August 15, 2019 Agenda Item No. 5

**SUBJECT:** Steckler Residence (PA2019-119)

• Coastal Development Permit No. CD2019-032

**SITE LOCATION:** 132 South Bay Front

**APPLICANT:** lan Harrison

OWNER: Vincent Steckler

**PLANNER:** David S. Lee, Assistant Planner

949-644-3225, dlee@newportbeachca.gov

### **LAND USE AND ZONING**

• General Plan: RT (Two-Unit Residential)

• **Zoning District:** R-BI (Balboa Island)

• Coastal Land Use Category: RT-E (Two Unit Residential – (30.0-39.9 DU/AC)

• Coastal Zoning District: R-BI (Balboa Island)

# **PROJECT SUMMARY**

A request for a coastal development permit to allow the demolition of an existing single-family residence and the construction of a new 2,723-square-foot, single-family residence with a 458-square-foot attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.

# **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit No. CD2019-032 (Attachment No. ZA 1).

# **DISCUSSION**

# Land Use and Development Standards

- The subject property is located in the R-BI Coastal Zoning District, which provides for two-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-family residence. The neighborhood is predominantly developed with two- and three-story, single-family residences and duplexes. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards				
Development Standard	Standard	Proposed		
Setbacks (min.)				
Front (South Bay Front)	5 feet	5 feet		
Rear (Alley)	5 feet	5 feet		
Sides	3 feet	3 feet		
Allowable Floor Area	3,185 sq. ft.	3,181 sq. ft.		
Parking (min.)	2-car garage	2-car garage		
Height (max.)	24 feet flat roof	24 feet flat roof		
	29 feet sloped roof	29 feet sloped roof		

### Hazards

- The project site is separated from the Newport Bay by an existing City-owned bulkhead and a public pedestrian boardwalk (South Bay Front). The bulkhead which protects the subject property is part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this project.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are

reviewed for compliance with approved investigations and CBC prior to building permit issuance.

# Water Quality

- The applicant provided an Erosion Control Plan to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution runoff and coastal waters derived by construction chemicals and materials. The Erosion Control Plan will be reviewed by the City's Engineer Geologist. Construction plans and activities will be required to adhere to the approved Erosion Control Plan.
- Pursuant to Municipal Code Section 21.35.050, due to the proximity of the
  development to the shoreline and the development including more than 75-percent
  of impervious surface area, a Water Quality Hydrology Plan (WQHP) is required.
  A WQHP prepared by Robin B. Hamers & Associates, Inc., dated June 5, 2019, has
  been submitted and will be reviewed by the City's Engineer Geologist. The WQHP
  includes a polluted runoff and hydrologic site characterization, a sizing standard
  for BMPs, use of an LID approach to retain the design storm runoff volume on site,
  and documentation of the expected effectiveness of the proposed BMPs.

### Public Access and Views

- The project site is located on Balboa Island between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities.
- Vertical access to the bay is available near the site on Emerald Street. Also, South Bay Front is a pedestrian boardwalk along the bay that is identified as lateral access to the bay by the Coastal Land Use Plan. The proposed single-family residence does not interfere with vertical or lateral access to the bay.
- The project site is not located adjacent to a coastal view road, public viewpoint, or public accessway, as identified in the Coastal Land Use Plan. The site is located approximately 650 feet from Balboa Island Park. Due to the large distance between the proposed residence and the park, the project will not affect public views from the park. Furthermore, all improvements in the front setback area of the subject property is limited to 42-inches from existing grade. An investigation of the project site and surrounding area did not identify any other public view opportunities. The project may be located within the viewshed of distant public viewing areas. However, the project

will replace an existing single-family residence with a new single-family residence that complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment. The Class 3 exemption includes the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-2 Coastal Zoning District.

# PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

## **APPEAL PERIOD**:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

David S. Lee, Assistant Planner

JM/dl

Attachments: ZA 1 Draft Resolution

Vicinity Map Project Plans ZA 2

ZA 3

# Attachment No. ZA 1

**Draft Resolution** 

### **RESOLUTION NO. ZA2019-###**

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-032 FOR A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 132 SOUTH BAY AVENUE (PA2019-119)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

### SECTION 1. STATEMENT OF FACTS.

- 1. An application was filed by Ian Harrison, with respect to property located at 132 South Bay Front, and legally described as Lot 9 and a portion of Lot 10 of Block 1, requesting approval of a Coastal Development Permit.
- 2. The applicant proposes the demolition of an existing single-family residence and the construction of a new 2,723-square-foot, single-family residence with a 458-square-foot attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.
- 3. The subject property is located within the Balboa Island (R-BI) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
- 4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two Unit Residential (RT-E) and the Coastal Zoning District is Balboa Island (R-BI).
- 5. A public hearing was held on August 15, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

- This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
- 2. Class 3 exempts the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-BI Coastal Zoning District.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

# Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

# Facts in Support of Finding:

- 1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 3,185 square feet and the proposed floor area is 3,181 square feet.
  - b. The proposed development complies with the required setbacks, which are 5 feet along the property line abutting South Bay Front, 5 feet along the property line abutting the alley, and 3 feet along each side property line.
  - c. The highest guardrail/parapet is below 24 feet from established grade and the highest ridge is 29 feet from established grade. The proposed development complies with all height requirements.
  - d. The proposed development provides a two-car garage, meeting the minimum garage requirement for a single-family residence.
  - e. The proposed development meets the minimum 9.0 feet (NAVD88) top of slab elevation requirement for interior living areas of new structures.
- 2. The neighborhood is predominantly developed with two- and three-story single-family residences and duplexes. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
- 3. The project site is separated from the Newport Bay by an existing City-owned bulkhead and a public pedestrian boardwalk (South Bay Front). The bulkhead which protects the subject property is part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this project.
- 4. Pursuant to Municipal Code Section 21.35.050, due to the proximity of the development to the shoreline and the development including more than 75-percent of impervious surface area, a Water Quality Hydrology Plan (WQHP) is required. A WQHP prepared by Robin B. Hamers & Associates, Inc., dated June 5, 2019, has been submitted and will be reviewed by the City's Engineer Geologist. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to

- retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.
- 5. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
- 6. The project site is not located adjacent to a coastal view road, public viewpoint, or public accessway, as identified in the Coastal Land Use Plan. The site is located approximately 650 feet from Balboa Island Park. Due to the large distance between the proposed residence and the park, the project will not affect public views from the park. Furthermore, all improvements in the front setback area of the subject property is limited to 42-inches from existing grade. An investigation of the project site and surrounding area did not identify any other public view opportunities. The project may be located within the viewshed of distant public viewing areas. However, the project will replace an existing single-family residence with a new single-family residence that complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

# Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

# Fact in Support of Finding:

- 1. The project site is located on Balboa Island between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities.
- Vertical access to the bay is available near the site on Emerald Street. Also, South Bay
  Front is a pedestrian boardwalk along the bay that is identified as lateral access to the bay
  by the Coastal Land Use Plan. The proposed single-family residence does not interfere
  with either vertical or lateral access to the bay.

### SECTION 4. DECISION.

# NOW, THEREFORE, BE IT RESOLVED:

- 1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-032, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
- 2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED,	AND ADOPTED THIS	15 <sup>TH</sup> DAY OF AUGUST,	2019.
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Rosalinh Ung, Zoning Administrator	

### **EXHIBIT "A"**

### CONDITIONS OF APPROVAL

- 1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.
- Coastal Development Permit No. CD2019-032 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 4. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.
- 5. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
- 6. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
- 7. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
- 8. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

- 9. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
- 10. Prior to issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the WQHP/WQMP and any changes could require separate review and approval by the Building Division.
- 11. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
- 12. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
- 13. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
  - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
- 14. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
- 15. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

- 16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
- 17. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
- 18. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the project file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
- 19. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
- 20. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
- 21. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
- 22. This project shall comply with flood mitigation construction requirements for A01 SFHA.
- 23. This project shall comply with liquefaction mitigation construction requirements.
- To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless 24. City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Steckler Residence Coastal Development Permit including, but not limited to, Coastal Development Permit No. CD2019-032 (PA2019-119). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

# **Attachment No. ZA 2**

Vicinity Map

# **VICINITY MAP**



Coastal Development Permit No. CD2019-032 PA2019-119

**132 South Bay Front** 

# **Attachment No. ZA 3**

Project Plans

### CAL GREEN NOTES

١.	2016 CALIFORNIA GREEN BULDING STANDARDS
	CCDE (CG) IS APPLICABLE TO ALL NEW RESIDEN-
	TAL BUILDINGS, NGLUDING BUT NOT LIMITED TO
	DYELLINGS, APARTMENT HOUSES, CONDOMINUMS,
	HOTELS, AND OTHER TYPES OF DWELLINGS
	CONTAINING SLEEPING ACCOMMODIATIONS WITH OR
	WITHOUT COMMON TOLETS OR COOKING FACILITIES
	RESULATED BY THE DEPARTMENT OF HOUSING AND
	COMMUNITY DEVELOPMENT (HCD-1).
	(NBMC 15.11.010, CG SECTION 101.9.1).
2.	2016 CALIFORNIA GREEN BUILDING STANDARDS

