



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

September 12, 2019  
Agenda Item No. 3

**SUBJECT:** Perkins Residence (PA2019-116)  
▪ Coastal Development Permit No. CD2019-028

**SITE LOCATION:** 2532 Crestview Drive

**APPLICANT:** Craig S. Hampton

**OWNER:** Scott and Heather Perkins

**PLANNER:** Patrick Achis, Planning Technician  
949-644-3237, [pachis@newportbeachca.gov](mailto:pachis@newportbeachca.gov)

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single-Unit Residential Detached – (6.0 - 9.9 DU/AC) (RSD-B)
- **Zoning District :** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single-Unit Residential Detached (RS-D)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

### **PROJECT SUMMARY**

A coastal development permit to allow the demolition of an existing single-family residence and the construction of a new three-story, 4,681-sqaure-foot, single-family residence, including an attached 3-car garage. The project also includes additional appurtenances such as walls, fences, patios, drainage devices, and landscaping. The design complies with all applicable development standards and no deviations are requested.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 Under Class 3 (New Construction or Conversion of Small Structures, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit No. CD2019-028 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for De Minimis Development because the property is located in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-family residence. The neighborhood is predominantly developed with one- and two-story, single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front	10 feet	10 feet
Sides	3 feet	3 feet
Rear	10 feet	10 feet
<b>Allowable Floor Area (max.)</b>	5,440 square feet	4,681 square feet
<b>Allowable 3<sup>rd</sup> Floor Area (max.)</b>	408 square feet	404 square feet
<b>Open Space (min.)</b>	408 square feet	716 square feet
<b>Parking (min.)</b>	3-car garage	3-car garage
<b>Height (max.)</b>	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

- Vehicular access is provided at the rear of the property via a 20-foot City easement. The 10-foot portion of easement located on the subject property (the other 10-feet is located on the property to the south) is utilized as an alley and no above grade structures are permitted in order to allow unobstructed vehicle access.

### *Hazards*

- The property is not located on the shoreline. The finished floor elevation of 14.46 feet (NAVD88) exceeds the minimum 9-feet (NAVD88) standard by more than five feet. Impacts from sea level rise is not anticipated at this time for the 75-year life of the proposed improvements.

- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

#### *Water Quality*

- The property is not located within 100 feet of coastal waters. The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather run-off and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

#### *Public Access and Views*

- The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project replaces an existing single-family residence located within an existing gated community on standard R-1 lot with a new single-family residence. The Bayshores Community, a gated community, does not provide public access. The replacement of the existing residence with a new residence does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
- The project site is not located adjacent to a coastal view road, public access way, or coastal viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is on Lower Castaways Park, approximately 1,200 feet northeast, and is not visible from the site.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the

demolition of one single-family residence and the construction of a new 4,681-square-foot single-family residence, including an attached 3-car garage.

### **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

### **APPEAL PERIOD**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

  
Patrick Achis  
Planning Technician  
JM/pa

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans



# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2019-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-028 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE AND ATTACHED 3-CAR GARAGE LOCATED AT 2532 CRESTVIEW DRIVE (PA2019-116)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Craig S. Hampton, with respect to property located at 2532 Crestview Drive, requesting approval of a coastal development permit.
2. The lot at 2532 Crestview Drive is legally described as Lot 44 of Tract 1140.
3. The applicant proposes a coastal development permit to allow the demolition of an existing single-family residence and the construction of a new three-story, 4,681-square-foot, single-family residence, including an attached 3-car garage. The project also includes additional appurtenances such as walls, fences, patios, drainage devices, and landscaping. The design complies with all applicable development standards and no deviations are requested.
4. The subject property is designated Single-Unit Residential Detached (RSD-B) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential Detached (RSD-B [6.0 – 9.9 DU/AC]) and it is located within the Single-Unit Residential (R-1) Coastal Zone District.
6. A public hearing was held on September 12, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.

2. Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 4,681-square-foot single-family residence, including an attached 3-car garage.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

#### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

#### Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 5,440 square feet and the proposed floor area is 4,681 square feet.
  - b. The proposed development provides the minimum required setbacks, which are 10 feet along the front property line abutting Crestview Drive, 3 feet along each side property line and 10 feet along the rear property line.
  - c. The highest guardrail is less than 24 feet from established grade (13.35 feet NAVD88) and the highest ridge is no more than 29 feet from established grade, which comply with the maximum height requirements.
  - d. The project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-family residences with more than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with one- and two-story, single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development.

3. The development is located on an inland property in a developed area approximately 640 feet from the bay. The project site is separated from the bay (the nearest body of water) by several rows of residences. The finished floor elevation of the first floor of the proposed structure is 14.46 feet based on the North American Vertical Datum of 1988 (NAVD88), which complies with the minimum 9.0-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazard areas coupled with the 9.00-foot NAVD88 finish floor elevation will help to ensure the project is reasonably safe for the economic life of the structure.
4. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
5. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials. The project design also addresses water quality through the inclusion of a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
6. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
7. The project site is not located adjacent to a coastal view road, public access way, or coastal viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is on Lower Castaways Park, approximately 1,200 feet northeast, and is not visible from the site.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project replaces an existing single-family residence located within an existing gated community on standard R-1 lot with a new

single-family residence. The Bayshores Community, a gated community, does not provide public access. The replacement of existing residence with a new residence does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Access points to the shore can be found along Coast Highway and nearby Castaways Park.

#### SECTION 4. DECISION.

#### **NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No.CD2019-028, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. The Zoning Administrator of the City of Newport Beach hereby finds this Project exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 12<sup>th</sup> DAY OF SEPTEMBER, 2019.**

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Rosalinh Ung, Zoning Administrator

**EXHIBIT "A"****CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the (MBTA), grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
  - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
3. Best Management Practices (BMP's) and Good Housekeeping Practices (GHP's) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
4. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
5. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
6. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.

7. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
8. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
9. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
10. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
11. Prior to the issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
12. Prior to the issuance of a building permit, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
13. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
14. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
15. Prior to the issuance of a building permit, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
16. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

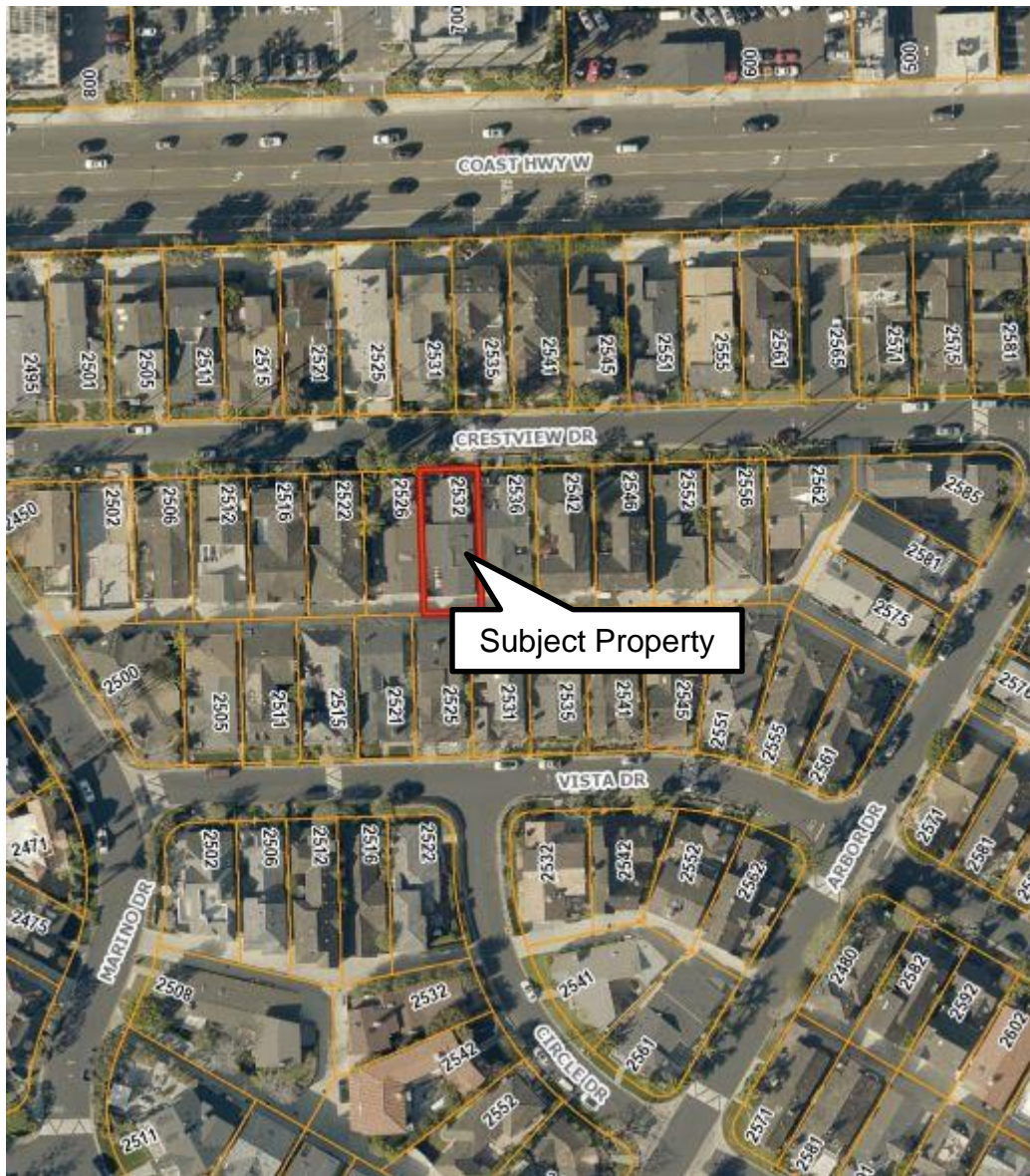
17. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
18. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
19. This Coastal Development Permit No. CD2019-028 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
20. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Perkins Residence including, but not limited to, Coastal Development Permit No. CD2019-028 (PA2019-116)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.



