CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT

June 13, 2019
Agenda Item No. 3

SUBJECT: South Bayfront Waterpointe, LLC. Residences (PA2019-062 and PA2019-063)
- Coastal Development Permit Nos. CD2019-015 and CD2019-016
- Tentative Parcel Map No. NP2019-004
- County Tentative Parcel Map No. 2018-162

SITE LOCATION: 400 and 402 South Bay Front

APPLICANT: Brandon Architects

OWNER: South Bayfront Waterpointe, LLC.

PLANNER: Liane Schuller, Planning Consultant
949-644-3200, lschuller@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RT (Two-Unit Residential)
- **Zoning District:** R-BI (Balboa Island)
- **Coastal Land Use Category:** RT-E (Two Unit Residential) (30.0 - 39.9 DU/AC)
- **Coastal Zoning District:** R-BI (Balboa Island)

PROJECT SUMMARY

A request for a tentative parcel map to divide an existing 5,180-square-foot parcel into two parcels for the purpose of constructing one single-family residence on each parcel. A request for a coastal development permit to allow the construction of a new 2,743-square-foot, single-family residence with an attached 464-square-foot, two-car garage on Parcel 1. A request for a coastal development permit to allow the construction of a new 2,659-square-foot, single-family residence with an attached 450-square-foot, two-car garage on Parcel 2. The proposed development also includes accessory elements such as walls, fences, patios, hardscape, drainage devices and landscaping. The proposed project complies with all applicable development standards and no deviations are requested.

RECOMMENDATION

1) Conduct a public hearing;

2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15315 - Class 15 (Minor Land Divisions) and Section 15303 - Class 3 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines; and

3) Adopt draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2019-015 (Attachment No. ZA 1), and draft Zoning Administrator Resolution No. _ approving Tentative Parcel Map No. NP2019-004 and Coastal Development Permit No. CD2019-016 (Attachment No. ZA 2)

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-BI (Balboa Island) Coastal Zoning District, which provides for two-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.

- Coastal Development Permit CD2018-073 was reviewed and approved for the project site on February 28, 2019, allowing demolition of two existing multi-unit structures containing a total of five units. A building permit was issued for the approved demolition on April 4, 2019.

- A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.

- The Tentative Parcel Map is subject to a coastal development permit and conforms to Newport Beach Municipal Code (NBMC) Title 21 (Local Coastal Program Implementation Plan), including Section 21.30.035 (Coastal Subdivisions).

- The approval of the Tentative Parcel Map will create two approximately 2,600-square-foot parcels, reverting to the minimum lot size of the original underlying lots, and will not result in additional dwelling units beyond what the original underlying lots would allow.

- The new residences have been designed to provide the minimum two-car parking spaces per residence as required by Sections 20.40.040 and 21.40.040 (Off-Street Parking Spaces Required). Vehicular access will be maintained from the alley at the rear of the property. Each parcel will be served by separate utility connections.

- The neighborhood is developed with a mix of one-, two- and three-story, single-family residences. The design, bulk, and scale of the proposed new development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.

- The proposed structures will conform to all applicable development standards, including floor area limits, setbacks, and height, as evidenced by the project plans and illustrated in Tables 1 and 2 below:

Table 1 – Development Standards		
400 South Bay Front (Parcel 1)		
Development Standard	**Standard**	**Proposed**
Setbacks (min.)		
Front	0 feet	2 feet, 6 inches
Side	3 feet each	3 feet each
Rear	5 feet	5 feet
Allowable Floor Area	3,188 square feet	3,188 square feet
Allowable 3rd Floor Area	298 square feet	N/A
Open Volume Area	298 square feet	478 square feet
Parking	2 enclosed	2 enclosed
Height	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

Table 2 – Development Standards		
402 South Bay Front (Parcel 2)		
Development Standard	**Standard**	**Proposed**
Setbacks (min.)		
Front	0 feet	7 feet, 6 inches
Side	3 feet each	3 feet each
Rear	5 feet	7 feet, 6 inches
Allowable Floor Area	3,188 square feet	3,108 square feet
Allowable 3rd Floor Area	299 square feet	N/A
Open Volume Area	299 square feet	654 square feet
Parking	2 enclosed	2 enclosed
Height	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

Hazards

- The property is an oceanfront parcel that is separated from the ocean by a public boardwalk and City-owned concrete seawall/bulkhead. A Coastal Hazards and Sea Level Rise report, dated March 20, 2019, was prepared for the project by GeoSoils,

Inc. The report concludes that with the implementation of sea level rise (SLR) adaptation strategies (waterproofing of the structure and future raising of the City's bulkhead), the proposed development will not be adversely impacted by potential coastal hazards over the next 75 years. No additional protective devices will be necessary to protect the proposed development.

- The finished floor elevation of the first habitable floor of the proposed structures is 9.0 feet North American Vertical Datum of 1988 (NAVD 88), which complies with the minimum 9.0 (NAVD 88) elevation standard for new structures.

- Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.

- The property is located in an area known for the potential for seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The development, as proposed and conditioned, incorporates design features to minimize the effect of construction and post-construction activities on the marine environment. These design features include, but are not limited to, one or more of the following: the appropriate management of equipment and construction materials, reducing runoff with permeable surfaces, and the use of post-construction best management practices to minimize the project's adverse impact on coastal water.

- The project design addresses water quality during construction with a construction erosion control plan. All new construction resulting from the project will tie into an existing post-construction drainage system that includes features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The existing residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes two new single-family residences. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.

- The project is designed and sited so as not block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the project. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the public boardwalk along the waterfront.

- The project site is not located adjacent to a coastal view road or coastal viewpoint identified by Local Coastal Program maps. The project site abuts Pearl Avenue, which provides a view corridor to the Bay; however, development will not block or impede public views. The project site may be located within the viewshed of distant public viewing areas; however, the project will replace an existing single-family residence with new single-family residences that comply with all applicable Local Coastal Program (LCP) development standards. The project will also maintain a building envelope consistent with the existing and anticipated neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15315 under Class 15 (Minor Land Divisions) and Section 15303 – Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and Zoning, no variances or exceptions are required, all services and access to the proposed parcels are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have

an average slope greater than 20 percent. The Class 3 exemption includes the construction and location of limited numbers of new, small facilities or structures.

The proposed parcels are consistent with the land use and zoning designations, do not have a slope greater than 20 percent, and were not involved in the division of a larger parcel within two years. One single-family residence and attached garage is proposed on each parcel.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title (Subdivisions) and Title 21 (Local Coastal Program Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Liane Schuller
Planning Consultant

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Attachments:

	ZA 1	Draft Resolution (PA2019-062)
	ZA 2	Draft Resolution (PA2019-063)
	ZA 3	Vicinity Map
	ZA 4	Tentative Parcel Map No. NP2019-004 County Tentative Map No. 2018-162
	ZA 5	Project Plans

Attachment No. ZA 1

Draft Resolution for PA2019-062

RESOLUTION NO. ZA2019-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING TENTATIVE PARCEL MAP NO. NP2019-004 AND COASTAL DEVELOPMENT PERMIT NO. CD2019-016, CREATING TWO PARCELS AND ALLOWING CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE ON PARCEL 1 AT 400 SOUTH BAY FRONT (PA2019-063)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Brandon Architects ("Applicant"), on behalf of South Bayfront Waterpointe, LLC ("Owner"), with respect to property located at 400 South Bay Front, and legally described as Lot 1 in Block 7 of Section 1, Balboa Island, requesting approval of a tentative parcel map and a coastal development permit.

2. The Applicant proposes to subdivide an existing 5,180-square-foot parcel into two parcels and to construct a new 2,743-square-foot, single-family residence with an attached 464-square-foot, two-car garage on Parcel 1.

3. The subject property is located within the R-BI (Balboa Island) Zoning District and the General Plan Land Use Element category is RT (Two-Unit Residential).

4. The subject property is located within the coastal zone and has a Coastal Land Use Designation of Two-Unit Residential (RT-E) (30.0 - 39.9 DU/AC) and a Coastal Zoning District of Balboa Island (R-BI).

5. A public hearing was held on June 13, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the NBMC. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt pursuant to the State CEQA (California Environmental Quality Act) Guidelines under Class 15 (Minor Land Divisions) and under Class 3 (New Construction or Conversion of Small Structures).

2. The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and Zoning, no variances or exceptions are required, all services and access to the proposed parcels are available, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent. The proposed parcels are

consistent with the land use and zoning designations, do not have a slope greater than 20 percent, and were not involved in the division of a larger parcel within two years. Therefore, the proposed parcel map is eligible for the Class 15 exemption.

3. The Class 3 exemption allows the construction and location of limited numbers of new, small facilities or structures including one single-family residence in a residential zone.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The Tentative Parcel Map and Coastal Development Permit is for a property within a developed neighborhood, on a lot that is not near any natural landforms including coastal bluffs, and is not within the proximity of any environmentally sensitive areas.

2. The proposed structure conforms to all applicable development standards including, but not limited to, floor area limitation, setbacks, height, and parking:

    a. The maximum floor area limitation is 3,188 square feet and the proposed gross floor area is 3,188 square feet.

    b. The proposed development will provide the required setbacks, which are zero feet along the front property line abutting the boardwalk, three feet along the side property lines, and five feet along the rear property line abutting the alley.

    c. The highest flat roof is no more than 24 feet, measured from the finished floor level of 9.00 feet North American Vertical Datum of 1988 (NAVD 88) and the highest roof ridge is no more than 29 feet, measured from the finished floor level, which complies with the maximum height limitation.

    d. The project includes enclosed garage parking for two vehicles, which complies with the minimum two-space parking requirement for single-family residences with less than 4,000 square feet of livable floor area.

3. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards as the neighborhood is predominantly developed with two-story, single-family residences.

4. The property is an oceanfront lot that is separated from the ocean by a public boardwalk and City-owned concrete seawall/bulkhead. A Coastal Hazards and Sea Level Rise report, dated March 20, 2019, was prepared for the project by GeoSoils, Inc. The report concludes that, with the implementation of sea level rise (SLR) adaptation strategies (waterproofing of the structure and future raising of the City's bulkhead), the proposed development will not be adversely impacted by potential coastal hazards over the next 75 years. No additional protective devices will be necessary to protect the proposed development.

5. Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.

6. The finished floor elevation of the first floor of the proposed structure is 9.00 feet (NAVD 88), which complies with the minimum 9.0-foot (NAVD 88) elevation standard for new structures.

7. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and the CBC prior to building permit issuance.

8. A post-construction drainage system will be installed that includes drainage and percolation features designed to retain dry weather and minor rain runoff on-site to ensure the project does not impact water quality. Any water not retained on-site is directed to the City's storm drain system.

9. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.

10. New landscaping will be verified for compliance with NBMC Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant, and prohibits invasive species. Prior to issuance of the building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

11. The property is not located near coastal view roads and is not located near any identified public viewpoints; therefore, the project will not negatively impact public coastal views.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Fact in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The proposed residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of a new two-story, single-family residence. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.

2. The project is designed and sited so as not to block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the proposed development. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the public boardwalk along the waterfront.

The Zoning Administrator determined in this case that the Tentative Parcel Map is consistent with the legislative intent of NBMC Title 20 (Planning and Zoning) and is approved based on the following findings per NBMC Section 19.12.070 (Required Findings for Action on Tentative Maps):

Finding:

C. That the proposed map and the design or improvements of the subdivision are consistent with the General Plan and any applicable specific plan, and with applicable provisions of the Subdivision Map Act and this Subdivision Code.

Facts in Support of Finding:

1. The Tentative Parcel Map is for the creation of two separate parcels, with one single-family residence to be constructed on each parcel. The proposed subdivision and improvements are consistent with the density of the R-BI Zoning District (Balboa Island) and current General Plan Land Use Designation (Two-Unit Residential).

2. The subject property is not located within a specific plan area.

3. The project is conditioned to require public improvements, including the reconstruction of drains, sidewalks, curbs, and gutters along the South Bay Front alleyway, consistent with the requirements of NBMC Title 19.

Finding:

D. That the site is physically suitable for the type and density of development.

Facts in Support of Finding:

1. The lot is physically suitable for the proposed single-unit development. The lot is rectangular in shape, 30.5 feet wide, 86.3 feet deep, and approximately 2,600 square feet in area.

2. The project site will maintain vehicular access from the alley at the rear of the property and existing utility services are adequate for the proposed single-unit development.

Finding:

E. That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. However, notwithstanding the foregoing, the decision making body may nevertheless approve such a subdivision if an environmental impact report was prepared for the project and a finding was made pursuant to Section 21081 of the California Environmental Quality Act that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

Facts in Support of Finding:

1. The site was previously developed with a multiple-unit residence.

2. The property is located in an urbanized area that does not contain any sensitive vegetation or habitat.

3. The project is categorically exempt under Section 15315 (Article 19 of Chapter 3), of the California Environmental Quality Act (CEQA) Guidelines – Class 15 (Minor Land Alterations) for the reasons noted in Section 2 of this Resolution.

Finding:

F. That the design of the subdivision or the type of improvements is not likely to cause serious public health problems.

Facts in Support of Finding:

1. Approval of the Tentative Parcel Map will create two approximately 2,600-square-foot parcels, reverting to the minimum lot size of the original underlying lots, and will not result in additional dwelling units beyond what the original underlying lots would allow

2. All improvements associated with the project will comply with all Building, Public Works, and Fire Codes, which are in place to prevent serious public health problems. Public improvements will be required of the developer per NBMC Section 19.28.010 (General Improvement Requirements) and Section 66411 (Local Agencies to Regulate and Control Design of Subdivisions) of the Subdivision Map Act. All ordinances of the City and all Conditions of Approval will be complied with.

Finding:

G. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the decision making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within a subdivision.

Fact in Support of Finding:

1. The Public Works Department has reviewed the proposed parcel map and determined that the design of the development will not conflict with easements acquired by the public at large, for access through, or use of property within the proposed development, because there are no public easements located on the property.

Finding:

H. That, subject to the detailed provisions of Section 66474.4 of the Subdivision Map Act, if the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act), the resulting parcels following a subdivision of the land would not be too small to sustain their agricultural use or the subdivision will result in residential development incidental to the commercial agricultural use of the land.

Facts in Support of Finding:

1. The property is not subject to the Williamson Act because the subject property is not designated as an agricultural preserve and is less than 100 acres in area.

2. The site is developed for residential use and is located in the Two-Unit Residential (R-2) Zoning District, which permits residential uses.

Finding:

I. That, in the case of a "land project" as defined in Section 11000.5 of the California Business and Professions Code: (1) there is an adopted specific plan for the area to be included within the land project; and (2) the decision making body finds that the proposed land project is consistent with the specific plan for the area.

Facts in Support of Finding:

1. California Business and Professions Code Section 11000.5 has been repealed by the Legislature. However, this project site is not considered a "land project" as previously defined in Section 11000.5 of the California Business and Professions Code because the project site does not contain 50 or more parcels of land.

2. The project is not located within a specific plan area.

Finding:

J. That solar access and passive heating and cooling design requirements have been satisfied in accordance with Sections 66473.1 and 66475.3 of the Subdivision Map Act.

Fact in Support of Finding:

1. The Tentative Parcel Map and any future improvements are subject to Title 24 of the California Code of Regulations that requires new construction to meet minimum heating and cooling efficiency standards depending on location and climate. The Newport Beach Building Division enforces Title 24 compliance through the plan check and inspection process.

Finding:

K. That the subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City's share of the regional housing need and that it balances the housing needs of the region against the public service needs of the City's residents and available fiscal and environmental resources.

Fact in Support of Finding:

1. The proposed single-family residence is consistent with the R-2 Zoning District, which allows a maximum of two residential units on the property. The Tentative Parcel Map to create two parcels for the purpose of constructing a single-family residence on each parcel will not affect the City in meeting its regional housing need.

Finding:

L. That the discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.

Fact in Support of Finding:

1. The new single-family residence is designed so that wastewater discharge into the existing sewer system complies with the Regional Water Quality Control Board (RWQCB) requirements.

Finding:

M. For subdivisions lying partly or wholly within the Coastal Zone, that the subdivision conforms with the certified Local Coastal Program and, where applicable, with public access and recreation policies of Chapter Three of the Coastal Act.

Fact in Support of Finding:

1. The subject property is within the Coastal Zone. The facts in support of findings A and B above are hereby incorporated by reference.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Tentative Parcel Map No. NP2019-004 and Coastal Development Permit No. CD2018-016, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Director of Community Development in accordance with the provisions of NBMC Title 19 (Subdivisions) and Title 21 (Local Coastal Program Implementation Plan).

PASSED, APPROVED, AND ADOPTED THIS 13th DAY OF JUNE, 2019.

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Rosalinh Ung, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

Planning Division

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).

2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.

3. Tentative Parcel Map No. NP2019-004 and Coastal Development Permit No. CD2019-016 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.

4. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.

5. Prior to the issuance of a building permit, the property owner shall sign a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgements, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. The letter shall be scanned into the plan set prior to building permit issuance.

6. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A," shall be incorporated into the Building Division and field sets of plans.

7. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

8. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit and Tentative Parcel Map.

9. This Coastal Development Permit and Tentative Parcel Map may be modified or revoked by the Zoning Administrator if determined should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

10. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.

11. No demolition or construction materials, equipment debris or waste shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain, or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.

12. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility. Prior to issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.

13. Prior to issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.

14. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

15. Prior to issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

16. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far a Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway from storm drain systems or receiving waters as possible.

17. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the South Bayfront Waterpointe, LLC. Residences including, but not limited to, Tentative Parcel Map No. NP2019-004 and Coastal Development Permit No. CD2019-016 (PA2019-063). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Public Works Department

18. A parcel map shall be recorded. The map shall be prepared on the California coordinate system (North American Datum of 1983). Prior to recordation of the Map, the surveyor/engineer preparing the Map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18**. The Map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.**

19. Prior to recordation of the parcel map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (one inch iron pipe with tag) shall be set on each lot corner unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of construction project.

20. All improvements shall be constructed as required by Ordinance and the Public Works Department.

21. An encroachment permit is required for all work activities within the public right-of-way.

22. Reconstruct any existing broken and/or otherwise damaged concrete curb and sidewalk panels along the Pearl Avenue frontage and any existing broken and/or otherwise damaged concrete alley panels.

23. All existing overhead utilities shall be undergrounded.

24. The rear alley setback shall remain clear of any above ground improvements or obstructions.

25. All existing private, non-standard improvements within the Pearl Avenue right-of-way and/or extensions of private, non-standard improvements into the Pearl Avenue right-of-way fronting the development shall be removed.

26. Any proposed private, non-standard improvements within the South Bay Front right-of-way shall comply with City Council Policy L-6.

27. Existing street trees within the Pearl Avenue right-of-way shall be protected-in-place. Removal of said trees will require approval from the Parks and Trees Division of the Public Works Department.

28. Each parcel shall be served by its individual water meter and sewer lateral and cleanout. Each water meter and sewer cleanout shall be installed with a traffic-grade box and cover.

29. All improvements shall comply with the City's sight distance requirement. See City Standard 110-L.

30. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.

Attachment No. ZA 2

Draft Resolution for PA2019-063

RESOLUTION NO. ZA2019-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-015 TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE AT 402 SOUTH BAY FRONT (PA2019-062)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Brandon Architects ("Applicant"), on behalf of South Bayfront Waterpointe, LLC ("Owner"), with respect to property located at 402 South Bay Front, and legally described as Lot 2 in Block 7 of Section 1, Balboa Island, requesting approval of a coastal development permit.

2. The Applicant proposes to construct a new 2,659-square-foot, single-family residence with an attached 450-square-foot, two-car garage.

3. The subject property is located within the R-BI (Balboa Island) Zoning District and the General Plan Land Use Element category is RT (Two-Unit Residential).

4. The subject property is located within the coastal zone and has a Coastal Land Use Designation of Two-Unit Residential (RT-E) (30.0 - 39.9 DU/AC) and a Coastal Zoning District of Balboa Island (R-BI).

5. A public hearing was held on June 13, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the NBMC. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.

2. Class 3 includes the construction of a single-family residence in a residential zone. The proposed project includes the construction of a new 2,659-square-foot, single-family residence with an attached 450-square-foot, two-car garage.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The proposed structure conforms to all applicable development standards including, but not limited to, floor area limitation, setbacks, height, and parking:

    a. The maximum floor area limitation is 3,188 square feet and the proposed gross floor area is 3,108 square feet.

    b. The proposed development will provide the required setbacks, which are zero feet along the front property line abutting the boardwalk, three feet along the side property lines, and five feet along the rear property line abutting the alley.

    c. The highest flat roof is no more than 24 feet, measured from the finished floor level of 9.00 feet North American Vertical Datum of 1988 (NAVD 88) and the highest roof ridge is no more than 29 feet, measured from the finished floor level, which complies with the maximum height limitation.

    d. The project includes enclosed garage parking for two vehicles, which complies with the minimum two-space parking requirement for single-family residences with less than 4,000 square feet of livable floor area.

2. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards as the neighborhood is predominantly developed with two-story, single-family residences.

3. The property is an oceanfront lot that is separated from the ocean by a public boardwalk and City-owned concrete seawall/bulkhead. A Coastal Hazards and Sea Level Rise report, dated March 20, 2019, was prepared for the project by GeoSoils, Inc. The report concludes that, with the implementation of sea level rise (SLR) adaptation strategies (waterproofing of the structure and future raising of the City's bulkhead), the proposed development will not be adversely impacted by potential coastal hazards over the next 75 years. No additional protective devices will be necessary to protect the proposed development.

4. Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is

threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.

5. The finished floor elevation of the first floor of the proposed structure is 9.00 feet (NAVD 88), which complies with the minimum 9.0-foot (NAVD 88) elevation standard for new structures.

6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and the CBC prior to building permit issuance.

7. A post-construction drainage system will be installed that includes drainage and percolation features designed to retain dry weather and minor rain runoff on-site to ensure the project does not impact water quality. Any water not retained on-site is directed to the City's storm drain system.

8. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.

9. New landscaping will be verified for compliance with NBMC Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant, and prohibits invasive species. Prior to issuance of the building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

10. The property is not located near coastal view roads and is not located near any identified public viewpoints; therefore, the project will not negatively impact public coastal views.

<u>Finding</u>:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to use and/or view the coast and nearby recreational facilities. The proposed residential development neither provides nor inhibits public coastal access. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of a new two-story, single-family residence. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.

2. The project is designed and sited so as not to block or impede existing public access opportunities and occurs within the confines of private property. Existing coastal access conditions will not be affected by the proposed development. Coastal access is currently provided and will continue to be provided by street ends throughout the neighborhood with access to the public boardwalk along the waterfront.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-015, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 13th DAY OF JUNE, 2019.

_____

Rosalinh Ung, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).

2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.

3. Coastal Development Permit No. CD2019-015 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.

4. A parcel map shall be recorded. The map shall be prepared on the California coordinate system (North American Datum of 1983). Prior to recordation of the Map, the surveyor/engineer preparing the Map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18**. The Map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.**

5. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.

6. Prior to the issuance of a building permit, the property owner shall sign a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgements, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. The letter shall be scanned into the plan set prior to building permit issuance.

7. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A," shall be incorporated into the Building Division and field sets of plans.

8. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

9. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

10. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.

12. No demolition or construction materials, equipment debris or waste shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain, or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.

13. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility. Prior to issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.

14. Prior to issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.

15. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

16. Prior to issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

17. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance

area with appropriate berms and protection to prevent spillage shall be provided as far a Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway from storm drain systems or receiving waters as possible.

18. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of South Bayfront Waterpointe, LLC. Residences including, but not limited to, Coastal Development Permit No. CD2019-015 (PA2019-062). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 3

Vicinity Map

VICINITY MAP

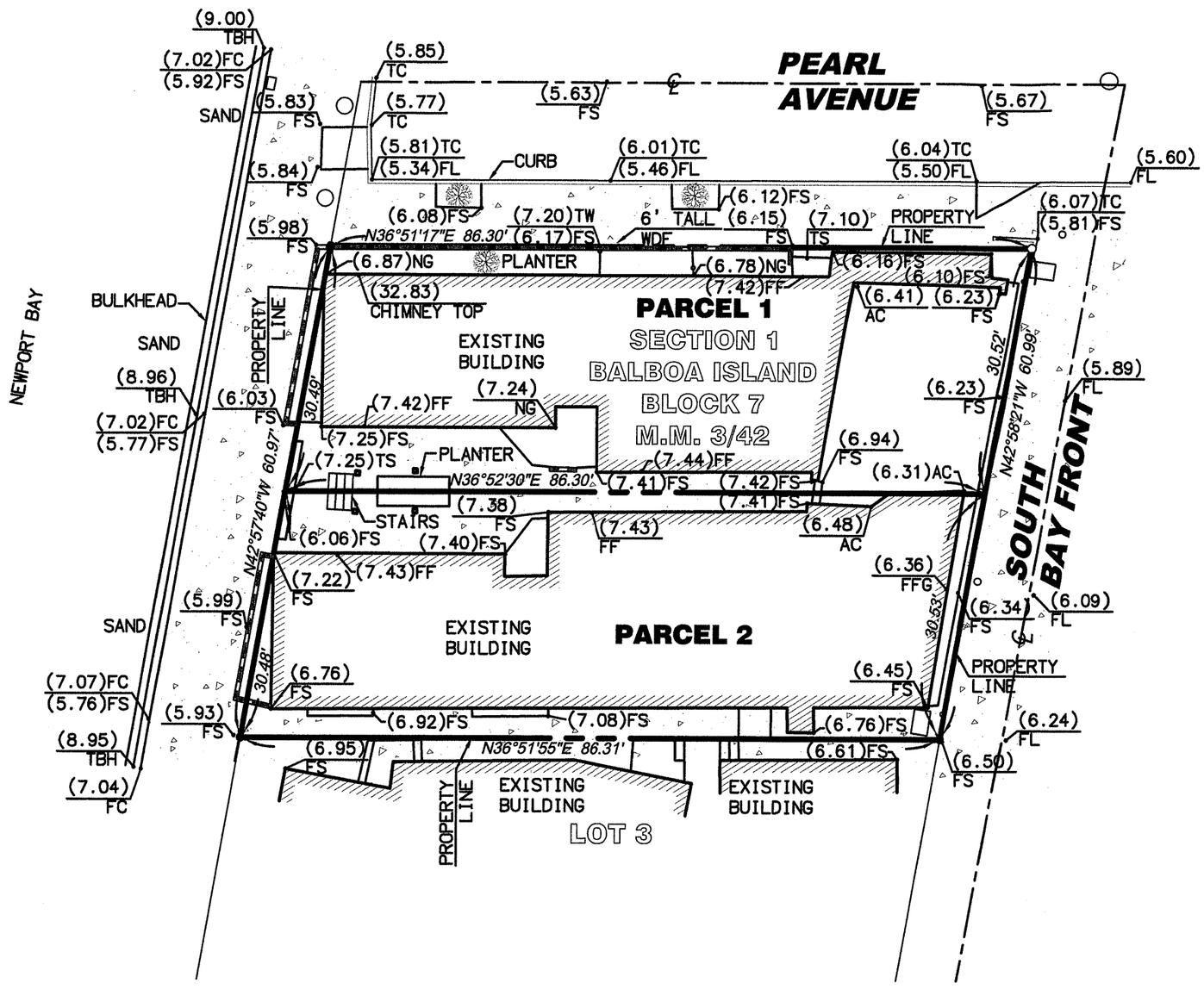
Tentative Parcel Map No. NP2019-004
Coastal Development Permit Nos. CD2019-015 and CD2019-016

PA2019-062 and PA2019-063

400 and 402 South Bay Front

Attachment No. ZA 4

Tentative Parcel Map



LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:

LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH BAY FRONT, BEING N43°50'00"W PER P.M.B. 183, PAGES 17/18, RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

AREA SUMMARY

PARCELS 1 & 2 GROSS: 5,180.00 S.F.
PARCEL 1 & 2 NET: 5,180.00 S.F.

OWNER/SUBDIVIDER:

VICTOR BROWNE SHERREITT & BEATRICE RUBY SHERREITT, AS TRUSTEES OF THE SHERREITT

PA2019-063 for CD2019-016 NP2019-004
400 South Bay Front
Brandon Architects-

PROFESSIONAL LAND SURVEYOR
PAUL DOMINICK CRAFT
No. 8516
Exp. 12/31/18
STATE OF CALIFORNIA

4/4/2019
PAUL D. CRAFT, P.L.S. 8516 — DATE
LICENSE EXPIRES 12/31/18 — PREPARED BY: A. R. H.

BY: P. D. C.	PROJECT SURVEYOR: **APEX LAND SURVEYING, INC.** 8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646 PHONE: (714)488-5006 FAX: (714)333-4440	LOCATION **400 S BAYFRONT #5 NEWPORT BEACH, CA 92662**	
DATE: 7/25/2018		**TENTATIVE PARCEL MAP NO. 2018-162**	SHEET NO. 1 OF 1
SCALE: 1" = 16' / JOB#: 18046			

Attachment No. ZA 5

Project Plans

BRANDON ARCHITECTS, INC.

BAY FRONT TRADITIONAL

400 S. BAYFRONT, NEWPORT BEACH, CA 92662

PROJECT DESCRIPTION:

THE SUBJECT PROPERTY IS LOCATED IN NEWPORT BEACH, CA ON BALBOA ISLAND ON SOUTH BAY FRONT WEST OF THE FERRY TERMINAL. THE EXISTING LOT IS 30' WIDE BY APPROX. 86' DEEP AND ZONED R-BI (BALBOA ISLAND) AND APPROX. 2,591 S.F. CLIENT PROPOSES TO BUILD A NEW 3 STORY SINGLE FAMILY RESIDENCE APPROX. 2,743 S.F. LIVING AND 464 S.F. GARAGE. THE FIRST FLOOR PROGRAM INCLUDES BUT NOT LIMITED TO: EAT-IN KITCHEN W/. ISLAND & PANTRY, GREAT ROOM W/. FIREPLACE, DINING AREA (ALL OPEN), POWDER ROOM, 2 CAR GARAGE. SECOND FLOOR PROGRAM INCLUDES: MASTER SUITE, MASTER BATH AND WALK IN CLOSET, 2 SECONDARY BEDROOMS WITH ATTACHED BATHS & CLOSETS, LAUNDRY ROOM AND ELEVATOR. THIRD FLOOR WILL CONSIST OF A BONUS ROOM WITH SECONDARY POWDER AND FRONT AND BACK EXTERIOR DECKS WITH AN OUTDOOR BBQ COUNTER AND EXTERIOR AMENITIES. DESIGN WITH BE OF TRADITIONAL CAPE COD THEMED FOCUSING ON EXTERIOR VIEWS OF THE BAYFRONT. EXTERIOR MATERIALS TO BE OF HIGH QUALITY AND DURABILITY INCLUDING NATURAL WOOD SHINGLES, EXTERIOR COMPOSITE WOOD SIDING, NATURAL SHINGLE ROOFING AND METAL ROOFING ACCENTS.

VICINITY MAP/ PROJECT DESCRIPTION 11

- ALUMINUM
- CONCRETE
- EARTH
- GYPSUM - PLASTER
- INSULATION - RIGID
- MASONRY - BRICK/STONE
- MASONRY - CONCRETE BLOCK
- PLYWOOD / GLU-LAM TIMBER
- SAND
- STEEL
- WOOD

MATERIAL LEGEND 9

- N 90 00' 00" E Distance
- 1 A101 SIM — SECTION INDICATOR
- Room name 150 SF — ROOM TAG (NAME / AREA)
- 1 A101 SIM — CALL-OUT TAG
- Name Elevation — ELEVATION INDICATOR
- 1 — REVISION FLAG
- 20 R @ 7 1/2" — STAIR TAG (NO. OF RISER & HEIGHT)
- 1i — WALL TAG
- 101 — DOOR TAG
- 1i — WINDOW TAG
- ? — KEYNOTE TAG

ANNOTATION LEGEND 10

1. REF. STRUCT. SHTS. FOR SPECIAL INSPECTION BY ENGINEER OF RECORD
2. HERS VERIFICATION REQUIRED, REF. T-24 ENERGY CALCULATIONS

SPECIAL INSPECTIONS 6

1. LANDSCAPE PLAN, BBQ, FIRE PIT, ACCESSORY STRUCTURES, MASONRY OR CONCRETE WALLS/FENCES; RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF WALL; UNDER SEPARATE SUBMITTAL (FOR H.O.A. PURPOSES).

2. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

3. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER ARI STD. 275. SOUND LEVEL NOT TO EXCEED 50dBA (55dBA WITH TIMER, 65dBA WITH TIMER AND NEIGHBORS CONSENT). LOCATION OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING.

4. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.

5. FIRE SPRINKLERS REQUIRED. CONTRACTOR TO SUBMIT FIRE SPRINKLER DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO SUBMITTING TO CITY. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.

6. GLASS GUARD/HANDRAILS

NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL TO LOCAL AGENCY FOR REVIEW.

C.N.S. NOTE: CHRISTOPHER BRANDON, PRINCIPAL ARCHITECT IS THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THE PROJECT, RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. (NBMC 15.02.010)

DEFERRED SUBMITTALS 7

DIG ALERT:	1.800.227.2600
SOUTHERN CALIFORNIA EDISON:	1.714.895.0246
SOUTHERN CALIFORNIA GAS:	1.800.427.2000
CITY WATER & SEWER:	1.949.644.3011
PACIFIC BELL TELEPHONE:	1.800.750.2355
CITY OF NEWPORT BEACH PUBLIC WORKS DEPT.:	1.949.644.3311
CITY OF NEWPORT BEACH PLANNING DEPT.:	
GENERAL INFORMATION:	1.949.644.3200
ZONING INFORMATION:	1.949.644.3204
CITY OF NEWPORT BEACH BUILDING DEPT.:	
GENERAL:	1.949.644.3275
PERMITS:	1.949.644.3288
INSPECTIONS:	1.949.644.3255
NEWPORT BEACH FIRE DEPARTMENT:	1.949.644.3106
ORANGE COUNTY HEALTH SERVICES:	1.714.834.3882

AGENCIES & PUBLIC SERVICES 4

ARCHITECT:
BRANDON ARCHITECTS, INC.
CHRISTOPHER BRANDON
151 KALMUS DR, STE. G-1
COSTA MESA, CA 92626
P: 714.754.4040
WWW.BRANDONARCHITECTS.COM

OWNER:
SOUTH BAYFRONT WATERPOINTE, LLC
MR. GARRETT CALACCI, PRESIDENT
610 NEWPORT CENTER DR.
SUITE 890
NEWPORT BEACH, CA 92660
P: 949.644.8900

STRUCTURAL ENGINEER:
FARHAD MANSHADI, LIC. NO. C36840
ESI/FME, INC.
1800 E. 16TH ST., STE. B
SANTA ANA, CA 92701
P: 714.835.2800
F: 714.835.2819

CIVIL ENGINEER:
FORKETT ENGINEERING
TOM RUIZ
P: 714 963 6793
22311 BROOKHURST ST.
HUNTINGTON BEACH, CA 92646

GENERAL CONTRACTOR:
WATERPOINTE PROPERTIES, LLC
MR. GARRETT CALACCI, PRESIDENT
610 NEWPORT CENTER DR.
SUITE 890
NEWPORT BEACH, CA 92660
P: 949.644.8900

LANDSCAPE DESIGNER:
TBD

SURVEYOR:
APEX LAND SURVEYING, INC.
PAUL CRAFT, LIC. NO. 8516
HUNTINGTON BEACH, CA 92646
P: 714.488.5006
F: 714.333.4440

SOILS ENGINEER:
EGA CONSULTANTS, LLC.
375-C MONTE VISTA AVE.
COSTA MESA, CA 92627
P:949.642.9303
PROJECT NO. WP126.1
DATED: JULY 5TH, 2018

INTERIOR DESIGNER:
TBD

TITLE 24 CONSULTANT:
HERITAGE ENGERGY GROUP LLC
RUDY SAINS
470 WALD, IRVINE, CA 92618
P:949.789.7221

PROJECT DIRECTORY 2

CODES: NBMC (NEWPORT BEACH MUNICIPAL CODE) CALIFORNIA CODES: 2016 CBC, 2016 CFC, 2016 CEC, 2016 CPC, AND 2016 CMC, 2016 CAL GREEN

OCCUPANT LOAD	1 UNIT
OCCUPANCY CLASSIFICATION	R-3 / U
OCCUPANCY SEPARATIONS (GARAGE)	1-HR.
FLOOR & FLOOR-CEILINGS	N/A
TYPE OF CONSTRUCTION	V-B - SPRK'R.
FIRE SPRINKLER: NFPA 13D	YES
HEIGHT	3 STORY
FLOOR AREA	REF. 8/T-1.0
ALLOWABLE BLDG. AREA (PER CBC TBL. 503)	N/A

CODE REVIEW 3

BUILDING AREA SCHEDULE

Name	AREA	COMMENTS
FIRST FLOOR	1029 SF	
SECOND FLOOR	1421 SF	
THIRD FLOOR	275 SF	
TOTAL LIVING	2724 SF	
GARAGE	464 SF	
TOTAL GARAGE	464 SF	
GRAND TOTAL	3188 SF	

OUTDOOR AREA SCHEDULE

NAME	AREA	COMMENTS
ENTRY	53 SF	COVERED
VIEW DECK	459 SF	
ROOF DECK	198 SF	
TOTAL OUTDOOR	710 SF	
PATIO	214 SF	PARTIALLY COVERED
M. BALCONY	264 SF	COVERED
TOTAL OPEN SPACE	478 SF	
GRAND TOTAL	1188 SF	

LANDSCAPE AREA SCHEDULE

NAME	AREA	COMMENTS
L1	118 SF	
L2	61 SF	
L3	62 SF	
GRAND TOTAL	242 SF	

PROJECT STATISTICS 8

LEGAL DESCRIPTION:
APN: 050-043-13
LOT 1 BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA,AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

LOT INFORMATION:
ZONED: R-BI
SITE AREA: 2630 S.F. BUILDABLE AREA: 1992 S.F.
TOTAL ALLOWABLE AREA: 1.5 x 1992 S.F. = 2988 S.F. +200 S.F. = 3188 S.F.
REQ'D OPEN VOLUME = 1992 S.F. X .15 = 298.8 S.F. (7'-6" HT MIN.)
OPEN VOLUME PROVIDED = 478 > 298.8 S.F.