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  WITH CITYS PATRE EPICIENT LANDSCAPE
  ORDNANCE. (4304.1, NBMC 14.17)
  . PLUMBING POTURES AND PITTINGS SHALL COMPLY

WITH THE FOLLOWING: (-	4.808.1)
FIXTURE TYPE	MAX. PLON RATE
SINSLE SHOWERHEADS	2 6PH e 60 PSI
MULTIPLE SHOYERHEADS	COMBINED FLON RATE OF 2 6PM • 80 PM
RESIDENTIAL LAVATORY FAUCETS	1.2 6PH # 60 PSI <sup>2</sup>
COMMON AND PUBLIC USE LAVATORY FAICETS	0.5 SPH • 60 PSI
KITCHEN FAUCETS	1.8 GPH 6 60 PSI 9
METERNS FAUCETS	0.25 GALLONS PER CYCLE, MAXIMUM
NATER CLOSETS	126 GALLONS PER PLUSH
WALL MOINTED HENAL	O 125 GALLONS PER FLUSA

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  ALL OTHER TYPES OF IRNAL 0.5 GALLONS PER FLISH INCLIDES SINGLE AND DUAL FLISH WATER GLOSETS WITH AN EFFECTIVE FLISH RATE OF 126 SALLONS OR LESS FER ASME A122.19.29.2 FOR SINGLE FLISH AND ASME A112.19.14 FOR DUAL FLISH TOLETS.
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- 2. CARPET AND CARPET SYSTEMS SHALL BE COMPLINIT WITH THE FOLLOWING: (45043) 8. CARPET AND RIG INSTITUTES GREEN LABEL PLIS PROSRAM.
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  CALLPORNA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 01850.
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- ADVANTAGEM GOLD

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  FOLLOWING (4.50-4.4)

  B. YOC EMBELON LIMITS DEFINED IN THE
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- CALFORNA DEPARTMENT OF PUBLIC HEALTH

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ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ACHESIVES	150
MOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBPLOOR ADHESIVES	50
GERAMIC TILE ACHESIVES	65
VCT AND ASPHALT TILE ADHESIVES	50
DRYMALL AND PANEL ADHESIVES	50
COVE BASE ACHESIVES	50
MULTIPLIAPOSE CONSTRUCTION ADHESIVES	. 10
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ACHESIVES	250
OTHER ADHESIVES NOT SPEC PICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC NELDING	510
CPVC MELDING	490
ABS MELDINS	825
PLASTIC CEMENT MELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL MOOD MEMBER ADHESIVE	140
TOP AND TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	90
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT MOOD)	50

FOOD 80
FEBERSLASS 80
F AN ADHESIVE IS USED TO BOND DISSIMILAR
SUBSTRATES TOGETHER, THE ADHESIVES WITH
THE HIGHEST VOC CONTENT SHALL BE ALLONED

SEALANTS	VOC LN
ARCHITECTURAL	250
MARINE DECK	760
NON-MEMBRANE ROOF	300
ROADWAY	250
SINSLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL NON-POROUS POROUS	250 175
HODFED BITUMNOUS	500
MARINE DECK	160
OTHER	750

COMPLIANT WITH VOC AND OTHER TOXIC COM-POUND LIMITS SET FORTH IN TABLE 4.504.5.

ſ	VOC CONTENT LIMITS FOR ARCHITECTURAL (GRANS OF VOC PER LITER OF CO LESS WATER AND LESS EXEMPT COMP	ATNS.
ı	COATING CATEGORY	VOC LM
г	FLAT COATINGS	50
Г	NON-FLAT COATINGS	100
Г	NON-FLAT HIGH GLOSS COATINGS	150
П	SPECIALTY COATINGS	
Г	ALIMNIM ROOF COATINGS	400
Г	BASEMENT SPECIALTY COATINGS	400
Г	BITIMINOUS ROOF COATINGS	50
Г	BITIMINOUS ROOF PRIMERS	950
П	BOND BREAKERS	950
Т	CONCRETE CURING COMPOUNDS	950
г	CONCRETE/HASONRY SEALERS	100
г	DRIVIBYAY SEALERS	50

STAINS
STONE CONSCILDANTS
SYMMING POOL COATINGS
TRAFFIC MARKING COATINGS
TUB AND TILE REFINISH COATINGS
PATERPROOFINIS MEMBRANES
PROOF COATINGS

THE SPECIFED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENTIAL COLUMNS IN THE TABLE.



THAN OR BOULL TO 50% TO MAX 50% (4.50-6.1)
ALL DUCT STRIPM ARE SIZED DESIGNED AND
BOURNEST IS SELECTED USING THE POLLCHING
METHODS (4.50-12)

B. BETABLISH HEAT LOSS AND HEAT GAN VALUES
ACCORDING THE ANSWACCA 2 MANINAL J-2004
(RESIDENTIAL LOS) CALLOTONI, KSPRZE
HANDSCOKS OR BOUNTALENT DESIGN
METHODS.

METHODS.

NOTALER AND SPECIAL INSPECTOR QUALIFICATIONS

IS HAZ SYSTEM INSTALLERS SHALL BE TRAINED

AND CERTIFIED OR MORK KINDER DIRECT SUPERVISION OF TRAINED AND CERTIFIED INSTALLERS

IN THE PROPER INSTALLATION OF HYAC SYSTEMS
(2021)

THE DISCIPLIES THEY ARE INSPECTING, (102.2) COUNSTITATIONS

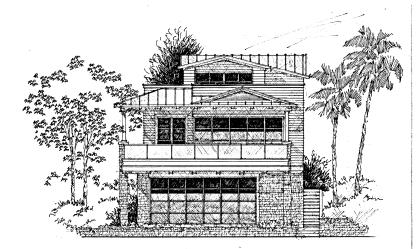
AN OPPERATION AND MAINTENANCE MANNAL, CO., ARES -BANCO REPRESSION OR OTHER APPROVED THE BURDER TO AND APPLIANCE INSTRUCTION OF THE BURDER TO AND APPLIANCE, (4-4)(C.1)

AND APPLIANCES, (4.410.1)
DOCUMENTATION SHALL BE PROVIDED TO VERRY
THISH MATERIALS USED COMPLY MITH VICE
LIMITS AS SET FORTH IN TABLES 4.504.1, 4.504.2,
4.4504.3, (4.504.2,
DOCUMENTATION SHALL

THE PROVIDENCE OF THE PROVIDENCE O

IN TABLE 45045 (45045) 1

39. DOCHENTATION WHICH SHOWS COMPLIANCE WITH CAL GREEN CODE NOLIDING CONSTRUCTOR DOCHMENTS, FLANS, SPECHCATIONS, SULDEN OR NOTALLES COSTRUCTOR IN AND INSPECTION REPORTS AND VERFICATION SHALL BE AVAILABLE AT THE FINAL INSPECTION, CHOS. IN



### DEVELODMENT CTANIDAD DO

DEVELOPMENT STANDARD	STANDARD	PROPOSED	
SETBACKS (MIN)			
FRONT	5 FEET	5 FEET	
SIDES	3 PEET	3 FEET	
REAR	5 FEET	5 FEET	
ALLOWABLE FLOOR AREA	3186 SQUARE FEET	3181 SQUARE FEET	
ALLOMABLE SRD FLOOR AREA	NOT APPLICABLE (R-BI)	N/A	
OPEN SPACE	NOT APPLICABLE (R-BI)	NA/	
PARKING	2-CAR GARAGE	2-CAR GARAGE	
HEIGHT	24 FEET FLAT ROOF 29 FEET SLOPED ROOF	24 FEET FLAT ROOF 29 FEET SLOPED ROOF	

	TROJL
1.	EDISON COMPANY APPROVAL IS REQUIRED FO METER LOCATION PRIOR TO INSTALATION. SERVICE TO BE UNDENGROUND IF RELOCATED OR A NEW SERVICE IS NOTALLED. FIELD INSPECTORS TO REVEN AND APPROVE FUTUR INDEXECUTOR SERVICE REQUIREMENT FROM CONCRETE PLACEMENT.
2	SOLS ENSINEER TO REVIEW AND APPROVE FOUNDATION AND GRADNIG PLANS, SOLS ENGI

ANY OFFICE PLANT AMEDIANT IS REQUIRED FOR ALL KNOWLAND MERCHANDIANTS WHICH THE PRICE PLANT CAPITY ALL KNOWLAND AND PROCESSING SHALL CAPITY AND ALL KNOWLAND SHOW SHALL CAPITY AND ALL CAPI PETT. NGSS AND WALLS WITHIN THE SIDE YARD SET-

TINKES AND PALLS HIMM THE SIDE YARD SET-BACKS SHALL FOR EXCEPT OF O'R SHOURIES FROM 400 WINDS FORTION OF THE FINES OR PALL AROUS SET IN HEIGHT FROM THE DISTING SHADE FROM TO CONSTRUCTION HAS BE SHOWN OPEN. THE SHADE SHALL SET THAN LIST SHADE SHADE FROM BOSING SHADE STATE OF CONSTRUCTION HAS FROM THE SHADE SHADE TO CONSTRUCTION HAS NO HALL NOT SECRED 3"O'R THAN EXISTING SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE SHADE HAVE SHADE HAVE SHADE SHAD

ALL PLANTING TO BE NON-INVAGIN

PROVIDE 2 LAYERS OF SANDBASS AT PROPERTY LINES FOR EROSION CONTROL PER NEWS, TYP.