## **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



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Coastal Development Permit No. CD2019-028  
(PA2019-116)

**2532 Crestview Drive**

# **Attachment No. ZA 3**

Project Plans

## PROJECT INFORMATION

CUSTOM RESIDENCE FOR  
Scott & Heather Perkins  
2532 Crestview Drive  
Newport Beach, CA 92663

BUILDER  
Graystone Custom Builders  
Michael Terry  
3419 Via Lido #455  
Newport Beach, CA 92663 (949) 466-0900

JOB ADDRESS  
2532 Crestview Drive  
Newport Beach, CA 92663

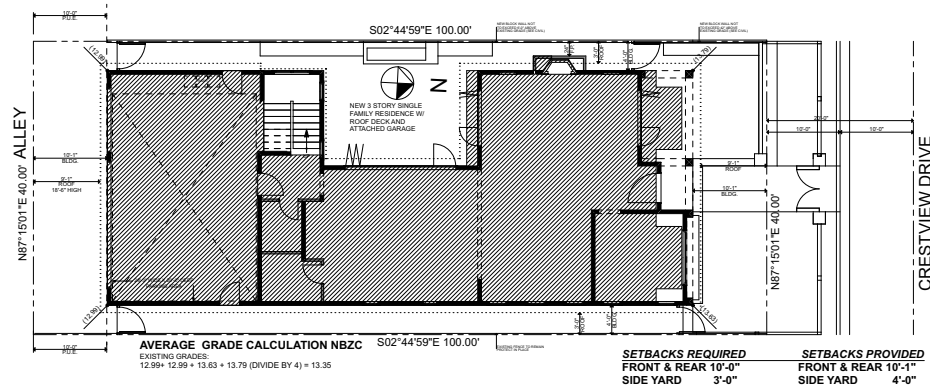
LEGAL  
Lot 44  
Tract 1140  
Zoning R-1  
APN: 049 182 08

SITE  
Lot Area 4,000 sq. ft.  
Buildable Lot Area 2,720 sq. ft.  
Max Bldg. Area (2x Buildable) 5,440 sq. ft.  
Project Bldg. Area (1.86x) 4,681 sq. ft.  
Max Third Floor Area (15%) 408 sq. ft.  
Project Third Floor Area (14.8%) 404 sq. ft.  
Required Open Volume Area (15%) 408 sq. ft.  
Open Volume Area Provided (26%) 716 sq. ft.  
Landscape Area 243 sq. ft.

RESIDENCE (4 bedrooms)  
First Level Floor Area 1,510 sq. ft.  
Second Level Floor Area 2,107 sq. ft.  
Third Level Floor Area 404 sq. ft.  
Total Floor Area 4,021 sq. ft.

Garage Area 660 sq. ft.  
Front Covered Porch 127 sq. ft.  
Roof Deck 264 sq. ft.

OCCUPANCY: R-3, U  
TYPE: V-B fire-sprinkled per NFPA 13D  
ZONING: R-1



SITE PLAN

SCALE: 1/8" = 1'-0"



SHEET INDEX	
ID	Name
1	SITE PLAN
2	FIRST LEVEL FLOOR PLAN
3	SECOND LEVEL FLOOR PLAN
4	THIRD LEVEL FLOOR PLAN
5	ROOF DECK/ROOF PLAN
6	EXTERIOR ELEVATIONS
7	EXTERIOR ELEVATIONS
8	FIRST LEVEL AREA CALCULATIONS
9	SECOND LEVEL AREA CALCULATIONS
10	THIRD LEVEL AREA CALCULATIONS
11	TOPOGRAPHIC SURVEY
C2	GRADING PLAN
C4	EROSION CONTROL PLAN
L1	LANDSCAPE COVER SHEET/GENERAL NOTES
L2	LANDSCAPE PLAN



VICINITY MAP

SITE PLAN

COASTAL SUBMITTAL PACKAGE

2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA  
CUSTOM RESIDENCE FOR  
SCOTT & HEATHER PERKINS  
2532 CRESTVIEW DRIVE  
NEWPORT BEACH, CA 92663

Date: 7/30/19

Scale: 1/8" = 1'-0"