EXISTING BUILDING INFORMATION:
EXISTING MULTI FAMILY W/ GARAGE TO BE DEMOLISHED
EXISTING S.F. = 1,842.37 S.F. (FOOTPRINT)

ZONING INFORMATION:
FRONT SETBACK: 0 FT.
REAR SETBACK: 5 FT.
LEFT SETBACK: 3 FT.
RIGHT SETBACK: 3 FT.

BUILDABLE AREA: 1,992 S.F.

SITE INFORMATION 5

SHEET #	DRAWING TITLE
T-1.0	TITLE SHEET
T-1.1	GENERAL ARCHITECTURAL NOTES
T-1.2	SUPPLEMENTAL NOTES & DOCUMENTS
SUR	TOPOGRAPHIC SURVEY
A-0.0	ARCHITECTURAL SITE PLAN
A-0.1	BUILDING AREA PLANS
A-0.3	SLAB EDGE PLAN
G-01	GRADING COVER SHEET
G-02	PRECISE GRADING PLAN
G-03	GRADING DETAILS
G-04	EROSION CONTROL PLAN
L-1	LANDSCAPE PLAN (REF. ONLY)
A-1.0	3-DIMENSIONAL VIEWS
A-2.0	FLOOR PLAN
A-3.0	ROOF PLAN
A-4.0	EXTERIOR ELEVATIONS & MATERIAL SCHEDULE
A-5.0	BUILDING SECTIONS
A-5.1	BUILDING SECTIONS
A-6.0	REFLECTED CEILING PLANS
A-7.0	DOOR & WINDOW SCHEDULES & DETAILS
AD-1	ARCHITECTURAL DETAILS
S0	STRUCTURAL TITLE SHEET
SGN	STRUCTURAL NOTES
S1	FOUNDATION PLAN
S2	FRAMING PLAN
FD1	FOUNDATION DETAILS
SD1	STRUCTURAL DETAILS
HFX1	HFX PANELS-TYP. FOUNDATION DETAILS
HFX2	HFX PANELS-TYP. FRAMING DETAILS
PLUM	PLUMBING
MECH	MECHANICAL
E-1	SCHEMATIC ELECTRICAL PLANS
T-24	ENERGY CALCULATIONS

SHEET LIST 1

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT WATERPOINTE, LLC.
610 NEWPORT CENTER DRIVE, SUITE 890,
NEWPORT BEACH, CA 92660

BAY FRONT TRADITIONAL
400 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

TITLE SHEET

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30

DATE 05/01/2019

SHEET NO.

T-1.0

&	AND	DR.	DOOR	HDR.	HEADER	PERIM.	PERIMETER	U.	UNDER
∠	ANGLE	D.S.	DOWN SPOUT	HDWD.	HARDWOOD	PL.	PLATE/PROPERTY LINE	U.B.C.	UNIFORM BUILDING CODE
@	AT	D.S.P.	DRY STAND PIPE	HDWR.	HARDWARE	P.LAM.	PLASTIC LAMINATE	U.G.	UNDERGROUND
⌒	CENTERLINE	DWG.	DRAWING	H.M.	HOLLOW METAL	PLAS.	PLASTER	U.L.	UNDERWRITER'S LABORATORY
Ø	DIAMETER OR ROUND			HORIZ.	HORIZONTAL	PLUMB.	PLUMBING	UNF.	UNFINISHED
⊥	PERPENDICULAR	(E.)	EXISTING	HR.	HOUR	PLYWOOD	PLYWOOD	U.N.O.	UNLESS NOTED OTHERWISE
#	POUND OR NUMBER		EAST, ENTRY	HT./HGT.	HEIGHT	PNT.	PAINT(ED)	UR.	URINAL
℄	PROPERTY LINE, PLATE		EACH	HVAC	HEATING VENTILATING/AIR COND.	P.O.C.	POINT OF CONNECTION		
A.B.	ANCHOR BOLT	EJ.	EXPANSION JOINT			PR.	PAIR	V.	VERTICAL
ABV.	ABOVE	EL.	ELEVATION	I.D.	INSIDE DIAMETER/INTERIOR DESIGNER	PROJ.	PROJECTION	VENT.	VENTILATING
A/C	AIR CONDITIONING	ELEC.	ELECTRIC	IN.	INCH	PSL.	PARALLEL STRAND LAMINATE	VERT.	VERTICAL
A.C.	ASPHALT CONCRETE	ELEV.	ELEVATOR	INSUL.	INSULATION	PT.	POINT	VER.	VERIFY
ACOUS.	ACOUSTICAL	EMER.	EMERGENCY	INT.	INTERIOR			V.T.R.	VENT THROUGH ROOF
A.D.	AREA DRAIN	ENCL.	ENCLOSURE	INV.	INVERT/INVERTED	R.A.	RETURN AIR		
ADH.	ADHESIVE	E.P.	ELECTRIC PANEL			RAD.	RADIUS	W.	WEST, WIDE, WIDTH
ADJ.	ADJUSTABLE	EQ.	EQUAL / EQUIVALENT	JAN.	JANITOR	R.D.	ROOF DRAIN	W/.	WITH
AL.	ALUMINUM	EQPT./EQPM.	EQUIP/MENT	JT.	JOINT	R.D.L.	ROOF DRAIN LEADER	WD.	WOOD
ALT.	ALTERNATE	E.W.	EACH WAY	JST.	JOIST	RECPT.	RECEPTACLE	W.H.	WATER HEATER
ANOD.	ANODIZED	EXST.	EXISTING			RECT.	RECTANGULAR	W.C.	WATER CLOSET
A.P.	ACCESS PANEL	EXH.	EXHAUST	KIT.	KITCHEN	REF.	REFERENCE	W.I.	WROUGHT IRON
APPX.	APPROXIMATELY	EXPO.	EXPOSED	L.	LOW/LINEN	REFR./ R/F.	REFRIGERATOR	WP.	WATERPROOF
APPR/PD.	APPROVED	EXT.	EXTERIOR	L.A.	LANDSCAPED AREA	REG.	REGISTER	W.W.M.	WELDED WIRE MESH
ARCH.	ARCHITECTURAL	E.G.	EXISTING GRADE	LAB.	LABORATORY	REINF.	REINFORCEMENT		
ASB.	ASBESTOS			LAM.	LAMINATE	REQD.	REQUIRED		
ASSY.	ASSEMBLY	F.	FIXED	LAV.	LAVATORY	RESIL.	RESILIENT		
AUTO.	AUTOMATIC	F.A.	FIRE ALARM	LBS.	POUNDS	RET.	RETAIN(ING), RETURN		
B.	BATH	FAC.	FACTORY	LFA	LOAD FROM ABOVE	RM.	ROOM		
BD.	BOARD	F.C.O.	FLOOR CLEAN OUT	L.H.	LEFT HAND	R.O.	ROUGH OPENING		
BEL.	BELOW	F.D.	FLOOR DRAIN	LKR.	LOCKER	R.R.	ROOF RAFTER		
BET.	BETWEEN	FDN.	FOUNDATION	LT.	LIGHT	RWD.	REDWOOD		
B.ITUM.	BITUMINOUS	F.E.	FIRE EXTINGUISHER	LUM.	LUMINOUS				
BLDG.	BUILDING	F.E.C.	FIRE EXTINGUISHER CABINET			S.	SOUTH		
BLK.	BLOCK	F.G.	FINISH GRADE	MAINT.	MAINTENANCE	S.A.	SUPPLY AIR		
BLK'G.	BLOCKING	F.H.	FLAT HEAD	MAS.	MASONRY	S.C.	SOLID CORE		
BM.	BEAM	FIN.	FINISH	MAT.	MATERIAL	S.C.D.	SEAT COVER DISPENSER		
B.O.	BY OWNER/BY OTHERS	FIX./FIXT.	FIXTURE	MAX.	MAXIMUM	SCHED.	SCHEDULE		
BOT.	BOTTOM	F.J.	FLOOR JOIST	M.B.	METAL BOLT	S.D.	SUB DRAIN/SOAP DISPENSER		
BR.	BEDROOM	F.L.	FLOW LINE	M.C.	MEDICINE CABINET	SEC.	SECTION		
B.W.	BACK OF WALK, BOT. OF WALL	FLASH.	FLASHING	MECH.	MECHANICAL	SEL.	SELECTED		
		FLR.	FLOOR	MEMB.	MEMBRANE	SH.	SHELF		
CAB.	CABINET	FLUOR.	FLUORESCENT	MET./MTL.	METAL	SHT.	SHEET		
C.B.	CATCH BASIN	F.O.C.	FACE OF CONCRETE/FACE OF CURB	MFR./MFGR.	MANUFACTURER	SHT'G.	SHEATHING		
CEM.	CEMENT	F.O.F.	FACE OF FINISH	M.H.	MAN HOLE	SIMIL.	SIMILAR		
C.G.	CORNER GUARD	F.O.S.	FACE OF STUD/FACE OF STRUCTURE	MIN.	MINIMUM	SIMP.	SIMPSON		
CHAN.	CHANNEL	F.O.M.	FACE OF MASONRY	MIR.	MIRROR	S.J.	SOFFIT JOIST		
CHG.	CHANGE	FP.	FIREPLACE	MISC.	MISCELLANEOUS	S.S.	STAINLESS STEEL		
C.I.	CAST IRON	F.S.	FLOOR SINK	M.O.	MASONRY OPENING	S.SK.	SEWNYIKE SINK		
C.J.	CONTROL JOINT/ CONST. JOINT	FT.	FOOT OR FEET	MOS.	MOSAIC	STA.	STATION		
CLG.	CEILING /CEILING JOIST	FTG.	FOOTING	MTD.	MOUNTED	STD.	STANDARD		
CLKG.	CAULKING	FURR.	FURRING	MUL.	MULLION	STL.	STEEL		
CLR.	CLEAR	FUT.	FUTURE	(N.)	NEW	STOR.	STORAGE		
CNTR.	COUNTER	F.V.	FIELD VERIFY	N.	NORTH	STRUCT.	STRUCTURAL		
CONC.	CONCRETE			NAT.	NATURAL	SUSP.	SUSPENDED		
COND.	CONDITION	GA.	GAUGE	N.I.C.	NOT IN CONTRACT	SYM.	SYMMETRICAL		
CONST.	CONSTRUCTION	GALV.	GALVANIZED	N.G.	NATURAL GRADE				
CONT.	CONTRACTOR/ CONTINUOUS	G.B.	GRAB BAR/GRADE BEAM	NO.	NUMBER	T.	TREAD		
CORR.	CORRIDOR, CORROSIVE	G.C.	GENERAL CONTRACTOR	NOM.	NOMINAL	T.C.	TOP OF CURB		
CTSK.	COUNTERSUNK	GEN.	GENERAL	N.T.S.	NOT TO SCALE	T.CL.	TIME CLOCK		
CTR.	CENTER	G.F.I.	GROUND FAULT INTERRUPT			TEL.	TELEPHONE		
		G.I.	GALVANIZED IRON	O/.	OVER	TEMP.	TEMPERED		
DBL.	DOUBLE	GL.	GLASS	O.A.	OVERALL	TER.	TERRAZZO		
DECO.	DECORATIVE	GLB.	GLU-LAM BEAM	OBS.	OBSCURE	T.&G.	TONGUE AND GROOVE		
DEPT.	DEPARTMENT	GND.	GROUND	O.C.	ON CENTER	THK.	THICK		
DET.	DETAIL	GR.	GRADE	O.D.	OUTSIDE DIAMETER (DIMENSION)	T.P.	TOP OF PAVING		
D.F.	DRINKING FOUNTAIN/DOUGLASS FIR	GYP.	GYPSUM	O.F.D.	OVERFLOW DRAIN	T.PL.	TOP OF PLATE		
DIA.	DIAMETER	G.P.	GRADE PLANE	OFF.	OFFICE	T.O.S.	TOP OF STRUCTURE/SLAB		
DIAG.	DIAGONAL			OPNG.	OPENING	TRANS.	TRANSFORMER		
DIM.	DIMENSION			OPP.	OPPOSITE	T.S.	TOP OF STEP		
DN.	DOWN	H.	HIGH			T.W.	TOP OF WALL		
		H.B.	HOSE BIB			TYP.	TYPICAL		
		H.C.	HOLLOW CORE						
		HD.	HARD						

ABBREVIATIONS

2

61. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION, AND SURROUNDING AREAS, FREE OF DEBRIS OR HAZARDOUS MATERIALS AT ALL TIMES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM RISING.

62. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. ANY DAMAGE TO EXISTING STRUCTURES DURING THE CONSTRUCTION OR THE NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.

63. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED. CONTRACTOR SHALL PROVIDE PROPER SAFEGUARDS DURING ALL PHASES OF CONSTRUCTION.

64. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE, AS NECESSARY, ELECTRICAL, TELEPHONE, WATER, SEWER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WILL ALL LOCAL UTILITY COMPANIES.

65. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION FOR PORTIONS OF THE WORK THAT BECOME EXPOSED TO WEATHER AND SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY INSUFFICIENT PROTECTION.

66. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.

67. CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE OWNER FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL AN AUTHORIZATION TO PROCEED, SIGNED BY THE ARCHITECT & OWNER'S REPRESENTATIVE IS RETURNED TO THE GENERAL CONTRACTOR.

68. CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE-RATED SEPARATION WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATION OF MATERIALS WITHIN FIRE RATED ASSEMBLIES, AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS, ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ANY CHANGE IN MATERIAL, THAT IS REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR IT'S SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED CONSTRUCTION ASSEMBLY. SPECIFIC SEQUENCES OR METHODS OF ACHIEVING FIRE RATED ASSEMBLIES REQUIRED BY A "U.L. NO." LISTING SHALL BE FOLLOWED WITHOUT DEVIATION, UNLESS OTHERWISE NOTED OR DETAILED.

69. CONTRACTOR TO FURNISH AND INSTALL ALL BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, TOILET FIXTURES, AND ACCESSORIES OR 'BY OTHER' ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS AND CONTRACTED TO SUPPORT THE INTENDED LOAD.

70. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS.

71. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY/COORDINATE UTILITY REQUIREMENTS FOR ALL OWNER/VENDOR FURNISHED EQUIPMENT, FIXTURES OR APPLIANCES.

72. CONTRACTOR SHALL PROVIDE ALL NECESSARY FASTENERS, SUPPORTS, SHIMMING, FLASH PATCHING, ETC. FOR THE PROPER INSTALLATION OF SUCH ITEMS AS DIRECTED BY THE MANUFACTURERS.

73. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE TO THE OWNER A COMPLETE SET OF AS-BUILT CIVIL, LANDSCAPE, ARCHITECTURAL, MECHANICAL, PLUMBING ELECTRICAL AND FIRE PROTECTION DRAWINGS ALONG WITH THE WRITTEN GUARANTEES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS AND SPECIFICATIONS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES AND REVIEWED FOR COMPLETENESS AT EACH PROGRESS MEETING.

74. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VACUUM CLEAN ALL CARPETED ARES, CLEAN ALL FLOORING, MILLWORK, LIGHT FIXTURES, GLASS, ETC. AND UNCOVER AND VACUUM OUT ALL MECHANICAL UNITS AFTER THE WORK IS COMPLETED AND MAINTAIN CLEAN CONDITIONS THROUGH THE TENANT'S MOVE-IN.

GENERAL NOTES CONTINUED

1

DEFINITIONS:

(AS USED IN THESE SPECIFICATIONS)

- OWNER SHALL MEAN: SOUTH BAYFRONT WATERPOINTE, LLC
- CONTRACTOR SHALL MEAN: LICENSED GENERAL CONTRACTOR HIRED TO PERFORM THE WORK UNDER THIS CONTRACT
- ARCHITECT SHALL MEAN: BRANDON ARCHITECTS, INC., CHRISTOPHER BRANDON PRINCIPAL
- SPECIFICATIONS SHALL MEAN: WRITTEN SPECIFICATIONS IN THE PLANS OR THE "PROJECT MANUAL" (IF PROVIDED FOR THIS PROJECT)
- CONTRACT DOCUMENTS SHALL MEAN: WORKING DRAWINGS APPROVED FOR BUILDING PERMIT, PLUS ANY CHANGE ORDERS OR ADDENDA TO SAME.

1. CODES/GENERAL PROVISIONS:
ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE APPLICABLE BUILDING CODES AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR, SUB-CONTRACTORS, AND ANYONE SUPPLYING LABOR AND/OR MATERIAL TO BRING TO THE ATTENTION OF THE ARCHITECT (VERBALLY AND IN WRITING) ANY KNOWN DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THESE CODES AND THE CONTRACT DOCUMENTS (DRAWINGS). THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE AS LISTED IN "CODE REVIEW" BOX. (1.)
THE CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY, LOCAL AND INDUSTRY REQUIREMENTS AND STANDARDS INCLUDING THE FOLLOWING:
THE BUILDING CODES, **2014** EDITIONS, AS ADOPTED BY **CALIFORNIA**, ALL APPLICABLE RELATED SPECIALTY CODES:
THE FUNCTIONALITY STANDARDS SET FORTH IN TITLE 7 OF THE CALIFORNIA CIVIL CODE (THE "RIGHT TO REPAIR ACT")
ANY WORK THAT RESTRICTIONS IMPOSED BY THE **CITY OF NEWPORT BEACH**
THE MANUFACTURER'S REQUIREMENTS OF RECOMMENDATIONS FOR ANY INCORPORATED PRODUCTS.

2. FEES:
CONTRACTOR AND HIS SUB-CONTRACTORS SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLAN CHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.

3. CONTRACTOR'S SURVEY:
CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.

4. COORDINATION OF CONSTRUCTION:
CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS; FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS; FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ONE OTHER TRADE. CONTRACTORS, CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERINTENDENT SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.

5. CLEAN-UP:
ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.

6. TESTS AND PERMITS:
CONTRACTOR SHALL ARRANGE FOR, AND SECURE REQUIRED TESTS, PERMITS AND INSPECTIONS, AND SHALL BEAR COSTS FOR SAME.

7. GUARANTEES:
CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH MAY BE DAMAGED OR DISPLACED IN DOING SO, THAT MAY PROVE DEFECTIVE WITHIN ONE YEAR AFTER SUCH ACCEPTANCE, UNLESS ABUSE OR NEGLECT IS EXCEPTED. EXCEPTIONS TO ONE YEAR GUARANTEE ARE SPECIFIED IN OTHER SECTIONS OF THE PROJECT MANUAL OR DRAWINGS. STATE LAW, OR MANUFACTURER'S GUARANTEE SHALL GOVERN IF LENGTH AND TYPES OF GUARANTEES ARE MORE STRICT OR FOR LONGER PERIODS.
IT IS UNDERSTOOD BY CONTRACTOR THAT IT IS HIS RESPONSIBILITY TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS.
CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL ONE YEAR GUARANTEE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER.

8. WAIVER OF LIENS:
CONTRACTOR SHALL PROVIDE CERTIFIED RELEASE OF LIENS BY ALL SUB-CONTRACTORS AND SUPPLIERS, OR ANYONE PROVIDING MATERIALS AND/OR LABOR AS THEY BECOME AVAILABLE.

9. ROLL OF ARCHITECT DURING CONSTRUCTION:
THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER. ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER, MEETING NOTE, MEMORANDA, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.

10. A.I.A. GENERAL CONDITIONS:
THE CURRENT GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY AS THOUGH IT WERE PART OF THESE DOCUMENTS UNLESS SPECIFICALLY MODIFIED IN THE OWNER/CONTRACT AGREEMENT. COPY OF SAID GENERAL CONDITIONS MAY BE OBTAINED FROM THE ARCHITECT UPON REQUEST. THE NOTES CONTAINED IN THESE "GENERAL NOTES" ON THIS SHEET ARE INTENDED TO SUMMARIZE AND COMPLIMENT THE A.I.A. GENERAL CONDITIONS. THE A.I.A. GENERAL CONDITIONS SHALL TAKE PRECEDENCE OVER THESE NOTES SHOULD A CONFLICT IN WORDING OCCUR.

11. EXTRAS:
OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO THE MUTUAL SATISFACTION OF THE OWNER, ARCHITECT AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE AGREED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.

12. SUBSTITUTIONS:
SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTORS OPTION TO SELECT THE ONE WHICH HE MAY BELIEVE, IF MORE THAN ONE FINISH OR STYLE AVAILABLE IN THE SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION. WHERE THE TERM "OR EQUAL" IS USED IN DRAWINGS OR SPECS IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE SUBJECT TO THE RULING AND JUDGMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ACTUAL SAMPLES OF THE SUBSTITUTIONS SHALL ALSO BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

13. INSURANCE:
CONTRACTOR SHALL CARRY GENERAL LIABILITY INSURANCE WITH BROADFORM PROPERTY DAMAGE ENDORSEMENT AND CONTINGENT LIABILITY ENDORSEMENT. OWNER AND ARCHITECT SHALL BE LISTED AS ADDITIONAL INSURERS UNDER THE POLICY WITH WAIVER OF SUBROGATION. CONTRACTOR SHALL FURNISH OWNER WITH A CERTIFICATE OF INSURANCE WITH A 30 DAY NOTICE OF CANCELLATION. OWNER SHALL OBTAIN A BUILDER'S RISK POLICY WITH ARCHITECT NAMED AS AN ADDITIONAL INSURED WITH WAIVER OF SUBROGATION.

14. SCOPE OF DRAWINGS AND SPECIFICATIONS:
THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL. IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED, THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.
IN USING THESE PLAN FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.
THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL AND THE ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR ADDITIONAL DETAILS AND/OR HIGHER QUALITY WORK WHERE SUCH MAY BE REASONABLY EXPECTED. ABSENCE OF SUCH REQUESTS SHALL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO CONSTRUCT THE WORK IN A SKILLFUL MANNER, AND SHALL NOT RELIEVE THE CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ALSO MEET THE ERRORS AND OMISSIONS TO THE ATTENTION OF A APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER, AND ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION. SCHEMATIC PLANS OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION. SCHEMATIC PLANS ARE INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS (e.g. SCHEMATIC ELECTRICAL PLANS).

15. DIMENSIONS ON DRAWINGS:
FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB-CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES AND DETALS ON SAID DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS.
DRAWINGS ARE NOT TO BE SCALED UNLESS PERMITTED BY THE ARCHITECT. DIMENSIONS SHALL GOVERN. ALL EXTERIOR DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, UNLESS OTHERWISE NOTED ON DRAWINGS. INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED ON DRAWINGS. WHERE DIMENSION IS LABELED "CLEAR" IT IS TAKEN FROM THE FACE OF FINISH TO FACE OF FINISH OF EACH MATERIAL. PLUS OR MINUS (+/-) DIMENSIONS SHALL NOT VARY BY MORE THAN 2" WITHOUT APPROVAL BY ARCHITECT. WALL ANGLES ARE EITHER 90° OR 45° UNLESS NOTED OTHERWISE.

16. SUBMITTALS, MEETING NOTES, BULLETINS, AND MEMOS:
SUBMITTALS WILL BE REVIEWED BY THE ARCHITECT, IF AT ALL, ONLY PURSUANT TO THE INDUSTRY-STANDARD PROTOCOL SET FORTH IN AIA DOCUMENT A201-1997, AND IN NO EVENT WILL THE SUBMITTAL REVIEW PROCESS RELIEVE OR LESSEN THE SUBMITTING CONTRACTOR'S RESPONSIBILITY FOR AN INAPPROPRIATE SUBMITTAL.
ARCHITECT, FROM TIME TO TIME, WILL ISSUE CONSTRUCTION NOTES OR MEMOS REGARDING CONSTRUCTION ISSUES THAT HAVE ARISEN SINCE THE DRAWINGS AND SPECIFICATIONS WERE COMPLETED. CONTRACTOR SHALL REVIEW THESE WRITTEN DOCUMENTS AND INCORPORATE THEM INTO THE PROJECT. ANY QUESTIONS OR OBJECTIONS AS TO THE INTENT OF THE WRITTEN DOCUMENT ITEMS WILL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR DISCUSSION AND CLARIFICATION. ANY ITEM THAT RESULTS IN A CHANGE TO THE COST OR TIMING OF THE PROJECT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO EXECUTING.
CONTRACTOR SHALL SUBMIT FABRICATION SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND/OR FABRICATION. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CUTS FOR ALL FIXTURES AND EQUIPMENT CALLED FOR ON TH

CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
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RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

Applicable Standards: 2016 California Residential Code (CRC); 2016 California Building Code (CBC); 2016 California Plumbing Code (CPC); 2016 California Electrical Code (CEC); 2016 California Mechanical Code (CMC); 2016 Building Energy Efficiency Standards (BEES); 2016 California Green Building Standards Code (Cal Green); & Chapter 15 of the Newport Beach Municipal Code (NBMC)

GENERAL:

1. Residential building undergoing permitted alterations, additions or improvements shall replace non-compliant plumbing fixtures with water-conserving plumbing fixtures meeting the requirements of 2016 California Green Building Standards Code, Section 4.303. Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or final inspection by the Chief Building Official. (Civil Code, Section 1101.1 et seq., NBMC 15.11.010)
2. Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
3. Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department.
4. A site survey by a licensed surveyor shall be required prior to foundation concrete pour.
5. Garage ceiling height. The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the front four feet may have a minimum vertical clearance of four feet. (NBMC 20.40.090 A 4)
6. Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (Cal Green 4.408.1, 4.408.3)
7. Stairways shall not be less than 36 inches clear width. (CRC 311.7.1) The minimum head clearance shall be 6"-8" measured vertically from the sloped line adjoining tread nosing. (CRC 311.7.2)
8. Advisory Note: Homeowners Association (HOA) approval may be required for this improvement.
9. Additional permits are required for detached structures including but not limited to:
   a. Accessory structures, detached patio covers, and trellises,
   b. Masonry or concrete fences over 3.5 ft. high,
   c. Retaining walls over 4 ft. high from the bottom of the foundation to the top of the wall.

CONSTRUCTION:

10. Pedestrian protection adjacent to public way to be as follows:

CRC TABLE 3306.1 PROTECTION OF PEDESTRIANS		
HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQUIRED
8 feet or less	Less than 5 feet	Construction railings
	5 feet or more	None
More than 8 feet	Less than 5 feet	Barrier and covered walkway
	5 feet or more, but not more than one-fourth the height of construction	Barrier and covered walkway
	5 feet or more, but between one-fourth and one-half the height of construction	Barrier
	5 feet or more, but exceeding one-half the height of construction	None

11. All exterior lath and plaster shall have two layers of Grade D paper over wood base sheathing. (CRC R703.7.3, CBC 2510.6)
12. Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain inlet. Backing for tile shall be cement board or cement plaster. (CRC R307.2, CBC 1210.2.3)
13. Safety glazing shall be provided at the following hazardous locations: (CRC R308.4, CBC 2406.4)
    a. Swinging, bi-fold, and sliding doors.
    b. When located within 60 inches above the floor of wet surfaces such as tubs, showers, saunas, steam rooms, or outdoor swimming pool.
    c. Glazing adjacent to doors:
       i. Within a 24 inch arc of either vertical edge of doors and within 60 inches of walking surface.
       ii. Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.
    d. Where glazing area is more than 9 sq. ft. in area, with the bottom edge less than 18 inches above the floor, top edge more than 36 inches above floor, and within 36 inches of a walking surface, measured horizontally.
    e. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
    f. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
    g. Glazing in guards and railings.
14. All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate drowning prevention safety feature. (CBC 3109.4.4.2)
15. Smoke alarms shall be installed in the following locations (CRC R314.3, CBC 907.2.11.2, 907.2.11.3 & 907.2.11.4):
    a. In each sleeping room.
    b. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
    c. On each additional story, including basements and habitable attics.

    d. Not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower.
    e. A minimum of 20 feet horizontally from any permanently installed cooking appliance.
    f. Smoke alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R314.4 & R314.5 or CBC 907.2.11.5 & 907.2.11.6.
16. Carbon monoxide alarms shall be installed in the following locations (CRC R315.3):
    a. Outside of each sleeping area in the immediate vicinity of the bedroom(s).
    b. On every level of the dwelling unit including basements.
    c. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

    Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R315.
17. All fenestrations on windows and doors shall have U-factors (0.32 max) and Solar Heat Gain Coefficient (SHGC=0.25 max) values in accordance with T-24 energy calculations. All fenestrations must have temporary and permanent labels.

TEMPORARY GENERATOR:

18. Hand operated construction tools powered by electricity must use power provided by Southern California Edison through a temporary pole or available outlet. In the rare case where electricity is not readily available and a portable temporary generator is necessary, then the following restrictions must be adhered to:
    a. Must be portable and may be easily relocated.
    b. Temporary generators are to be located a minimum distance from any property line according to the following table:

Time in Use Hours	Required Setback from Property Line	Required Setback from Adjacent Structures
0 – 1 day	10 feet	5 feet
> 1 day	20 feet	5 feet

    c. If the minimum distance cannot be achieved, then the generator shall be located the most extreme distance practical to inhibit noise. Other methods to inhibit noise may be utilized when practical.
    d. May be operational for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided through the use of a temporary power pole.
    e. Usage is limited to weekdays between the hours from 8:00 AM and 3:30 PM Monday through Friday. No use on the weekends or federal holidays.

FIREPLACE:

19. All fireplaces:
    a. Factory-built fireplaces, chimneys and all of their components shall be listed and installed in accordance with their listing and manufacturer's installation instructions. (CRC R1004.1)
    b. Factory built wood burning fireplaces shall be qualified at the U.S. EPA's Voluntary Fireplace Program Phase 2 emissions level.
    c. Decorative shrouds shall not be installed at the termination of factory-built chimneys except where such shrouds are listed and labeled for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. (CRC R1005.2 & CMC 802.5.2.4)
    d. Horizontal openings are not allowed, for exhaust vents, in walls closer than 3 feet to a property line. (Tables R302.1(1)&(2)). Horizontal vent caps shall be 2 feet clear from property lines.
    e. Exhaust openings shall not be directed onto walkways. (R303.5.2)
20. Solid fuel burning fireplaces:
    a. Provide a permanently anchored gaseous fuel burning pan to the firebox of a solid fuel burning fireplace.
    b. Solid fuel burning fireplace must comply with the California Energy Standards mandatory measures.
    c. Chimney shall extend at least 2 ft. higher than any portion of the building within 10 ft., but shall not be less than 3 ft. above the highest point where the chimney passes through the roof. (CRC R1003.9)
    d. Liquid fueled fireplaces are not allowed for interior use.
21. Direct vent gas appliance fireplace:
    a. Direct vent sealed-combustion gas appliance fireplace must comply with the Cal Green code requirements and must comply with ANSI Z21.50. (Cal Green 4.503.1)

MECHANICAL:

22. Rooms containing bathtubs, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 50 CFM ducted to terminate outside the building. (CRC R303.3, Cal Green 4.506.1, CBC 1203.5.2.1, CMC 402.5)
23. Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust fan with humidity control sensor, min. 50 CFM capacity. (CRC R303.3.)
24. Where whole house fans are used in bathroom areas, the fan must run continuously and shall not be tied to a humidity control sensor. (Cal Green 4.506.1)
25. The clothes dryer vent shall not exceed 14 ft. in overall length with maximum two 90 degree elbows. (CMC 504.4.2.1)
26. Environmental air ducts shall terminate min. 3 feet from property line or openings into building, and 10 feet from a forced air inlet. (CMC 502.2.1)
27. Mechanical equipment shall be installed per the manufacture's installation instructions. (CMC 303.1)
28. Domestic range vents to be smooth metallic interior surface. (CMC 504.3)

29. Supply and return air ducts to be insulated at a minimum of R-6. (Cal Energy Code Table 150.1-A.)

PLUMBING:

30. Separate water meters are required for all new duplexes. Separate fire risers are required at each water meter.
31. Plumbing Fixtures:
    a. New Construction & Addition/Alterations that increases condition space area, volume, or size (Cal Green 4.303.1):
       i. Comply with CAL Green Mandatory Requirements
    b. Addition & Alteration: Existing fixtures shall be replaced to meet the following requirements:
       i. Shower Heads: 2.0 gpm @ 80 psi
       ii. Lavatory Faucets: 1.2 gpm @ 60 psi
       iii. Kitchen Faucets: 1.8 gpm @ 60 psi
       iv. Water Closet: 1.28 gallons per flush
32. Clearance for water closet to be a minimum of 24 inches in front, and 15 inches from its center to any side wall or obstruction. (CPC 402.5)
33. The water heater burner to be at least 18 inches above the garage floor, if located in a garage. (CPC 507.13)
34. Install a 3 inch diameter by 3 ft. tall steel pipe embedded in concrete slab for protection of water heaters located in garage. (CPC 507.13.1)
35. Water heaters to be strapped at top and bottom with 1 ½" x 16 gauge strap with 3/8" diameter, X 3" lag bolt each end. (CPC 507.2)
36. ABS and PVC drain waste and vent piping material is limited to 2 stories maximum. (CPC 701.2(2) (a). and 903.1.1)
37. ABS and PVC roof and deck drain material is limited to 2 stories maximum. (CPC 1101.4)
38. Roof and deck drain systems inside the building are required to be installed with directional DWV drainage fittings. (CPC 1101.4 and & 706.0)
39. Cleanouts are required within 2 feet of the connection between the interior roof and deck drain piping system, and the exterior onsite storm drain system. (CPC 1101.13)
40. All hose bibbs are to have vacuum breakers. (CPC 603.5.7)
41. The maximum amount of water closets on a 3 inch horizontal drainage system line is 3. (CPC Table 703.2)
42. The maximum amount of water closets on a 3 inch vertical drainage system line is 4. (CPC Table 703.2)
43. Provide gas line with a min capacity of 200,000 btu for water heater. (Cal Energy Code 150.0(n))
44. Provide a condensate drain no more than 2 inches above the base of the water heater space. (Cal Energy Code 150.0 (n))
45. Provide a straight vent pipe from the water heater space to the outside termination from the water heater space. (Cal Energy Code 150.0 (n))
46. Insulate all hot water pipes. (Cal Energy Code 150.0 (j) (2), and CPC 609.11).

47. Isolation valves are required for tankless water heaters on the hot and cold supply lines with hose bibbs on each valve, to flush the heat exchanger. (Cal Energy Code 110.3 (7))

ELECTRICAL:

48. Electrical service to be underground for new construction, replacement building, or addition to an existing building exceeds fifty (50) percent of the gross floor area of the existing building. (NBMC 15.32.015)
49. Edison Company approval is required for meter location prior to installation.
50. Field inspectors to review and approve underground service requirement prior to concrete placement.
51. Service equipment and subpanels to have a min 30" wide by 36" deep clear work space.(CEC 110.26)
52. All lighting is required to be high efficacy. (California energy code section 150. (k) and Table 150.0-A.)
53. Provide a listed 1 inch raceway to accommodate a dedicated 208/240-volt circuit for future electrical vehicle (EV) charger. (Cal Green 4.106.4)
54. All receptacle outlets are required to be listed tamper resistant (CEC 406.12 and 250.52)
55. Combination type AFCI circuit breakers are required for all 120 volt single phase 15/20 amp branch circuits. Except for bathrooms, garages, and outdoors. (CEC 210.12)
56. At a minimum, one dedicated 20 amp circuit is required for a bathroom. (CEC 210.11(C)(3))
57. GFCI protection is required for all receptacle outlets located outdoors, garages, accessory buildings, bathrooms, crawl spaces, kitchens, laundry areas, kitchen dishwasher branch circuit, garbage disposal, all areas within 6 feet of a sink, and all receptacles within 6 feet of a bathtub or shower stall. (CEC 210.8)
58. Receptacle outlets are not allowed within or over a bathtub or shower stall. (CEC 406.9 (C))
59. Subpanels are not allowed to be located in bathrooms or clothes closets. (CEC 240.24 (D) and (E).
60. Circuits sharing a grounded conductor (neutral) with two ungrounded (hot) conductors must use a two pole circuit breaker or an identified handle tie. (CEC 210.4(B)) Group non-cable circuits in panel (CEC 210.4(D))
61. The receptacle outlets that serve kitchen counter tops, dining room, breakfast area, and pantry, must have a min of 2 dedicated 20 amp circuits. (CEC 210.52 (B)(1)
62. Kitchen counter tops 12 inches or wider must have a receptacle outlet. (CEC 210.52(C))
63. Kitchen counter tops must have receptacle outlets so no point along the counter walls is more than 24 inches from a receptacle. (CEC 210.52 (C))
64. Island and peninsular counter tops must have at least one receptacle. (CEC 210.52(C)(1),(2),and (3))
65. The spacing for general receptacle outlets must be located so that no point on any wall, fixed glass, or cabinets is over 6 feet from a receptacle outlet. (CEC 210.52(A))
66. Hallways 10 feet or more must have at least one receptacle outlet. (CEC 210.52(H))

67. Garages shall have at least one receptacle for each car space on the interior. The branch circuit supplying the receptacles shall not serve outlets outside of the garage. (CEC 210.52 (G) (1).
68. Laundry rooms must have at least one dedicated 20 amp receptacle circuit. (CEC 210.11(C) (2)).
69. Provide 120V receptacle within 3 feet of water heater. (Cal Energy Code 150.0 (n) 1 A.)

