



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

November 14, 2019  
Agenda Item No. 5

**SUBJECT:** Pickup Residence (PA2019-051)  
• Coastal Development Permit No. CD2019-011  
**SITE LOCATION:** 23 Harbor Island  
**APPLICANT:** Ritner Group, Inc.  
**OWNER:** Mr. and Mrs. Todd Pickup  
**PLANNER:** Chelsea Crager, Associate Planner  
949-644-3227, ccrager@newportbeachca.gov

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### **LAND USE AND ZONING**

- **General Plan:** RS-D (Single-Unit Residential Detached)
- **Zoning District :** R-1 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-A (Single Unit Residential Detached) (0.0-5.9 DU/AC)
- **Coastal Zoning District:** R-1 (Single-Unit Residential)

### **PROJECT SUMMARY**

A coastal development permit (CDP) permit to demolish an existing single-family residence and construct a new two-story, 6,357-square-foot, single-family residence with an 815-square-foot garage. The project includes hardscape, drainage, and landscaping improvements. The project also includes accessory structures and a reinforced bulkhead with cap for coastal hazards protection located in the Harbor Island Tidelands. The proposed residence complies with all applicable development standards including height, setbacks, and floor area limits. No deviations are requested.

The project includes improvements within the Harbor Island Tidelands, including accessory structures and the reinforcement and capping of the existing bulkhead, which are within the California Coastal Commission's coastal permit jurisdiction boundary and therefore require their review. This Coastal Development Permit is intended to cover portions of the project within the City's permit authority as designated in the Local Coastal Program (Title 21 of the Newport Beach Municipal Code).

## **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit No. CD2019-011 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property currently consists of a legal lot developed with a single-family residence. The neighborhood is predominantly developed with two-story single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front (island interior)	15 feet	26 feet
Front (water)	15 feet	15 feet
Sides	4 feet	4 feet
<b>Allowable Floor Area (max.)</b>	10,416 square feet	6,357 square feet
<b>Allowable 3<sup>rd</sup> Floor Area (max.)</b>	781 square feet	0 square feet
<b>Open Space (min.)</b>	781 square feet	1,744 square feet
<b>Parking (min.)</b>	3-car garage	3-car garage
<b>Height (max.)</b>	24-foot flat roof 29-foot sloped roof	29-foot sloped roof

### *Hazards*

- The property fronts the Newport Bay and is a private waterfront parcel. The project site is protected by an existing seawall with the top of the bulkhead at elevation 8.55 feet North American Vertical Datum of 1988 (NAVD 88). The existing bulkhead does not have noticeable signs of distress, however based on the bulkhead condition report, it is required to be repaired and raised. The site is also vulnerable to flooding from the adjacent street ends and other low-lying properties that will need to be protected in the future. The project includes a proposal to reinforce the existing wall and add a cap that will bring the height to 10.6 feet (NAVD 88). This portion of the project is located within the California Coastal Commission's permit jurisdiction and therefore required their review. No development is proposed bayward of the existing seawall.
- A Coastal Hazards Report and Sea Level Rise Analysis was prepared by William Simpson and Associates, Inc. dated April 17, 2019, for the project. The current maximum bay water elevation is 7.7 feet (NAVD 88). According to the report, the estimated sea level rise at the site appears to be between 1.3 and 5.4 feet over the next 75 years utilizing different probabilistic scenarios, accounting for bay water levels rising in the range of 9 feet to 13.1 feet NAVD 88. The Newport Beach City Council approved the use of the high estimate of the "low risk aversion" scenario, which is 3.2 feet by the year 2100, or 2.9 feet by 2094. Therefore, the sea level is estimated to likely reach approximately 10.6 feet NAVD 88 over the next 75 years (i.e. the life of the structure). Once the existing seawall/bulkhead is raised per the report's recommendations, flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. The report also identifies that there is a 0.5 percent chance (medium-high risk aversion scenario) that sea level rise (SLR) would be greater than 2.9 feet around the year 2070 and could as high as 13.1 feet NAVD 88 by the year 2100. If future SLR is greater than the likely estimate of the "low risk aversion" scenario by 2094 (10.6 feet NAVD 88), then the bulkhead can be raised without further bayward encroachment.
- The finished floor elevation of the proposed single-family residence is 13.2 feet (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard. The Coastal Hazard Report concludes that the bay water elevation (currently 7.7 feet NAVD 88) will not exceed the proposed finished floor of the single-family residence at elevation 13.2 feet (NAVD 88) for the anticipated 75-year life of the structure.
- Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g.,

waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.

- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

#### *Water Quality*

- The property fronts the Newport Bay. Pursuant to NBMC [Section 21.35.030 \(Construction Pollution Prevention Plan\)](#), a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. A CPPP has been prepared and included in the plan sets for review and approval prior to the issuance of construction permits. Construction plans and activities will be required to adhere to the approved CPPP.
- Pursuant to NBMC [Section 21.35.050 \(Water Quality and Hydrology Plan\)](#), because of the site's proximity to the water and because the development contains more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP/WQMP) was prepared by Toal Engineering, Inc., dated February 7, 2019. The final WQHP/WQMP will be required to be reviewed and approved by the City's Engineer Geologist prior to building permit issuance. The WQHP/WQMP includes a polluted runoff and hydrologic site characterization, treatment control BMPs, use of a low-impact development approach and bioretention system to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be required to comply with the approved WQHP/WQMP prior to the issuance of building permits.
- The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.



### *Public Access and Views*

- The project site is located on a privately gated island between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project replaces an existing single-family residence located on an R-1 lot with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The project site is not located adjacent to a coastal view road, public access way, or coastal viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is located at the end of Harbor Island Drive and is not visible from the site. The proposed single-family residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. The front setback along the harbor is 15 feet and only allows improvements with a maximum height of 42 inches. Additionally, the project does not contain any unique features that could degrade the visual quality of the coastal zone.
- Vertical access to the harbor is available at the Balboa Basin, approximately 2,000 feet east of the property. Vertical and lateral access to the beach and harbor is also available at street ends throughout Balboa Island, approximately 1,300 feet southeast of the property. The project does not include any features that would obstruct access along these routes.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 6,357-square-foot single-family residence.

**PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

**APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

  
Chelsea Crager  
Associate Planner  
GBR/cc

Attachments:      ZA 1      Draft Resolution  
                         ZA 2      Vicinity Map  
                         ZA 3      Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2019-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-011 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW TWO-STORY, SINGLE-FAMILY RESIDENCE INCLUDING AN ATTACHED GARAGE LOCATED AT 23 HARBOR ISLAND (PA2019-051)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Ritner Group, Inc., with respect to property located at 23 Harbor Island, requesting approval of a coastal development permit.
2. The lot at 23 Harbor Island is legally described as Lot 23 of Tract 802.
3. The applicant requests a coastal development permit to demolish an existing single-family residence and construct a new two-story, 6,357-square-foot, single-family residence with an 815-square-foot garage. The project includes hardscape, drainage, landscaping improvements, and accessory structures. The project also includes accessory structures and a reinforced bulkhead with cap for coastal hazards protection located in the Harbor Island Tidelands. The proposed residence complies with all applicable development standards including height, setbacks, and floor area limits. No deviations are requested. The portions of the project within the Harbor Island Tidelands are within the California Coastal Commission's coastal permit jurisdiction boundary and therefore require their review.
4. The project includes improvements with the Harbor Island Tidelands, which are within the California Coastal Commission's permit jurisdiction. This Coastal Development Permit is intended to cover portions of the project within the City's permit authority as designated in the certified Local Coastal Program (LCP) (Title 21 of the Newport Beach Municipal Code).
5. The subject property is designated RS-D (Single-Unit Residential Detached) by the General Plan Land Use Element and is located within the R-1 (Single-Unit Residential) Zoning District.
6. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RSD-A (Single Unit Residential Detached) (0.0-5.9 DU/AC) and it is located within the R-1 (Single-Unit Residential) Coastal Zone District.
7. A public hearing was held on November 14, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal

Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

## SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 6,357-square-foot single-family residence.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

## SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of such findings are set forth:

### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

### Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 10,416 square feet and the proposed floor area is 6,357 square feet.
  - b. The proposed development provides the minimum required setbacks, which are 15 feet along the front property line abutting the interior of Harbor Island, 4 feet along each side property line and 15 feet along the front property line on the waterfront, adjacent to the Harbor Island Tidelands.
  - c. The highest guardrail is less than 24 feet from established grade (12.63 feet North American Vertical Datum of 1988 [NAVD 88]) and the highest ridge is no more than

29 feet from established grade, which comply with the maximum height requirements.

- d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-family residences with more than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with two-story, single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development.
3. The property fronts the Newport Bay and is a private waterfront parcel. The project site is protected by an existing seawall with the top of the bulkhead at elevation 8.55 feet (NAVD 88). The existing bulkhead does not have noticeable signs of distress, however it is recommended to be reinforced and raised. The site is also vulnerable to flooding from the adjacent street ends and other low-lying properties that will need to be protected in the future. The project proposes to reinforce the existing wall and add a cap that will bring the height to 10.6 feet (NAVD 88). No development is proposed bayward of the existing seawall.
4. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by William Simpson and Associates, Inc. dated April 17, 2019, for the project. The current maximum bay water elevation is 7.7 feet NAVD 88. According to the report, the estimated sea level rise at the site appears to be between 1.3 and 5.4 feet over the next 75 years utilizing different probabilistic scenarios, accounting for bay water levels rising in the range of 9 feet to 13.1 feet NAVD88. The Newport Beach City Council approved the use of the high estimate of the “low risk aversion” scenario, which is 3.2 feet by the year 2100, or 2.9 feet by 2094. Therefore, the sea level is estimated to likely reach approximately 10.6 feet NAVD 88 over the next 75 years (i.e. the life of the structure). Once the existing seawall/bulkhead is raised per the report’s recommendations, flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. The report also identifies that there is a 0.5 percent chance (medium-high risk aversion scenario) that sea level rise (SLR) would be greater than 2.9 feet around the year 2070 and could as high as 13.1 feet NAVD 88 by the year 2100. If future SLR is greater than the likely estimate of the “low risk aversion” scenario by 2094 (10.6 feet NAVD 88), then the bulkhead can be raised without further bayward encroachment.
5. The finished floor elevation of the proposed single-family residence is 13.2 feet (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard. The Coastal Hazard Report concludes that the bay water elevation (currently 7.7 feet NAVD 88) will not exceed the proposed finished floor of the single-family residence at elevation 13.2 feet (NAVD 88) for the anticipated 75-year life of the structure.
6. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also



be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.

7. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
8. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials.
9. The project design includes a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
10. The property fronts the Newport Bay. Pursuant to NBMC [Section 21.35.030 \(Construction Pollution Prevention Plan\)](#), a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. A CPPP has been prepared and included in the plan sets for review and approval prior to the issuance of construction permits. Construction plans and activities will be required to adhere to the approved CPPP.
11. Pursuant to NBMC [Section 21.35.050 \(Water Quality and Hydrology Plan\)](#), because of the site's proximity to the water and because the development contains more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP/WQMP) was prepared by Toal Engineering, Inc., dated February 7, 2019. The final WQHP/WQMP will be required to be reviewed and approved by the City's Engineer Geologist prior to building permit issuance. The WQHP/WQMP includes a polluted runoff and hydrologic site characterization, treatment control BMPs, use of a low-impact development approach and bioretention system to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be required to comply with the approved WQHP/WQMP prior to the issuance of building permits.
12. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

13. The project site is not located adjacent to a coastal view road, public access way, or coastal viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is located at the end of Harbor Island Drive and is not visible from the site. The proposed single-family residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. The front setback along the harbor is 15 feet and only allows improvements with a maximum height of 42 inches. Additionally, the project does not contain any unique features that could degrade the visual quality of the coastal zone.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located on a privately gated island between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project replaces an existing single-family residence located on an R-1 lot with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. Vertical access to the harbor is available at the Balboa Basin, approximately 2,000 feet east of the property. Vertical and lateral access to the beach and harbor is also available at street ends throughout Balboa Island, approximately 1,300 feet southeast of the property. The project does not include any features that would obstruct access along these routes.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-011, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

3. This coastal development permit is intended to cover portions of the project within the City's permit authority under the certified Local Coastal Program. The portions of the project within the Harbor Island Tidelands are within the California Coastal Commission's coastal permit jurisdiction boundary and therefore require their review.
4. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 14<sup>H</sup> DAY OF NOVEMBER, 2019.**

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Jim Campbell, Zoning Administrator

**EXHIBIT “A”****CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Prior to finalization of building permits for the new residence, the existing bulkhead or similar flood protection improvement shall be raised or replaced to provide a minimum elevation of 10.6 feet (NAVD 88). All improvements shall occur landward of the existing bulkhead. The plans shall also demonstrate that the wall can be augmented to a greater height if the future sea level rise is greater than the likely estimate of the “low risk aversion” scenario by 2094 (10.6 feet NAVD88).
3. Prior to the issuance of a Certificate of Occupancy, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.
4. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney’s fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City’s approval of development. This letter shall be scanned into the plan set prior to building permit issuance.
5. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
6. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
7. This Coastal Development Permit does not authorize any development bayward of the private property.
8. The applicant is responsible for compliance with the Migratory Bird Treaty Act. In compliance with the (MBTA), grading, brush removal, building demolition, tree trimming,

and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:

- A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
- 9. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
  - 10. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
  - 11. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
  - 12. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
  - 13. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
  - 14. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
  - 15. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
17. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
18. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
19. Prior to the issuance of building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
20. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
21. Prior to the issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.
22. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
23. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
24. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
25. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.



