - G. Interior finish per interior elevations
4. TYPICAL INTERIOR WALL ASSEMBLY:
 - A. Wall finish per interior elevations
 - B. 5/8" gypsum wallboard
 - C. Plywood sheathing or shear panel - per structural plans (where occurs)
 - D. 2x wall framing - refer to floor plans
 - E. Fiberglass batt sound insulation to be R-19
 - F. 5/8" gypsum wallboard at walls and ceiling
 - G. Wall finish per interior elevations
5. DECK / BALCONY ASSEMBLY:
 - A. Stone pavers, 1/2" x 18" x 18" thick, set in mortar bed
 - B. Waterproof membrane
 - C. 1 1/8" T&G exterior plywood sheathing
 - D. Deck joists, ripped to slope 1/4" per 1'-0" - per structural plans
 - E. Insulation to be R-30
 - F. 5/8" gypsum wallboard
 - G. Finish ceiling - refer to reflected ceiling plan
6. SECOND & THIRD FLOOR / CEILING ASSEMBLY:
 - A. 3/4" handwood over 3/4" plywood or stone over mortar or 3/4" gypsum
 - B. 1 1/8" T&G plywood sheathing glued and screw nailed to floor joists
 - C. 1/2" Floor joists - per structural engineer
 - D. Fiberglass batt sound insulation to be R-21
 - E. Ceiling joists per structural plans or soffit framing (where occurs)
 - F. 5/8" gypsum wallboard
 - G. Finish ceiling - refer to reflected ceiling plan
7. FIRST FLOOR ASSEMBLY:
 - A. 3/4" handwood over 3/4" plywood or stone over mortar or 3/4" gypsum
 - B. Reinforced concrete slab on grade per structural engineer
 - C. Vapor barrier per soils report
 - D. Sand per soils report
8. FLOOR ASSEMBLY AT EXTERIOR PORCH:
 - A. Stone pavers over mortar bed
 - B. Waterproof membrane
 - C. Concrete porch slab per structural plans, sloped to drain
 - D. Vapor barrier per soils report
 - E. Sand per soils report
9. GARAGE SLAB ON GRADE:
 - A. Reinforced concrete slab on grade per structural plans - slope to drain
 - B. Vapor barrier per soils report
 - C. Sand per soils report
10. GARAGE INTERIOR WALLS AND CEILING:
 - A. 5/8" type "X" gypsum wallboard
11. STAIR ASSEMBLY:
 - A. Continuous handrail securely fastened to wall @ 36" above tread nosing
 - B. Finish material, per finish schedule
 - C. 1 1/8" plywood treads - glued and screwed to stringers
 - D. 1 1/8" plywood risers
 - E. Minimum (3) 2 x 14 stringers @ straight run - refer to structural plans
 - F. 2 x 6 joist at 16" o.c. in landing - per structural plans
 - G. Positive connection to floor per structural plans
 - H. 5/8" type "X" gypsum board @ walls and ceiling of all accessible space under stairs
12. 1-hour rated wall or floor-ceiling assembly, see details.
13. LOW-SLOPING ROOFING:
 - Roof assembly shall be a Class "A" assembly and conform to CRC sect. 905.11:
 - A. Modified Blumens Cap Sheet with mineral aggregate
 - B. Roof Underlayment - per manufacturer's instructions
 - C. Plywood roof sheathing - per structural plans
 - D. Roof rafters - per structural plans
 - E. 5/8" gypsum board at ceiling
 - F. Finish ceiling - refer to reflected ceiling plan.
14. SLOPED ROOF ASSEMBLY AT VOLUME CEILING:
 - A. Concrete Roof Tile, (see note #1)
 - B. Roofing underlayment - per manufacturer's recommendations
 - C. Plywood roof sheathing - per structural plans
 - D. California III framing (where occurs)
 - E. Roof rafters - per structural plans
 - F. Spray foam insulation (air-impermeable, min. R-30, per R306.5.5.1.1) or Rigid insulation board (air-impermeable, min. R-4) applied to underside of roof sheathing and R-25 air-permeable insulation under air-impermeable insulation per R306.5.5.1.2
 - G. 2x Soffit framing (where occurs)
 - H. 5/8" gypsum board at ceiling
 - I. Finish ceiling - refer to reflected ceiling plan.

REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
 2732 East Coast Hwy, Ste. B
 Corona del Mar, CA 92625
 Phone/Fax: (949) 714-3528

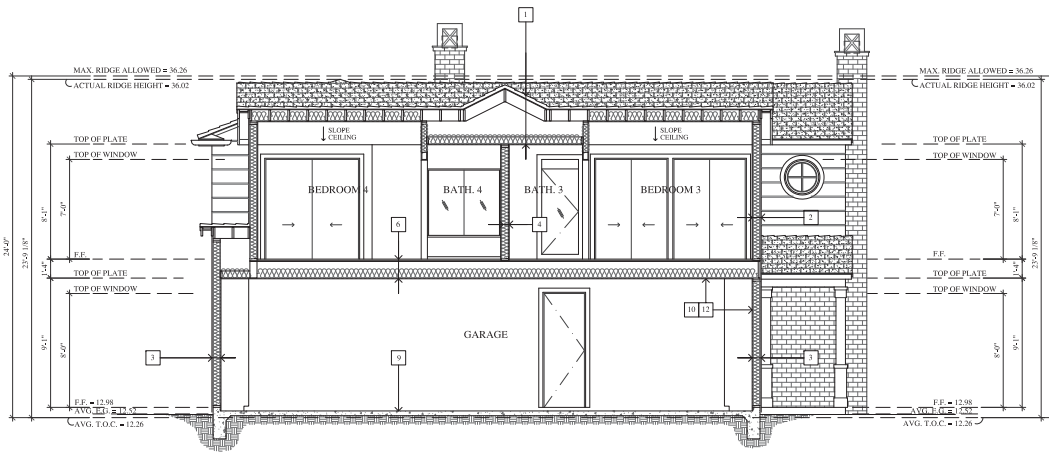


PROPOSED NEW CONSTRUCTION FOR:
Moore Residence
 732 Via Lido Nord
 Newport Beach, CA 92663