FOUNDATION:

70. Weep screed for stucco at the foundation plate line shall be a minimum of 4 inches above the earth or 2 inches above paved areas. (CRC R703.7.2.1, CBC 2512.1.2)
71. Fasteners and connectors (nails, anchor bolts, etc.) in contact with preservative-treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (CRC R317.3, CBC 2304.10.5.1)
72. Anchor bolts shall include steel plate washers, a minimum of 0.229" x 3" x 3" in size, between sill plate and nut. (CRC R602.11.1, CBC 2308.3.2, Acceptable alternate SDPWS 4.3.6.4.3)

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS | 1

CITY OF NEWPORT BEACH

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CALGREEN - RESIDENTIAL MINIMUM REQUIREMENTS

Scope

1. 2016 California Green Building Standards Code (CG) is applicable to all new residential buildings, including but not limited to, dwellings, apartment houses, condominiums, hotels, and other types of dwellings containing sleeping accommodations with or without common toilets or cooking facilities regulated by the Department of Housing and Community Development (HCD-1). (NBMC 15.11.010, CG Section 101.3.1).
2. 2016 California Green Building Standards Code (CG) is applicable to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. (301.1.1)

Energy Efficiency

3. New one and two family dwellings and townhouses with attached private garages shall install a listed nominal 1 inch inside diameter raceway to accommodate a dedicated 208/240 volt branch circuit. (4.106.4.1)
   a. The raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box, or enclosure in close proximity to the proposed location of an EV charger.
   b. The service panel or subpanel shall provide capacity to install a minimum 40 ampere dedicated branch circuit and space reserved for installation of a branch circuit overcurrent protective device.
   c. The service panel or subpanel circuit directory shall identify the overcurrent protective devices space reserved for future EV charging as "EV CAPABLE."
   d. The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Material Conservation and Resources Efficiency

4. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or other similar method. (4.406.1)
5. Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (4.408.1, 4.408.3)

Water Efficiency and Conservation

6. New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with City's water efficient landscape ordinance. (4.304.1, NBMC 14.17)
7. Plumbing fixtures and fittings shall comply with the following (4.303.1):

FIXTURE TYPE	MAXIMUM FLOW RATE
Single Showerheads	2.0 gpm @ 80 psi
Multiple Showerheads	Combine flow rate of 2.0 gpm @80 psi
Residential Lavatory Faucets	1.2 gpm @ 60 psi[2]
Common and Public use Lavatory Faucets	0.5 gpm @60 psi
Kitchen Faucets	1.8 gpm @ 60 psi
Metering Faucets	0.25 gallons per cycle maximum
Water Closets	1.28 gallons/flush[1]
Wall Mounted Urinal	0.125 gallons/flush
All Other Types of Urinal	0.5 gallons/flush

1. Includes single and dual flush water closets with an effective flush rate of 1.28 gallons or less when tested per ASME A122.19.2/33 2 for single flush and ASME A112.19.14 for dual flush toilets.
2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

Environmental Quality

8. Moisture content of building materials used in wall and floor framing is checked before enclosure according to one of the following (4.505.3):
   a. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
   b. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
   c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
9. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other toxic requirements in Sections 94522(e)(1) and (f)(1) of the California Code of Regulations, Title 17, commencing with Section 94520. (4.504.2.3)
10. Carpet and carpet systems shall be compliant with of the following (4.504.3):
    a. Carpet and Rug Institute's Green Label Plus Program.
    b. California Department of Public Health Specification 01350.
    c. NSF/ANSI 140 at the Gold level.
    d. Scientific Certifications Systems Indoor Advantage™ Gold
11. Minimum 80% of floor area receiving resilient flooring shall comply with one of the following (4.504.4):
    a. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Product Database.
    b. Products certified under UL GREENGUARD Gold.
    c. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.
    d. California Department of Public Health Specification 01350.

12. Adhesives, sealants and caulks shall be compliant with volatile organic compound (VOC) limits set forth in Table 4.504.1 or Table 4.504.2. (4.504.2.1)

ADHESIVE VOC LIMIT [1,2]
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure VOC content specified in table, see South Coast Air Quality Management District Rule 1168.

SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

13. Paints, stains, and other coatings shall be compliant with VOC and other toxic compound limits set forth in Table 4.504.3. (4.504.2.2)

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS [2,3]
(Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)

COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings[1]	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.
2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
3. Values in the table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

14. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior or exterior of the building shall comply with low formaldehyde emission standards as set forth in Table 4.504.5 below (4.504.5):

FORMALDEHYDE LIMITS[1]
(Maximum formaldehyde Emissions in Parts per Million)

PRODUCT	LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard[2]	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12
2. Thin medium density fiberboard has a maximum thickness of 5/16 inch (8 mm).

15. All duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the building inspector to reduce the amount of water, dust and debris, which may enter the system until final startup of the HVAC equipment. (4.504.1)
16. Bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of whole house ventilation system, fans must be controlled by a humidity control capable of adjustment between a relative humidity rage of less than or equal to 50% to maximum 80%. (4.506.1)
17. Duct systems are sized, designed and equipment is selected using the following methods (4.507.2):
    a. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 (Residential Load Calculation), ASHRAE handbooks or equivalent design methods.
    b. Size duct systems according to ANSI/ACCA 1 Manual D-2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
    c. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Selection) or other equivalent design software or methods

Installer and Special Inspector Qualifications

18. HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installers in the proper installation of HVAC systems. (702.1)
19. HVAC special inspectors must be qualified and able to demonstrate competence in the discipline they are inspecting. (702.2)

Documentations

20. An operation and maintenance manual, CD, web-based reference or other approved media shall be provided by the builder to the building occupant or owner at the final inspection. It shall include operation and maintenance instruction of the equipment and appliances. (4.410.1)
21. Documentation shall be provided to verify that finish materials used comply with VOC limits as set forth in Tables 4.504.1, 4.504.2, & 4.504.3. (4.504.2.4)
22. Documentation shall be provided to verify that composite wood products used comply with formaldehyde limits as set forth in Tables 4.504.5. (4.504.5.1)
23. Documentation which shows compliance with CAL Green code including construction documents, plans, specifications, builder or installer certification, and inspection reports and verification shall be available at the final inspection. (703.1)
24. CAL Green Documentation Compliance Certification form (City form) is required to be submitted to the Building Inspector prior to final building inspection. (Section 703.1)

CAL GREEN - RESIDENTIAL MANDATORY MEASURES | 2

3

PROJECT NAME
BAY FRONT TRADITIONAL
STATUS
CDP - FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT WATERPOINTE, LLC.
610 NEWPORT CENTER DRIVE, SUITE 890,
NEWPORT BEACH, CA 92660

BAY FRONT TRADITIONAL
400 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

SUPPLEMENTAL NOTES & DOCUMENTS

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30
DATE 03/22/2019
SHEET NO.
T-1.2

LEGEND

- BLOCK WALL
- WOOD FENCE (WDF)
- BRICK SURFACE
- CONCRETE SURFACE
- AC — ASPHALT PAVEMENT
- ℄ — CENTERLINE
- EG — EDGE OF GUTTER
- FC — FINISHED CONCRETE
- FF — FINISHED FLOOR
- FFG — FINISHED FLOOR GARAGE
- FL — FLOWLINE
- FS — FINISHED SURFACE
- GM — GAS METER
- GP — GUARD POST
- NG — NATURAL GROUND
- PC — PALM TREE CLUSTER
- SCO — SEWER CLEAN OUT
- SD — STORM DRAIN
- TB — TRASH BIN
- TBH — TOP OF BULKHEAD
- TC — TOP OF CURB
- TS — TOP OF STEP
- WDF — WOOD FENCE
- WM — WATER METER
- ( ) — EXISTING ELEVATION
- ● — FOUND MONUMENT
- ○ — SEARCHED, FOUND NOTHING; SET NOTHING
- T.B.M. — TEMPORARY BENCHMARK SET ON SEWER MANHOLE (SMH); ELEVATION = 5.68 FEET

TITLE REPORT/EASEMENT NOTES

400 SOUTH BAY FRONT #5
NEWPORT BEACH, CA 92662
(APN: 050-043-13)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:

LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

BENCHMARK INFORMATION

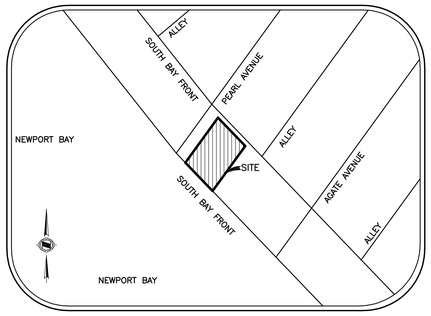
BENCHMARK NO: NB3-15-70

DESCRIBED BY OCS 2002 - FOUND 3 3\4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB3-15-70", SET IN THE EASTERLY END OF A CONCRETE SEAWALL. MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF PARK AVENUE AND SOUTH BAY FRONT, 15 FT, SOUTHERLY OF THE CENTERLINE OF PARK AVENUE AND 6 FT. WESTERLY OF PEDESTRIAN WALKWAY. MONUMENT IS SET LEVEL WITH THE TOP OF THE SEAWALL.

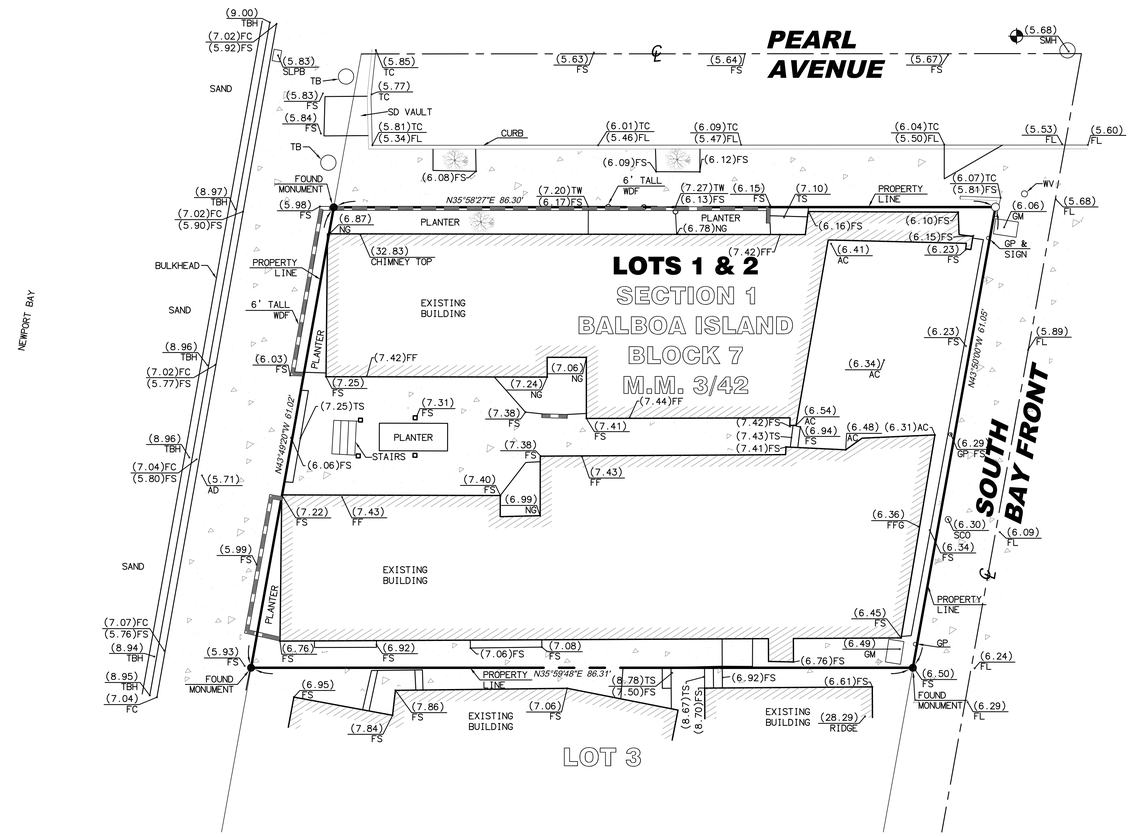
ELEVATION: **7.986** FEET (NAVD88), YEAR LEVELED 1992

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH BAY FRONT, BEING N43°50'00"W PER P.M.B. 183, PAGES 17/18, RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.



VICINITY MAP
NO SCALE



GRAPHIC SCALE

4 0 2 4 8 16

(IN FEET)
1 INCH = 8 FT.

SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.

PROFESSIONAL LAND SURVEYOR PAUL DOMINGO CRAFT No. 8516 Exp. 12/31/18 STATE OF CALIFORNIA

11/5/2018
PAUL D. CRAFT, P.L.S. 8516 — DATE
LICENSE RENEWAL DATE 12/31/18

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

NO.	DESCRIPTION	DATE	APP'D

REVISIONS

PROJECT SURVEYOR
APEX LAND SURVEYING INC.
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE(714) 433-4440 FAX(714) 433-4440
APEXLSINC@GMAIL.COM

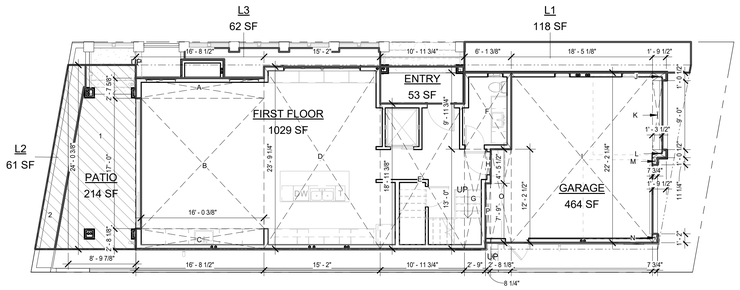
DATE 5/15/2018
SCALE 1"=8'
DRAWN A. R. H.
CHECKED P. D. C.

SHEET TITLE: TOPOGRAPHIC SURVEY

PROJECT: 400 S BAY FRONT #5
NEWPORT BEACH, CA 92662
(APN: 050-043-13)

SHEET NO. 1 OF 1

PROJECT NO. 18046



1 FIRST FLOOR (T.O.S.)
1/8" = 1'-0"

FIRST FLOOR PLAN

A 16' - 8 1/2" X 2' - 7 5/8" = 44.03
B 16' - 0 3/8" X 17' - 0" = 272.53
C 16' - 8 1/2" X 2' - 7 5/8" = 44.03
D 15' - 2" X 23' - 9 1/4" = 360.52
E 10' - 11 3/4" X 18' - 11 3/8" = 208.03
F 6' - 1 3/8" X 9' - 11 3/4" = 61.01
G 2' - 9" X 13' - 0" = 35.75
H 0' - 8 1/4" X 4' - 5 1/2" = 3.06

TOTAL: 1,029 SF

GARAGE FLOOR PLAN

I 18' - 5 1/8" X 22' - 2 1/4" = 408.85
J 1' - 9 1/2" X 1' - 0 1/2" = 1.86
K 1' - 3 5/8" X 9' - 0" = 11.71
L 1' - 9 1/2" X 1' - 0 1/2" = 1.86
M 0' - 7 3/4" X 0' - 11 1/4" = .60
N 0' - 7 3/4" X 1' - 2" = .75
O 2' - 8 1/8" X 12' - 2 1/2" = .32.68
P 0' - 8 1/4" X 7' - 9" = 5.32

TOTAL: 464 SF

OPEN AREA CALCS

1 24' - 0 3/8" X 8' - 9 1/8" = 210.25
2 24' - 0 3/8" X 4' - 3 7/8" = 103.75'/2= 51.88'

TOTAL: 262.13 SF

LOT INFORMATION:

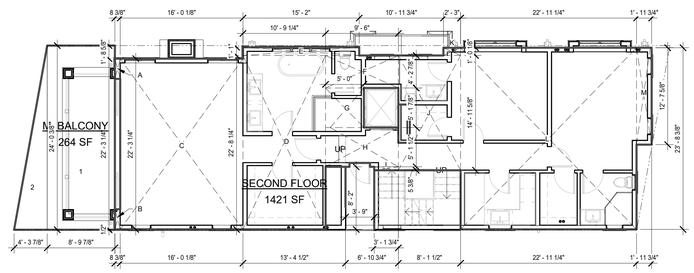
ZONED: R-BI
SITE AREA: 2630 S.F. BUILDABLE AREA: 1992 S.F.
TOTAL ALLOWABLE AREA: 1.5 x 1992 S.F. = 2988 S.F. +200 S.F. = 3188 S.F.
REQ'D OPEN VOLUME = 1992 S.F. X .15 = 298.8 S.F. (7'-6" HT MIN.)
OPEN VOLUME PROVIDED = 478 > 298.8 S.F.

BUILDING AREA SCHEDULE

Name	AREA	COMMENTS
FIRST FLOOR	1029 SF	
SECOND FLOOR	1421 SF	
THIRD FLOOR	275 SF	
	2724 SF	
GARAGE	464 SF	
	464 SF	
GRAND TOTAL	3188 SF	

OUTDOOR AREA SCHEDULE

NAME	AREA	COMMENTS
ENTRY	53 SF	COVERED
VIEW DECK	459 SF	
ROOF DECK	198 SF	
	710 SF	
PATIO	214 SF	PARTIALLY COVERED
M. BALCONY	264 SF	COVERED
	478 SF	
GRAND TOTAL	1188 SF	



2 MASTER FLOOR T.O.S. (TYP.)
1/8" = 1'-0"

SECOND FLOOR PLAN

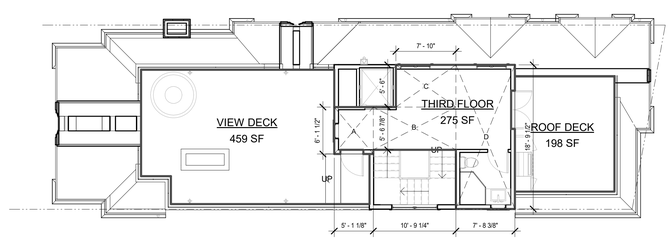
A 0' - 8 3/8" X 2' - 7 5/8" = 1.83
B 0' - 8 3/8" X 2' - 7 5/8" = 1.83
C 16' - 0 1/8" X 22' - 3 1/4" = 356.56
D 11' - 4 3/4" X 22' - 8 1/4" = 258.54
E 15' - 2" X 1' - 1" = 16.43
F 8' - 10 1/2" X 4' - 2 7/8" = 37.62
G 4' - 4 1/2" X 5' - 1 5/8" = 22.46
H 8' - 10 1/2" X 5' - 1 1/2" = 45.48
I 3' - 1 3/4" X 0' - 5 3/8" = 1.40
J 8' - 1 1/2" X 14' - 11 5/8" = 121.62
K 2' - 3" X 1' - 0 1/8" = 2.27
L 22' - 11 1/4" X 23' - 8 3/8" = 543.57
M 1' - 11 3/4" X 12' - 7 5/8" = 25.00

TOTAL: 1,435 SF

OPEN AREA CALCS

1 24' - 0 3/8" X 8' - 9 7/8" = 211.94
2 24' - 0 3/8" X 4' - 3 7/8" = 103.81'/2= 51.90'

TOTAL: 263.84 SF



3 THIRD FLOOR T.O.S.
1/8" = 1'-0"

THIRD FLOOR PLAN

A 5' - 1 1/8" X 6' - 1 1/2" = 31.19
B 10' - 9 1/4" X 5' - 6 7/8" = 60.02
C 7' - 10" X 5' - 6" = 43.08
D 7' - 8 3/8" X 18' - 9 1/2" = 144.65

TOTAL: 279 SF

OUTDOOR CALS

VIEW DECK 457
ROOF DECK 195

TOTAL: 652 SF

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT WATERPOINTE, LLC.
610 NEWPORT CENTER DRIVE, SUITE 890,
NEWPORT BEACH, CA 92660

BAY FRONT TRADITIONAL

400 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

BUILDING AREA PLANS

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REVISIONS

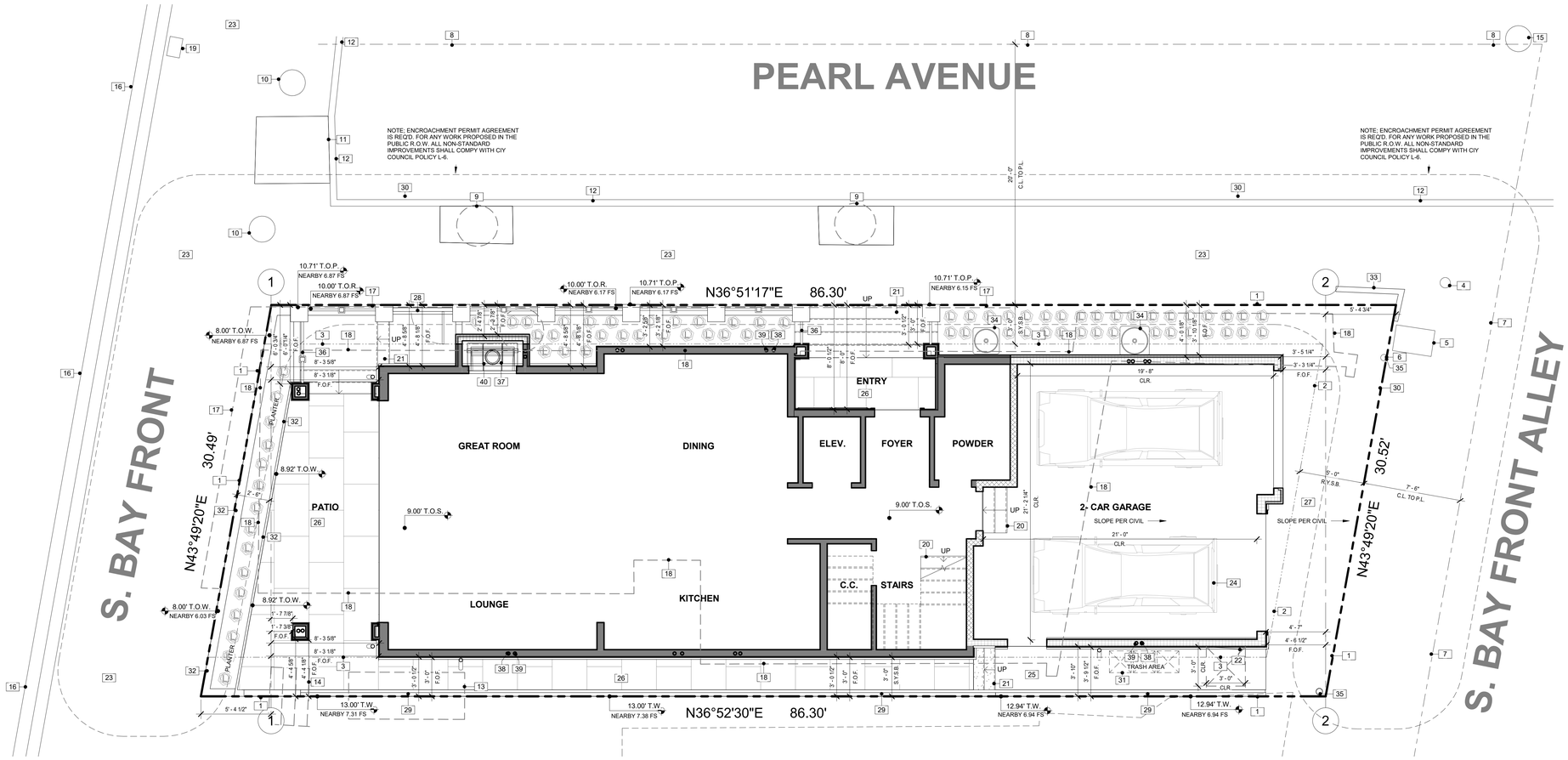
NO.	REVISION	DATE

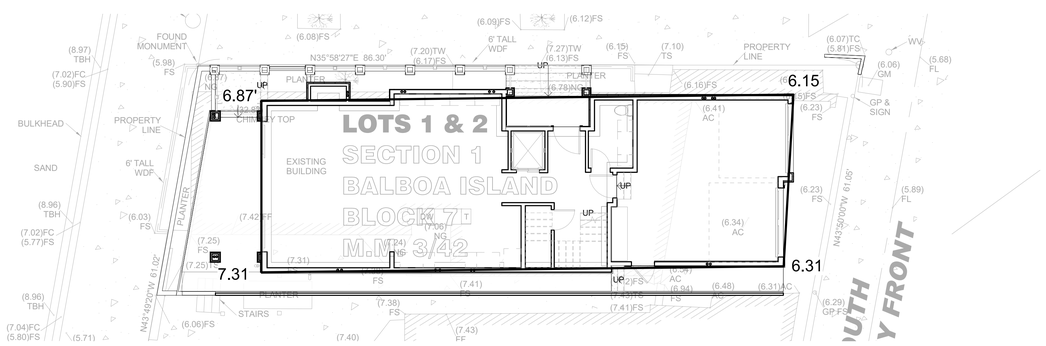
JOB NO. 2018-30

DATE 05/01/2019

SHEET NO.

A-0.1





6.87'
7.31'
6.15'
6.31'
26.64 / 4 = 6.66' GP

2 GRADE PLANE EXHIBIT
1/8" = 1'-0"

		LAVANDULA SPP. LAVENDER *(LOW WATER USE)*
A	PLANT LEGEND	

**ALL PLANTS TO BE DROUGHT-TOLERANT NON-INVASIVE PLANT SPECIES. PLANT HEIGHT 42" MAX.

GENERAL MATERIAL SPECIFICATION:

1. GROUT CELLS WITH REINFORCED CEMENT PER ASTM C150. 1 PART PORTLAND CEMENT, 2 TO 3 PARTS LOOSE SAND, 2 PARTS COARSE AGGREGATE.

2. REINFORCING: FS = 20,000 PSI ASTM A615 GRADE 40.

3. MASONRY: FC = 1,500 PSI GRADE 'A' PER ASTM C150.

4. CONCRETE: FC = 3,500 PSI AT 28 DAYS CEMENT PER ASTM C150.

5. POUR ALL WALL FOOTINGS AGAINST NATURAL UNDISTURBED EARTH.

6. TELEPHONE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE NOT AS SHOWN.

PROJECT HARDSCAPE MATERIALS:

STONE SHOULD MATCH THE STONE USED ON THE HOUSE.

PAVING STONE SHALL BE SHADOW GRAY
SANDSTONE/QUARTZITE.

ALL GROUT JOINTS SHALL BE PIGMENTED PER ARCH./G.C. APPROVAL.

ALL HARDSCAPE MATERIAL SHALL RECEIVE 6 MIL. VISQUEEN ON UNDER SIDE FOR WATERPROOF PROTECTION.

TOTAL LANDSCAPING AREA: 223 SQFT

NOTES:
1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, TRANSPORTATION, MATERIALS, AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL CONSTRUCTION ELEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

2. ALL WORK SHALL BE PERFORMED BY A CALIFORNIA LICENSED CONTRACTOR.

3. CONSTRUCTION AND INSTALLATION OF ALL LANDSCAPE ITEMS SHALL BE ACCORDING TO STATE, COUNTY AND LOCAL CODES, ORDINANCES AND UP TO CAL-OSHA SAFETY ORDERS REGARDING PERFORMANCE OF WORK.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE NATURE AND LOCATION OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ALL COSTS INCURRED DUE TO DAMAGE AND/OR REPLACEMENT OF SAID UTILITIES, INCLUDING DELAYS.

5. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM ARE SHALL CEASE UNITIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK PRIOR TO THE RESOLUTION OF DISCREPANCIES IS AT THE CONTRACTOR'S RISK AND EXPENSE.

6. NO WORK SHALL BE PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY BY THE APPLICANT/OWNER, OR HIS OR HER AGENTS UNTIL A PUBLIC PROPERTY ENCROACHMENT PERMIT IS ISSUED BY THE CITY ENGINEER.

7. CONTRACTOR SHALL INSTALL THIS PROJECT IN ACCORDANCE TO ALL CITY CODES AND REQUIREMENTS. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER AND THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ANY KNOWN DISCREPANCY BETWEEN THAT WHICH IS SPECIFIED ON THESE PLANS AND THAT WHICH IS PERMITTED BY GOVERNING CODES AND THE HOME OWNERS' ASSOCIATION.

8. WITH THE ACCEPTANCE TO CONSTRUCT THIS PROJECT, CONTRACTOR AND OWNER AGREE TO HOLD LANDSCAPE ARCHITECT HARMLESS OF ANY UNFORESEEN CONSTRUCTION COSTS DUE TO ELEMENTS NOT SPECIFIED ON THESE PLANS.

9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO COMPLETING BIDS. CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF ALL DEMOLITION AND ANY SOIL IMPORT AND OR EXPORT NEEDED TO COMPLETE THIS PROJECT.

10. CONTRACTOR SHALL INSTALL THIS PROJECT UTILIZING THE LANDSCAPE INDUSTRIES'S B.M.P. BEST MANAGEMENT PRACTICES.

1 ARCHITECTURAL SITE PLAN
1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

KEYNOTE LEGEND

1	PROPERTY LINE
2	REAR YARD SETBACK
3	SIDE YARD SETBACK
4	(E.) WATER VALVE (REF. SURVEY & CIVIL DWGS.)
5	(E.) GAS METER(S) - REF. CIVIL DWGS.
6	STREET SIGN - PROTECT IN PLACE
7	CENTERLINE OF ALLEY
8	CENTERLINE OF STREET
9	(E.) STREET TREE TO REMAIN - PROTECT IN PLACE
10	TRASH BIN - PROTECT IN PLACE
11	(E.) STORM DRAIN VAULT - (REF. CIVIL DWGS.)
12	CURB
13	(E.) PLANTER - TO BE REMOVED
14	(E.) STAIR TO REMOVE
15	(E.) SEWER M.H. (REF. SURVEY & CIVIL DWGS.)
16	(E.) BULK HEAD
17	(E.) WALL TO BE REMOVED
18	OUTLINE OF EXISTING BUILDING - TO BE DEMOLISHED
19	(E.) STREET LIGHT PULL BOX, PROTECT IN PLACE
20	INTERIOR STAIRS/STEPS - REF. PLANS
21	CONCRETE STEPS ON GRADE - REF. CIVIL DWGS.
22	MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCN. W/ SO. CA. EDISON
23	(E.) SIDEWALK - NOT A PART
24	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
25	HARDSCAPE - COLORED & SCORED CONCRETE (AS SELECTED) PER. LAND. DESIGNER
26	HARDSCAPE - STONE PAVERS (AS SELECTED) PER. LAND. DESIGNER
27	(N.) DRIVEWAY APPROACH & CURB CUT, STANDARD CONC. PER CNB STANDARDS - REF. CIVIL DWGS.
28	(N.) GATE - PER LANDSCAPE DESIGNER (MAX. 5' - 6" HT. ABOVE NATURAL GRADE)
29	PROPERTY LINE FENCE (NEW) O. 6" CURB FOUNDATION, WOOD TO MATCH - (MAX. 6' ABV. N.G.)
30	GUTTER
31	TRASH LOCATION - SCREEN FROM STREET AS NEEDED
32	(N.) LANDSCAPE WALL (MAX. 42 ABV. N.G.) - FINISH TO MATCH AS SEL.
33	CURB - TO BE REMOVE
34	A/C. CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.N.B.) SEP. PERMIT REQ'D. REF. 7/7-1 DEF. SUBMT'L. #2
35	(E.) GUARD POST TO BE REMOVED
36	EXTERIOR GLASS GUARD - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTL. 4 & 13/AD-1
37	EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED ACCORDING TO THE F.P. MFGR'S. INSTR'S. (CRC R1005)
38	DRAIN LINE - IN WALL/FROM ABV., TO BE METAL VERIFY W/. G.C. (REF. CIVIL DWGS. & DTLS.)
39	OVERFLOW DRAIN LINE - IN WALL/ FROM ABV., TO BE METAL VERIFY W/. G.C. (REF. CIVIL DWGS. & DTLS.)
40	FIREPLACE - PREFABRICATED, GAS ONLY - MASON-LITE FIREPLACE, MODEL 'BURNTECH GBV549' (COI# ESR-2401 [DTL. 22/AD-1] (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AN INSTALLED IN ACCORDANCE W/. THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/. THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)

GENERAL NOTE:
SEE SHEET A-3 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

C.N.B. NOTES:
1. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
3. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.

LANDSCAPE NOTES:
1. ENCOARCHMENT PERMIT REQ'D. FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W.
2. IF APPLICABLE, REF. PRELIMINARY LANSCAPE PLAN, FOR ALL HARDSCAPE & PLANTING AREAS WITH REPECTIVE HEIGHTS AND MATERIALS.

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
CDP - FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
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400 S BAY FRONT
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PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

DOCUMENT VALID UPON

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ARCHITECTURAL SITE PLAN

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30

DATE 03/22/2019

SHEET NO.

