



## **CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT**

August 15, 2019  
Agenda Item No. 5

**SUBJECT:** Steckler Residence (PA2019-119)  
• Coastal Development Permit No. CD2019-032  
**SITE LOCATION:** 132 South Bay Front  
**APPLICANT:** Ian Harrison  
**OWNER:** Vincent Steckler  
**PLANNER:** David S. Lee, Assistant Planner  
949-644-3225, dlee@newportbeachca.gov

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### **LAND USE AND ZONING**

- **General Plan:** RT (Two-Unit Residential)
- **Zoning District:** R-BI (Balboa Island)
- **Coastal Land Use Category:** RT-E (Two Unit Residential – (30.0-39.9 DU/AC)
- **Coastal Zoning District:** R-BI (Balboa Island)

### **PROJECT SUMMARY**

A request for a coastal development permit to allow the demolition of an existing single-family residence and the construction of a new 2,723-square-foot, single-family residence with a 458-square-foot attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit No. CD2019-032 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is located in the R-BI Coastal Zoning District, which provides for two-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-family residence. The neighborhood is predominantly developed with two- and three-story, single-family residences and duplexes. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front (South Bay Front)	5 feet	5 feet
Rear (Alley)	5 feet	5 feet
Sides	3 feet	3 feet
<b>Allowable Floor Area</b>	3,185 sq. ft.	3,181 sq. ft.
<b>Parking (min.)</b>	2-car garage	2-car garage
<b>Height (max.)</b>	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

### *Hazards*

- The project site is separated from the Newport Bay by an existing City-owned bulkhead and a public pedestrian boardwalk (South Bay Front). The bulkhead which protects the subject property is part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this project.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are

reviewed for compliance with approved investigations and CBC prior to building permit issuance.

#### *Water Quality*

- The applicant provided an Erosion Control Plan to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution runoff and coastal waters derived by construction chemicals and materials. The Erosion Control Plan will be reviewed by the City's Engineer Geologist. Construction plans and activities will be required to adhere to the approved Erosion Control Plan.
- Pursuant to Municipal Code Section 21.35.050, due to the proximity of the development to the shoreline and the development including more than 75-percent of impervious surface area, a Water Quality Hydrology Plan (WQHP) is required. A WQHP prepared by Robin B. Hamers & Associates, Inc., dated June 5, 2019, has been submitted and will be reviewed by the City's Engineer Geologist. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.

#### *Public Access and Views*

- The project site is located on Balboa Island between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities.
- Vertical access to the bay is available near the site on Emerald Street. Also, South Bay Front is a pedestrian boardwalk along the bay that is identified as lateral access to the bay by the Coastal Land Use Plan. The proposed single-family residence does not interfere with vertical or lateral access to the bay.
- The project site is not located adjacent to a coastal view road, public viewpoint, or public accessway, as identified in the Coastal Land Use Plan. The site is located approximately 650 feet from Balboa Island Park. Due to the large distance between the proposed residence and the park, the project will not affect public views from the park. Furthermore, all improvements in the front setback area of the subject property is limited to 42-inches from existing grade. An investigation of the project site and surrounding area did not identify any other public view opportunities. The project may be located within the viewshed of distant public viewing areas. However, the project

will replace an existing single-family residence with a new single-family residence that complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment. The Class 3 exemption includes the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-2 Coastal Zoning District.

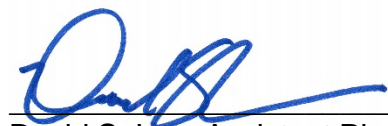
### **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

### **APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



David S. Lee, Assistant Planner

JM/dl



Attachments:      ZA 1    Draft Resolution  
                         ZA 2    Vicinity Map  
                         ZA 3    Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2019-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-032 FOR A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 132 SOUTH BAY AVENUE (PA2019-119)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Ian Harrison, with respect to property located at 132 South Bay Front, and legally described as Lot 9 and a portion of Lot 10 of Block 1, requesting approval of a Coastal Development Permit.
2. The applicant proposes the demolition of an existing single-family residence and the construction of a new 2,723-square-foot, single-family residence with a 458-square-foot attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.
3. The subject property is located within the Balboa Island (R-BI) Zoning District and the General Plan Land Use Element category is Two-Unit Residential (RT).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two Unit Residential (RT-E) and the Coastal Zoning District is Balboa Island (R-BI).
5. A public hearing was held on August 15, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-BI Coastal Zoning District.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

*A. Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 3,185 square feet and the proposed floor area is 3,181 square feet.
  - b. The proposed development complies with the required setbacks, which are 5 feet along the property line abutting South Bay Front, 5 feet along the property line abutting the alley, and 3 feet along each side property line.
  - c. The highest guardrail/parapet is below 24 feet from established grade and the highest ridge is 29 feet from established grade. The proposed development complies with all height requirements.
  - d. The proposed development provides a two-car garage, meeting the minimum garage requirement for a single-family residence.
  - e. The proposed development meets the minimum 9.0 feet (NAVD88) top of slab elevation requirement for interior living areas of new structures.
2. The neighborhood is predominantly developed with two- and three-story single-family residences and duplexes. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
3. The project site is separated from the Newport Bay by an existing City-owned bulkhead and a public pedestrian boardwalk (South Bay Front). The bulkhead which protects the subject property is part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this project.
4. Pursuant to Municipal Code Section 21.35.050, due to the proximity of the development to the shoreline and the development including more than 75-percent of impervious surface area, a Water Quality Hydrology Plan (WQHP) is required. A WQHP prepared by Robin B. Hamers & Associates, Inc., dated June 5, 2019, has been submitted and will be reviewed by the City's Engineer Geologist. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to

retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs.

5. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
6. The project site is not located adjacent to a coastal view road, public viewpoint, or public accessway, as identified in the Coastal Land Use Plan. The site is located approximately 650 feet from Balboa Island Park. Due to the large distance between the proposed residence and the park, the project will not affect public views from the park. Furthermore, all improvements in the front setback area of the subject property is limited to 42-inches from existing grade. An investigation of the project site and surrounding area did not identify any other public view opportunities. The project may be located within the viewshed of distant public viewing areas. However, the project will replace an existing single-family residence with a new single-family residence that complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located on Balboa Island between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities.
2. Vertical access to the bay is available near the site on Emerald Street. Also, South Bay Front is a pedestrian boardwalk along the bay that is identified as lateral access to the bay by the Coastal Land Use Plan. The proposed single-family residence does not interfere with either vertical or lateral access to the bay.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-032, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 15<sup>TH</sup> DAY OF AUGUST, 2019.**

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Rosalinh Ung, Zoning Administrator

**EXHIBIT "A"**

**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.
3. Coastal Development Permit No. CD2019-032 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
4. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.
5. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
6. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
7. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
8. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

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9. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
  10. Prior to issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the WQHP/WQMP and any changes could require separate review and approval by the Building Division.
  11. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
  12. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
  13. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
    - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
    - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
  14. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
  15. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