SECTIONS

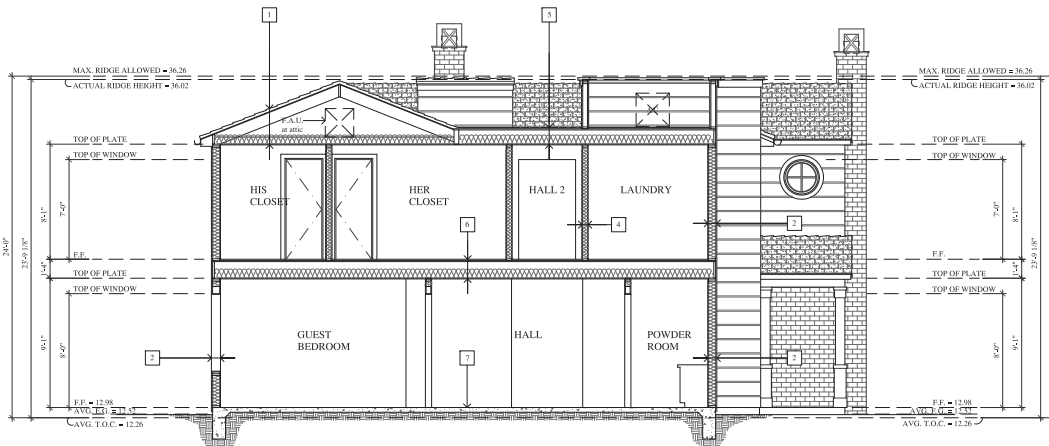
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A-9



SECTION E

SCALE: 1/4" = 1'-0"



SECTION F

SCALE: 1/4" = 1'-0"

SECTION NOTES

1. TYPICAL CLASS "A" SLOPED ROOF ASSEMBLY:
 - A. Class "A" Concrete Shingles Cedar-elm, see Roof plan
 - B. Roofing underlayment - per manufacturer's recommendations
 - C. Plywood roof sheathing - per structural plans
 - D. California fill framing (where occurs)
 - E. Roof rafters - per structural plans
 - F. Ceiling joists - per structural plans (where occurs)
 - G. Insulation to be R-30
 - H. 2x Soffit framing (where occurs)
 - I. 5/8" gypsum board at ceiling
 - K. Finish ceiling - refer to reflected ceiling plan.
2. TYPICAL EXTERIOR WALL ASSEMBLY (AT HOUSE):
 - A. Channel siding, cedar shingles or board-and-batten siding - refer to elevations
 - B. Building paper
 - C. Plywood sheathing or shear panel per structural plans
 - D. 2x6 exterior wall framing (unless noted otherwise)
 - E. Insulation to be R-21
 - F. 5/8" gypsum wallboard
 - G. Interior finish per interior elevations
3. TYPICAL EXTERIOR WALL ASSEMBLY (AT GARAGE):
 - A. Channel siding, cedar shingles or board-and-batten siding - refer to elevations
 - B. Building paper
 - C. Plywood sheathing or shear panel per structural plans
 - D. 2x6 exterior wall framing (unless noted otherwise)
 - E. 5/8" type "N" gypsum wallboard
 - G. Interior finish per interior elevations
4. TYPICAL INTERIOR WALL ASSEMBLY:
 - A. Wall finish per interior elevations
 - B. 5/8" gypsum wallboard
 - C. Plywood sheathing or shear panel - per structural plans (where occurs)
 - D. 2x wall framing - refer to floor plans
 - E. Fiberglass batt sound insulation to be R-19
 - F. 5/8" gypsum wallboard at walls and ceiling
 - G. Wall finish per interior elevations
5. DECK / BALCONY ASSEMBLY:
 - A. Sawn joists, 1x12, 13" thick, set in mortar bed
 - B. Waterproof membrane
 - C. 1 1/8" T&G exterior plywood sheathing
 - D. Deck joists, ripped to slope 1/4" per 1'-0" - per structural plans
 - E. Insulation to be R-30
 - F. 5/8" gypsum wallboard
 - G. Finish ceiling - refer to reflected ceiling plan
6. SECOND & THIRD FLOOR / CEILING ASSEMBLY
 - A. 3/4" hardwood over 3/4" plywood or stone over mortar or 3/4" gypsum
 - B. 1 1/8" T&G plywood sheathing glued and screw nailed to floor joists
 - C. 1/4" Floor joists - per structural engineer
 - D. Fiberglass batt sound insulation to be R-21
 - E. Ceiling joists - per structural plans or soffit framing (where occurs)
 - F. 5/8" gypsum wallboard
 - G. Finish ceiling - refer to reflected ceiling plan
7. FIRST FLOOR ASSEMBLY
 - A. 3/4" hardwood over 3/4" plywood or stone over mortar or 3/4" gypsum
 - B. Reinforced concrete slab on grade per structural engineer
 - C. Vapor barrier per soils report
 - D. Sand per soils report
8. FLOOR ASSEMBLY AT EXTERIOR PORCH
 - A. Stone pavers over mortar bed
 - B. Waterproof membrane
 - C. Concrete punch slab per structural plans, sloped to drain
 - D. Vapor barrier per soils report
 - E. Sand per soils report
9. GARAGE SLAB ON GRADE:
 - A. Reinforced concrete slab on grade per structural plans - slope to drain
 - B. Vapor barrier per soils report
 - C. Sand per soils report
10. GARAGE INTERIOR WALLS AND CEILING
 - A. 5/8" type "N" gypsum wallboard
11. STAIR ASSEMBLY:
 - A. Continuous handrail securely fastened to wall @ 36" above tread nosing
 - B. Finish material, per finish schedule
 - C. 1 1/8" plywood treads - glued and screwed to stringers
 - D. 1 1/8" plywood risers
 - E. Minimum (3) 2 x 14 stringers @ straight run - refer to structural plans
 - F. 2 x 6 joist at 16" o.c. min. w/ landing - per structural plans
 - G. Positive connection to floor per structural plans
 - H. 5/8" type "N" gypsum board @ walls and ceiling of all accessible space under stairs
12. 1-hour rated wall or floor-ceiling assembly, see details.
13. LOW-SLOPED ROOFING
 - A. Concrete Roof Tile (see note #1)
 - B. Roof Underlayment - per manufacturer's instructions
 - C. Plywood roof sheathing - per structural plans
 - D. Roof rafters - per structural plans
 - E. 5/8" gypsum board at ceiling
 - F. Finish ceiling - refer to reflected ceiling plan.
14. SLOPED ROOF ASSEMBLY AT VOLUME CEILING:
 - A. Concrete Roof Tile (see note #1)
 - B. Roofing underlayment - per manufacturer's recommendations
 - C. Plywood roof sheathing - per structural plans
 - D. California fill framing (where occurs)
 - E. Roof rafters - per structural plans
 - F. Spray foam insulation (air-impermeable, min. R-30, per R306.5.5.1.1) or Rigid Insulation Board (air-impermeable, min. R-4) applied to underside of roof sheathing and R-25 air-impermeable insulation under air-impermeable insulation per R306.5.5.1.1
 - G. 2x Soffit framing (where occurs)
 - H. 5/8" gypsum board at ceiling
 - I. Finish ceiling - refer to reflected ceiling plan.

REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
 2732 East Coast Hwy, Ste. B
 Corona del Mar, CA 92625
 Phone/Fax: (949) 714-3528



PROPOSED NEW CONSTRUCTION FOR:
Moore Residence
 732 Via Lido Nord
 Newport Beach, CA 92663

SECTIONS

DRAWN
CHECKED
C.C.
DATE
11/06/2019
SCALE
AS NOTED
JOB NO.
SHEET

A-11

STRUCTURAL GENERAL NOTES

GENERAL REQUIREMENTS

- [illegible]

FOUNDATIONS

- [illegible]

GRADING NOTES

- THE ANTICIPATED TOTAL VOLUME OF CUT AND FILL FOR SEAWALL CONSTRUCTION SHALL BE 100,000 CUBIC YARDS. THE TOTAL VOLUME OF EROSION CONTROL PERMITS IS REQUIRED - SEE ITEM 2 BELOW.
3. THE PROJECT DESIGNER SHALL SUBMIT A LETTER OF REQUEST FOR ADDRESS ON THE PLANS - SEE A & ARCHITECTURAL PLANS FOR THE FINISH GRADES AND ELEVATIONS.
- 3.1 A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE PROJECT DESIGNER, DESIGN ENGINEER, SOLIS ENGINEERING, CITY GRADING ENGINEER OR CITY REPRESENTATIVE, REQUIRED FIELD INSPECTOR, AND THE OUTLINED AT THE MEETING.
- 3.2 THE MEETING SHALL BE ATTENDED BY THE PROJECT DESIGNER, DESIGNER OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, CITY GRADING ENGINEER, REQUIRED FIELD INSPECTOR, CITY GRADING ENGINEER, THEIR REPRESENTATIVES, REQUIRED FIELD INSPECTOR, AND THE OUTLINED AT THE MEETING.
- 3.3 THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT & APPROVE ALL AREAS OF EROSION CONTROL MEASURES AND ANY FILL.
- 3.4 ALL FILL SHALL BE SUBMITTED TO AND APPROVED BY THE GEOTECHNICAL ENGINEER. A MINIMUM OF 10% REQUIRED RESPECTIVE COMPACTION AS WELL AS STABILIZATION.
- 3.5 ALL EXCAVATIONS FOR GRADING SHALL BE INSPECTED & APPROVED BY THE PROJECT DESIGNER, DESIGNER OF GRADING, CITY GRADING ENGINEER, AND THE OUTLINED AT THE MEETING.
- 3.6 TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- 3.7 EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- 3.8 BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE TO PREVENT EROSION OF THE EXISTING GRADING. THE PROBABILITY OF RAIN EXCEEDS 30 PERCENT, THROUGH THE REMAINDER OF THE YEAR, THEY SHALL BE MAINTAINED. THE PROBABILITY OF RAIN EXCEEDS 30 PERCENT, THROUGH THE REMAINDER OF THE YEAR, THEY SHALL BE MAINTAINED. THE PROBABILITY OF RAIN EXCEEDS 30 PERCENT, THROUGH THE REMAINDER OF THE YEAR, THEY SHALL BE MAINTAINED.
- 3.9 LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND MAINTAINED FOR THE DURATION OF THE PROJECT. THE PROJECT DESIGNER SHALL MAINTAIN THE PROJECT FOR THE DURATION OF THE PROJECT. THE PROJECT DESIGNER SHALL MAINTAIN THE PROJECT FOR THE DURATION OF THE PROJECT.
- 3.10 THE PROJECT DESIGNER SHALL MAINTAIN THE PROJECT FOR THE DURATION OF THE PROJECT. THE PROJECT DESIGNER SHALL MAINTAIN THE PROJECT FOR THE DURATION OF THE PROJECT. THE PROJECT DESIGNER SHALL MAINTAIN THE PROJECT FOR THE DURATION OF THE PROJECT.

BACKFILLING & COMPACTION NOTES

- ALL BACKFILL SHALL CONFORM TO THE SOILS ENGINEER'S REPORT AND RECOMMENDATIONS.
1. ALL BACKFILL AND ANY OTHER BACKFILL MUST BE MECHANICALLY COMPACTED. SETTLING AND FLOODING SHALL BE PREVENTED.
2. UNDESIRABLE MATERIALS SUCH AS ROCKS, LIMESTONE OR OTHER APPROVED METHODS OF LATENT SLOPE STABILITY REMEDIES ARE ALL IN THE BACKFILL. SUCH MATERIALS SHALL BE REMOVED OR SHALL BE COVERED BY A MINIMUM OF 6" OF CLEAN FILL. SUCH MATERIALS SHALL BE COVERED BY A MINIMUM OF 6" OF CLEAN FILL. SUCH MATERIALS SHALL BE COVERED BY A MINIMUM OF 6" OF CLEAN FILL.
3. FILTER CLOTH SHALL BE MADE 1400-SEDS NONWOVEN POLYPROPYLENE GEXTETILE OR EQUIVALENT. IT SHALL BE PLACED AT THE INTERFACE OF THE BACKFILL AND THE EXISTING BULKHEAD. IT SHALL BE PLACED ON THE INSIDE FACE OF THE BULKHEAD EXTENDING EQUALLY FROM THE TOP AND BOTTOM OF THE BULKHEAD.
4. THE GEOTECHNICAL REPORT MUST BE SUBMITTED TO AND BE APPROVED BY THE DEPARTMENT BEFORE FOUNDATION INSTALLATION.
5. THE DESIGN OF, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT GEOTECHNICAL ENGINEER IS SUBMITTED FOR FOUNDATION INSTALLATION.
6. COMPACT SOIL TO THE REQUIRED RELATIVE DENSITIES PER ASTM 159-91. DO NOT USE A COMPACTOR ON SOFT OR WET SOIL.
7. ON SITE BENCH GRADING & C/P AVING MAY BE USED AS FILL PROVIDED IT DOES NOT EXCEED THE MAXIMUM ALLOWED ELEVATION. EXCEEDING ELEVATION $+7.0$ IS APPROVED BY THE GEOTECHNICAL ENGINEER.