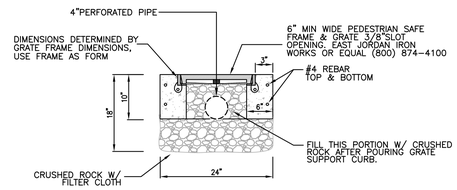
A-0.0

CONSTRUCTION NOTES:

1. CONSTRUCT 6" MIN CONCRETE DRIVEWAY
2. CONSTRUCT 4" CONCRETE HARDSCAPE.
3. INSTALL 4" FLAT GRATE DRAIN
4. INSTALL 4" ATRIUM GRATE DRAIN
5. INSTALL TRENCH DRAIN PER DETAIL SHEET C2
6. INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN

EARTHWORK

RAW CUT:	0 CY
RAW FILL:	58 CY

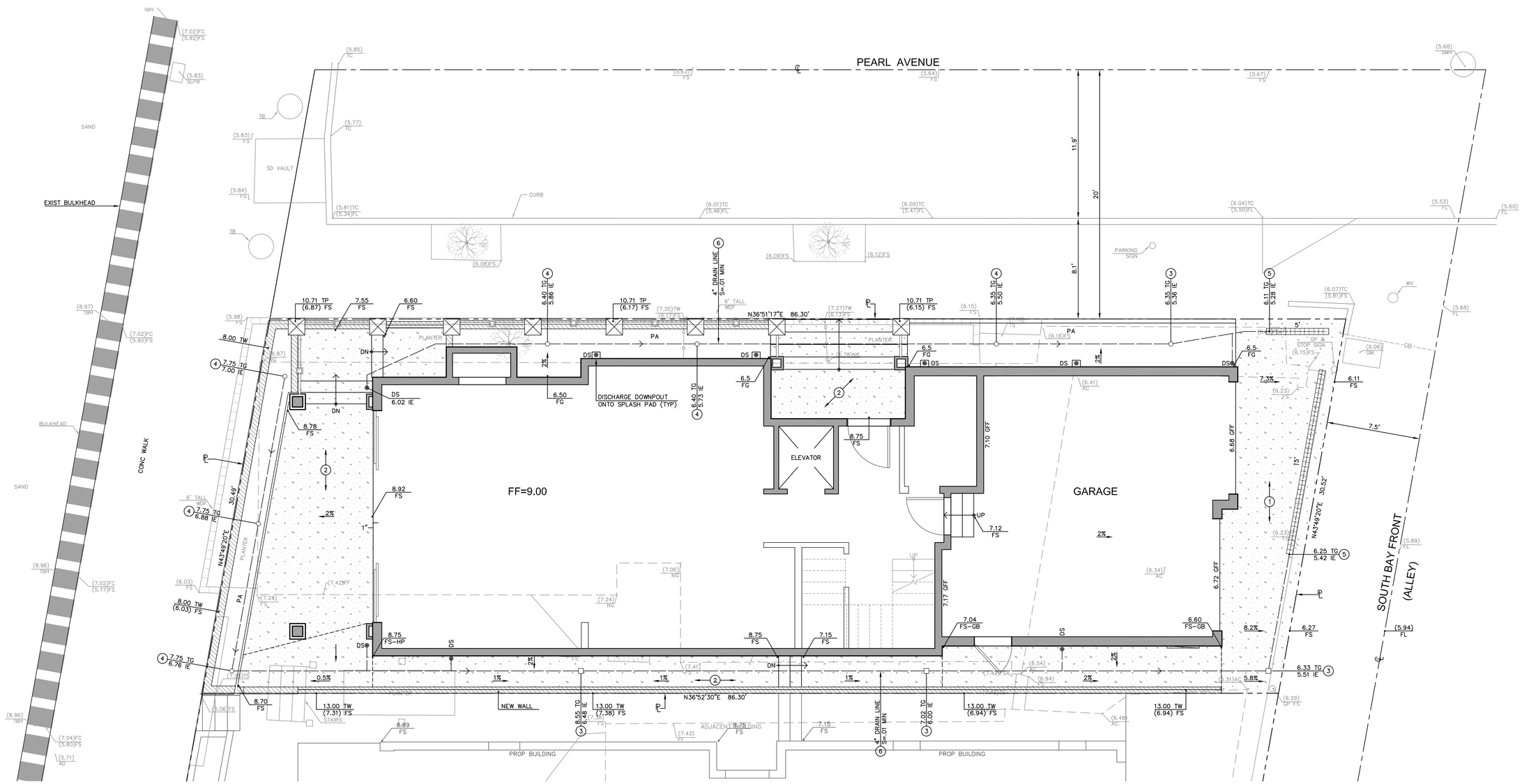


A- DIG A 24" WIDE X 18" DEEP TRENCH
B- PLACE FILTER CLOTH IN THE TRENCH EXTENDING 12" VERTICAL ON EACH SIDE
C- FILL BOTTOM 8" OF THE TRENCH W/ CRUSHED ROCK
D- FORM AND POUR PERIMETER CONCRETE CURB
E- FILL THE REST OF THE TRENCH W/ CRUSHED ROCK TO 4" FROM TOP OF TRENCH

(5) TRENCH DRAIN
NTS

ABBREVIATIONS

ARCH	ARCHITECTURAL
A.C.	ASPHALT CONCRETE
C.O.	CLEAN OUT
DG	DECOMPOSED GRANITE
DS	DOWNSPOUT
EXIST	EXISTING
BFF	BASEMENT FINISH FLOOR
BFP	BASEMENT FINISH PAD
B.S.P.	BY SEPARATE PERMIT
CONC	CONCRETE
DWY	DRIVEWAY
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
FD	FOUND
FL	FLOWLINE
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FP	FINISH PAD
FS	FINISH SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GFP	GARAGE FINISH PAD
GM	GAS METER
HH	HANDHOLE
HP	HIGH POINT
I.P.	IRON PIPE
IE	INVERT ELEVATION
L&T	LEAD AND TACK
MH	MANHOLE
MON.	MONUMENT
NTG	NOTHING
OG	ORIGINAL GROUND
PA	PLANTER AREA
PB	PULL BOX
PL	PROPERTY LINE
PROP	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
S.F.N.	SEARCHED FOUND NOTHING
SDWK	SIDEWALK
SMH	SEWER MANHOLE
STLT	STREET LIGHT
T.B.M.	TEMPORARY BENCHMARK
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TOC	TOP OF CONCRETE
T.O.R.	TOP OF RIDGE
TOS	TOP OF SLAB
TW	TOP OF WALL
WM	WATER METER



NO.	DATE	REVISIONS

DRAWN: MJ
CHCK'D: TR
DATE: 3/26/19

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JN 9772

REGISTERED PROFESSIONAL ENGINEER THOMAS M. RUIZ NO. 58627 EXP. 12-31-20 CIVIL STATE OF CALIFORNIA

THOMAS M. RUIZ DATE

SOILS ENGINEER/GEOLOGIST:

BENCHMARK:
BENCHMARK NO: NB3-15-70
ELEVATION: 7.986 FEET (NAVD88)
YEAR LEVELED 1992

LEGAL DESCRIPTION:
LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

PRECISE GRADING
400 S. BAY FRONT
NEWPORT BEACH, CALIFORNIA

SHEET: C2

EROSION CONTROL

1. IN CASE OF EMERGENCY, CALL GARRETT CALACCI AT 949-644-8900
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15), NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DESCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OR WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE THE BE PROTECTED FROM THE WEATHER, SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION. AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
16. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOIL OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
20. ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

BMP FACTS SHEET

WM-1 MATERIAL DELIVERY AND STORAGE

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

WM-2 MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-4 SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

WM-5 SOLID WASTE MANAGEMENT

PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

WM-6 HAZARDOUS WASTE MANAGEMENT

HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7 CONTAMINATED SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.

WM-8 CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1 STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

SE-1 SILT FENCE

SE-3 SEDIMENT TRAP

SE-8 GRAVEL BAGS

ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEEMED SUFFICIENT.

BMP FACTS SHEET

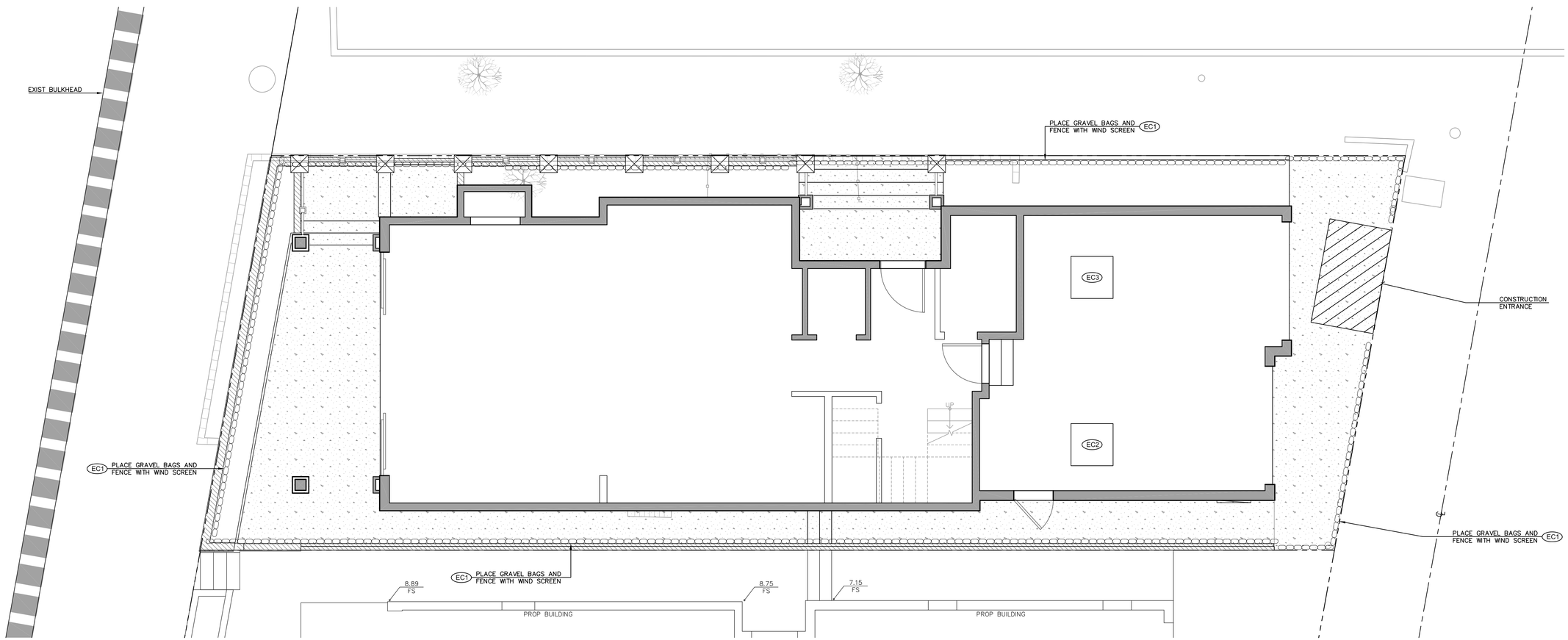
ALL BMP'S SHALL BE IN ACCORDANCE WITH MODEL BMP'S FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM

EC1 CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH. MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #SE-8.

EC2 CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-9.

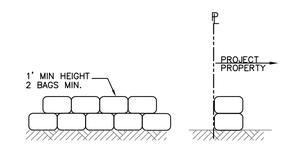
EC3 CONSTRUCT MATERIALS STORAGE ARE IN ACCORDANCE WITH BMP FACTS SHEET #WM-1.

EC4 EXISTING WALL TO REMAIN. PROTECT IN PLACE.

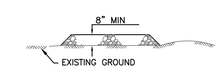


EROSION CONTROL LEGEND

PLACE GRAVEL BAGS AND FENCE WITH WIND SCREEN



GRAVEL BAG DETAIL
NTS



PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND STREET

CONSTRUCTION ENTRANCE
NTS

1"=4'

NO.	DATE	REVISIONS

DRAWN: MJ
CHCK'D: TR
DATE: 3/26/19

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REGISTERED PROFESSIONAL ENGINEER THOMAS M. RUIZ NO. 58627 EXP. 12-31-20 CIVIL STATE OF CALIFORNIA

THOMAS M. RUIZ DATE

SOILS ENGINEER/GEOLOGIST:

BENCHMARK:
BENCHMARK NO: NB3-15-70
ELEVATION: **7.986** FEET (NAVD88)
YEAR LEVELED 1992

LEGAL DESCRIPTION:
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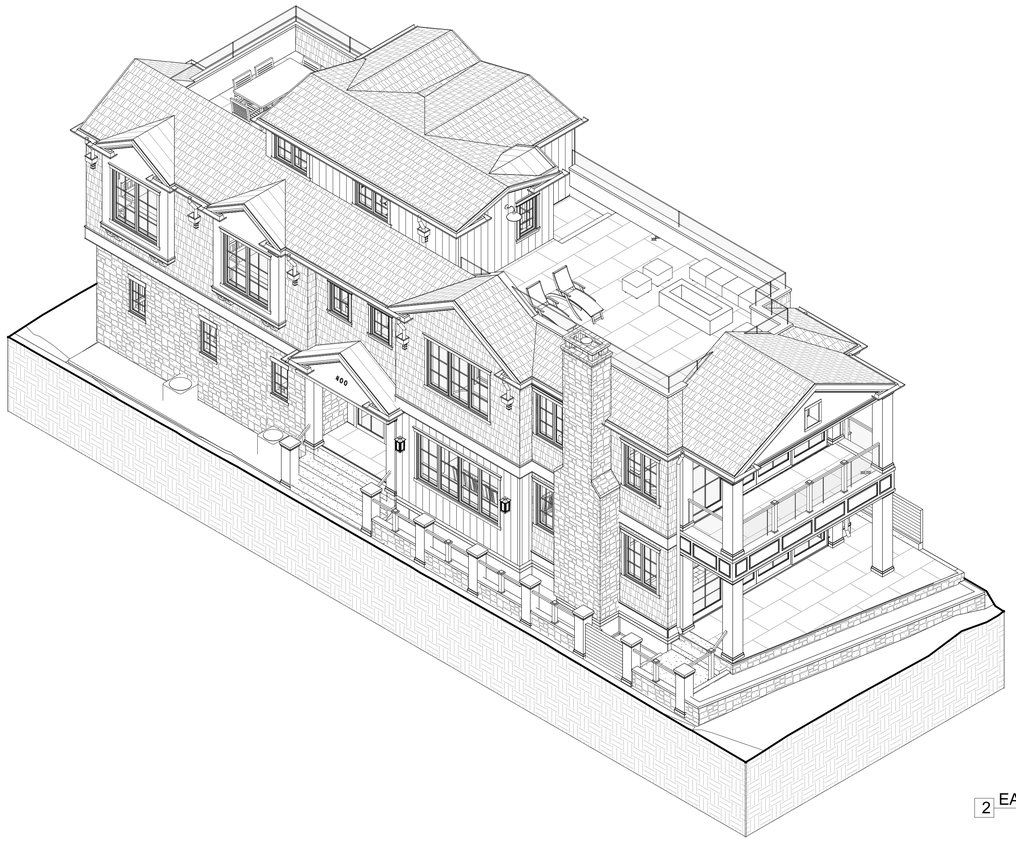
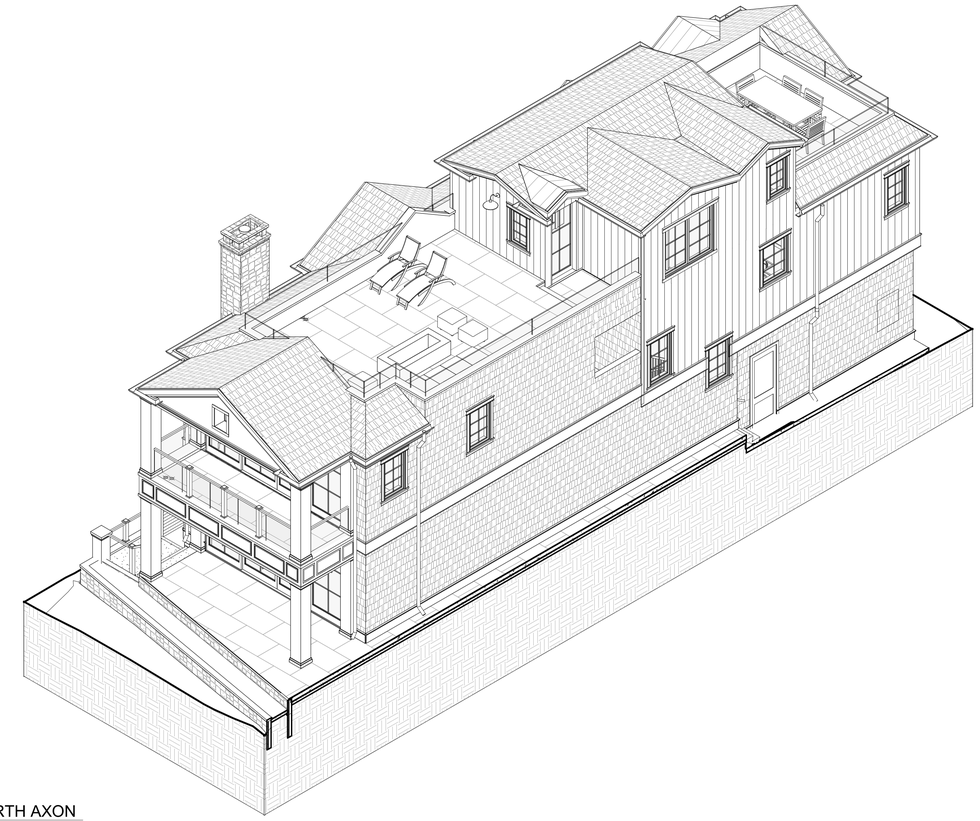
EROSION CONTROL PLAN
CONSTRUCTION POLLUTION PREVENTION PLAN
402 S. BAY FRONT
NEWPORT BEACH, CA

SHEET: C4

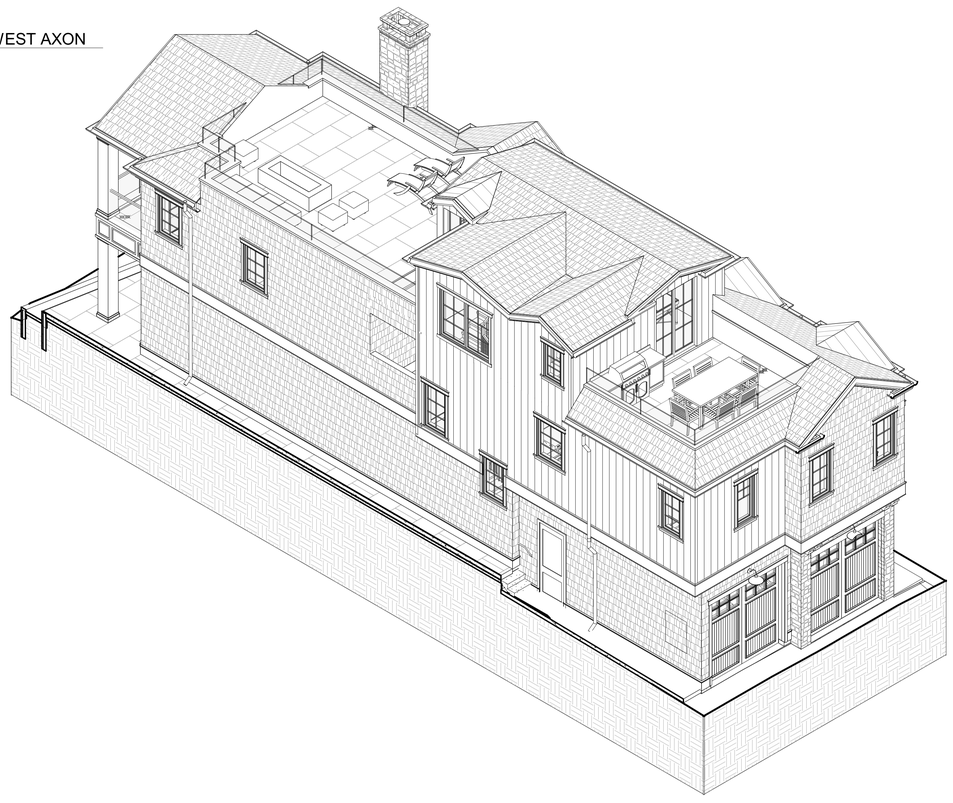


2 EAST AXON



1 NORTH AXON

4 SOUTH AXON



3 WEST AXON

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
CDP - FIRST CHECK

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DOCUMENT VALID UPON

ORIGINAL SIGNATURE

3-DIMENSIONAL VIEWS

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REVISIONS

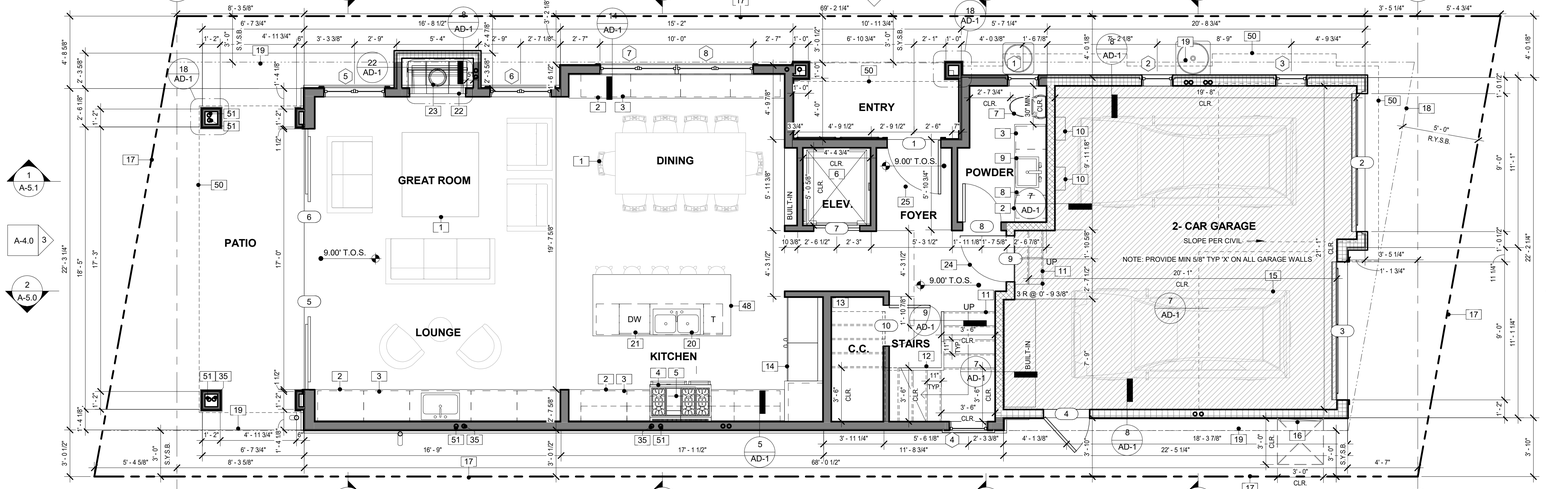
NO.	REVISION	DATE

JOB NO. 2018-30

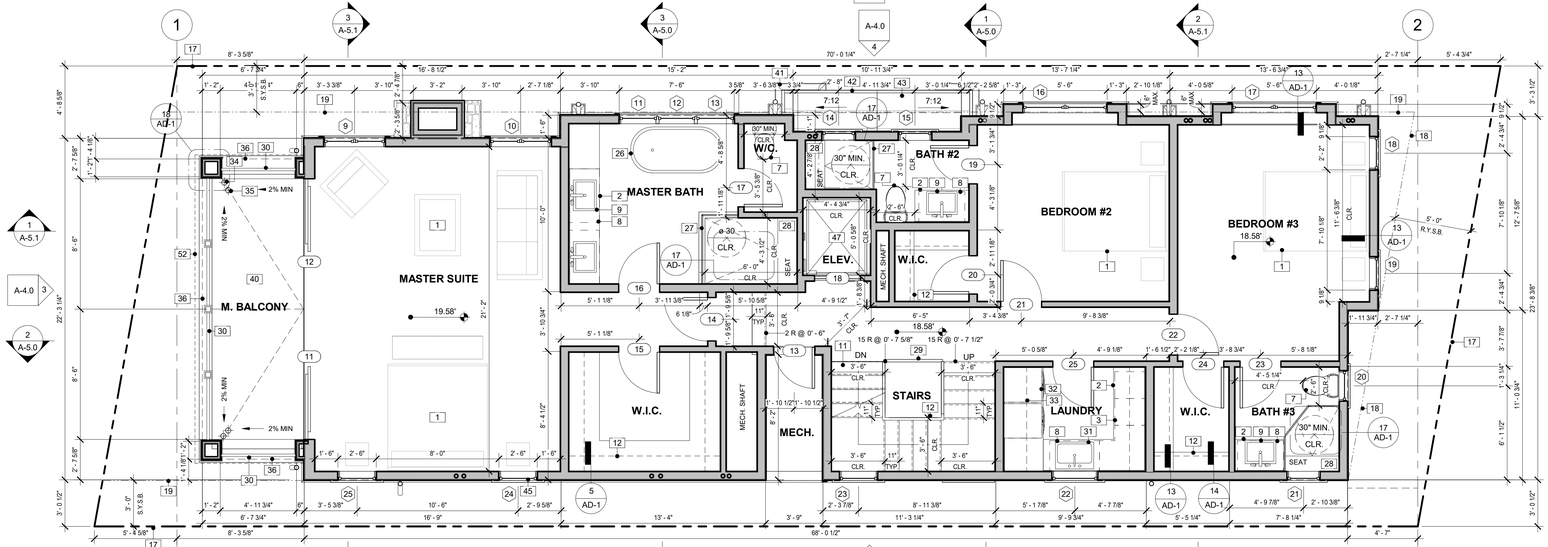
DATE 03/22/2019

SHEET NO.

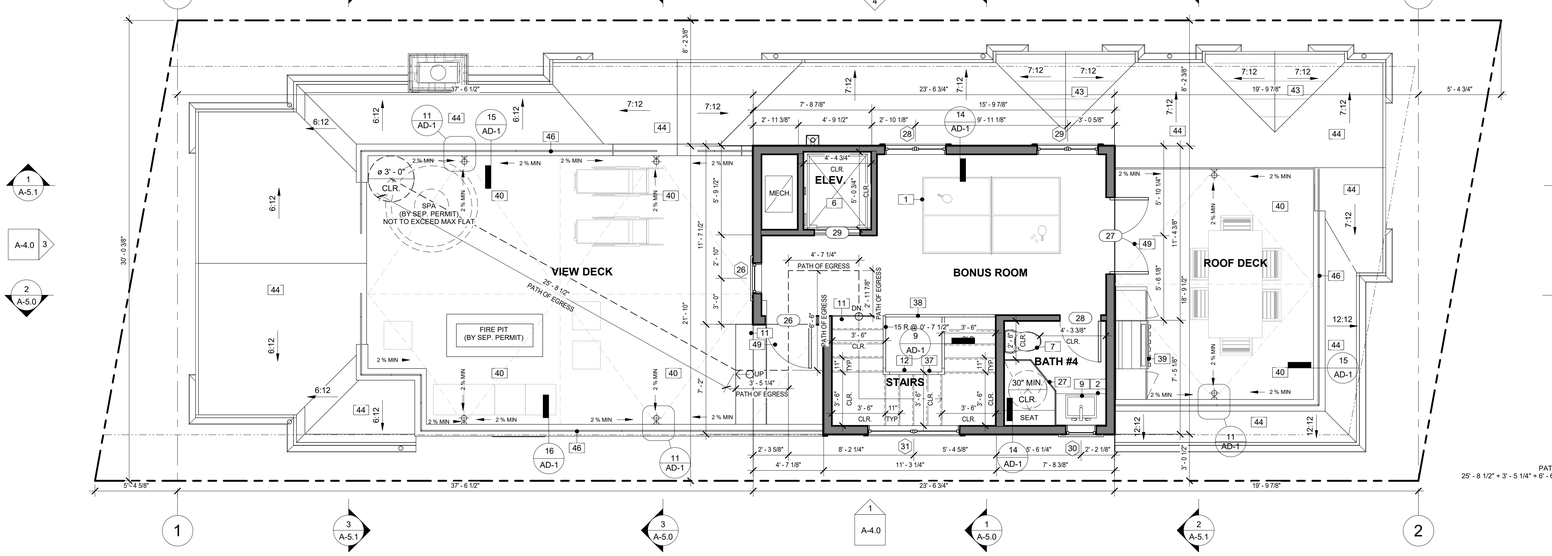
A-1.0



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"



PATH OF EGRESS
25' - 8 1/2" + 3' - 5 1/4" + 6' - 6" + 4' - 7 1/4" +2' - 11 7/8" = 35' - 10 7/8"

3 THIRD FLOOR PLAN
1/4" = 1'-0"

MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2:2016 SECTION 4. WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING VENTILATION (BEES 152(a), EXCEPTION 5 TO SECTION 152(a)). FOR CONTINUOUS WHOLE-BUILDING VENTILATION, MIN. REQUIRED RATE OF VENTILATION IS 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EACH OCCUPANT (ONE OCCUPANT PER BEDROOM +1). VENTILATION TO BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.

2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM (PART OF WHOLE-BUILDING VENTILATION REQUIREMENT).

CALCULATIONS:
UNIT: 2,743 S.F.
(0.032,743 S.F x [7.5 CFM x OCC. (BED. +1)] =
82.29 CFM + (7.5 x 4) = 112.29 CFM REQ'D.

KEYNOTE LEGEND

1	FURNISHINGS - AS SELECTED
2	COUNTERTOP - AS SELECTED
3	BASE CABINET - BUILT-IN, FINISH AS SEL.
4	DOUBLE OVEN - AS SELECTED
5	KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFGR'S. INSTRS.
6	RESIDENTIAL ELEVATOR - 'GARAVENTA LIFT, UPGRADE DOOR PACKAGE STYLE 5,' SHAFT SIZE = 62" X 63 1/2" CLEAR, SLAB DEPRESSION REQ'D PER MFGR. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO PURCHASE & INSTALLATION
7	TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL GREEN NOTES FOR FLOW RATE INFO.
8	BASE CABINET - SINK UNIT, BUILT-IN, FINISH AS SEL.
9	SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/. OWNER)
10	WATER HEATER - TANK-LESS (ON DEMAND) WALL-MOUNT +44" MIN., "TAKAGI" OR EQUIV. - VERIFY SIZE REQ'D. W/. MFGR. (PROVIDE ADEQUATE N.G. CONN.) VENT THROUGH ROOF
11	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
12	INTERIOR HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTLS. 4 & 9/AD-1
13	ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 5/8" TYPE 'X' GYP. BD. FINISH TYP. (1/2" MIN.) (CRC R302.7)
14	REFRIGERATOR - VERIFY APPLIANCE W/. OWNER
15	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
16	MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOC'N. W/. SO. CA. EDISON
17	PROPERTY LINE
18	REAR YARD SETBACK
19	SIDE YARD SETBACK
20	KITCHEN SINK - AS SELECTED
21	DISHWASHER - AS SELECTED
22	FIREPLACE - PREFABRICATED, GAS ONLY, "TOWN AND COUNTRY," MODEL TC42 (DTL. 22/AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AN INSTALLED IN ACCORDANCE W/. THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/. THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
23	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING W/IN. 10', BUT SHALL NOT BE LESS THAN 2' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF. (CBC 2113.9)
24	1-3/8" MIN. SOLID CORE DOOR, SELF CLOSING & SELF LATCHING (R302.5.1)
25	7 - 3/4" MAX STEP AT IN SWING DOORS (R311.3.1) - REF CIVIL FOR STEP HEIGHT
26	BATHTUB - AS SELECTED (VERIFY LOC'N. OF FIXTURES W/. OWNER)
27	TEMPERED GLASS ENCLOSURE - 1/2" THK. (MIN. 3/8" THK.) GLASS TO BE ETCH MARKED (FRAMELESS U.N.O.)
28	SHOWER - HOT-MOP PAN, PROVIDE TILE W/. CEMENT BACKING MIN. 72" HIGH; NET AREA 7.1 S.F. MIN.; 30" DIA. CIRCLE MIN., REF. DTL. 17/AD-1
29	INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 4 & 9/AD-1
30	EXTERIOR GUARDRAIL - MIN. 42" HEIGHT
31	LAUNDRY SINK - AS SEL.
32	WASHER - PROVIDE HOOK-UPS & POWER - INSTALL PAN & DRAIN UNDER WASHER (TYP.) - G.C. TO VERIFY LOC'N. & SIZE
33	UPPER CABINET - BUILT-IN, FINISH AS SEL.
34	DECK/BALCONY DRAIN - SLOPE 2% MIN. - REF. DTL. 11/AD-1
35	OVERFLOW DRAIN LINE - IN WALL/ FROM ABV., TO BE METAL VERIFY W/. G.C. (REF. CIVIL DWGS. & DTLS.)
36	WOOD. CAP - SLOPE 2% MIN. - SEAL AND PAINT AS SEL - ARCH. TO APPV."
37	STAIR MOUNTED HANDRAIL (34" - 38" ABV. NOSING, 36" TYP.), SIM. TO DTL. 2/AD-1
38	INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 4 & 18/AD-1
39	BBQ, AS SEL. - PROVIDE NATURAL GAS
40	WESTCOAT ALX WATERPROOF MEMBRANE PER ICC# ESR-2201
41	METAL GUTTER - KYNAR FINISH OR EQUIV., SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
42	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS).
43	ROOF - STANDING SEAM METAL W/. SS. METAL ZINC FINISH - REF. MAT. SCHED. A-4.0 & DTL. 2/A-3.0
44	SLATE ROOFING PER MATERIAL SCHEDULE A-4.0 AND DTL 3/A-3.0.
45	WINDOW TO MEET EGRESS REQ'TS. - REF. WINDOW NOTE #8 ON SCHEDULE
46	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1
47	A/C. CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.N.B.) - "UNIT 8" EQUIPMENT ONLY, SEP. PERMIT REQ'D
48	CUSTOM BUILT KITCHEN ISLAND PER OWNER & ARCH.
49	1-1/2" MAX. STEP AT OUT SWING DOORS (R311.3.1)
50	LINE OF SECOND FLOOR ABOVE
51	DRAIN LINE - IN WALL/FROM ABV., TO BE METAL VERIFY W/. G.C. (REF. CIVIL DWGS. & DTLS.)
52	LINE OF ROOF ABOVE

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER CRC R303.7

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED WITH 2 X 6 STUDS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD
***HERS VERIFICATION REQUIRED- REFERENCE T-24.1**

	FIRE RATED CEILING ASS'Y. REF. DTL. 7/AD-1
	EXT. FIRE RATED PARTITION REF. DTL. 5/AD-1
	INT. FIRE RATED PARTITION REF. DTL. 7/AD-1
	NEW WALL - 2 x 6 STUDS @ 16" O.C.
	NEW WALL - 2 x 4 STUDS @ 16" O.C.
	WALL W/. STONE VENEER - 2 x 6 STUDS @ 16" O.C.
	CONCRETE RETAINING WALL - REF. STRUCTURAL
	CONCRETE MASONRY WALL - 6" CMU U.N.O.
	DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
	WINDOW - REFERENCE SCHEDULE
	DOOR - REFERENCE SCHEDULE
	CABINET - BUILT IN CASEWORK
	COLUMN -REF. STRUCTURAL DWGS.
	FURNITURE - FOR PRESENTATION PURPOSES ONLY
	FIREPLACE - PREFAB GAS-ONLY APPLIANCE
	PLUMBING FIXTURE - SINK (AS SELECTED)
	PLUMBING FIXTURE - TOILET (AS SELECTED)
	LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
1i	WINDOW WALL TAG - REFERENCE SHEET A-7.0
101	DOOR TAG - REFERENCE SHEET A-7.0
1i	WINDOW TAG - REFERENCE SHEET A-7.0
?	KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHT.

A PLAN LEGEND

PROJECT NAME
BAY FRONT TRADITIONAL
STATUS
FIRST CHECK

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CAITLIN SMITH

DOCUMENT VALID UPON

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FLOOR PLAN

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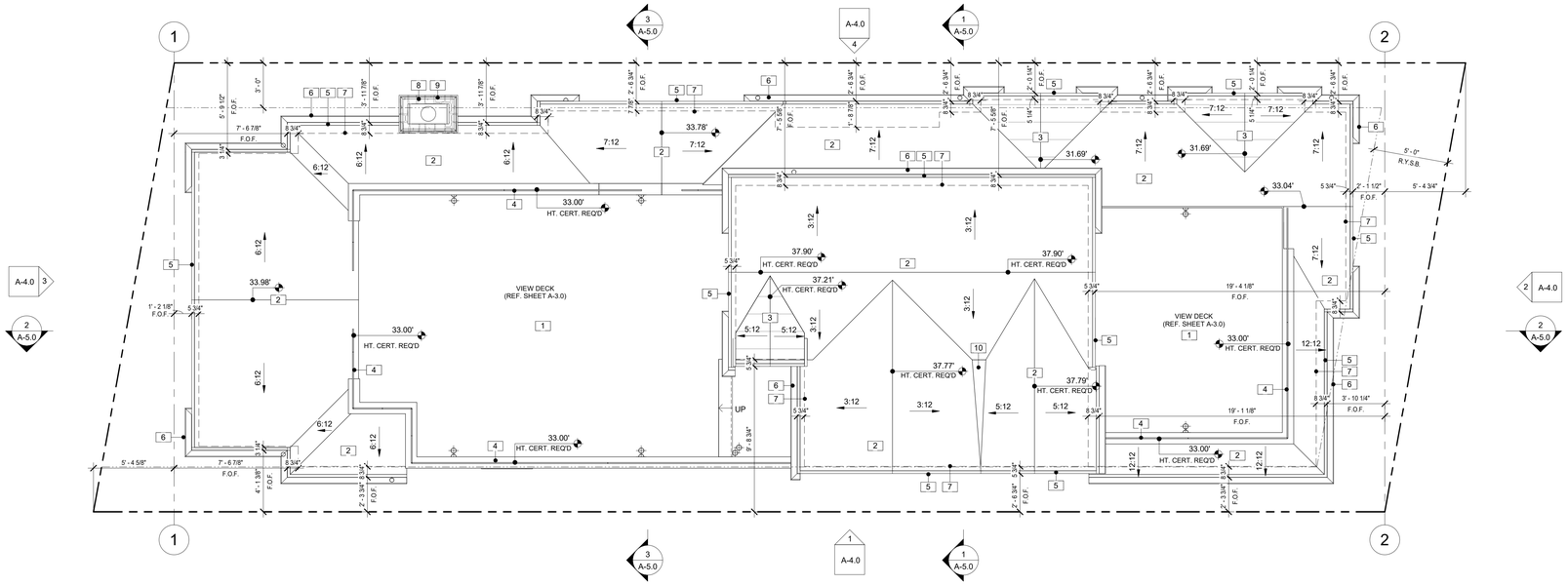
REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30
DATE 05/01/2019
SHEET NO.
A-2.0



1 ROOF PLAN
1/4" = 1'-0"

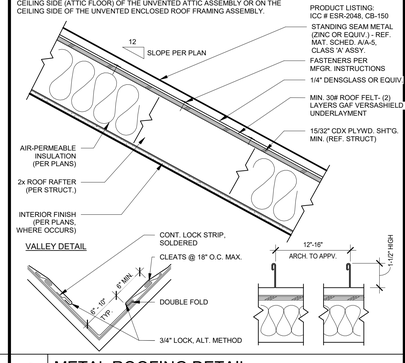
KEYNOTE LEGEND	
1	WESTCOAT ALX WATERPROOF MEMBRANE PER ICC# ESR-2201
2	SLATE ROOFING PER MATERIAL SCHEDULE A-4.0 AND DTL 3/A-3.0.
3	ROOF - STANDING SEAM METAL W/. SS. METAL ZINC FINISH - REF. MAT. SCHED. A-4.0 & DTL. 2/A-3.0
4	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1
5	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS)
6	METAL GUTTER - KYNAR FINISH OR EQUIV., SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
7	LINE OF WALLS BELOW
8	CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BLT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/. MFGR. INST. INSTRUCTIONS. CMC 802.4.2.4)
9	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING W/IN. 10'. BUT SHALL NOT BE LESS THAN 3' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF (CBC 2113.9).
10	CRICKET - SLOPE 2% MIN., REF. ROOF PLAN A-4

NOTE: ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHT'G. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHT'G. TO FACE OF FINISH FASCIA

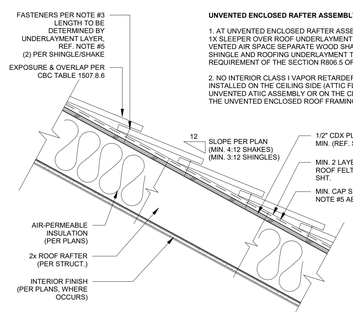
FILLED REGION INDICATES ATTIC SPACE- REF. ATTIC VENTILATION CALCS.