REMOVAL OF ANY CITY TREES REQUIRES PRICE APPROVAL FROM GENERAL SERVICES DEPARTME

90/010.

PROVIDE TREES IN THE PARKINAY ADJOINING THIS SITE TO THE SATEFACTION OF THE SEMERAL SERVICES DEPARTMENT (1944-9-1008). APPROVILE PROVIDED BY THE SERVICES OF REQUIRED ON THE BUILDING INSPECTION CARD PRIOR TO FINAL INSPECTION.

INSPECTION.

SINVEYOR SHALL MONAMENT PROPERTY CORNERS
BETIORS STATING GRADNO, WITH EVALUATION

FOR A RECORD OF SINVEYOR TO FILE FERNAMENT

OWNERS AND SINVEYOR WITH THE OFFICE OF THE

COMITY SINVEYOR. SUPPORTS OF FILING SHALL BE
SIGNITIZED TO THE SILDIAGS NEPECTOR PRIOR TO

FORDATION NEPECTION.

CONTRACTOR TO DETAN AN ENCROACHMENT PERMIT PROVINGEL HORKE PRIOR TO PERFORMING ANY OFF-SITE WORK.

ALL UTLITY SERVICE CONNECTIONS SHALL BE MADE INDERSPROND. MADE INDERSECUED.

NEW CONCRETE SIDEMALK, CARS AND SUTTER, CARS

ACCESS RAMPS, AND STREET PAYEMENT MAY BE

REQUIRED BY THE CITY AT THE TIME OF CONSTRUC-

SITE NOTES

CONSTRUCTION PRICADS TO DAY HOST.
TABLE SEGON FORTICATION OF PROTECTIONAL OF P 5 FIET OR MORE BUT NOT MORE THAN 1/4 THE HISHIT OF CONSTRUCTION 5 FIET OR MORE THE HISHIT OF CONSTRUCTION 5 FIET OR MORE BUT EVERTOR BUT EVERTOR CONSTRUCTION BARRIER AND COVERED HALKWAY

CONSTRUCTION INSPECTOR PRE CBC 85C, 106. MINIMAI DESIGN SOIL BEARING OF SHEET (85M) FOUNDATION NOTE 44. MAXIMAI TEMPERATURE OF 122 DESCREEN AT ALL MOVEMEN AND TIB 69M-OWERS TO BE PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMO-STATIC MONEY VALVES.

S. A BULDN'S HESHT CERTFICATE IS REQUED
 PROR TO POURN'S CONCRETE
 PROR TO INSTALLING ROOF MATERIALS
 TO ROOF RAFTERS

### PROJECT NOTES

i iccjici	ı	NOIL
COMPANY APPROVAL IS REQUISED FOR LOCATION PRIOR TO INSTALLATION. IT TO BE INFORMATION FRUIT OF THE PRIOR TO THE SERVICE IS NOTALLED. RELD TORS TO REVEN AND APPROVE FUTURE GROUND SERVICE REQUIREMENT FROR TO EITE PLACEMENT.	11.	UTLITY DEPARTMENT TO INSPECT HOCK-IP PRIOR TO BUILDING FIN LATERAL TO BE CHANGED AND CLINGTALIZED TO COMPLY WITH CITY ANY OF THE FOLLOWING CONDITT THE MILL BE DETERMINED BY THINSPECTOR.
ENSINEER TO REVIEW AND APPROVE ATION AND GRADING PLANS, SOLIS ENGINEER		A. ALTERATIONS TO THE BUILD! DONE.

PROVIDE PRESSURE REGULATOR IF MATER IS EQUAL TO OR GREATER THAN EIGHTY POUNDS PER SQUARE INCH (60 PS). SEPARATE APPLICATION PERMIT IS REQUEST FOR DEMOLITION, RETAINING WALLS, PATIO COVERS, PENCES OVER 8'-6" HIGH AND POCLS/SPAG.

THE EC MIST BE APPROVED BY THE CITYS COMMINTY RATING SYSTEM (CRS.) PRIOR TO REQUESTING FINAL INSPECTION.

REQUESTING FINAL INSPECTION.
ALL MECHANICAL AND BLECTRICAL EQUIPMENT,
INCLIDING DUCT OPENINGS, TO BE ABOVE BLEVA
TION 9.00' NAVDES MEAN SEA LEVEL (M.S.L.). TION 100 NAVIDED MEAN SEA LEVEL IN SLU. AN APPROVIDE A TIENNATE METHOD OF CON-STRUCTION (MOD) FORM MAST ACCOMPANY THE COMBINITIAL FOR REVIEW BY THE CAS COORDI-NATOR, AND THE MECHANICAL DUCTNS SYSTEM MOST MAY ET LOWEST ELVIATION NOTCASPO UNDER SECTION COR WITH NOTISS IN THE COMMENT OF SECTION OF THE EXPRENDING THE

ALL LANDSCAPINS IN PUBLIC RIGHT-OF-WAY FRONTINS PROJECT SITE SHALL BE REPLACED BY LANDSCAPING TO THE SATISFACTION OF THE SINERAL SERVICES DEPARTMENT.

DING SEVER IS C. WHEN IT IS FOUND THAT THE BUILDING SEVER IS NISTALLED IN AN ILLEGAL OR UNSANTARY

BY NO. ALLEU N. M. LLEDA. C. M. CHANNA THE STATE OF THE STATE THE STATE OF THE STAT

BE CONTACT NO. THE PILLAR PROSE PROSE TO THE PILLAR PROSE TO THE PILLAR PROSE PILLAR PILLAR

PRIOR TO STARTING EXCAVATION MORK.

PROVIDE PHOLE HOUSE MECHANICAL VENTLATION
FER ASHRAE STANDARD 622-2007 SECT. 4, WITH
EXCEPTION THAT NATURAL VENTLATION THROUGH
DOORS AND WINDOMS IN DIT MACCEPTABLE
ALTERNATIVE TO WHOLE HOUSE VENTILATION

PROVIDE IN KITCHENS LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE + 100 CFM VINITED TO OUTDOORS WITH HATE + 100 CPM SEGUNCE OF A BUILDING PREVIOUS TO THE LITT OF NEWFORT BEACH FORES NOT RELEVE APPLICANTS OF THE LESS HE REQUIREMENTS FOR OBSERVE CO-PRANTS CONDITIONS AND RESTRICTIONS FINGE MAY BE RECORDED ASAISST THE PROPERTY OR TO OSTAM PLANS YOU SHOULD CONTACT YOUR COMMAINT ASSOCIATIONS PROTO TO COMMING HIS TO MAY CONSTRUCTION AUTHORIZED BY THE FERMIT.

### PROIECT DATA

PROJECT DESCRIPTION DEMOLISH EXISTING STRUCTURE, CONSTRUCT NEW 3 STORY SINGLE FAMILY RESIDENCE AND ATTACHED GARAGE

LEGAL DESCRIPTION: THOSE PORTIONS OF LOTS AND 10, BLOCK 1, RESIDENSION OF SECTION 1, BALSON SIAND, N THE CITY OF NEPPORT BEACH, CONTY OF GRANGE, STATE OF CALIFORNIA, AS FER MAP RECORDED IN BOOK 6 PAGE 30 OF MOSCILLARBOSS HAPS, IN THE OFFICE PAGE 30 OF MOSCILLARBOSS HAPS, IN THE OFFICE THE COATTY RECORDER OF SAD COUNTY, LYNIN NORTHWESTINGLY OF THE FOLLOWING DISCORREDE LIKE

APN 050-011-25

> OWNER. STECKLER FAMILY TRUST VINCENT MAYNE STECKLER, TITLE 512 LINCOLA AVENUE PALO ALTO, CALIFORNIA 94901 T08/626-5190

PROPERTY ADDRESS 192 SOUTH BAY FRONT BALBOA SLAND, CALIFORNIA 92662

ARCHITECT (DESIGN PROFESSIONAL IN CHARGE)

STRUCTURAL ENGINEERING RCE CONSULTANTS, INC. 18021 SNY PARK CIRCLE, SUITE E<sup>2</sup> RVNE, CALIFORNIA 92614 949/466-9994 ALI REZAEI

SOILS ENGINEER

EGA CONSILTANTS, LLC 975-C MONTE VISTA AVENUE COSTA MESA, CALIFORNIA 9262' 949/642-9509 949/642-1290 PAX

SIGNED SURVEYOR LOREN K. TOOMEY, PLS 4459 2419! BELGREEN PLACE LAKE FOREST, GALIFORNIA 92680 846/1924641

AREA SUMMARY

TOTAL STRUCTURE

ROOF DECK BALCONES

ALLONABLE

LOT AREA

MPERVIOUS SURFACE

CIVIL ENGINEER. ROBIN B. HAMERS & ASSOCIATES, NO. 294 EAST 17TH STREET, SUITE 208 COSTA MESA, CALIFORNIA 92627

HFX3 HARDY FRAME DETAILS

1091.91 SF 1412.65 SF 210.6T SF

2129.51 5P 451.50 6F

= 3180.81 SF

\* 764,45 SP \* 240,42 SP

2455.71 SF 200,00 SF

9185.TT 9F

2455.35 SF

= 0.0685 ACRES (2166.85 SF)

• 1990.51 SF

T24-1 TITLE 24 FORMS T24-2 TITLE 24 FORMS

L1 LANDSCAPE PLAN

areas 1+2 AREA PLANS areas 3 AREA PLANS

BUILDING CODE INFORMATION:

SPRINKLERED: YES PER NFPA 13D R-Bi

DEFERRED SUBMITTALS SPRINCERS SUBMIT SPRINCER PLANS TO NEWFORT BEACH FIRE DEPARTMENT AND PROVIDE PLANS APPROVIDE BY NEWFORT BEACH FIRE DEPARTMENT AT THE OF FRAMING INSPECTION.