STEEL

1. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO A.S.T.M. A572 GRADE 50.
 2. STEEL PIPE COLUMNS AND OTHER STEEL PIPE STRUCTURAL MEMBERS SHALL CONFORM TO A.S.T.M. A53 TYPE B SCH 40.
 3. STRUCTURAL STEEL TUBING SHALL CONFORM TO A.S.T.M. A500, GRADE B, Fy = 46 KSI.
- BOLTS SHALL CONFORM TO A.S.T.M. A307, UNLESS NOTED OTHERWISE; WHERE NOT SPECIFIED, ALL BOLTS SHALL BE HEAVY HEXAGONAL HEAD, 1/2" DIA. AND CONFORM TO A.S.T.M. A325 OR SS CLASS AN UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE GALVANNEAL COATED OR GALVANIZED OR INSPECTED BY A REGISTERED DYE PECT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.
- ALL BOLTS HOLDS IN STEEL MEMBERS SHALL BE STANDARD HOLS, U.N.F., 1/2" DIA. WITH NUTS OF SAME SIZE. ALL BOLTS SHALL BE GALVANNEAL COATED OR GALVANIZED OR INSPECTED BY A REGISTERED DYE PECT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.
- C107 AND C1090 GOLD DRAMIN STEEL CONFORMING TO A.S.T.M. A108-58 SHALL BE USED FOR ALL STEEL MEMBERS EXCEPT BOLTS.
- FOLLOWING:
- FOR 1/8 GA. THICK AND LIGHTER STEEL: A446, GRADE C (GALVANIZED) OR A572 GRADE 50, 3K OR A611, GRADE C - ALL HAVING MINIMUM OF 33 KS BENDING STRENGTH.
- FOR 1/8 GA. THICK AND HEAVIER STEEL: A446, GRADE D (GALVANIZED) OR A572 GRADE 50, 3K OR A611, GRADE D - ALL HAVING MINIMUM OF 33 KS BENDING STRENGTH.
- FAIRFAX COUNTY INSPECTION SHALL CONFORM TO THE 14TH EDITION OF A.I.C.S. SPECIFICATIONS.
- WHERE BOLTS ARE IN STRUCTURAL STEEL, BOLTS SHALL BE DRILLED OR PUNCHED. TURNING OF BOLTS SHALL NOT BE PERMITTED.
- STEEL MEMBERS SHALL BE GALVANNEAL COATED OR GALVANIZED OR EPLOY COATED.

REINFORCING STEEL

1. FOR STRUCTURES EXPOSED TO SATURATED WATER OR IMMERSION, REPAIRS SHALL BE MADE TO THE EXPOSED SURFACES OF ALL PRECAST CONCRETE PANELS AND SHALL BE EPOXY COATED PER ASTM A 834, AFTER REMOVAL OF ALL EXISTING COATINGS AND REPAIRS TO THE SURFACES SHALL BE MADE TO THE EPOXY COATING CONFORMING TO ASTM A 834, WITH ALL VISIBLE DEFECTS AND CUT ENDS. REPAIRS SHALL BE MADE USING EPOXY COATING SYSTEMS WITH EPOXY COATED STEEL, OR A 316 STAINLESS STEEL, SHALL BE EITHER EPOXY COATED OR GALVANIZED.
2. REPAIRS TO CRACKS SHALL BE MADE TO ALL CRACKS WITH A MINIMUM LAP OF 6 INCHES AND 60 BAR DIAMETERS OF MASONRY WITH 24 NO. MINIMUM LAP IN EACH CASE, UNLESS NOTED OTHERWISE, ON PANELS. ALL SPLICES WHEN DETAIL NOTED SHALL BE MADE TO THE REPAIRS.
3. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND SECURED IN POSITION WITH SADDLES OR CHAIRS TO MAINTAIN THE COVER TO THE REINFORCING STEEL. ANY CONCRETE.
4. ADDITIONAL REINFORCING REQUIRED FOR ERECTION OF PRECAST CONCRETE PANELS SHALL BE ADDED PER THE CONTRACTOR'S DESIGN.
5. ADDITIONAL REINFORCING SHALL BE PROVIDED AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - A. REINFORCING GRADE OR IN CONTACT WITH SOIL: WHEN CAST AGAINST EARTH 3", WHEN FORMED 2".
 - B. WALLS: MINOR GRADE EXTERIOR FACE 1", INTERIOR FACE 1".
 - C. PRECAST CONCRETE ELEMENTS: AS DETAILLED.
 - D. CONCRETE SLAB ON GRADE: REINFORCING STEEL AT CENTER OF SLAB, UNLESS NOTED OTHERWISE.
6. REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH CBC SECTION 1907.1, REINFORCING STEEL, AND SHALL BE UNLESS OTHERWISE NOTED.
7. ALL REINFORCING BARS SHALL BE FREE OF RUST, GRAUSE, OR OTHER MATERIAL LIKELY TO IMPAIR BONDING.
8. REINFORCING BARS SHALL BE COLD BENDS.

WELDING

1. ALL WELDING SHALL BE DONE USING THE SHIELDED ELECTRIC ARC PROCESS BY CERTIFIED WELDERS, USING E70XX ELECTRODES.
2. WELDING OF STEEL REINFORCING BARS SHALL BE DONE WITH LOW HYDROGEN ELECTRODES, A233, CLASS E70XX SERIES.
3. WELDS REQUIRING CONTINUOUS OR PERIODIC SPECIAL INSPECTION NEED NOT HAVE SPECIAL INSPECTION WHEN WELDING IS DONE IN AN APPROVED FABRICATOR'S SHOP. APPROVED FABRICATOR MUST SUBMIT A CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH THE SECTION 1704.2.2 OF THE CBC.
4. SPECIAL INSPECTION IS REQUIRED FOR ALL FIELD WELDINGS.

CONCRETE

- [illegible]

NAILING AND FASTENERS

- ALL NAILS AND FASTENERS SHALL BE CORROSION RESISTANT MEETING ASTM A153 TYPE 304 STAINLESS STEEL OR BE ACRYLIC ADHESIVE OR THERMAL PLAST RESIN LATEX ADHESIVE COATED.
- ALL NAILS SHALL BE 16G (0.148" DIAMETER) HELICAL THREAD NAILS, WITH MINIMUM 1 1/2" PENETRATION INTO SUBSTRATE.
- NAILING OTHER THAN ROOF OR FLOOR DIAPHRAGM SHOWN ON THE DRAWING IS PROHIBITED.
- NAILS FOR ROOF AND FLOOR SHEATHING SHALL HAVE A MIN OF 1 1/2" PENETRATION INTO SUBSTRATE.
- ALL HARDWARE SHALL BE CORROSION-RESISTANT COMPLYING WITH HDG G18518 AND BE MANUFACTURED BY "SMITHSON STRONG-TEC CO., INC." (OR APPROVED EQUALS). ALL VALVE AND VALVE BODY HARDWARE SHALL BE APPROVED APPROVED PRODUCTS MUST BE APPROVED BY THE BUILDING DEPARTMENT, NOTED ON THE DRAWING.
- ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- WHERE MECHANICAL OR ADHESIVE ANCHORS/FASTENERS ARE INDICATED ON DRAWING:
- A) MECHANICAL ANCHORS SHALL BE STAINLESS STEEL HILTI HIT-ROB K81-2T OR EQUIVALENT.
- B) ADHESIVE ANCHORS SHALL BE HILTI STAINLESS STEEL "HIT-NUY 200 MAX-SO" OR EQUIVALENT. ALL ADHESIVE ANCHORS SHALL BE SET IN ACCORDANCE WITH "SMITHSON STRONG-TEC" SET-UP EPOXY ADHESIVE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- C) HOLES SHALL BE DRILLED WITH NON-REBAR-CUTTING DRILL BITS.
- CONTINUOUS INSPECTION IS REQUIRED FOR THE INSTALLATION OF THE ALL ADHESIVE ANCHORS. THE INSPECTOR SHALL BE NOTIFIED BY THE SUBMITTER APPROVED BY THE BUILDING DEPARTMENT. THE INSPECTOR SHALL VERIFY THE INSTALLATION OF THE ADHESIVE ANCHORS IN ACCORDANCE WITH THE FOLLOWING:
- D) INSPECTION SHALL BE CONDUCTED AT THE FOLLOWING LOCATIONS INCLUDING CLEANSING OF DRILL HOLES AND PROPER EMBEDMENT.
- E) UNLESS NOTED OTHERWISE ON THE DRAWINGS, USE MINIMUM 3/8" DIAMETER AT