A ROOF PLAN LEGEND

UNVENTED ENCLOSED RAFTER ASSEMBLY NOTE:
NO INTERIOR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY.



3 METAL ROOFING DETAIL
1 1/2" = 1'-0"



UNVENTED ENCLOSED RAFTER ASSEMBLY NOTE:

1. AT UNVENTED ENCLOSED RAFTER ASSEMBLY PROVIDE 1X SLEEPER OVER ROOF UNDERLAYMENT FOR MIN. 1/4" VENTED AIR SPACE SEPARATE WOOD SHAKE OR SHINGLE AND ROOFING UNDERLAYMENT TO MEET REQUIREMENT OF THE SECTION R806.5 OF CBC

2. NO INTERIOR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY.

2 WOOD SHINGLE ROOFING
1 1/2" = 1'-0"

WOOD SHINGLE NOTES:
'FSR TREATMENT, INC.' CLASS 'A' ROOFING ASS'Y. ICC# ESR-1410

1. SHINGLES TO BE NO. 1 GRADE WESTERN RED CEDAR W/. A MAX. MOISTURE CONTENT OF 25%
2. SHINGLES TO BE INSTALLED ON SOLID SHT'G. IN ACCORDANCE WITH CBC TABLE 1507.8
3. FASTENERS MUST BE HOT-DIPPED GALVANIZED W/. ZINC COATING WTS. IN ACC. W/. ASTM A 153, OR S.S.
4. STARTER COURSES AT THE EAVE MUST BE DOUBLED, W/. FIRST COURSE BEING FULL-SIZE TREATED SHINGLES, SUPPLIED BY 'CHEMCO, INC.' 15" OR 18" TREATED SHINGLES MAY BE USED FOR THE FINAL COURSE AT THE RIDGE.
5. PRODUCTS LISTED AS 'CLASS B' SHINGLES MUST BE INSTALLED O/. SPACED OR SOLID SHT'G. COVERED EITHER W/. ONE LAYER OF 1-1/4" DENS-DECK ROOF BOARD, MANUFACTURED BY GEORGIA PACIFIC CORP., OR W/. ONE LAYER MINERAL-SURFACED CAP SHEET COMPLYING W/. ASTM D 2909. WHERE UNDERLAYMENT IS REQ'D., THE UNDERLAYMENT SHALL BE INSTALLED OVER THE DENS-DECK BOARD OR MINERAL-SURFACED CAP SHEET. FASTENER LENGTH FOR THE SHAKES MUST BE INCREASED FOR THE THICKNESS OF THE DENS-DECK BOARD OR CAP SHEET. THE DENS-DECK BOARDS MUST BE FASTENED TO SPACED OR SOLID SHT'G. USING A MIN. OF FOUR FASTENERS PER BOARD TO AVOID PANEL SHIFTING PRIOR TO INSTALLATION OF THE SHAKES. THE MINERAL-SURFACED CAP SHEET MUST BE INSTALLED WITH 2" OVERLAPS ON THE SIDES AND ENDS, AND ATTACHED W/. A SUFFICIENT NUMBER OF FASTENERS TO HOLD THE SHEET IN PLACE PRIOR TO INSTALLATION OF THE SHAKES.
6. AUTOMATIC SPRINKLERS TO BE INSTALLED THROUGHOUT & IN ATTIC AREAS IN ACCORDANCE WITH C.N.B. STANDARDS (PROVIDE SEPARATE APPLICATION, REF. 8/T-1)
7. EAVES TO BOXED 1-HR. ASSEMBLY PER NBMC 15.04.220

ROOF VENTILATION NOTES: (CRC R806)

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/. CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 IF ONE OR MORE OF THE FOLLOWING ARE MET; 1. IN CLIMATE ZONES 1& & 16. A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40% AND MORE THAN 50% OF THE REQUIRED VENTILATING ARE IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF TEHR REQUIRED VANTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.

3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHT'G. AND AT THE LOCATION OF THE VENT.

4. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFR'G.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/. THE REQ'TS. OF SECTION R903. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/. THE REQ'TS. OF SECTION R703.1.

5. UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBER/RAFTERS AND THE STRUCTURAL ROOF SHT'G. AT THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. 2. NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASEEMBLY. 3. WHERE WOOD SHINGLES OF SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHT'G. 4. IN CALIFORNIA CLIMATE ZONES 14 & 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS III VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/. THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1-A). 5. EITHER ITEMS 5.1. 5.2 OR 5.3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHT'G. (NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONT. UNDERLAYMENT IS INSTALLED. A CONT. LAYER SHALL BE CONSIDERED TO EXIST IF SHT'G., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.). 5.1. AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/. THE UNDERSIDE OF THE STRUCTURAL ROOF SHT'G. 5.2. AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHT'G., RIDGE BOARD OR SHEET INSULATION W/. AN R-VALUE OR R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHT'G. FOR CONDENSATION CONTROL. 5.3. AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION. THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/. THE UNDERSIDE OF THE STRUCTURAL ROOF SHT'G. FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-PERMEABLE INSULATION. 5.4. WHERE PREFORMED INSULATION BOARD IS USED AS THE AIR IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
CDP - FIRST CHECK

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PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

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ROOF PLAN

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REVISIONS

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JOB NO. 2018-30

DATE 03/22/2019

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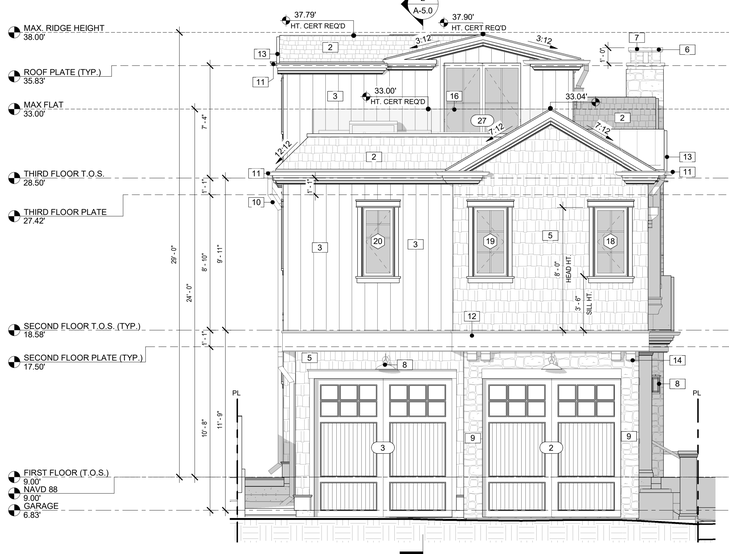
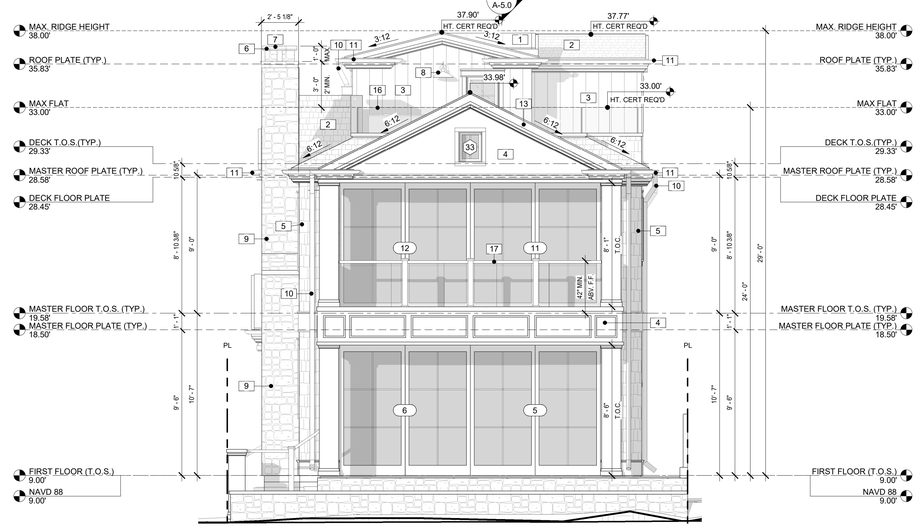
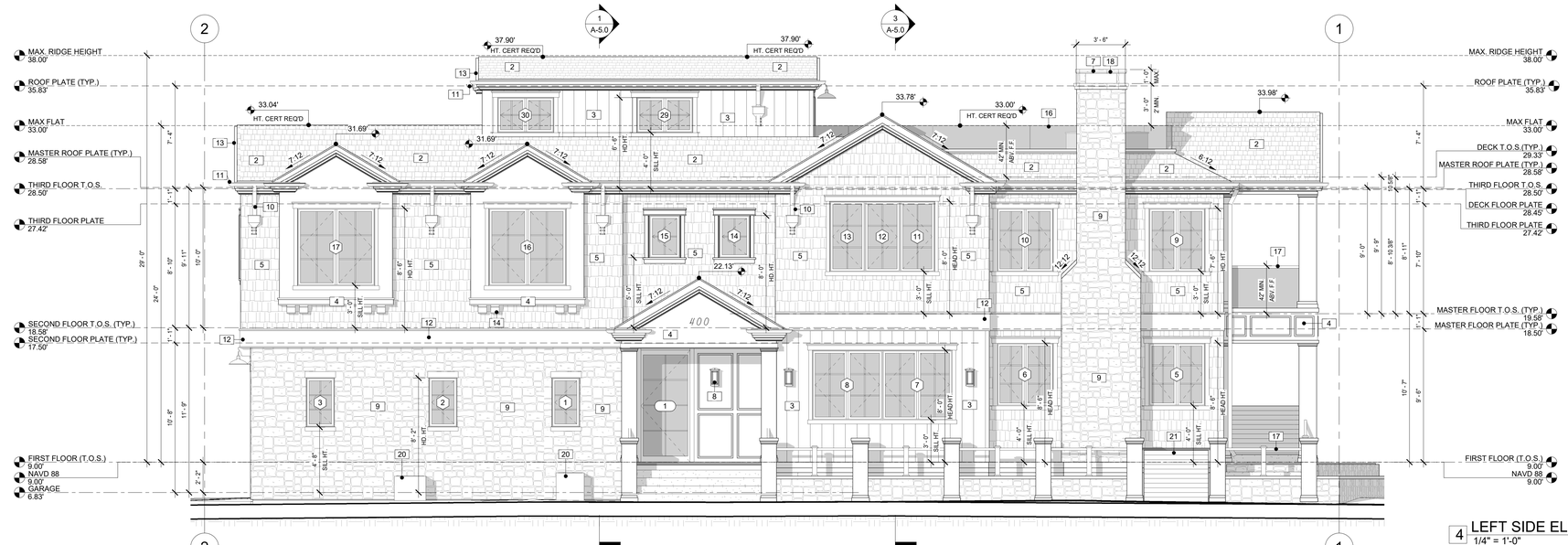


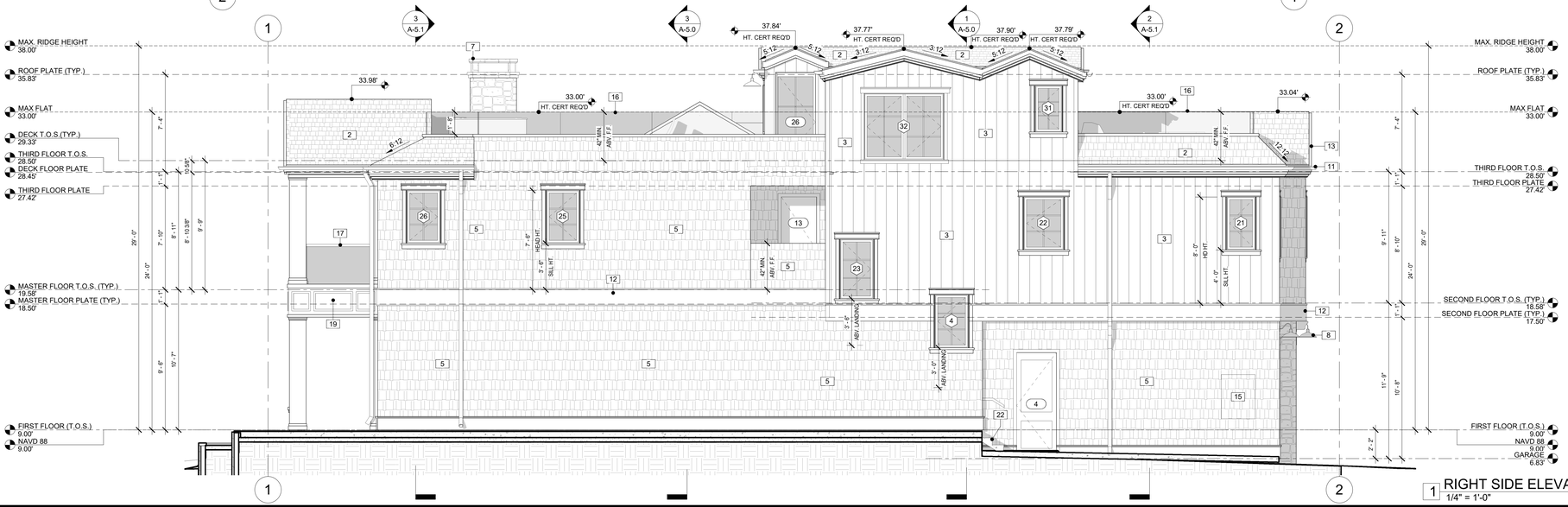
2 REAR ELEVATION
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"



4 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 RIGHT SIDE ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-2319
FAX: 206-666-2150
EMAIL: JYOUNAN@ABSSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD, P.O. BOX 1329; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7412 OR 800-535-3936
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 5621 S. 25TH ST., PHOENIX, AZ 85040
PHONE: 877.268.1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

WOOD SHINGLE SIDING:

MANUFACTURER: (TBD)

SPECIES: #1 WESTERN RED CEDAR

SIZE: 18" RE-BUTTED & RE-JOINED PERFECTION SHINGLES (100% EDGE GRAIN, 100% CLEAR) 5 1/2" EXPOSURE

TREATMENT: PRE-STAINED W/. CABOT BLEACHING OIL (VERIFY W/. OWNER)

APPLICATION: PER DETAIL 5/AD-1, NO EDGE BOARDS, MITERED 'SAWTOOTH' CORNERS 16" SHINGLES W/. 5.5" EXPOSED

BOARD & BATTEN

PRODUCT: WOOD MDX

MANUFACTURER: TBD

COLOR: COLOR AS SEL. (ARCH. TO APPV.)

APPLICATION: PER DETAIL 16/AD-1

CODE: NA

WOOD FASCIA & TRIM:

MFGR: WINDSORONE

COLOR* PAINTED WHITE (VERIFY W/. OWNER)

APPLICATION: ARCH TO APPV. PROFILES

EXTERIOR STONE VENEER

SUPPLIER:
SEPULVEDA BUILDING MATERIAL
28092 FORBES ROAD
LAGUNA NIGUEL, CA. 92677
P: 949.347.2100

STONE TYPE:TBD

COLOR: LT. BEIGE & WHITE, COLOR GROUT TO MATCH

APPLICATION: 24" X 48" TILE, TIGHT GROUT

THICKNESS: 1" - 1.5" NOMINAL

WEIGHT: LESS THAN 15 LBS./S.F.

ROOFING (METAL):

MANUFACTURER:
CUSTOM-BILT METALS
13940 MAGNOLIA AVE.
CHINO, CA 91710
P: 909.664.1500

PRODUCT: STANDING SEAM ZINC ROOFING, CB-150

COLOR: NATURAL ZINC

NOTES: USE CONTINUOUS 16" OR 18" PANS - VERIFY W/. ARCH. SIZE & LOC'N. OF SEAMS. (NO TRANSVERSE SEAMS) REF. DTL. 1/A- 3

WEIGHT: APPX. 2 PSF.

CODE: ICC # ESR-2048, CB-150

ROOFING (WOOD):

PRODUCT: WOOD SHINGLE - FIRE TREATED

MFGR: FSR TREATMENT, INC. WWW.FIRESMARTROOFING.COM

COLOR: NATURAL

APPLICATION: CLOSED VALLEY W/. MITERED HIP CUTS, 16 GAUGE COPPER FLASHING, STAGGERED COURSING (REF. DTL. 2/A-3)

CODE: CLASS A ASSEMBLY (ICC# ESR-1410)

WEIGHT: N/A

GUTTERS:

MATERIAL: METAL - ALUM. PAINTED KYNAR

SHAPE: HALF ROUND (5") (VERIFY W/. ARCH.)

GARAGE DOORS:

SUPPLIER: RANCH HOUSE DOORS
WWW.RANCHHOUSEDOORS.COM

STYLE: CUSTOM

MATERIAL: CUSTOM BUILT, WOOD & GLASS

WATERPROOF DECK MEMBRANE:

TUFFLEX POLYMERS
10880 POPLAR AVE.
FONTANA, CA
P: 909.349.2016
WWW.TUFFLEXPOLYMERS.COM

CODE: ICC # ESR-2505

FLASHING & WEATHERSTRIPPING:

PROVIDE MIN. 24 GUAGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/. ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

A MATERIAL SCHEDULE

NOTE: REF. ROOF PLAN (A-3) FOR ALL PLATE HTS. & RIDGE HTS.

KEYNOTE LEGEND

1	CONC. HARDSCAPE SLAB ON GRADE W/. FINISH PER PLANS
2	SLATE ROOFING PER MATERIAL SCHEDULE A-4.0 AND DTL 3/A-3.0.
3	WOOD BOARD AND BATTEN SIDING - REF. DTL. 5/AD-1 & MATERIAL SCHEDULE A-4
4	DECO. WD. PANELING - PAINT GRADE - COLOR AS SEL.
5	WOOD SHINGLE SIDING PER MATERIAL SCHEDULE A-4.0 AND DTL 3/A-3.0.
6	DECO. CHIMNEY SHROUD, AS SEL. (ARCH. TO APPR.)
7	CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BLT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/. MFGR. INST. INSTRUCTIONS. CMC 802.4.2.4)
8	EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #53
9	EXT. ADHERED STONE VENEER - REF. MATERIAL SCHEDULE SHT. A-4, DTL. 8/AD-1
10	DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
11	METAL GUTTER - KYNAR FINISH OR EQUIV., SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
12	DECO. WOOD TRIM 'BELLYBAND' - PAINT GRADE, SMOOTH FINISH, ARCH. TO APPROVE PROFILE
13	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS)
14	DECO. WD. CORBEL - 6X8 - STAIN & SEAL AS SEL. VERIFY LOC'N. W/. ARCH.
15	MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOC'N. W/. S/O. CA. EDISON
16	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1
17	EXTERIOR GLASS GUARD - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTL. 4 & 13/AD-1
18	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING W/IN. 10', BUT SHALL NOT BE LESS THAN 3' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF (CBC 2113.9)
19	STUCCO FINISH - MIN. 7/8" THK. W/. DIA. LATH. COLOR AS SEL. DEF. DTL. 5/AD-1
20	A/C. CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.N.B.) SEP. PERMIT REQ'D. REF. 7/T-1 DEF. SUBMT'L. #2
21	(N.) GATE - PER LANDSCAPE DESIGNER (MAX. 5' - 6" HT. ABOVE NATURAL GRADE)
22	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1

PROJECT NAME
BAY FRONT TRADITIONAL

STATUS
CDP - FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

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NEWPORT BEACH, CA 92660

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PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

EXTERIOR ELEVATIONS & MATERIAL SCHEDULE

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30

DATE 03/22/2019

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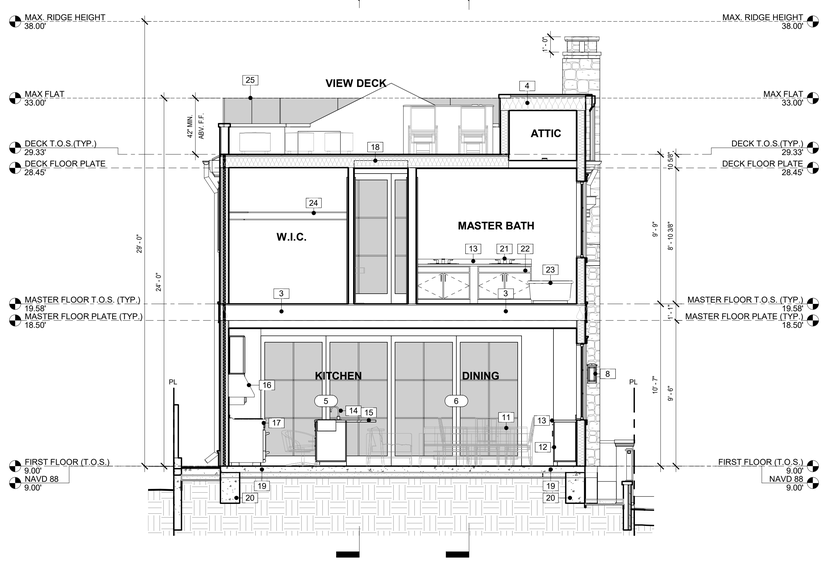
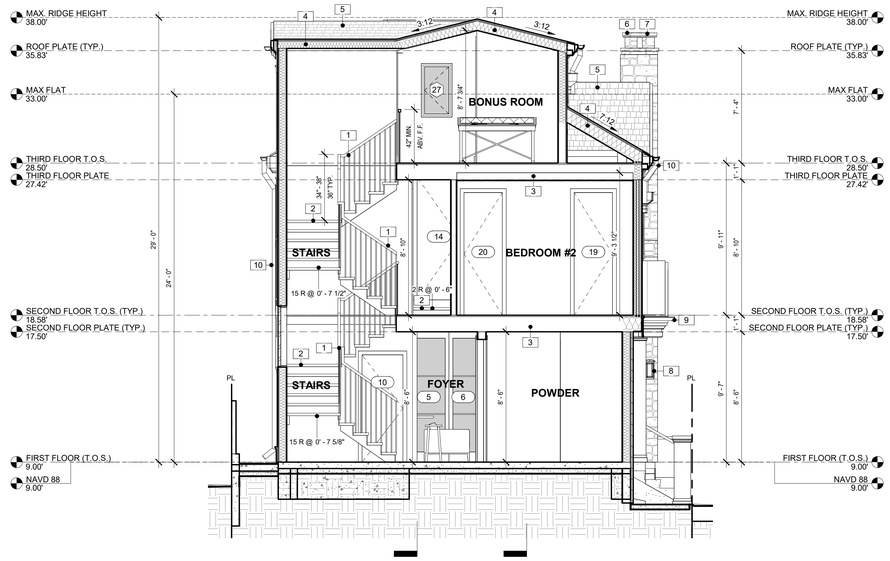


3 TRANSVERSE SECTION
1/4" = 1'-0"



1 TRANSVERSE SECTION
1/4" = 1'-0"

INSULATION SCHEDULE:

EXTERIOR WALL:	
2 x 4 CONST. =	R-19 MIN.
2 x 6 CONST. OR LARGER =	R-19
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30

(REF. T-24 REPORT FOR MORE INFORMATION)

NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME

FIRE-BLOCKING & DRAFT-STOP NOTE

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS.

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION. FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS.

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS.

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

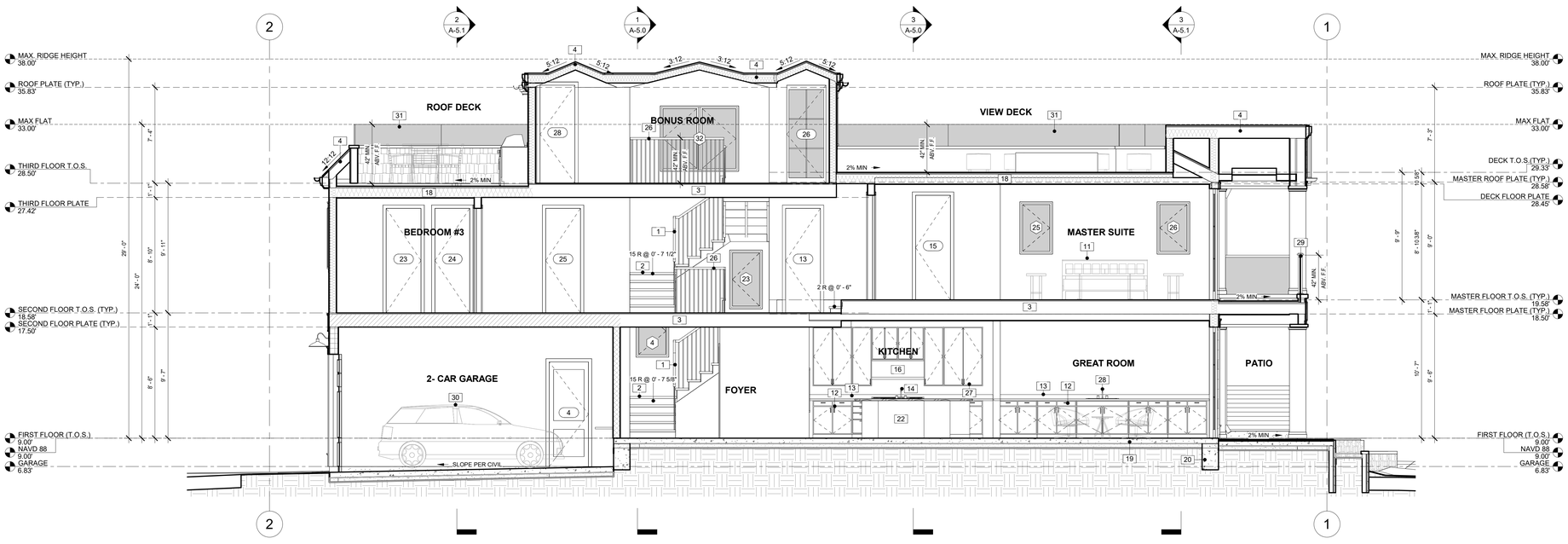
DRAFT STOP CONSTRUCTION.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN ½-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

KEYNOTE LEGEND

1	INTERIOR HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTLS. 4 & 9/AD-1
2	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
3	FLOOR JOISTS - REF. STRUCT.
4	ROOF RAFTERS - REF. STRUCT.
5	SLATE ROOFING PER MATERIAL SCHEDULE A-4.0 AND DTL 3/A-3.0.
6	CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BLT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/. MFGR. INST. INSTRUCTIONS. CMC 802.4.2.4)
7	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITH. 10', BUT SHALL NOT BE LESS THAN 3' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF (CBC 2113.9)
8	EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33
9	METAL GUTTER - KYNAR FINISH OR EQUIV., SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
10	DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
11	FURNISHINGS - AS SELECTED
12	BASE CABINET - BUILT-IN, FINISH AS SEL.
13	COUNTERTOP - AS SELECTED
14	KITCHEN SINK - AS SELECTED
15	CUSTOM BUILT KITCHEN ISLAND PER OWNER & ARCH.
16	KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFGR'S. INSTRS.
17	DOUBLE OVEN - AS SELECTED
18	DECK FRAMING - REF. STRUCT.
19	(N.) CONCRETE SLAB ON GRADE - REF. STRUCT. & CIVIL DWGS.
20	CONCRETE FOOTING - REF. STRUCTURAL
21	SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/. OWNER)
22	BASE CABINET - SINK UNIT, BUILT-IN, FINISH AS SEL.
23	BATHTUB - AS SELECTED (VERIFY LOCN. OF FIXTURES W/. OWNER)
24	SHELF AND POLE - BUILT IN, FINISH AS SEL.
25	INTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 4 & 18/AD-1
26	INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 4 & 9/AD-1
27	UPPER CABINET - BUILT-IN, FINISH AS SEL.
28	LAUNDRY SINK - AS SEL.
29	EXTERIOR GLASS GUARD - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTL. 4 & 13/AD-1
30	LINE OF TRELLIS ABV.
31	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1



2 LONGITUDINAL SECTION
1/4" = 1'-0"

SIM 1 A101	SECTION INDICATOR
SIM 1 A101	CALL-OUT TAG
Name Elevation	ELEVATION INDICATOR
1	REVISION FLAG
20 R @ 7 1/2"	STAIR TAG (NO. OF RISER & HEIGHT)
1	WALL TAG
101	DOOR TAG - REF. SHEET A-8
1	WINDOW TAG - REF. SHEET A-8
?	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A ANNOTATION LEGEND

	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/. STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

B SEPARATION LEGEND

PROJECT NAME
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BAY FRONT TRADITIONAL
400 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

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BUILDING SECTIONS

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REVISIONS

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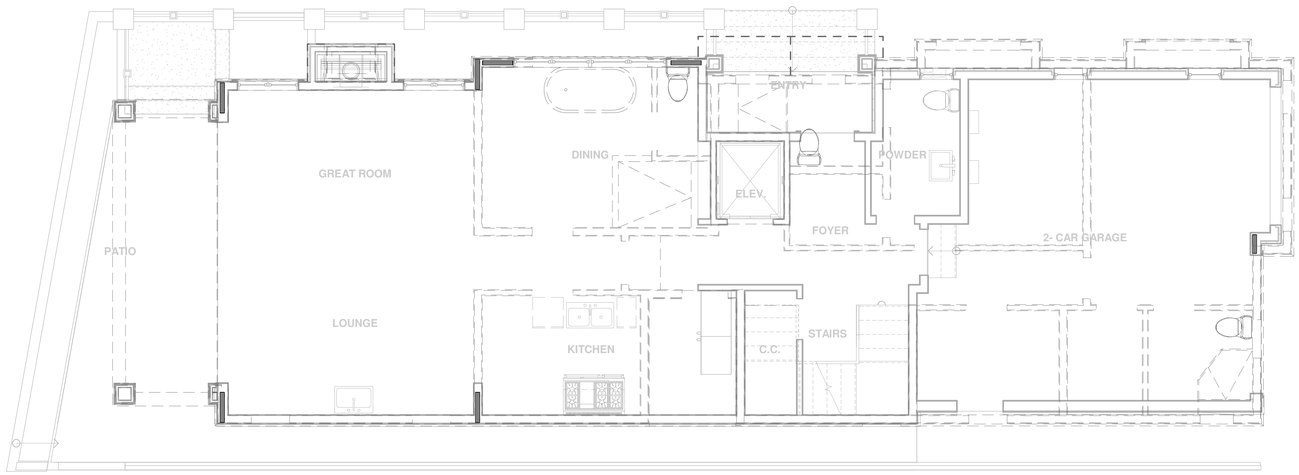
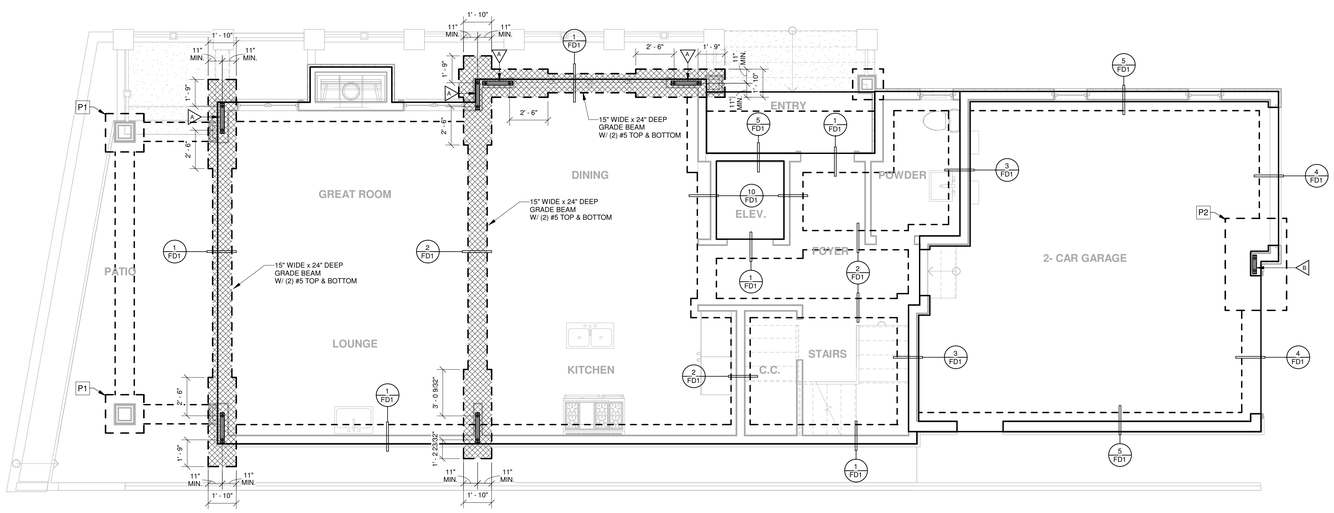


FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

ALL DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTS DRAWINGS ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO COMMENCING OF WORK.

1. ALL BEARING & SHEAR WALLS ARE TO BE SECURED WITH 5/8" DIAMETER BY 10" LONG ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE WITH A MAXIMUM SPACING OF 48" O.C. U.N.O. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER PIECE OF FOUNDATION PLATE WITH ONE BOLT LOCATED WITHIN 12" MAX. & 4-1/2" MIN. OF EA. END OF EA. PIECE. SHEAR WALLS BOLTS SHALL HAVE A PROPERLY SIZED NUT AND A 3"x3"x.229" WASHER. THE WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDE BETWEEN THE NUT AND WASHER. WASHER TO BE INSTALLED WITHIN A 1/2" OF THE SHEATHED SIDE OF THE PLATE. A STANDARD CUT WASHER MAY BE USED AT NON-SHEAR WALL LOCATIONS.
2. FOR ALL INTERIOR NON-SHEAR WALLS USE SIMPSON 0.145" DIAMETERx 3" LONG PDP POWDER ACTUATED ANCHORS @ 24" O.C. (ESR #2138 OR EQUAL)
3. INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION HARDWARE PER MANUFACTURERS RECOMMENDATIONS. DEEPEN FOOTING WHERE NECESSARY TO PROVIDE ANCHOR EMBEDMENT AT HOLDOWN LOCATIONS.
4. ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUG FIR OR REDWOOD WITH SODIUM BORATE (SBX) OR DISODIUM OCTABORATE TETRAHYDRATE (DOT).

NOTE:
WHEN REQUIRED BY LOCAL BUILDING DEPARTMENT ALL ANCHOR BOLTS AND HOLDOWN BOLTS TO BE SET IN PLACE PRIOR TO CITY FOUNDATION INSPECTION

SOIL INFORMATION:

1. FOUNDATION SIZES, DEPTHS, AND REINFORCEMENT ARE AS RECOMMENDED WITHIN THE OWNER/DEVELOPER'S SOILS ENGINEERS REPORT. SOILS ENGINEER TO PROVIDE FOUNDATION INSPECTOR AS OUTLINED IN LATEST SOIL REPORT.
2. OWNER/DEVELOPER AND SUBCONTRACTORS ARE TO REVIEW THE SOILS REPORT PRIOR TO COMMENCING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, DEVELOPER AND SUBCONTRACTOR TO VERIFY THAT THE REPORT DATE ABOVE IS CURRENT AND PLAN REQUIREMENTS ARE CONSISTANT WITH ANY UPDATED SOIL REPORTS. ESI/FME IS TO BE SUPPLIED WITH ALL UPDATED REPORTS.

15" WIDE x 24" DEEP FTG.
W/ 2-#5 TOP & BOTTOM CONT.

GRADE BEAM PER PLAN
WIDEN AT HARDY FRAME AS REQUIRED
SEE SHEET 'HFX1' FOR SHEAR TIE SPACING

SLAB:
5" THK. W/#4 BARS @ 12" O/C E/W @ MIDDLE NEW CONSTRUCTION WITH SLAB ON GRADE SHALL INSTALL A CAPILLARY BREAK IN COMPLIANCE WITH CG 4.505.2.1 WITH 2-INCH THICK LAYER OF SAND OVER A 15 MIL VAPOR BARRIER COMPLIANT WITH ASTM E 1745 OVER A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING. (FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.OR-06)

ANCHOR BOLT LEGEND:

AB48 : 5/8" DIA. X 12" ANCHOR BOLTS AT 48" O.C.
AB40 : 5/8" DIA. X 12" ANCHOR BOLTS AT 40" O.C.
AB32 : 5/8" DIA. X 12" ANCHOR BOLTS AT 32" O.C.
AB24 : 5/8" DIA. X 12" ANCHOR BOLTS AT 24" O.C.
AB16 : 5/8" DIA. X 12" ANCHOR BOLTS AT 16" O.C.
AB 8 : 5/8" DIA. X 12" ANCHOR BOLTS AT 8" O.C.