26. This Coastal Development Permit No. CD2019-011 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
27. Prior to the issuance of building permits, the applicant shall obtain a coastal development permit or other authorization of improvement for areas within the California Coastal Commission's permit jurisdiction, as determined by the California Coastal Commission.
28. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Pickup Residence including, but not limited to, Coastal Development Permit No. CD2019-011 (PA2019-051). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

## **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



Coastal Development Permit No. CD2019-011  
PA2019-051

**23 Harbor Island**

# **Attachment No. ZA 3**

Project Plans



ARCHITECTURAL		STRUCTURAL	
C-1	COVER SHEET	SN-1	STRUCTURAL GENERAL NOTES
CP-1	CALIFORNIA GREEN RESIDENTIAL MINIMUM REQUIREMENTS	SN-2	STRUCTURAL GENERAL NOTES
SN-1	STRUCTURAL CONSTRUCTION MINIMUM REQUIREMENTS	SN-3	STRUCTURAL GENERAL NOTES
GH-1	ARCHITECTURAL SITE PLAN (1/4" = 1'-0")	S-1	FOUNDATION PLAN
SCH-1	WINDOW SCHEDULE	S-1-2	SECOND FLOOR FRAMING PLAN
SCH-2	WINDOW TYPES	S-1-3	ROOF FRAMING PLAN
SCH-3	DOOR SCHEDULE	SD-1	FOUNDATION DETAILS
SD-1	DOOR TYPES	SD-2	STRUCTURAL DETAILS
SD-2	DOOR TYPES	SD-3	STRUCTURAL DETAILS
A-1	SLAB EDGE PLAN (1/4" = 1'-0")		
A-2	MAIN LEVEL FLOOR PLAN (1/4" = 1'-0")	C-1	CIVIL
A-3	SECOND LEVEL FLOOR PLAN (1/4" = 1'-0")	C-2	SITE SHEET
A-4	ROOF PLAN (1/4" = 1'-0")	C-3	PERFORM GRADING & DRAINAGE PLAN
A-4.1	BUILDING SECTIONS (1/4" = 1'-0")	C-4	SECTION CUTS
A-4.2	BUILDING SECTIONS (1/4" = 1'-0")	C-5	SOILS REPORT
A-4.3	BUILDING SECTIONS (1/4" = 1'-0")	C-6	SPECIAL REPORT RECOMMENDATIONS
A-4.4	BUILDING SECTIONS (1/4" = 1'-0")	C-7	SOILS REPORT RECOMMENDATIONS
A-5	EXTERIOR ELEVATIONS (1/4" = 1'-0")	1-1	TOPOGRAPHIC SURVEY
A-5.1	EXTERIOR ELEVATIONS (1/4" = 1'-0")		
A-5.2	EXTERIOR ELEVATIONS (1/4" = 1'-0")		
AS-1	MAIN LEVEL ELECTRICAL PLAN (1/4" = 1'-0")		
AS-2	SECOND LEVEL ELECTRICAL PLAN (1/4" = 1'-0")	L-1.01	CONSTRUCTION PLAN
AS-3	MECHANICAL MECHANICAL PLAN (1/4" = 1'-0")	L-2.01	IRRIGATION PLAN
AS-4	SECOND LEVEL MECHANICAL PLAN (1/4" = 1'-0")	L-2.10	IRRIGATION DETAILS
AS-5	SECOND LEVEL REFLECTED CEILING PLANS (1/4" = 1'-0")	L-3.01	PLANTING PLAN
AS-6	OVERLAY PLANS (1/4" = 1'-0")		
D-1	ARCHITECTURAL DETAILS		
D-1.1	ARCHITECTURAL DETAILS		
D-1.2	ARCHITECTURAL DETAILS		
D-1.3	ARCHITECTURAL DETAILS		
D-1.4	ARCHITECTURAL DETAILS		
D-1.5	ARCHITECTURAL DETAILS		
TS-14	TITLE 24 ENERGY COMPLIANCE SHEET		
TS-16	TITLE 24 ENERGY COMPLIANCE SHEET		
TS-17	MANDATORY MEASURES		

### Zoning Requirements

PORTION OF WORK REQUIRING INSPECTION	CONTINUOUS	PERIODIC	DESCRIPTION, LOCATIONS, REMARKS, ETC.
EXPANSION / EPOXY ANCHORS	X	---	---
ALL STRUCTURAL WELDING	X	---	---
SHEAR WALL NAILING	---	X	---
STRUCTURAL MASONRY	---	X	GROUTING, STEM AND FOOTING REINF.
"HERS" VERIFICATION	---	X	





Residential Construction Minimum Requirements Notes



CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING DIVISION  
100 Civic Center Drive 1100, Newport Beach, CA 92660-8915  
www.newportbeach.gov (949) 644-3333

RESIDENTIAL  
CONSTRUCTION MINIMUM REQUIREMENTS.

Applicable Standards: 2016 California Residential Code (CRC); 2016 California Building Code (CBC); 2016 California Plumbing Code (CPC); 2016 California Electrical Code (CEC); 2016 California Mechanical Code (CMC); 2016 Building Energy Efficiency Standards (BEES); 2016 California Green Building Standards Code (CalGreen); & Chapter 15 of the Newport Beach Municipal Code (NBMC)

GENERAL:

- Residential building undergoing permitted alterations, additions or improvements shall replace non-compliant plumbing fixtures with water-conserving plumbing fixtures meeting the requirements of 2016 California Green Building Standards Code, Section 4.303. Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or final inspection by the Chief Building Official. (Cul Code, Section 1131.1 et seq., NBMC 15.11.010.)
- Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to obtain consents, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
- Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department.
- A site survey by a licensed surveyor shall be required prior to foundation concrete pour.
- Garage ceiling height: The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the four foot ten inch may have a minimum vertical clearance of four feet. (NBMC 20.40.090 A-6)
- Utilize one of the city approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (Cal Green 4.408.1, 4.408.3)
- Stairways shall not be less than 36 inches clear width. (CRC 311.7.1) The minimum head clearance shall be 6'-8" measured vertically from the lowest level adjoining tread nosing. (CRC 311.7.2)
- Advisory Note: Homeowners Association (HOA) approval may be required for this improvement.
- Additional permits are required for detached structures including but not limited to:
  - Accessory structures, detached pool covers, and trailers.
  - Masonry or concrete fences over 3.5 ft. high.
  - Retaining walls over 4 ft. high from the bottom of the foundation to the top of the wall.

2016 California Residential Code and California Building Code 15.11.010

CONSTRUCTION

- Pedestrian protection adjacent to public way to be as follows:

SEGMENT OF CONSTRUCTION	TABLE 105.1.1 PROTECTION OF PEDESTRIANS		TYPE OF PROTECTION REQUIRED
	INCHES FROM CONSTRUCTION TO LOT LINE	INCHES FROM CONSTRUCTION TO LOT LINE	
4 feet or more	1 foot 0 inch	1 foot 0 inch	Construction barrier
3 feet or more	1 foot 0 inch	1 foot 0 inch	Barrier and control barriers
2 feet or more	1 foot 0 inch	1 foot 0 inch	Barrier and control barriers
1 foot or more	1 foot 0 inch	1 foot 0 inch	Barrier
Less than 1 foot	1 foot 0 inch	1 foot 0 inch	Barrier

- All exterior soil and plaster shall have two layers of Grade D paper over wood base sheathing. (CRC R703.7.3, CRC 210.8)
- Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain flange. Backing for tile shall be cement board or cement plaster. (CRC R207.2, CRC 1710.3)
- Safety glazing shall be provided at the following hazardous locations: (CRC R308.4, CBC 2406.4)
  - Swinging, bi-fold, and sliding doors.
  - When located within 60 inches above the floor of wet surfaces such as tubs, showers, saunas, steam rooms, or outdoor swimming pool.
  - Glazing adjacent to doors:
    - Within a 24 inch arc of either vertical edge of doors and within 60 inches of walking surface.
    - Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.
  - Where glazing area is more than 9 sq. ft. in area, with the bottom edge less than 18 inches above the floor, top edge more than 36 inches above floor, and within 36 inches of a walking surface, measured horizontally.
  - Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
  - Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
  - Glazing in guards and railings.
- All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate warning prevention safety feature. (CRC 3109.4.4.2)
- Smoke alarms shall be installed in the following locations: (CRC R314.3, CBC 907.2.11.2, 907.2.11.3 & 907.2.11.4)
  - In each sleeping room.
  - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
  - On each additional story, including basements and habitable attic.

2016 California Residential Code and California Building Code 15.11.010

- Not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower.
- A minimum of 20 feet horizontally from any permanently installed cooking appliance.
- Smoke alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R314.4 & R314.5, or CRC 907.2.11.3 & 907.2.11.6.
- Carbon monoxide alarms shall be installed in the following locations: (CRC R315.3)
  - Outside of each sleeping area in the immediate vicinity of the bedrooms.
  - On every level of the dwelling unit including basements.
  - Where a fast burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R315.
- All fenestrations on windows and doors shall have U-factors (0.32 max) and Solar Heat Gain Coefficient (SHGC) (0.25 max) values in accordance with U-24 energy calculations. All fenestrations must have temporary and permanent labels.

TEMPORARY GENERATOR

- Hand operated construction tools powered by electricity must use power provided by Southern California Edison through a temporary pole or available outlet. In the rare case where electricity is not readily available and a portable temporary generator is necessary, from the following restrictions must be adhered to:
  - Must be portable and may be easily reconnected.
  - Temporary generators are to be located a minimum distance from any property line according to the following table:

Time in Use Hours	Required Setback from Property Line Feet	Required Setback from Adjacent Structures Feet
0 - 1 day	1 foot	1 foot
> 1 day	20 feet	3 feet

- If the minimum distance cannot be achieved, then the generator shall be located on the most exposed display area practical to prohibit. Other methods to inhibit noise may be utilized when practical.
- Must be operated for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided through the use of a temporary power pole.
- Usage is limited to weekdays between the hours from 8:00 AM and 5:30 PM Monday through Friday. No use on the weekends or federal holidays.

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FIREPLACE

- All fireplaces:

- Factory-built fireplaces, chimneys and all of their components shall be listed and installed in accordance with their listing and manufacturer's installation instructions. (CRC R1004.1)
  - Factory built wood burning fireplaces shall be qualified at the U.S. EPA's Voluntary Fireplace Program Phase 2 emissions level.
  - Decorative structures shall not be installed at the termination of factory-built chimneys except where such structures are listed and labeled for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. (CRC R1005.2 & CMC 802.5.2.4)
  - Horizontal openings are not allowed for exhaust vents in walls closer than 2 feet to a property line. (Table R302.11.1(N)(2). Horizontal vent caps shall be 2 feet clear from property lines.
  - Exhaust openings shall not be directed onto walkways. (R303.5.2)
- Solid fuel burning fireplaces:
    - Provide a permanently anchored gas fuel burning pipe to the fluebox of a solid fuel burning fireplace.
    - Solid fuel burning fireplaces must comply with the California Energy Standards mandatory measures.
    - Chimney shall extend at least 2 ft. higher than any portion of the building within 10 ft, but shall not be less than 3 ft. above the highest point where the chimney passes through the roof. (CRC R1003.9)
    - Liquid fueled fireplaces are not allowed for interior use.
  - Direct vent gas appliance fireplace:
    - Direct vent sealed-combustion gas appliance fireplace must comply with the Cal Green code requirements and must comply with ANSI Z21.90. (Cal Green 4.408.1)

MECHANICAL

- Rooms containing bathrooms, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 50 CFM ducted to terminate outside the building. (CRC R303.3, Cal Green 4.406.1, CRC 1203.5.2.1, CMC 402.4)
- Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust fan with humidity control sensor, min. 50 CFM capacity. (CRC R303.3)
- Where whole house fans are used in bathroom areas, the fan must run continuously and shall not be tied to a humidity control sensor. (Cal Green 4.406.1)
- The clothes dryer vent shall not exceed 14 ft. in overall length with maximum two 90 degree elbows. (CMC 504.4.2.1)
- Environmental air ducts shall terminate min. 3 feet from property line or openings into building and 10 feet from a habitable room. (CMC 602.2.1)
- Mechanical equipment shall be installed per the manufacturer's installation instructions. (CMC 303.1)
- Domestic range vents to be made smooth metallic interior surface. (CMC 504.3)

2016 California Residential Code and California Building Code 15.11.010

- Supply and return air ducts to be insulated at a minimum of R-6. (Cal Energy Code Table 150.1-A.)

PLUMBING

- Separate water meters are required for all new duplexes. Separate fire meters are required at each water meter.
- Plumbing Fixtures:
  - New Construction & Additions/Alterations that increases condition space area, volume, or size of Cal Green 4.303.1.1
  - Comply with Cal Green Mandatory Requirements
  - Addition & Alteration: Existing fixtures shall be replaced to meet the following requirements:
    - Shower Heads: 2.0 gpm @ 80 psi
    - Lavatory Faucets: 1.2 gpm @ 80 psi
    - Kitchen Faucets: 1.8 gpm @ 80 psi
    - Water Closet: 1.28 gallons per flush
- Clearance for water closet to be a minimum of 24 inches in front, and 15 inches from its center to any side wall or obstruction. (CPC 402.5)
- The water heater burner to be at least 18 inches above the garage floor, if located in a garage. (CPC 507.1.3)
- Install a 3/4 inch diameter by 9 ft. lead steel pipe vented through the roof for protection of water heaters located in garage. (CPC 507.1.3.1)
- Water heaters to be strapped at top and bottom with 1 1/2" x 16 gauge strap with 3/8" diameter X 3" lag bolt each end. (CPC 507.2)
- ABS and PVC drain waste and vent piping material is limited to 2 stories maximum. (CPC 702.02.04, and 802.1.1)
- ABS and PVC roof and deck drain material is limited to 2 stories maximum. (CPC 1101.4)
- Roof and deck drain systems inside the building are required to be installed with directional DWP drainage fittings. (CPC 1101.4 and 6.08.0.2)
- Cleanouts are required within 2 feet of the connection between the interior roof and deck drain piping system, and the exterior crawls space drain system. (CPC 1101.13)
- All hose bibbs are to have vacuum breakers. (CPC 603.5.7)
- The maximum amount of water closets on a 3 inch horizontal drainage system line is 3. (CPC Table 703.2)
- The maximum amount of water closets on a 3 inch vertical drainage system line is 4. (CPC Table 703.2)
- Provide gas line with a min capacity of 200,000 Btu for water heater. (Cal Energy Code 150.0.9)
- Provide a condensate drain no more than 2 inches above the base of the water heater spout. (Cal Energy Code 150.0.10)
- Provide a straight vent pipe from the water heater spout to the outside termination from the water heater space. (Cal Energy Code 150.0.10)
- Insulate all hot water pipes. (Cal Energy Code 150.0.11) (2), and CPC 608.1.1)

2016 California Residential Code and California Building Code 15.11.010

- Isolation valves are required for tankless water heaters on the hot and cold supply lines with hose bibbs on each valve, to flush the heat exchanger. (Cal Energy Code 110.3.71)

ELECTRICAL

- Electrical service to be underground for new construction, replacement building, or addition to an existing building exceeds fifty (50) percent of the gross floor area of the existing building. (NBMC 15.32.01.5)
- Edison Company approval is required for meter location prior to installation.
- Field inspectors to review and approve underground service requirement prior to concrete placement.
- Service equipment and subpanels to have a min 30" wide by 36" deep clear work space. (CEC 110.26)
- All lighting is required to be high efficacy. (California energy code section 150. (b) and Table 150.0-A.)
- Provide a listed 1 inch runway to accommodate a dedicated 208/240-volt circuit for future electrical vehicle (EV) charger. (Cal Green 4.106.4)
- All receptacle outlets are required to be listed tamper resistant (CEC 408.12 and 250.52)
- Combination type AFCI circuit breakers are required for at 120 volt single phase 1500 amp branch circuits. Except for bathrooms, garages, and outdoors. (CEC 210.12)
- At a minimum, one dedicated 20 amp circuit is required for a bathroom. (CEC 210.11(C)(9))
- GFCI protection is required for all receptacle outlets located outdoors, garages, accessory buildings, bathrooms, crawl spaces, kitchens, laundry areas, kitchen dishwasher branch circuit, garbage disposal, all areas within 6 feet of sink, and all receptacles within 6 feet of a bathtub or shower stall. (CEC 210.8)
- Receptacle outlets are not allowed within or over a bathtub or shower stall. (CEC 408.9 (C))
- Subpanels are not allowed to be located in bathrooms or clothes closets. (CEC 240.24 (D) and (E))
- Circuits sharing a grounded conductor (neutral) with two ungrounded (hot) conductors must use a two pole circuit breaker or an identified handle tie. (CEC 210.4(B)) Group non-continuous circuits or panel. (CEC 210.4(D))
- The receptacle outlets that serve kitchen counter tops, dining room, breakfast area, and pantry, must have a min of 2 dedicated 20 amp circuits. (CEC 210.52 (B)(1))
- Kitchen counter tops 12 inches or wider must have a receptacle outlet. (CEC 210.52(C))
- Kitchen counter tops must have receptacle outlets as no point along the counter walls is more than 24 inches from a receptacle. (CEC 210.52 (C))
- Island and peninsular counter tops must have at least one receptacle. (CEC 210.52(C) (1)(2) and (3))
- The spacing for general receptacle outlets must be located so that no point on any wall, bed plate, or ceiling is over 6 feet from a receptacle outlet. (CEC 210.52(A))
- Hallways 10 feet or more must have at least one receptacle outlet. (CEC 210.52(A)(2))

2016 California Residential Code and California Building Code 15.11.010

- Garages shall have at least one receptacle for each car space on the interior. The branch circuit supplying the receptacles shall not serve outlets outside of the garage. (CEC 210.52 (D) (1))
- Laundry rooms must have at least one dedicated 20 amp receptacle circuit. (CEC 210.11(C) (2))
- Provide 120V receptacle within 3 feet of water heater. (Cal Energy Code 150.0.11 A.)