ANCHOR RODS

1. ANCHOR RODS/TIE-RODS SHALL CONFORM TO A.S.T.M. A722-95 GR 150 TYPE II THREADED REBAR AS MANUFACTURED BY DYWIDAG-SYSTEMS INTERNATIONAL (DSI) WITH DOUBLE CORROSION PROTECTION.
2. ROD TENSIONING: AFTER BACKFILLING & COMPACTING TO TOP OF ANCHOR BEAM, TENSION RODS TO 1,000#. COMPLETE BACKFILL & COMPACTION TO ROUGH GRADE & TENSION RODS TO 5,000#.

ABBREVIATIONS

- [illegible]

GENERAL SPECIAL INSPECTIONS

1. PERIODIC (NON-CONTINUOUS) OR CONTINUOUS SPECIAL INSPECTION BY A CITY ENGINEER OR ANOTHER QUALIFIED PERSON SHALL BE REQUIRED FOR THE FOLLOWING:
- A. INSPECTION OF THE CONCRETE PANELS SHALL BE REQUIRED FOR THE FOLLOWING:
1. SITE CONCRETE WORK (COPING & ANCHOR BEAM) _____ CONTINUOUS.
2. INSPECT SHEET PILE LENGTH & DAMAGE _____ NON-CONTINUOUS.
3. INSPECTION OF THE CONCRETE PANELS FOR CRACKS _____ CONTINUOUS.
4. ANCHOR ROD TENSIONING _____ CONTINUOUS.
5. INSPECTION OF THE CONCRETE PANELS FOR CORROSION _____ CONTINUOUS.
6. PILING INSTALLATION _____ CONTINUOUS.
7. PILING INSTALLATION IN ACCORDANCE WITH THE FOLLOWING:
- SECTION 2.4.2, OF ICC 89-2794 _____ NON-CONTINUOUS.
- SPECIAL INSPECTION IS REQUIRED FOR SEQUENTIAL PANEL CONCRETE IF NOT CAST IN ONE CONTINUOUS POUR.
2. CONTINUOUS SPECIAL INSPECTIONS IS REQUIRED FOR THE INSTALLATION OF THE FOLLOWING:
- A. MECHANICAL ANCHORS IN ALL CONCRETE AND MASONRY WORK.
- B. SPECIAL INSPECTION IS REQUIRED FOR THE INSTALLATION OF THE SEQUENTIAL DEPIED (SPECIAL) INSPECTIONS, APPROVED BY THE BUILDING DEPARTMENT, ONLY.
3. SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING:
- A. SITE VISITS CONDUCTED BY THE ENGINEER ARE MERELY FOR OBSERVATION PURPOSES. THE ENGINEER'S OBSERVATION SHALL NOT BE CONSIDERED AS AN INSPECTION.
2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION REPORT SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
3. THE SPECIAL INSPECTION REPORT SHALL BE SUBMITTED TO THE GROUND SHALL BE AS SHOWN ON ELEVATIONS ON (S-1) AND MUST BE ACCURATELY SCALED TO THE PROPOSED ELEVATIONS. THE MEASUREMENT MUST BE SUBMITTED TO THE CITY & A NEW RECORD OF RECORD.
4. SPECIAL INSPECTION IS REQUIRED FOR ALL THE NEW CONCRETE AND MASONRY CONSTRUCTION.

CONCRETE REPAIR

- AFTER THE REINFORCING OF THE EXISTING SEAWALL IS COMPLETED IN COMPLIANCE WITH THE REQUIREMENTS AS SHOWN ON THIS SET OF DRAWINGS, IT IS RECOMMENDED THAT THE OWNER SHALL HIRE A COMPANY SPECIALIZING IN STRUCTURAL PRESERVATION TO FIX THE CURRENT CRACKS, WHERE OCCUR, AT THE EXISTING CONCRETE WALL.

[illegible]

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE REQUIRED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

[illegible]

VICINITY MAP

SCOPE OF WORK.

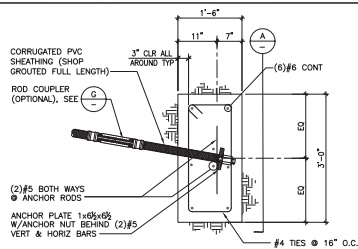
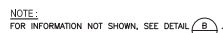
TO REINFORCE THE EXISTING SEAWALL BY UTILIZING NEW DRYWALL
TIE-BACKS & NEW CONCRETE DECKING.

NOTE TO THE BIDDERS.

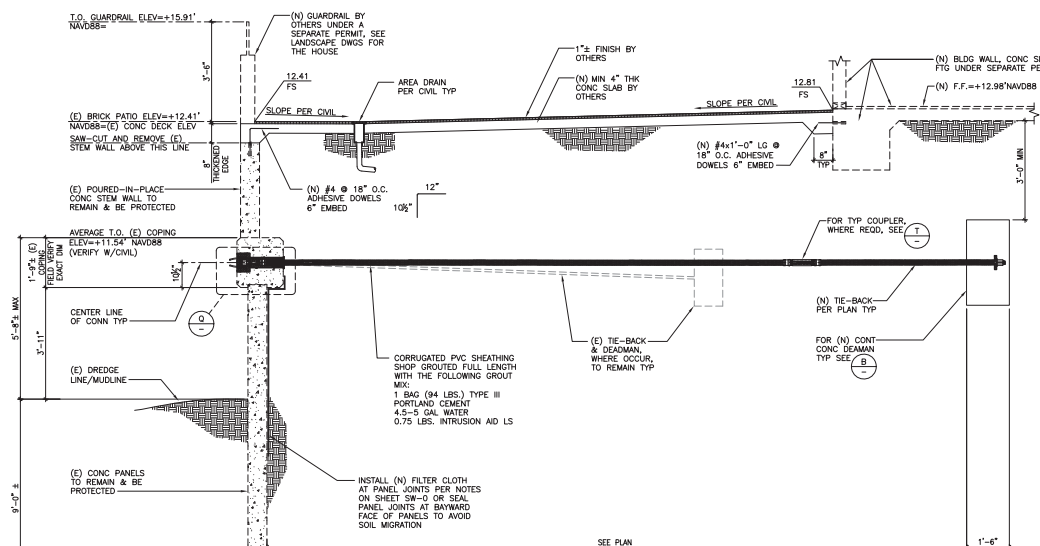
AFTER THOROUGHLY EXAMINING THE CONSTRUCTION DOCUMENTS AND THE SITE:

1. NOTIFY THE ARCHITECT AND/OR THE ENGINEER IN WRITING, REGARDING ALL DISCREPANCIES REGARDING THE INFORMATION, PRIOR TO THE "BID SUBMITTAL."
2. IF THE ARCHITECT AND/OR THE ENGINEER IS NOT NOTIFIED, AS REQUIRED PER ITEM #1 ABOVE, IT SHALL MEAN THAT THE CONTRACTOR HAS CONSIDERED ADEQUATE CONTRACT DOCUMENTS TO COVER ALL COSTS TO COMPLY WITH THE MOST STRINGENT CONDITIONS.
3. THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY DISCREPANCY DISCOVERED AFTER THE "CLOSE OF THE BID."

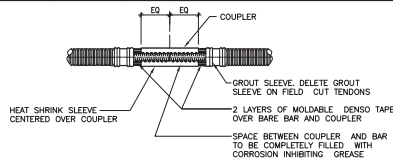
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NOTE:
FOR INFORMATION NOT SHOWN, SEE DETAILS  & 



NOTE:
IN CASE OF PROPOSED BUILDING FOOTINGS INTERFERE WITH THE TIE-BACKS, DEEPEN FOOTINGS PER STRUCTURAL ENGINEER OF THE BUILDING REQUIREMENTS AND PROVIDE SCHEDULE 40 PVC SLEEVES FOR MINIMUM 2" CLEAR DISTANCE AROUND TIE-BACKS.

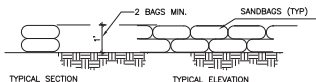


COUPLER INSTALLATION PROCEDURE

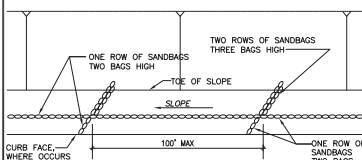
1. APPLY CORROSION INHIBITING GREASE TO THE BARE ENDS OF THE BARS AND THE INSIDE OF THE COUPLER.
2. CONNECT THE TWO BAR ENDS WITH THE COUPLER. EACH END SHALL BE SCREWED INTO THE COUPLER HALF THE LENGTH OF THE COUPLER.
3. TORQUE BAR ENDS TOGETHER (200 FT. LBS).
4. ADD ANOTHER COAT OF GREASE TO BARE BAR AND COUPLER AND WRAP WITH TWO LAYERS OF DENSO TAPE.
5. CENTER HEAT SHRINK SLEEVE OVER COUPLER AND APPLY HEAT UNTIL SLEEVE IS FULLY RECOVERED.

PREPARATION FOR FIELD CUT BARS:

- PREPARATION FOR FIELD CUT BARS:**
1. CUT CORROSION PROTECTION AND THREAD BAR WITH AN ABRASIVE SAW (DO NOT USE A TORCH).
 2. CAREFULLY REMOVE 6" ($\pm \frac{1}{4}$ ") CORRUGATED AND CEMENT GROUT FROM THE END OF THE NEW CUT.

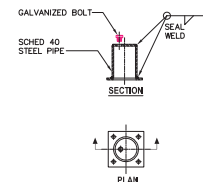


SANDBAG VELOCITY REDUCER DETAIL



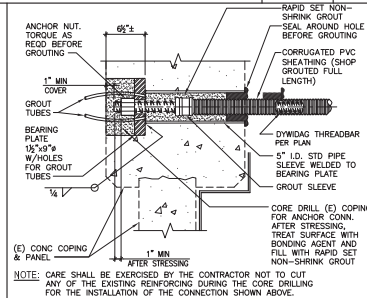
TOE OF SLOPE PROTECTION DETAIL

NOTE:
THIS DETAIL SHALL APPLY AT THE ENTIRE PERIMETER OF ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 6 UNDER "EROSION CONTROL NOTES" ON SHEET S-0.

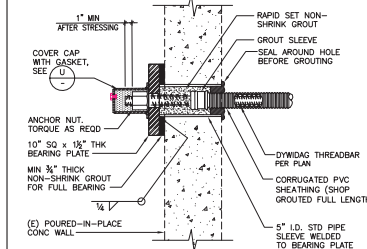



NOTES:

1. ALL VOIDS WITHIN THE STEEL CAP SHALL BE FILLED WITH CORROSION INHIBITOR GREASE OR CEMENT GROUT.
2. CORROSION INHIBITOR GREASE SHALL CONFORM TO THE LATEST PTI MANUAL RECOMMENDATIONS, AND SHALL BE WATERPROOF, NON-CORROSIVE, AND NON-HARDENING SEALING COMPOUND.



ANY OF THE EXISTING REINFORCING DURING THE CORE DRILLING FOR THE INSTALLATION OF THE CONNECTION SHOWN ABOVE.



CONC WALL → 

NOTE:
EPOXY COAT FACE OF ANY REBAR CUT BY CORE DRILL

LINE DATA		
LINE	BEARING	DISTANCE
L1	N81°00'00"W	52.50'

732 VIA LIDO NORD
NEWPORT BEACH, CA 92663
(APN: 423-261-07)

TITLE REPORT PROVIDED BY WFG NATIONAL TITLE COMPANY,
ORDER NO.: 19-254896, DATED AS OF JANUARY 31, 2019.

ITEM 9: 4 FOOT EASEMENT FOR PUBLIC UTILITY PURPOSES, DEDICATED TO THE CITY OF NEWPORT BEACH, PER TRACT NO. 907, M.M. 28/25-36. EASEMENT AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.

REAL PROPERTY IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

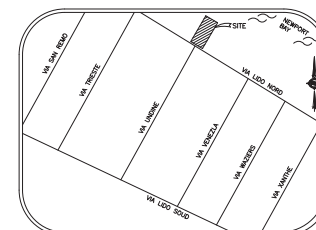
LOT 44 AND THE SOUTHEASTERLY ONE-HALF OF LOT 45 OF TRACT 907, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 25 TO 26, OF THE PUBLIC RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE
OF VIA LIDO NORD HAVING A BEARING OF N61°00'00"W PER TRACT NO. 907,
M.M. 28/25-36

BENCHMARK NO: NB3-21-92

DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK
STAMPED "7863-21-92". SET IN THE NORTHWEST CORNER OF A 4 FT. BY 10 FT.
CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHWEST
CORNER OF THE INTERSECTION OF VIA LIDO NORO AND VIA KORON. 40 FT.
WESTERLY OF THE CENTERLINE OF VIA KORON AND 20 FT. SOUTHERLY OF THE
CENTERLINE OF VIA LIDO NORO. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 11.912 FEET (NAVD88). YEAR LEVELLED 2015