2AB : (2) 5/8" DIA X 12" ANCHOR BOLTS.
3AB : (3) 5/8" DIA. x 12" ANCHOR BOLTS.

2-#4 : PROVIDE A TOTAL OF 2 #4 AT TOP AND 2 #4 AT BOTTOM OF FOOTING, 3' PAST POSTS.
3-#4 : PROVIDE A TOTAL OF 3 #4 AT TOP AND 3 #4 AT BOTTOM OF FOOTING, 3' PAST POSTS.

HTT4 : (1) SIMPSON HTT4 PER POST.
HTT5 : (1) SIMPSON HTT5 PER POST.
HDU2 : (1) SIMPSON HDU2-SDS2.5 PER POST.
HDU5 : (1) SIMPSON HDU5-SDS2.5 PER POST.
HDU8 : (1) SIMPSON HDU8-SDS2.5 PER POST.
HDQ8 : (1) SIMPSON HDQ8-SDS3 PER POST.
HDU11 : (1) SIMPSON HDU11-SDS2.5 PER POST.
HDU14 : (1) SIMPSON HDU14-SDS2.5 PER POST

PAD FOOTING SCHEDULE	
NOTES: - CENTER PADS ON POSTS, U.N.O. - BOTTOM OF PAD TO MATCH BOTTOM OF FOOTING. - RUN FOOTING REINFORCING CONTIUOUS THROUGH PADS.	
PAD #	PAD SIZE AND REINFORCING
P1	30" SQ. x 40" DEEP CONCRETE PAD W/ #5 @ 12" O.C., EACH WAY, @ BOTTOM
P2	48"x 72"x RECT. x 24" DEEP CONCRETE PAD W/ (3) #5 EACH WAY, @ BOTTOM

LATERAL SHEAR NOTES:

(2016 CBC, SDPWS-2015 ; SEISMIC DESIGN CATEGORY D & E)
(TABLE 4.3A, AFPA SDPWS-2015)

VERTICAL: — FRAMING MEMBERS DOUGLAS FIR-LARCH AT 16" O.C

10. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 6" O.C AT EDGES AND 12" O.C. AT FIELD .....260 PLF
11. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 4" O.C AT EDGES AND 12" O.C. AT FIELD .....350 PLF
12. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 3" O.C AT EDGES AND 12" O.C. AT FIELD .....490 PLF
13. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 2" O.C AT EDGES AND 12" O.C. AT FIELD .....640 PLF
14. 1/2" (OR 15/32) WOOD STRUCTURAL PANEL WITH 10d COMMON NAILS AT 2" O.C AT EDGES AND 12" O.C. AT FIELD .....770 PLF
15. 1/2" (OR 15/32) STRUCT. I WOOD PANEL WITH 10d COMMON NAILS AT 2" O.C AT EDGES AND 12" O.C. AT FIELD .....870 PLF

HORIZONTAL: (3/8" @ CEILING LDS, 15/32 @ ROOF SHEATHING): — FRAMING MEMBERS DOUGLAS FIR-LARCH AT 24" O.C

20. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 6" O.C. AT BOUNDRIES, 6" AT CENTER AND 10" AT FIELD .....240 PLF
21. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 4" O.C. AT BOUNDRIES, 6" AT CENTER AND 10" AT FIELD .....320 PLF
22. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2.5" O.C. STAGG.AT BOUNDRIES, 4" AT CENTER AND 10" AT FIELD .....480 PLF
23. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2" O.C. STAGG.AT BOUNDRIES, 3" AT CENTER AND 10" AT FIELD .....545 PLF

HORIZONTAL: — FRAMING MEMBERS DOUGLAS FIR-LARCH AT 16" O.C

24. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 6" O.C. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD .....320 PLF
25. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 4" O.C. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD .....425 PLF
26. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2.5" O.C. STAGG. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD .....640 PLF
27. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2" O.C. STAGG. AT BOUNDRIES, 3" AT EDGES AND 10" AT FIELD .....730 PLF

NOTES:
A. WOOD STRUCTURAL PANEL: MATERIAL APPROVED BY APA, PFS/TECO OR PITTSBURG TESTING LABORATORIES THESE VALUES ARE FOR DOUG-FIR LARCH OR SOUTHERN PINE, OTHER LUMBER SPECIES MAY DIFFER IN SHEAR CAPACITIES.
B. PROVIDE 2X BLOCKING AT HORIZONTAL WOOD STRUCTURAL PANEL JOINTS. FRAMING AT ADJOINING PANEL EDGES SHALL BE 3X WHEN NAILING IS 2.5" O.C. OR LESS.
C. WHERE WOOD STRUCTURAL PANEL IS APPLIED ON BOTH FACES OF WALL AND NAIL SPACING IS LESS THAN 6" O.C. PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3X OR WIDER AND NAILS STAGGERED ON EACH SIDE.
D. FOR SHEAR WALLS 1 TO 4 USE THE FOLLOWING:
1) USE 3x MEMBER @ PANEL JOINTS & HORIZONTAL BLOCKING
2) EDGE NAILING SHALL BE STAGGERED
E. 10d SHORT BOX NAILS MAY BE USED IN LIEU OF 8d COMMON NAILS @ SHEAR WALLS ONLY.
F. REQUIRED STEEL PLATE WASHERS AT SHEAR WALLS ONLY (WHEN ANCHOR BOLTS ARE USED: 3" x 3" x .229" STEEL PLATE WASHERS ARE REQUIRED ON EACH ANCHOR BOLT (SDPWS SECT. 4.3.6.4.3) WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE WASHER AND NUT. WASHER TO BE INSTALLED WITHIN 1/2" OF SHEATHED SIDE OF PLATE.
G. A STANDARD CUT WASHER MAY BE USED AT ALL NON-SHEAR WALL LOCATIONS WITH ANCHOR BOLTS.

HORIZONTAL:
ALL ROOF AND FLOOR SHEATHING TO BE EXPOSURE I OR EXTERIOR

ROOF:
-JOIST SPACING EQUAL TO OR LESS THAN 24" O.C: 15/32"WOOD STRUCTURAL PANEL PII 32/16, WITH 8d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.
-HORIZONTAL DIAPHRAGM VALUES FOR 3/8" WOOD STRUCTURAL PANELS MAY BE USED FOR 15/32" WOOD STRUCTURAL PANELS. U.N.O.

FLOOR:
-JOIST SPACING EQUAL TO OR LESS THAN 16" O.C: 19/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 32/16, w/10d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.
-JOIST SPACING EQUAL TO OR LESS THAN 20" O.C: 19/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 40/20, w/10d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.
-JOIST SPACING EQUAL TO OR LESS THAN 24" O.C: 23/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 48/24, w/10d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.

PANEL EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH * BLOCKING NOT REQUIRED WHEN LIGHTWEIGHT CONCRETE IS PLACED OVER SUBFLOOR.

FRAMING LEGEND:

ROOF JOISTS AND RAFTERS
INDICATES SPAN AND DIRECTION OF TRUSSES
INDICATES SPAN AND DIRECTION OF FLOOR JOISTS
INDICATES SPAN AND DIRECTION OF CEILING JOISTS
INDICATES SPAN AND DIRECTION OF DECK JOISTS (SLOPED AS REQUIRED)

A. 2x6 AT 12" O.C
B. 2x6 AT 16" O.C
C. 2x6 AT 24" O.C
D. 2x8 AT 12" O.C
E. 2x8 AT 16" O.C
F. 2x8 AT 24" O.C
G. 2x10 AT 12" O.C
H. 2x10 AT 16" O.C
J. 2x10 AT 24" O.C
K. (2) 2x10 AT 16" O.C
L. 2x12 AT 12" O.C
M. 2x12 AT 16" O.C
N. 2x12 AT 24" O.C
P. (2) 2X12 AT 16" O.C
T. TRUSS AT 24" O.C

I-JOIST TABLE		
MARK	SPACING	SIZE & MANUFACTURER OPTIONS
Q-	I-JOIST @ 12" O.C.	a) 9 1/2" TJI / 230
R-	I-JOIST @ 16" O.C.	
S-	I-JOIST @ 19.2" O.C.	
U-	I-JOIST @ 12" O.C.	a) 11 7/8" TJI / 360
V-	I-JOIST @ 16" O.C.	
W-	I-JOIST @ 19.2" O.C.	
X-	I-JOIST @ 12" O.C.	a) 14" TJI / 360
Y-	I-JOIST @ 16" O.C.	
Z-	I-JOIST @ 19.2" O.C.	

G=L - INDICATES (1) GANGLAM LVL 1.8E
GLB - INDICATES GLULAM BEAM
M=L - INDICATES (1) MICROLAM 2.0E
PSL - INDICATES PARALAM 2.0E
LSL - INDICATES TIMBERSTRAND 1.55E
E/S - EACH SIDE
FL. HT. - FULL HEIGHT
ALT. - - ALTERNATE
TYP. - TYPICAL
U.W.A. - UNDER WALL ABOVE
L.O.B. - INDICATES LINE OF BLOCKING
R.T.R. - RUN TO ROOF
'U' - INDICATES 'U' HANGER, U.N.O.
'C' - INDICATES 'HU' HANGER, U.N.O.
(#) - INDICATES HEADERS AND BEAMS, REFER TO ENGINEERING CALCS

NOTE:
1 * APPLY SHEAR PRIOR TO FRAMING OF PERPENDICULAR WALL AND/OR BOX-OUTS. (WHERE APPLICABLE)

FRAMING NOTES LEGEND MARK: DESCRIPTION	SPN=SOLE PLATE NAILING NAILS= 16d BOX
SPN12: 16d SOLE PLATE NAILING @ 12" O.C.	
SPN10: 16d SOLE PLATE NAILING @ 10" O.C.	
SPN8: 16d SOLE PLATE NAILING @ 8" O.C.	
SPN6: 16d SOLE PLATE NAILING @ 6" O.C.	
SPN4: 16d SOLE PLATE NAILING @ 4" O.C.	
SPN3: 16d SOLE PLATE NAILING @ 3" O.C. STAGGERED	
SPN2: 16d SOLE PLATE NAILING @ 2" O.C. STAGGERED	

XX - INDICATES LATERAL ENHANCEMENT. WALL NOT CONSIDERED IN LATERAL ANALYSIS.

(#) - SHEAR WALL GRID LINE, REFERENCE STRUCTURAL CALCS

FASTENERS AND CONNECTORS TO BE GALVANIZED FOR PRESERVATIVE PRESSURE TREATED WOOD.

PROJECT NAME
BAY FRONT PLACE

STATUS
FIRST SUBMITTAL

ESI/FME INC.
STRUCTURAL ENGINEERS
3915 E. WHITTIER STE. B
SANTA ANA, CA 92703
PHONE: 714-838-2800
FAX: 714-838-2818

02-28-19
JOB #K046

REGISTERED PROFESSIONAL ENGINEER
RAJDEEP MAJMUDAR
C 36840
CIVIL
STATE OF CALIFORNIA

OWNER INFORMATION:
GARRETT CALACCI
610 NEWPORT CENTER DRIVE, SUITE 890,
NEWPORT BEACH, CA 92660

BAY FRONT PLACE

400 S BAY FRONT
NEWPORT BEACH, CA 92662

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FOUNDATION PLAN

REVISIONS

NO.	DESCRIPTION	DATE

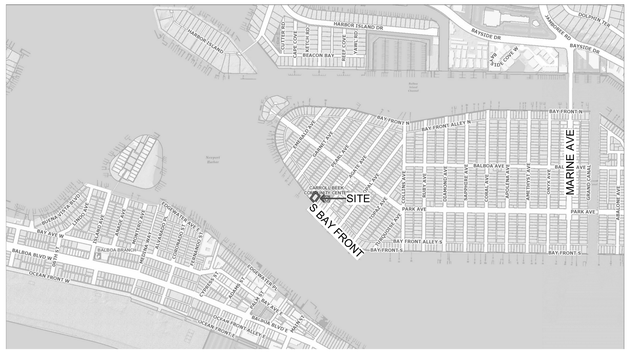
JOB NO. K046
DATE 02-28-2019
SHEET NO.
S1

BRANDON ARCHITECTS, INC.

MODERN BAY FRONT

402 S. BAY FRONT, NEWPORT BEACH, CA 92662

SHEET #	DRAWING TITLE
T-1.0	TITLE SHEET
T-1.1	GENERAL ARCHITECTURAL NOTES
T-1.2	SUPPLEMENTAL NOTES & DOCUMENTS
SUR	TOPOGRAPHIC SURVEY
A-0.0	ARCHITECTURAL SITE PLAN
A-0.1	BUILDING AREA PLANS
G-02	PRECISE GRADING PLAN
G-04	EROSION CONTROL PLAN
A-1.0	3-DIMENSIONAL VIEWS
A-2.0	FLOOR PLANS
A-3.0	ROOF PLAN
A-4.0	EXTERIOR ELEVATIONS & MATERIAL SCHEDULE
A-5.0	BUILDING SECTIONS
S1	FOUNDATION PLAN
FD1	FOUNDATION DETAILS



PROJECT DESCRIPTION:

THE SUBJECT PROPERTY IS LOCATED IN NEWPORT BEACH, CA ON BALBOA ISLAND ON SOUTH BAY FRONT WEST OF THE FERRY TERMINAL. THE EXISTING LOT IS APPROX. 30' WIDE BY APPRX. 86' DEEP AND ZONED R-BI (BALBOA ISLAND) AND APPROX. 2,591.66 S.F.. THE CLIENT PROPOSES TO BUILD A NEW 3-STORY SINGLE FAMILY RESIDENCE APPROX. 2,655 S.F. LIVING AND 450 S.F. GARAGE TO BE WOOD FRAMED WITH A CONCRETE FOUNDATION. THE PROJECT WILL BE OF A SOFT CONTEMPORARY DESIGN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: AMPLE INDOOR/OUTDOOR LIVING SPACES INTEGRATED WITH A MODERN 'OPEN' LIVING FLOOR PLAN WHICH MAXIMIZES LIGHT AND VIEWS FROM LIVING SPACES AS WELL AS OUTDOOR PATIOS, AND DECKS. AMPLE PARKING WILL BE PROVIDED IN THE FORM OF A 2-CAR GARAGE WITH ACCESS OFF OF S. BAY FRONT ALLEY. THE EXTERIOR WILL BE PRIMARILY SMOOTH STUCCO AND BRICK VENEER, WITH NATURAL WOOD AND METAL ELEMENTS. THE HOME WILL HAVE APPROXIMATELY 3 BEDROOM SUITES, AND 4 BATHS. OUTDOOR LIVING WILL BE PROVIDED IN THE FORM OF PATIOS, BALCONIES AND DECKS.

VICINITY MAP/ PROJECT DESCRIPTION 11

MATERIAL LEGEND 9

- ALUMINUM
- CONCRETE
- EARTH
- GYPSUM - PLASTER
- INSULATION - RIGID
- MASONRY - BRICK/STONE
- MASONRY - CONCRETE BLOCK
- PLYWOOD / GLU-LAM TIMBER
- SAND
- STEEL
- WOOD

ANNOTATION LEGEND 10

- N 90 00' 00" E Distance — NORTH ARROW
- PROPERTY LINE TAG
- 1 SIM A101 — SECTION INDICATOR
- Room name 150 SF — ROOM TAG (NAME / AREA)
- 1 SIM A101 — CALL-OUT TAG
- Name Elevation — ELEVATION INDICATOR
- 1 — REVISION FLAG
- 20 R @ 7 1/2" — STAIR TAG (NO. OF RISER & HEIGHT)
- 1i — WALL TAG
- 101 — DOOR TAG
- 1i — WINDOW TAG
- ? — KEYNOTE TAG

DEFERRED SUBMITTALS 7

1. REF. STRUCT. SHTS. FOR SPECIAL INSPECTION BY ENGINEER OF RECORD
2. HERS VERIFICATION REQUIRED, REF. T-24 ENERGY CALCULATIONS

SPECIAL INSPECTIONS 6

1. LANDSCAPE PLAN, BBQ, FIRE PIT, ACCESSORY STRUCTURES, MASONRY OR CONCRETE WALLS/FENCES; RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF WALL; UNDER SEPERATE SUBMITTAL (FOR H.O.A. PURPOSES).

2. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

3. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER ARI STD. 275. SOUND LEVEL NOT TO EXCEED 50dBA (55dBA WITH TIMER, 65dBA WITH TIMER AND NEIGHBORS CONSENT). LOCATION OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING.

4. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.

5. FIRE SPRINKLERS REQUIRED, CONSTRACTOR TO SUBMIT FIRE SPRINKLER DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO SUBMITTING TO CITY. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.

6. GLASS GUARD/HANDRAILS

NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL TO LOCAL AGENCY FOR REVIEW.

C.N.B. NOTE: CHRISTOPHER BRANDON, PRINCIPAL ARCHITECT IS THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THE PROJECT, RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. (NBMC 15.02.010)

PROJECT STATISTICS 8

BUILDING AREA SCHEDULE

Name	AREA	COMMENTS
FIRST FLOOR	1005 SF	
SECOND FLOOR	1362 SF	
THIRD FLOOR	291 SF	
TOTAL LIVING	2659 SF	
2-CAR GARAGE	450 SF	
TOTAL GARAGE	450 SF	
GRAND TOTAL	3108 SF	

OUTDOOR AREA SCHEDULE

NAME	AREA	COMMENTS
PATIO	175 SF	PARTIALLY COVERED
L1	73 SF	UNCOVERED
OPEN SPACE 1	282 SF	COVERED
OPEN SPACE 2	123 SF	PARTIALLY COVERED
TOTAL OPEN SPACE	654 SF	
ROOF DECK	606 SF	UNCOVERED
VIEW DECK	491 SF	UNCOVERED
TOTAL ROOF DECK	1098 SF	
TOTAL OUTDOOR	1751 SF	

AGENCIES & PUBLIC SERVICES 4

DIG ALERT:	1.800.227.2600
SOUTHERN CALIFORNIA EDISON:	1.714.895.0246
SOUTHERN CALIFORNIA GAS:	1.800.427.2000
CITY WATER & SEWER:	1.949.644.3011
PACIFIC BELL TELEPHONE:	1.800.750.2355
CITY OF NEWPORT BEACH PUBLIC WORKS DEPT.:	1.949.644.3311
CITY OF NEWPORT BEACH PLANNING DEPT.:	
GENERAL INFOMATION:	1.949.644.3200
ZONING INFORMATION:	1.949.644.3204
CITY OF NEWPORT BEACH BUILDING DEPT.:	
GENERAL:	1.949.644.3275
PERMITS:	1.949.644.3288
INSPECTIONS:	1.949.644.3255
NEWPORT BEACH FIRE DEPARTMENT:	1.949.644.3106
ORANGE COUNTY HEALTH SERVICES:	1.714.834.3882

PROJECT DIRECTORY 2

ARCHITECT:
BRANDON ARCHITECTS, INC.
CHRISTOPHER BRANDON
151 KALMUS DR. STE. G-1
COSTA MESA, CA 92626
P: 714.754.4040
WWW.BRANDONARCHITECTS.COM

OWNER:
SOUTH BAYFRONT WATERPOINTE, LLC.
MR. GARRETT CALACCI, PRESIDENT
610 NEWPORT CENTER DR.
SUITE 890
NEWPORT BEACH, CA 92660
P: 949.644.8900

STRUCTURAL ENGINEER:
FARHAD MANSHADI, LIC. NO. C36840
ESI/FME, INC.
1800 E. 16TH ST., STE. B
SANTA ANA, CA 92701
P: 714.835.2800
F: 714.835.2819

CIVIL ENGINEER:
FORKETT ENGINEERING
TOM RUIZ
P: 714 963 6793
22311 BROOKHURST ST.
HUNTINGTON BEACH, CA 92646

GENERAL CONTRACTOR:
WATERPOINTE PROPERTIES, LLC
MR. GARRETT CALACCI, PRESIDENT
610 NEWPORT CENTER DR.
SUITE 890
NEWPORT BEACH, CA 92660
P: 949.644.8900

LANDSCAPE DESIGNER:
TBD

SURVEYOR:
APEX LAND SURVEYING, INC.
PAUL CRAFT, LIC. NO. 8516
HUNTINGTON BEACH, CA 92646
P: 714.488.5006
F: 714.333.4440

SOILS ENGINEER:
EGA CONSULTANTS, LLC.
375-C MONTE VISTA AVE.
COSTA MESA, CA 92627
P.949.642.9303

INTERIOR DESIGNER:
TBD

TITLE 24 CONSULTANT:
TBD

CODE REVIEW 3

CODES: NBMC (NEWPORT BEACH MUNICIPAL CODE)
CALIFORNIA CODES: 2016 CBC, 2016 CFC, 2016 CEC, 2016 CPC, AND 2016 CMC, 2016 CAL GREEN

OCCUPANT LOAD ____ 1 UNIT
OCCUPANCY CLASSIFICATION ____ R-3 / U
OCCUPANCY SEPARATIONS (GARAGE) ____ 1-HR.
FLOOR & FLOOR-CEILINGS ____ N/A
TYPE OF CONSTRUCTION ____ V-B - SPRK'R.
FIRE SPRINKLER: NFPA 13D ____ YES
HEIGHT ____ 3 STORY
FLOOR AREA ____ REF. 8/T-1.0
ALLOWABLE BLDG. AREA ____ N/A
(PER CBC TBL. 503)

LEGAL DESCRIPTION:
APN: 050-043-13
LOT 2 BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA,AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

LOT INFORMATION:
ZONED: R-B1
SITE AREA: 2630 S.F. BUILDABLE AREA: 1992 S.F.
TOTAL ALLOWABLE AREA: 1.5 x 1992 S.F. = 2988 S.F. +200 S.F. =.3188 S.F.
REQ'D OPEN VOLUME = 1992 S.F. X .15 = 298.8 S.F. (7'-6" HT MIN.)
OPEN VOLUME PROVIDED= 654 S.F. > 298.8 S.F.

EXISTING BUILDING INFORMATION:
EXISTING MULTI FAMILY W/ GARAGE TO BE DEMOLISHED
EXISTING S.F. = 1,842.37 S.F. (FOOTPRINT)

ZONING INFORMATION:
FRONT SETBACK: 0 FT.
REAR SETBACK: 5 FT.
LEFT SETBACK: 3 FT.
RIGHT SETBACK: 3 FT.

SHEET LIST 1

PROJECT NAME
MODERN BAY FRONT

STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT
WATERPOINTE, LLC
GARRETT CALACCI
610 NEWPORT CENTER
DRIVE, SUITE 890
NEWPORT BEACH, CA
92660

MODERN BAY FRONT
402 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
CAITLIN SMITH

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

TITLE SHEET

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30

DATE 05/08/2019

SHEET NO.

T-1.0

ABBREVIATIONS

&	AND	DR.	DOOR	HDR.	HEADER	PERIM.	PERIMETER	U.	UNDER
∠	ANGLE	D.S.	DOWN SPOUT	HDWD.	HARDWOOD	PL.	PLATE/PROPERTY LINE	U.B.C.	UNIFORM BUILDING CODE
@	AT	D.S.P.	DRY STAND PIPE	HDWR.	HARDWARE	P.LAM.	PLASTIC LAMINATE	U.G.	UNDERGROUND
⌒	CENTERLINE	DWG.	DRAWING	H.M.	HOLLOW METAL	PLAS.	PLASTER	U.L.	UNDERWRITER'S LABORATORY
Ø	DIAMETER OR ROUND			HORIZ.	HORIZONTAL	PLUMB.	PLUMBING	UNF.	UNFINISHED
⊥	PERPENDICULAR	(E.)	EXISTING	HR.	HOUR	PLYWOOD	PLYWOOD	U.N.O.	UNLESS NOTED OTHERWISE
#	POUND OR NUMBER		EAST, ENTRY	HT./HGT.	HEIGHT	PNT.	PAINT(ED)	UR.	URINAL
℄	PROPERTY LINE, PLATE		EACH	HVAC	HEATING VENTILATING/AIR COND.	P.O.C.	POINT OF CONNECTION		
A.B.	ANCHOR BOLT	EJ.	EXPANSION JOINT			PR.	PAIR	V.	VERTICAL
ABV.	ABOVE	EL.	ELEVATION	I.D.	INSIDE DIAMETER/INTERIOR DESIGNER	PROJ.	PROJECTION	VENT.	VENTILATING
A/C	AIR CONDITIONING	ELEC.	ELECTRIC	IN.	INCH	PSL.	PARALLEL STRAND LAMINATE	VERT.	VERTICAL
A.C.	ASPHALT CONCRETE	ELEV.	ELEVATOR	INSUL.	INSULATION	PT.	POINT	VER.	VERIFY
ACOUS.	ACOUSTICAL	EMER.	EMERGENCY	INT.	INTERIOR			V.T.R.	VENT THROUGH ROOF
A.D.	AREA DRAIN	ENCL.	ENCLOSURE	INV.	INVERT/INVERTED	R.A.	RETURN AIR		
ADH.	ADHESIVE	E.P.	ELECTRIC PANEL			RAD.	RADIUS	W.	WEST, WIDE, WIDTH
ADJ.	ADJUSTABLE	EQ.	EQUAL / EQUIVALENT	JAN.	JANITOR	R.D.	ROOF DRAIN	W/.	WITH
AL.	ALUMINUM	EQPT./EQPM.	EQUIP/MENT	JT.	JOINT	R.D.L.	ROOF DRAIN LEADER	WD.	WOOD
ALT.	ALTERNATE	E.W.	EACH WAY	JST.	JOIST	RECPT.	RECEPTACLE	W.H.	WATER HEATER
ANOD.	ANODIZED	EXST.	EXISTING			RECT.	RECTANGULAR	W.C.	WATER CLOSET
A.P.	ACCESS PANEL	EXH.	EXHAUST	KIT.	KITCHEN	REF.	REFERENCE	W.I.	WROUGHT IRON
APPX.	APPROXIMATELY	EXPO.	EXPOSED	L.	LOW/LINEN	REFR./ R/F.	REFRIGERATOR	WP.	WATERPROOF
APPR/PD.	APPROVED	EXT.	EXTERIOR	L.A.	LANDSCAPED AREA	REG.	REGISTER	W.W.M.	WELDED WIRE MESH
ARCH.	ARCHITECTURAL	E.G.	EXISTING GRADE	LAB.	LABORATORY	REINF.	REINFORCEMENT		
ASB.	ASBESTOS			LAM.	LAMINATE	REQ'D.	REQUIRED		
ASSY.	ASSEMBLY	F.	FIXED	LAV.	LAVATORY	RESIL.	RESILIENT		
AUTO.	AUTOMATIC	F.A.	FIRE ALARM	LBS.	POUNDS	RET.	RETAIN(ING), RETURN		
B.	BATH	FAC.	FACTORY	LFA	LOAD FROM ABOVE	RM.	ROOM		
BD.	BOARD	F.C.O.	FLOOR CLEAN OUT	L.H.	LEFT HAND	R.O.	ROUGH OPENING		
BEL.	BELOW	F.D.	FLOOR DRAIN	LKR.	LOCKER	R.R.	ROOF RAFTER		
BET.	BETWEEN	FDN.	FOUNDATION	LT.	LIGHT	RWD.	REDWOOD		
BITUM.	BITUMINOUS	F.E.	FIRE EXTINGUISHER	LUM.	LUMINOUS				
BLDG.	BUILDING	F.E.C.	FIRE EXTINGUISHER CABINET			S.	SOUTH		
BLK.	BLOCK	F.G.	FINISH GRADE	MAINT.	MAINTENANCE	S.A.	SUPPLY AIR		
BLK'G.	BLOCKING	F.H.	FLAT HEAD	MAS.	MASONRY	S.C.	SOLID CORE		
BM.	BEAM	FIN.	FINISH	MAT.	MATERIAL	S.C.D.	SEAT COVER DISPENSER		
B.O.	BY OWNER/BY OTHERS	FIX./FIXT.	FIXTURE	MAX.	MAXIMUM	SCHED.	SCHEDULE		
BOT.	BOTTOM	F.J.	FLOOR JOIST	M.B.	METAL BOLT	S.D.	SUB DRAIN/SOAP DISPENSER		
BR.	BEDROOM	FL.	FLOW LINE	M.C.	MEDICINE CABINET	SEC.	SECTION		
B.W.	BACK OF WALK, BOT. OF WALL	FLASH.	FLASHING	MECH.	MECHANICAL	SEL.	SELECTED		
		FLR.	FLOOR	MEMB.	MEMBRANE	SHT.	SHEET		
CAB.	CABINET	FLUOR.	FLUORESCENT	MET./MTL.	METAL	SHT'G.	SHEATHING		
C.B.	CATCH BASIN	F.O.C.	FACE OF CONCRETE/FACE OF CURB	MFR./MFGR.	MANUFACTURER	SIM.	SIMILAR		
CEM.	CEMENT	F.O.F.	FACE OF FINISH	M.H.	MAN HOLE	SIMP.	SIMPSON		
C.G.	CORNER GUARD	F.O.S.	FACE OF STUD/FACE OF STRUCTURE	MIN.	MINIMUM	S.J.	SOFFIT JOIST		
CHAN.	CHANNEL	F.O.M.	FACE OF MASONRY	MIR.	MIRROR	S.S.	STAINLESS STEEL		
CHG.	CHANGE	FP.	FIREPLACE	MISC.	MISCELLANEOUS	S.SK.	SKYWIDE SINK		
C.I.	CAST IRON	F.S.	FLOOR SINK	M.O.	MASONRY OPENING	STA.	STATION		
C.J.	CONTROL JOINT/ CONST. JOINT	FT.	FOOT OR FEET	MOS.	MOSAIC	STD.	STANDARD		
CLG.	CEILING /CEILING JOIST	FTG.	FOOTING	MTD.	MOUNTED	STL.	STEEL		
CLKG.	CAULKING	FURR.	FURRING	MUL.	MULLION	STOR.	STORAGE		
CLR.	CLEAR	FUT.	FUTURE	(N.)	NEW	STRUCT.	STRUCTURAL		
CNTR.	COUNTER	F.V.	FIELD VERIFY	N.	NORTH	SUSP.	SUSPENDED		
CONC.	CONCRETE			NAT.	NATURAL	SYM.	SYMMETRICAL		
COND.	CONDITION	GA.	GAUGE	N.I.C.	NOT IN CONTRACT				
CONST.	CONSTRUCTION	GALV.	GALVANIZED	N.G.	NATURAL GRADE	T.	TREAD		
CONT.	CONTRACTOR/ CONTINUOUS	G.B.	GRAB BAR/GRADE BEAM	NO.	NUMBER	T.C.	TOP OF CURB		
CORR.	CORRIDOR, CORROSIVE	G.C.	GENERAL CONTRACTOR	NOM.	NOMINAL	T.CL.	TIME CLOCK		
CTSK.	COUNTERSUNK	GEN.	GENERAL	N.T.S.	NOT TO SCALE	TEL.	TELEPHONE		
CTR.	CENTER	G.F.I.	GROUND FAULT INTERRUPT			TEMP.	TEMPERED		
		GALV.	GALVANIZED IRON	O/.	OVER	TER.	TERRAZZO		
DBL.	DOUBLE	GL.	GLASS	O.A.	OVERALL	T.&G.	TONGUE AND GROOVE		
DECO.	DECORATIVE	GLB.	GLU-LAM BEAM	OBS.	OBSCURE	THK.	THICK		
DEPT.	DEPARTMENT	GND.	GROUND	O.C.	ON CENTER	T.P.	TOP OF PAVING		
DET.	DETAIL	GR.	GRADE	O.D.	OUTSIDE DIAMETER (DIMENSION)	T.PL.	TOP OF PLATE		
D.F.	DRINKING FOUNTAIN/DOUGLASS FIR	GYP.	GYPSUM	O.F.D.	OVERFLOW DRAIN	T.O.S.	TOP OF STRUCTURE/SLAB		
DIA.	DIAMETER	G.P.	GRADE PLANE	OFF.	OFFICE	TRANS.	TRANSFORMER		
DIAG.	DIAGONAL			OPNG.	OPENING	T.S.	TOP OF STEP		
DIM.	DIMENSION			OPP.	OPPOSITE	T.W.	TOP OF WALL		
DN.	DOWN	H.	HIGH			TYP.	TYPICAL		
		H.B.	HOSE BIB						
		H.C.	HOLLOW CORE						
		HD.	HARD						

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GENERAL NOTES CONTINUED

61. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION, AND SURROUNDING AREAS, FREE OF DEBRIS OR HAZARDOUS MATERIALS AT ALL TIMES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM RISING.

62. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. ANY DAMAGE TO EXISTING STRUCTURES DURING THE CONSTRUCTION OR THE NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.

63. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED. CONTRACTOR SHALL PROVIDE PROPER SAFEGUARDS DURING ALL PHASES OF CONSTRUCTION.

64. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE, AS NECESSARY, ELECTRICAL, TELEPHONE, WATER, SEWER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WILL ALL LOCAL UTILITY COMPANIES.

65. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION FOR PORTIONS OF THE WORK THAT BECOME EXPOSED TO WEATHER AND SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY INSUFFICIENT PROTECTION.

66. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.

67. CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE OWNER FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL AN AUTHORIZATION TO PROCEED, SIGNED BY THE ARCHITECT & OWNER'S REPRESENTATIVE IS RETURNED TO THE GENERAL CONTRACTOR.

68. CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE-RATED SEPARATION WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATION OF MATERIALS WITHIN FIRE RATED ASSEMBLIES, AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS, ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ANY CHANGE IN MATERIAL, THAT IS REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR IT'S SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED CONSTRUCTION ASSEMBLY. SPECIFIC SEQUENCES OR METHODS OF ACHIEVING FIRE RATED ASSEMBLIES REQUIRED BY A "U.L. NO." LISTING SHALL BE FOLLOWED WITHOUT DEVIATION, UNLESS OTHERWISE NOTED OR DETAILED.

69. CONTRACTOR TO FURNISH AND INSTALL ALL BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, TOILET FIXTURES, AND ACCESSORIES OR 'BY OTHER' ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS TO BE CONTACTED TO PROPER THE IMPOSED LOAD.

70. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS.

71. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY/COORDINATE UTILITY REQUIREMENTS FOR ALL OWNER/VENDOR FURNISHED EQUIPMENT, FIXTURES OR APPLIANCES.

72. CONTRACTOR SHALL PROVIDE ALL NECESSARY FASTENERS, SUPPORTS, SHIMMING, FLASH PATCHING, ETC. FOR THE PROPER INSTALLATION OF SUCH ITEMS AS DIRECTED BY THE MANUFACTURERS.

73. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE TO THE OWNER A COMPLETE SET OF AS-BUILT CIVIL, LANDSCAPE, ARCHITECTURAL, MECHANICAL, PLUMBING ELECTRICAL AND FIRE PROTECTION DRAWINGS ALONG WITH THE WRITTEN GUARANTEES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS AND SPECIFICATIONS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES AND REVIEWED FOR COMPLETENESS AT EACH PROGRESS MEETING.

74. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VACUUM CLEAN ALL CARPETED ARES, CLEAN ALL FLOORING, MILLWORK, LIGHT FIXTURES, GLASS, ETC. AND UNCOVER AND VACUUM OUT ALL MECHANICAL UNITS AFTER THE WORK IS COMPLETED AND MAINTAIN CLEAN CONDITIONS THROUGH THE TENANTS MOVE-IN.

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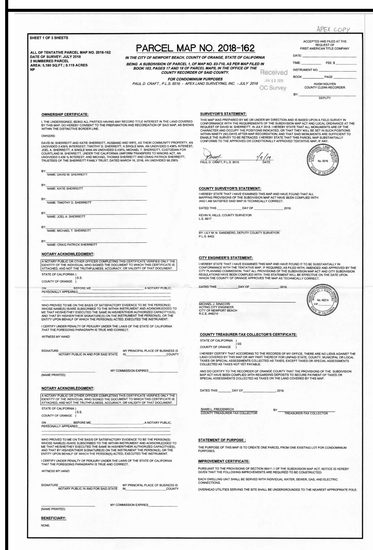
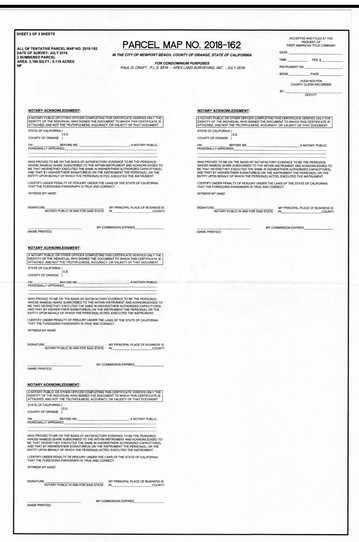
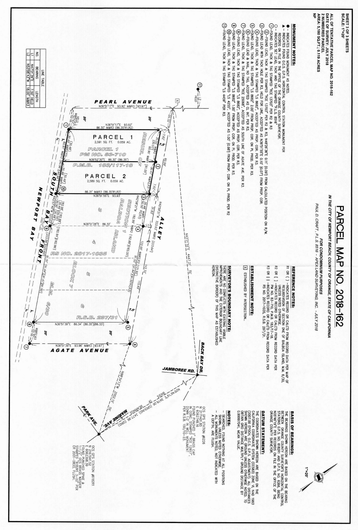
PARCEL MAP







DEFINITIONS:

(AS USED IN THESE SPECIFICATIONS)

- OWNER SHALL MEAN: SOUTH BAYFRONT WATERPOINTE, LLC
- CONTRACTOR SHALL MEAN: LICENSED GENERAL CONTRACTOR HIRED TO PERFORM THE WORK UNDER THIS CONTRACT
- ARCHITECT SHALL MEAN: BRANDON ARCHITECTS, INC., CHRISTOPHER BRANDON PRINCIPAL
- SPECIFICATIONS SHALL MEAN: WRITTEN SPECIFICATIONS IN THE PLANS OR THE "PROJECT MANUAL" (IF PROVIDED FOR THIS PROJECT)
- CONTRACT DOCUMENTS SHALL MEAN: WORKING DRAWINGS APPROVED FOR BUILDING PERMIT, PLUS ANY CHANGE ORDERS OR ADDENDA TO SAME.