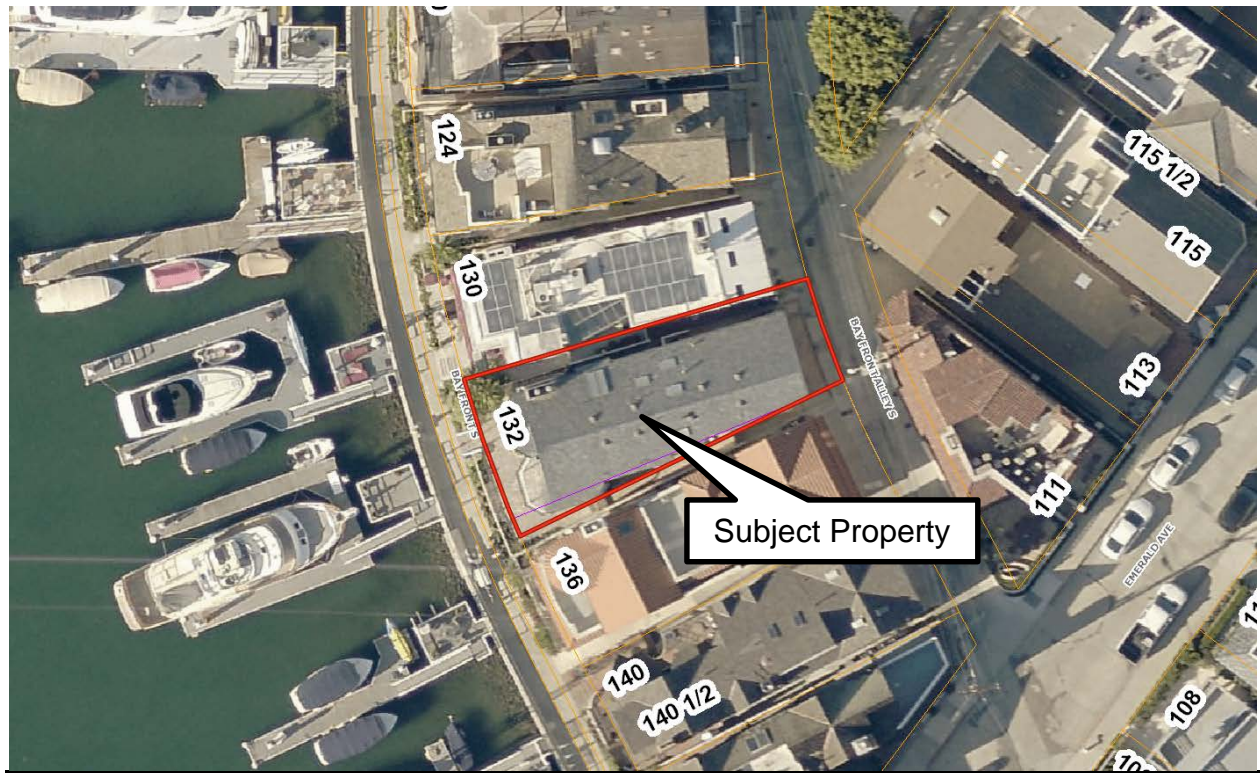


16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
17. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
18. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the project file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
19. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
20. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
21. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
22. This project shall comply with flood mitigation construction requirements for A01 SFHA.
23. This project shall comply with liquefaction mitigation construction requirements.
24. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Steckler Residence Coastal Development Permit including, but not limited to, Coastal Development Permit No. CD2019-032 (PA2019-119)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



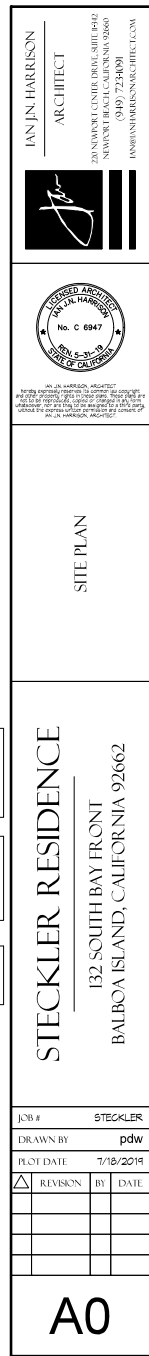
Coastal Development Permit No. CD2019-032  
PA2019-119