[illegible]

APEX LAND SURVEYING, INC.
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 488-5006 FAX: (714) 432-4440
APEXLSINC@GMAIL.COM

SHEET NO.	1	OF	1
SHEET TITLE	TOPOGRAPHIC MAP		
PROJECT	732 VIA LIDO NORD NEWPORT BEACH, CA 92663 APN: 423-261-07		
DATE	2/13/2019		
SCALE	1" = 5'		
DRAWN	J. A. H		
CHECKED			



PAUL D. CRAFT, S. 8516
LICENSE RENEWAL DATE: 12/31/20 _____ DATE _____

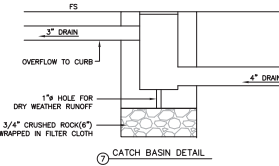
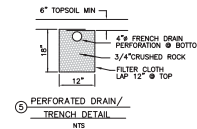
NOTE: SECTION 8770.8 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE THIRD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

CONSTRUCTION NOTES:

1. CONSTRUCT 6" MIN CONCRETE DRIVEWAY APPROACH PER STD-163-L.
2. CONSTRUCT 4" MIN CONCRETE DRIVEWAY, FINISH PER LANDSCAPE PLANS.
3. INSTALL 4" FLAT GRATE DRAIN
4. INSTALL 4" ATRIUM GRATE DRAIN
5. INSTALL PERFORATED DRAIN TRENCH PER DETAIL, SHEET C2
6. INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
7. INSTALL CATCH BASIN PER DETAIL, SHEET C2
8. CONSTRUCT 6" CONCRETE CURB
9. CONSTRUCT 3" CURE DRAIN THRU CURB PER CNB STD PLAN 184-L

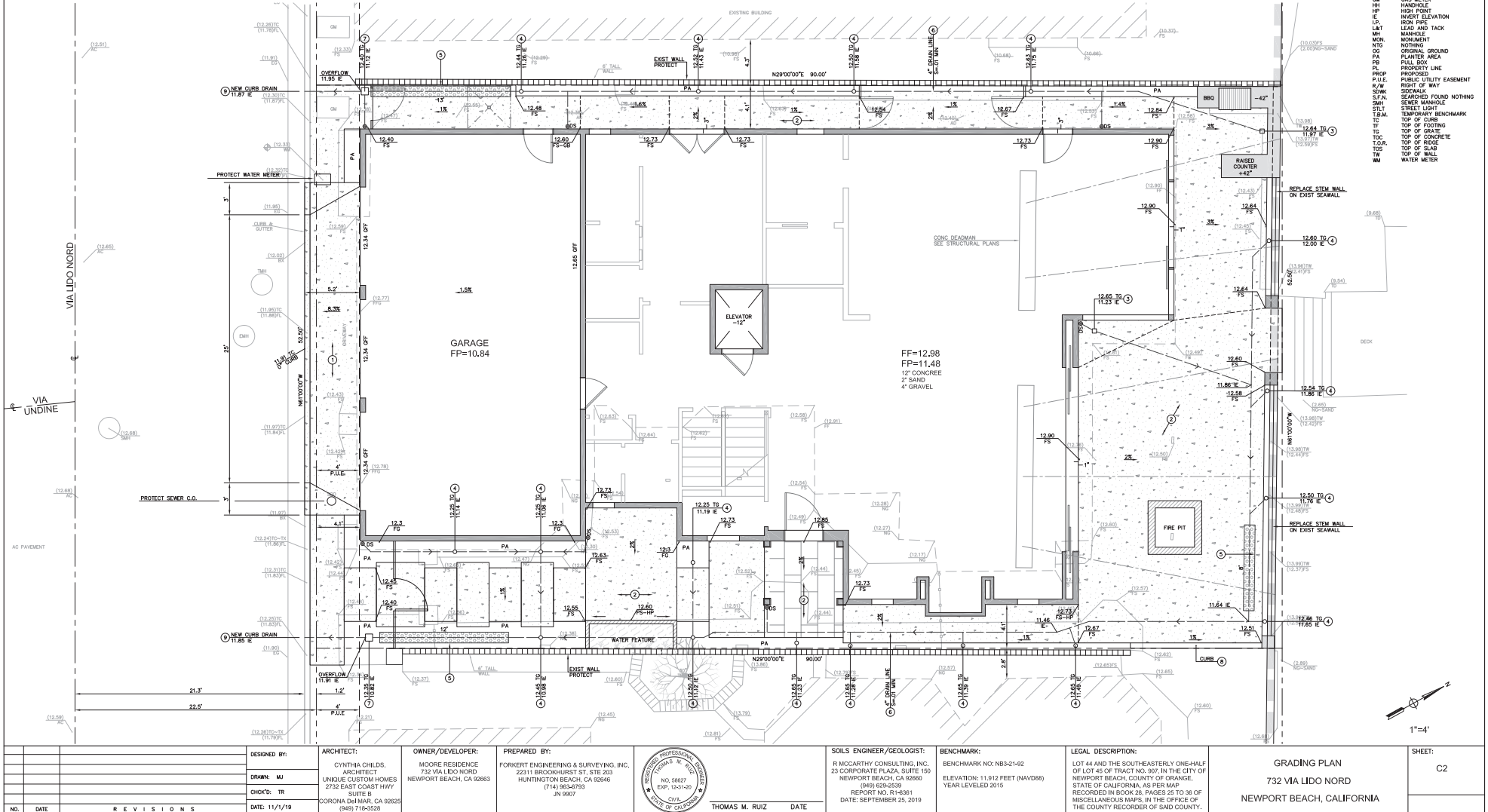
EARTHWORK

RAW CUT: 60 CY
RAW FILL: 12 CY



ABBREVIATIONS

ARCH	ARCHITECTURAL
A/C	ASPHALT CONCRETE
BFP	BASEMENT FINISH FLOOR
B.S.P.	BASEMENT FINISH FLOOR BY SEPARATE PERMIT
C.O.	CLEAN CUT
CONC	CONCRETE
DO	DECOMPOSED GRANITE
DS	DOWNSPOUT
DR	DRIVEWAY
DM	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLUMING
FP	FINISH PAD
FS	FINISH SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GFP	GARAGE FINISH PAD
GM	GAS METER
HH	HANDHOLE
HP	HIGH POINT
I	INVERT ELEVATION
L&T	LEAD AND TACK
MAN	MANHOLE
MON	MONUMENT
NOT	NOTHING
OG	ORIGINAL GROUND
PA	PLANTER AREA
PL	PULL BOX
PL	PROPERTY LINE
PROP	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
SEW	SEWER
SEW	SEWER FOUND NOTHING
SEW	SEWER MANHOLE
SL	SEWER LIGHT
T.B.M.	TEMPORARY BENCHMARK
TO	TOP OF CURB
TF	TOP OF FOOTING
TO	TOP OF GRADE
TOC	TOP OF CONCRETE
T.O.R.	TOP OF RISE
TOS	TOP OF SLAB
TW	TOP OF WALL
WM	WATER METER