1. CODES/GENERAL PROVISIONS:
ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE APPLICABLE BUILDING CODES AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR, SUB-CONTRACTORS, AND ANYONE SUPPLYING LABOR AND/OR MATERIAL TO BRING TO THE ATTENTION OF THE ARCHITECT (VERBALLY AND IN WRITING) ANY KNOWN DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THESE CODES AND THE CONTRACT DOCUMENTS (DRAWINGS). THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE AS LISTED IN "CODE REVIEW" BOX. (1.)
THE CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY, LOCAL AND INDUSTRY REQUIREMENTS AND STANDARDS INCLUDING THE FOLLOWING:
THE BUILDING CODES, **2016** EDITIONS, AS ADOPTED BY **CALIFORNIA**, ALL APPLICABLE RELATED SPECIALTY CODES.
THE FUNCTIONALITY STANDARDS SET FORTH IN TITLE 7 OF THE CALIFORNIA CIVIL CODE (THE "RIGHT TO REPAIR ACT")
ANY WORK THAT RESTRICTIONS IMPOSED BY THE **CITY OF NEWPORT BEACH**
THE MANUFACTURER'S REQUIREMENTS OF RECOMMENDATIONS FOR ANY INCORPORATED PRODUCTS.

2. FEES:
CONTRACTOR AND HIS SUB-CONTRACTORS SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLANCHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND DRAINS CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.

3. CONTRACTOR'S SURVEY:
CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.

4. COORDINATION OF CONSTRUCTION:
CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS; FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS; FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ONE OTHER TRADES. CONTRACTORS, CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERINTENDENT SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.

5. CLEAN-UP:
ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.

6. TESTS AND PERMITS:
CONTRACTOR SHALL ARRANGE FOR, AND SECURE REQUIRED TESTS, PERMITS AND INSPECTIONS, AND SHALL BEAR COSTS FOR SAME.

7. GUARANTEES:
CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK FOUND TO BE DEFECTIVE WITHIN THE ONE YEAR PERIOD WHICH MAY BE EXPIRED DURING SO, THAT MAY PROVE DEFECTIVE WITHIN THE ONE YEAR PERIOD. ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT IS EXCEPTED. EXCEPTIONS TO ONE YEAR GUARANTEE ARE SPECIFIED IN OTHER SECTIONS OF THE PROJECT MANUAL OR DRAWINGS. STATE LAW, OR MANUFACTURER'S GUARANTEE SHALL GOVERN IF LENGTH AND TYPES OF GUARANTEES ARE MORE STRICT OR FOR LONGER PERIODS.
IT IS UNDERSTOOD BY CONTRACTOR THAT IT IS HIS RESPONSIBILITY TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS.
CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL ONE YEAR GUARANTEE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER.

8. WAIVER OF LIENS:
CONTRACTOR SHALL PROVIDE CERTIFIED RELEASE OF LIENS BY ALL SUB-CONTRACTORS AND SUPPLIERS, OR ANYONE PROVIDING MATERIALS AND/OR LABOR AS THEY BECOME AVAILABLE.

9. ROLL OF ARCHITECT DURING CONSTRUCTION:
THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER. ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER, MEETING NOTE, MEMORANDA, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.

10. A.I.A. GENERAL CONDITIONS:
THE CURRENT GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY AS THOUGH IT WERE PART OF THESE DOCUMENTS UNLESS SPECIFICALLY MODIFIED IN THE OWNER/CONTRACT AGREEMENT. TOP OF THE GENERAL CONDITIONS MAY BE OBTAINED FROM THE ARCHITECT UPON REQUEST. THE NOTES CONTAINED IN THESE "GENERAL NOTES" ON THIS SHEET ARE INTENDED TO SUMMARIZE AND COMPLIMENT THE A.I.A. GENERAL CONDITIONS. THE A.I.A. GENERAL CONDITIONS SHALL TAKE PRECEDENCE OVER THESE NOTES SHOULD A CONFLICT IN WORDING OCCUR.

11. EXTRAS:
OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO THE MUTUAL SATISFACTION OF THE OWNER, ARCHITECT AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE ADDED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.

12. SUBSTITUTIONS:
SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTORS OPTION TO SELECT THE ONE WHICH HE MAY PURCHASE. IF MORE THAN ONE FINISH OR STYLE AVAILABLE IN THE SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION. WHERE THE TERM "OR EQUAL" IS USED IN DRAWINGS OR SPECS IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE SUBJECT TO THE RULING AND JUDGMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ACTUAL SAMPLES OF THE SUBSTITUTIONS SHALL ALSO BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

13. INSURANCE:
CONTRACTOR SHALL CARRY GENERAL LIABILITY INSURANCE WITH BROADFORM PROPERTY DAMAGE ENDORSEMENT AND CONTINGENT LIABILITY ENDORSEMENT. OWNER AND ARCHITECT SHALL BE LISTED AS ADDITIONAL INSURERS UNDER THE POLICY WITH WAIVER OF SUBROGATION. CONTRACTOR SHALL FURNISH OWNER WITH A CERTIFICATE OF INSURANCE WITH A 30 DAY NOTICE OF CANCELLATION. OWNER SHALL OBTAIN A BUILDER'S RISK POLICY WITH ARCHITECT NAMED AS AN ADDITIONAL INSURED WITH WAIVER OF SUBROGATION.

14. SCOPE OF DRAWINGS AND SPECIFICATIONS:
THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL. IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. IN USING THESE PLAN FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CAS OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.
THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THE ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR ADDITIONAL INFORMATION AND/OR CLARIFICATIONS WHENEVER THE LEVEL OF QUALITY AND DETAIL EXCEEDS THAT INDICATED BY THE DRAWINGS AND SPECIFICATIONS. CONTRACTORS ARE EXPECTED TO ALERT THOSE ERRORS AND OMISSIONS TO THE ATTENTION OF A APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER, AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION. SCHEMATIC PLANS ARE INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS (e.g. SCHEMATIC ELECTRICAL PLANS).

15. DIMENSIONS ON DRAWINGS:
FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB-CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES DETAILS ON DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS.
DRAWINGS ARE NOT TO BE SCALED UNLUESS PERMITTED BY THE ARCHITECT. DIMENSIONS SHALL GOVERN. ALL EXTERIOR DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, UNLESS OTHERWISE NOTED ON DRAWINGS. INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED ON DRAWINGS. WHERE DIMENSION IS LABELED "CLEAR" IT IS TAKEN FROM THE FACE OF FINISH TO FACE OF FINISH OF EACH MATERIAL. PLUS OR MINUS (+/-) DIMENSIONS SHALL NOT VARY BY MORE THAN 2" WITHOUT APPROVAL BY ARCHITEC

CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

CALGREEN - RESIDENTIAL MINIMUM REQUIREMENTS

Scope

1. 2016 California Green Building Standards Code (CG) is applicable to all new residential buildings, including but not limited to, dwellings, apartment houses, condominiums, hotels, and other types of dwellings containing sleeping accommodations with or without common toilets or cooking facilities regulated by the Department of Housing and Community Development (HCD-1). (NBMC 15.11.010, CG Section 101.3.1).
2. 2016 California Green Building Standards Code (CG) is applicable to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. (301.1.1)

Energy Efficiency

3. New one and two family dwellings and townhouses with attached private garages shall install a listed nominal 1 inch inside diameter raceway to accommodate a dedicated 208/240 volt branch circuit. (4.106.4.1)
   a. The raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box, or enclosure in close proximity to the proposed location of an EV charger.
   b. The service panel or subpanel shall provide capacity to install a minimum 40 ampere dedicated branch circuit and space reserved for installation of a branch circuit overcurrent protective device.
   c. The service panel or subpanel circuit directory shall identify the overcurrent protective devices space reserved for future EV charging as "EV CAPABLE."
   d. The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Material Conservation and Resources Efficiency

4. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or other similar method. (4.406.1)
5. Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (4.408.1, 4.408.3)

Water Efficiency and Conservation

6. New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with City's water efficient landscape ordinance. (4.304.1, NBMC 14.17)
7. Plumbing fixtures and fittings shall comply with the following (4.303.1):

FIXTURE TYPE	MAXIMUM FLOW RATE
Single Showerheads	2.0 gpm @ 80 psi
Multiple Showerheads	Combine flow rate of 2.0 gpm @80 psi
Residential Lavatory Faucets	1.2 gpm @ 60 psi[2]
Common and Public use Lavatory Faucets	0.5 gpm @60 psi
Kitchen Faucets	1.8 gpm @ 60 psi
Metering Faucets	0.25 gallons per cycle maximum
Water Closets	1.28 gallons/flush[1]
Wall Mounted Urinal	0.125 gallons/flush
All Other Types of Urinal	0.5 gallons/flush

1. Includes single and dual flush water closets with an effective flush rate of 1.28 gallons or less when tested per ASME A122.19.2/3.2 for single flush and ASME A112.19.14 for dual flush toilets.
2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

Environmental Quality

8. Moisture content of building materials used in wall and floor framing is checked before enclosure according to one of the following (4.505.3):
   a. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
   b. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
   c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
9. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other toxic requirements in Sections 94522(e)(1) and (f)(1) of the California Code of Regulations, Title 17; commencing with Section 94520. (4.504.2.3)
10. Carpet and carpet systems shall be compliant with of the following (4.504.3):
    a. Carpet and Rug Institute's Green Label Plus Program.
    b. California Department of Public Health Specification 01350.
    c. NSF/ANSI 140 at the Gold level.
    d. Scientific Certifications Systems Indoor Advantage™ Gold
11. Minimum 80% of floor area receiving resilient flooring shall comply with one of the following (4.504.4):
    a. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Product Database.
    b. Products certified under UL GREENGUARD Gold.
    c. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.
    d. California Department of Public Health Specification 01350.

12. Adhesives, sealants and caulks shall be compliant with volatile organic compound (VOC) limits set forth in Table 4.504.1 or Table 4.504.2. (4.504.2.1)

ADHESIVE VOC LIMIT [1,2]
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure VOC content specified in table, see South Coast Air Quality Management District Rule 1168.

SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	
Marine deck	760
Other	750

13. Paints, stains, and other coatings shall be compliant with VOC and other toxic compound limits set forth in Table 4.504.3. (4.504.2.2)

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS [1,3]
(Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)

COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings[1]	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.
2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

14. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior or exterior of the building shall comply with low formaldehyde emission standards as set forth in Table 4.504.5 below (4.504.5):

FORMALDEHYDE LIMITS[1]
(Maximum formaldehyde Emissions in Parts per Million)

PRODUCT	LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard[2]	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
2. Thin medium density fiberboard has a maximum thickness of 5/16 inch (8 mm).

15. All duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the building inspector to reduce the amount of water, dust and debris, which may enter the system until final startup of the HVAC equipment. (4.504.1)
16. Bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of whole house ventilation system, fans must be controlled by a humidity control capable of adjustment between a relative humidity rage of less than or equal to 50% to maximum 80%. (4.506.1)
17. Duct systems are sized, designed and equipment is selected using the following methods (4.507.2):
    a. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 (Residential Load Calculation), ASHRAE handbooks or equivalent design methods.
    b. Size duct systems according to ANSI/ACCA 1 Manual D-2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
    c. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Selection) or other equivalent design software or methods

Installer and Special Inspector Qualifications

18. HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installers in the proper installation of HVAC systems. (702.1)
19. HVAC special inspectors must be qualified and able to demonstrate competence in the discipline they are inspecting. (702.2)

Documentations

20. An operation and maintenance manual, CD, web-based reference or other approved media shall be provided by the builder to the building occupant or owner at the final inspection. It shall include operation and maintenance instruction of the equipment and appliances. (4.410.1)
21. Documentation shall be provided to verify that finish materials used comply with VOC limits as set forth in Tables 4.504.1, 4.504.2, & 4.504.3. (4.504.2.4)
22. Documentation shall be provided to verify that composite wood products used comply with formaldehyde limits as set forth in Tables 4.504.5. (4.504.5.1)
23. Documentation which shows compliance with CAL Green code including construction documents, plans, specifications, builder or installer certification, and inspection reports and verification shall be available at the final inspection. (703.1)
24. CAL Green Documentation Compliance Certification form (City form) is required to be submitted to the Building Inspector prior to final building inspection. (Section 703.1)

CAL GREEN - RESIDENTIAL MANDATORY MEASURES

1

CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

Applicable Standards: 2016 California Residential Code (CRC); 2016 California Building Code (CBC); 2016 California Plumbing Code (CPC); 2016 California Electrical Code (CEC); 2016 California Mechanical Code (CMC); 2016 Building Energy Efficiency Standards (BEES); 2016 California Green Building Standards Code (Cal Green); & Chapter 15 of the Newport Beach Municipal Code (NBMC)

GENERAL:

1. Residential building undergoing permitted alterations, additions or improvements shall replace non-compliant plumbing fixtures with water-conserving plumbing fixtures meeting the requirements of 2016 California Green Building Standards Code, Section 4.303. Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or final inspection by the Chief Building Official. (Civil Code, Section 1101.1 et seq., NBMC 15.11.010)
2. Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
3. Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department.
4. A site survey by a licensed surveyor shall be required prior to foundation concrete pour.
5. Garage ceiling height. The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the front four feet may have a minimum vertical clearance of four feet. (NBMC 20.40.090 A 4)
6. Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (Cal Green 4.408.1, 4.408.3)
7. Stairways shall not be less than 36 inches clear width. (CRC 311.7.1) The minimum head clearance shall be 6'-8" measured vertically from the sloped line adjoining tread nosing. (CRC 311.7.2)
8. Advisory Note: Homeowners Association (HOA) approval may be required for this improvement.
9. Additional permits are required for detached structures including but not limited to:
   a. Accessory structures, detached patio covers, and trellises,
   b. Masonry or concrete fences over 3.5 ft. high,
   c. Retaining walls over 4 ft. high from the bottom of the foundation to the top of the wall.

CONSTRUCTION:

10. Pedestrian protection adjacent to public way to be as follows:

CBC TABLE 3306.1
PROTECTION OF PEDESTRIANS

HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQUIRED
8 feet or less	Less than 5 feet	Construction railings
	5 feet or more	None
More than 8 feet	Less than 5 feet	Barrier and covered walkway
	5 feet or more, but not more than one-fourth the height of construction	Barrier and covered walkway
	5 feet or more, but between one-fourth and one-half the height of construction	Barrier
	5 feet or more, but exceeding one-half the height of construction	None

11. All exterior lath and plaster shall have two layers of Grade D paper over wood base sheathing. (CRC R703.7.3, CBC 2510.6)
12. Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain inlet. Backing for tile shall be cement board or cement plaster. (CRC R307.2, CBC 1210.2.3)
13. Safety glazing shall be provided at the following hazardous locations: (CRC R308.4, CBC 2406.4)
    a. Swinging, bi-fold, and sliding doors.
    b. When located within 60 inches above the floor of wet surfaces such as tubs, showers, saunas, steam rooms, or outdoor swimming pool.
    c. Glazing adjacent to doors:
       i. Within a 24 inch arc of either vertical edge of doors and within 60 inches of walking surface.
       ii. Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.
    d. Where glazing area is more than 9 sq. ft. in area, with the bottom edge less than 18 inches above the floor, top edge more than 36 inches above floor, and within 36 inches of a walking surface, measured horizontally.
    e. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
    f. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
    g. Glazing in guards and railings.
14. All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate drowning prevention safety feature. (CBC 3109.4.4.2)
15. Smoke alarms shall be installed in the following locations (CRC R314.3, CBC 907.2.11.2, 907.2.11.3 & 907.2.11.4):
    a. In each sleeping room.
    b. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
    c. On each additional story, including basements and habitable attics.

    d. Not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower.
    e. A minimum of 20 feet horizontally from any permanently installed cooking appliance.
    f. Smoke alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R314.4 & R314.5 or CBC 907.2.11.5 & 907.2.11.6.
16. Carbon monoxide alarms shall be installed in the following locations (CRC R315.3):
    a. Outside of each sleeping area in the immediate vicinity of the bedroom(s).
    b. On every level of the dwelling unit including basements.
    c. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

    Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R315.
17. All fenestrations on windows and doors shall have U-factors (0.32 max) and Solar Heat Gain Coefficient (SHGC=0.25 max) values in accordance with T-24 energy calculations. All fenestrations must have temporary and permanent labels.

TEMPORARY GENERATOR:

18. Hand operated construction tools powered by electricity must use power provided by Southern California Edison through a temporary pole or available outlet. In the rare case where electricity is not readily available and a portable temporary generator is necessary, then the following restrictions must be adhered to:
    a. Must be portable and may be easily relocated.
    b. Temporary generators are to be located a minimum distance from any property line according to the following table:

Time in Use Hours	Required Setback from Property Line	Required Setback from Adjacent Structures
0 – 1 day	10 feet	5 feet
> 1 day	20 feet	5 feet

    c. If the minimum distance cannot be achieved, then the generator shall be located the most extreme distance practical to inhibit noise. Other methods to inhibit noise may be utilized when practical.
    d. May be operational for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided through the use of a temporary power pole.
    e. Usage is limited to weekdays between the hours from 8:00 AM and 3:30 PM Monday through Friday. No use on the weekends or federal holidays.

FIREPLACE:

19. All fireplaces:
    a. Factory-built fireplaces, chimneys and all of their components shall be listed and installed in accordance with their listing and manufacturer's installation instructions. (CRC R1004.1)
    b. Factory built wood burning fireplaces shall be qualified at the U.S. EPA's Voluntary Fireplace Program Phase 2 emissions level.
    c. Decorative shrouds shall not be installed at the termination of factory-built chimneys except where such shrouds are listed and labeled for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. (CRC R1005.2 & CMC 802.5.2.4)
    d. Horizontal openings are not allowed, for exhaust vents, in walls closer than 3 feet to a property line. (Tables R302.1(1)&(2)). Horizontal vent caps shall be 2 feet clear from property lines.
    e. Exhaust openings shall not be directed onto walkways. (R303.5.2)
20. Solid fuel burning fireplaces:
    a. Provide a permanently anchored gaseous fuel burning pan to the firebox of a solid fuel burning fireplace.
    b. Solid fuel burning fireplace must comply with the California Energy Standards mandatory measures.
    c. Chimney shall extend at least 2 ft. higher than any portion of the building within 10 ft., but shall not be less than 3 ft. above the highest point where the chimney passes through the roof. (CRC R1003.9)
    d. Liquid fueled fireplaces are not allowed for interior use.
21. Direct vent gas appliance fireplace:
    a. Direct vent sealed-combustion gas appliance fireplace must comply with the Cal Green code requirements and must comply with ANSI Z21.50. (Cal Green 4.503.1)

MECHANICAL:

22. Rooms containing bathtubs, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 50 CFM ducted to terminate outside the building. (CRC R303.3, Cal Green 4.506.1, CBC 1203.5.2.1, CMC 402.5)
23. Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust fan with humidity control sensor, min. 50 CFM capacity. (CRC R303.3.)
24. Where whole house fans are used in bathroom areas, the fan must run continuously and shall not be tied to a humidity control sensor. (Cal Green 4.506.1)
25. The clothes dryer vent shall not exceed 14 ft. in overall length with maximum two 90 degree elbows. (CMC 504.4.2.1)
26. Environmental air ducts shall terminate min. 3 feet from property line or openings into building, and 10 feet from a forced air inlet. (CMC 502.2.1)
27. Mechanical equipment shall be installed per the manufacture's installation instructions. (CMC 303.1)
28. Domestic range vents to be smooth metallic interior surface. (CMC 504.3)

29. Supply and return air ducts to be insulated at a minimum of R-6. (Cal Energy Code Table 150.1-A.)

PLUMBING:

30. Separate water meters are required for all new duplexes. Separate fire risers are required at each water meter.
31. Plumbing Fixtures:
    a. New Construction & Addition/Alterations that increases condition space area, volume, or size (Cal Green 4.303.1):
       i. Comply with CAL Green Mandatory Requirements
    b. Addition & Alteration: Existing fixtures shall be replaced to meet the following requirements:
       i. Shower Heads: 2.0 gpm @ 80 psi
       ii. Lavatory Faucets: 1.2 gpm @ 60 psi
       iii. Kitchen Faucets: 1.8 gpm @ 60 psi
       iv. Water Closet: 1.28 gallons per flush
32. Clearance for water closet to be a minimum of 24 inches in front, and 15 inches from its center to any side wall or obstruction. (CPC 402.5)
33. The water heater burner to be at least 18 inches above the garage floor, if located in a garage. (CPC 507.13)
34. Install a 3 inch diameter by 3 ft. tall steel pipe embedded in concrete slab for protection of water heaters located in garage. (CPC 507.13.1)
35. Water heaters to be strapped at top and bottom with 1 ½" x 16 gauge strap with 3/8" diameter. X 3" lag bolt each end. (CPC 507.2)
36. ABS and PVC drain waste and vent piping material is limited to 2 stories maximum. (CPC 701.2(2) (a), and 903.1.1)
37. ABS and PVC roof and deck drain material is limited to 2 stories maximum. (CPC 1101.4)
38. Roof and deck drain systems inside the building are required to be installed with directional DWV drainage fittings. (CPC 1101.4 and & 706.0)
39. Cleanouts are required within 2 feet of the connection between the interior roof and deck drain piping system, and the exterior onsite storm drain system. (CPC 1101.13)
40. All hose bibbs are to have vacuum breakers. (CPC 603.5.7)
41. The maximum amount of water closets on a 3 inch horizontal drainage system line is 3. (CPC Table 703.2)
42. The maximum amount of water closets on a 3 inch vertical drainage system line is 4. (CPC Table 703.2)
43. Provide gas line with a min capacity of 200,000 btu for water heater. (Cal Energy Code 150.0(n))
44. Provide a condensate drain no more than 2 inches above the base of the water heater space. (Cal Energy Code 150.0 (n))
45. Provide a straight vent pipe from the water heater space to the outside termination from the water heater space. (Cal Energy Code 150.0 (n))
46. Insulate all hot water pipes. (Cal Energy Code 150.0 (j) (2), and CPC 609.11).

47. Isolation valves are required for tankless water heaters on the hot and cold supply lines with hose bibbs on each valve, to flush the heat exchanger. (Cal Energy Code 110.3 (7))

ELECTRICAL:

48. Electrical service to be underground for new construction, replacement building, or addition to an existing building exceeds fifty (50) percent of the gross floor area of the existing building. (NBMC 15.32.015)
49. Edison Company approval is required for meter location prior to installation.
50. Field inspectors to review and approve underground service requirement prior to concrete placement.
51. Service equipment and subpanels to have a min 30" wide by 36" deep clear work space.(CEC 110.26)
52. All lighting is required to be high efficacy. (California energy code section 150. (k) and Table 150.0-A.)
53. Provide a listed 1 inch raceway to accommodate a dedicated 208/240-volt circuit for future electrical vehicle (EV) charger. (Cal Green 4.106.4)
54. All receptacle outlets are required to be listed tamper resistant (CEC 406.12 and 250.52)
55. Combination type AFCI circuit breakers are required for all 120 volt single phase 15/20 amp branch circuits. Except for bathrooms, garages, and outdoors. (CEC 210.12)
56. At a minimum, one dedicated 20 amp circuit is required for a bathroom. (CEC 210.11(C)(3))
57. GFCI protection is required for all receptacle outlets located outdoors, garages, accessory buildings, bathrooms, crawl spaces, kitchens, laundry areas, kitchen dishwasher branch circuit, garbage disposal, all areas within 6 feet of a sink, and all receptacles within 6 feet of a bathtub or shower stall. (CEC 210.8)
58. Receptacle outlets are not allowed within or over a bathtub or shower stall. (CEC 406.9 (C))
59. Subpanels are not allowed to be located in bathrooms or clothes closets. (CEC 240.24 (D) and (E).
60. Circuits sharing a grounded conductor (neutral) with two ungrounded (hot) conductors must use a two pole circuit breaker or an identified handle tie. (CEC 210.4(B)) Group non-cable circuits in panel (CEC 210.4(D))
61. The receptacle outlets that serve kitchen counter tops, dining room, breakfast area, and pantry, must have a min of 2 dedicated 20 amp circuits. (CEC 210.52 (B)(1)
62. Kitchen counter tops 12 inches or wider must have a receptacle outlet. (CEC 210.52(C))
63. Kitchen counter tops must have receptacle outlets so no point along the counter walls is more than 24 inches from a receptacle. (CEC 210.52 (C))
64. Island and peninsular counter tops must have at least one receptacle. (CEC 210.52(C)(1),(2),and (3))
65. The spacing for general receptacle outlets must be located so that no point on any wall, fixed glass, or cabinets is over 6 feet from a receptacle outlet. (CEC 210.52(A))
66. Hallways 10 feet or more must have at least one receptacle outlet. (CEC 210.52(H))

67. Garages shall have at least one receptacle for each car space on the interior. The branch circuit supplying the receptacles shall not serve outlets outside of the garage. (CEC 210.52 (G) (1).
68. Laundry rooms must have at least one dedicated 20 amp receptacle circuit. (CEC 210.11(C) (2)).
69. Provide 120V receptacle within 3 feet of water heater. (Cal Energy Code 150.0 (n) 1 A.)

FOUNDATION:

70. Weep screed for stucco at the foundation plate line shall be a minimum of 4 inches above the earth or 2 inches above paved areas. (CRC R703.7.2.1, CBC 2512.1.2)
71. Fasteners and connectors (nails, anchor bolts, etc.) in contact with preservative-treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (CRC R317.3, CBC 2304.10.5.1)
72. Anchor bolts shall include steel plate washers, a minimum of 0.229" x 3" x 3" in size, between sill plate and nut. (CRC R602.11.1, CBC 2308.3.2, Acceptable alternate SDPWS 4.3.6.4.3)

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

2

3

PROJECT NAME
MODERN BAY FRONT

STATUS
CDP - FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT WATERPOINTE, LLC
GARRETT CALACCI
610 NEWPORT CENTER DRIVE, 17TH FLOOR
NEWPORT BEACH, CA 92660

MODERN BAY FRONT

402 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
Designer

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

SUPPLEMENTAL NOTES & DOCUMENTS

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30

DATE 03/22/2019

SHEET NO.

T-1.2

LEGEND

- BLOCK WALL
- WOOD FENCE (WDF)
- BRICK SURFACE
- CONCRETE SURFACE
- AC — ASPHALT PAVEMENT
- ℄ — CENTERLINE
- EG — EDGE OF GUTTER
- FC — FINISHED CONCRETE
- FF — FINISHED FLOOR
- FFG — FINISHED FLOOR GARAGE
- FL — FLOWLINE
- FS — FINISHED SURFACE
- GM — GAS METER
- GP — GUARD POST
- NG — NATURAL GROUND
- PC — PALM TREE CLUSTER
- SCO — SEWER CLEAN OUT
- SD — STORM DRAIN
- TB — TRASH BIN
- TBH — TOP OF BULKHEAD
- TC — TOP OF CURB
- TS — TOP OF STEP
- WDF — WOOD FENCE
- WM — WATER METER
- ( ) — EXISTING ELEVATION
- ● — FOUND MONUMENT
- ○ — SEARCHED, FOUND NOTHING; SET NOTHING
- T.B.M. — TEMPORARY BENCHMARK SET ON SEWER MANHOLE (SMH); ELEVATION = 5.68 FEET

TITLE REPORT/EASEMENT NOTES

400 SOUTH BAY FRONT #5
NEWPORT BEACH, CA 92662
(APN: 050-043-13)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:

LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

BENCHMARK INFORMATION

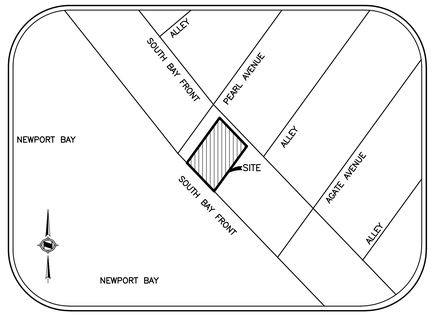
BENCHMARK NO: NB3-15-70

DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB3-15-70", SET IN THE EASTERLY END OF A CONCRETE SEAWALL. MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF PARK AVENUE AND SOUTH BAY FRONT, 15 FT. SOUTHERLY OF THE CENTERLINE OF PARK AVENUE AND 6 FT. WESTERLY OF PEDESTRIAN WALKWAY. MONUMENT IS SET LEVEL WITH THE TOP OF THE SEAWALL.

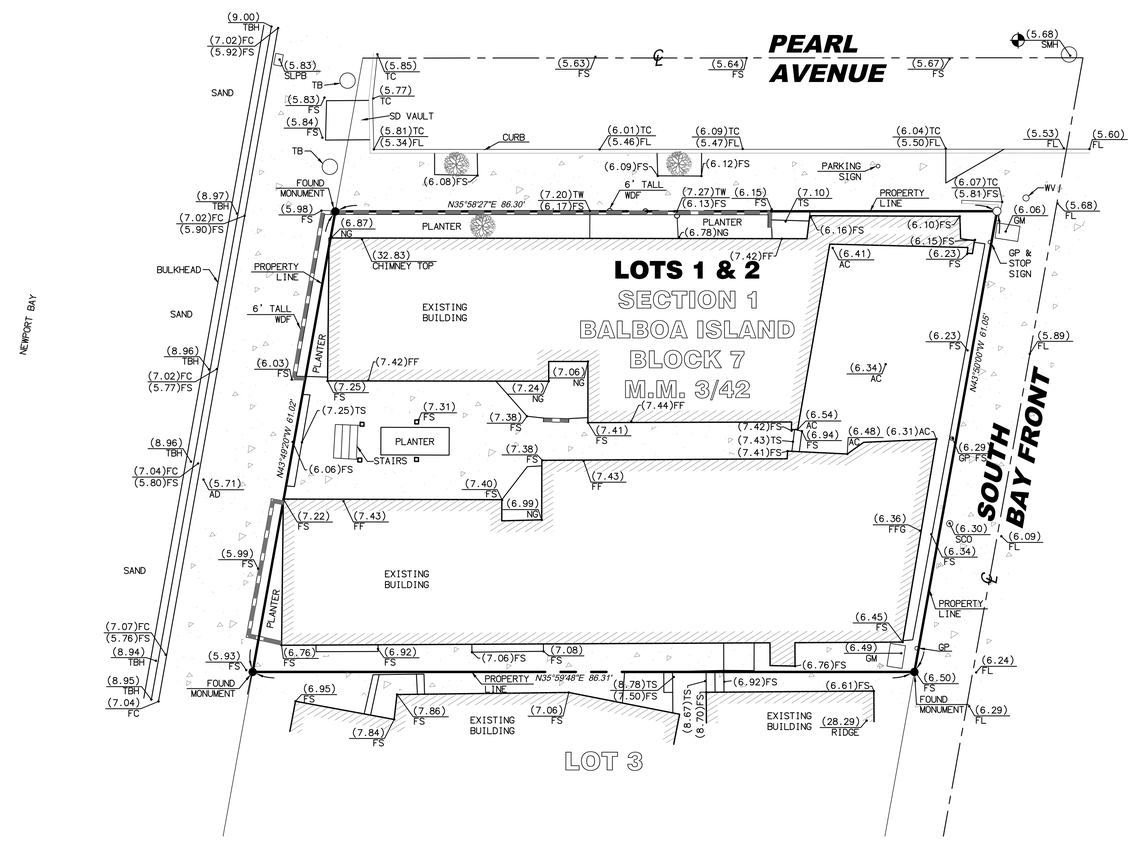
ELEVATION: **7.986** FEET (NAVD88), YEAR LEVELED 1992

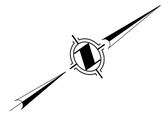
BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH BAY FRONT, BEING N43°50'00"W PER P.M.B. 183, PAGES 17/18, RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.



VICINITY MAP
NO SCALE





GRAPHIC SCALE

4 0 2 4 8 16

(IN FEET)
1 INCH = 8 FT.

SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.

PROFESSIONAL LAND SURVEYOR PAUL DOMINICK CRAFT No. 8516 Exp. 12/31/20 STATE OF CALIFORNIA

3/11/2019

PAUL D. CRAFT, P.L.S. 8516 — DATE
LICENSE RENEWAL DATE 12/31/20

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

NO.	DESCRIPTION	DATE	APP'D

REVISIONS

PROJECT SURVEYOR
APEX LAND SURVEYING INC.
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE:(714)-488-5006 FAX:(714)333-4440
APEXLSINC@GMAIL.COM

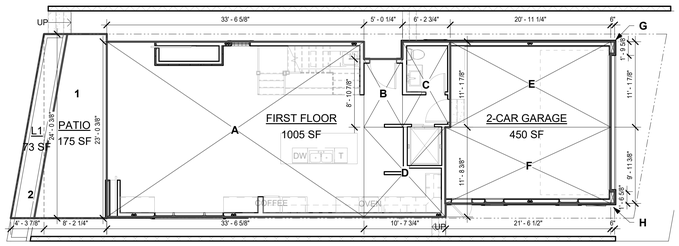
DATE 3/11/2019
SCALE 1"=8'
DRAWN A. R. H.
CHECKED P. D. C.

SHEET TITLE: TOPOGRAPHIC SURVEY

PROJECT: 400 S BAY FRONT #5
NEWPORT BEACH, CA 92662
(APN: 050-043-13)

SHEET NO. 1 OF 1

PROJECT NO. 18046



1 FIRST FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN

A 33' - 6 5/8" X 22' - 10 3/8" = 767.1'
B 5' - 0 1/4" X 8' - 10 7/8 = 44.7'
C 6' - 2 3/4" X 11' - 1 7/8" = 69.4'
D 10' - 7 3/4" X 11' - 8 3/8" = 124.5'

TOTAL: 1,005 SF

GARAGE

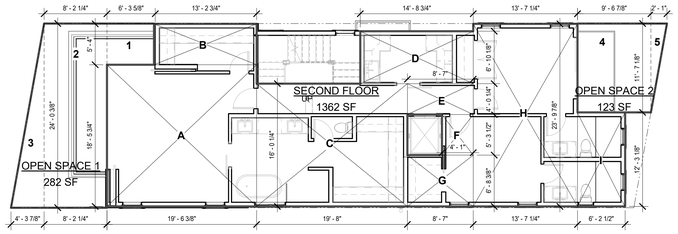
E 20' - 11 1/4" X 11' - 1 7/8" = 233.5
F 21' - 6 1/2" X 9' - 11 3/8" = 214.2
G 0' - 6" X 1' - 6 5/8" = .77
F 0' - 6" X 1' - 6 5/8" = .77

TOTAL: 450 SF

OPEN AREA CALCS

1 24' - 0 3/8" X 8' - 2 1/4" = 196.81'
2 24' - 0 3/8" X 4' - 3 7/8" = 103.8'/2=51.9'

TOTAL: 248.71'



2 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN

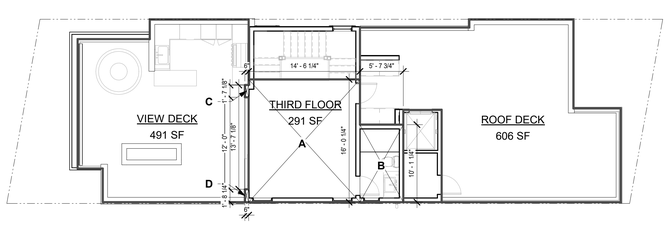
A 19' - 6 3/8" X 18' - 5 3/4" = 360.92
B 13' - 4 3/4" X 5' - 4" = 71.44
C 19' - 8" X 16' - 0 1/4" = 315.07
D 14' - 8 3/4" X 6' - 10 1/8" = 100.80
E 4' - 0 1/4" X 8' - 7" = 34.51
F 5' - 3 1/2" X 4' - 1" = 21.60
G 8' - 7" X 6' - 8 3/8" = 57.49
H 13' - 7 1/4" X 23' - 9 7/8" = 324.09
I 6' - 2" X 12' - 2 3/8" = 75.22

TOTAL: 1,361 SF

OPEN AREA CALCS

1 5' - 4" X 6' - 1 5/8" = 32.72'
2 24' - 0 3/8" X 8' - 2 1/4" = 196.81'
3 24' - 0 3/8" X 4' - 3 7/8" = 103.8'/2=51.9'
4 9' - 6 7/8" X 11' - 7 1/8" = 110.99'
5 11' - 7 1/8" X 2' - 1" = 24.16'/2=12.08'

TOTAL: 404.5



3 THIRD FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN

A 14' - 6 1/4" X 16' - 0 1/4" = 232.63
B 5' - 7 3/4" X 10' - 1 1/4" = 57.04
C 0' - 6" X 1' - 7 1/8" = .79
D 0' - 6" X 1' - 8 1/4" = .84

TOTAL: 291 SF

OUTDOOR AREA CALCS

VIEW DECK 491
ROOF DECK 606

LOT INFORMATION:

ZONED: R-B1
SITE AREA: 2591.66 S.F. BUILDABLE AREA: 1951.72 S.F.
TOTAL ALLOWABLE AREA: 1.5 x 1951.72 S.F. = 2927.58 S.F. +200 S.F. = 3127.58 S.F.
REQ'D OPEN VOLUME = 1951.72 S.F. X .15 = 292.76 S.F. (7'-6" HT MIN.)
OPEN VOLUME PROVIDED= 338 S.F. < 292.76 S.F.