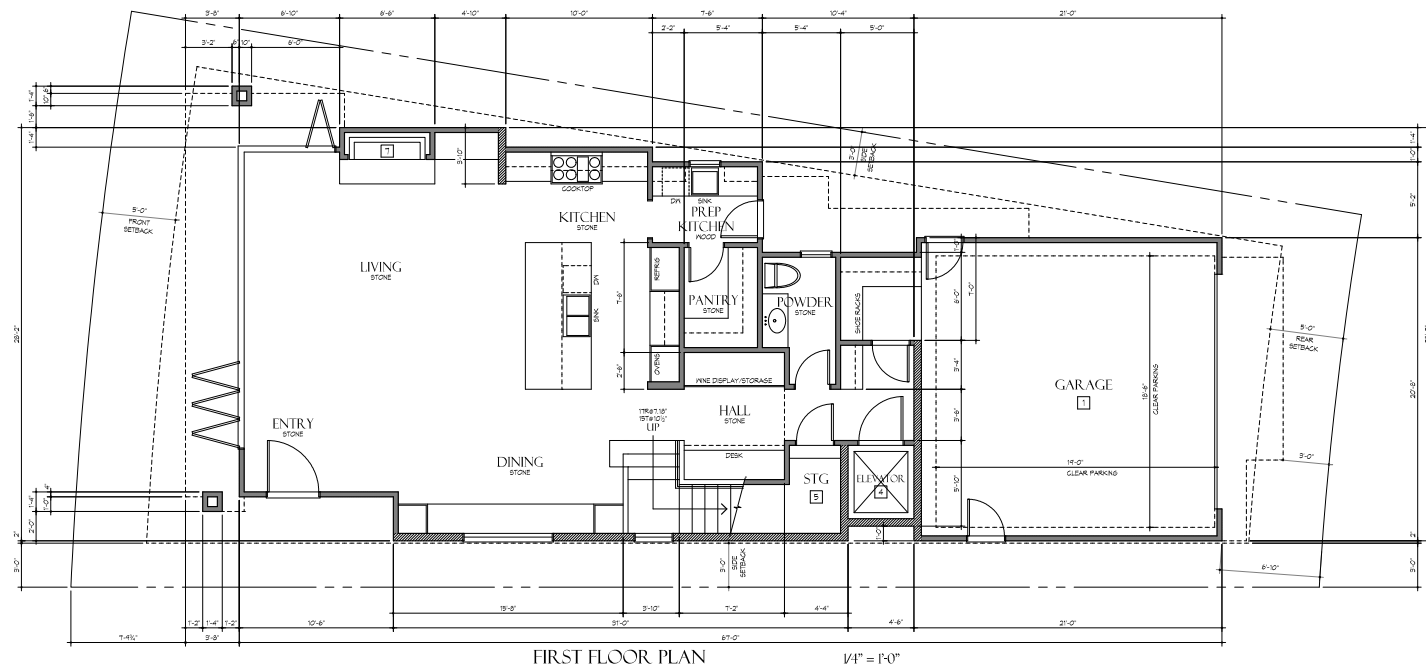
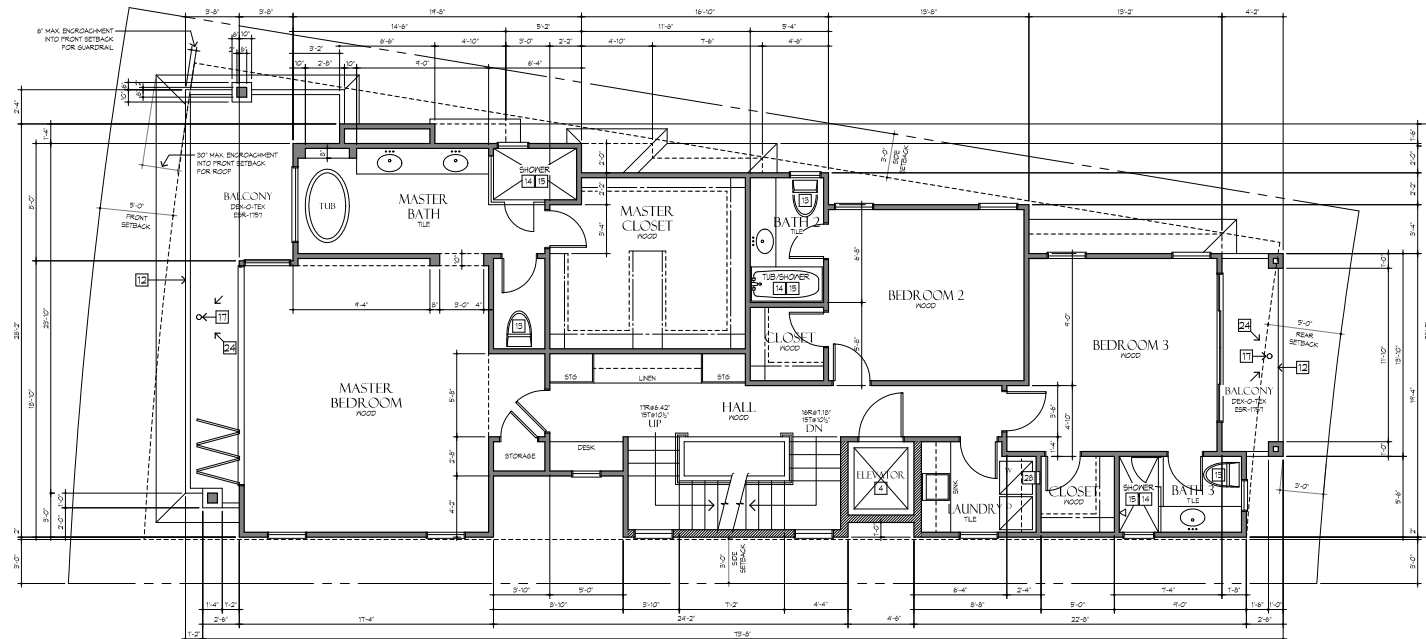
**132 South Bay Front**

# **Attachment No. ZA 3**

Project Plans



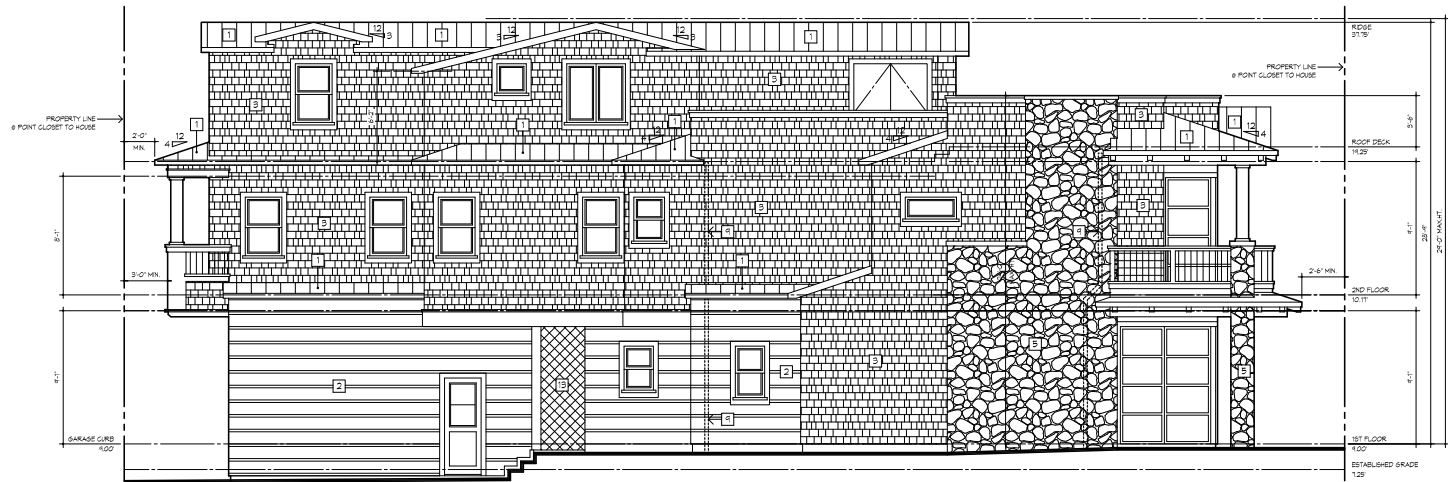




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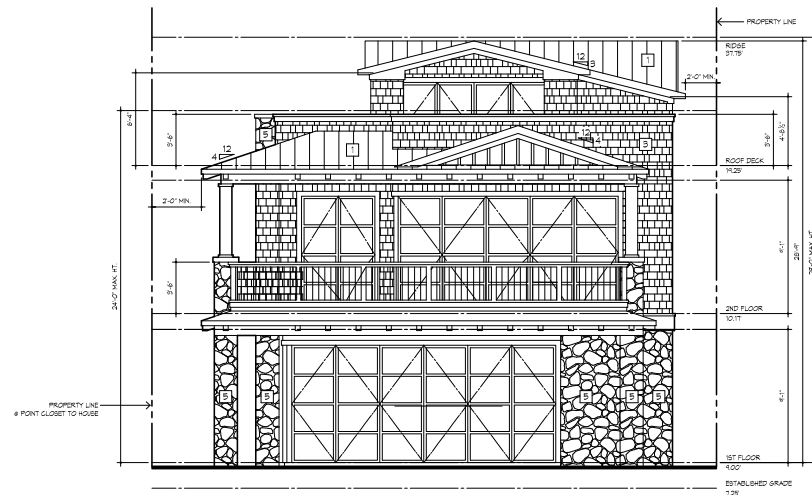