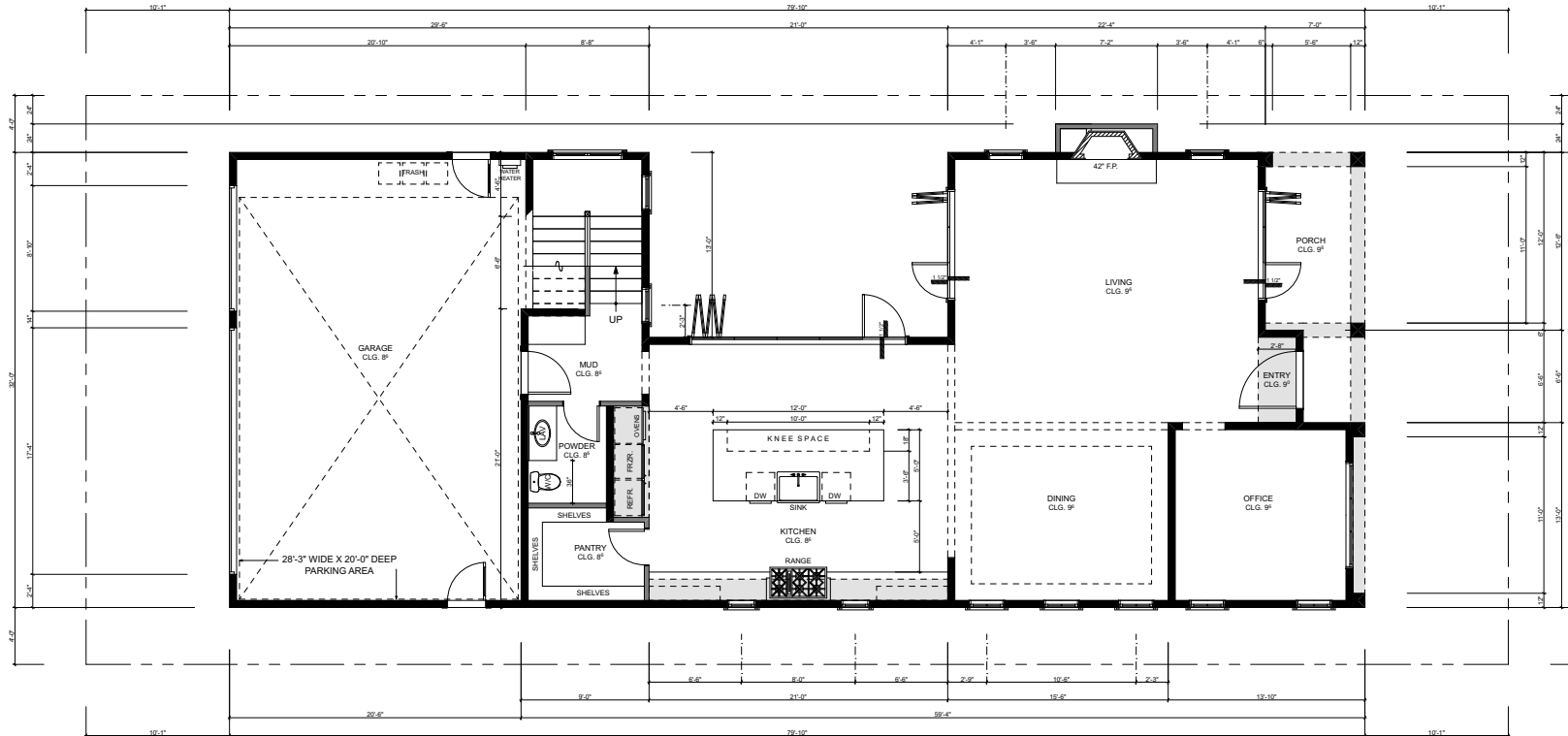
Drawn: CSH

Job: 2019 CRESTVIEW DR

SHEET

1

OF 44 SHEETS

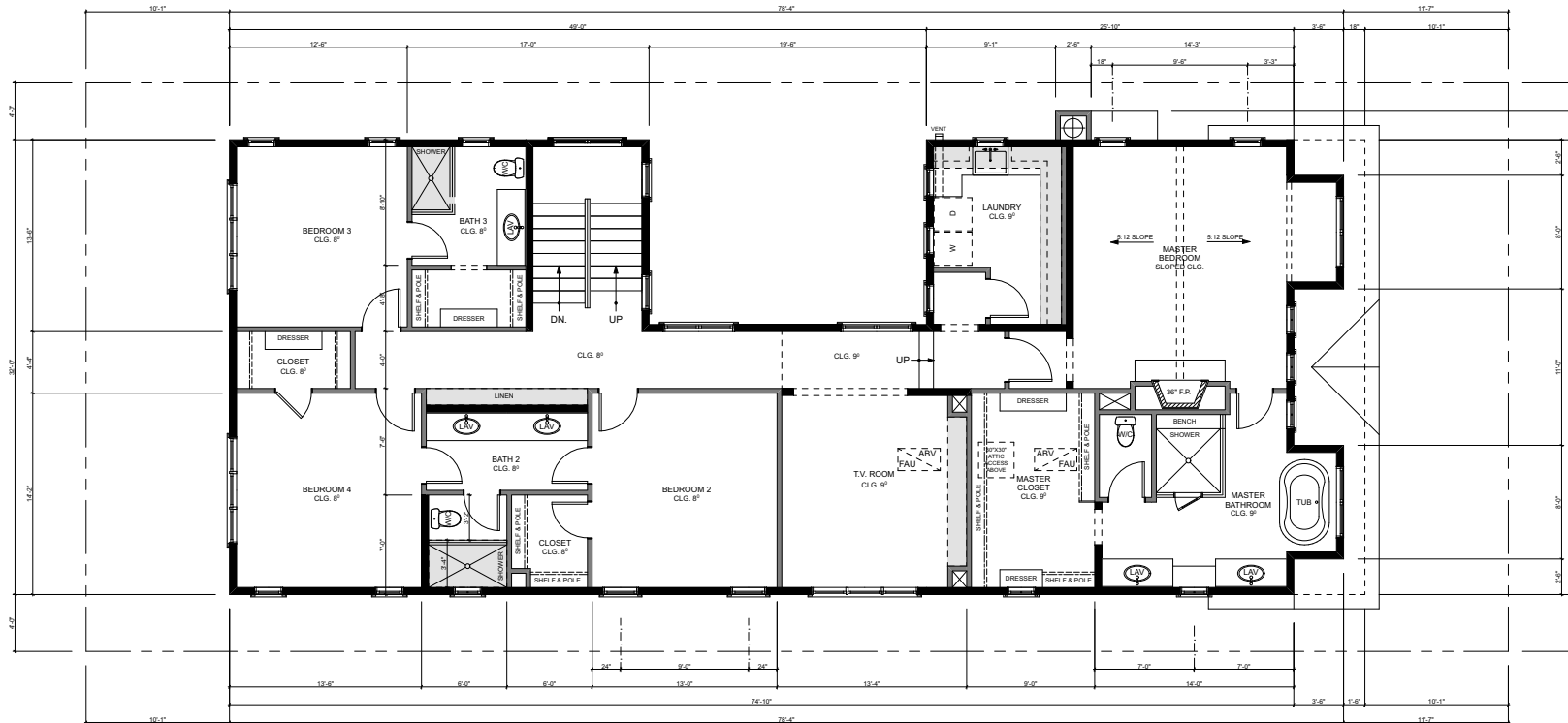


**FIRST LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

SETBACKS REQUIRED		SETBACKS PROVIDED	
FRONT & REAR	10'-0"	FRONT & REAR	10'-1"
SIDE YARD	3'-0"	SIDE YARD	4'-0"

<b>CRAIG S. HAMPTON</b> RESIDENTIAL QUALITY CUSTOM HOMES SINCE 1979 5500 E. CHANDLER BLVD. - SUITE 200 - BIRMINGHAM, AL 35216 205.833.8888 craig@csghampton.com www.csghampton.com	
<b>FIRST LEVEL FLOOR PLAN</b>  <b>CONASTAL SUBMITTAL PACKAGE</b>	2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA <b>CUSTOM RESIDENCE FOR</b> SCOTT & HEATHER PERKINS 2532 CRESTVIEW DRIVE NEWPORT BEACH, CA 92663 (949) 466-0900
Date:	7/30/19
Scale:	1/4" = 1'-0"
Drawn:	CSH
Job:	2032 CRESTVIEW DR.
SHEET	2
OF 44 SHEETS	

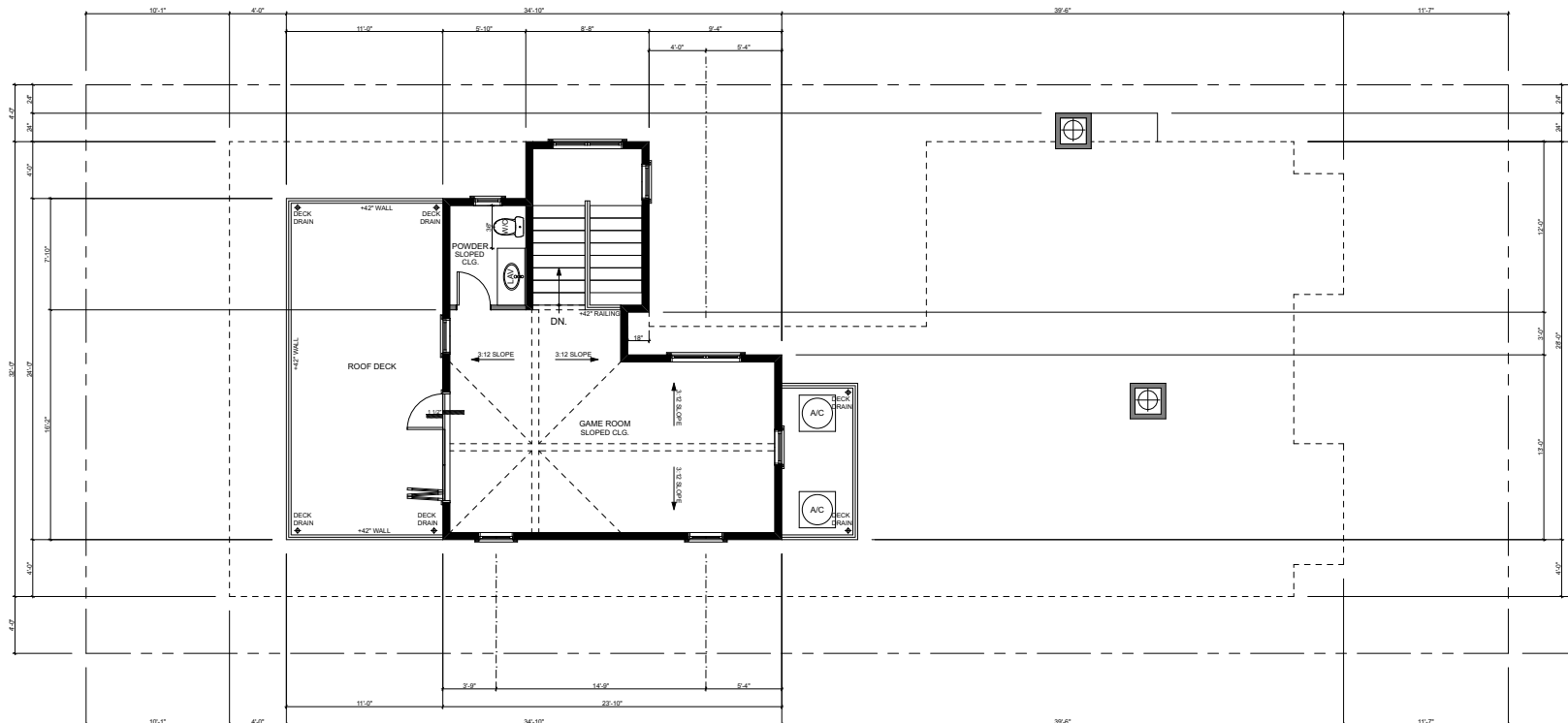


SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

SETBACKS REQUIRED	SETBACKS PROVIDED
FRONT & REAR 10'-0"	FRONT & REAR 10'-1"
SIDE YARD 3'-0"	SIDE YARD 4'-0"

<p><b>CRAIG S. HAMPTON</b> DESIGNING QUALITY CUSTOM HOMES SINCE 1979 5500 E. CHANDLER AVE. SUITE 200 - BIRMINGHAM, AL 35216 craig@csdesigngroup.com 205-988-1234</p>	
<p><b>SECOND LEVEL FLOOR PLAN</b></p>	
<p><b>CONASTAL SUBMITTAL PACKAGE</b></p>	
<p>2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA <b>CUSTOM RESIDENCE FOR</b> SCOTT &amp; HEATHER PERKINS 2532 CRESTVIEW DRIVE NEWPORT BEACH, CA 92663</p>	
<p>Date: 7/30/19</p>	
<p>Scale: 1/4" = 1'-0"</p>	
<p>Drawn: CSH</p>	
<p>Job: 2019 CRESTVIEW DR.</p>	
<p>SHEET</p>	
<p><b>3</b></p>	
<p>OF 44 SHEETS</p>	

