



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

August 15 2019
Agenda Item No. 7

SUBJECT: 944 Via Lido Nord House Demolition (PA2018-279)
▪ Coastal Development Permit No. CD2018-111
SITE LOCATION: 944 Via Lido Nord
APPLICANT: W.T. Durant, Inc.
OWNER: The 944 Via Lido Nord Trust
PLANNER: Joselyn Perez, Planning Technician
949-644-3312, jperez@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **General Plan:** Single-Unit Residential Detached (RS-D)
- **Zoning District :** Single-Unit Residential (R-1)
- **Coastal Land Use Category:** Single-Unit Residential Detached – (10.0-19.9 DU/AC) (RSD-C)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A request for a coastal development permit (CDP) to allow the demolition of an existing 4,939-square-foot single-family residence and the improvement of a private lawn area for the same property owner located at 940 Via Lido Nord. The new improvements consist of the installation of approximately 4,027 square feet of new landscaped and hardscaped areas. The existing property line walls, the existing cantilevered patio, the existing dock, and the existing bulkhead will not be demolished and will be left in their current locations.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2018-111 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. Because the property is located in the Coastal Commission Appeal Area, a coastal development permit is required and a De Minimis Waiver cannot be issued. The project is not eligible for a Categorical Exclusion from the need to obtain a coastal development permit due to its location on the waterfront.
- The subject property is currently developed with a single-family home on an existing lot designated for residential development by the Local Coastal Program. The project applicant requests to demolish the existing 4,939-square-foot single-family dwelling.
- Demolition activities will take approximately 10 days and the installation of landscape will commence within 14 days of completion of demolition activities. After the demolition of the existing dwelling, the site will be landscaped for private enjoyment.
- The existing property line walls, the existing cantilevered patio, the existing dock, and the existing bulkhead will not be demolished.
- The front yard area and the eastern side yard area will be planted with shrubs. The majority of the lot will be planted with dymondia. A concrete walk will be installed along the northerly edge of the property and the existing northerly property line wall will be reduced to a height of 2 feet above existing grade. A new 6-foot-high fence will be installed along the front yard setback with shrubbery along the fence.
- Per Section 21.30.085 of the Local Coastal Program, landscaping has been conditioned to have low-water demand and be drought-tolerant. No invasive species are proposed as part of the landscaping plan.
- Subsequent construction of a replacement dwelling will require a separate coastal development permit at a later date.

Water Quality

- A Construction Pollution Prevention Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and

sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials.

- The property is located within 100 feet of coastal waters. As conditioned, the project design will address water quality through the preparation of a final construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site shall be directed to the City's storm drain system.

Public Access

- The project site is located on Lido Isle between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project demolishes an existing single-family dwelling and installs landscape and hardscape. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
- The residential lot does not currently provide nor does it inhibit public coastal access. Development will occur within the confines of private property and existing coastal access conditions will not be affected. Coastal access is currently provided and will continue to be provided by small public beach areas on Lido Isle with access from the water.
- The project site is not located adjacent to a coastal view road nor is it located near any public viewpoint as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas; however, the project will replace an existing single-family residence with a new, open, landscaped area. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment. Class 1 includes the demolition and removal of small

structures including one single-family residence. The proposed project includes the demolition of an existing single-family residence in the R-1 Coastal Zoning District.


PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Joselyn Perez
Planning Technician

RU/jp

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2019-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2018-111 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND INSTALL LANDSCAPING LOCATED AT 944 VIA LIDO NORD (PA2018-279)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by W.T. Durant, Inc., with respect to property located at 944 Via Lido Nord, and legally described as Lot 324 of Track 907, requesting approval of a coastal development permit.
2. The applicant proposes the demolition of an existing 4,939-square-foot single-family residence and the improvement of a private lawn area for the same property owner located at 940 Via Lido Nord. The new improvements consist of the installation of approximately 4,027 square feet of new, open, landscaped and hardscaped areas which will be used by the owner for personal recreation and enjoyment. The existing property line walls, the existing cantilevered patio, the existing dock, and the existing bulkhead will not be demolished and will be left in their current locations.
3. The subject property is located within the Single-Unit Residential (R-1) Zoning District and the General Plan Land Use Element category is Single-Unit Residential Detached (RS-D).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential Detached – (10.0-19.9 DU/AC) (RSD-C) and the Coastal Zoning District is Single-Unit Residential (R-1).
5. A public hearing was held on August 15, 2019 in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt from the California Environmental Quality Act (“CEQA”) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The exceptions to these categorical exemptions under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a

significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

3. Class 1 includes the demolition and removal of small structures including one single-family dwelling. The proposed project includes the demolition of an existing single-family dwelling located in the R-1 Coastal Zoning District.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The subject property is currently developed with a single-family dwelling on an existing lot designated for residential development by the Local Coastal Program. The project applicant requests to demolish the existing single-family dwelling. After the demolition of the existing dwelling, the site will be landscaped for private enjoyment. Per Section 21.30.085 of the Local Coastal Program, landscaping has been conditioned to have low-water demand and be drought-tolerant. The planting of invasive species shall be prohibited. Any subsequent construction will require a separate coastal development permit at a later date.
2. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code and Building Division standards and policies.
3. A Construction Pollution Prevention Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials.
4. The property is located within 100 feet of coastal waters. As conditioned, the project design will address water quality through the preparation of a final construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site shall be directed to the City's storm drain system.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located on Lido Isle between the nearest public road and the sea or shoreline; however the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project demolishes an existing single-family dwelling and installs open landscape. The project includes the demolition of the existing single-family dwelling and the improvement of a private lawn. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
2. The residential lot does not currently provide nor does it inhibit public coastal access. Development will occur within the confines of private property and existing coastal access conditions will not be affected. Coastal access is currently provided and will continue to be provided by small public beach areas on Lido Isle with access from the water.
3. The project site is not located adjacent to a coastal view road nor is it located near any public viewpoint as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas; however, the project will replace an existing single-family residence with a new, open, landscaped area. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project exempt from the California Environmental Quality Act pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2018-111 subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 15TH DAY OF AUGUST, 2019.

Rosalinh Ung, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL****PLANNING**

1. The development shall be in substantial conformance with the approved site plan and landscape plans stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The demolition of the existing single-family dwelling shall be in substantial conformance with the approved demolition plan stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
3. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
4. Coastal Development Permit No. CD2018-111 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
5. Landscaping of the site shall conform to the requirements of Section 21.30.075 (Landscaping) and Section 21.30.085 (Water Efficient Landscaping) of the Local Coastal Program Implementation Plan. Plant materials shall be selected for low-water demand and drought tolerance, and the planting of invasive species shall be prohibited.
6. Landscaping of the site shall conform to Section 14.17 (Water Efficient Landscape Ordinance) of the Newport Beach Municipal Code.
7. All landscape materials and irrigations systems shall be maintained in accordance with the approved erosion control plan. All landscaped areas shall be maintained in a healthy and growing conditions and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
8. Construction activities shall comply with Newport Beach Municipal Code (NBMC) Section 10.28.040, which restricts hours of noise-generating construction activities to between the hours of 7 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays or Holidays.
9. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
10. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

11. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
12. Prior to issuance of building permits, a copy of the Resolution, including conditions of approval Exhibit "A," shall be incorporated into the Building Division and field sets of plans.
13. Prior to issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.
14. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved landscape plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
15. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
16. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
17. The applicant is responsible for compliance with the Migratory Bird Treaty Act. In compliance with the (MBTA), grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.

18. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).
19. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
20. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
21. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
22. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
23. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of 944 Via Lido Nord House Demolition, but not limited to, Coastal Development Permit No. CD2018-111 (PA2018-279). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

PUBLIC WORKS

24. Existing driveway approach shall be abandoned, and a new curb and gutter shall be installed to match existing curb and gutter.
25. The existing sewer cleanout box shall be removed and covered, and the existing sewer lateral shall be capped at the property line.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP

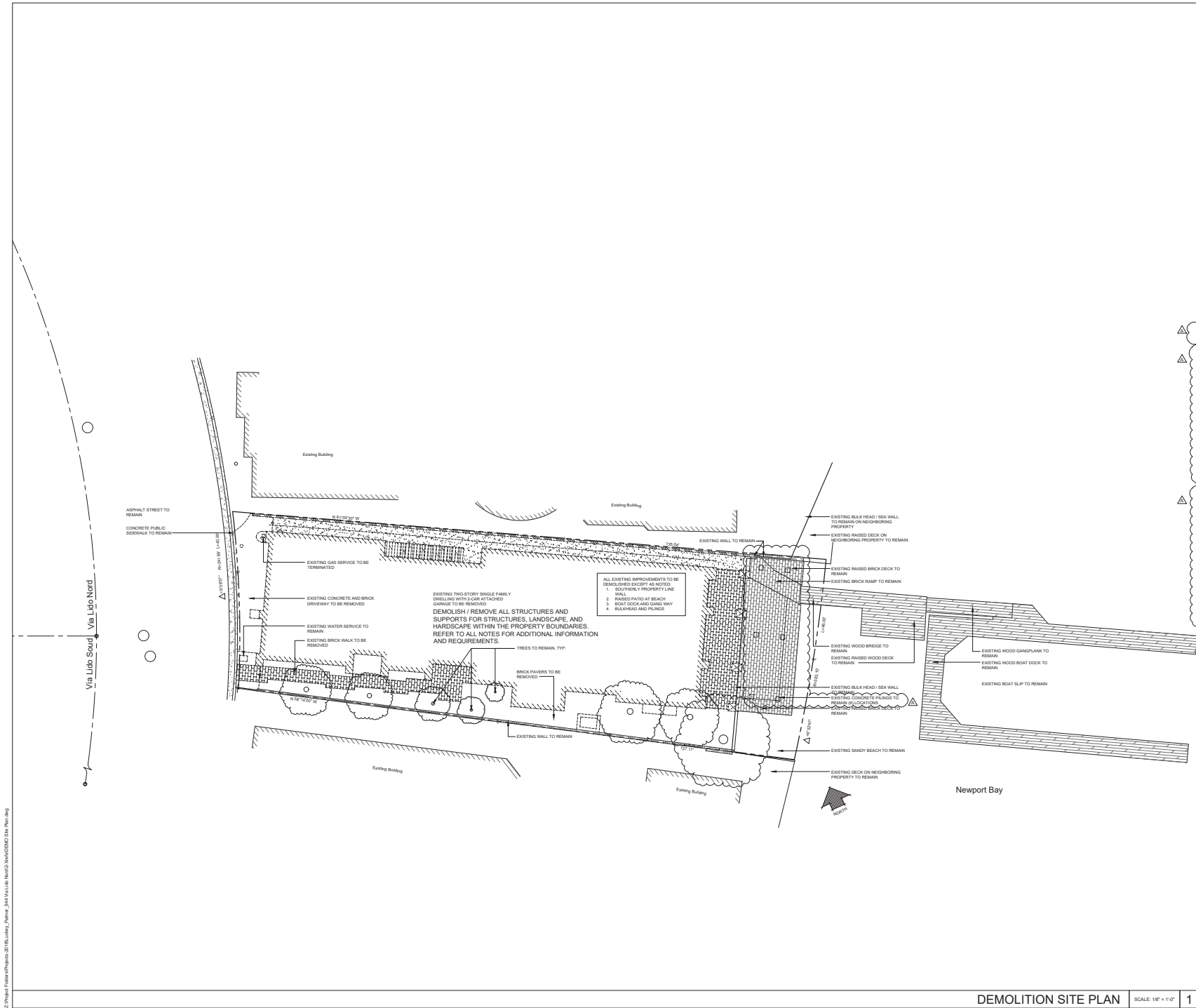


Coastal Development Permit No. CD2018-111
PA2018-279

944 Via Lido Nord

Attachment No. ZA 3

Project Plans



SITE NOTES

1. SITE TO BE FENCED AT A HEIGHT BETWEEN 10' AND 12' USING A CHAIN LINK FENCE ON THE EXTERIOR WITH AN OFFICIAL WALL.
2. ALL DEBRIS SHALL BE REMOVED AT TIME OF DEMOLITION TO PREVENT INJURY.
3. ALL DEBRIS SHALL BE REMOVED AT TIME OF DEMOLITION TO PREVENT INJURY.
4. ALL DEBRIS SHALL BE REMOVED AT TIME OF DEMOLITION TO PREVENT INJURY.
5. STREET AND SIDEWALKS ARE TO REMAIN CLEAR AND FREE OF ANY OBSTRUCTIONS.
6. PEDESTRIAN PROTECTION REQUIRED IF DEMOLITION IS BEHIND ANY OF PUBLIC SIDEWALK.
7. SECTION CONTROL SERVICES SHALL BE AVAILABLE ON SITE BETWEEN 10:00 AM TO 12:00 PM TO PROVIDE CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. WORKERS SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. WORKERS SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
8. DURING THE DEMOLITION OF THE 10' TALL WALL, THERE SHALL BE A PLACE AT THE END OF THE WORKING DAY. WORKERS SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
9. TEMPORARY DRAINAGE DURING DEMOLITION SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

BLDG. INFORMATION

BLDG. FT.	4,358 SQ. FT.
NO. OF BEDROOMS	2
NO. OF BATHS	2
NO. OF STORES	2

SITE PLAN LEGEND

--- PROPERTY LINE
--- EXISTING
--- TO BE REMOVED

SITE INFORMATION

LOT #24
TRACT #67
MISC. MAP BOOK 28 PAGES 25 TO 28
LOT SIZE: 1.0077 AC. (43,580 SQ. FT.)
ZONING: R-1

SHEET INDEX

ARCHITECTURAL	
D-1	DEMOLITION SITE PLAN & ENLARGED CIVIL AND EROSION CONTROL PLAN
SURVEY	
SHT. 1 OF 1	TOPOGRAPHICAL SURVEY
LANDSCAPE	
L-1	IRRIGATION PLAN
L-2	IRRIGATION DETAILS
L-3	PLANTING PLAN
L-4	PLANTING SPECIFICATIONS

SCOPE OF WORK

DEMOLITION OF EXISTING 2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED 2-CAR GARAGE TO DIRT. REMOVE ALL FOOTINGS AND CONCRETE. MAINTAIN EXISTING BULKHEAD, DOCK, AND CANTILEVERED PATIO IN CURRENT LOCATIONS. LOT WILL BE OPEN LANDSCAPED AREA OF APPROXIMATELY 4,027 SQ. FT. REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

DEMOLITION WILL TAKE APPROXIMATELY 10 DAYS.

LANDSCAPE WILL FOLLOW WITHIN APPROXIMATELY 14 DAYS OF FINAL DEMOLITION.

FUTURE USE WILL BE MAINTAINED AS AN OPEN AREA FOR THE PROPERTY OWNER TO ENJOY THE SPACE FOR ENTERTAINMENT OF FAMILY AND FRIENDS.