FOUNDATION

- Weep screed for slucos at the foundation plate line shall be a minimum of 4 inches above the earth or 2 inches above paved areas. (CRC R703.7.2, CRC 2512.1.2)
- Fasteners and connectors (nails, anchor bolts, etc.) in contact with precast concrete shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (CRC R211.3, CRC 2304.10.5.1)
- Anchor bolts shall include steel plate washers, a minimum of 0.225" x 3" x 3" in size, between all plate and nut. (CRC R602.11.1, CRC 2308.3.2 Acceptable alternate SDPWs 4.3.8.4.3)

2016 California Residential Code and California Building Code 15.11.010

BUILDING DEPARTMENT SUBMITTAL -

REVISIONS:



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STAMP:



PROJECT

PICKUP  
RESIDENCE

23 Harbor Island  
Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-GNZ

SHEET TITLE:

RESIDENTIAL  
CONSTRUCTION  
MINIMUM  
REQUIREMENTS

SHEET NUMBER:

GN-2

PLOT REFERENCE DATE: 09-09-19

0:30:19 PROJECT: 23 Harbor Island, PLN SITE, September 8, 2019

Architectural Site Plan

SCALE: 1/8" = 1'-0"

General Notes:

1. Refer to Site Drainage Plan sheet for existing grade elevations and finish grade elevations.
2. Surveyor or Engineer shall permanently monument property corners or offsets before starting grading.
3. Fences, Gates, Walls, Planter boxes, Patio covers, and other freestanding structures cannot exceed 6' measured from Natural Grade within required side yard setback.
4. Finish grade within 10 feet of the new structure/ addition shall be sloped a minimum of 2 % away from the building for drainage purpose.
5. Additions, remodels or renovations of a single family home with an existing pool require the suction outlet of the existing pool, spa, or toddler pool to be upgraded so as to be equipped with an approved anti-entrapment cover meeting the current standards of ASTM or ASME per section 115920 HSC.
6. The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.
7. In Accordance with Planning Area 6 (PA6) of the Headlands Development and Conservation Plan (HDCP), This house is a Single-Family Dwelling.
8. An approved encroachment permit is required for all work activities within the public right-of-way, public easement and on city facilities.
9. All work related to wastewater in the public right-of-way shall be performed by a C-42 licensed Sanitation Sewer Contractor or an A Licensed General Engineering Contractor.

10. A Public Works Department Encroachment Permit inspection is required before the Building Department Permit Final can be issued. At the time of Public Works Department inspection, if any of the existing public improvements surrounding the site is damaged, new concrete sidewalk, curb and gutter, and alley/street pavement will be required. Additionally, if existing utilities infrastructure are deemed substandard, a new 1-inch water service, water meter box, sewer lateral and/or cleanout with box and lid will be required. 100% of the cost shall be borne by the property owner. (Municipal Codes 14.24.020 and 14.08.030). Said determination and the extent of the repair work shall be made at the discretion of the Public Works Inspector.

Zoning Requirements

Lot Area:	7,793 Sq. Ft.
Setbacks:	
Front:	15'
Sides:	4'
Front:	15'
(no projection of living space at second floor)	
Buildable Lot Area:	4,485 Sq. Ft.
(Allowable (4,485 x 2))	
Floor Area Limit:	8,970 Sq. Ft.
Proposed Floor Area:	6,357 Sq. Ft.
Required Open Space:	
(4,485 Sq. Ft. x 15%)	673 Sq. Ft.
Proposed Open Space:	
First Floor Entry Courtyard:	913 Sq. Ft.
Second Floor Entry Courtyard:	861 Sq. Ft.
Total Proposed Open Space:	1,774 Sq. Ft.

Maximum Building Height:	24'	Flat Roof
	29'	Pitched Roof
Parking Requirements:		
(3) Cars Minimum Clear Dimension	20' x 28'-3"	

Area Tabulations

First Floor (Livable):	1,524 Sq. Ft.
Covered Entry Gallery:	170 Sq. Ft.
Covered Porch:	383 Sq. Ft.
Second Floor (Livable):	2,985 Sq. Ft.
Total (Livable):	5,462 Sq. Ft.
Garage:	815 Sq. Ft.
Mechanical:	37 Sq. Ft.
Pool Equipment:	43 Sq. Ft.
Total:	895 Sq. Ft.
Proposed Building Area:	
Total (Livable):	5,462 Sq. Ft.
Garage / Mechanical:	895 Sq. Ft.
Total Proposed Building Area:	6,357 Sq. Ft.
Allowable Building Area:	8,970 Sq. Ft.

Grade Establishment

Area for Determining slope Calculation	
A.N.G. Point # 1	12.85'
A.N.G. Point # 2	12.59'
A.N.G. Point # 3	12.27'
A.N.G. Point # 4	12.82'
Total	50.53'
Divided by 4	
A.N.G. (Average Natural Grade)	12.63'

PROJECT ADDRESS  
23 HARBOR ISLAND  
NEWPORT BEACH, CA 92663  
ASSessor's PARCEL NUMBER: 050-230-27  
LOT 22, TRACT 802

BUILDING DEPARTMENT SUBMITTAL -
REVISIONS:
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PROJECT

**PICKUP RESIDENCE**  
23 Harbor Island  
Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-PLN-SITE

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN**

SHEET NUMBER:

**SP-1**

PLOT REFERENCE DATE: 09-09-19





DOOR SCHEDULE																					DOOR NOTES	
SYM	ROOM NAME	DOOR						DESCRIPTION	FRAME		DETAILS			THRESH	DIVIDED LITES	GLAZING	REMARKS	FENESTRATION		MANUFACTURE		
		SIZE			TYPE	QTY	MATERIAL		FINISH	MATERIAL	FINISH	H	J					S	MATERIAL		U-VALUE	SHGC
WIDTH	HEIGHT	THICKNESS																				
Main Level Doors																						
D101	Entry Foyer	10'-3" 2'-0"	9'-6" 9'-6"	2"	A	1	Steel Frame	Factory Finish	U-Shaped Door / Fixed Window Assembly	Steel Frame	Factory Finish	-D3.1	-D3.1	-D3.1	Stone	6W4H 1W4H	Double Glazing	Tempered	-	-	Steelworks, Etc, Inc.	
D102	Kitchen	16'-0"	8'-0"	2"	B	2	Steel Frame	Factory Finish	Bi-Fold (5 Panel) Unit / Passage / Bi-fold	Steel Frame	Factory Finish	-D3.1	-D3.1	-D3.1	Stone	5W3H	Double Glazing	Tempered	-	-	Steelworks, Etc, Inc.	
D103	Covered Porch	16'-0"	8'-0"	2 1/4"	C	1	Wood	Factory Stain Wired Brushed Finish	Pocket (5 Panel) Louvered Doors	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	Tempered	-	-	Millworks, Etc, Inc.	
D104	Living	12'-0"	8'-0"	2"	E	1	Steel Frame	Factory Finish	Pocket (4 Panel)	Steel Frame	Factory Finish	-D3.1	-D3.1	-D3.1	Stone	4W3H	Double Glazing	Tempered	-	-	Steelworks, Etc, Inc.	
D105	Living	15'-7"	8'-0"	2"	B	1	Steel Frame	Factory Finish	Bi-Fold (5 Panel) Unit / Passage / Bi-fold	Steel Frame	Factory Finish	-D3.1	-D3.1	-D3.1	Stone	5W3H	Double Glazing	Tempered	-	-	Steelworks, Etc, Inc.	
D106	Pantry	2'-6"	8'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C. Pocket	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	Stone	-	-	-	-	-	Millworks, Etc, Inc.	
D107	Pantry	2'-8"	8'-0"	2"	F	1	Steel Frame	Factory Finish	Passage / Hopper Transom Above	Steel Frame	Factory Finish	-D3.1	-D3.1	-D3.1	Stone	1W4H	Double Glazing	Tempered	-	-	Steelworks, Etc, Inc.	
D108	Powder	2'-4"	8'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D109	Coats	4'-8"	8'-0"	2 1/4"	G	1	Wood	Factory Stain Wired Brushed Finish	S.C. - Pair	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D110	Elevator	3'-0"	8'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C. - Elevator	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D111	Natalie's Office	4'-0"	8'-0"	2 1/4"	H	1	Wood	Factory Stain Wired Brushed Finish	S.C. Pocket	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D112	Garage	3'-0"	8'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C. - 20 Min. Self Closing & Self Latching	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	Self Closing and Self Latching	-	-	-	Millworks, Etc, Inc.	
D113	Electrical Cabinet	5'-0"	8'-0"	2 1/4"	J	1	Wood	Factory Stain Wired Brushed Finish	S.C. / Pair / Louvered	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	Stone	-	-	-	-	-	Millworks, Etc, Inc.	
D114	Garage	3'-0"	7'-0"	2 1/4"	K	1	Wood	Factory Stain Wired Brushed Finish	S.C. / Louvered	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	Stone	-	-	-	-	-	Millworks, Etc, Inc.	
D115	Storage Cabinet	5'-6"	8'-0"	2 1/4"	L	1	Wood	Factory Stain Wired Brushed Finish	S.C. / Pair / Louvered	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	Stone	-	-	-	-	-	Millworks, Etc, Inc.	
D116	Garage	9'-0"	8'-0"	2 1/4"	M	3	Wood	Factory Stain Wired Brushed Finish	Garage / Sectional	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D117	Entry Gate	4'-3"	7'-6"	2 1/4"	N	1	Wood	Factory Stain Wired Brushed Finish	Gate	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D118	Sideway Gate	3'-2"	5'-9"	2 1/4"	P	1	Wood	Factory Stain Wired Brushed Finish	Gate	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
Second Level Doors																						
D201	Master Gallery	3'-0"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D202	Master Dressing	2'-6"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C. Pocket	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Steelworks, Etc, Inc.	
D203	Master Walk-In	2'-6"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Steelworks, Etc, Inc.	
D204	Master Bath - WC	2'-4"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Steelworks, Etc, Inc.	
D205	Laundry	2'-8"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D206	Elevator	3'-0"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C. / Elevator	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D207	Upper Family	4'-6"	7'-0"	2 1/4"	Q	1	Wood	Factory Stain Wired Brushed Finish	S.C. Pocket	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D208	Bedroom 2	2'-6"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D209	Bedroom 2 Wic	2'-4"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D210	Bath 2	2'-4"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D211	Bedroom 3	2'-6"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D212	Bath 3	2'-4"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D213	Bedroom 3 Wic	2'-4"	7'-0"	2 1/4"	D	1	Wood	Factory Stain Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D214	Bedroom 4	2'-6"	7'-0"	2 1/4"	D	1	Wood	Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D215	Bedroom 4 Wic	2'-4"	7'-0"	2 1/4"	D	1	Wood	Wired Brushed Finish	S.C.	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	
D216	Bath 4	2'-4"	7'-0"	2 1/4"	D	1	Wood	Wired Brushed Finish	S.C. Pocket	Wood	Factory Stain Wired Brushed Finish	-D3.1	-D3.1	-D3.1	-	-	-	-	-	-	Millworks, Etc, Inc.	

Door Notes

1. Refer to Plans and Elevations for Door Swing Direction

2. The General Contractor, Framing and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided for this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. (Failure to do so is the Responsibility of the General Contractor (not Sub Contractor).)

3. All Glazing to be true divided lite

4. All Glazing to be Laminated Glass Single Pane Tempered

5. Refer to Plans and Elevations for Door Swing Direction

6. The General Contractor, Framing and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided for this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. (Failure to do so is the Responsibility of the General Contractor and Sub Contractor.)

Iron Frame Doors (If)

Millworks Etc, Inc. Doors and Windows  
2586 Camino Circle  
Newbury Park, CA 91320  
(805) 499-3400

General Notes

1. Fabrications must have temporary and permanent labels

2. Doors must be sealed and test verified by a HERES certified special inspector

Emergency Notes

Every sleeping room shall have at least one operable emergency escape and rescue opening (Window or Door). Emergency escape and rescue opening shall open directly in a public way, to a yard or court that opens to a public way.

All Emergency escape and rescue openings shall have:  
- The bottom of the opening shall not be more than 44 inches above the floor  
- Minimum net clear opening height of 24" and width of 20"  
- Minimum net clear opening of 5.7 square feet (at full swing level)

Notes: In order to meet the minimum clear opening of 5.7 square feet, either the width or height, or both, must exceed the minimum dimension (see Type Rating). The net clear opening dimensions required shall be obtained by the normal operation of the emergency escape and rescue opening from the inside.

BUILDING DEPARTMENT SUBMITTAL -	
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General notes

1. Refer to Plans and Elevations for door Swing Direction

2. The General Contractor, Framers and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided on this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. ( Failure to do so is the Responsibility of the General Contractor and Sub Contractor )

3. Refer to Plans and Elevations for door Swing Direction

4. The General Contractor, Framers and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided on this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. ( Failure to do so is the Responsibility of the General Contractor and Sub Contractor )

Door Notes

1. All Glazing to be true divided lites.

2. All Glazing to be Laminated Glass Single Pane Tempered

3. Refer to Plans and Elevations for door Swing Direction

4. The General Contractor, Framers and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided on this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. ( Failure to do so is the Responsibility of the General Contractor and Sub Contractor )

Door Notes

1. All Glazing to be true divided lites.

2. All Glazing to be Laminated Glass Single Pane Tempered

3. Refer to Plans and Elevations for door Swing Direction

4. The General Contractor, Framers and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided on this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. ( Failure to do so is the Responsibility of the General Contractor and Sub Contractor )

ForestStudio

322 Forest Avenue  
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PICKUP  
RESIDENCE  
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Lot 22, Tract 802

TELEPHONE:  
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PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-SCH21