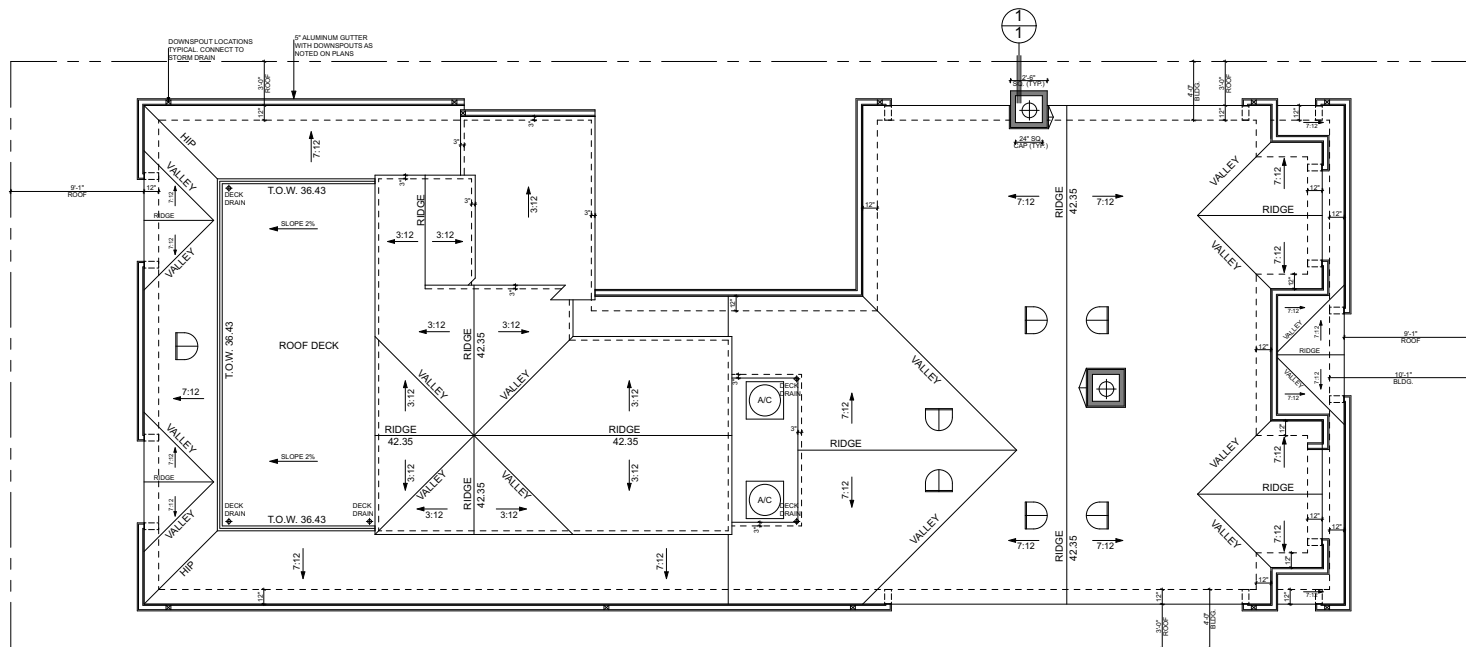


THIRD LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

SETBACKS REQUIRED	SETBACKS PROVIDED
FRONT & REAR 10'-0"	FRONT & REAR 10'-1"
SIDE YARD 3'-0"	SIDE YARD 4'-0"

 <p><b>CRAIG S. HAMPTON</b> ARCHITECT DESIGNING QUALITY CUSTOM HOMES SINCE 1979 5500 E. CRENSHAW BLVD. - SUITE 200 - BEVERLY HILLS, CA 90212 TEL: 310.274.1111 CSH@CRAIGHAMPTON.COM WWW.CRAIGHAMPTON.COM</p>	
<p>THIRD LEVEL FLOOR PLAN</p> <p>CONASTAL SUBMITTAL PACKAGE</p>	
<p>2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA <b>CUSTOM RESIDENCE FOR</b> SCOTT &amp; HEATHER PERKINS 2532 CRESTVIEW DRIVE NEWPORT BEACH, CA 92663</p>	
<p>Date: 7/30/19</p>	
<p>Scale: 1/4" = 1'-0"</p>	
<p>Drawn: CSH</p>	
<p>Job: 2012 CRESTVIEW DR.</p>	
<p>SHEET</p>	
<p>4</p>	
<p>OF 44 SHEETS</p>	



ROOF PLAN

SCALE: 1/4" = 1'-0"

SETBACKS REQUIRED	SETBACKS PROVIDED
FRONT & REAR 10'-0"	FRONT & REAR 10'-1"
SIDE YARD 3'-0"	SIDE YARD 4'-0"

CRAIG S. HAMPTON

REGISTERED QUALITY CUSTOM HOMES SINCE 1979  
5 AND E. CHANDLER BLVD. - BOYNE, IDAHO 83716  
cs@csdesignhamp.com  
www.csdesignhamp.com



ROOF DECK/ROOF PLAN

CONASTAL SUBMITTAL PACKAGE

2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA

CUSTOM RESIDENCE FOR

SCOTT & HEATHER PERKINS  
2532 CRESTVIEW DRIVE  
NEWPORT BEACH, CA 92663

(949) 466-0900

Date: 7/30/19

Scale: 1/4" = 1'-0"

Drawn: CSH

Job: 2019 CRESTVIEW DR.

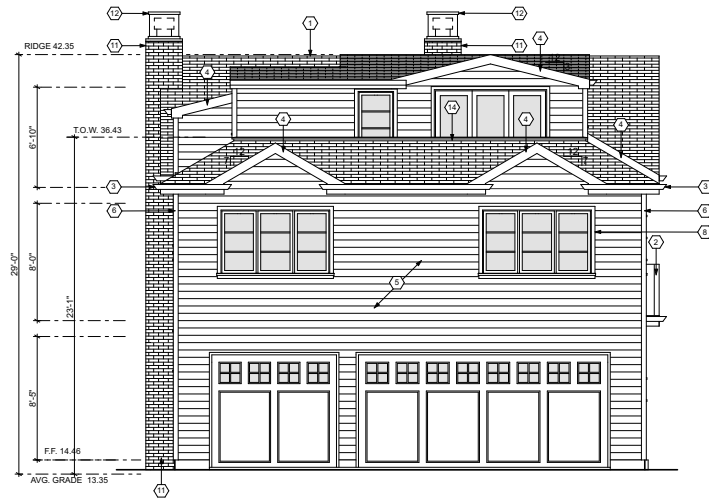
SHEET

5

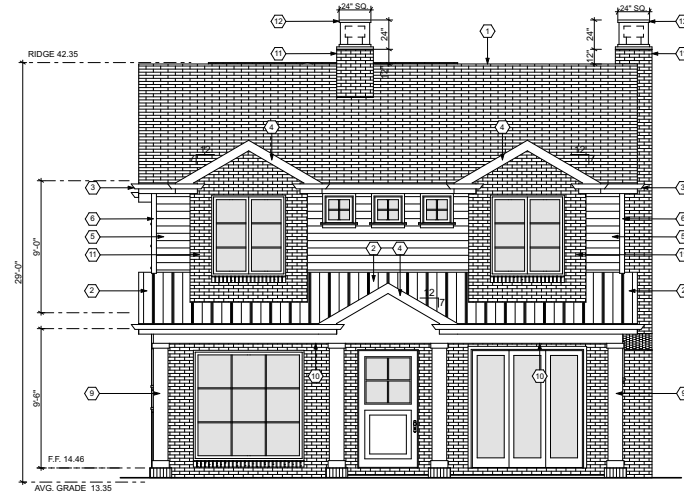
OF 44 SHEETS



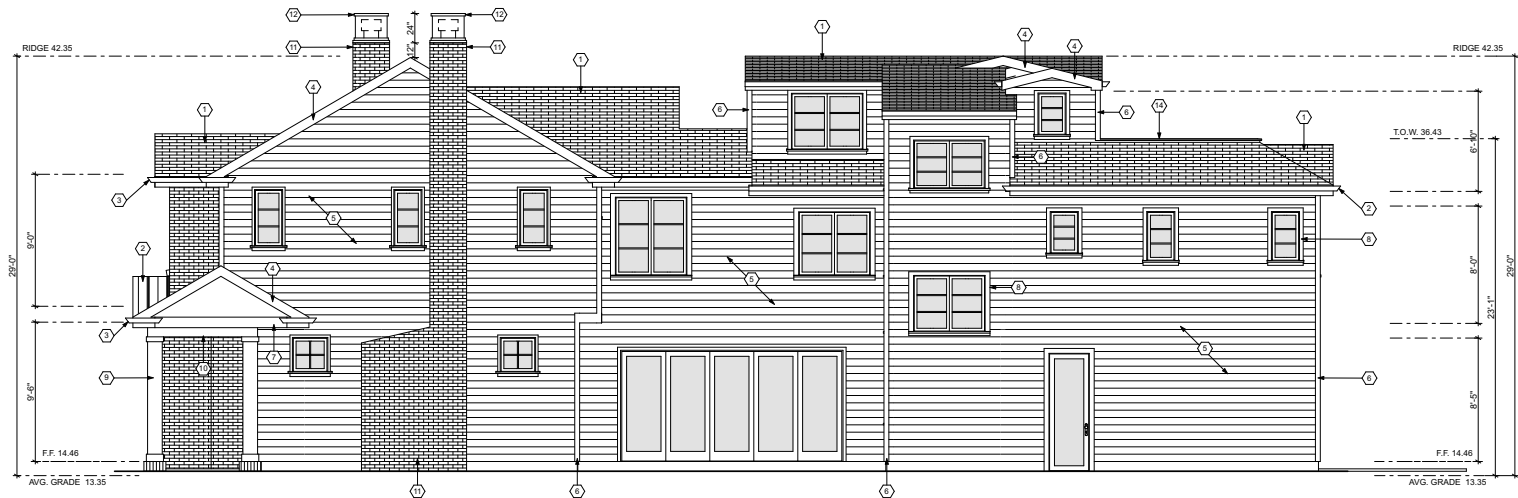
**\*\*HEIGHT CERTIFICATION REQUIRED\*\***



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**CRAIG S. HAMPTON**  
ARCHITECT

DESIGNING QUALITY CUSTOM HOMES SINCE 1979  
5 AND E. QUINN RD. #100 - BOSTON, IDAHO 83716  
craig@csghampton.com  
www.csghampton.com