LEFT SIDE ELEVATION (NORTH)

1/4" = 1'-0"



FRONT ELEVATION (WEST)

1/4" = 1'-0"



KEYNOTES

- 1 STANDING SEAM SHEET METAL ROOFING CLASS N ASSEMBLY
- 2 BOARD AND BATT OVER 5/8" HARDY PANEL
- 3 HORIZONTAL METAL SQUARE CHANNEL SIDING
- 4 FIREPLACE DIRECT VENT
- 5 THIN STONE VENEER OVER PLASTER WALL 5/8" GFI EPS-125
- 6 FINISH GRADE
- 7 CARRIAGE LIGHTS
- 8 DOWNSPOUT
- 9 METAL FRAME, OBSCURE GLASS GARAGE DOOR
- 10 CONCEALED DOWNSPOUT CONNECTED DIRECTLY TO SUB-SURFACE DRAINAGE SYSTEM TYPICAL ALL DOWNSPOUTS AND DECK DRAINS
- 11 (2) SMART VENTS MODEL 1840-820 EPS 2074 WITH 12" OF FINISH SURFACE
- 12 TILE SHOWER SURROUND

ROOF HEIGHT ELEVATIONS ARE TO THE FINISHED SHEATHING. THE HEIGHT OF THE ROOFING MATERIAL HAS BEEN CONSIDERED TO ASSURE THE FINAL FINISHED HEIGHT IS BELOW THE CITY ALLOWABLE. DECORATIVE BRACKETS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT SHIMERS EXCEPT WHERE SUCH BRACKETS ARE LISTED AND ARE TO BE USED WITH THE SPECIFIC FACTORY-BUILT GUTTER SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

IAN J.N. HARRISON  
ARCHITECT

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EXTERIOR ELEVATIONS  
NORTH + WEST

STECKLER RESIDENCE  
132 SOUTH BAY FRONT  
BALBOA ISLAND, CALIFORNIA 92662

JOB # STECKLER

DRAWN BY pdw

PLOT DATE 7/18/2019

REVISION	BY	DATE

A3



RIGHT SIDE ELEVATION (SOUTH)

1/4" = 1'-0"



REAR ELEVATION (EAST)

1/4" = 1'-0"

KEYNOTES

- 1 STONING SEAM SHEET METAL ROOFING CLASS N ASSEMBLY
- 2 BOARD AND BATT OVER 5/8" HARDY PANEL
- 3 WOOD SHINGLE SIDING
- 4 FIREPLACE DIRECT VENT
- 5 THIN STONE VENEER OVER PLASTER WALL SHOWN GGG BR-125
- 6 FINISH GRADE
- 7 GARAGE LIGHTS
- 8 DOWNSPOUT
- 9 METAL FRAME, OBSCURE GLASS GARAGE DOOR
- 10 CONCEALED CORNSPOUT CONNECTED DIRECTLY TO SUB-SURFACE DRAINAGE SYSTEM TYPICAL ALL CORNSPOUTS AND DECK DRAINS
- 11 (2) SMART VENTS MODEL 1840-820 BRN 207A 10" MIN 12" OP FINISH SURFACE
- 12 TILE SHOWER SURROUND

ROOF HEIGHT ELEVATIONS ARE TO THE FINISHED SHEATHING. THE HEIGHT OF THE ROOFING MATERIAL HAS BEEN CONSIDERED TO ASSURE THE FINAL FINISHED HEIGHT IS BELOW THE CITY ALLOWABLE. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT SHIMMERS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND ARE TO BE USED WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

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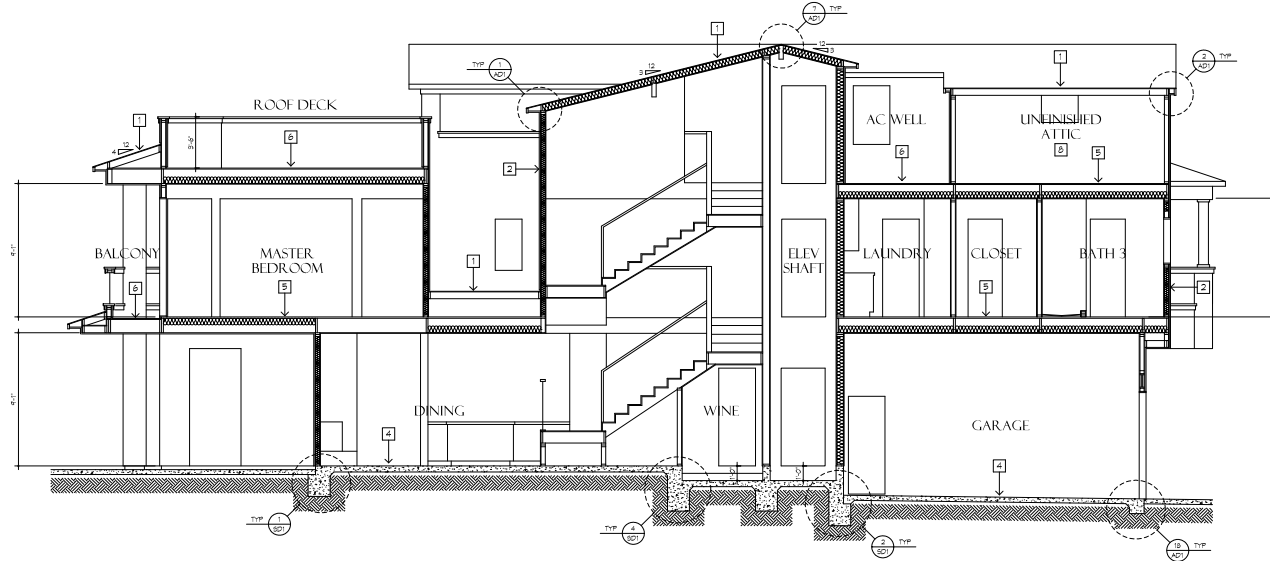
EXTERIOR ELEVATIONS  
SOUTH + EAST