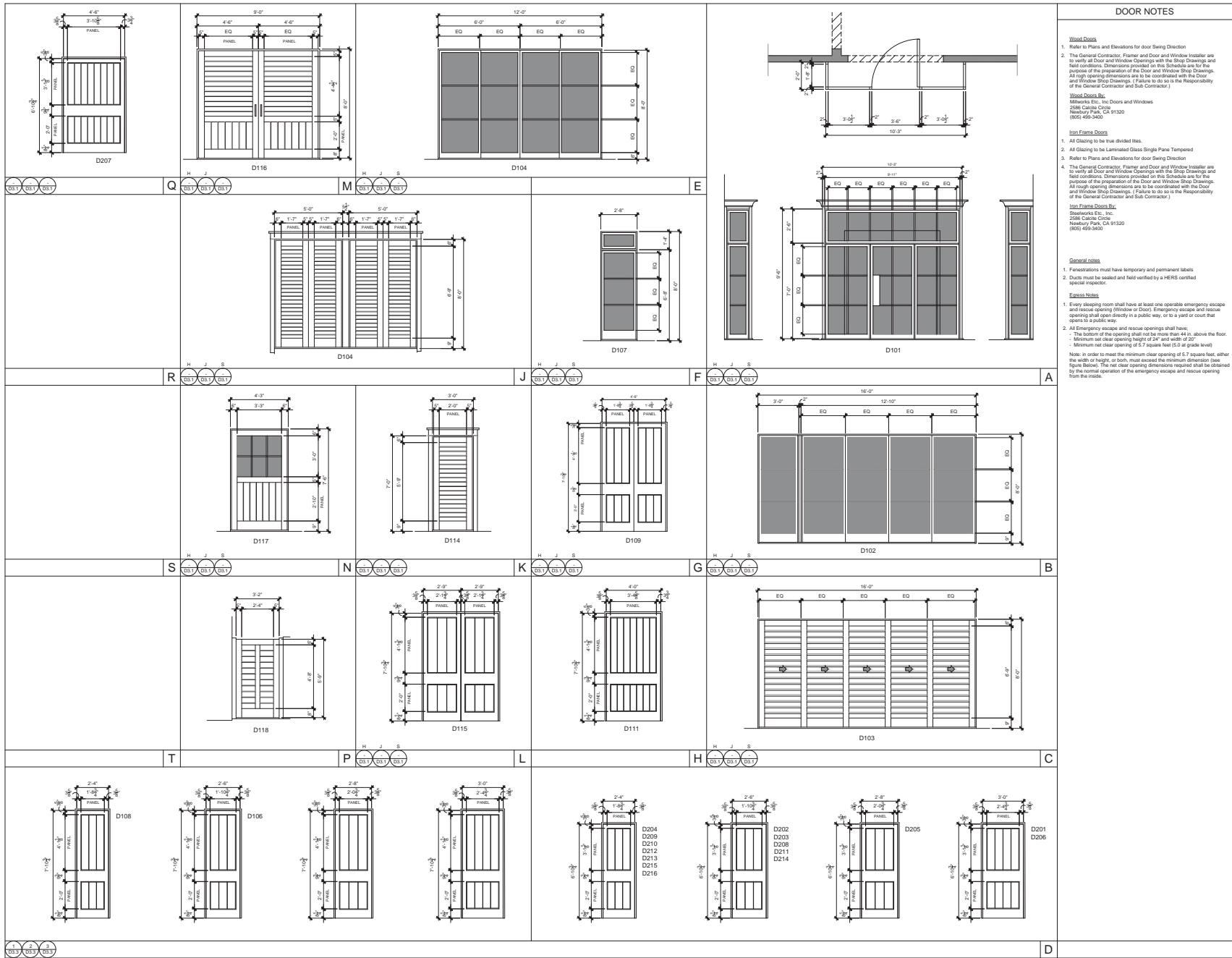
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DOOR SCHEDULE

SHEET NUMBER:

SCH2.1

PLOT REFERENCE DATE: 09-09-19



# DOOR NOTES

- Wood Doors**
- Refer to Plans and Elevations for Door Swing Direction
  - The General Contractor, Framing and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided on this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. ( Failure to do so is the Responsibility of the General Contractor and Sub Contractor.)

**Wood Doors By:**  
Millwork Etc., Inc. Doors and Windows  
2086 Carole Circle  
Noblesville, IN 46060  
(800) 459-3400

## Iron Frame Doors

- All Glazing to be Iron-Clad Glass.
- All Glazing to be Laminated Glass Single Pane Tempered
- Refer to Plans and Elevations for Door Swing Direction
- The General Contractor, Framing and Door and Window Installer are to verify all Door and Window Openings with the Shop Drawings and field conditions. Dimensions provided on this Schedule are for the purpose of the preparation of the Door and Window Shop Drawings. All rough opening dimensions are to be coordinated with the Door and Window Shop Drawings. ( Failure to do so is the Responsibility of the General Contractor and Sub Contractor.)

**Iron Frame Doors By:**  
Steelworks Etc., Inc.  
2086 Carole Circle  
Noblesville, IN 46060  
(800) 459-3400

## General Notes

- Fasteners must have temporary and permanent labels
- Doors must be sealed and field-verified by a HERSI certified special inspector.

## Escape Notes

- Every sleeping room shall have at least one operable emergency escape and rescue opening (Window or Door). Emergency escape and rescue opening shall open directly in a public way, or to a yard or court that opens to a public way.
- All Emergency escape and rescue openings shall have:
  - The bottom of the opening shall not be more than 44 in. above the floor.
  - Minimum net clear opening height of 34" and width of 20"
  - Minimum net clear opening of 5.7 square feet (5.0 sq grade level)

Note: in order to meet the minimum clear opening of 5.7 square feet, either the width or height, or both, must exceed the minimum dimension (see figure below). The net clear opening dimensions required shall be obtained by the normal operation of the emergency escape and rescue opening from the inside.

# BUILDING DEPARTMENT SUBMITTAL -

## REVISIONS:

1. 01/17/2019

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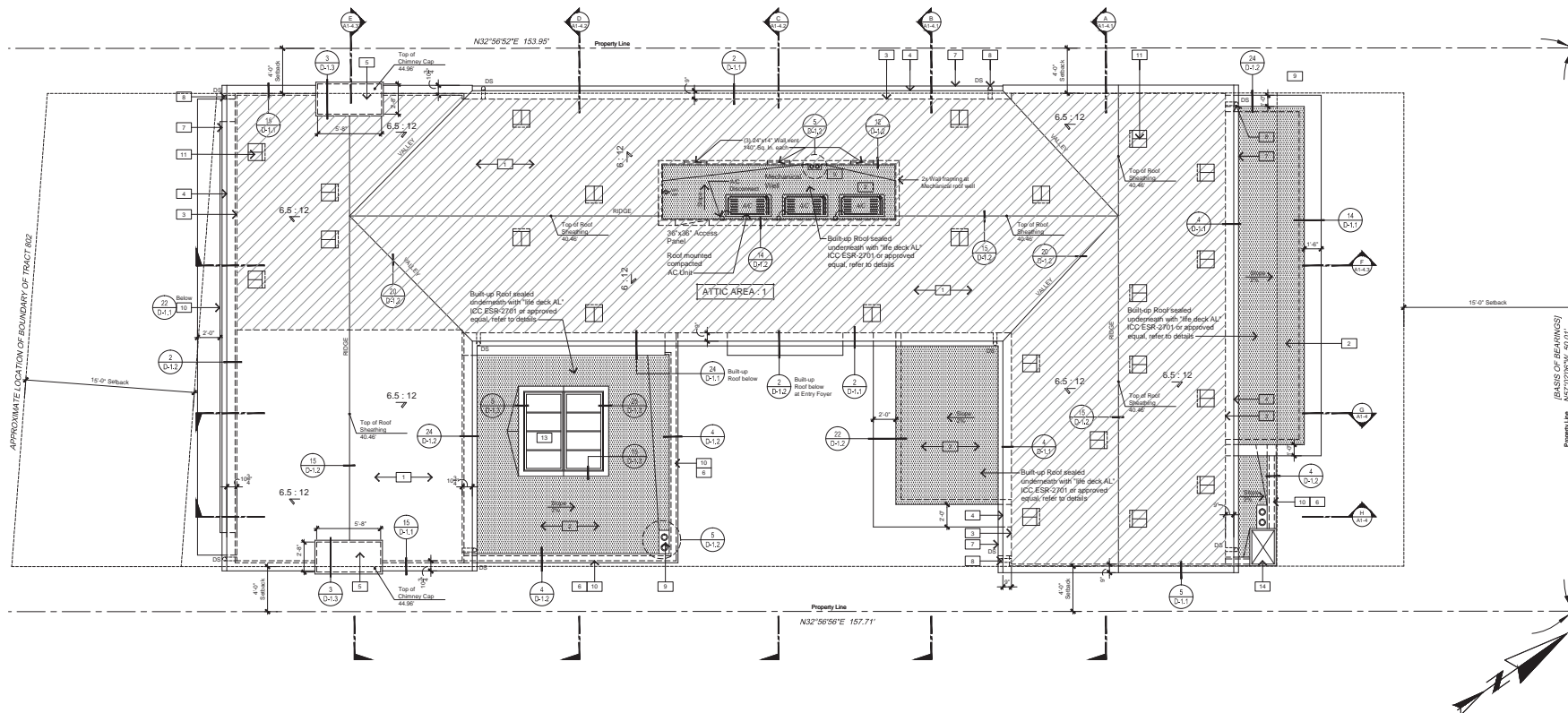
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Roof Plan

SCALE: 1/4" = 1'-0"

#### ATTIC AREA TABULATIONS

ATTIC AREA 1		
VENTILATION REQUIRED:		
ATTIC AREA = 2,138 SQ. FT. / 150 =	14.25	SQ. FT.
VENTILATION PROVIDED:	1,144 =	SQ. IN.
(25) CHIMNEY ROOF VENTS:	72.0	SQ. IN. EA. = 1,800
(3) GABLE VENTS 24"x14" BY LOMACCO OR EQUAL:	140.0	SQ. IN. EA. = 420
TOTAL =	2,208	SQ. IN.

ATTIC VENT OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MINIMUM AND 1/8" INCH MAXIMUM OPENING.

#### ROOF PLAN NOTES

- CONTRACTOR SHALL VERIFY AREA OF ALL ATTIC VENTS WITH MANUFACTURER.
- ALL ROOF SHEATHING EDGES SHALL BE BLOCKED AND NAILSPICES STRUCTURAL PLANE IN ADDITION, CONTRACTOR SHALL ALSO PROVIDE W/IN BLOCKING AND NAILING AS REQUIRED BY THE ROOFING MFR.
- PROVIDE CLASS 'W' ROOF WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND EMBERS OR 1 LAYER OF No. 72 ASTM CAP SHEET
- PROVIDE NOT LESS THAN 26 GA. GALV. FLASHING AT ALL WALLS AND ROOF TO WALL CONDITIONS OVER No. 72 ASTM CAP SHEET.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- ATTIC VENTS SHALL MEET THE FOLLOWING REQUIREMENTS, CIRC 1055.2
- SPRAY FOAM INSULATION SHALL BE USED FOR ALL RAFTER SPACES IN VOLUME CEILING

#### ROOF KEY NOTES

- XX SYMBOL
- FIRE RETARDANT WOOD SHINGLES BY FIRE TREATMENT INC. ESR-1110 No. 1 GRADE WESTERN RED SHINGLES COMPLYING WITH IRC SECTION 1508.6.8 AND SECTION 4.1 OF THE ESR-1411 REPORT OVER SOLID SHEATHING COVERED WITH ONE LAYER OF 5/8" THICK DENSE-BECK ROOF BOARD MANUFACTURED BY GEORGIA-PACIFIC CORP.
  - BUILT-UP (CLASS 'A') MODIFIED BITUMEN ROOFING OVER EXTERIOR GRADE ROOF SHEATHING 1/4" - 1/2" MINIMUM SLOPE U.N.D.
  - LINE OF BUILDING BELOW
  - LINE OF ROOF BELOW
  - CHIMNEY CAP. REFER TO DETAIL 3 D-1.3
  - DECORATIVE BRICK CAP
  - COPPER METAL GUTTER
  - COPPER METAL DOWNSPOUT

#### ROOF LEGEND

- INDICATES ROOF PITCH AND DIRECTION OF ROOF SLOPE
- INDICATES LOCATION OF METAL DOWNSPOUT.
- INDICATES CHIMNEY'S CLOAKED VENT STANDARD LINE FOR COMPOSITION SHINGLES OR APPROVED EQUAL. ICC-ES REPORT BNC-1050A NET FREE AREA 72 SQ. IN.
- HATCHING INDICATES ROOF ATTIC SPACE
- HATCHING INDICATES BUILT-UP ROOFING. REFER TO DETAILS

BUILDING DEPARTMENT SUBMITTAL -

REVISIONS:

1. 10/1/19

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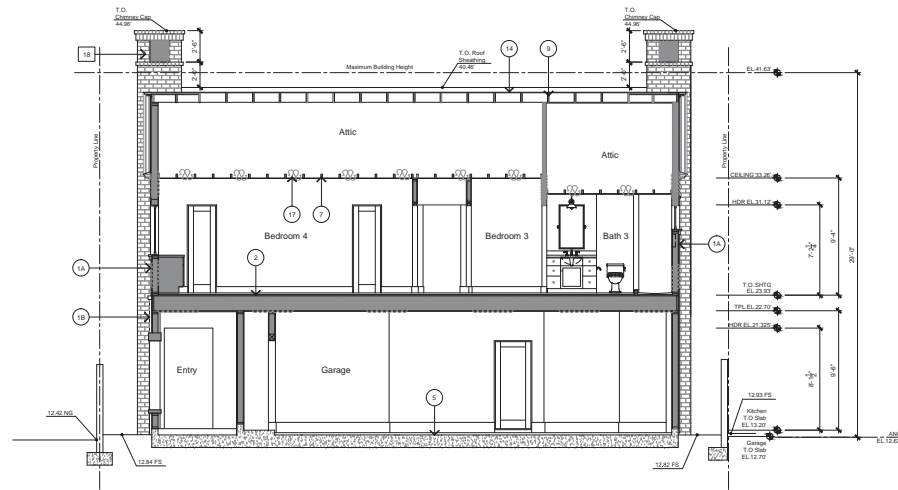
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Section "A"

SCALE: 1/4" = 1'-0"



Section "B"

SCALE: 1/4" = 1'-0"

## SECTION NOTES

- REFER TO STRUCTURAL ENGINEER DRAWINGS.
- DETAILS REFERENCED IN THESE DRAWINGS ARE FOR CLARIFICATION OF THE ARCHITECTURAL DESIGN INTENT. REFER TO ENGINEERING DRAWINGS PREPARED BY OTHERS FOR DETAILED INFORMATION.
- UPPER FLOOR DIMENSIONS ARE TAKEN FROM TOP OF SUB FLOOR SHEATHING MATERIAL.