**EXTERIOR ELEVATIONS**

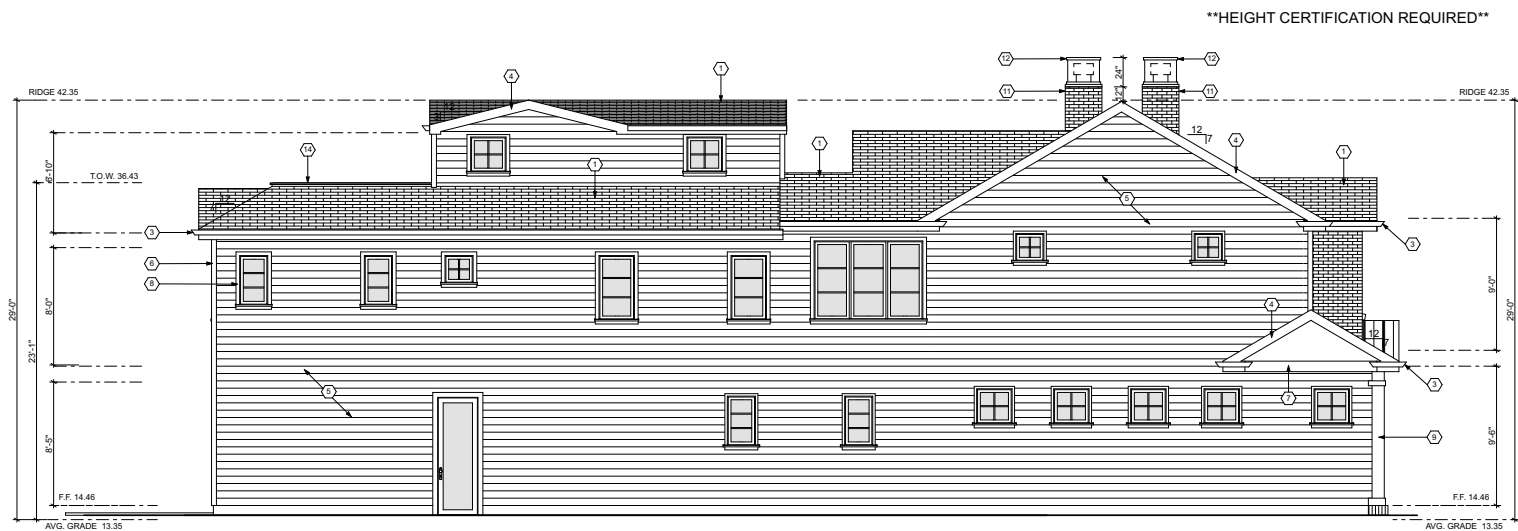
**COASTAL SUBMITTAL PACKAGE**

2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA  
**CUSTOM RESIDENCE FOR**  
SCOTT & HEATHER PERKINS  
2532 CRESTVIEW DRIVE  
NEWPORT BEACH, CA 92663

(949) 466-0900

Date: 7/30/19  
Scale: 1/4" = 1'-0"  
Drawn: CSH  
Job: 2012 CRESTVIEW DR.

**6**  
OF 44 SHEETS



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

**CRAIG S. HAMPTON**  
ARCHITECT  
DESIGNING QUALITY CUSTOM HOMES SINCE 1979  
5500 E. QUARTERWAY, SUITE 100 - BOYNE, IDAHO 83716  
craig@craigshampton.com  
208.325.1234



EXTERIOR ELEVATIONS

CONASTAL SUBMITTAL PACKAGE

2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA  
**CUSTOM RESIDENCE FOR**  
SCOTT & HEATHER PERKINS  
2532 CRESTVIEW DRIVE  
NEWPORT BEACH, CA 92663

(949) 466-0900

Date: 7/30/19

Scale: 1/4" = 1'-0"

Drawn: CSH

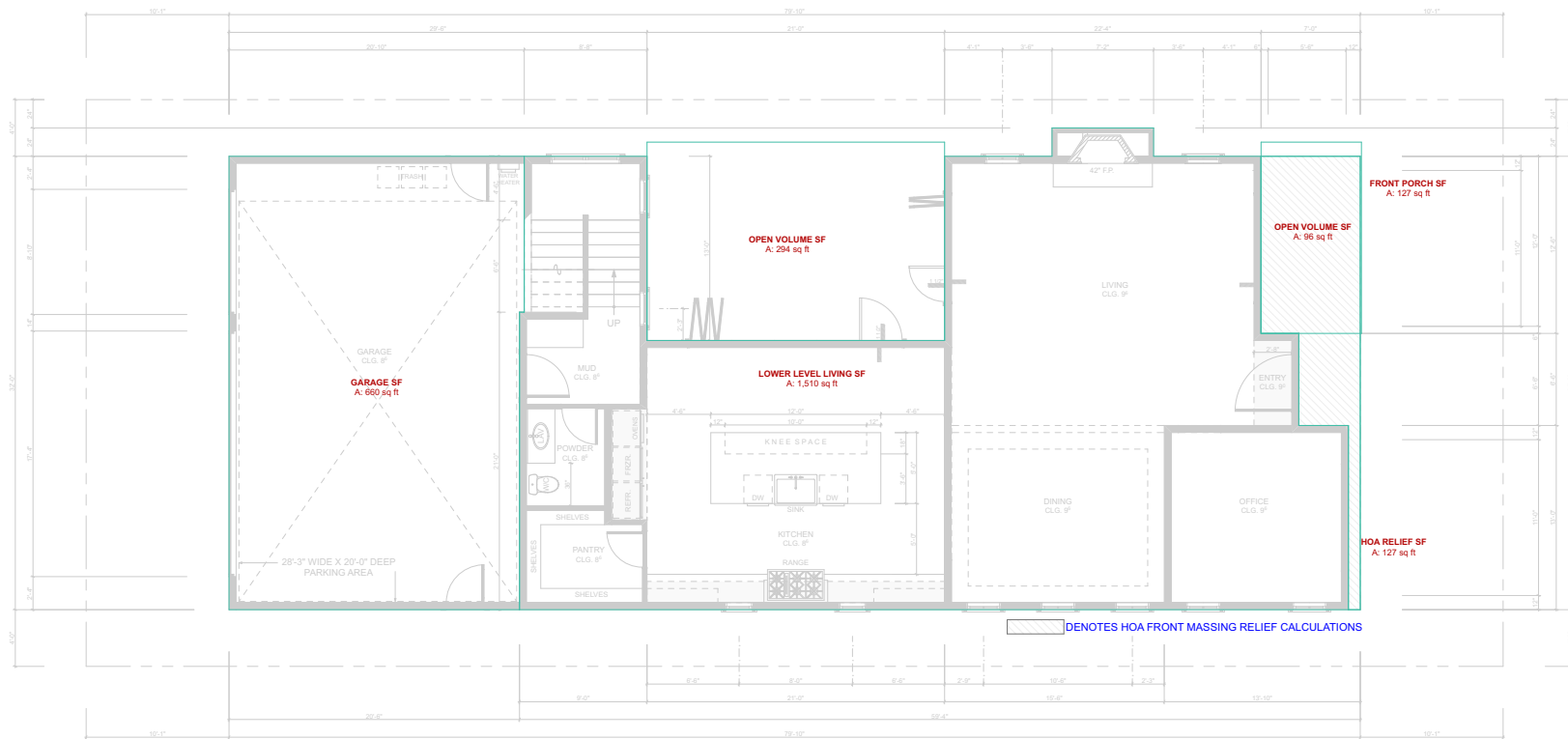
Job: 2022 CRESTVIEW DR.

SHEET

7

OF 44 SHEETS

1/25/19 10:56 AM 2022 CRESTVIEW DR - 08/11/2019 CRESTVIEW DR 08/11/2019 10:56 AM



# FIRST LEVEL AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

## FIRST LEVEL AREA CALCULATIONS

### CONASTAL SUBMITTAL PACKAGE

2532 CRESTVIEW DRIVE, NEWPORT BEACH, CALIFORNIA  
**CUSTOM RESIDENCE FOR**  
SCOTT & HEATHER PERKINS  
2532 CRESTVIEW DRIVE  
NEWPORT BEACH, CA 92663

Date: 7/30/19

Scale: 1/4" = 1'-0"

Drawn: CSH

Job: 2022 CRESTVIEW DR

SHEET

8

OF 44 SHEETS

**CRAIG S. HAMPTON**  
ARCHITECT  
P.L.L.C.

DESIGNING QUALITY CUSTOM HOMES SINCE 1979  
5500 E. CHANDLER AVE. SUITE 200 - BOYNE, IDAHO 83716  
PHONE: 208.385.1885  
craig@craigshampton.com  
www.craigshampton.com