URANT
DESIGN
AND
CONSTRUCTION

2708 S. Lido Avenue
Newport Beach, CA 92663
P 949.424.8816 F 949.424.8840
STAMP:

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	01/11/19		

The 944 Via Lido Nord Trust
944 Via Lido Nord
Newport Beach, CA 92663

PLOT DATE: 1/28/2019
SCALE: AS NOTED
DESIGN BY: BILL DURANT
DRAWN BY: BHR
CHECKED DATE:
FILE NAME: 041010101.dwg

DEMO SITE PLAN

D.1

16

ARCHITECTURAL SURVEY

LEGAL DESCRIPTION: LOT 324 OF TRACT NO. 907 IN MISC MAP BOOK 28
PAGES 25 TO 36

BENCH MARK: THE ELEVATION OF 11.912 ON ALUMINUM DISK, COUNTY
BENCHMARK NO. NB3-21-92, NAVD 88

BOUNDARY: RECORD INFORMATION ADJUSTED TO FOUND CENTERLINE SURVEY
MONUMENTS

DATE OF SURVEY: AUGUST 6, 2018

SITE ADDRESS: 944 VIA LIDO NORD, NEWPORT BEACH

AREA: 5,600 SQUARE FEET, 0.13 ACRES

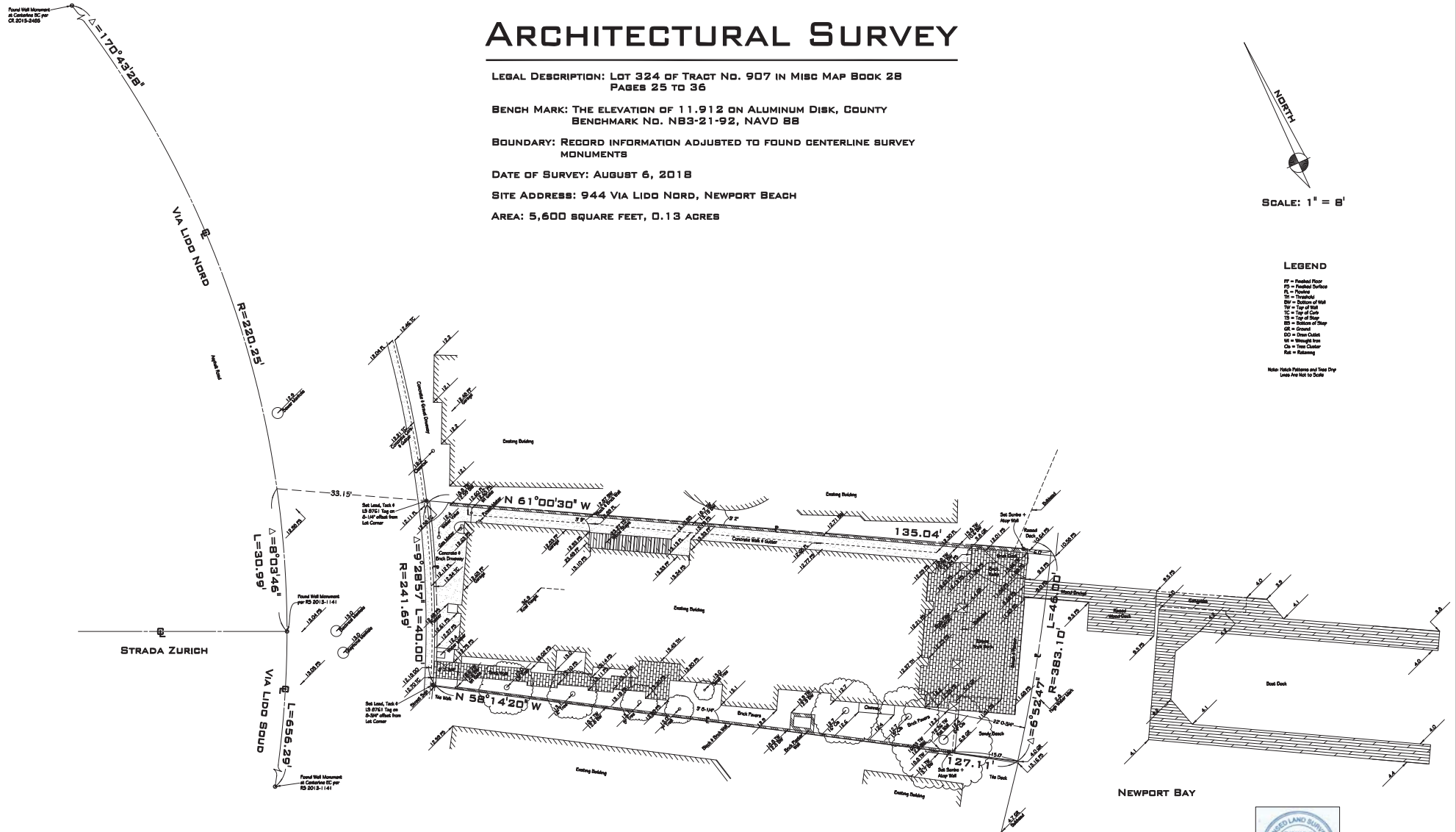


SCALE: 1" = 8'

LEGEND

FF = Finished Floor
FS = Finished Surface
FL = Fretwork
TR = Threshold
BFF = Bottom of Wall
TFF = Top of Wall
TC = Top of Core
BS = Bottom of Slab
GS = Ground
CC = Center Line
W = Wrought Iron
C = Chain
R = Rebar

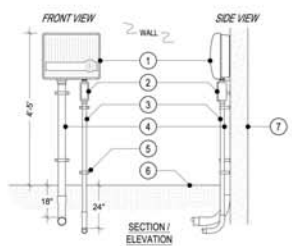
Note: Hatch Patterns and Thin Dry
Lines Are Not to Scale



PLAN PREPARED FOR: W.T. DURANT, INC.
1306 EAST 29TH STREET
SIGNAL HILL, CA 90755

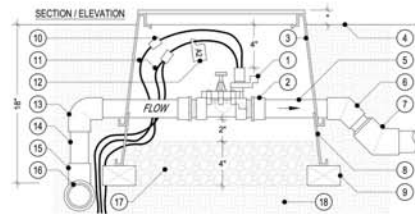
PLAN PREPARED BY: VONDRA LAND SURVEYING
4717 WEST AVENUE M-8
QUARTZ HILL, CA 93536
(661) 839-2188
THOMAS E. VONDRA, L.S. 8761





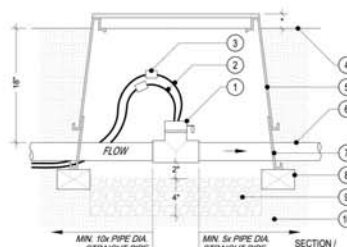
1. AUTOMATIC CONTROLLER PER LEGEND - MOUNT TO WALL PER MANUFACTURER'S DIRECTIONS
2. ELECTRICAL JUNCTION BOX FOR 115V AC POWER CONNECTION
3. 1/2" CONDUIT WITH 115V AC POWER WIRES TO POWER SOURCE
4. SCH 40 PVC CONDUIT FOR CONTROL WIRES
5. SECURE ALL CONDUITS TO WALL WITH 1" CLAMP IN A MINIMUM OF TWO PLACES (TYP)
6. FINISH GRADE
7. WALL

J CONTROLLER - WALL MOUNT



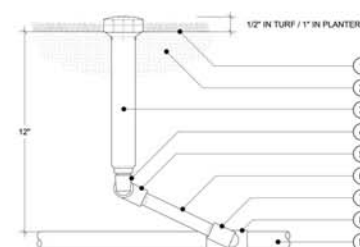
1. REMOTE CONTROL VALVE PER IRRIGATION LEGEND
2. SCH 40 PVC MALE ADAPTER (2 REQUIRED) VALVE SIZE
3. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #3148CB) HEAT BRAND STATION NUMBER ON LID IN 2" HIGH BLOCK LETTERS
4. FINISH GRADE
5. PVC LATERAL LINE PER IRRIGATION LEGEND (VALVE SIZE)
6. SCH 40 PVC 45 DEGREE ELL
7. SCH 40 PVC 45 DEGREE ELL (BRUSH UP TO LATERAL LINE PLAN SIZE)
8. RECTANGULAR PLASTIC VALVE BOX EXTENSION (NDS #214-6)
9. COMMON BRICK SUPPORTS (4 REQUIRED)
10. WATERPROOF WIRE CONNECTORS (2 REQUIRED)
11. #14 UF WIRES TO CONTROLLER (COLOR CODED)
12. I.D. TAG WITH STATION NUMBER PRINTED ON IT (CHRISTY'S #8D-STY-1)
13. SCH 40 PVC ELL (VALVE SIZE)
14. MAINLINE PIPING PER IRRIGATION LEGEND (VALVE SIZE)
15. SCH 40 PVC TEE (OUTLET TO BE VALVE SIZE)
16. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
17. FILL BASE OF BOX WITH PEA GRAVEL
18. NATIVE SOIL
19. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

G ELECTRIC CONTROL VALVE



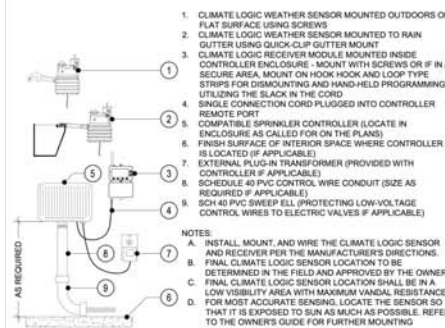
1. FLOW SENSOR PER IRRIGATION LEGEND
2. #14 UF WIRES TO CONTROLLER (COLOR CODE DIFFERENTLY THAN COMMON WIRE, CONTROL WIRES, AND MASTER VALVE WIRES)
3. WATERPROOF WIRE CONNECTORS (2 REQUIRED)
4. FINISH GRADE
5. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #3148CB) HEAT BRAND "F" ON LID IN 2" HIGH BLOCK LETTERS
6. MAINLINE PIPING PER IRRIGATION LEGEND (SENSOR SIZE)
7. RECTANGULAR PLASTIC VALVE BOX EXTENSION (NDS #214-6)
8. COMMON BRICK SUPPORTS (4 REQUIRED)
9. FILL BASE OF BOX WITH PEA GRAVEL
10. NATIVE SOIL
11. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

D FLOW SENSOR



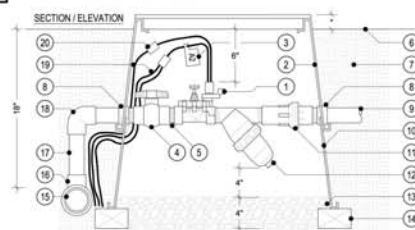
1. FINISH GRADE
2. NATIVE SOIL / BACKFILL PER SPECIFICATIONS
3. 6" POP-UP SPRAY HEAD & NOZZLE PER LEGEND
4. 1/2" MANHOLE STREET ELL
5. 1/2" SCH 40 PVC STREET ELL 1" T
6. 1/2" x 1/2" MIN. SCH 80 PVC THREADED NIPPLE
7. 1/2" MANHOLE STREET ELL
8. SCH 40 PVC LATERAL LINE FITTING WITH 1/2" FEMALE THREADED OUTLET
9. LATERAL LINE PIPING PER LEGEND
10. USE TEFLON TAPE ON ALL PVC TO PVC CONNECTIONS, NO PIPE DOPE ALLOWED. SET PERIMETER HEADS 4" FROM CURBS AND WALKS AND 6" FROM VERTICAL OBJECTS SUCH AS FENCES AND WALLS, ETC. ONLY USE BOTTOM INLET OF HEAD.