## SECTION KEY NOTES

SYMBOL

- TYPICAL EXTERIOR WALL ASSEMBLY:
  - WOOD CEDAR SHINGLE ROOF
  - BRICK VENEER (WHERE OCCURS)
  - WIRE LATH OVER MIN. TWO LAYERS GRADE D BUILDING PAPER
  - PLYWOOD SHEATHING OR SHEAR PANELS
  - 3X WALL FRAMING WITH INSULATION PER T.24
  - 5/8" GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED)
- TYPICAL FLOOR/CEILING ASSEMBLY:
  - FLOOR FINISH - SEE PLAN
  - GYPSUM
  - SUB FLOOR SHEATHING MATERIAL GLEUED AND NAILER THICKNESS PER STRUCT. ENGINEER
  - FLOOR JOISTS - PER STRUCT. ENGINEER
  - 3X WOOD FLOORING (WHERE OCCURS)
  - GYPSUM WALLBOARD (TYPE "X" WHERE OCCURS)
- TYPICAL STAIR ASSEMBLY:
  - HANDRAIL @ 36" MAX., 34" MIN. ABOVE TREAD & RISING
  - FINISH MATERIAL PER PLAN
  - 5/8" THICK TREADS
  - MIN. (3) 2X14 STRINGERS AT STRAIGHT RUN
  - (1) 2X14 AT FRONT & BACK OF TREADS AT RADIAL RUN
  - 2 X 4 JOISTS @ 16" O.C. MIN. AT LANDING. REFER TO STRUCTURAL DRAWINGS
  - POSITIVE CONNECTOR TO FLOOR PER STRUCTURAL DRAWINGS
  - 1/2" GYPSUM BOARD MIN. AT WALLS AND CORNERS OF ALL USABLE RAMP/LANDER STAIRS
  - GUARDRAIL @ 42" MIN. ABOVE FINISH FLOOR
- CONCRETE SLAB - SEE STRUCTURAL DWGS.
- CONCRETE GARAGE SLAB - SEE STRUCTURAL DWGS.
- 2x WOOD FRAMING
- 2x CEILING JOIST
- WOOD I-JOISTS - SEE STRUCTURAL DWGS
- WOOD CONVENTIONAL FRAMED ROOF - SEE STRUCTURAL DRAWINGS
- EXPOSED TEAK RAFTER TAIL
- EXPOSED TEAK CORBEL BEAM
- TEAK WINDOW BAY DETAILING
- BUILT-UP WOOD EAVES AND RAKES
- PLYWOOD ROOF SHEATHING
- PLYWOOD DECK SHEATHING
- BUILT-UP CLUES AT MODIFIED RETURN ROOFING OVER EXTERIOR GRADE ROOF SHEATHING 1/4" 12 MINIMUM SLOPE UNO.
- INSULATION, SEE TITLE 24
- THIN BRICK VENEER PAINTED WHITE

## ELEVATION KEY NOTES

- WOOD SHINGLE ROOF
- METAL ROOF
- BUILT-UP "CLASS A" ROOF
- GUTTER/DOWNSPOUT
- BUILT-UP WOOD EAVES AND RAKES
- WOOD CEDAR SHINGLE SIDING PAINTED WHITE
- WOOD TRIM DETAILING PAINTED WHITE
- TEAK WINDOW BAY DETAILING
- TEAK CORBEL
- TEAK RAFTER TAILS
- WOOD ENTRY DOOR
- WOOD DOOR/WINDOW
- STEEL DOOR/WINDOW
- WOOD GARAGE DOOR
- WOOD GATE
- WOOD SHUTTER
- THIN BRICK VENEER PAINTED WHITE
- CHIMNEY CAP
- PLANTER WALL - REFER TO LANDSCAPE PLANS
- DECORATIVE LIGHT FIXTURE
- DECORATIVE COPPER GABLE VENT
- BUILDING ADDRESS
- SIGNLIGHT

REFER TO SHEETS T24-1a & T24-1b FOR CP18 FORMS AND COMPLIANCE INFORMATION

Construction Name	Surface Type	Construction Type	Framing	Typical R-Value	Min. Design U-Value
Garage Ceiling	Floor / Ceiling	Wood Framed Ceiling	16" T & B @ 16" o/c	None	0.332
Garage Exterior Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16" o/c	None	0.347
R-30 Roof	Volume Ceilings	Wood Framed Ceiling	2x10 @ 16" o/c	R-30	0.036
R-22 Roof	Volume Ceilings	Wood Framed Ceiling	2x4 @ 16" o/c	R-22	0.056
R-21 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16" o/c	R-21	0.069
R-21 Wall 1	Interior Walls	Wood Framed Wall	2x4 @ 16" o/c	R-21	0.064
Attic Roof / Zone 2	Attic Roofs	Wood Framed Ceiling	2x4 Truss @ 24" o/c	R-30	0.040
R-30 Roof HPV	Ceilings Below Attic	Wood Framed Ceiling	2x4 @ 24" o/c	None	0.478

BUILDING DEPARTMENT SUBMITTAL -

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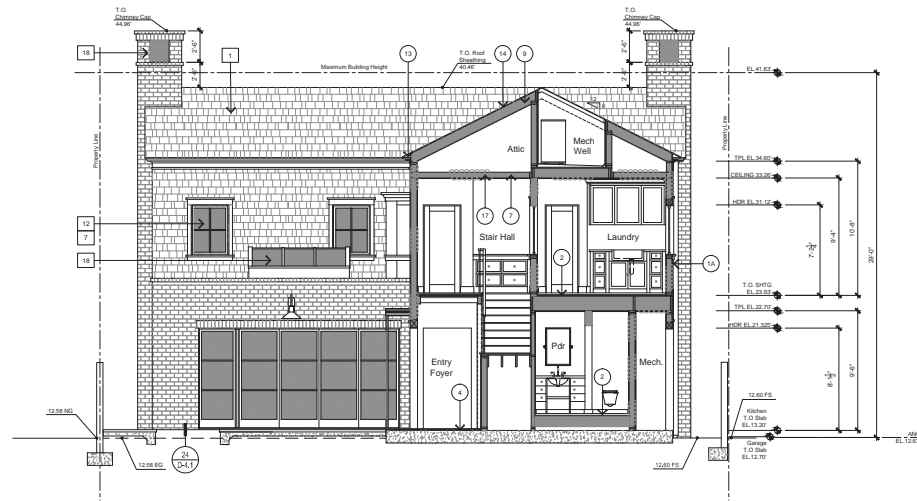
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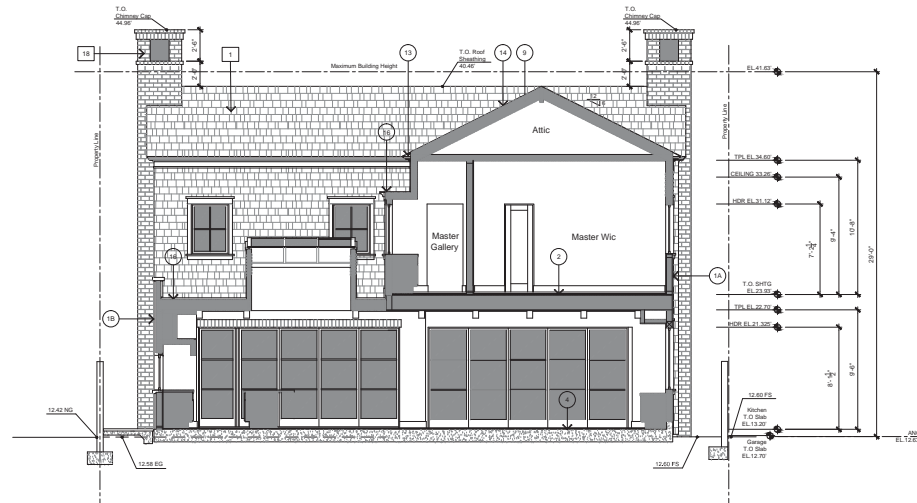
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Section "C"

SCALE: 1/4" = 1'-0"



Section "D"

SCALE: 1/4" = 1'-0"

## SECTION NOTES

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- UPPER FLOOR DIMENSIONS ARE TAKEN FROM TOP OF SUB FLOOR SHEATHING MATERIAL.

## SECTION KEY NOTES

SYMBOL

- TYPICAL EXTERIOR WALL ASSEMBLY:
  - WOOD CEDAR SHINGLE BOND
  - BRICK VENEER (WHERE OCCURS)
  - WIRE LATH OVER MIN. TWO LAYERS GRADE D BUILDING PAPER
  - PLYWOOD SHEATHING OR SHEAR PANELS
  - 3X WALL FRAMING WITH INSULATION PER T.24
  - 5/8" GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED)
- TYPICAL FLOOR/CEILING ASSEMBLY:
  - FLOOR FINISH - SEE PLAN
  - GYPCRETE
  - SUB FLOOR SHEATHING MATERIAL GLEUED AND NAIL
  - FLOOR JOISTS - PER STRUCT. ENGINEER
  - 3X WOOD FLOORING (WHERE OCCURS)
  - GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED)
- TYPICAL STAIR ASSEMBLY:
  - HANDRAIL @ 36" MAX., 34" MIN. ABOVE TREAD & RISING
  - FINISH MATERIAL PER PLAN
  - 5/8" THICK TREADS
  - MIN. (3) 2 X 14 STRINGERS AT STRAIGHT RUN
  - (1) 2 X 14 AT FRONT & BACK OF TREADS AT RADIAL RUN
  - 2 X 4 JOISTS @ 16" O.C. MIN. AT LANDING. REFER TO STRUCTURAL DRAWINGS
  - POSITIVE CONNECTOR TO FLOOR PER STRUCTURAL DRAWINGS
  - 1/2" GYPSUM BOARD MIN. AT WALLS AND CEILING OF ALL USABLE RAMP/LANDER STAIRS
  - GUARDRAIL @ 42" MIN. ABOVE FINISH FLOOR
- CONCRETE SLAB - SEE STRUCTURAL DWGS.
- CONCRETE GARAGE SLAB - SEE STRUCTURAL DWGS.
- 2x WOOD FRAMING
- 2x CEILING JOIST
- WOOD I-JOISTS - SEE STRUCTURAL DWGS
- WOOD CONVENTIONAL FRAMED ROOF - SEE STRUCTURAL DRAWINGS
- EXPOSED TEAK RAFTER TAIL
- EXPOSED TEAK CORBEL BEAM
- TEAK WINDOW BAY DETAILING
- BUILT-UP WOOD EAVES AND RAKES
- PLYWOOD ROOF SHEATHING
- PLYWOOD DECK SHEATHING
- BUILT-UP CLAES AT MODIFIED RETURN ROOFING OVER EXTERIOR GABLE ROOF SHEATHING 1/4" 12 MINIMUM SLOPE UNO.
- INSULATION, SEE TITLE 24
- THIN BRICK VENEER PAINTED WHITE

## ELEVATION KEY NOTES

- WOOD SHINGLE ROOF
- METAL ROOF
- BUILT-UP "CLASS A" ROOF
- GUTTER/DOWNSPOUT
- BUILT-UP WOOD EAVES AND RAKES
- WOOD CEDAR SHINGLE SIDING PAINTED WHITE
- WOOD TRIM DETAILING PAINTED WHITE
- TEAK WINDOW BAY DETAILING
- TEAK CORBEL
- TEAK RAFTER TAILS
- WOOD ENTRY DOOR
- WOOD DOOR / WINDOW
- STEEL DOOR / WINDOW
- WOOD GARAGE DOOR
- WOOD GATE
- WOOD SHUTTER
- THIN BRICK VENEER PAINTED WHITE
- CHIMNEY CAP
- PLASTER WALL - REFER TO LANDSCAPE PLANS
- DECORATIVE LIGHT FIXTURE
- DECORATIVE COPPER GABLE VENT
- BUILDING ADDRESS
- SIGNLIGHT

REFER TO SHEETS T24-1a & T24-1b FOR CP18 FORMS AND COMPLIANCE INFORMATION

Construction Name	Surface Type	Construction Type	Framing	Typical R-Value	Miner Design U-Value
Garage Ceiling	Floor / Ceiling	Wood Framed Ceiling	16" T & B @ 16" o/c	None	0.332
Garage Exterior Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16" o/c	None	0.347
R-30 Roof	Volume Ceilings	Wood Framed Ceiling	2x10 @ 16" o/c	R-30	0.036
R-22 Roof	Volume Ceilings	Wood Framed Ceiling	2x4 @ 16" o/c	R-22	0.056
R-21 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16" o/c	R-21	0.069
R-21 Wall 1	Interior Walls	Wood Framed Wall	2x4 @ 16" o/c	R-21	0.064
Attic Roof / Zone 2	Attic Roofs	Wood Framed Ceiling	2x4 Truss @ 24" o/c	R-30	0.040
R-30 Roof HPV	Ceilings Below Attic	Wood Framed Ceiling	2x4 @ 24" o/c	None	0.478

BUILDING DEPARTMENT SUBMITTAL -

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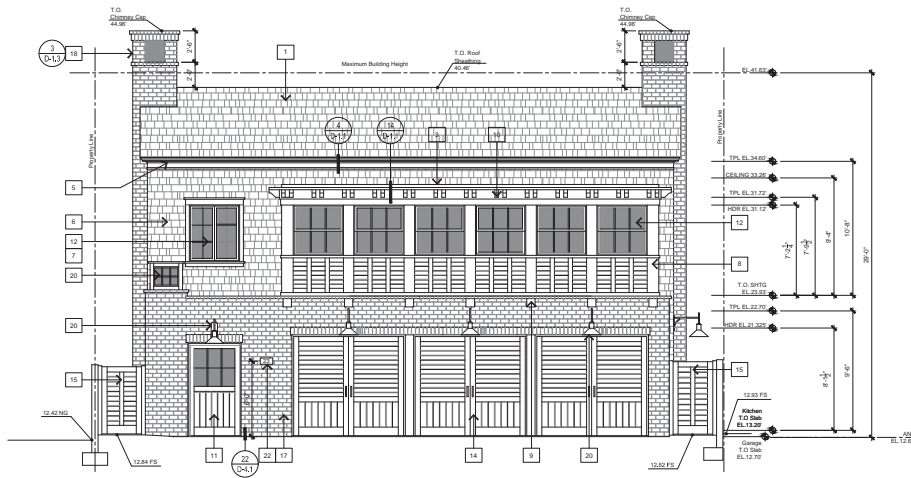




SCALE: 1/4" = 1'-0"



## Pre-Submission 09-09-19



Front Elevation

SCALE: 1/4" = 1'-0"

## ELEVATION NOTES

NOTE: THE MINIMUM REQUIRED TOP OF SLAB ELEVATION FOR INTERIOR LIVING AREAS OF ALL NEW STRUCTURES SHALL BE AT LEAST 1.00 NAVD83. THE HEIGHT OF A PRINCIPAL STRUCTURE SHALL BE MEASURED FROM THE MINIMUM REQUIRED TOP OF SLAB ELEVATION.

ALL PRIVATE IMPROVEMENTS IN THE SOUTH BAY FRONT RIGHT OF WAY REQUIRE AN ENCROACHMENT AGREEMENT WITH THE PUBLIC WORKS DEPARTMENT PER COUNCIL POLICY 7.6

ROOFING MATERIAL: FIRE RETARDANT TREATED WOOD SHINGLES ARE PRODUCED FROM NO. 1 GRADE WESTERN NO. 1 GRADE WESTERN RED CEDAR SHINGLES COMPLYING WITH BS-SECTION 1507.8.5. FOR TREATMENT OF WOOD SHINGLES MUST BE INSTALLED IN ACCORDANCE WITH SECTION 4.01 OF THE ESR 1400 REPORT. OVER SOLID SHEATHING COVERED WITH ONE LAYER OF 1/4" THICK DENSE-BLOCK ROOF BOARD MANUFACTURED BY GEORGIA PACIFIC CORP. (CLASS "A" ROOF)

BUILT-UP ROOF (CLASS "A") MODIFIED BITUMEN ROOFING OVER EXTERIOR GRADE ROOF SHEATHING 2% MINIMUM SLOPE UN.O.

GUTTERS / DOWNSPOUTS: 2" DIAMETER HALF ROUND COPPER GUTTER WITH 1" ROUND DOWNSPOUT

BUILT-UP SIDING AND RAFTERS: PAINTED COLOR: WHITE

GARAGE DOORS & GATES: PAINTED COLOR: WHITE

BUILDING PAPER: PROVIDE A MINIMUM OF TWO LAYERS OF GRADE 17 PAPER OVER ALL WOOD BASED SHEATHING AND UNDER ALL GROUT BASE MASONRY VENEER. C.A.C. SECTION 160.1

VAPOR BARRIER: WHITE PAINTED CEDAR SHINGLES BEING

EXTERIOR FINISH: BRICK VENEER: APPLIED 3/4" - 2" THICK CUT BRICK VENEER BY BOWEN, BOWEN PRODUCTS OR APPROVED EQUAL, ALL REPORT NO. 1501-1504.

WOOD WINDOWS AND DOORS: DOORS: WHITE PAINTED CEDAR SHINGLES BEING

DOORS / WINDOWS: DOORS: WHITE PAINTED CEDAR SHINGLES BEING

CHIMNEY TERMINATION: CHIMNEY SHALL EXTEND AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'-0" OF THE CHIMNEY. THE CHIMNEY SHALL BE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.