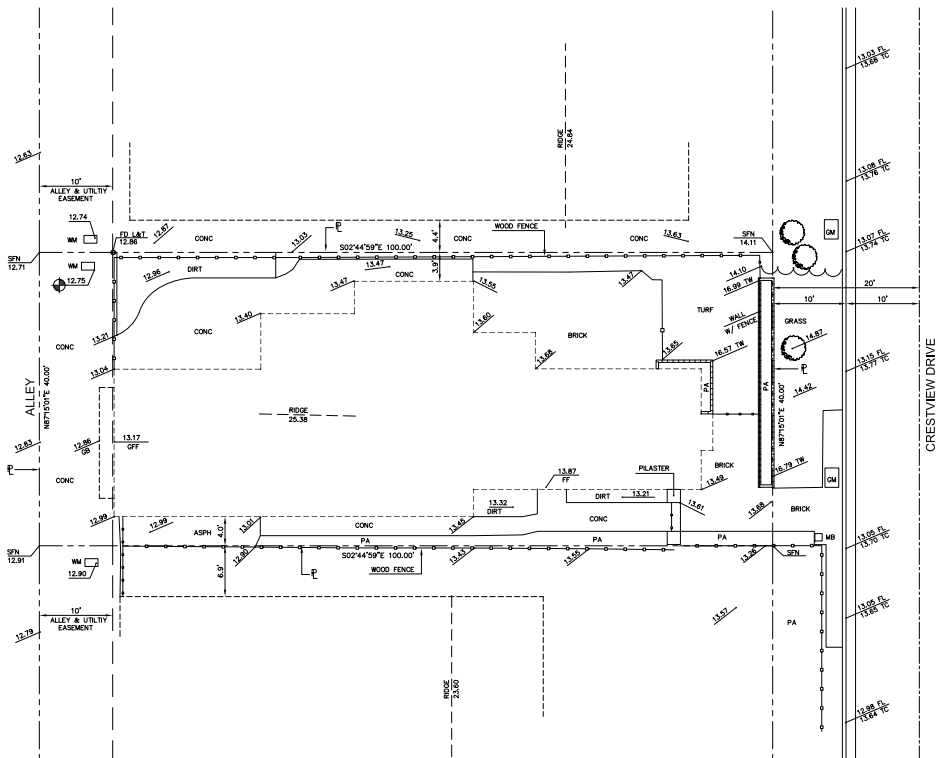




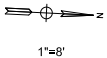
ABBREVIATIONS

AD	AREA DRAIN
CONC	CONCRETE
DI	DROP INLET
DWY	DRIVEWAY
EP	EDGE OF PAVEMENT
FD	FOUND
FL	FLOW LINE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FP	FINISH PAD
FS	FINISH SURFACE
FG	FINISH GRADE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
HH	HANDHOLE
HP	HIGH POINT
I.P.	IRON PIPE
IE	INVERT ELEVATION
OG	ORIGINAL GROUND
PA	PLANTER AREA
PL	PROPERTY LINE
PROP	PROPOSED
PUE	PUBLIC UTILITY EASEMENT
L&T	LEAD AND TACK
MB	MAIL BOX
MON	MONUMENT
NTG	NOTHING
R/W	RIGHT OF WAY
SWK	SIDE WALK
S.F.N.	SEARCHED FOUND NOTHING
SPK	SPIKE
SMH	SEWER MANHOLE
T.B.M.	TEMPORARY BENCHMARK
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TOC	TOP OF CONCRETE
TP	TOP OF PILASTER
TW	TOP OF WALL
WM	WATER METER
WV	WATER VALVE

LOT AREA: 4,000 SF



**SURVEY NOTE:**  
SURVEYOR SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

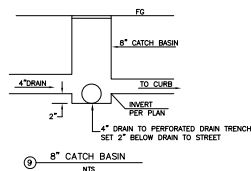
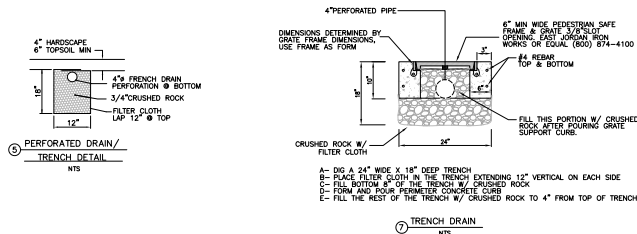


		DESIGNED:	OWNER:	PREPARED BY:	BASIS OF BEARING:	BENCHMARK:	LEGAL DESCRIPTION:	TOPOGRAPHIC SURVEY	SHEET
		DRAWN: TD	GRAYSTONE CUSTOM BUILDERS	FORKERT ENGINEERING & SURVEYING, INC.		OCS BENCHMARK: 3K-23-68	LOT 44 OF TRACT NO. 4011, UNIT THREE	2532 CRESTVIEW DRIVE	11
		CHECKED: TR	3419 VIA LIDO #455	22311 BROOKHURST ST, STE 203		ELEVATION: 10.457 NAVD83	OF BAY SHORES	NEWPORT BEACH, CA	
		DATE: 3/20/19	NEWPORT BEACH, CA 92663	(714) 963-6793		YEAR LEVELED 2015	APN: 049 162 08		OF 44 SHEETS
				JN 9783					

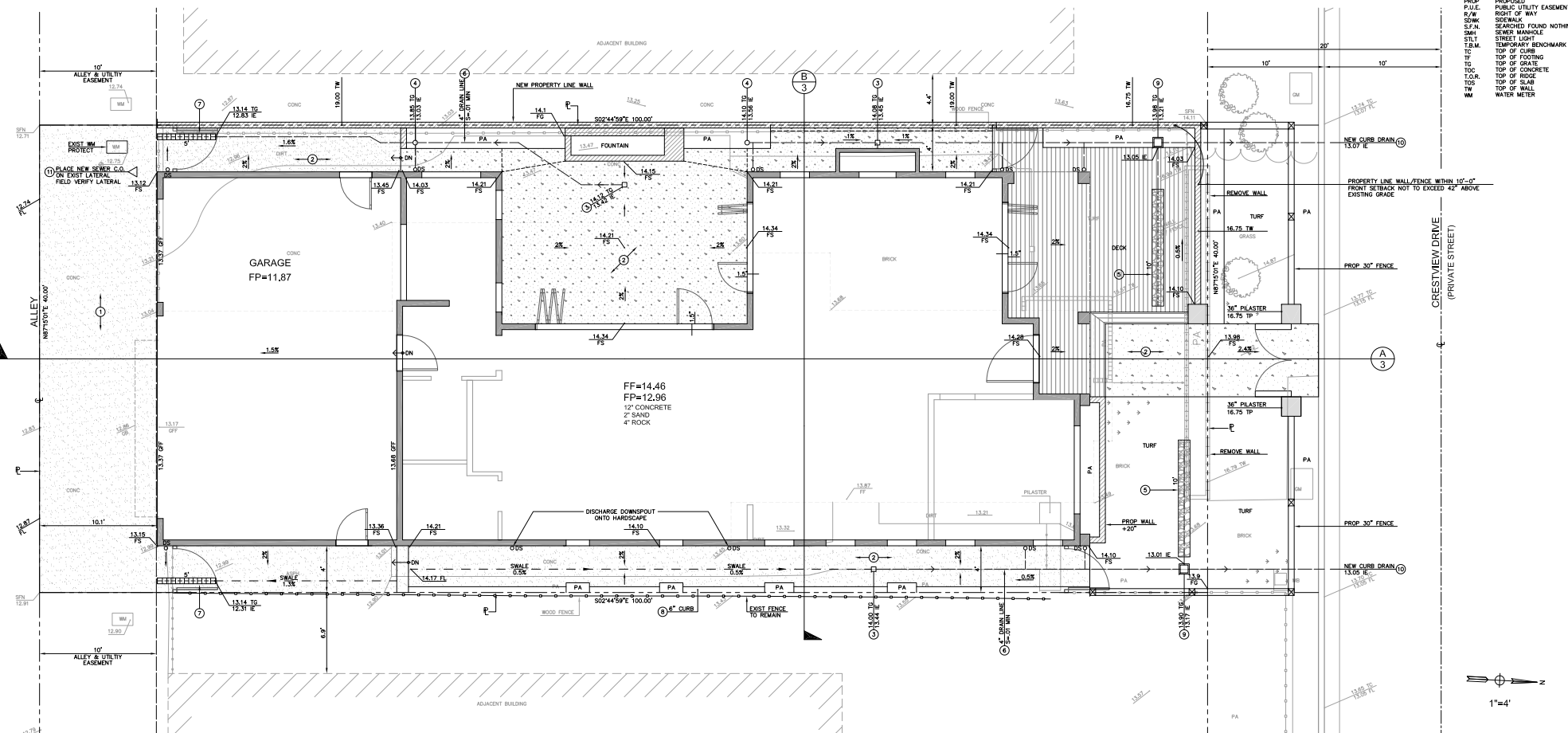



7/26/19  
MICHAEL A. FORKERT DATE

- ① CONSTRUCT 5" MIN CONCRETE DRIVEWAY
- ② CONSTRUCT 4" MIN CONCRETE HARDSCAPE.
- ③ INSTALL 4" SO GRATE DRAIN
- ④ INSTALL 4" ATRIUM GRATE
- ⑤ INSTALL PERFORATED DRAIN TRENCH PER DETAIL, SHEET C2
- ⑥ INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
- ⑦ INSTALL TRENCH DRAIN PER DETAIL, C2
- ⑧ CONSTRUCT CONCRETE CURB
- ⑨ INSTALL CATCH BASIN PER DETAIL, SHEET C2
- ⑩ CONSTRUCT 3" DRAIN THROUGH CURB PER CNB STD PLAN 184-L
- ⑪ INSTALL NEW SEWER CLEANOUT PER STD-406-L ON EXISTING 12" R/W LATERAL VERIFY