BULDING MODIFICATION FOR INDER-SLAS DUCT SYSTEM (SUSTERRANEAN DUCTING MUST BE SUB-MITTED THROUGH MODIFICATION FOR APPROVAL PRIOR TO PERMIT (SISJANCE) SOUND ATTENUATION FOR MECHANICAL EQUIPMEN SOLAR PANELS



SHEET INDEX TITLE SHEET CIVIL TITLE SHEET

FLOOR PLANS

EXTERIOR ELEVATIONS

BUILDING SECTIONS

BUILDING SECTIONS C-H

IST + 2ND FLOOR ELECTRICAL PLANS

3RD FLOOR ELECTRICAL PLAN

ARCHITECTURAL GENERAL NOTES

ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

FRAMING PLANS

STRUCTURAL GENERAL NOTES

STRUCTURAL TYPICAL DETIALS

STRUCTURAL DETAILS

SD1 STRUCTURAL STRUCTURAL DETAILS

SD4 STRUCTURAL SD5

SD6 SIRUCIURAL DETAILS

HFX1 HARDY BRAME DETAILS

HFX2 HARDY FRAME DETAILS

T1

C-1

C-3 C-4

C-5 SURVEY TOPOGRAPHIC SURVEY SHEPLAN A0

Α1

A2

A3

A4

Α5

A6

A7

AGN

AD1

AD2

S1

SGN

SGD

SD3

PRECISE GRADING PLAN

CONSTRUCTION POLITION PREVENTION PLAN -EROSION CONTROL PLAN

ARCHITECT





TITLE SHEET
PROJECT DATA

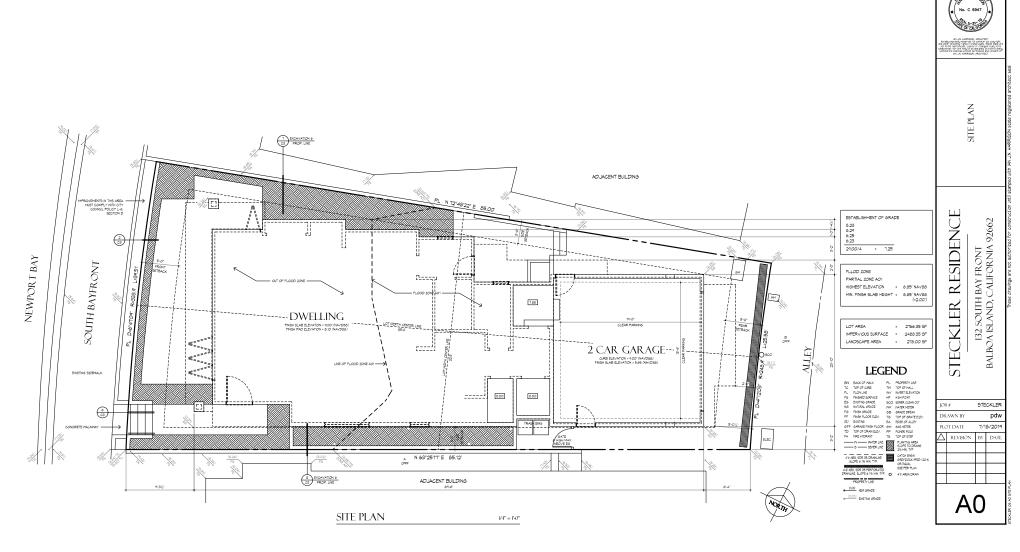
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TECKLER

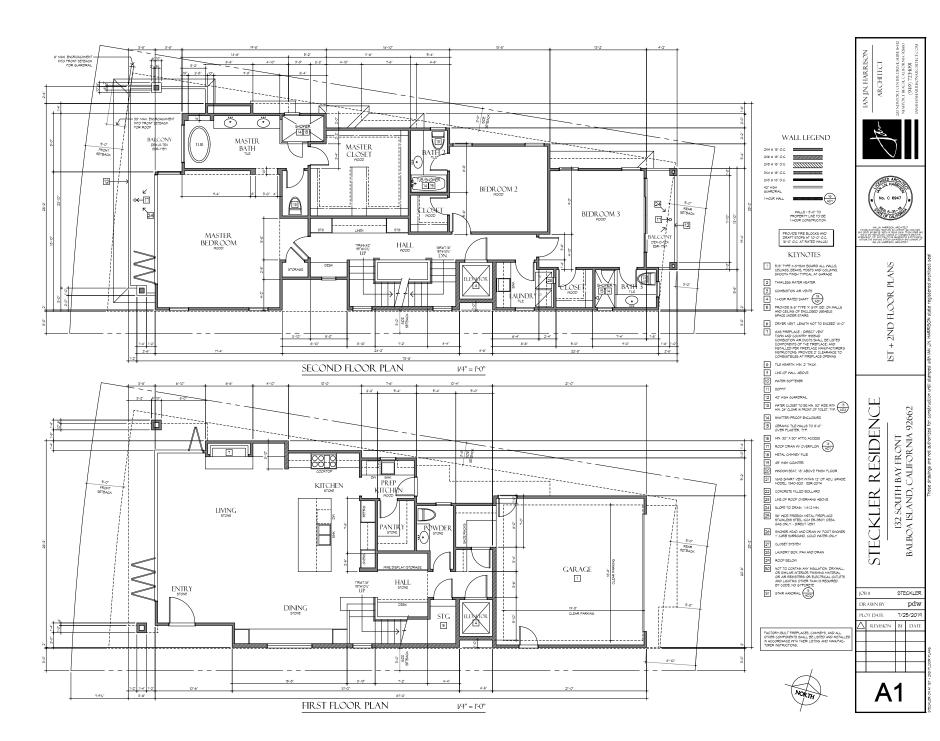
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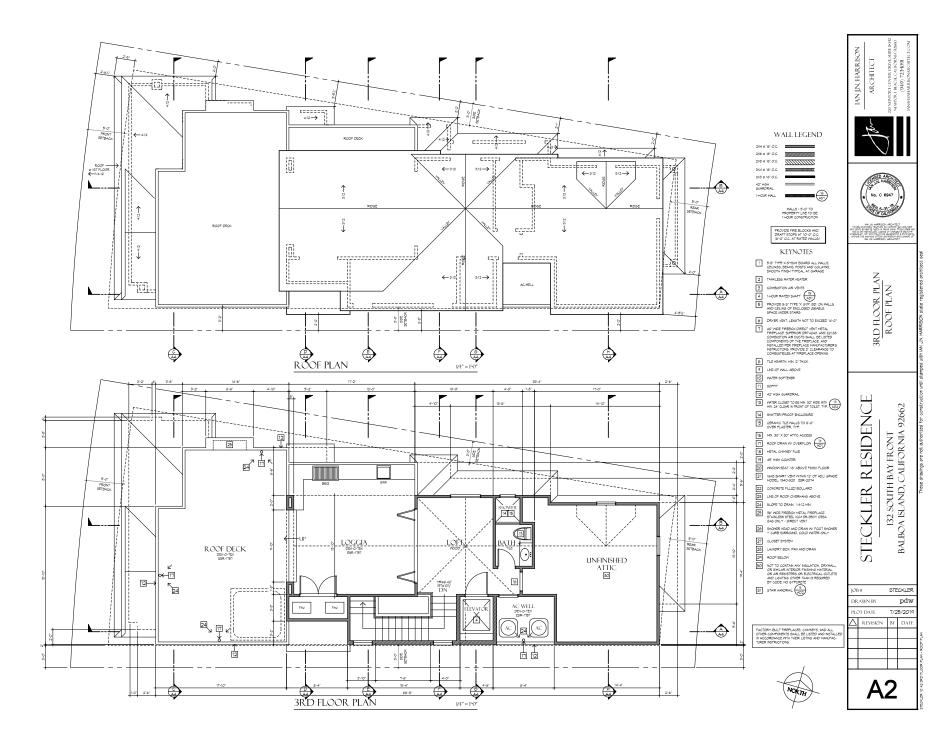
SOUTH BAY FRONT LAND, CALIFORNIA ISLAND, (