A POP-UP SPRAY HEAD



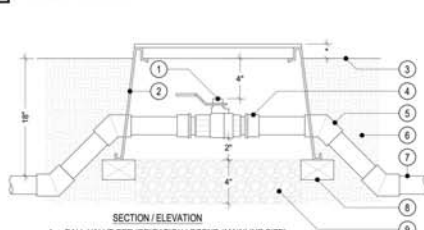
1. CLIMATE LOGIC WEATHER SENSOR MOUNTED OUTDOORS ON FLAT SURFACE USING SCREWS
 2. CLIMATE LOGIC WEATHER SENSOR MOUNTED TO RAIN GUTTER USING QUICK-CLIP GUTTER MOUNT
 3. CLIMATE LOGIC RECEIVER MODULE MOUNTED INSIDE CONTROLLER ENCLOSURE - MOUNT WITH SCREWS OR IF IN A SECURE AREA, MOUNT ON HOOK-HOOK AND LOOP TYPE STRIPS FOR DISMOUNTING AND HAND-HELD PROGRAMMING UTILIZING THE SLACK IN THE CORD
 4. SINGLE CONNECTION CORD PLUGGED INTO CONTROLLER REMOTE PORT
 5. COMPATIBLE SPRINKLER CONTROLLER (LOCATE IN ENCLOSURE AS CALLED FOR ON THE PLANS)
 6. FINISH GRADE
 7. EXTERNAL PLUG-IN TRANSFORMER (PROVIDED WITH CONTROLLER IF APPLICABLE)
 8. SCHEDULE 40 PVC CONTROL WIRE CONDUIT (SIZE AS REQUIRED IF APPLICABLE)
 9. SCH 40 PVC SWEEP ELL (PROTECTING LOW-VOLTAGE CONTROL WIRES TO ELECTRIC VALVES IF APPLICABLE)
- NOTES:
- A. INSTALL, MOUNT, AND WIRE THE CLIMATE LOGIC SENSOR AND RECEIVER PER THE MANUFACTURER'S DIRECTIONS
 - B. FINAL CLIMATE LOGIC SENSOR LOCATION TO BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER
 - C. FINAL CLIMATE LOGIC SENSOR LOCATION SHALL BE IN A LOW VISIBILITY AREA WITH MAXIMUM VANDAL RESISTANCE
 - D. FOR MOST ACCURATE SENSING, LOCATE THE SENSOR SO THAT IT IS EXPOSED TO SUN AS MUCH AS POSSIBLE. REFER TO THE OWNER'S GUIDE FOR FURTHER MOUNTING LOCATION DIRECTIONS
 - E. THE CLIMATE LOGIC SENSOR HAS AN INTEGRATED BRACKET FOR MOUNTING. USE ANY COMBINATION OF ADAPTERS / FITTINGS AS MAY BE REQUIRED TO MOUNT IN THE SPECIFIC LOCATION FOR THIS SITE.

K ET / RAIN SENSOR - WIRELESS



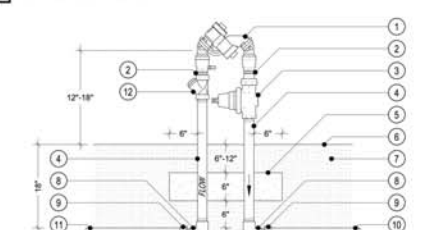
1. REMOTE CONTROL VALVE PER LEGEND
2. RECTANGULAR JUMBO PLASTIC VALVE BOX WITH LOCKING LID (NDS #3188CB) HEAT BRAND STATION NUMBER AND "DZ" ON LID IN 2" HIGH BLOCK LETTERS
3. I.D. TAG WITH STATION NUMBER PRINTED ON IT (CHRISTY'S #8D-STY-1)
4. SCH 40 PVC BALL VALVE
5. SCH 80 PVC BALL VALVE
6. FINISH GRADE
7. NATIVE SOIL
8. SCH 40 PVC MALE ADAPTER
9. PVC PIPING TO SYSTEM (CONNECT AND ADAPT AS NECESSARY)
10. RECTANGULAR PLASTIC VALVE BOX USED AS EXTENSION (NDS #318)
11. PRESSURE REGULATOR PER LEGEND
12. WYE FILTER PER LEGEND
13. FILL BASE OF BOX WITH PEA GRAVEL
14. COMMON BRICK SUPPORTS (4 REQUIRED)
15. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
16. SCH 40 PVC MAINLINE FITTING WITH 1" OUTLET
17. 1" SCH 40 PVC MAINLINE PIPING (LENGTH AS REQUIRED)
18. 1" SCH 40 PVC ELL
19. #14 UF WIRES TO CONTROLLER (COLOR CODED)
20. WATERPROOF WIRE CONNECTOR (2 REQUIRED)
21. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

H DRIP ZONE VALVE ASSEMBLY



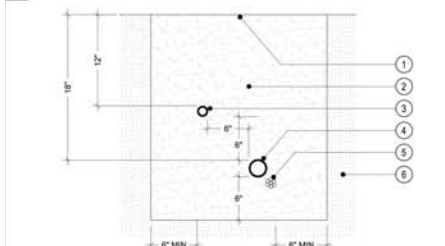
1. BALL VALVE PER IRRIGATION LEGEND (MAINLINE SIZE)
 2. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #3148CB) HEAT BRAND "BV" ON LID IN 2" HIGH BLOCK LETTERS
 3. FINISH GRADE
 4. SCH 40 PVC MALE ADAPTER (2 REQUIRED)
 5. SCH 40 PVC 45 DEGREE ELL (4 REQUIRED)
 6. NATIVE SOIL
 7. MAINLINE PIPING PER IRRIGATION LEGEND
 8. COMMON BRICK SUPPORTS (4 REQUIRED)
 9. FILL BASE OF BOX WITH PEA GRAVEL
 10. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS
- NOTES:
- A. OFF-SET WALL BOX AROUND BALL VALVE TO ALLOW SPACE FOR FULL MOVEMENT OF THE BALL VALVE HANDLE.

E BALL VALVE



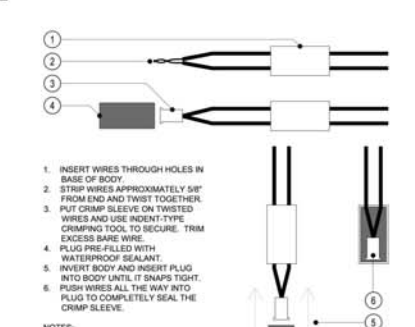
1. REDUCED PRESSURE BACKFLOW PREVENTER PER IRRIGATION LEGEND
 2. BRASS CLOSE NIPPLE (RIP SIZE)
 3. WILKINS 500L SERIES PRESSURE REGULATOR (RIP SIZE)
 4. BRASS NIPPLE (RIP SIZE) LENGTH AS REQUIRED
 5. 6" THICK CONCRETE SUPPORT BLOCK
 6. FINISH GRADE
 7. NATIVE SOIL
 8. BRASS ELL (RIP SIZE)
 9. SCH 40 PVC MALE ADAPTER (BRUSH UP TO MAINLINE PLAN SIZE)
 10. WHERE RIP DEVICE IS SMALLER THAN MAINLINE (SIZE)
 11. MAINLINE PIPING PER IRRIGATION LEGEND (TO SYSTEM)
 12. WILKINS Y8P-60 STRAINER (RIP SIZE)
- NOTES:
- A. INSTALL PER ALL LOCAL CODES. FINAL LOCATION TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT AND/OR OWNER.

B BACKFLOW PREVENTER ASSEMBLY



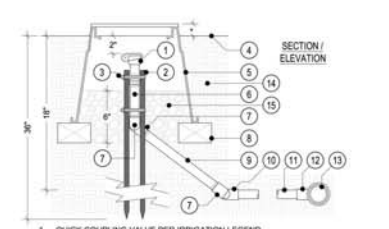
1. FINISH GRADE
 2. CLEAN BACKFILL WITH ALL ROCKS 1" OR LARGER REMOVED - 90% COMPACTION REQUIRED - SEE SPECS
 3. NON-PRESSURE LATERAL LINE PER LEGEND (SHAKE IN TRENCH)
 4. PRESSURE MAINLINE PER LEGEND (SHAKE IN TRENCH)
 5. CONTROL WIRES - INSTALL BELOW PRESSURE MAINLINE
 6. UNDISTURBED NATIVE SOIL
- NOTES:
- A. BUNDLE AND TAPE WIRES AT 19" O.C. PITOTAL AND LOOP WIRES AT ALL CHANGES IN DIRECTION. SPLICING OF WIRE RUNS IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT. RUN CONTROL WIRES IN SAME TRENCH AS MAINLINE WHERE POSSIBLE. INSTALL 12"x12"x12" CONCRETE THRUST BLOCKS AT ALL CHANGES IN DIRECTION OF PRESSURE MAINLINE (45°, 90°, TEES, ETC.) AND AT ALL TERMINAL POINTS.