ARCH ARCHITECTURAL  
A.C. ASPHALT CONCRETE  
B.B. BASEMENT FINISH FLOOR  
B.F.P. BASEMENT FINISH PAD  
C.C. CEMENT CONCRETE  
C.D. CLEAN OUT  
C.P. CEMENT PORTLAND  
C.R. CRACKED GRANITE  
D.D. DIMENSION  
DWY. DRAINAGE  
E.C. ELEC. MANHOLE  
EP. ELEV. OF PAVEMENT  
E.S. ELEV. OF SURFACE  
EXIST. EXISTING  
FD. FLOOR  
FI. FINISH FLOOR  
FG. FINISH GRADE  
FH. FINISH  
FL. FLOORING  
FF. FINISH  
FS. FINISH SURFACE  
GB. GROUND BENCH  
GF. GROUND FINISH FLOOR  
GM. GROUND MANHOLE  
GA. GAS METER  
H. HANDLE  
HF. HOLE  
IN. INVERTED T-RACK  
N. NORTH  
NG. NORTH MANHOLE  
MH. MONUMENT  
MR. MOUNTAIN  
OC. OCEAN GROUND  
PA. PLANT AREA  
PL. PLANTER AREA  
PUL. PULP  
P.U.E. PUBLIC UTILITY EASEMENT  
R. ROAD  
S.W.K. SIDEWALK  
S.F.N. STREET FINDER  
S.M. STREET MANHOLE  
STLT. STREET LIGHT  
T.C. TOP OF CURB  
T.F. TOP OF FOOTING  
T.G. TOP OF GRADE  
T.O.C. TOP OF CONCRETE  
T.O.R. TOP OF ROOF  
T.O.S. TOP OF SLAB  
T.O. TOP OF WALL  
T.W. TIE  
W. WATER



		DESIGNED:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:			SOILS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:		SHEET	
		DRAWN: MJ	CRAIG S. HAMPTON, INC. 5500 E. QUARTERSAWN ST BOISE, ID 83716 (949) 204-6983	SCOTT & HEATHER PERKINS 2502 CRESTVIEW DRIVE NEWPORT BEACH, CA 92663 (949) 466-0000	FORMERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-4793 JN 9783			COAST GEOTECHNICAL 1200 W. COMMONWEALTH AVE FULLERTON, CA 92648 PH: 714-470-1211 W.O. 575519-01 DATE: MAY 24, 2019	OCS BENCHMARK: 9K-23-68 LOT 44 OF TRACT NO. 4011, UNIT THREE, OF BAY SHORES ELEVATION: 10.457 NAVD83 YEAR LEVELED 2015	PRECISE GRADING PLAN 2532 CRESTVIEW DRIVE NEWPORT BEACH, CALIFORNIA		C2 OF 44 SHEETS	
NO. DATE		REVISIONS											

IN CASE OF EMERGENCY, CALL SCOTT PERKINS (303) 466-0000.

A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPOILED AT CONVENTION LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN IN AN EMERGENCY.

EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL. IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.

GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTIES SHALL BE STABILIZED OR REMOVED FROM THE SITE AT THE END OF EACH DAY'S WORK.

ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINFALL AND BE DISPOSED OF PROPERLY.

A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINFALL. PUMPING AND DRAINING OF ALL BASINS AND PONDAGE SHALL BE DONE IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES FOR THE BASIN.

THE PLACEMENT OF MATERIALS AND DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.

DISCHARGING BASINS MAY NOT BE REVENDED OR MADE UNDESIRABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR.

STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MAINTAINED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.

EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE ON A SHEET PILE, SHOVEL, AER, OR OTHER CONSTRUCTION EQUIPMENT.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL PROVIDED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.

DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND MAINTAINED PROPERLY. IF THERE IS A 60% CHANCE OF QUARTER INCH OR MORE OF PRECIPITATION, AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE CONSTRUCTION SITE. THE CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).

TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINFALL AND DISPERSAL BY WIND.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION TRUCKS AND EQUIPMENT SHALL BE STOPPED AND DEBRIS/SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

ANY SLOPES WITH DISTURBED SOIL OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.

ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

MA-1 MATERIAL DELIVERY AND STORAGE

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

MA-2 MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE MAINTAINED PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

MA-3 SPECIAL REQUIREMENTS FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

MA-4 SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE MATERIALS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

MA-5 SOIL WASH MANAGEMENT

PROVIDE DESIGNATED WASH COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED TRUCKS OR OTHER SECONDARY CONTAINERS ARE REQUIRED TO PROTECT WASH FROM RAIN TO PREVENT WASH POLLUTION AND PREVENT WIND DISPERSAL.

MA-6 HAZARDOUS SOIL MANAGEMENT

HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL, AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

MA-7 PREVENT EROSION AND SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING EXCAVATIONS.

MA-8 CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS SEPARATE. AVOID ON-SITE WASH-OFF EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINAGE AREAS, STREAMS, OR OTHER WATERBODIES. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET, BE BROKEN APART, AND BE DISPOSED OF PROPERLY. CONCRETE THAT IS NOT TO BE DISPOSED OF IS REQUIRED FOR ALL CONCRETE WASTE.

MA-9 SANITARY WASTE MANAGEMENT

UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL, HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1 STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED INTO THE ROAD OR NEIGHBORING PROPERTIES. THE TYPE OF STABILIZATION OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

SE-1 SEEDING STRIPS

SE-2 SEEDING TRAP

SE-3 GRAVEL BARRIERS

ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEMONSTRATED.

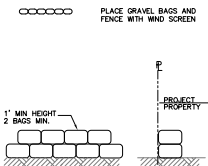
ALL BMPs SHALL BE IN ACCORDANCE WITH MODEL BMPs FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT [WWW.CABMP.HANDBOOKS.COM](http://WWW.CABMP.HANDBOOKS.COM)


(EC1) CONSTRUCT GRAVEL BASIN EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH, MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #SE-6.

(EC2) CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WA-9.

(EC3) CONSTRUCT MATERIALS STORAGE ARE IN ACCORDANCE WITH BMP FACTS SHEET #WM-1.

(ECA) EXISTING WALL TO REMAIN, PROTECT IN PLACE.

[illegible]

		DESIGNED:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:		SOILS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:	EROSION CONTROL CONSTRUCTION POLLUTION PREVENTION 2532 CRESTVIEW DRIVE NEWPORT BEACH, CALIFORNIA	SHEET <b>C4</b> OF 44 SHEETS
		DRWING: MU	CRUJO S. HAMPTON, INC. 5500 E. QUARTERSHAVEN ST BOISE ID 83716 (800) 209-8883	SCOTT & HEATHER PERKINS 2502 CRESTVIEW DRIVE NEWPORT BEACH, CA 92663 (949) 466-0900	22311 BROOKHURST ST. STE 303 HUNTINGTON BEACH, CA 92646 (714) 965-0733 JN 9783		COAST GEOTECHNICAL 1220 W. COMMONWEALTH AVE FULLERTON, CA 92633 PH: 714-875-5211 W.D. 575519-01 DATE: MAY 24, 2019	OCS BENCHMARK: 3K-23-68  ELEVATION: 10.457 NAVD80 YEAR LEVELED 2015	LOT 44 OF TRACT NO. 4011, UNIT THREE OF BAY SHORES  APN: 049 182 08		
NO.	DATE	REVISIONS									





## LANDSCAPE DESIGNER



**RYAN BURRESS INC**  
LANDSCAPE DESIGN & BUILD

RYAN@RYANBURRESS.COM  
714-975-1434  
LIC# 946479

### NOTICE TO CONTRACTORS:

- CONTRACTORS SHALL NOTIFY RYAN BURRESS INC. OF ANY ERRORS, OMISSIONS, DISCREPANCIES, OR SPECIFICATIONS SO THAT RYAN BURRESS INC CAN CORRECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL WORK SHALL BE DONE IN COMPLIANCE OF LOCAL CODES AND STANDARD INDUSTRY PRACTICE.
- ALL WORKMANSHIP SHALL BE OF QUALITY TO PASS INSPECTIONS BY APPLICABLE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL SUBMIT ALL "SUBSTITUTIONS OR EQUALS" FOR APPROVAL TO RYAN BURRESS INC.
- DO NOT SCALE DRAWINGS

## PROJECT DESCRIPTION

2532 CRESTVIEW DR, NEWPORT BEACH WILL BE A NEW CONSTRUCTION PROJECT. LANDSCAPE WILL BE A TRADITIONAL STYLE, UTILIZING DROUGHT TOLERANT PLANTING PUT IN PLACE BY BOTH CITY AND STATE REGULATIONS.

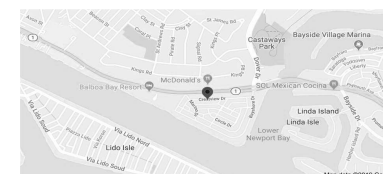
### LANDSCAPE AREA TOTALS

- TOTAL LOT AREA = 4,000
- TOTAL HOUSE FOOTPRINT (INCLUDING GARAGE) = 2297 sqft
- TOTAL NON-LANDSCAPE AREA = 1460 sqft
- TOTAL LANDSCAPE AREA = 243 sqft
- TOTAL LAWN AREA = N/A

RYAN D. BURRESS  
4-30-2019

## SHEET INDEX

L-00 COVER SHEET  
L-01 CONSTRUCTION PLAN



VICINITY MAP



**RYAN BURRESS INC**  
LANDSCAPE DESIGN & BUILD

July 30, 2019

RYAN BURRESS

P.O. BOX 7326  
NEWPORT BEACH, CA 92668  
714.975.1434  
RYAN@RYANBURRESS.COM  
LIC# 946479

CLIENT

SCOTT & HEATHER PERKINS  
2532 CRESTVIEW DR  
NEWPORT BEACH, CA 92663

LOT# 44

TRACT# 1140

SHEET  
**L1**  
OF 44 SHEETS

SCALE - 1/4" = 1'