EROSION CONTROL

1. IN CASE OF EMERGENCY, CALL GARY MOORE.
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN BEGINS.
3. EROSION CONTROL DEVICES SHOWN ON THE PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABLED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESIGTLING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE THE BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION. AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL. COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST.
16. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOIL, OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
20. ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

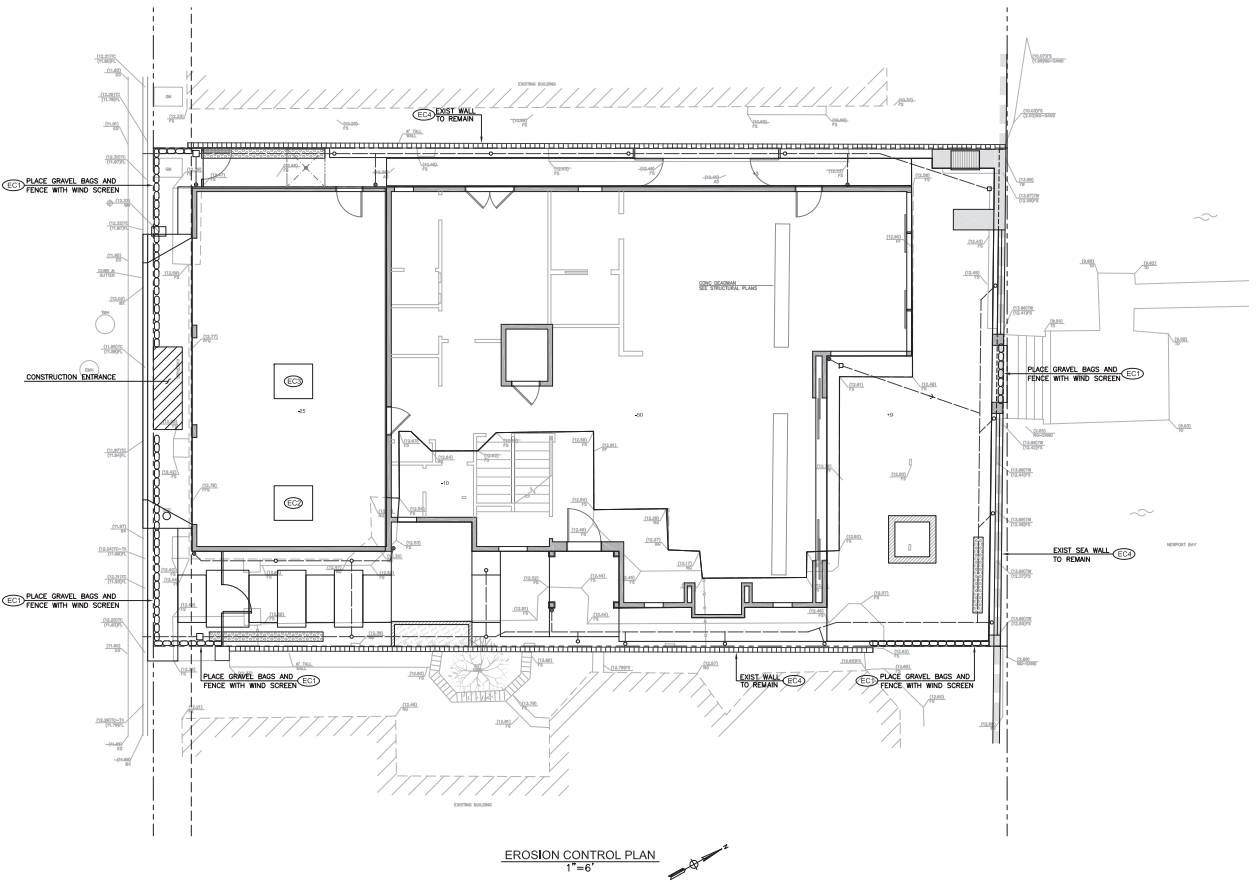
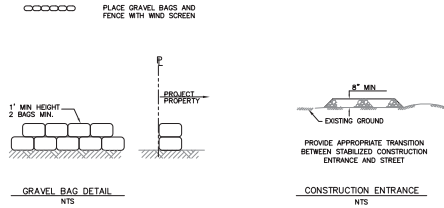
BMP FACTS SHEET

- WM-1 MATERIAL DELIVERY AND STORAGE.**
PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAMINATION AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.
- WM-2 MATERIAL USE.**
HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
- WM-4 SPILL PREVENTION AND CONTROL.**
IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
- WM-5 SOLID WASTE MANAGEMENT.**
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAMINATION. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.
- WM-6 HAZARDOUS WASTE MANAGEMENT.**
HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
- WM-7 CONTAMINATED SOIL MANAGEMENT.**
PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.
- WM-8 CONCRETE WASTE MANAGEMENT.**
STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAMINANT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT.**
UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE.**
A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.
- SE-1 SILT FENCE.**
- SE-3 SEDIMENT TRAP.**
- SE-8 GRAVEL BAGS.**
ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMPs ARE DEEMED SUFFICIENT.

BMP FACTS SHEET

- ALL BMPs SHALL BE IN ACCORDANCE WITH MODEL BMPs FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM
- EC-1** CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #56-8.
- EC-2** CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-9.
- EC-3** CONSTRUCT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-4.
- EC-4** EXISTING WALL TO REMAIN. PROTECT IN PLACE.

EROSION CONTROL LEGEND



EROSION CONTROL PLAN
1"=6'

		DESIGNED BY:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:	SOILS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:	CONSTRUCTION POLLUTION CONTROL PLAN	SHEET:
		DRAWN: MJ	CYNTHIA CHILDS, ARCHITECT	MOORE RESIDENCE 732 VIA LIDO NORD NEWPORT BEACH, CA 92663	FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-6753 JN 9907	R MCCARTHY CONSULTING, INC. 23 CORPORATE PLAZA, SUITE 150 NEWPORT BEACH, CA 92660 (949) 624-2538 REPORT NO. R1-4361 DATE: SEPTEMBER 28, 2019	BENCHMARK NO: NB3-21-42 ELEVATION: 11,312 FEET (NAVD88) YEAR LEVELED 2015	LOT 44 AND THE SOUTHEASTERLY ONE-HALF OF LOT 45 OF TRACT NO. 307, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 25 TO 36 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	EROSION CONTROL PLAN 732 VIA LIDO NORD NEWPORT BEACH, CALIFORNIA	C4
NO.	DATE	REVISIONS			DATE: 11/1/19	THOMAS M. RUIZ	DATE			