STECKLER RESIDENCE  
132 SOUTH BAY FRONT  
BALBOA ISLAND, CALIFORNIA 92662

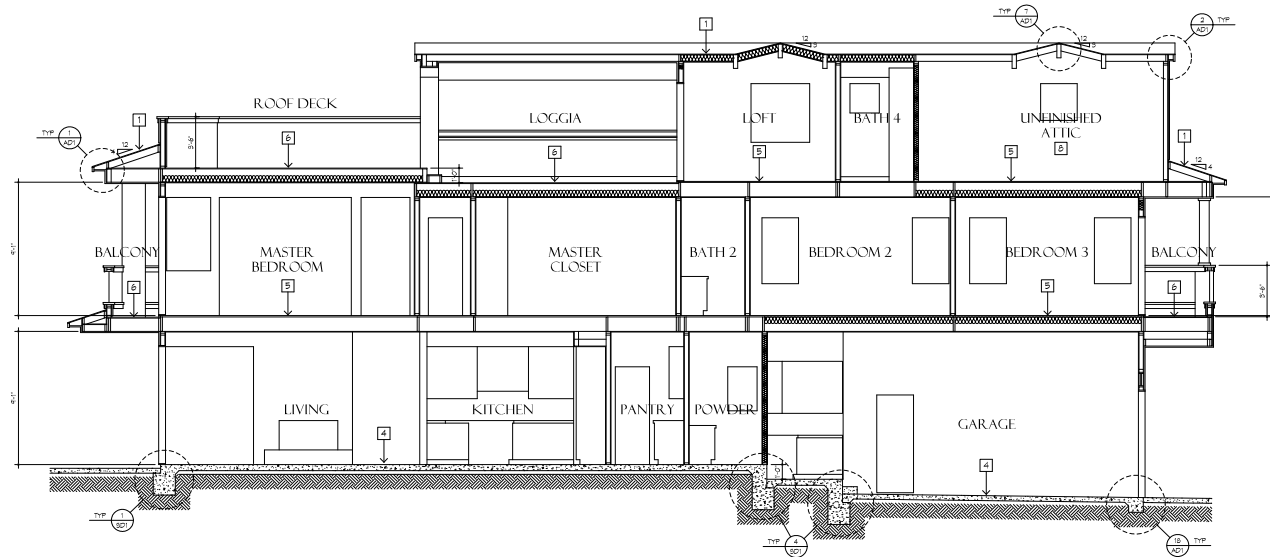
JOB # STECKLER  
DRAWN BY pdw  
PLOT DATE 7/18/2019

REVISION	BY	DATE

A4



SECTION A-A  
1/4" = 1'-0"



SECTION B-B  
1/4" = 1'-0"

#### KEYNOTES

- 1 ROOF ASSEMBLY:  
STANDING SEAM METAL ROOF  
CLASS A ASSEMBLY  
30# BUILDING PAPER OVER  
PANEL SHEATHING OVER  
RAFTERS PER STRUCTURAL DWS  
WITH R-11 INSULATION U-1.0
- 2 EXTERIOR WALL ASSEMBLY:  
SHINGLE OR VERTICAL SIDING OVER  
(2) LAYERS HOUSE WRAP OVER  
PANEL SHEATHING OVER  
2X4 DF STUDS @ 16" O.C. UNO.  
WITH R-13 INSULATION
- 3 INTERIOR WALL ASSEMBLY:  
5/8" GYPSUM BOARD SHEATHING  
BOTH SIDES OVER  
2X4 DF STUDS @ 16" O.C.  
UNLESS NOTED OTHERWISE
- 4 SLAB ASSEMBLY:  
5" CONCRETE SLAB PER STRUCTURAL DWS  
UNLESS NOTED OTHERWISE
- 5 INTERIOR FLOOR ASSEMBLY:  
3/4" GYPSUM BOARD OVER  
FLOOR JOISTS PER STRUCTURAL DWS  
WITH R-11 INSULATION  
WITH 5/8" GYPSUM BOARD UNDERNEATH
- 6 ROOF DECK ASSEMBLY:  
2X6 G-DECK LAYED PER TYP OVER  
5/4" PL FLOOR OVER  
2X6 JOISTS PER STRUCTURAL DWS  
INSULATION WITH 5/8" GYPSUM BOARD  
UNDERNEATH
- 7 CEILING ASSEMBLY:  
CEILING JOISTS PER STRUCTURAL DWS  
WITH R-11 INSULATION  
WITH 5/8" GYPSUM BOARD UNDERNEATH
- 8 UNFINISHED ATTIC:  
NOT TO CONTAIN ANY AIR RESISTERS OR  
ELECTRICAL, DUCTS AND LIGHTING OTHER  
THAN WHAT IS REQUIRED BY CODE.  
NOTE ANY INSULATION, CEILING OR SIMILAR  
INTERIOR FINISHING MATERIAL

IAN J.N. HARRISON  
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IAN J.N. HARRISON, ARCHITECT  
I HAVE REVIEWED THESE DRAWINGS AND I CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA AND THAT I AM THE DESIGNER OF THESE DRAWINGS.  
DATE: 7/16/2019  
DRAWN BY: pdw  
CHECKED BY: [Signature]  
DATE: 7/16/2019