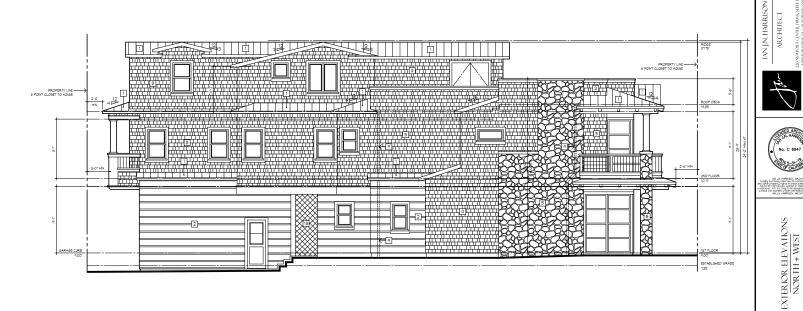
JOB# STECKLER DRAWN BY pdw PLOT DATE 6/19/2019 REVISION BY DATE



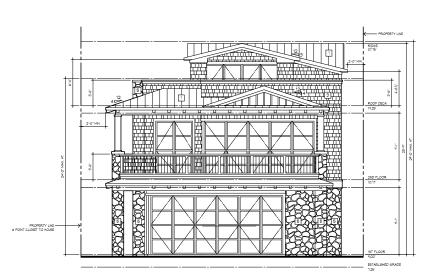
IAN J.N. HARRISON ARCHITECT











### KEYNOTES

- 1 STANDING SEAM SHEET METAL ROOFING CLASS W ASSEMBLY
- 2 BOARD AND BATT OVER 9/8" HARDY PANEL
- 3 HORIZONTAL ARTISAN SQUARE CHANNEL SIDINS
- FIREPLAGE DIRECT VENT
- ICCF ESR-1215

  B MITTRAL SKADE

  T INNEH GRADE

  T INNEH GRADE

  B CARRIAGE LIGHTS

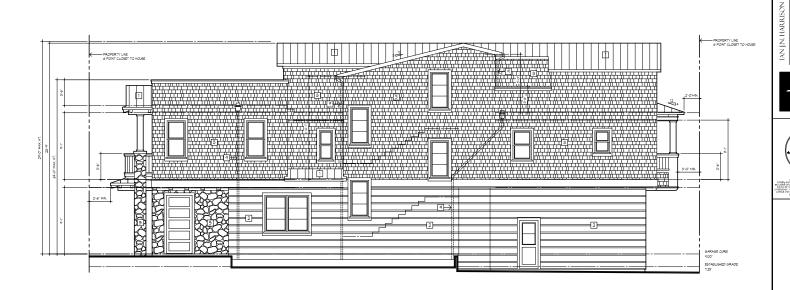
  G DOMSPOUT

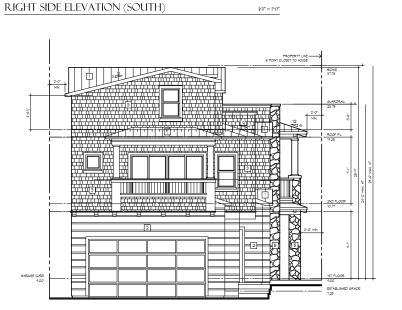
  D METAL FRAME, OBSCIRE SLASS
  GARAGE DOOR
- 11 CONCEALED DOWNSPOUT
  CONNECT DIRECTLY TO SUB-SURPACE DRAININGS SYSTEM TYPICAL ALL DOWNSPOUTS AND DECK DRAINS
- 12 (2) SMART VENTS, MODEL 1540-520 ESR-2014, WITHN 12' OF FINSH SURFACE

JOE		4TE	CKLER
Ė	AWN BY	316	pdw
PLC	OT DATE	7/1	8/2019
Δ	REVISION	BY	DATE
A3			

STECKLER RESIDENCE

132 SOUTH BAY FRONT BALBOA ISLAND, CALIFORNIA 92662





REAR ELEVATION (EAST)

### KEYNOTES

- 1 STANDING SEAM SHEET METAL ROOFING CLASS W ASSEMBLY
- 2 BOARD AND BATT OVER 9/8" HARDY PANEL 3 WOOD SHINGLE SIDING
- FIREPLAGE DIRECT VENT
- THN STONE VENEER OVER PLASTER, MAX, 154/SF ICC# ESR-12/5
- 60 ESR (2/5)

  6 NATURAL SRADE

  1 TINEH GRADE

  6 DARRIAGE LIGHTS

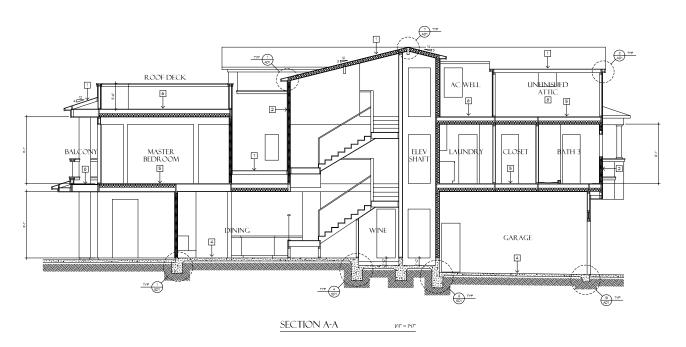
  D ORRIAGE LIGHTS

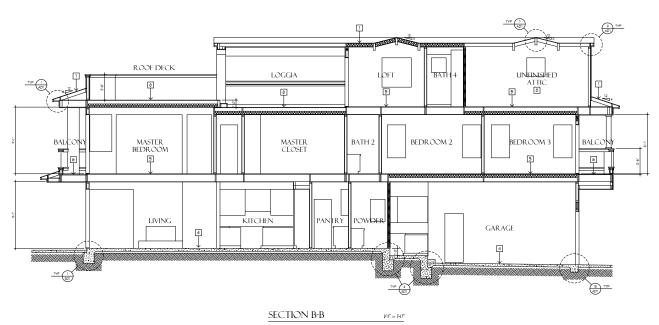
  10 METAL FRAME, OBSQIRE SLAGS
  GARAGE DOOR
- 11 CONCEALED DOWNSPOUT
  CONNECT DIRECTLY TO 5/8SURFACE DRAINAGE SYSTEM
  TYPICAL ALL DOWNSPOUTS
  AND DECK DRAINS 12 (2) SMART VENTS, MODEL 1540-520 ESR-2014, WITHN 12' OF FINSH SURFACE

STECKLER RESIDENCE 132 SOUTH BAY FRONT BALBOA ISLAND, CALIFORNIA 92662 JOB# STECKLER DRAWN BY pdw PLOT DATE 7/18/2019 REVISION A4

ARCHITECT

EXTERIOR ELEVATIONS
SOUTH + EAST







IAN J.N. HARRISON ARCHITECT

- I SOOF RESIDENCY TO THE TOTAL ROOF CLASS A MERCHAN FOR THE PROPERTY OF THE PRO



BUILDING SECTIONS
A+B



JOB#

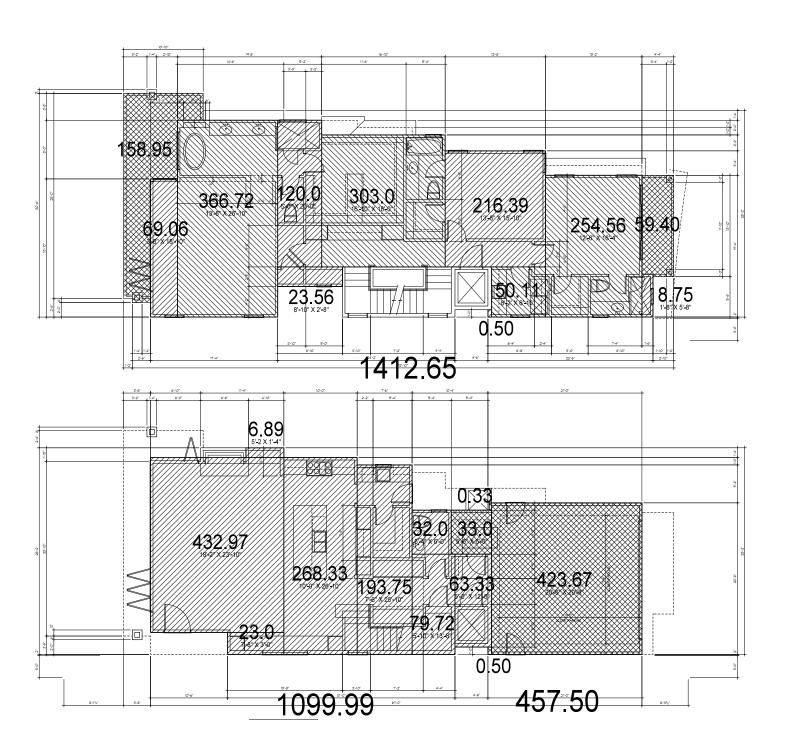
IAN J.N. HARRISON ARCHITECT

BUILDING SECTIONS
A+B

STECKLER RESIDENCE

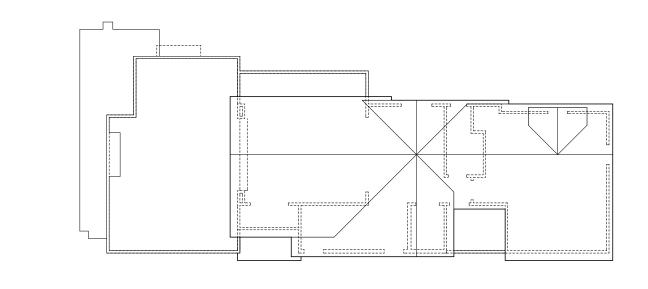
132 SOUTH BAY FRONT BALBOA ISLAND, CALIFORNIA 92662