L TRENCHING



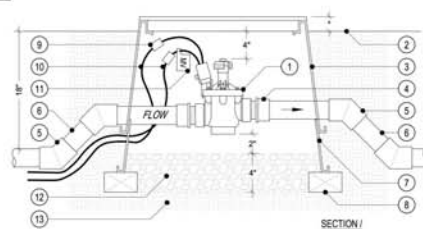
1. INSERT WIRES THROUGH HOLES IN BASE OF BODY
 2. STRIP WIRES APPROXIMATELY 5/8" FROM END AND TWIST TOGETHER
 3. PUT CRIMP SLEEVE ON TWISTED WIRES AND USE IDENT-TYPE CRIMPING TOOL TO SECURE. TRIM EXCESS BARE WIRE
 4. PLUG PRE-FILLED WITH WATERPROOF SEALANT
 5. INVERT BODY AND INSERT PLUG INTO BODY UNTIL IT SNAPS TIGHT. PUSH WIRES ALL THE WAY INTO PLUG TO COMPLETELY SEAL THE CRIMP-SLEEVE
 6. FINISH GRADE
 7. NATIVE SOIL
- NOTES:
- A. USE SPEARS #DS-400 DR-SPLICE WIRE CONNECTOR KIT. MAKE ALL WATERPROOF WIRE CONNECTIONS PER THE MANUFACTURER'S DIRECTIONS.

I WATERPROOF WIRE CONNECTOR



1. QUICK COUPLING VALVE PER IRRIGATION LEGEND
2. #400" REBAR SUPPORT STAKE (2 REQUIRED)
3. STAINLESS STEEL CLAMP (2 REQUIRED)
4. FINISH GRADE
5. 1/2" ROUND PLASTIC VALVE BOX WITH LOCKING LID (NDS #3128CB) HEAT BRAND "QV" ON LID IN 2" HIGH BLOCK LETTERS
6. 3/4" SCH 80 PVC NIPPLE
7. 3/4" SCH 40 PVC STREET ELL (3 REQUIRED)
8. COMMON BRICK SUPPORTS (3 REQUIRED)
9. 3/4"x1/2" SCH 80 PVC NIPPLE
10. 3/4" SCH 40 PVC ELL (5x1)
11. 3/4" SCH 40 PVC MAINLINE (12" MINIMUM LENGTH)
12. SCH 40 PVC MAINLINE FITTING (TEE OR ELL) WITH 3/4" SLIP OUTLET
13. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
14. NATIVE SOIL
15. FILL BASE OF BOX WITH PEA GRAVEL
16. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

F QUICK COUPLING VALVE



1. MASTER VALVE PER IRRIGATION LEGEND
2. FINISH GRADE
3. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #3148CB) HEAT BRAND "MV" ON LID IN 2" HIGH BLOCK LETTERS
4. SCH 40 MALE ADAPTER (2 REQUIRED) USE REDUCING ADAPTERS WHERE MAINLINE IS LARGER THAN VALVE
5. SCH 40 PVC 45 DEGREE ELL (4 REQUIRED)
6. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
7. RECTANGULAR PLASTIC VALVE BOX EXTENSION (NDS #214-6)
8. COMMON BRICK SUPPORTS (4 REQUIRED)
9. WATERPROOF WIRE CONNECTORS (2 REQUIRED)
10. #14 UF WIRES TO CONTROLLER (COLOR CODE DIFFERENTLY THAN COMMON WIRE, CONTROL WIRES, AND FLOW SENSOR WIRES)
11. I.D. TAG WITH "MV" PRINTED ON IT (CHRISTY'S #8D-STY-1)
12. FILL BASE OF BOX WITH PEA GRAVEL
13. NATIVE SOIL
14. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

C MASTER CONTROL VALVE

IRRIGATION NOTES:

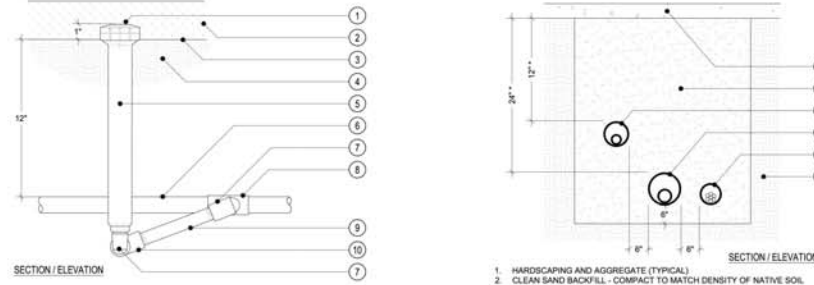
- GENERAL. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND THESE PLANS. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY SAME.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF ANY WORK UNDER THESE PLANS.
- THE CONTRACTOR SHALL CARRY ALL WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY THE OWNER AND/OR GOVERNING AGENCY.
- SCOPE OF WORK - UNLESS OTHERWISE SPECIFIED, THE CONSTRUCTION OF IRRIGATION SYSTEMS SHALL INCLUDE THE FURNISHING, INSTALLING AND TESTING OF ALL POINTS OF CONNECTION, BACKFLOW DEVICES, AND MAINLINE, AND THE FURNISHING AND INSTALLING OF CONTROLLERS, ELECTRIC CONTROL VALVES, OTHER SPECIFIED VALVES, LATERAL LINES, RISERS AND FITTINGS, SPRINKLER HEADS, AND DRIP LINES, AND EXCAVATION AND BACKFILL AND ALL OTHER WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND NOTES. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PROPERTY, TRANSPORTATION, AND PERFORM ALL OPERATIONS REQUIRED FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM AS INDICATED ON, OR REASONABLY IMPLIED BY THE DRAWINGS, DETAILS, AND NOTES, INCLUDING AS A PART OF THE IRRIGATION WORK, BUT NOT LIMITED BY IT, ARE THE FOLLOWING:
 - INSTALL COMPLETE OPERABLE INDEPENDENT IRRIGATION SYSTEMS PER THE PLANS, DETAILS, LEGENDS, AND NOTES.
 - ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED TRENCHES BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- CHECK AND VERIFY ALL SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO ANY SITE WORK. IF IT IS FOUND THAT THE SITE VARIES FROM THE DRAWINGS, NOTIFY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.
- COORDINATE ALL IRRIGATION WORK WITH PLANTING AND GRADING OPERATIONS TO AVOID ANY CONFLICT WITH PLANTING FITS, DRAINAGE SWALES, ETC.
- PIPING SHOWN ON THE PLANS IS ESSENTIALLY DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING TO AVOID CONFLICT WITH STATIONARY ELEMENTS AND IN SUCH A MANNER AS TO CONFORM WITH THE VARIOUS DETAILS AND DESIGN INTENT OF THESE PLANS. WHERE TREES, LIGHT STANDARDS, OR OTHER PHYSICAL OBSTRUCTIONS EXIST, THE PIPING AND SPRINKLER HEAD LOCATIONS SHALL BE ADJUSTED AND/OR RELOCATED AS NECESSARY TO OBTAIN FULL COVERAGE WITH MINIMAL COVER SPRAY.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGE TO OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER AND/OR GOVERNING AGENCY.
- EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR ANY DAMAGE. CONTRACTOR SHALL SUBMIT UNDERGROUND SERVICE ALERT A MINIMUM OF TWO WORKING DAYS PRIOR TO DIGGING.
- THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH IDENTICAL TO HIS WORK.
- THE IRRIGATION DESIGN IS BASED ON THE METER AND/OR POINT OF CONNECTION SIZE AND WATER PRESSURE INDICATED ON THE WATER SOURCE / POINT OF CONNECTION NOTE ON THE PLANS. CONTRACTOR SHALL VERIFY THE PRESSURE PRIOR TO CONSTRUCTION. SHOULD A DISCREPANCY EXIST, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. DO NOT PROCEED WITH ANY IRRIGATION INSTALLATION WORK UNTIL ANY AND ALL WATER SUPPLY AND PRESSURE ISSUES HAVE BEEN RESOLVED.
- CONTRACTOR SHALL MAKE POINT(S) OF CONNECTION (POC) AS NOTED ON THE PLANS. ALL FEES AND LOCAL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- IRRIGATION CONTRACTOR SHALL COORDINATE 120V AC POWER TO FINAL CONTROLLER. LOCATION WITH GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTOR AS NECESSARY. IRRIGATION CONTRACTOR SHALL PAY ALL ASSOCIATED FEES FOR ELECTRICAL SERVICE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL FINAL CONTROLLER CONNECTIONS PER LOCAL CODES.
- CONTRACTOR SHALL PROVIDE ALL EQUIPMENT REQUIRED TO PERFORM A MAINLINE PRESSURE TEST. THE HYDROSTATIC TEST SHALL HOLD A MINIMUM OF 150 PSI FOR 8 HOURS OR MORE. CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS IN ADVANCE OF THE TEST FOR CERTIFICATION.
- CONTRACTOR SHALL THOROUGHLY FLUSH THE ENTIRE MAINLINE PRIOR TO INSTALLING REMOTE CONTROL VALVES. ALL LATERAL LINES SHALL BE COMPLETELY FLUSHED PRIOR TO INSTALLING HEADS AND NOZZLES. FOR DRIP SYSTEMS, ALL PIPING / TUBING DOWNSTREAM OF THE CONTROL VALVE SHALL BE THOROUGHLY FLUSHED PRIOR TO CLOSING SYSTEM (FOR GRID SYSTEMS), OR BEFORE INSTALLING FLUSH VALVES.
- ALL WIRES SHALL BE SOLID COPPER, PLASTIC INSULATED, U.F. DIRECT BURIAL WIRE. ALL COMMON WIRE SHALL BE AWG #14 WHITE. ALL CONTROL WIRES SHALL BE AWG #14 RED OR BLACK. CONTROLLERS SHALL HAVE SEPARATE COLOR CODED COMMON WIRES AND CONTROL WIRES WHEN TWO OR MORE CONTROLLERS ARE ON THE PROJECT.
- ALL CONTROL WIRES AND IRRIGATION PIPING THAT RUNS UNDER HARDSCAPE / PAVING SHALL BE ENCASED IN PVC SLEEVES PER THE LEGEND. SLEEVES SHALL BE SIZED ACCORDING TO THE SLEEVING CHART ON THE PLANS. SLEEVES SHALL BE STRAIGHT RUNS OF PVC PIPE WITH NO FITTINGS INSTALLED UNDER HARDSCAPE AREAS. IF WIDTH OF HARDSCAPE EXCEEDS A FULL LENGTH OF PIPE, USE BELLED END CONNECTION OR COUPLER WITH SLEEVE, ENSURING SLEEVE IS LARGE ENOUGH FOR THE ADDED DIAMETER OF THE CONNECTION.
- THE FINAL LOCATION FOR CONTROL VALVES AND QUICK COUPLERS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE. ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN SHRUB AREAS WHEREVER POSSIBLE.
- THE CONTRACTOR SHALL HEAT BRAND VALVE NUMBERS OR OTHER MARKINGS AS CALLED FOR IN THE IRRIGATION DETAILS ON INSIDE AND OUTSIDE OF ALL VALVE BOX LIDS.
- ALL BRASS OR GALVANIZED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE OR APPROPRIATE PIPE JOINT COMPOUND. ALL PVC TO PVC THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE. NO PIPE DOPE IS ALLOWED AT VALVE OR SPRINKLER HEAD CONNECTIONS. ANY PVC TO METAL CONNECTIONS SHALL BE MADE WITH A MALE THREADED PVC FITTING AND A FEMALE THREADED METAL FITTING.
- ALL PVC SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH SOLVENT-WELD MATERIALS AS RECOMMENDED BY THE PIPE MANUFACTURER. SOLVENT-WELD PRIMER SHALL BE APPLIED AT ALL CONNECTIONS.
- LOW HEAD DRAINAGE WILL NOT BE ALLOWED. CONTRACTOR TO DETERMINE IN THE FIELD WHICH HEADS DRAIN AFTER THE ELBOW IS SHUT OFF. CONTRACTOR SHALL PROVIDE AND INSTALL ADDITIONAL IN-LINE CHECK VALVES AS NEEDED AT NO ADDITIONAL COST TO THE OWNER.
- ALL PRESSURE SUPPLY LINES AND CONTROL WIRES TO HAVE 18"-24" MINIMUM COVER. ALL LATERAL LINES TO HAVE 12" MINIMUM COVER. UNCYCLED WATER SYSTEMS, PIPE DEPTH TO BE DETERMINED BY THE LOCAL GOVERNING AGENCY.
- MAINLINE AND WIRE SLEEVING TO HAVE 24" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. MAINLINE AND WIRE SLEEVING UNDER ALL VEHICULAR ACCESS WAYS TO HAVE 36" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. LATERAL LINE SLEEVING TO HAVE 12" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. LATERAL LINE SLEEVING UNDER ALL VEHICULAR ACCESS WAYS TO HAVE 36"

- MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. CONTRACTOR SHALL INSTALL SLEEVING UNDER ALL HARDSCAPE 36" WIDE OR GREATER. DUE TO GRAPHIC CLARITY, NOT ALL SLEEVES MAY BE SHOWN ON THE PLANS. CONTRACTOR SHALL INSTALL ALL SLEEVING PRIOR TO HARDSCAPE AND PAVING INSTALLATION.
- THE RADIUS OF EACH HEAD IS TO BE ADJUSTED SO THAT HEAD-TO-HEAD COVERAGE IS MAINTAINED, BUT OVER SPRAY ON BUILDINGS, WALLS, AND OTHER HARD SURFACES IS MINIMIZED. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO USING THE BEST NOZZLE RADIUS AND PATTERN, USING PRESSURE COMPENSATING DEVICES FOR NOZZLES, USING ADJUSTABLE NOZZLES, OR USING THE RADIUS ADJUST SCREW ON INDIVIDUAL NOZZLES.
- FINE TUNE EACH CONTROL VALVE FOR OPTIMUM OPERATION. THIS SHALL BE DONE BY TURNING DOWN THE FLOW CONTROL OF THE VALVE UNTIL SYSTEM PERFORMANCE STARTS TO SUFFER AT THAT POINT. OPEN UP VALVE FLOW CONTROL ABOUT ONE-HALF TURN OR UNTIL THE VALVE IS JUST OPEN ENOUGH FOR DESIRED OPERATION.
- CONTRACTOR SHALL INSTALL 2 EXTRA WIRES FROM CONTROLLERS TO EACH END OF THE MAINLINE. WIRES SHALL COME UP INTO ALL VALVE BOXES ALONG THE MAINLINE PATH WITH 36" EXPANSION COILS IN EACH BOX. SPARE WIRES SHALL BE COLOR-CODED DIFFERENTLY THAN OTHER CONTROL WIRES FOR EACH CONTROLLER.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR IS TO TURN OVER TO THE OWNER THE FOLLOWING:
 - A REPRODUCIBLE SET OF "AS-BUILT" DRAWINGS AND CONTROLLER CHART.
 - 2 KEYS FOR EACH CONTROLLER / CONTROLLER ENCLOSURE (AS APPLICABLE).
 - 2 QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS.
 - 4 OF EACH SPRINKLER HEAD SPECIFIED (AS APPLICABLE).
 - 10' OF EACH DRIP LINE TUBING SPECIFIED (AS APPLICABLE).
 - 10' OF EACH DRIP EMITTER / FLUSH VALVE / DRIP SYSTEM APPARATUS SPECIFIED (AS APPLICABLE).
- RECORD DRAWINGS - THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE A COMPLETE RECORD SET OF PRINTS WHICH SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS. PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL TRANSCRIBE ALL INFORMATION FROM THE RECORD SET TO A BLACK-LINE PRINT PROVIDED FROM THE OWNER. ALL WORK SHALL BE NEAR THE END OF THE PROJECT. THE RECORD SET SHALL BE PERMANENT POINTS OF REFERENCE. SHUT-OFF VALVES, MAINLINE AND CONTROL WIRE ROUTING, POC, BACKFLOW DEVICE, CONTROL VALVES, CONTROLLER, QUICK COUPLING VALVES, AND OTHER PERTINENT UNDERGROUND ITEMS.
- "CONTROLLER CHART" - UPON APPROVAL OF THE FINAL RECORD DRAWINGS, PROVIDE ONE CHART FOR EACH CONTROLLER INSTALLED.
 - THE CHART IS TO BE A REDUCED COPY OF THE APPROVED RECORD DRAWING (A BLACK-LINE PRINT REDUCED TO THE MAXIMUM SIZE THE CONTROLLER DOOR WILL ALLOW, COLORED WITH A DIFFERENT COLOR FOR EACH VALVE STATION'S AREA OF COVERAGE).
 - WHEN COMPLETED AND APPROVED, THE CHART SHALL BE LAMINATED BETWEEN TWO (2) PIECES OF 20 MIL. CLEAR PLASTIC AND MOUNTED ON THE INSIDE OF THE CONTROLLER DOOR USING VELCRO TAPE OR EQUAL.
- DRIP LINE IRRIGATION
 - DRIP LINE TUBING IS SHOWN ON THE PLANS IN THE SUGGESTED LAYOUT. CONTRACTOR SHALL ADJUST LAYOUT AS DETERMINED NECESSARY IN THE FIELD TO MATCH THE ACTUAL SITE CONDITIONS, DIMENSIONS, ETC.
 - ALL DRIP LINE SYSTEMS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND DIRECTIONS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO SOIL TYPE CONSIDERATION, PLANT TYPE CONSIDERATION, SLOPES, TYPICAL TUBING LAYOUT, SUPPLY HEADERS, FLUSH HEADERS, AIR-RELEASE VALVES, FLUSH VALVES, SOIL STAPLES, AND OPERATION INDICATORS, ETC.
 - EACH DRIP LINE SYSTEM SHALL HAVE A DRIP ZONE VALVE ASSEMBLY THAT INCLUDES A PRESSURE REGULATOR AND IN-LINE FILTER PER THE IRRIGATION LEGEND.
 - EXTEND PVC LATERAL LINE PIPING PER IRRIGATION LEGEND FROM THE DRIP ZONE VALVE INTO THE PLANTING AREAS. ALL SUPPLY HEADERS AND FLUSH HEADERS SHALL BE PVC PIPING OR DRIP LINE TUBING AS SPECIFIED ON THE DRAWINGS.
 - CONNECT THE DRIP LINE TUBING INTO THE PVC / POLY TUBING HEADERS PER THE MANUFACTURER'S DIRECTIONS, USING FITTINGS AS SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.
 - DRIP LINE TUBING RUNS SHALL BE SPACED AT APPROXIMATELY 12" O.C. OR AS NOTED ON THE PLANS.
 - TUBING SHALL RUN GENERALLY PARALLEL TO THE LONG AXIS OF THE PLANTING AREAS. THE EXCEPTION TO THIS WOULD BE SLOPED AREAS WHERE THE TUBING SHALL RUN PARALLEL TO THE SLOPE COUPLERS.
 - FLUSH VALVES SHALL BE INSTALLED AT THE TERMINAL ENDS AND/OR LOW POINTS OF ZONES IN ALL DIRECTIONS. AIR-RELEASE VALVES, WHERE REQUIRED FOR BURIED SYSTEMS, SHALL BE INSTALLED AT THE HIGH POINTS OF EACH ZONE. REFER TO THE MANUFACTURER'S DIRECTIONS FOR THE QUANTITY OF FLUSH VALVES AND AIR-RELEASE VALVES RECOMMENDED FOR EACH ZONE.
 - DRIP LINE TUBING SHALL BE BURIED 3"-4" BELOW FINISH GRADE, STAPLED DOWN, AND COVERED WITH MULCH PER THE PLANTING PLAN.
 - EACH DRIP LINE ZONE SHALL INCLUDE AN OPERATION INDICATOR. THE OPERATION INDICATOR SHALL BE INSTALLED AT THE FARTHEST POINT AWAY FROM THE ZONE DRIP VALVE ASSEMBLY.
 - ALL FITTINGS USED FOR DRIP LINE TUBING CONNECTIONS AND DRIP LINE TUBING TO PVC CONNECTIONS SHALL BE AS PRODUCED AND SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.