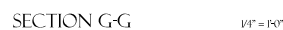
BUILDING SECTIONS  
A+B

STECKLER RESIDENCE  
132 SOUTH BAY FRONT  
BALBOA ISLAND, CALIFORNIA 92662

JOB # STECKLER  
DRAWN BY pdw  
PLOT DATE 7/16/2019

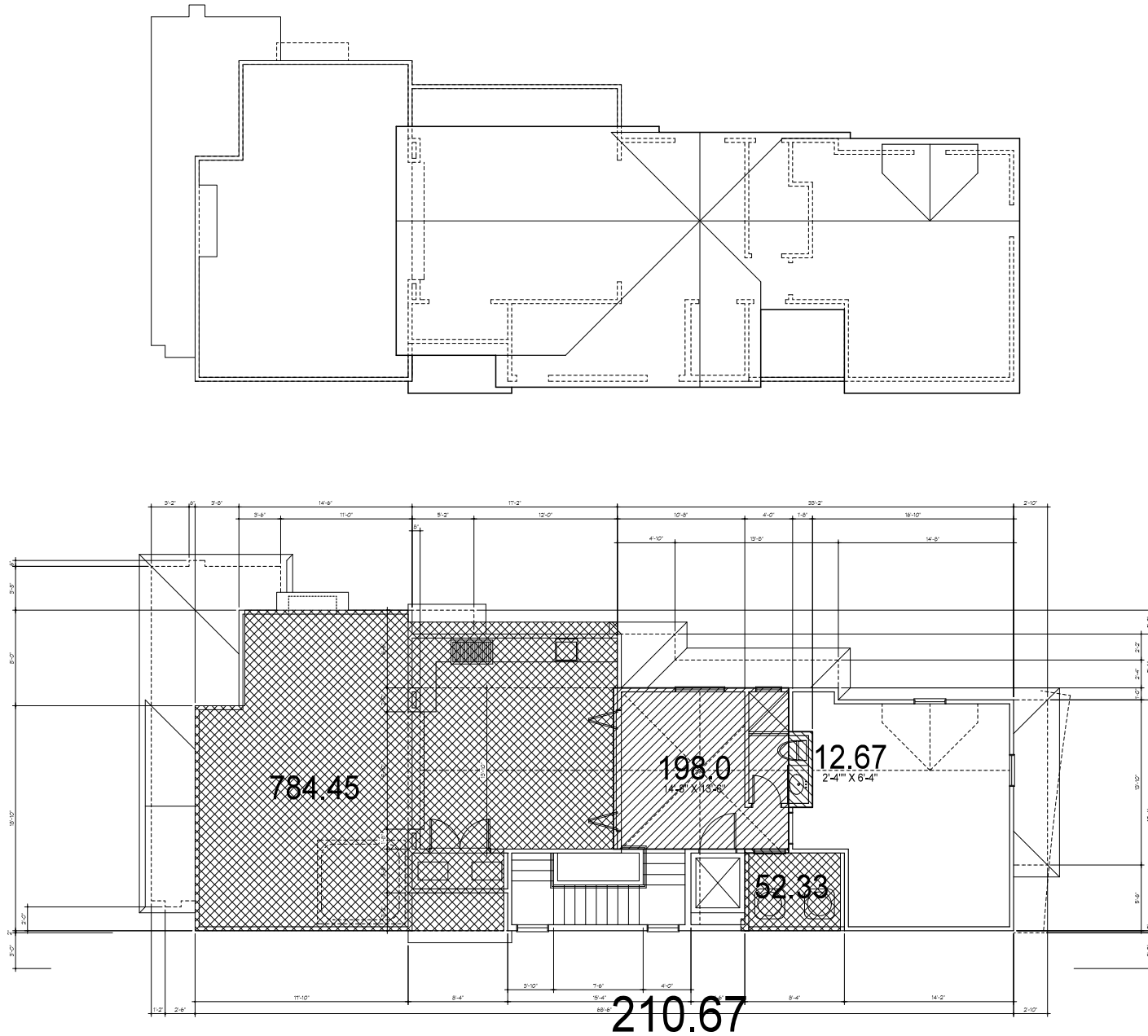
REVISION	BY	DATE

A5



- ## KEYNOTES
- |   |  |
|---|--|
| 1 | <p>ROOF ASSEMBLY:<br/>           EXPOSED INSULATION, ROOF<br/>           CLASH, AIR RESISTANCE<br/>           300 BUILT-UP ROOF<br/>           PANEL, BRICKWORK OR<br/>           RAFTERS, 100 mm INSULATION,<br/>           100 mm R-INSULATION, U=0.18</p> |
| 2 | <p>INTERIOR FLOOR ASSEMBLY:<br/>           120 mm POLYSTYRENE FOAM OR<br/>           120 mm POLYURETHANE FOAM OR<br/>           PANEL, 50 mm EPS OR 50 mm G.L. INS.<br/>           ATX R=0.18</p>  |
| 3 | <p>INTERIOR WALL ASSEMBLY:<br/>           50 mm EPS/STYRENE BOARD SHEATHING<br/>           200 mm EPS OR 100 mm G.L.<br/>           INSULATION, U=0.18</p>   |
| 4 | <p>BLUES DETAIL:<br/>           R-CONCRETE OR R-STRUCTURAL<br/>           INSULATION, U=0.18</p>   |
| 5 | <p>INTERIOR FLOOR ASSEMBLY:<br/>           3/4" EPS/STYRENE BOARD<br/>           3/4" EPS/STYRENE BOARD<br/>           FLOORING, 100 mm EPS OR<br/>           100 mm R-INSULATION<br/>           ATX R=0.18, U=0.18</p>                                      |
| 6 | <p>ROOF DETAIL:<br/>           EPS-2" OR G.L. OR BR 18751 OR<br/>           5/4" EPS/STYRENE BOARD<br/>           DETAIL JOINTS: EPS OR STRUCTURAL<br/>           INSULATION, U=0.18 EPS JOINT BOARD<br/>           UNDERLAIN</p>                            |
| 7 | <p>CEILING ASSEMBLY:<br/>           G.L. OR EPS OR STRUCTURAL<br/>           INSULATION, U=0.18 R-INSULATION<br/>           ATX R=0.18</p>   |
| 8 | <p>NOTES:<br/>           NOT TO COINcide ANY AIR RESISTORS OR<br/>           ELECTRICAL, CABLES AND LIGHTING OTHER<br/>           THAN DETAIL 8 CODE<br/>           NO AIR INSULATION DETAIL OR SIMILAR<br/>           DETAIL</p>                            |





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IAN J.N. HARRISON, ARCHITECT  
I, IAN J.N. HARRISON, ARCHITECT, DO HEREBY CERTIFY THAT I AM THE DESIGNER OF THE ABOVE DRAWING, AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA, LICENSE NO. C 6947, AND THAT I AM NOT PROVIDING ANY SERVICES TO ANY OTHER PARTY FOR THE SAME PROJECT AS SHOWN ON THIS DRAWING.  
DATE: 6/12/2019  
IAN J.N. HARRISON, ARCHITECT

## AREA PLANS

STECKLER RESIDENCE  
132 SOUTH BAY FRONT  
BALBOA ISLAND, CALIFORNIA 92662

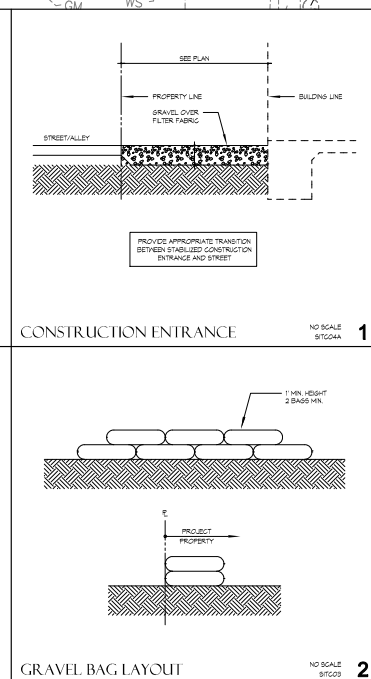
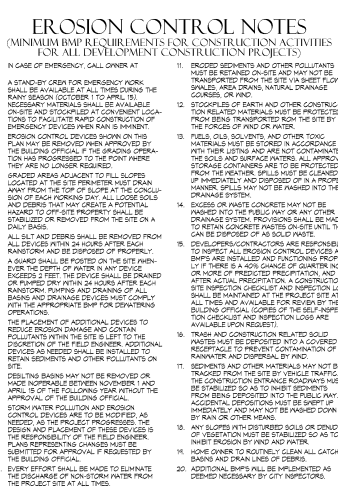
JOB # STECKLER  
DRAWN BY pdw  
PLOT DATE 6/12/2019

REVISION	BY	DATE

areas  
3

These drawings are not authorized for construction until stamped with IAN J.N. HARRISON state registered architect seal



[illegible]

# EXCAVATION NOTES

1. BUILDING PADS SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISHED GRADE OR A MINIMUM OF 6" BELOW PROPOSED FOUNDATION. SEE PLAN FOR LIMIT OF EXCAVATION.