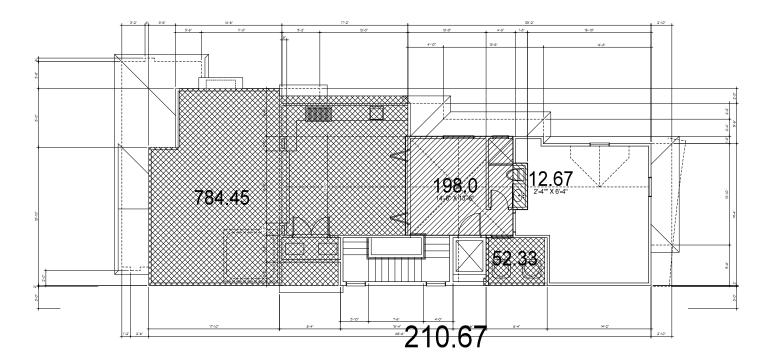
STECKLER

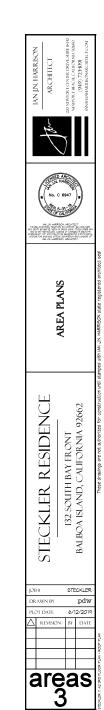




areas 1+2







### NEWPORT BEACH GENERAL GRADING SPECIFICATIONS

ANY EXISTING IRRIGATION OR GISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACK-FILLED AND APPROVED BY THE SOLIS EMANERS

FILLED AND APPROVED BY THE SOLIS ENGINEER. THE ENSINEERING GEOLOSIST AND SOLIS ENSIN-FREE GLEAR, ATTER CLEARING AND PROFE TO THE PLACIMENT OF FILL IN CANYONS, INSPECT ENCE CANYON FOR AREAS OF A CAYERSE STARLITY AND DETERMINE THE PRESSURE OF OR POSSIBILITY OF

DETERMINE THE PRESSURE OF OR POSSIBILITY PUTURE ACCOMULATION OF SUBSIRFACE WATER OR SPRING FLOW IF NEEDED, DRAINS MILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT RESPECTIVE CANYON.

THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE

BE SOMETED IN THEIR FOR THE MISS ON THE MISS OF THE MEDIT TO A NIMM OF 90% RELATIVE COMPACTION AND APPROVED BY THE SOLIS DISSINGER. THE BULDING DEPARTMENT MAY REQUIRE CORNS OF CONCRETE FLATHOOR PLANDOR PLANDOR VINCED OVER INTESTED BACKFILLS TO FACILITATE TESTING.

THE STOCKPILE OF EXCESS MATERIALS SHALL BE APPROVED BY THE BULDING DIVISION. LANDSCAPING OF ALL SLOPES SHALL BE IN ACCORDANCE WITH CHAPTER IS OF THE NEW,

ALL CIT SLOPES SHALL BE INVESTIGATED BOTH DIRANG AND AFTER GRADING BY AN ENGINEER SECLOSIST TO DETERNINE IF ANY STABLITY PROBLEMS EXIST, SHOULD EXCAYATION DIS-CLOSE ANY SECLOSICAL HAZARDS OR FOTEN TILL SECLOSICAL HAZARDS, THE DIGNEERING

APPROVAL HERE SUPPORT AND BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED NECESSARY BY THE BASINETING SECLOSING TAYD SOLES BY THE SOLES THAN SOLES AND SOLES THAT SOLES THAN AND CALIFOLATION FROM THE SOLES THAN SOLETIAN AND CALIFOLATION FROM THE BULDING DIVISION PRIOR TO CONSTRUCTION.

- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NEMC). THE PROJECT SOLLS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
- DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE. SANTARY FACILITIES SHALL BE MANTANED ON THE SITE DURING THE CONSTRUCTION PERIOD.
- MORK HOURS ARE LIMITED FROM TIGO AM TO 630 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND NO MORK ON SUNDAY OR HOLIDAYS FER SECTION 10-26 OF THE NEMO
- NOISE, EXGAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-25 OF THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE SITE AT ALL TIMES.
- DE LA THE SITE AT ALL TIMES.
  PERMITTEE AND CONTRACTOR ARE RESPONSBULE
  FOR LOCATING AND PROTECTING VILITIES.
  APPROVED DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MAY THE USED TO PROTECT
  ADJOINNG PROFERTES DIRING GRADING
  OPERATION.
- OPERATION.
  CESSFOCIS AND SEPTIC TANKS SHALL BE ABAN DONED IN COMPLIANCE WITH THE INFORM PLIMBINS COCE AND APPROVED BY THE BUILDINS OFFICIAL.
  HALL ROLLING FOR MYCHAT AND EMPORT OF MATERIALS SHALL BE APPROVED BY THE GITY TRAFFIC DISSIBLE AND PROCEDURES SHALL CONFORM TO CHAP. 19 OF THE NIME.
- POSITIVE DRANAGE SHALL BE MANTAINED AMAY FROM ALL BUILDINGS AND SLOPE AREAS.
- IN A STOP MORE CREDER.
  ALL PLASTIC DRAINAGE PIES SHALL CONSIST OF
  PVC OR ABS PLASTIC SCHEDULE 40 OR SIZE 35
  OR ADS 3000 WITH GLUED JOINTS.
  NO PANT, PLASTER, CEMENT, SOIL MORETAR, OR
  OTHER RESIDE SHALL BE ALLOWED TO ENTER
  STREETS, CARBS, SUTTENS, OR STORM DRAINS,
  ALL MATERIAL AND WASTE SHALL BE REMOVED.

EROSION CONTROL DEVICES SHALL BE AVAILABLE ON SITE FROM OCTOBER 15 TO MAY 15.

DICEEDS 50%.
TEMPORARY DESITING BASINS, WHEN REQUIRED SHALL BE INSTALLED AND MAINTAINED FOR THE DIRATION OF THE PROJECT.

AMES INSPECTIONS

A PRE-SHARM WETTING SHALL BE SCHEDILED
AS INCOME TO START OF SEARCHS ATTH
AS INCOME TO START OF SEARCHS ATTH
AS INCOME.

AS INCOME, AND AS INCOME.

BOLD BOARDER, OTT SEARCHS BISINETS, OR

THEIR REPRESENTATIVE. REQUIRED THEIR MAPPEL

A PRE-PANIS WETTING SHALL BE SCHEDULED

A PRE-PANIS WETTING SHALL BE SCHEDULED

A PRE-PANIS WETTING SHALL BE SCHEDULED

THEIR TO START OF PANIS ATTH
THE TOLLOWING PRESCHIS PRESENT. OWNER,

BOLD BOARDER, OTT SHARM OF PANIS ATTH

THE TOLLOWING PRESCHIS PRESENT. OWNER,

BOLD BOARDER, OTT SHARMOR PANIS ATTH

THE TOLLOWING PRESCHIS PRESENT. OWNER,

TO START SHARMOR AND THE START OWNER,

THE TOLLOWING PRESCHIST OWNER,

TH

SOUS ENGINEER, CITY SKADING ENGINEER THEIR REPRESENTATIVE, REGURED FIELD IN TIONS WILL BE OUTLINED AT THE MEETING.

GRADING RILLS AND GUTS

1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL. RILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINSH SURFACE.

TO THE PINES BURFACE.

ALL FILLS SHALL BE COMPACTED THROUGHOUT
TO A MINAM OF PO PERCENT RELATIVE COMPACT
TO AN EDITED HANDED BY ASTMITIST HETHOUGH
1901. AND APPROVIDE BY THE SOLES BISINESS.
COMPACTION HETS SHALL BE PERFORMED.
APPROVING THE SHALL BE PERFORMED.
APPROVING THE SHALL BE PERFORMED.
TO STREAM HE SHALL BE PERFORMED TO TO THE THE ARREST
TO OVERALL COMPACTION EFFORT APPLIED TO
THE FILL ARREST.

THE FILL AREAS, AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL YES/STATION AND DESIRE, SCARFIED AND APPROVIDE BY THE SOLS BY-SNEEP PRIOR TO PLACING OF THE FILL.
FILLS SHALL BE REYED OR BENCHED NTO COMPETENT WATERNAL.