IRRIGATION MAINTENANCE SCHEDULE

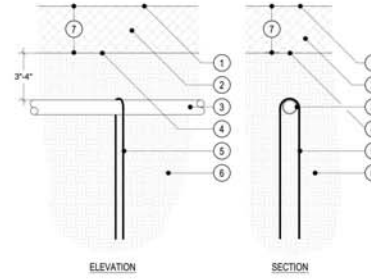
THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.

FREQUENCY	MAINTENANCE TASK
QUARTERLY	CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY.
MONTHLY	IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH. ADJUST AS NECESSARY.
QUARTERLY	POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED.
QUARTERLY	REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES - VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.
QUARTERLY	MAINLINE AND LATERALS - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCHES. REPAIR AS NEEDED.
WEEKLY	SPRINKLERS - VISUALLY CHECK FOR ANY BROKEN, MISALIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVER-SPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED.
MONTHLY	FILTERS AND STRAINERS - VISUALLY CHECK FOR LEAKS, BROKEN FITTINGS, CLEAN AND FLUSH SCREENS.



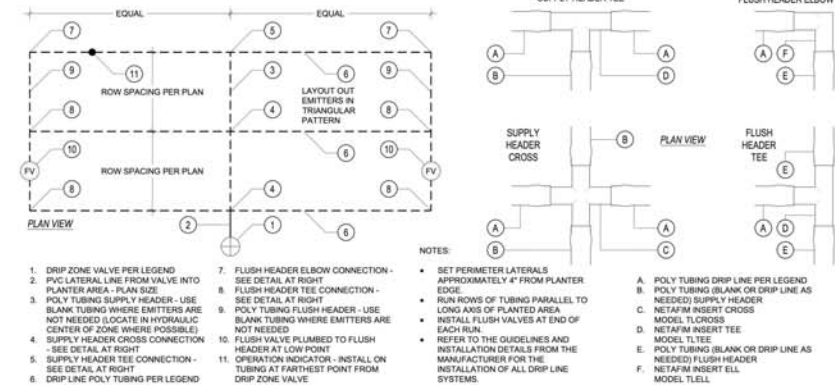
P DRIP LINE SYSTEM - FLUSH VALVE ASSEMBLY

M SLEEVING



Q NOT USED

N DRIP LINE TUBING



O DRIP LINE SYSTEM - TYPICAL LAYOUT

2021 LANDSCAPE ARCHITECT
NEWPORT BEACH, CA 92663
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LANDSCAPE ARCHITECTURE

DAVID A. PEDERSEN • INC.

LANDSCAPE ARCHITECTURAL PLANS FOR

THE 944 VIA LIDO NORD TRUST

944 VIA LIDO NORD • NEWPORT BEACH, CA 92663

RANDY BEERS PROJECT COORDINATOR

WILKINSON, NC 28149-0000 • 800-244-0000

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IRRIGATION DETAILS

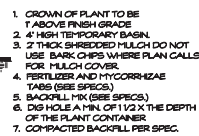
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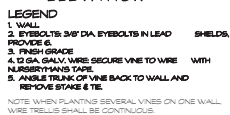
SHEET NO.

L-3

OF - 5



SHRUB PLANTING DETAIL



VINE DETAIL
NON-ADHERING TYPE

3-inch mulch layer applied to all planting areas (excluding turf areas)
Automatic irrigation controllers with manual shut-off valves

Statement, "I agree to comply with the requirements of the prescriptive compliance option to the MWEL0."

EXISTING 940 VIA LIDO NORD RESIDENCE



PLANTING SPECIFICATIONS

SCOPE OF WORK

PROVIDE ALL LABOR, EQUIPMENT, MATERIAL, AND SERVICES NECESSARY TO COMPLETE THE FINISH GRADING, SOIL PREPARATION, PLANTING, AND MAINTENANCE AS SPECIFIED.

A. GENERAL WORK PROCEDURES

WORK PROCEDURES SHALL FOLLOW BEST CUSTOMARY PRACTICE.

1. ALL MATERIALS SHALL BE BEST AVAILABLE. DO NOT BEGIN SOIL PREPARATION AND PLANTING UNTIL IRRIGATION WORK AROUND PLANTING AREA IS COMPLETE AND TESTED.
2. PREMISTEN - SPECIAL CARE SHALL BE TAKEN TO PREMISTEN THE SURFACE 8" OF ALL PLANTING AREAS AND INSURE THAT PLANTS ARE PREVENTED FROM DRYING DURING PLANTING OPERATIONS.
3. WEEDING, BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING. ALL WEEDS AND STOLONIFEROUS GRASSES, NUT GRASS AND JOHNSON GRASS, SHALL BE CHEMICALLY ERADICATED OR DUG OUT BY THE ROOTS AND DISPOSED OF OFF SITE.
4. PREMISES SHALL BE KEPT CLEAN AND MAINTAINED FREE OF CONSTRUCTION LITTER, ALL EMPTY CONTAINERS, EMPTY BAGS AND DEBRIS SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF EACH DAY'S WORK. ALL WALKS OR PAVEMENTS SHALL BE SWEEP OR WASHED CLEAN DAILY.

B. MATERIALS

1. ORGANIC AMENDMENTS - ORGANIC AMENDMENTS SHALL BE DECOMPOSED NITROGEN STABILIZED COMPOSTED RED WOOD SHAVINGS CULTIVATED INTO TOP 8" OF ALL PLANTING AREAS.
2. HUMATE PLUS GRANULAR SOIL CONDITIONER BY TRI-C.
3. COMMERCIAL FERTILIZER - COMMERCIAL FERTILIZER SHALL BE ASRIFORM 18-18-6 COATED PELLETS OR EQUAL.
4. SOIL SULFUR - SOIL SULFUR SHALL BE AGRICULTURAL GRADE.
5. POLYMER - POLYMER SHALL BE A SYNTHETIC ACRYLAMID CO-POLYMERS FORMATION AS MANUFACTURED BY TERRA SORB.
6. MULCH - MULCH SHALL BE A SHREDDED BARK MATERIAL AS PRODUCED BY KELLOGG'S XERIMULCH.
7. PLANTING TABLETS - PLANTING TABLETS SHALL BE 2" GRAM ASRIFORM BLUE CHIP PLANTING TABLETS.
8. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE, INSECTS, INSECT EGGS AND LARVAE. THE ROOTS SHALL SHOW NO EVIDENCE OF HAVING BEEN RESTRICTED, DEFORMED OR OR BOUND AT ANY TIME. VARIETIES AND SIZE OF PLANTS SHALL BE AS STATED ON THE PLAN. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL OR REJECTION BY THE OWNER OR HIS REPRESENTATIVE ON THE SITE AT ANY TIME BEFORE OR DURING PROGRESS OF PLANTS SHALL BE REMOVED FROM THE SITE IMMEDIATELY. SPECIAL CARE SHALL BE TAKEN TO INSURE THAT PLANTS IN CONTAINERS ARE ADEQUATELY WATERED.
9. PLANTING MIX - ALL SOIL BACKFILL, INPUTS FOR TREES, SHRUBS, VINES, UNLESS OTHERWISE NOTED, SHALL BE PREPARED SOIL CONSISTING OF 40% NITROLIZED ORGANIC AMENDMENTS AND 60% SUITABLE EXISTING SOIL, PLUS POLYMERS PER THE FOLLOWING AMOUNTS.