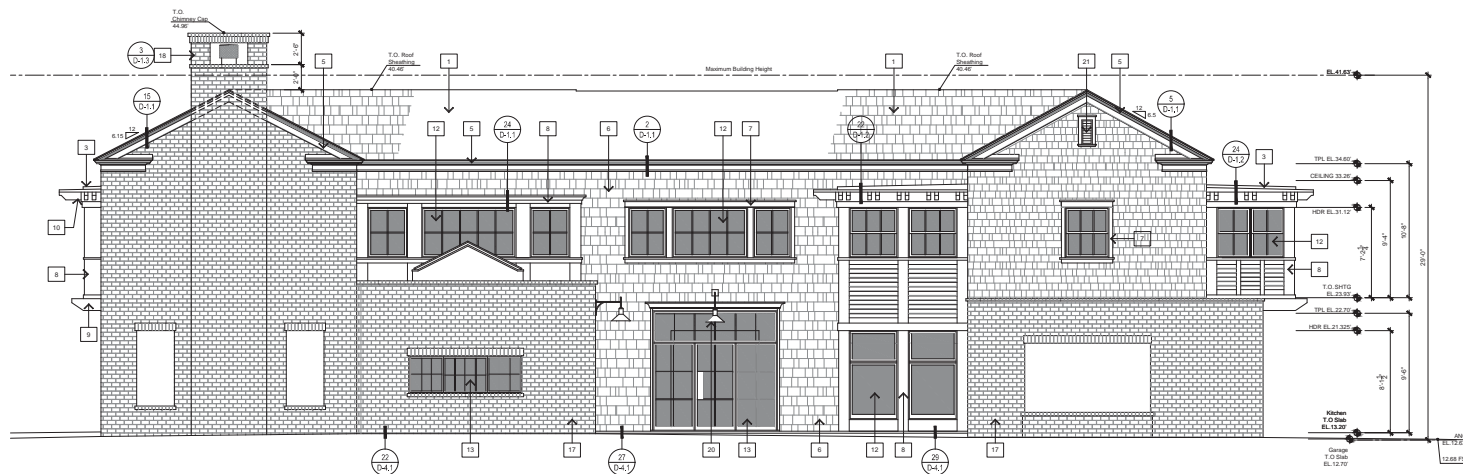
ADDRESS: ADDRESSES SHALL BE PLAINLY VISIBLE AND LOCATED FROM THE STREET FRONTING THE LOT. ANY PORTION OF THE BUILDING WITHIN 10'-0" OF THE CHIMNEY SHALL BE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.

FOUNDATION: FOUNDATION WATERPROOFING: THE TOP SURFACE OF THE CONCRETE PERIMETER WALL OF THE FOUNDATION SHALL BE SET AT A MINIMUM ELEVATION OF 1'-0" FEET ABOVE THE SEA LEVEL TO ACCOMMODATE A POTENTIAL RISE IN SEA LEVEL.

SEA LEVEL RISE: ADAPTATION MEASURES TO MINIMIZE HAZARDS OF LIFE AND PROPERTY FROM POTENTIAL FLOODING FROM SEA LEVEL RISE TO REDUCE FLOOD PROOFING THE FIRST FLOOR AND SAND BAG BARRIERS LOCATED AT THE DOOR LOCATION.

## ELEVATION KEY NOTES

- 1 WOOD SHINGLE ROOF
- 2 METAL ROOF
- 3 BUILT-UP CLASS "A" ROOF
- 4 GUTTER / DOWNSPOUT
- 5 BUILT-UP WOOD SIDING AND RAFTERS
- 6 WOOD CEDAR SHINGLE SIDING PAINTED WHITE
- 7 WOOD TRIM DETAILING PAINTED WHITE
- 8 TEAK WINDOW BAY DETAILING
- 9 TEAK CORBEL
- 10 TEAK RAFTER TAILS
- 11 WOOD ENTRY DOOR
- 12 WOOD DOOR / WINDOW
- 13 STEEL DOOR / WINDOW
- 14 WOOD GARAGE DOOR
- 15 WOOD GATE
- 16 WOOD SHUTTER
- 17 THIN BRICK VENEER PAINTED WHITE
- 18 CHIMNEY CAP
- 19 PLASTER WALL - REFER TO LANDSCAPE PLANS
- 20 DECORATIVE LIGHT FIXTURE
- 21 DECORATIVE CORNER GABLE VENT
- 22 BUILDING ADDRESS
- 23 SKYLIGHT



Left Side Elevation

SCALE: 1/4" = 1'-0"

BUILDING DEPARTMENT SUBMITTAL - REVISIONS

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PROJECT:

**PICKUP RESIDENCE**  
23 Harbor Island  
Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-PLN-ELEV

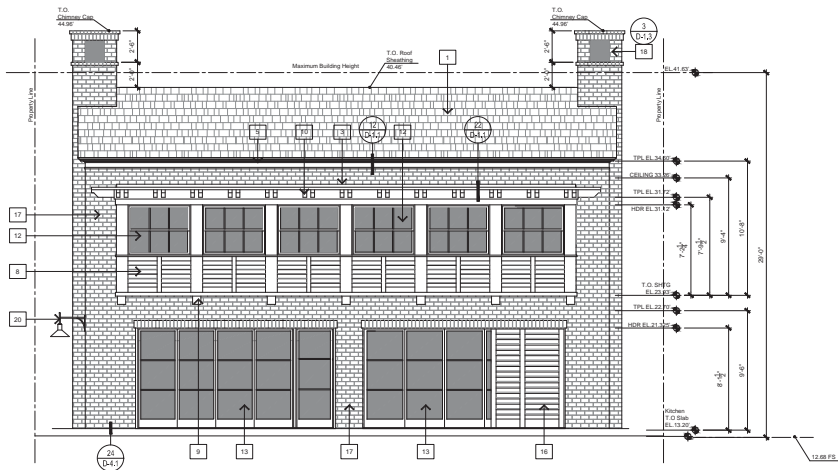
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**BUILDING ELEVATIONS**

SHEET NUMBER:

**A5.1**

PLOT REFERENCE DATE: 09-09-19

37



Rear Elevation

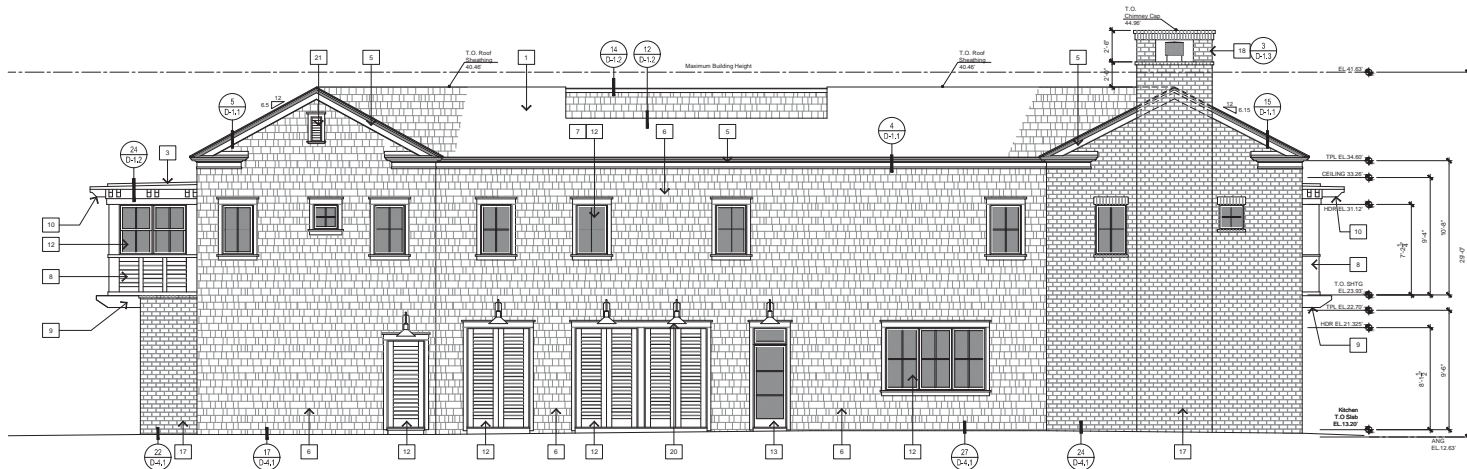
SCALE: 1/4" = 1'-0"

## ELEVATION NOTES

- NOTE: THE MINIMUM REQUIRED TOP OF SLAB ELEVATION FOR INTERIOR LIVING AREAS OF ALL NEW STRUCTURES SHALL BE AT LEAST 1.00 NAVD83. THE HEIGHT OF A PRINCIPAL STRUCTURE SHALL BE MEASURED FROM THE MINIMUM REQUIRED TOP OF SLAB ELEVATION.
- ALL PRIVATE IMPROVEMENTS IN THE SOUTH BAY FRONT RIGHT OF WAY REQUIRE AN ENCROACHMENT AGREEMENT WITH THE PUBLIC WORKS DEPARTMENT PER COUNCIL POLICY L-6.
- ROOFING MATERIAL: FIRE RETARDANT-TREATED WOOD SHINGLES ARE PRODUCED FROM NO. 1 GRADE WESTERN NO. 1 GRADE WESTERN RED CEDAR SHINGLES COMPLYING WITH B&S SECTION 1307.8.8. FOR WEATHERING, NO. 1 GRADE WESTERN RED CEDAR WOOD SHINGLES MUST BE INSTALLED IN ACCORDANCE WITH SECTION 4.05 OF THE B&S 1400 REPORT. OVER SOLID SHEATHING COVERED WITH ONE LAYER OF 1/4" THICK DENSE-BLOCK ROOF BOARD MANUFACTURED BY GEORGIA PACIFIC CORP. (CLASS "A" ROOF).
- BUILT-UP ROOF (CLASS "A"): MODIFIED BITUMEN ROOFING OVER EXTERIOR GRADE ROOF SHEATHING 2% MINIMUM SLOPE UN.O.
- GUTTERS / DOWNSPOUTS: 2" DIAMETER HALF ROUND COPPER GUTTER WITH 1" ROUND DOWNSPOUT.
- BUILT-UP SIDES AND RAFTS: PAINTED COLOR: WHITE.
- GARAGE DOORS & GATES: PAINTED COLOR: WHITE.
- BUILDING PAPER: PROVIDE A MINIMUM OF TWO LAYERS OF GRADE 37 PAPER OVER ALL WOOD-BASED SHEATHING, AND UNDER ALL GROUT BASE MASONRY VENEER, C.A.C. SECTION 160.1.
- VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VETS PER DETAILS.
- EXTERIOR FINISH: WHITE PAINTED CEDAR SHINGLES BEING.
- BRICK VENEER: APPLIED 3/4" - 2" THICK CUT BRICK VENEER BY B&S, B&S PRODUCTS OR APPROVED EQUAL, C.A.C. REPORT NO. 130.1304.
- DOORS / WINDOWS: PAINTED COLOR: WHITE.
- DOORS / WINDOWS: STEEL WINDOWS AND DOORS RECTORY FINISH COLOR: OILED RUBBED BRONZE FINISH.
- CHIMNEY TERMINATION: CHIMNEY SHALL EXTEND AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'-0" OF THE CHIMNEY. THE CHIMNEY SHALL BE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- ADDRESS: ADDRESSES SHALL BE PLAINLY VISIBLE AND LOCATED FROM THE STREET FRONTING THE PROPERTY. ADDRESSES SHALL BE 4' HIGH IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. R319.1 CMC.
- FOUNDATION: FOUNDATION WATERPROOFING, THE TOP SURFACE OF THE CONCRETE PERIMETER WALL OF THE FOUNDATION SHALL BE SET AT A MINIMUM ELEVATION OF 61 FEET ABOVE TO ACCOMMODATE A POTENTIAL RISE IN SEA LEVEL.
- SEA LEVEL RISE: ADAPTATION MEASURES TO MINIMIZE HAZARDS OF LIFE AND PROPERTY FROM POTENTIAL FLOODING FROM SEA LEVEL RISE TO REDUCE FLOOD PROOFING THE FIRST FLOOR AND SAND BAG BARRIERS LOCATED AT THE DOOR LOCATION.

## ELEVATION KEY NOTES

- WOOD SHINGLE ROOF
- METAL ROOF
- BUILT-UP CLASS "A" ROOF
- GUTTER / DOWNSPOUT
- BUILT-UP WOOD SIDES AND RAFTS
- WOOD CEDAR SHINGLE BEING PAINTED WHITE
- WOOD TRIM DETAILING PAINTED WHITE
- TEAK CORBEL
- TEAK RAFTER TAILS
- WOOD ENTRY DOOR
- WOOD DOOR / WINDOW
- STEEL DOOR / WINDOW
- WOOD GARAGE DOOR
- WOOD GATE
- WOOD SHUTTER
- THIN BRICK VENEER PAINTED WHITE
- CHIMNEY CAP
- PLASTER WALL - REFER TO LANDSCAPE PLANS
- DECORATIVE LIGHT FEATURE
- DECORATIVE COPPER GABLE VENT
- BUILDING ADDRESS
- SKYLIGHT



Right Side Elevation

SCALE: 1/4" = 1'-0"

BUILDING DEPARTMENT SUBMITTAL - REVISIONS

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STAMP:

SEALED  
BY  
DATE

PROJECT:

**PICKUP RESIDENCE**

23 Harbor Island  
Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-PLN-ELEV

SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:

**A5.2**

PLOT REFERENCE DATE: 09-09-19

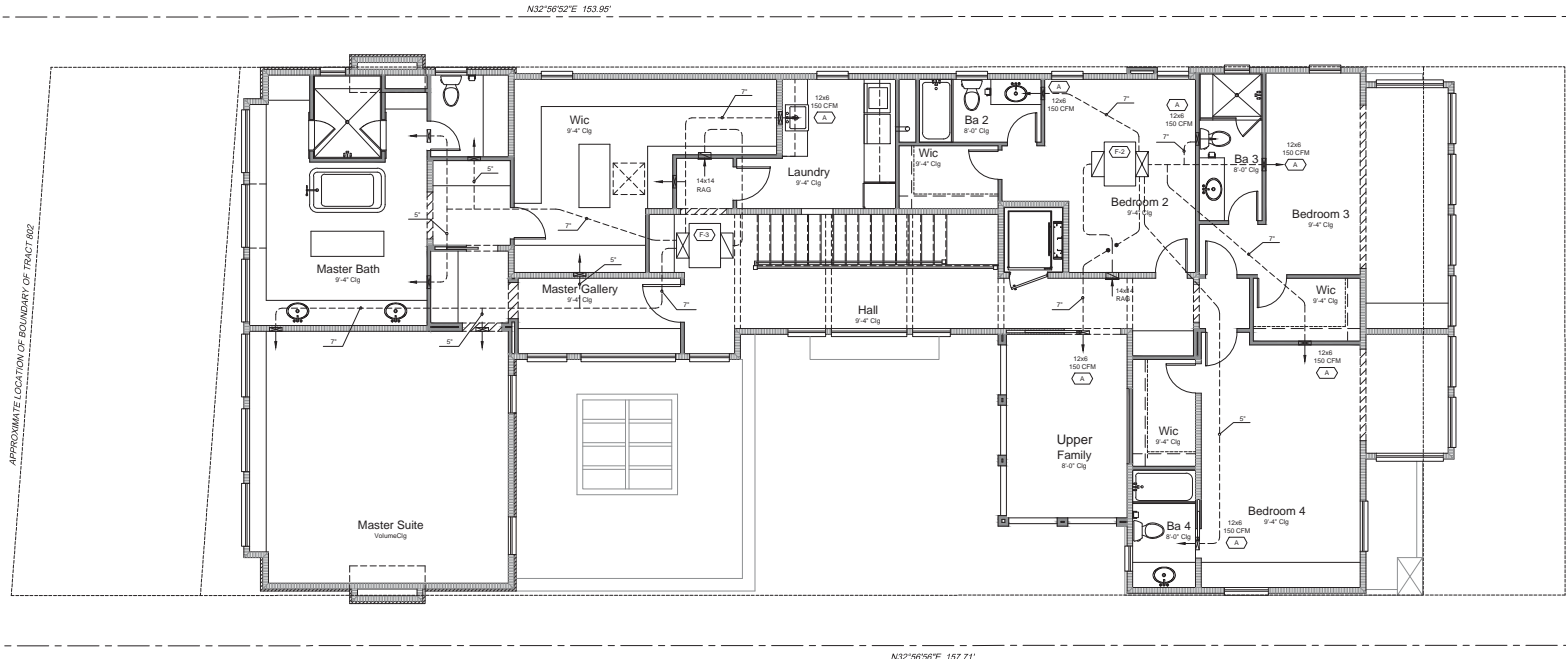












Second Floor Mechanical Plan

SCALE: 1/4" = 1'-0"

**Note**

1. COMBUSTION AIR AND VENTING IS DONE THROUGH 4" CONCENTRIC VENT UP THROUGH ROOF FOR ALL TANKLESS WATERHEATERS AND FAU UNITS. REFER TO SPECIFICATIONS BELOW.