CONSTRUCTION.

THE BANKERSON GECLOSIST AND SOLD BROWNERS SHALL ROPED THAT DIST THE CONSTRUCTION OF ALL BITTERS SHALL NOW SHALL ROPED THAT DIST THE CONSTRUCTION OF ALL BITTERS SHALL NOW ATTACK TO THE STABLITY OF THE SLOPE AND ADJACENT STRUCTION.

OF THAT IN THE SHALL REPORT OF THE SHALL SHALL REPORT OF THE DEPORTER OF REPORT OF THE SHALL REPORT ALL BYSTINS FILLS SHALL BE APPROVED BY THE SOLS BYSINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.

THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC NEPECTIONS DURING GRADING.

 $1/4^{\circ} = 1'-0'^{\circ}$ 

### PLAN NOTES

- ALL ROOF DRAINAGE SHALL BE COLLECTED BY RAIN GUTTERS VIA DOWNSPOUTS AND INDERGROUND PIPES.
- 2. CONCRETE FLOOR SLABS SHALL BE UNDER

### **BUILDING DIVISION** NOTES

NOTIFICATION OF NONCOMPLIANCE IF, IN THE COURSE OF TURLILLING THER REPROVISEUR TO THE PROPERTY OF THE PROVINCE SURVEYOR TO FILE A CORNER RECORD OR SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

TOK PROK TO FORGATION NEWFECTION.
SEMANCE OF SULDING PERMIT BY THE
CITY OF NEWFORT BEACH DOES NOT
RELIEVE APPLICANTS OF THE LESS.
REQUIREMENTS TO COSERVE COVENINTS,
CONDITIONS AND RESTORMS PROPERLY
BERTLOODED ASANST THE PROPERTY OF
TO GET HIS THE CONTROL OF THE CONTROL
COMMENCEMENT OF ANY CONSTRUCTION
AUTHORIZED BY THIS FEBRUIT. FACE AND SUBSURFACE DRAMASE FACUL THE CIVIL ENGINEER SHALL PROVIDE WITH APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRAD-ING PLAN AND STATE THE NUMBER OF YARDS OF OUT AND/OR FILL MOVED DURING THE OPERATION OF FIELD AND LABORATORY RESULTS AND O'S SUBSTANTAINED DATA AND COMMENTS ON AN CHANGES HAZED DATA OR COMMENTS ON AN CHANGES HAZED DATA GRADNIG AND THEIR EPIECT ON THE RECOMMENDATION MADE IN SOILS BUSINEERING INVESTIGATION REPORT IN APPROVAL FOR THE INTENDED LIBE AND COMPLETION OF WORK IN ACCORDANCE WITH THE LOSS STEEDING FOR CHANGE WITH THE

#### GRADING OVER-EXCAVATION

CUT = T2 CU. YD5. FILL = 140 CU, YD5 TOTAL = 212 CU. YDS.

= 2766.35 SF MPERVIOUS SURFACE = 2488.35 SF LANDSCAPE AREA = 278.00 SF

### PUBLIC WORKS DEPARTMENT NOTES

- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMEN PERMIT MUST BE OBTANED FROM THE PUBLIC MORKS DEPARTMENT.
- A FIGURE PARKET BOOK AND A FIGURE AND A FIGURE PARKET BOOK AND BESIZED AT THE THE OF FINAL CAN BE SEED AT THE THE OF FINAL CAN BE SEED AT THE THE OF FINAL CAN BE SEED AT THE THE OF FINAL PARKET BOOK AND A FINAL PARKET BOOK (MUNICIPAL CODES 14.24.020 AND 14.08.080). SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- ALL MORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN "A" LICENSED SENERAL ENSINEERING CONTRACTOR.
- ALL MORK RELATED TO MASTEMATER IN THE PUBLIC RISHTIOF/WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEVER CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY NITH CITY COUNCIL POLICY L-6.

SOILS ENGINEER, AND

### DEMO NOTES

- ALL DEBRIS SHALL BE NET AT TIME OF HANDLING TO PREVENT DUST.
- 2. SEMER LINE SHALL BE CAPPED.
- ALL BASEMENT FILLS SHALL BE GLEAN AND UNFORM.
- EROSION CONTROL DÉVICÉS SHALL BÉ AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15. BETWEIN COTOBER 19 AND MAY 19, BROSON CONTROL MEASURES SHALL BE IN PLACE AT THE BOY OF FEAR MORKING DAY MEMORITH THE MOYEN FOR THE YEAR FORDER THE THE PROBMEUTY OF RAN EXCEDS 50%, DARNOT THE REMANDED OF THE YEAR THEY SHALL BE IN PLACE AT THE BOY OF THE MORKING DAY, WEINDIVER THE DAILY RANFALL PROBABILITY EXCEEDS 50%.
- TEMPORARY DESILTING BASINS, WHEN REQUIRED SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.



**CONSTRUCTION** NOTES

- GONSTRUCT 6" MIN. CONCRETE DRIVENAY PER NEMC STD 164-L.
- 2 CONSTRUCT 4" MIN. CONCRETE SMALE (S) 3 NSTALL 4" GRATE DRAN.
- MSTALL 4" ATRUM GRATE. SLOPE SOIL TOWARDS DRAIN # 2% MI
- (5) NSTALL CONTINUOS TRENCH DRAIN
- GEOLOGIST'S CERTFICATION (6) INSTALL 4'9 ABS, SDR 35 DRAINLINE.
  - NSTALL 4'Ø ABB, SDR 95 PERFO DRANLINE, SLOPE # 1% MN.
  - (8) BIG-RETENTION FILTER PLANTER WITH UNDER DRAIN (80 9F)
  - DOWNSPOUT CONNECT GUTTER TO UNDERGROUND DRAINAGE SYSTEM.
    PROVIDE DOME WIRE BASKET & EACH RAIN WATER LEADER AND ROOF DRAIN. EXISTING 6' HIGH CMU WALL PROTECT IN PLACE DURING CONSTRUCTION
  - NSTALL NEW SEMER CLEANOUT. PER STD 406-L.
  - 12 NSTALL CONTINUOUS BOTTOMLESS CATCH BASIN WITH TRAFFIC RATED GRATE.
  - 4" THICK CONCRETE PADS WITH STEEL SENFORCING, N PLANTER WITH LOW SPOUND COVER.

  - (5) SMART VENT TOP 6 LESS THAN 8.00' NAVDS6, BOTTOM WITHIN 12" OF EXTERIOR GRADE
  - 6 EXISTING MATER METER PROTECT IN PLACE
  - NBN 6' HIGH CHU MALL 6'-0' ABOVE EXSTING GRADE (B) REMOVE ENSTING IMPROVEMENTS FROM PUBLIC RIGHT-OF-MAY, PROVIDE NEW LAND-SCAPING, NOT TO EXCEED 36" IN MAX. GROWLEBOHT WEERS APPLICABLE PER COUNCIL POLICY L-6.
  - (19) NEN CONTINUOUS 6" CONCRETE CURB.
  - OVERFLOW DRAN
    4'0' ABO, BOR 35 PIPE WITH ATRIM GRATE
    NLET 12' ABOVE FINEH GRADE.
  - 2) REMOVE (E) 646 METER VAULT RELOCATE 46 REGURED

### LEGEND

| BACK PINAL | TN 100 PINAL |
TO 100 PICKS | NW MET ELEVATOR |
FO IN SWANG | SOURCE |
FO IN SWANG |
FO IN SWANG | SOURCE |
FO IN SWANG |
FO IN SWANG

0.00 NEW SRADE

e (0,00) EXSTINS GRADE

ML PROPERTY LINE

M — MATER LINE

S — SDUER LINE

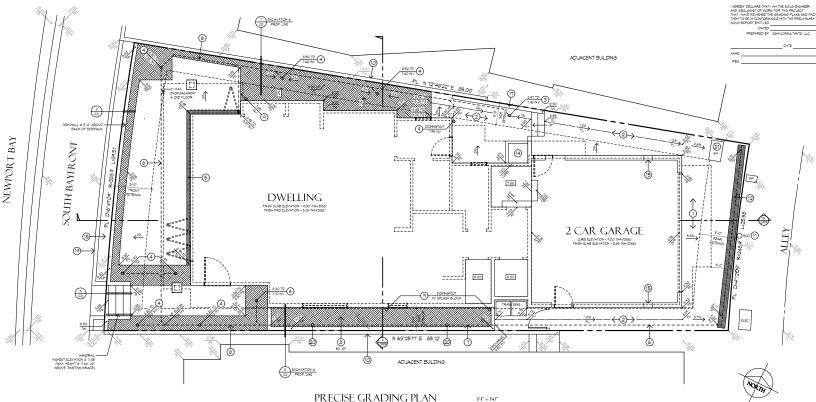
LOF OF STEP

PLAYING AREA
SLOPE TO DRAWS

2% MN, TYP 95 — SEMER LINE CATCH BASIN GREYDOCK PSD-10 OR EGUAL SLOPE & 1% MIN TYP. SIZE FER FLAN O 410 AREA DRAN

410 ABS, SDR 95 PERFORATED DRAINLINE SLOPE # 1% MIN. TYP. PROPERTY LINE

STECKLER pdw 7/25/201 A REVISION



ARCHITECT

IAN J.N.