MYCORRHIZAE SPECIFICATIONS

CONTRACTOR SHALL APPLY TRI-C ENDO 120 AREBUSULAR MYCORRHIZAL NOCULUM AT THE FOLLOWING RATES

APPLY AT 1 1/2 LBS. PER 1,000 SQ. FT. FOR ALL LANDSCAPE AREAS TILL INTO SOIL W/ AMENDMENTS. (SEE SPECS) FOR BACKFILLED BEDS APPLY AT 5 LBS. PER CUBIC YARD OF MIX.

CONTRACTOR SHALL ALSO APPLY TRI-C MYCO PAGES

PLACE INDIVIDUAL PACKETS ADJACENT TO ALL SHRUB ROOT BALLS AT THE FOLLOWING RATES:

- 1 GAL. #1 PACK
 - 5 GAL. #3 PACKS
 - 15 GAL. #8 PACKS
- CONTACT TRI-C 1-800-927-3371 FOR SUPPLIERS.

C. INSTALLATION.

1. SOIL CONDITIONING (NON SLOPE AREAS)
THE FOLLOWING APPLICATION SHALL BE MADE PER 1,000 SQUARE FEET OF AREA AND SHALL BE THOROUGHLY CULTIVATED INTO THE TOP 8 INCHES OF PREMISTENED SOIL.
4 CUBIC YARDS ORGANIC AMENDMENT
20 POUND COMMERCIAL FERTILIZER
100 LBS TRI-C HUMATE PLUS GRANULAR SOIL CONDITIONER
(AREAS WITH SLOPES GREATER THAN A 3:1 RATIO ARE EXEMPT).

2. TREE AND SHRUB PLANTING

- a) EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS, SHRUBS, AND TREES. PITS SHALL BE 1-1/2 TIMES THE DEPTH OF BALLS, AND TWICE THEIR WIDTH.

- b) TERRA SORB AS POLYMER SHALL BE ADDED TO PLANT BACKFILL PER THE FOLLOWING:
 - 1 TABLE SPOON PER 1 GALLON PLANT
 - 3 TABLE SPOON 5 GALLON PLANT
 - 4 TABLE SPOON 15 GALLON PLANT

2 TABLE SPOON 1/2 CALIPER OF TREE TRUNK FOR SPECIMEN PLANTS LARGER THAN 15 GALLONS. UNUSED EXCAVATED SOIL SHALL BE DISPOSED OFF OF THE SITE.

SIZE OF CONTAINER	NUMBER OF TABLETS	WEIGHT GRAMS
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1 GALLON	1	21
5 GALLON	2	42
15 GALLON	6	126

BOXED CONTAINER	10	210
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- d) PLANTING HEIGHT OF SHRUBS AND TREE CROWNS TO BE 1 INCH ABOVE FINISH GRADE UNLESS NOTED OTHERWISE ON PLAN.

- e) COMPACT SOIL AT BOTTOM OF PIT AND TRAMP FIRMLY. FILL SOIL AROUND BALL OF PLANT USING BACKFILL AS SPECIFIED AND WATER THOROUGHLY SETTLEMENT FOR ONE WEEK SHALL BE REPELCHED TO ACHIEVE THE REQUIRED 1" DEPTH.

- f) IMMEDIATELY AFTER PLANTING, STAKE ALL TREES TO PREVENT DAMAGE FROM WIND AS DETAILED.

- g) GRADE AREAS AROUND PLANTS, TO FINISH GRADE AND DISPOSE OF EXCESS SOIL.

- h) WATER - IMMEDIATELY AFTER PLANTING, WATER SHALL BE APPLIED TO EACH TREE AND SHRUB, IN SUCH A MANNER AS NOT TO DISTURB BACKFILL OR MULCH, AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. (SEE PLANTING DETAILS FOR VARIATIONS FROM ABOVE).

3. GROUND COVER AREAS

PLANTING PITS FOR GROUND COVERS SHALL BE 4' X 4', OR ADEQUATE TO ACCEPT MATERIAL FROM FLATS WITHOUT CRUSHING OR DEFORMING THE ROOT BALL. PLANT AT SPACINGS AND IN AREAS INDICATED ON THE DRAWINGS. SOIL SHALL BE FIRMLY PRESSED AROUND EACH PLANT, AND THE EXCESS SOIL REMOVED FROM THE CROWN. EACH SECTION OF GROUND COVER SHALL BE IMMEDIATELY WATERED UPON COMPLETION OF PLANTING, OR WITHIN ONE HOUR.

4. MULCHING OF SHRUB AREAS

CONTRACTOR SHALL APPLY A MINIMUM OF TWO INCHES OF KELLOGG'S XERIMULCH TO ALL GROUND COVER AND SHRUB PLANTING AREAS AFTER COMPLETION OF ALL PLANT INSTALLATION. (ONE CUBIC YARD COVERS 162 SQ. FT. AT TWO INCH DEEP). AREAS LESS THAN ONE INCH DEEP AFTER SETTLEMENT FOR ONE WEEK SHALL BE REPELCHED TO ACHIEVE THE REQUIRED 1" DEPTH.

5. MAINTENANCE AND GUARANTEE (OPTIONAL - 60 DAYS AS SEPARATE BID ITEM)

ALL PLANTING SHALL BE MAINTAINED (BY CULTIVATING, MOWING, WEEDING, WATERING, FEEDING, SPRAYING AND PRUNING) FOR 60 DAYS AFTER COMPLETION AND ACCEPTANCE OF ALL PLANTING. ALL SHRUBS AND TREES NOT LIVING AFTER 60 DAY MAINTENANCE SHALL BE REPLACED. A FINAL INSPECTION SHALL BE MADE BY THE OWNER OR HIS OR HER REPRESENTATIVE TO VERIFY THE FOLLOWING: HEALTHY, PEST FREE PLANT MATERIALS, VIABLE WEED FREE GROUND COVER AREAS, STAKING OF TREES, ETC.

AZALEAS PLANTING AND CARE INSTRUCTIONS

PLANTING - AZALEAS ARE SHALLOW-ROOTED AND ARE TO BE PLANTED IN A WELL-DRAINED ACID SOIL MIX. CONTRACTOR SHALL BACK FILL HOLE WITH 40% PEAT MOSS, 40% PINE BARK, AND 20% GOOD, LIGHT SOIL OR SPONGE ROCK. IF THE SOIL IS CLAY OR HARD, HOLE SHALL BE AT LEAST THREE TIMES AS WIDE AND A FEW INCHES DEEPER THAN SIZE OF CONTAINER. PLACE PLANT ABOUT 1 INCH ABOVE GROUND LEVEL, SO THAT THE ROOTS MAY OBTAIN AIR THEN TAMP PEAT MIX FIRMLY AROUND THE ROOT BALL. WATER THOROUGHLY, AND MAKE CERTAIN GOOD DRAINAGE IS MAINTAINED.

WATERING - SURPRISINGLY, THE WORD 'AZALEA' COMES FROM THE GREEK WORD MEANING 'DRY'. ACTUALLY, MORE AZALEAS DIE FROM OVERWATERING THAN FROM ALL OTHER CAUSES. THEY SHOULD BE KEPT MOIST BUT NOT SOGGY. WATER WELL DEEPLY, BUT ONLY AS YOUR OWN WEATHER CONDITIONS DEMAND.

FERTILIZING - AZALEAS ARE VERY LIGHT FEEDERS, AND THREE TO FOUR FEEDINGS SPACED FROM APRIL THROUGH SEPTEMBER ARE SUFFICIENT. USE A GOOD AZALEA ACID FOOD. AZALEA LEAVES ARE SOMETIMES SUBJECT TO CHLOROSIS (A YELLOWING BETWEEN VEINS). THIS IS USUALLY CAUSED BY A LACK OF IRON, AND WILL MOST OFTEN RESPOND TO AN APPLICATION OR TWO OF CHELATED IRON. PRUNING - HEAVY PRUNING OF UNDESIRABLE BRANCHES SHOULD BE DONE WHEN PLANTS ARE AT THEIR PEAK OF BLOOM (USE THE BRANCHES AS CUT FLOWERS). MOST VARIETIES OF AZALEAS REQUIRE ONE GOOD PRUNING OR PRUNING OF NEW SPRING GROWTH IN JULY. THIS CREATES MORE BRANCHES AND BUSINESS FOR FALL BUD SETTING. HOWEVER, WHEN PLANTS ARE YOUNG AND VIGOROUS, ESPECIALLY WITH THE SOLO-FLORING VARIETIES, PRUNING ON NEW GROWTH SHOULD CONTINUE THROUGH SEPTEMBER.

PURCHASING - WE RECOMMEND ALL AZALEAS TO BE PURCHASED FROM 'HILFELDS' NURSERY WHO SPECIALIZE IN THE GROWING OF SPECIMEN AZALEAS. THEY ARE LOCATED AT 2880 ADAMS STREET, RIVERSIDE, CA (909) 889-7900. (800) 592-6909.

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RANDY BEERS PROJECT COORDINATOR

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PLANTING SPECIFICATIONS

DATE: 12-15-18
DRAWN BY: DP

SHEET NO.

L-5

OF - 5