**EQUIPMENT LIST**

- (C1) AIR CONDITIONER - LENNOX M14XK1-024  
2 TON 16 SEER 230/1 PH, 20 amps, 768ba
- (F1) FURNACE - LENNOX EL96P04M2636  
95% AFUE TORQUE SINGLE SPEED FAN MOTOR  
APPLY COIL - ADP LC180756 9410A HIGH EFFICIENCY
- (F2) AIR HANDLER (2) - LENNOX M60424M  
2 TON DUCTED MIN SPLIT INDOOR UNIT
- (H1) HEAT PUMP - LENNOX MFB0484M  
4 TON 17 SEER 230/1 PH, 50 amps, 464ba
- (T1) THERMOSTAT (2) - LENNOX WIRED CONTROLS
- (T2) THERMOSTAT - HONEYWELL TS-PRO PROGRAMMABLE
- (EF1) BROWN CEILING EXHAUST FAN MODEL 670 (OR EQUAL)  
50 CFM 11.5 V 1" DIA. FURNISH WITH BACKDRAFT DAMPER  
ROUTE 4" DIA. EXHAUST TO ROOFWALL AND TERMINATE  
WITH FACTORY ROOFWALL CAP
- (EF2) BROWN CEILING EXHAUST FAN MODEL 670 (OR EQUAL)  
50 CFM 11.5 V 1" DIA. FURNISH WITH BACKDRAFT DAMPER  
ROUTE 4" DIA. EXHAUST TO ROOFWALL AND TERMINATE  
WITH FACTORY ROOFWALL CAP
- (EF3) BROWN MODEL OT6360 (OR EQUAL) 55 CFM @ .025 - 6" DIA.  
FLEXIBLE METAL DUCT WITH A MAXIMUM LENGTH OR 125' MINUS  
15' FOR EACH ELBOW.
- (EF4) BROWN MODEL OT6110S (OR EQUAL) 90 CFM @ .025 - 6" DIA.  
FLEXIBLE METAL DUCT WITH A MAXIMUM LENGTH OR 125' MINUS  
15' FOR EACH ELBOW.
- (A) STEEL STAMPED FACE SUPPLY AIR DIFFUSER/REGISTER  
SIZE AND SHAPE TO BE DETERMINED
- (B) STEEL STAMPED FACE SIDEWALL SUPPLY AIR  
DIFFUSER/REGISTER, SIZE AND SHAPE TO BE DETERMINED
- (C) STEEL STAMPED FACE FLOOR SUPPLY AIR  
DIFFUSER/REGISTER, SIZE AND SHAPE TO BE DETERMINED

**MECHANICAL PLAN NOTES**

1. ALL BATHROOM FANS TO BE 50 CFM'S MINIMUM. PROVIDE A MINIMUM OF FIVE (5) AIR CHANGES PER HOUR. A MAXIMUM SOUND RATING OF 3 SONE FOR INTERMITTENT OPERATION. BE LISTED AS ENERGY STAR RATED AND CONTROLLED BY A HUMIDITY CONTROL UNLESS EXEMPTED ELSEWHERE.
2. PROVIDE IN KITCHENS LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM. A MAXIMUM SOUND RATING OF 3 SONE FOR INTERMITTENT OPERATION IS REQUIRED.
3. SMOKE DETECTORS AND CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1 SHALL BE INSTALLED AS FOLLOWS:  
  
A. WHERE MORE THAN SMOKE DETECTOR / CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.  
  
B. SMOKE DETECTORS / CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING HARD WIRED AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL BE INSTALLED IN A SLEEPING UNIT. THE ALARM SHALL BE INSTALLED IN A SLEEPING UNIT.  
  
C. DETECTORS MUST BE SEALED AND FIELD VERIFIED BY A "THIRD" CERTIFIED SPECIAL INSPECTOR.
4. ALL R-6 FLEX DUCT AND RECTANGULAR AS NEEDED PER PLAN WRAPPED TO R6 INSULATION VALUES.
5. UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED FOR SUCH USE PER UL187 AND ORC 160.4.

**MECHANICAL LEGEND**



**WHOLE BUILDING VENTILATION SYSTEM SUMMARY**

- ALL LOW-RISE RESIDENTIAL BUILDINGS ARE REQUIRED TO HAVE A VENTILATION SYSTEM AND SATISFY OTHER REQUIREMENTS TO ACHIEVE ACCEPTABLE INDOOR AIR QUALITY AND THE ENERGY COMMISSION ADOPTED THE REQUIREMENTS OF ASHRAE STANDARD 62.2-2019, EXCEPT THAT OPENING AND CLOSING WINDOWS (ALTHOUGH PERMITTED BY ASHRAE) IS NOT AN ACCEPTABLE OPTION FOR PROVIDING WHOLE BUILDING VENTILATION IN CALIFORNIA.
- THE FOLLOWING BULLET POINTS SUMMARIZE THE KEY REQUIREMENTS FOR MOST RESIDENCE:
1. A WHOLE BUILDING MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED.
  2. KITCHENS AND BATHROOMS SHALL HAVE LOCAL EXHAUST SYSTEMS VENTED TO THE OUTDOORS.
  3. CLOTHES DRIVERS SHALL BE VENTED TO THE OUTDOORS.
  4. VENTILATION AIR SHALL COME FROM OUTDOORS AND SHALL NOT BE TRANSFERRED FROM THE ADJACENT DWELLING UNITS, GARAGES OR CHANGING SPACES.
  5. VENTILATION SYSTEM CONTROLS SHALL BE LABELED AND THE HOME OWNER SHALL BE PROVIDED WITH INSTRUCTIONS ON HOW TO OPERATE THE SYSTEM.
  6. COMBUSTION APPLIANCES SHALL BE PROPERLY VENTED AND AIR SYSTEMS SHALL BE DESIGNED TO PREVENT BACK DRAFTING.
  7. THE WALL AND OPENINGS BETWEEN THE HOUSE AND THE GARAGE SHALL BE SEALED.
  8. HABITABLE ROOMS SHALL HAVE WINDOWS WITH A VENTILATION AREA OF AT LEAST 4% OF THE FLOOR AREA.
  9. MECHANICAL SYSTEMS INCLUDING HEATING AND AIR CONDITIONING SYSTEMS THAT APPLY AIR TO HABITABLE SPACES SHALL HAVE SEVEN (7) FILTERS OR BETTER.
  10. AIR INLET (NOT EXHAUST) SHALL BE LOCATED AWAY FROM KIDNEY CONTAMINANTS.
  11. AIR MOVING EQUIPMENT USED TO MEET EITHER THE WHOLE BUILDING VENTILATION REQUIREMENTS OR THE LOCAL VENTILATION REQUIREMENT SHALL BE RATED IN TERMS OF AIRFLOW AND SOUND.
  12. ALL CONTINUOUSLY OPERATING FANS SHALL BE RATED AT A MAXIMUM OF 1.0 SONE.
  13. INTERMITTENTLY OPERATED LOCAL EXHAUST AND VENTILATION FANS SHALL BE RATED AT A MAXIMUM OF 1.0 SONE.
  14. INTERMITTENTLY OPERATED AIR MOVING EQUIPMENT INSTALLED OUTSIDE OF HABITABLE SPACES NEED TO MEET SOUND REQUIREMENTS IF THERE IS AT LEAST 4 FEET OF OUTDOOR SPACE BETWEEN THE FAN AND THE HOME OWNER.
  15. A MINIMUM INTERMITTENT VENTILATION AIRFLOW OF 100 CFM IS REQUIRED FOR THE KITCHEN RANGE HOOD AND A MINIMUM INTERMITTENT VENTILATION AREA OF 30 CM² IS REQUIRED FOR THE BATH FAN.

**MINIMUM ROOMS REQUIRED MECHANICAL VENTILATION** PER ASHRAE 62.2 RESIDENTIAL INDOOR AIR QUALITY AND MECHANICAL VENTILATION REPORT, NOTES TO REPORT FOR MORE INFORMATION.  
CONTINUOUS VENTILATION CALCULATION: MIN. AIRFLOW MEASURED IS 0.20" FOR CONTINUOUS OPERATION  
(CFM) 100 / 7.5 = 13.33 CFM (1.1) VENTILATION RATE (MINIMUM CFM @ 0.20")

**REQUIRED:**  
ROOM VENTILATION RATE (CFM) = 4,300 / 110 = 39.09 CFM  
40.00 - 37.5 = 62.50 CFM

**BUILDING DEPARTMENT SUBMITTAL -**

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**STAMP:**



**PROJECT:**

**PICKUP  
RESIDENCE**

23 Harbor Island  
Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-PLN-FLOOR

SHEET TITLE:

**SECOND FLOOR  
MECHANICAL  
PLAN**

SHEET NUMBER:

**A7.2**

PLOT REFERENCE DATE: 09-09-19

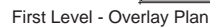
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SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"

STAMP:



PROJECT:

23 Harbor Island  
Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-PLN-FLOOR-OVERL

SHEET TITLE:

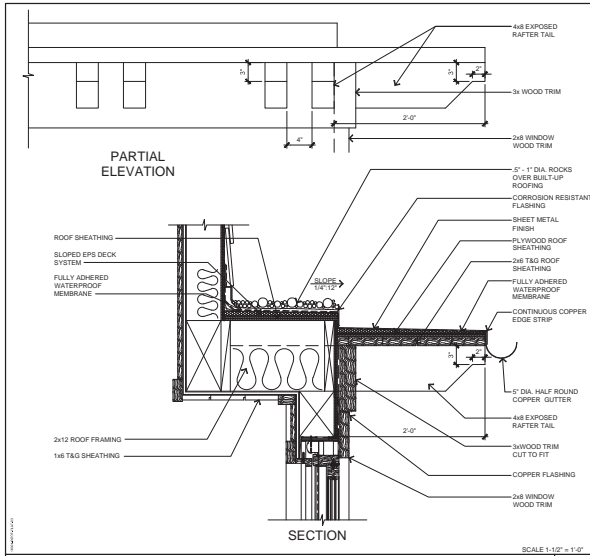
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## A9.1

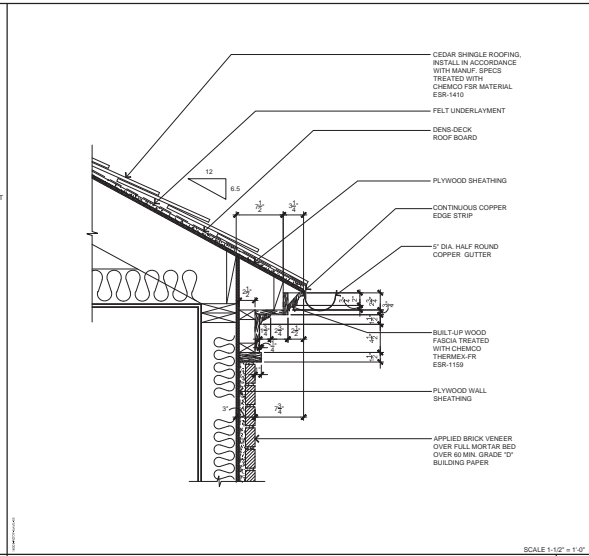
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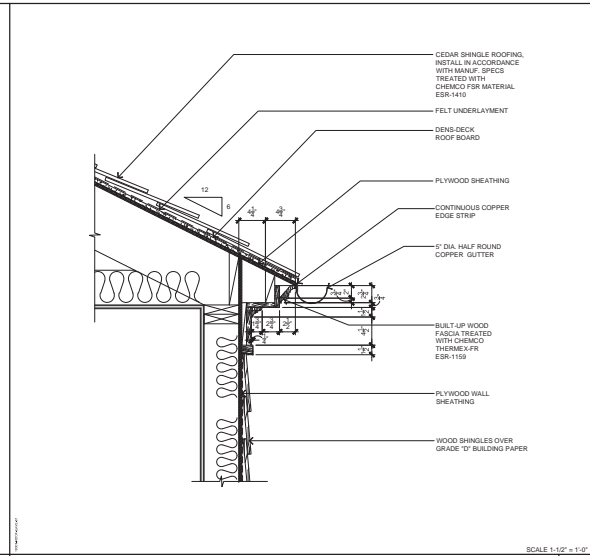
FLAT ROOF AT WINDOW BAY

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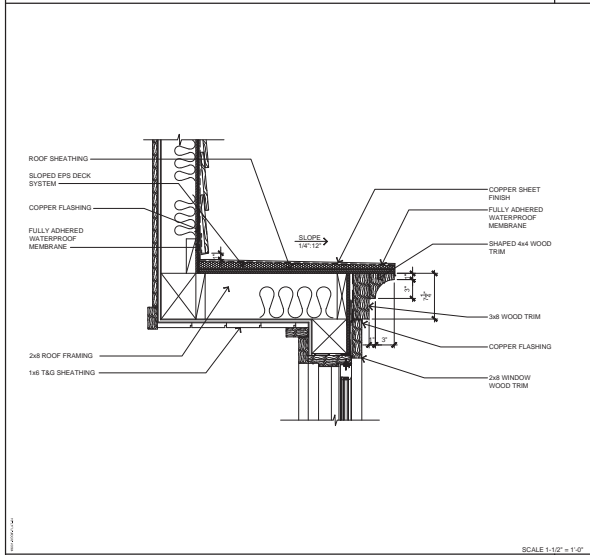
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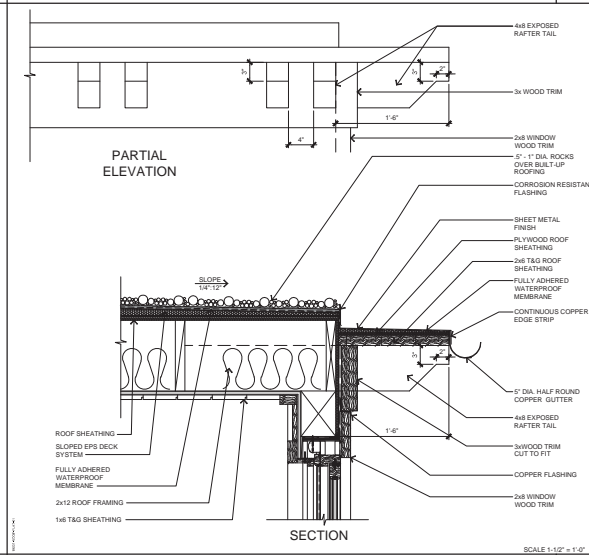
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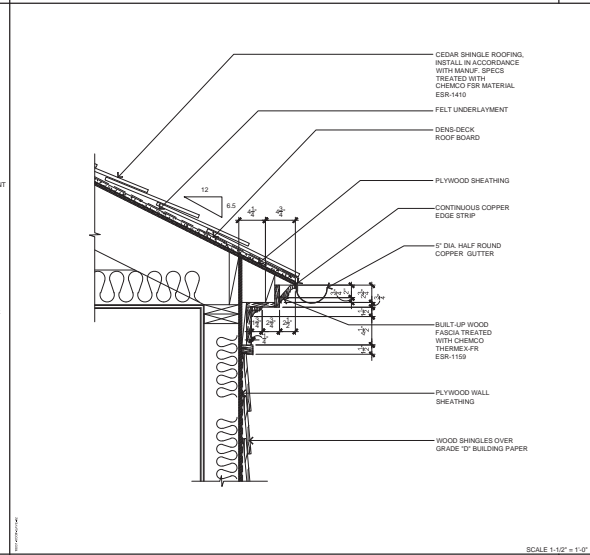
ROOF AT HALL WINDOW BAY