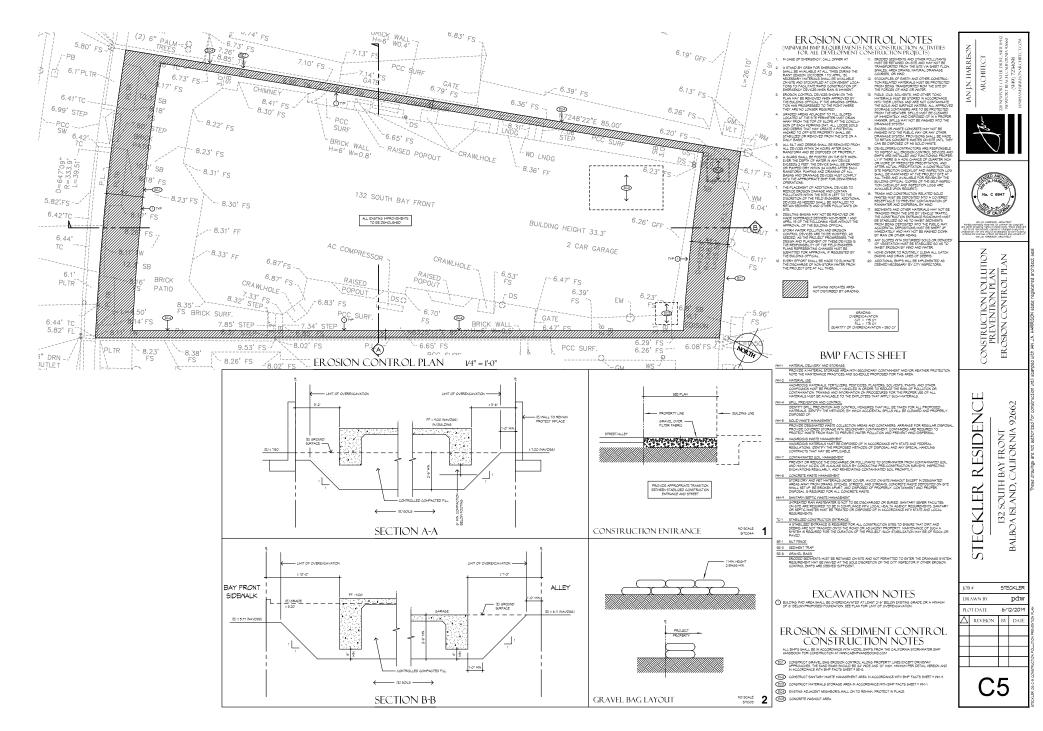
PLAN PRECISE

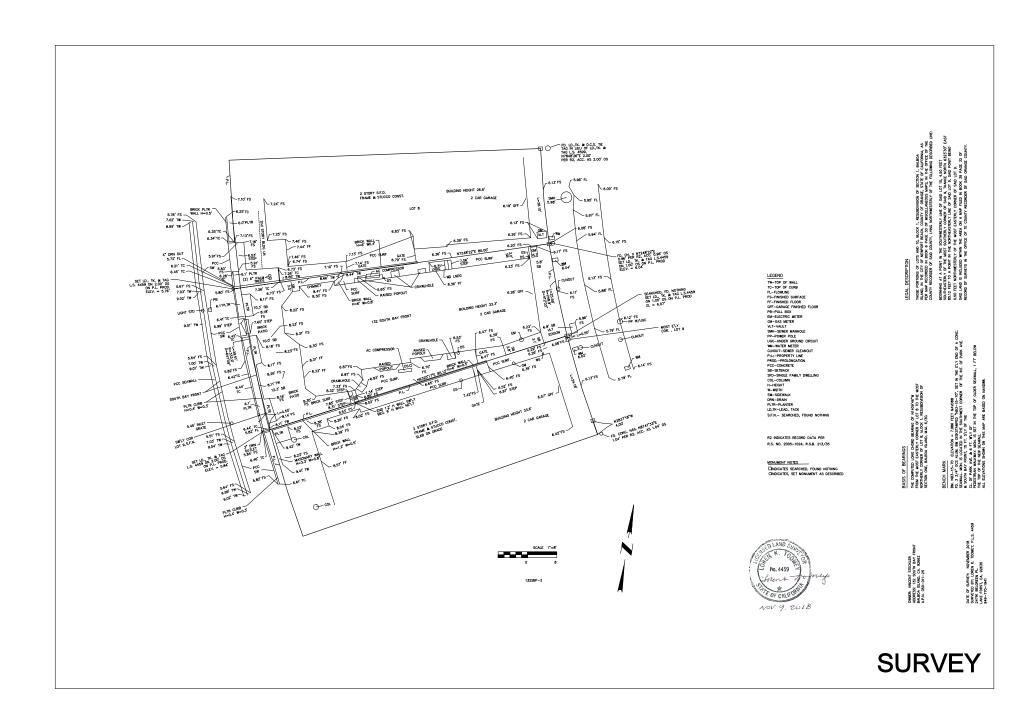
132 SOUTH BAY FRONT BALBOA ISLAND, CALIFORNIA 92662

RESIDENC

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### IRRIGATION SYSTEM

- AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA.
- IRRIGATION CONTROLLERS TO BE OF A TYPE WHICH DOES NOT LOSE PROGRAM DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRIPTED.

#### LANDSCAPE GENERAL NOTES

- 1. PLANTING SCHEDULE: ONE MEEK
- 2. 90% COVERAGE IN 990 DAYS, REPLENSH AS REQUIRED.
- MANTAN PLANTING AND REPLACE AS REQUIRED TO ENSURE CONTINUOUS COMPLIANCE WITH LANDSCAPER PLAN.
  - ALL LISHTING TO BE DIRECTED DOWN, NOT TO IMPACT ADJACENT PROPERTIES AND COMMON AREAS,
    - WATER SUPPLY FOR ALL LANDSCAPING TO BE PROVIDED BY EXISTING DOMESTIC WATER SERVICE FROM THE CITY.

    - 4. NO TURF TO BE INSTALLED AS PART OF THIS PROJECT.
    - 10. AT THE TIME OF FINAL INSPECTION, THE CONTRACTOR MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF NOTALLATION, REVISION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION HANTENANCE.

### LANDSCAPE IRRIGATION NOTES

- RR/TROL ELECTRIC ANTI-SIPHON 3/4" VALVE, TYPICAL (TE INTO HOSE BIBB) 2 IRRITROL RAIN DUAL IRRIGATION TIMER
- 3 RANGED PRD-015 RYB 1/4" PRESSURE RESULATING FILTER 4 DRIP NETAPM 12 TECHLINE 1/2" TUBING 0.9 G.P.H. WITH 12" SPACING
- 5 ALL DRIP FITTINGS TO BE NETAPIM (BND CAPS, TEES, AND ELBOWG, SUIGH VALVES, COUPLINSS, ADAPTERS, ETC. 6
- PROVIDE VALVE BOX AT IRRISATION VALVES
- 8 ALL PVC PIPES AND FITTINGS TO BE SCHEDULE 40
- 9 ALL DRIP TUBING TO BE APPLIED TO PLANT DRIP LINES AND ROOT BALLS OF PLANTS

### PLANT LIST B KENNEDIA GOGGNEA NEW ZEALAND FLAX" 1 GAL Α 24" BOX ARBUTUS UNEDO

### TOTAL LANDSCAPE AREA

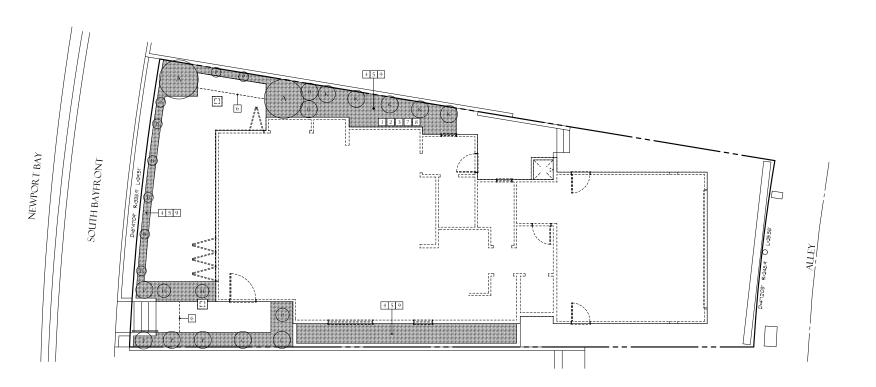
278 SF



LANDSCAPE PLANTING PLAN

IAN J.N. HARRISON

ARCHITECT



LANDSCAPE / PLANTING PLAN

STECKLER RESIDENCE 132 SOUTH BAY FRONT BALBOA ISLAND, CALIFORNIA 92662

STECKLER JOB# DRAWN BY pdw 5/22/2019