PERMITS

PERMITS COMPLIANCE OPTION

- (A) The applicant contains prescriptive requirements which may be used as a compliance option to the Ordinance.  
(B) Compliance with the following items is mandatory and must be documented in a landscape plan in order to use the prescriptive compliance option.  
(C) Submit a Landscape Documentation Package which includes the following elements:  
(1) Project location.  
(2) Project site plan (if available, partial and/or full number).  
(3) Total landscape area (square feet), including a breakdown of turf and plant material (with plant type (e.g., tree, shrub, etc.), public, private, cemetery, homeowner, etc.).  
(4) Water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a public well.  
(5) Contact information for the project applicant and property owner.  
(6) Applicant signature and date with statement "I agree to comply with the requirements of the prescriptive compliance option to the MAMC."  
(7) Nonresidential property at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless noted by a local code).  
(8) Plant material shall comply with all of the following:  
(a) For residential areas, plant material adapted plants that require occasional little or no summer water (average WUCOL score factor 0.5) for 75% of the plant area excluding golf courses and areas using recycled water for non-residential areas. Plant material adapted plants that require occasional little or no summer water (3).  
(b) For non-residential areas, plant material adapted plants that require occasional little or no summer water (average WUCOL score factor 0.5) for 75% of the plant area excluding golf courses and areas using recycled water for non-residential areas. Plant material adapted plants that require occasional little or no summer water (3).  
(c) Minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, except on existing ground covers, or directly seeded applications where it is not recommended.  
(d) Turf shall not exceed 25% of the landscape area in residential areas, and turf shall not be planted in non-residential areas.  
(e) Turf shall not be planted in steep areas which exceeds a slope of 1 foot vertical elevation change for every 4 feet of horizontal length.  
(f) Turf prohibited in parkways less than 10 feet wide, unless the parkway is adjacent to a parking strip and used to enter and/or exit vehicles. Any turf in parkways must be irrigated by sub-surface irrigation, or by other technology that creates no evaporation or runoff.  
(g) Irrigation systems shall comply with the following:  
(1) Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data.  
(2) Irrigation controllers shall be of a type which does not use programming data in the event the primary power source is interrupted.  
(3) Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range.  
(4) Manual shut-off valves (such as gate valves, ball valves, or butterfly valves) shall be installed as close as possible to the point of connection of the water supply.  
(5) An irrigation system shall be installed that meets the requirements of the ASPE standard, ASABE/ICC 2014, "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity coefficient (CU) of 0.95 or higher using the procedure set forth in ASABE/ICC 2014.  
(6) At the time of final inspection, the permit applicant must provide the 30

- owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape irrigation maintenance.  
BY SIGNING BELOW, I AGREE TO ALL PROVISIONS PROVIDED IN THE APPENDIX "F" OF THE NEWPORT BEACH LANDSCAPE ORDINANCE.

SIGN: [Signature Line]

DATE: 2-10-2015

IRRIGATION INFORMATION

- 1) WATER SUPPLY IS A POTABLE WATER SOURCE ON THIS SITE.  
2) A BACKFLOW PREVENTION VALVE SHALL BE INSTALLED. THIS CONTROLLER COMPLIES WITH ALL STATE AND CITY ORDINANCES.  
3) A PRESSURE REGULATOR SHALL BE INSTALLED TO COMPLY WITH CHAPTER 14.17 ALL VALVES WILL BE 3/4" ANTI-SIPHON VALVES. THIS COMPLIES WITH CITY ORDINANCE.  
4) MAIN SHUT-OFF VALVES WILL BE INSTALLED AT MAIN CONNECTION AND EACH MANHOLE LOCATION.  
5) STATIC WATER PRESSURE IS 60 PSI.  
6) AVAILABLE WATER CAPACITY IS 15-18.  
7) I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND DESIGN STANDARDS, AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.  
X. SIGNATURE: [Signature]

ADDITIONAL NOTES

- 1) INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).  
2) A MINIMUM 5 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRA-INDICATED.  
3) TURF DOES NOT EXCEED 25% OF THE LANDSCAPE AREA AND TURF WILL NOT BE PLANTED IN NON-RESIDENTIAL AREAS.  
4) PRIOR TO PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRAGILE CONDITION, ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED TO MEET THE REQUIREMENT.

PLANTING LEGEND

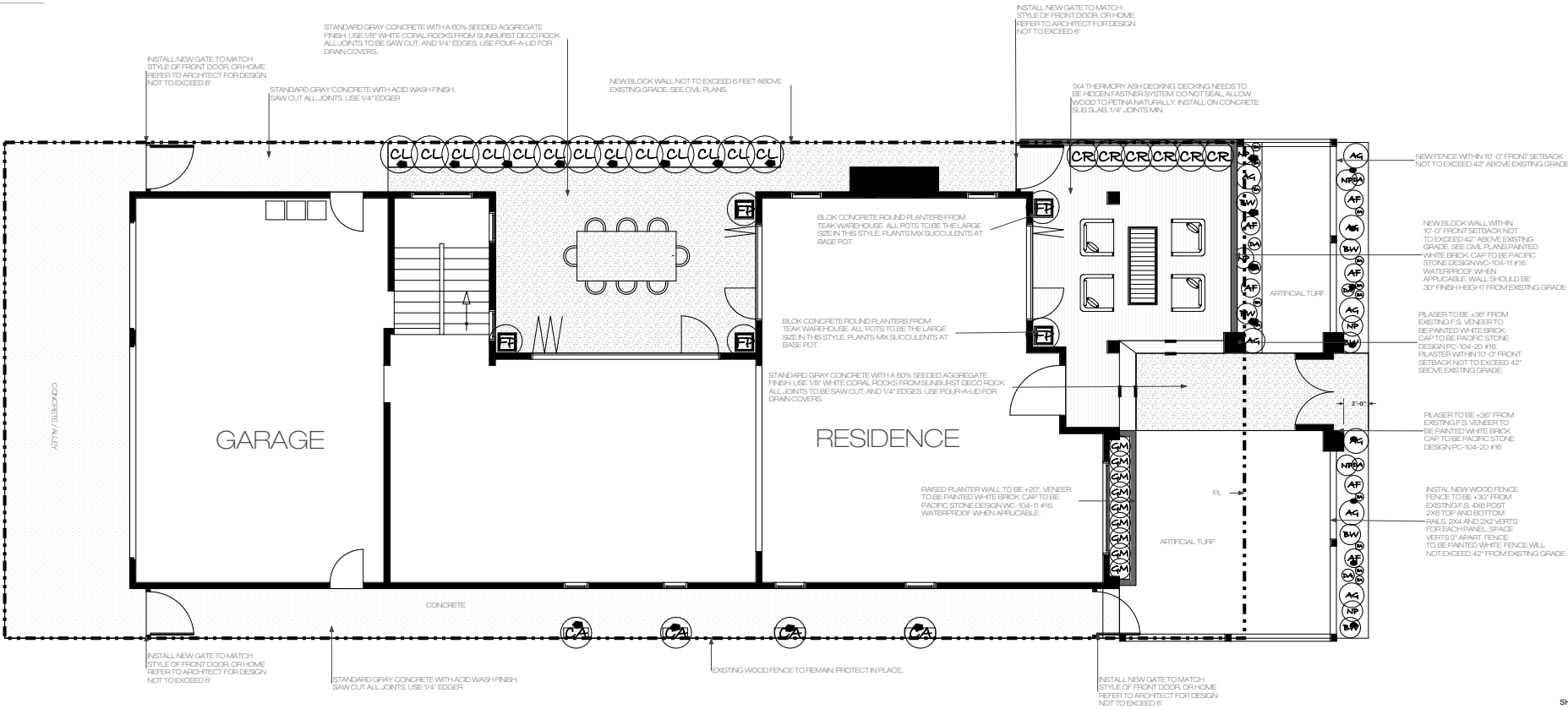
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	FF	HEIGHT AT MAT. (ft.)
CA	CAMILLA	Camellia japonica 'Alba Plena'	5	15 GAL	.2	6'
AG	FOXTAIL AGAVE	AGAVE ATTENUATA	5	15 GAL	.2	3'
NP	NANA	PITTSBORUM COMPACTA 'NANA'	4	5 GAL	.2	2'
BW	BOWWOOD	BLUKUS WINTER GEM 'GLOBE'	4	5 GAL	.2	2.5'
EA	ECHOVERIA	ECHOVERIA AFTERGLOW	10	4"	.2	25"
DA	AEONUM	AEONUM 'SALAD BOWL'	5	1 GAL	.2	1'
CL	CAROLINA LAUREL	PRUNUS CAROLINA LAUREL BRIGHT 'N-TIG-H'	15	15 GAL	.2	8'
FP	FELT PLANT	Azalea chrysantha	5	15 GAL	.2	3'
CR	WESTRINGIA	Westringia frutescens 'WES04' Grey Box	6	5 GAL	.2	2'
GM	GULF GREEN	ZEPHYRUS UNIFORME 'MINOR' (Gulf Green)	9	5 GAL	.2	2'

LIGHTING SCHEDULE

- MODEL TOP-UL-148 (TOPUL HTLED)  
— MODEL TOP-PL-414 (TOPUL HTLED)  
— MODEL TOP-UL-464 (TOPUL HTLED)

ALL LIGHTS NEED TO BE LED WARM WHITE. MUST REQUEST THE LUMEN ORDER FROM TOP LIGHTS. TRANSFORMER NEEDS TO BE MODEL TOP-UL-150-SL. MAKE SURE YOU PURCHASE LED ORDER ONE TRANSFORMER FOR FRONT AND ONE FOR BACK.

CONSTRUCTION PLAN



SHEET  
L2

OF 44 SHEETS

July 30, 2019

2532 CRESTVIEW DR, NEWPORT BEACH, CA | PERKINS RESIDENCE