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FLAT ROOF AT WINDOW BAY

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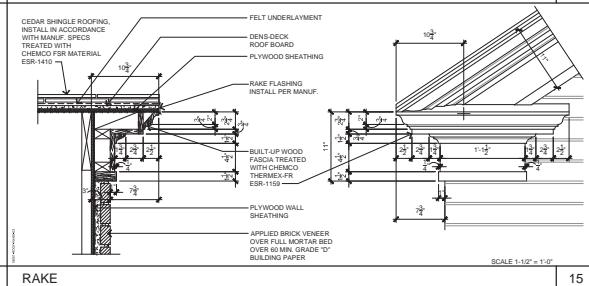
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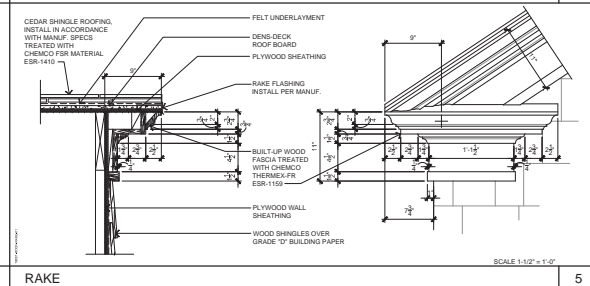
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**BUILDING DEPARTMENT SUBMITTAL - REVISIONS:**

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**STAMP:**

**PICKUP RESIDENCE**  
 23 Harbor Island  
 Newport Beach, CA 92663

Lot 22, Tract 802

TELEPHONE:  
 FAX:

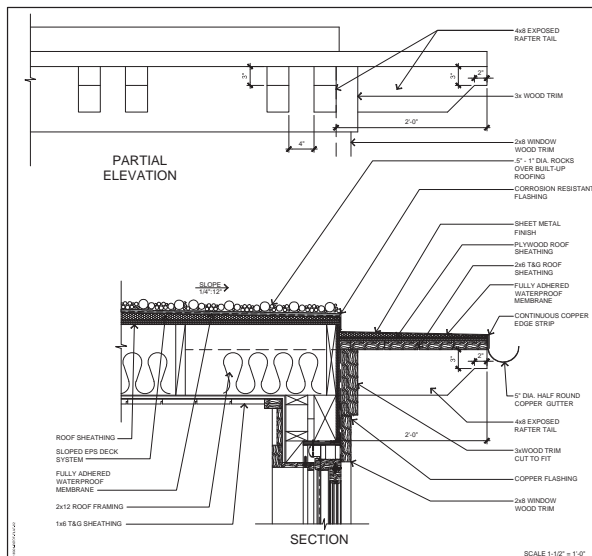
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 PROJECT DESIGNER: BW  
 DRAWN BY:  
 PROJECT NUMBER: 18001  
 PROJECT CAD FILE: 18001-PLN-DETAILS

**ARCHITECTURAL DETAILS**

**D-1.1**

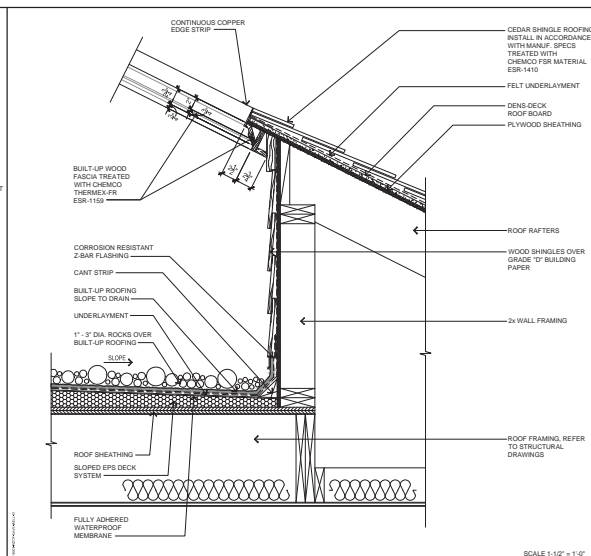
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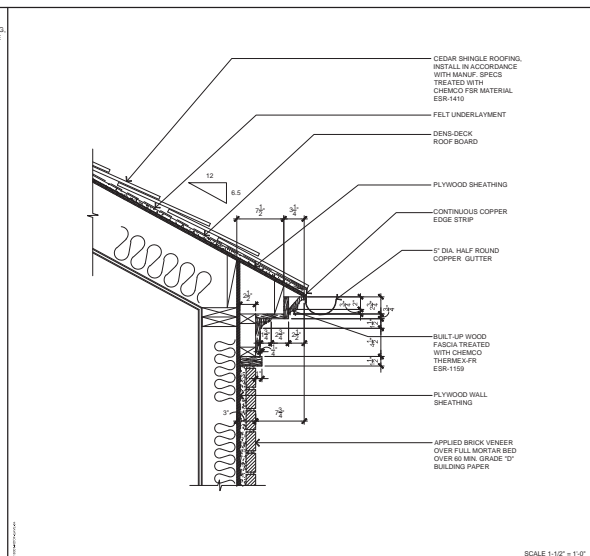
FLAT ROOF AT WINDOW BAY

22



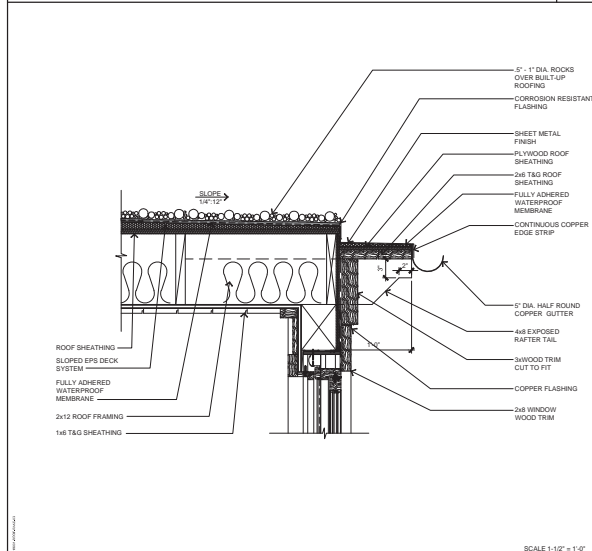
EAVE TRIM AT ROOF WELL WALL

12



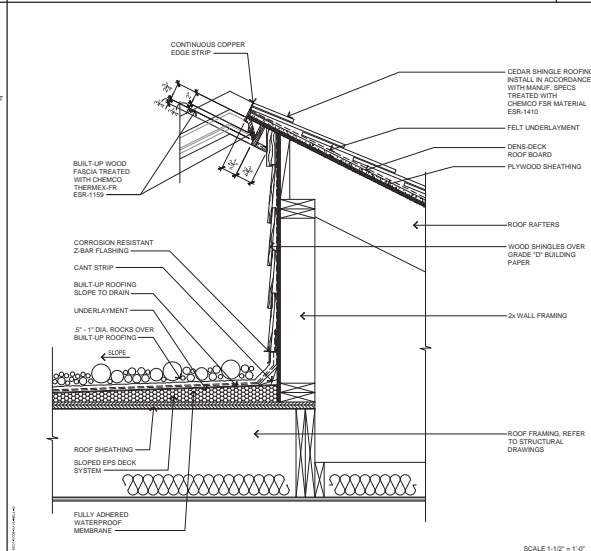
EAVE

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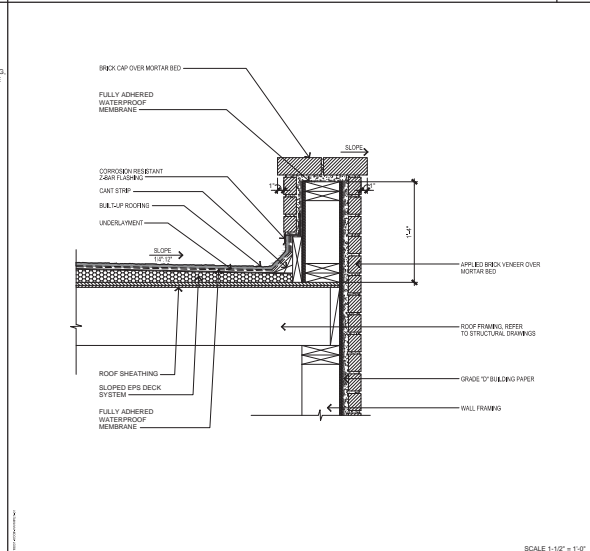
RAKE AT FLAT ROOF

24



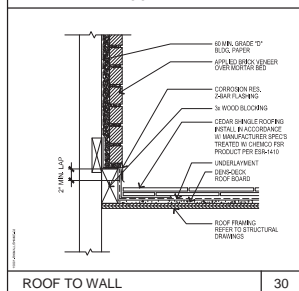
EAVE TRIM AT ROOF WELL WALL

14



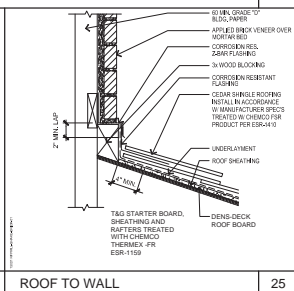
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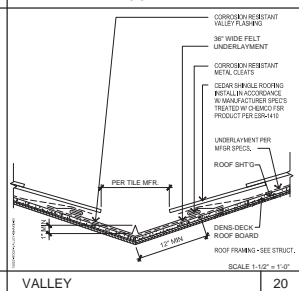
ROOF TO WALL

30



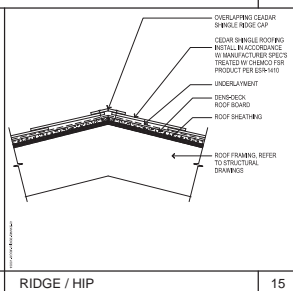
ROOF TO WALL

25



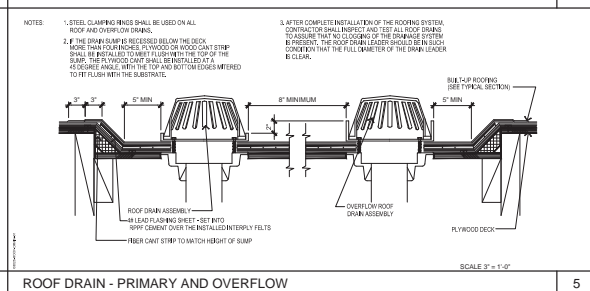
VALLEY

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RIDGE / HIP

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ROOF DRAIN - PRIMARY AND OVERFLOW

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BUILDING DEPARTMENT SUBMITTAL - REVISIONS:	
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SEALED ARCHITECT  
DATE 08/01/19  
BY [Signature]  
STATE OF CALIFORNIA

PROJECT:

PICKUP  
RESIDENCE  
23 Harbor Island  
Newport Beach, CA 92663  
Lot 22, Tract 802

TELEPHONE:

FAX:

PROJECT MANAGER: RR  
PROJECT DESIGNER: BW  
DRAWN BY:  
PROJECT NUMBER: 18001  
PROJECT CAD FILE: 18001-PLN-DET

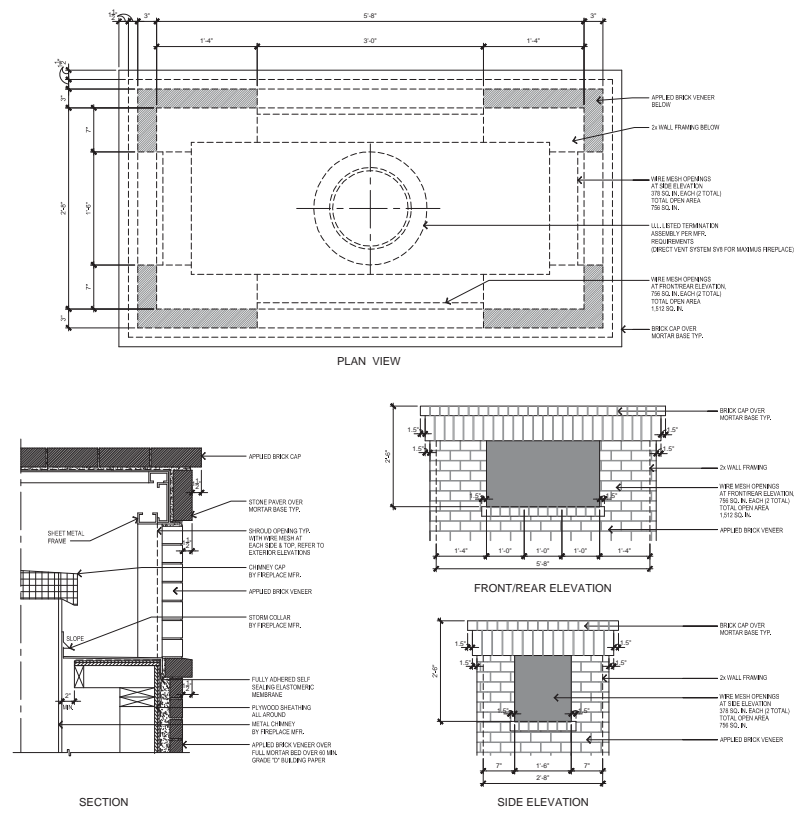
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ARCHITECTURAL  
DETAILS

SHEET NUMBER:

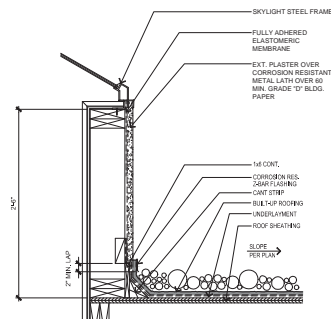
D-1.2

PLOT REFERENCE DATE: 09-09-19



18 CHIMNEY CAP

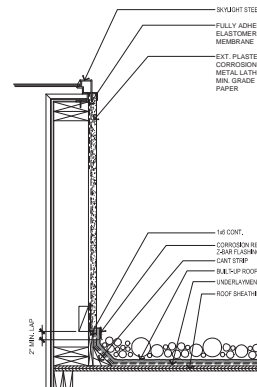
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SKYLIGHT SILL

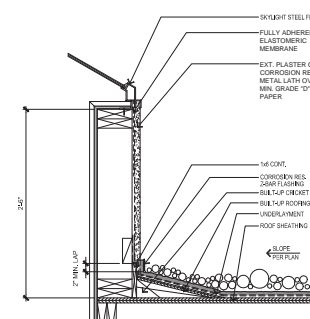
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SKYLIGHT JAMB



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SKYLIGHT HEAD



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BUILDING DEPARTMENT SUBMITTAL -

REVISIONS:

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 PROJECT CAD FILE: 18001-PLN-DETAILS

ARCHITECTURAL  
 DETAILS

SHEET NUMBER:

D-1.3

PLOT REFERENCE DATE: 09-09-19

48