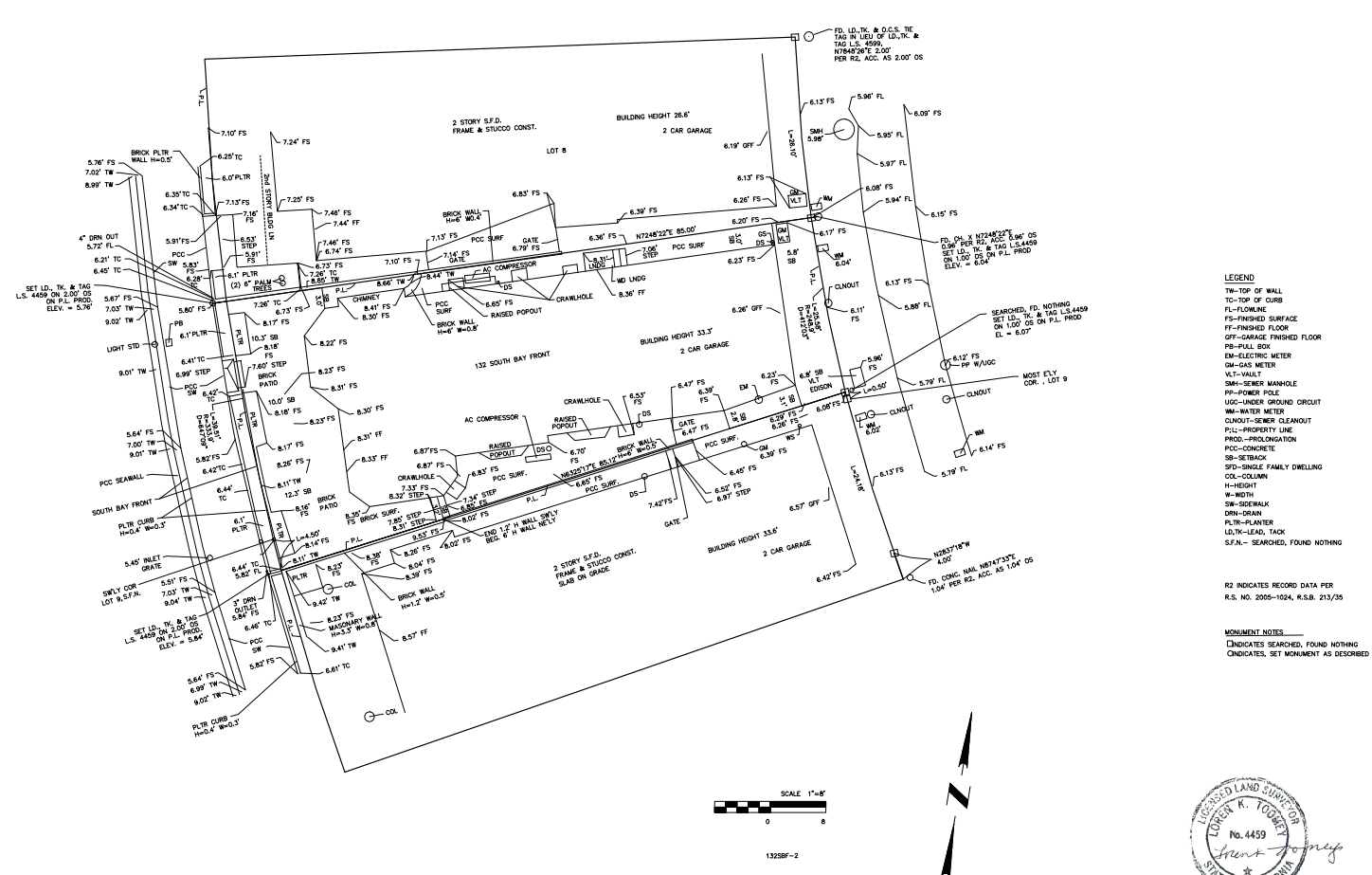
# EROSION & SEDIMENT CONTROL CONSTRUCTION NOTES

ALL BMPs SHALL BE IN ACCORDANCE WITH BMPs FROM THE CALIFORNIA EROSION CONTROL BMP HANDBOOK FOR CONSTRUCTION AT [WWW.WATERBOARDS.CA.GOV](http://www.waterboards.ca.gov)

- 1. BMP1. CONSTRUCT GRAVEL BASIN EROSION CONTROL ALONG PROPERTY LINES IDENTIFY DRAINAGE APPROACHES. THE BASIN BANDS SHOULD BE 24" WIDE AND 10" HIGH. MINIMUM BASIN DEPTH VARIATION IN ACCORDANCE WITH BMP FACTS SHEET #18-5.
- 2. BMP2. CONSTRUCT SITUARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #19-1.
- 3. BMP3. CONSTRUCT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEET #19-1.
- 4. BMP4. EXISTING ADJACENT NEIGHBORS SHALL ON TO REMAIN. PROTECT IN PLACE.
- 5. BMP5. CONCRETE WASHOUT AREA.

[illegible]





LEGAL DESCRIPTION	BENCH MARK
<p>THE COMPLETED LOTS BEARING OF 40°46'47" FROM THE MOST EASTLY CORNER OF LOT 8 TO THE MOST WESTLY CORNER OF LOT 9, BEING 10.00 FEET, BEING THE CORNER OF SECTION ONE, TOWN OF SALEM, AND BEING THE CORNER OF SECTION ONE, TOWN OF SALEM, BEING 4.70 FEET.</p>	<p>THE COMPLETED LOTS BEARING OF 40°46'47" FROM THE MOST EASTLY CORNER OF LOT 8 TO THE MOST WESTLY CORNER OF LOT 9, BEING 10.00 FEET, BEING THE CORNER OF SECTION ONE, TOWN OF SALEM, AND BEING THE CORNER OF SECTION ONE, TOWN OF SALEM, BEING 4.70 FEET.</p>

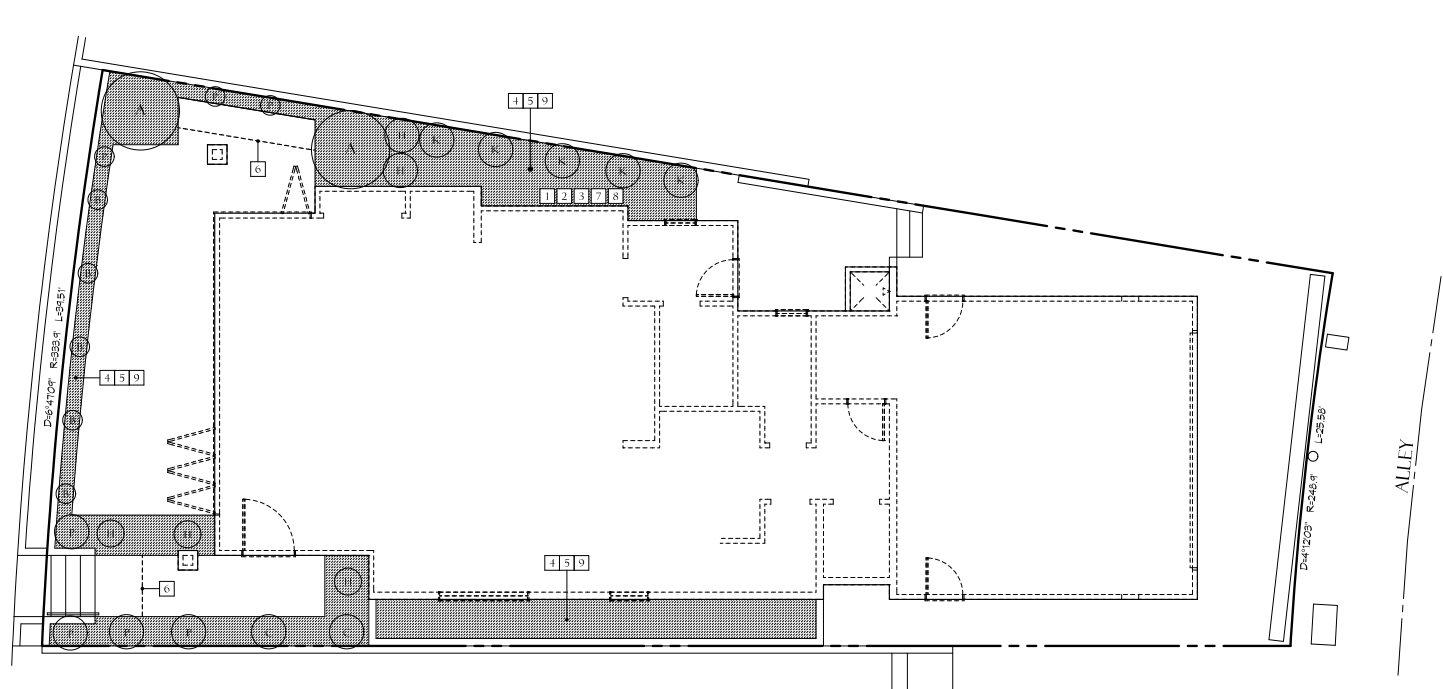
OWNER: VINCENT STEIGLER  
ADDRESS: 132 SOUTH BAY FRONT  
BALBOA ISLAND, CA 92662  
A.P.N. 050-011-25

DATE OF SURVEY: NOVEMBER 2018  
SURVEYED BY: LOREN K. TOOMEY, P.L.S. 4459  
24791 BELGIRIAN PL.  
DUBLIN, CALIFORNIA 94568  
949-770-1041

# SURVEY

NEWPORT BAY

SOUTH BAYFRONT



LANDSCAPE / PLANTING PLAN

### IRRIGATION SYSTEM

1. AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA.
2. IRRIGATION CONTROLLERS TO BE OF A TYPE WHICH DOES NOT LOSE PROGRAM DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
3. PRESSURE REGULATORS TO BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY.
5. ALL IRRIGATION DIVISION DEVICES MUST MEET THE REQUIREMENTS SET IN THE AIAI STANDARD, AMERICAN SOCIETY OF MECHANICAL ENGINEERS, SPRINKLER AND SHUTTER STANDARDS. ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPING AREAS MUST DOCUMENT A DISTRIBUTION UNIFORMITY FOR QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN AMERICAN SOCIETY OF MECHANICAL ENGINEERS, 2001-2004.

### LANDSCAPE GENERAL NOTES

1. PLANTING SCHEDULE ONE WEEK.
2. 10% COVERAGE IN PROGRESS. REPLANT AS REQUIRED.
3. MAINTAIN PLANTING AND REPLACE AS REQUIRED TO ENSURE CONTINUOUS COMPLIANCE WITH LANDSCAPE PLAN.
4. ALL LIGHTING TO BE DIRECTED DOWN, NOT TO IMPACT ADJACENT PROPERTIES AND COMMON AREAS.
5. WATER SUPPLY FOR ALL LANDSCAPING TO BE PROVIDED BY EXISTING DOMESTIC WATER SERVICE FROM THE CITY.
6. ALL LANDSCAPE AREAS SHALL HAVE SOIL WITH COMPOST RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES, UNLESS OTHERWISE DIRECTED BY THE SOILS ENGINEER.
7. ALL PLANTS ARE DROUGHT TOLERANT AND COMPLIANT WITH CALIFORNIA COASTAL COMMISSION REQUIREMENTS. ANY SUBSTITUTIONS MUST BE LOW WATER, DROUGHT TOLERANT PLANTS.
8. A MINIMUM THREE INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SURFACES OF PLANTING AREA.
9. NO TURF TO BE INSTALLED AS PART OF THIS PROJECT.
10. AT THE TIME OF FINAL INSPECTION, THE CONTRACTOR MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

### LANDSCAPE IRRIGATION NOTES

1. IRRIGATOR ELECTRIC ANTI-SIPHON 3/4" VALVE, TYPICAL (75 TO 100 HORSE FEET).
2. IRRIGATOR RAIN DUAL IRRIGATION THER.
3. RAINFROD PRO-OTIS RYS 1/4" PRESSURE REGULATING FILTER.
4. DRIP NETAFIM 12 TECHLINE 1/2" TUBING 0.15 P.H. WITH 12" SPACING.
5. ALL DRIP FITTINGS TO BE NETAFIM (END CAPS, TEES, AND ELBOWS, SLUSH VALVES, COUPLINGS, ADAPTERS, ETC).
6. PROVIDE 4" DIAMETER P.V.C. SLEEVE UNDERNEATH CONCRETE SLAB-ON-GRADE TO PROVIDE ACCESS FOR IRRIGATION TUBING AND LOW VOLTAGE ELECTRIC LINES.
7. PROVIDE VALVE BOX AT IRRIGATION VALVES.
8. ALL P.V.C. PIPES AND FITTINGS TO BE SCHEDULE 40.
9. ALL DRIP TUBING TO BE APPLIED TO PLANT DRIP LINES AND ROOT BALLS OF PLANTS.

### PLANT LIST

	NAME	VARIETY	SIZE	QTY.
(B)	BOUGAINVILLEA	'LA JOLLA'	5 GAL.	5
(C)	CAMPENITEA CALIFORNIA	'BUSH ANEMONE'	5 GAL.	2
(H)	ALYSSUM HESLII	'WHITE SWAY'	5 GAL.	5
(K)	KENEDY GOGGINS	'GORGAL VINE'	1 GAL.	5
(P)	PHORADENDRON CAROLINENSE	'NEW ZEALAND PLANT'	1 GAL.	1
(P)	PHORADENDRON CAROLINENSE	'SILVER CARPET'	GROUND COVER	
(A)	ARBUSUS UNEDO	'MARINA MULTI'	24" BOX	2

TOTAL LANDSCAPE AREA

278 SF

IAN J.N. HARRISON  
ARCHITECT



LANDSCAPE  
PLANTING PLAN

STECKLER RESIDENCE

132 SOUTH BAYFRONT  
BALBOA ISLAND, CALIFORNIA 92662

DATE #	STECKLER
DRAWN BY	pdw
PLANT DATE	5/22/2019
REVISION	BY DATE

L1