BUILDING AREA SCHEDULE

Name	AREA	COMMENTS
FIRST FLOOR	1005 SF	
SECOND FLOOR	1362 SF	
THIRD FLOOR	291 SF	
TOTAL LIVING	2659 SF	
2-CAR GARAGE	450 SF	
TOTAL GARAGE	450 SF	
GRAND TOTAL	3108 SF	

OUTDOOR AREA SCHEDULE

NAME	AREA	COMMENTS
PATIO	175 SF	PARTIALLY COVERED
L1	73 SF	UNCOVERED
OPEN SPACE 1	282 SF	COVERED
OPEN SPACE 2	123 SF	PARTIALLY COVERED
TOTAL OPEN SPACE	654 SF	
ROOF DECK	606 SF	UNCOVERED
VIEW DECK	491 SF	UNCOVERED
TOTAL ROOF DECK	1098 SF	
TOTAL OUTDOOR	1751 SF	

PROJECT NAME
MODERN BAY FRONT
STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT WATERPOINTE, LLC
GARRETT CALACCI
610 NEWPORT CENTER DRIVE, SUITE 800
NEWPORT BEACH, CA 92660

MODERN BAY FRONT

402 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
Designer

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

BUILDING AREA PLANS

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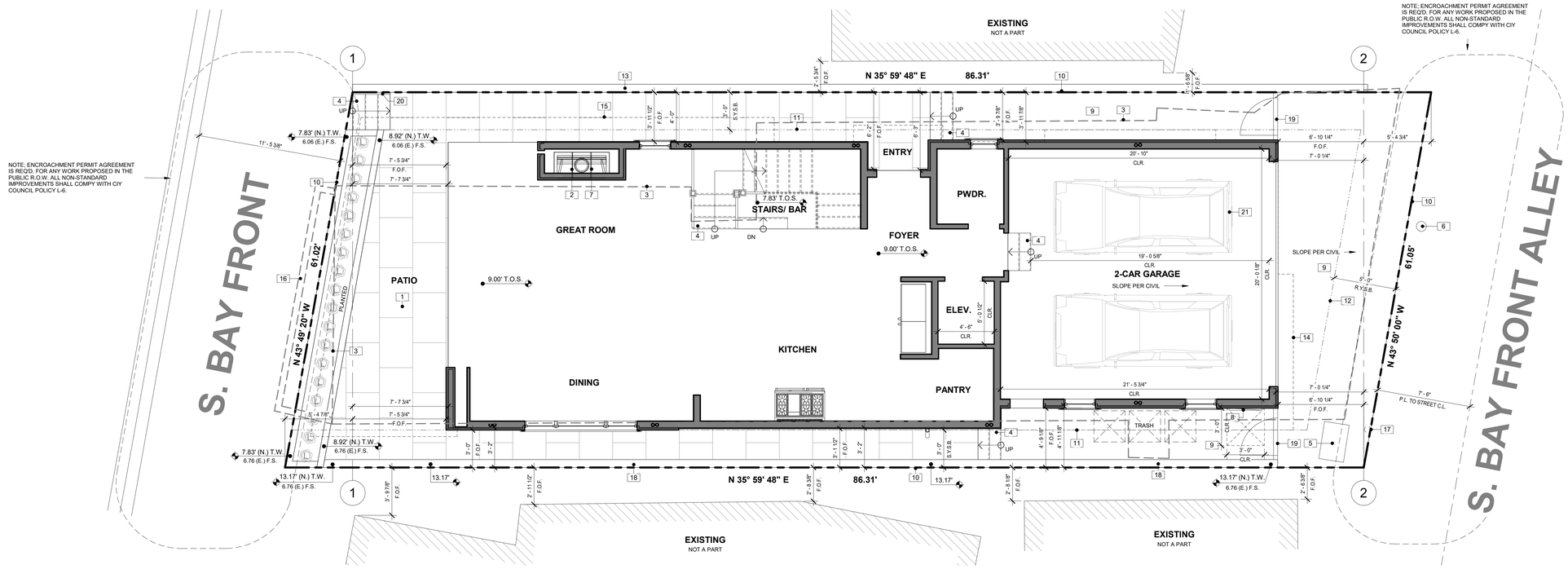
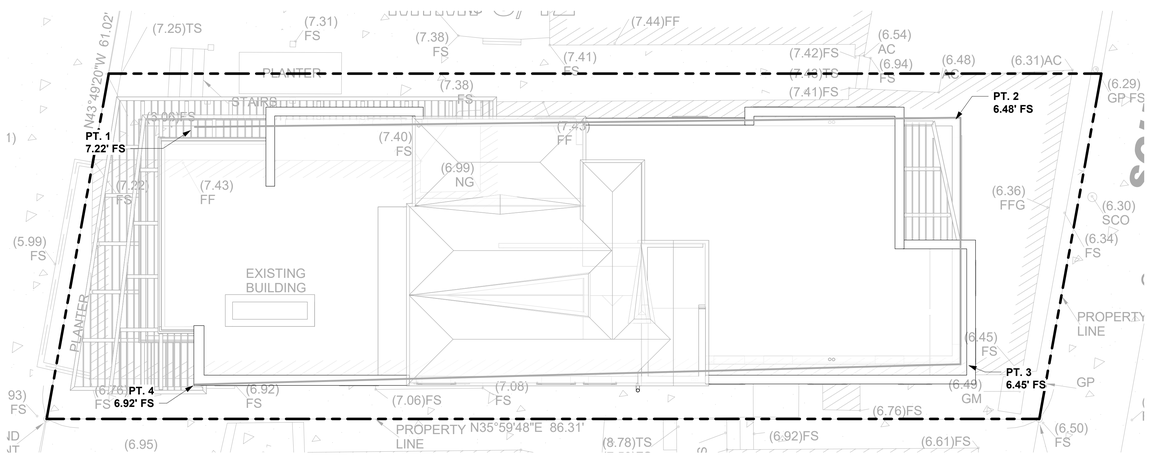
REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30
DATE 05/08/2019
SHEET NO.
A-0.1





PT1. 7.22
PT2. 6.48
PT3. 6.45
PT4. 6.92
27.07

27.07/4 = 6.76

2 GRADE PLANE EXHIBIT
3/16" = 1'-0"

L	LAVANDULA SPP. LAVENDER *(LOW WATER USE)*

PLANT LEGEND

**ALL PLANTS TO BE DROUGHT-TOLERANT NON-INVASIVE PLANT SPECIES

GENERAL MATERIAL SPECIFICATION:

1. GROUT CELLS WITH REINFORCED CEMENT PER ASTM C150. 1 PART PORTLAND CEMENT, 2 TO 3 PARTS LOOSE SAND, 2 PARTS COARSE AGGREGATE.

2. REINFORCING: FS = 20,000 PSI ASTM A615 GRADE 40.

3. MASONRY: FC = 1,500 PSI GRADE 'A' PER ASTM C150.

4. CONCRETE: FC = 3,500 PSI AT 28 DAYS CEMENT PER ASTM C150.

5. POUR ALL WALL FOOTINGS AGAINST NATURAL UNDISTURBED EARTH.

6. TELEPHONE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE NOT AS SHOWN.

PROJECT HARDSCAPE MATERIALS:

STONE SHOULD MATCH THE STONE USED ON THE HOUSE.

PAVING STONE SHALL BE SHADOW GRAY SANDSTONE/QUARTZITE.

ALL GROUT JOINTS SHALL BE PIGMENTED PER ARCH./G.C. APPROVAL.

ALL HARDSCAPE MATERIAL SHALL RECEIVE 6 MIL. VISQUEEN ON UNDER SIDE FOR WATERPROOF PROTECTION.

TOTAL LANDSCAPING AREA: 143 SQFT

NOTES:
1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, TRANSPORTATION, MATERIALS, AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL CONSTRUCTION ELEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

2. ALL WORK SHALL BE PERFORMED BY A CALIFORNIA LICENSED CONTRACTOR.

3. CONSTRUCTION AND INSTALLATION OF ALL LANDSCAPE ITEMS SHALL BE ACCORDING TO STATE, COUNTY AND LOCAL CODES, ORDINANCES AND UP TO CAL-OSHA SAFETY ORDERS REGARDING PERFORMANCE OF WORK.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE NATURE AND LOCATION OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ALL COSTS INCURRED DUE TO DAMAGE AND/OR REPLACEMENT OF SAID UTILITIES, INCLUDING DELAYS.

5. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS AND/OR THE DESIGN INTENT AFFECTING THE SUCCESSFUL COMPLETION AND COST OF THE PROJECT SHALL BE REPORTED TO THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT IMMEDIATELY. ALL WORK RELATED TO THE PROBLEM ARE SHALL CEASE UNITIL THE DISCREPANCIES HAVE BEEN RESOLVED BY THE OWNER (JOB SUPERINTENDENT) OR LANDSCAPE ARCHITECT IN WRITING. ANY CONTINUATION OF WORK PRIOR TO THE RESOLUTION OF DISCREPANCIES IS AT THE CONTRACTOR'S RISK AND EXPENSE.

6. NO WORK SHALL BE PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY BY THE APPLICANT/OWNER, OR HIS OR HER AGENTS UNTIL A PUBLIC PROPERTY ENCROACHMENT PERMIT IS ISSUED BY THE CITY ENGINEER.

7. CONTRACTOR SHALL INSTALL THIS PROJECT IN ACCORDANCE TO ALL CITY CODES AND REQUIREMENTS. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER AND THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ANY KNOWN DISCREPANCY BETWEEN THAT WHICH IS SPECIFIED ON THESE PLANS AND THAT WHICH IS PERMITTED BY GOVERNING CODES AND THE HOME OWNERS' ASSOCIATION.

8. WITH THE ACCEPTANCE TO CONSTRUCT THIS PROJECT, CONTRACTOR AND OWNER AGREE TO HOLD LANDSCAPE ARCHITECT HARMLESS OF ANY UNFORESEEN CONSTRUCTION COSTS DUE TO ELEMENTS NOT SPECIFIED ON THESE PLANS.

9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO COMPLETING BIDS. CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF ALL DEMOLITION AND ANY SOIL IMPORT AND OR EXPORT NEEDED TO COMPLETE THIS PROJECT.

10. CONTRACTOR SHALL INSTALL THIS PROJECT UTILIZING THE LANDSCAPE INDUSTRIES'S B.M.P. BEST MANAGEMENT PRACTICES.

1 ARCHITECTURAL SITE PLAN
1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

KEYNOTE LEGEND

1	TILE/STONE PAVERS ON CONCRETE SETTING BED OVER 'WESTCOAT ALX' W.P. MEMBRANE CLASS 'A' ASSEMBLY (ESR-2201) REF. DTL. 10/AD-1
2	FIREPLACE - PREFABRICATED, GAS ONLY - MASON-LITE FIREPLACE, MODEL 'BURNTECH GBVS45' ICC# ESR-2401 (DTL. 22/AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AN INSTALLED IN ACCORDANCE W/. THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING FAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/. THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
3	OUTLINE OF EXISTING BUILDING - TO BE DEMOLISHED
4	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
5	(E.) GAS METER(S) - REF. CIVIL DWGS.
6	(E.) SEWER C.O. LOCATION (REF. SURVEY & CIVIL DWGS.)
7	ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 5/8" TYPE 'X' GYP. BD. FINISH TYP. (1/2" MIN.) (CRC R302.7)
8	MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOC'N. W/. SO. CA. EDISON
9	HARDSCAPE - COLORED & SCORED CONCRETE (AS SELECTED) PER. LAND. DESIGNER
10	PROPERTY LINE
11	SIDE YARD SETBACK
12	REAR YARD SETBACK
13	PROPOSED (N.) PROPERTY LINE WALL ON NEIGHBORING PROPERTY - NOT A PART
14	LINE OF SECOND FLOOR ABOVE
15	OUTLINE OF OVERHANGS ABOVE
16	(E.) SITE WALL TO BE REMOVED/DEMOLISHED
17	(E.) GUARD POST TO BE REMOVED
18	(N.) PROPERTY LINE WALL (5' - 6" MAX. ABV. N.G.) - STUCCO FINISH TO MATCH
19	(N.) GATE - PER LANDSCAPE DESIGNER (MAX. 5' - 6" HT. ABOVE NATURAL GRADE)
20	EXTERIOR S.S HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.N.O.) - 4" MAX. SPHERE OPENING, REF. DTL. 4 /AD-1
21	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS

GENERAL NOTE:
SEE SHEET A-3 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

C.N.B. NOTES:
1. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
3. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.

LANDSCAPE NOTES:
1. ENCOARCHMENT PERMIT REQ'D. FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W.
2. IF APPLICABLE, REF. PRELIMINARY LANSCAPE PLAN, FOR ALL HARDSCAPE & PLANTING AREAS WITH REPECTIVE HEIGHTS AND MATERIALS.

PROJECT NAME
MODERN BAY FRONT

STATUS
CDP - FIRST CHECK

BRANDON ARCHITECTS
151 Kalmus Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
SOUTH BAYFRONT
WATERPOINTE, LLC
GARRETT CALACCI
610 NEWPORT CENTER
DRIVE, SUITE 800
NEWPORT BEACH, CA
92660

MODERN BAY FRONT

402 S BAY FRONT
NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
Designer

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

ARCHITECTURAL SITE PLAN

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REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30

DATE 03/22/2019

SHEET NO.

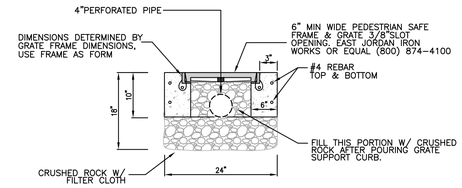
A-0.0

CONSTRUCTION NOTES:

1. CONSTRUCT 6" MIN CONCRETE DRIVEWAY
2. CONSTRUCT 4" CONCRETE HARDSCAPE.
3. INSTALL 4" FLAT GRATE DRAIN
4. INSTALL 4" ATRIUM GRATE DRAIN
5. INSTALL TRENCH DRAIN PER DETAIL SHEET C2
6. INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN

EARTHWORK

RAW CUT:	0 CY
RAW FILL:	70 CY

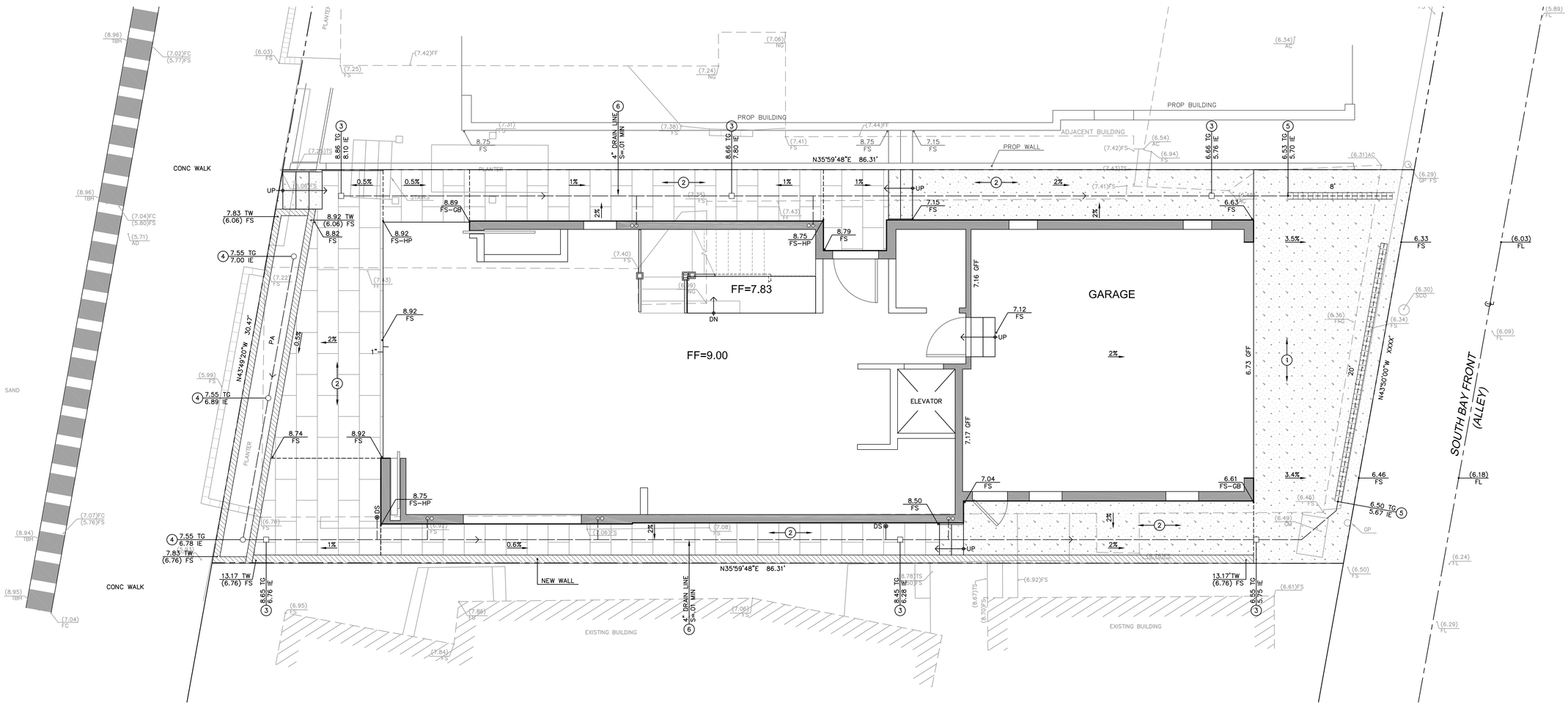


A– DIG A 24" WIDE X 18" DEEP TRENCH
B– PLACE FILTER CLOTH IN THE TRENCH EXTENDING 12" VERTICAL ON EACH SIDE
C– FILL BOTTOM 8" OF THE TRENCH W/ CRUSHED ROCK
D– FORM AND POUR PERIMETER CONCRETE CURB
E– FILL THE REST OF THE TRENCH W/ CRUSHED ROCK TO 4" FROM TOP OF TRENCH

5 TRENCH DRAIN
NTS

ABBREVIATIONS

ARCH	ARCHITECTURAL
A.C.	ASPHALT CONCRETE
C.O.	CLEAN OUT
DG	DECOMPOSED GRANITE
DS	DOWNSPOUT
EXIST	EXISTING
BFF	BASEMENT FINISH FLOOR
BFP	BASEMENT FINISH PAD
B.S.P.	BY SEPARATE PERMIT
CONC	CONCRETE
DWY	DRIVEWAY
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
FD	FOUND
FL	FLOWLINE
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FP	FINISH PAD
FS	FINISH SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GFP	GARAGE FINISH PAD
GM	GAS METER
HH	HANDHOLE
HP	HIGH POINT
I.P.	IRON PIPE
IE	INVERT ELEVATION
L&T	LEAD AND TACK
MH	MANHOLE
MON.	MONUMENT
NTG	NOTHING
OG	ORIGINAL GROUND
PA	PLANTER AREA
PB	PULL BOX
PL	PROPERTY LINE
PROP	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
S.F.N.	SEARCHED FOUND NOTHING
SDWK	SIDEWALK
SMH	SEWER MANHOLE
STLT	STREET LIGHT
T.B.M.	TEMPORARY BENCHMARK
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TOC	TOP OF CONCRETE
T.O.R.	TOP OF RIDGE
TOS	TOP OF SLAB
TW	TOP OF WALL
WM	WATER METER



NO.	DATE	REVISIONS

DRAWN: MJ
CHCK'D: TR
DATE: 3/26/19

ARCHITECT:
BRANDON ARCHITECTS
151 KALMUS DR.
SUITE G-1
COSTA MESA, CA 92626
(714) 754-4040

OWNER/DEVELOPER:
BAY FRONT PLACE
402 S. BAY FRONT
NEWPORT BEACH, CA 92662

PREPARED BY:
FORKERT ENGINEERING & SURVEYING, INC.
22311 BROOKHURST ST, STE 203
HUNTINGTON BEACH, CA 92646
(714) 963-6793
JN 9771

REGISTERED PROFESSIONAL ENGINEER THOMAS M. RUIZ NO. 58627 EXP. 12-31-20 CIVIL STATE OF CALIFORNIA

THOMAS M. RUIZ DATE

SOILS ENGINEER/GEOLOGIST:

BENCHMARK:
BENCHMARK NO: NB3-15-70
ELEVATION: **7.986** FEET (NAVD88)
YEAR LEVELED 1992

LEGAL DESCRIPTION:
LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

PRECISE GRADING
402 S. BAY FRONT
NEWPORT BEACH, CALIFORNIA

SHEET: C2

EROSION CONTROL

1. IN CASE OF EMERGENCY, GARRETT CALACCI AT 949-644-8900.
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15), NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DESCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OR WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE THE BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
16. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOIL OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
20. ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

BMP FACTS SHEET

WM-1 MATERIAL DELIVERY AND STORAGE

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

WM-2 MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-4 SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

WM-5 SOLID WASTE MANAGEMENT

PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

WM-6 HAZARDOUS WASTE MANAGEMENT

HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7 CONTAMINATED SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.

WM-8 CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1 STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

SE-1 SILT FENCE

SE-3 SEDIMENT TRAP

SE-8 GRAVEL BAGS

ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEEMED SUFFICIENT.

BMP FACTS SHEET

ALL BMP'S SHALL BE IN ACCORDANCE WITH MODEL BMP'S FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM

EC1 CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH. MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #SE-8.

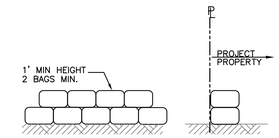
EC2 CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-9.

EC3 CONSTRUCT MATERIALS STORAGE ARE IN ACCORDANCE WITH BMP FACTS SHEET #WM-1.

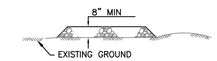
EC4 EXISTING WALL TO REMAIN PROTECT IN PLACE.

EROSION CONTROL LEGEND

PLACE GRAVEL BAGS AND FENCE WITH WIND SCREEN

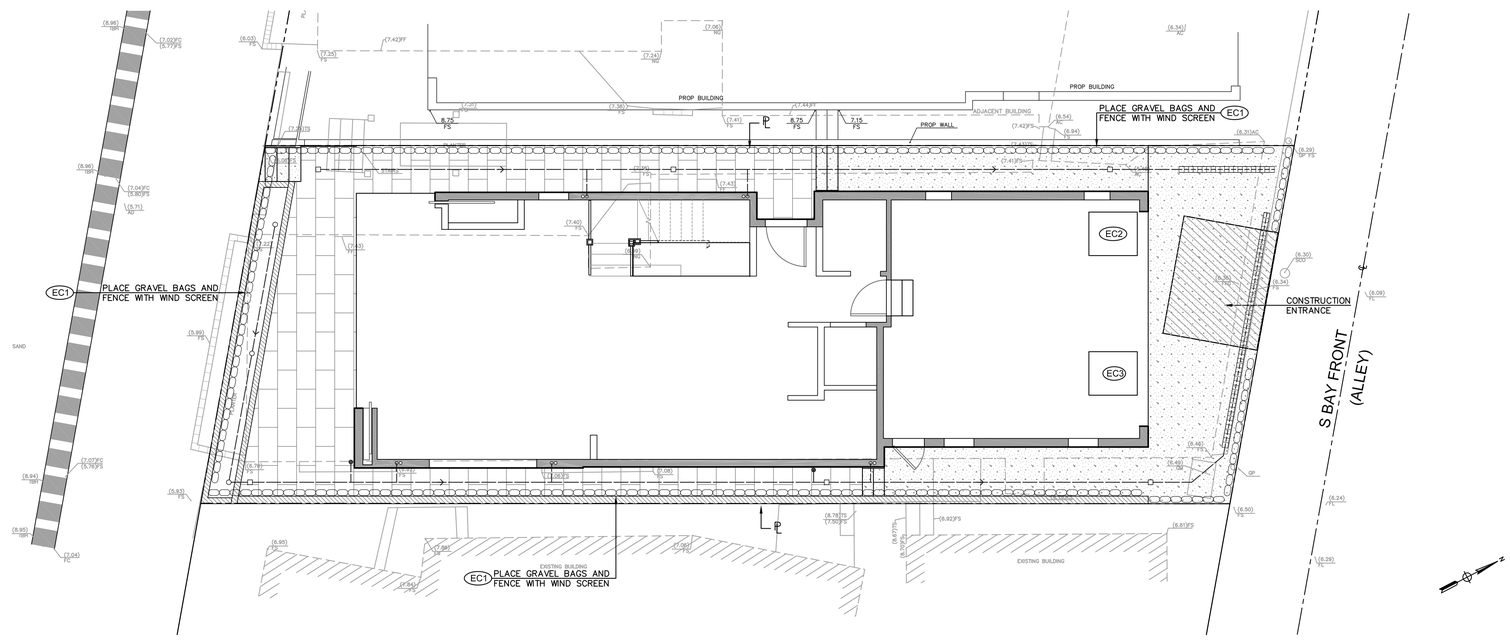


GRAVEL BAG DETAIL
NTS



PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND STREET

CONSTRUCTION ENTRANCE
NTS



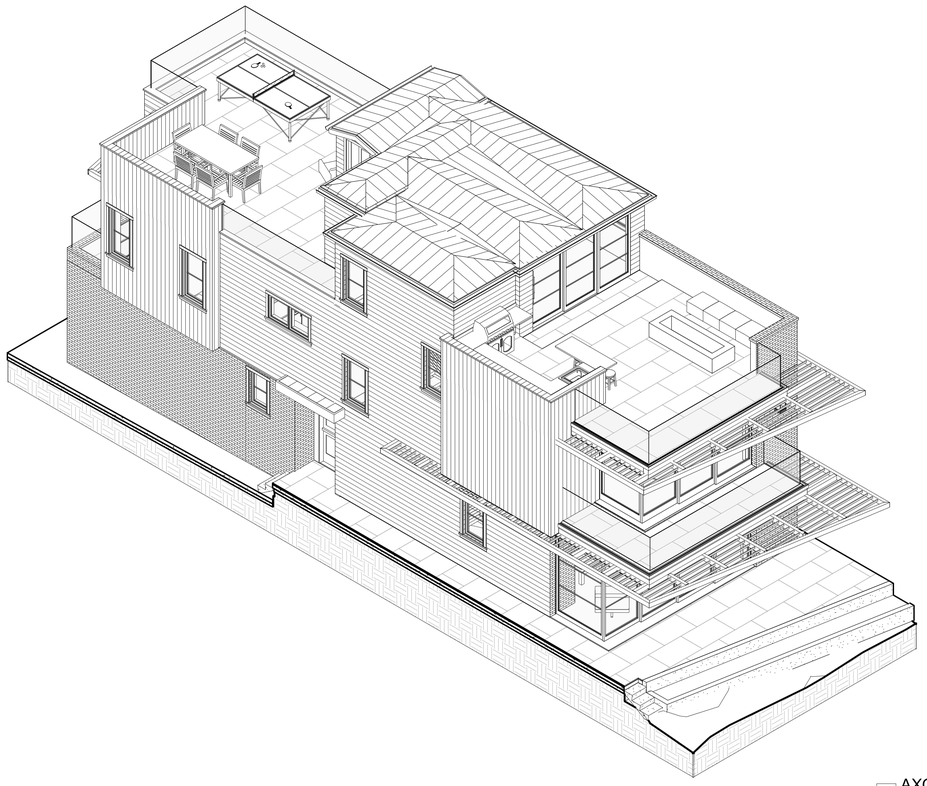
EROSION CONTROL PLAN
1"=6'

NO.	DATE	R E V I S I O N S	DRAWN: MJ CHCK'D: TR DATE: 3/26/19	ARCHITECT: BRANDON ARCHITECTS 151 KALMUS DR. SUITE G-1 COSTA MESA, CA 92626 (714) 754-4040	OWNER/DEVELOPER: BAY FRONT PLACE 402 S. BAY FRONT NEWPORT BEACH, CA 92662	PREPARED BY: FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-6793 JN 9771	REGISTERED PROFESSIONAL ENGINEER THOMAS M. RUIZ NO. 58627 EXP. 12-31-20 CIVIL STATE OF CALIFORNIA THOMAS M. RUIZ DATE	SOILS ENGINEER/GEOLOGIST:	BENCHMARK: BENCHMARK NO: NB3-15-70 ELEVATION: **7.986** FEET (NAVD88) YEAR LEVELED 1992

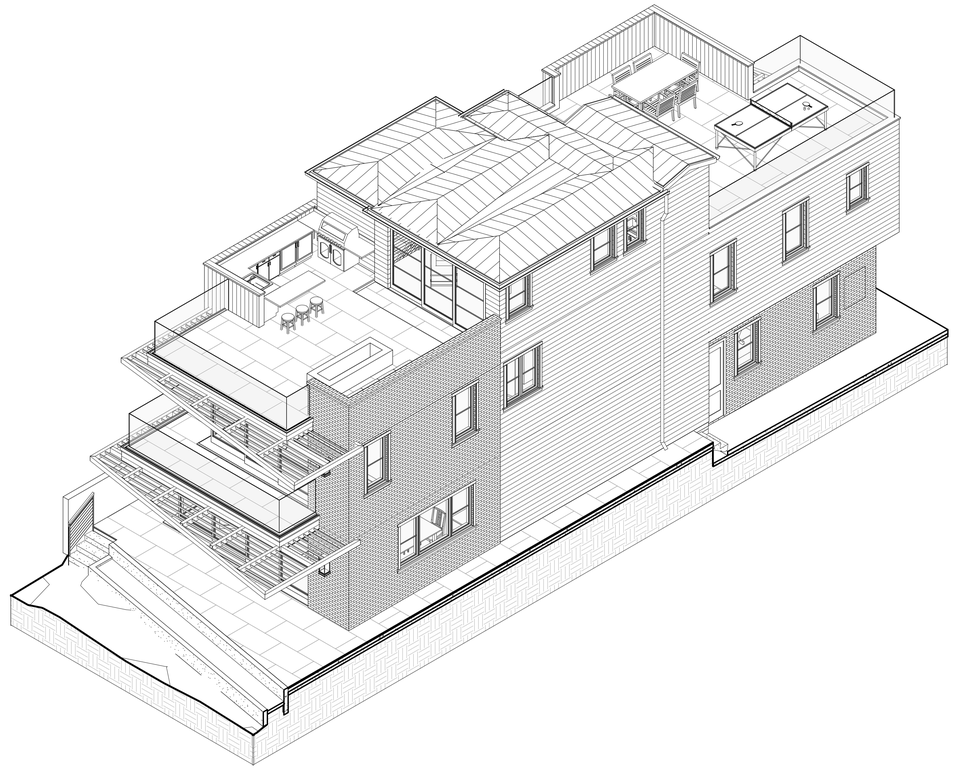
LEGAL DESCRIPTION:
LOTS 1 & 2 IN BLOCK 7 OF SECTION 1, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 30 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EROSION CONTROL PLAN
CONSTRUCTION POLLUTION PREVENTION PLAN
402 S. BAY FRONT
NEWPORT BEACH, CA

SHEET: C4

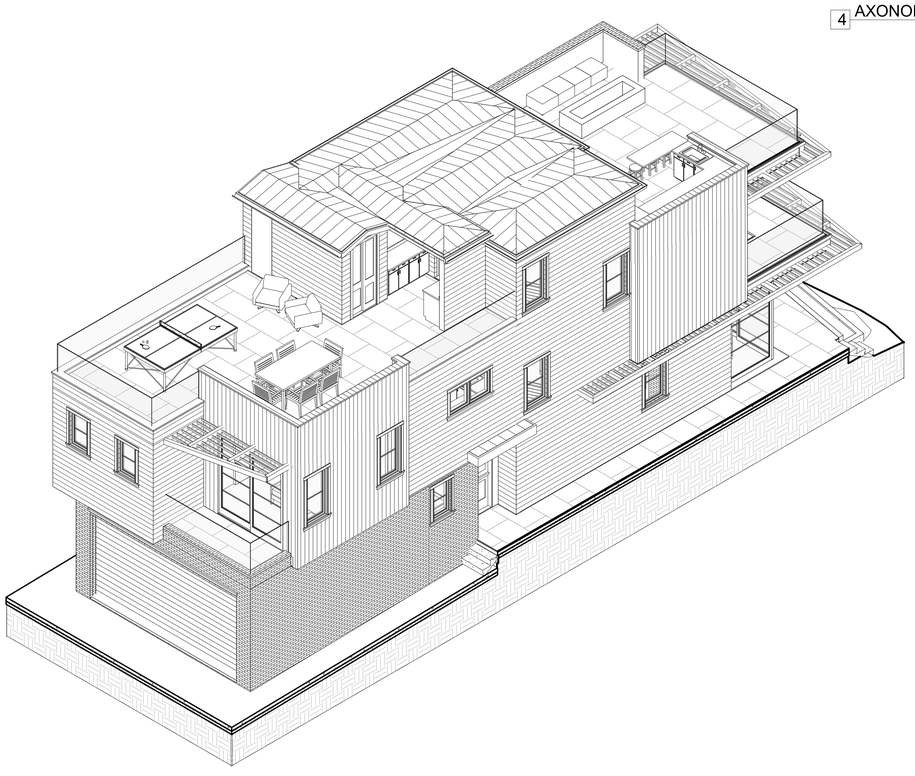


3 AXONOMETRIC - WEST

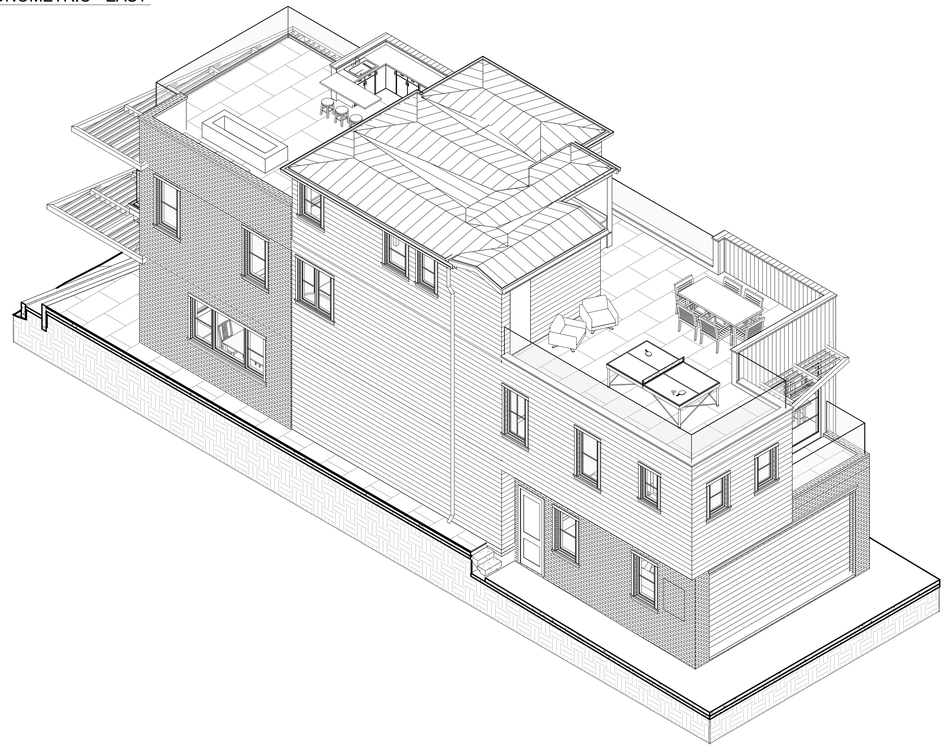


2 AXONOMETRIC - SOUTH

4 AXONOMETRIC - NORTH



1 AXONOMETRIC - EAST



PROJECT NAME
MODERN BAY FRONT

STATUS
CDP - FIRST CHECK

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MODERN BAY FRONT

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NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
Designer

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

3-DIMENSIONAL VIEWS

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REVISIONS

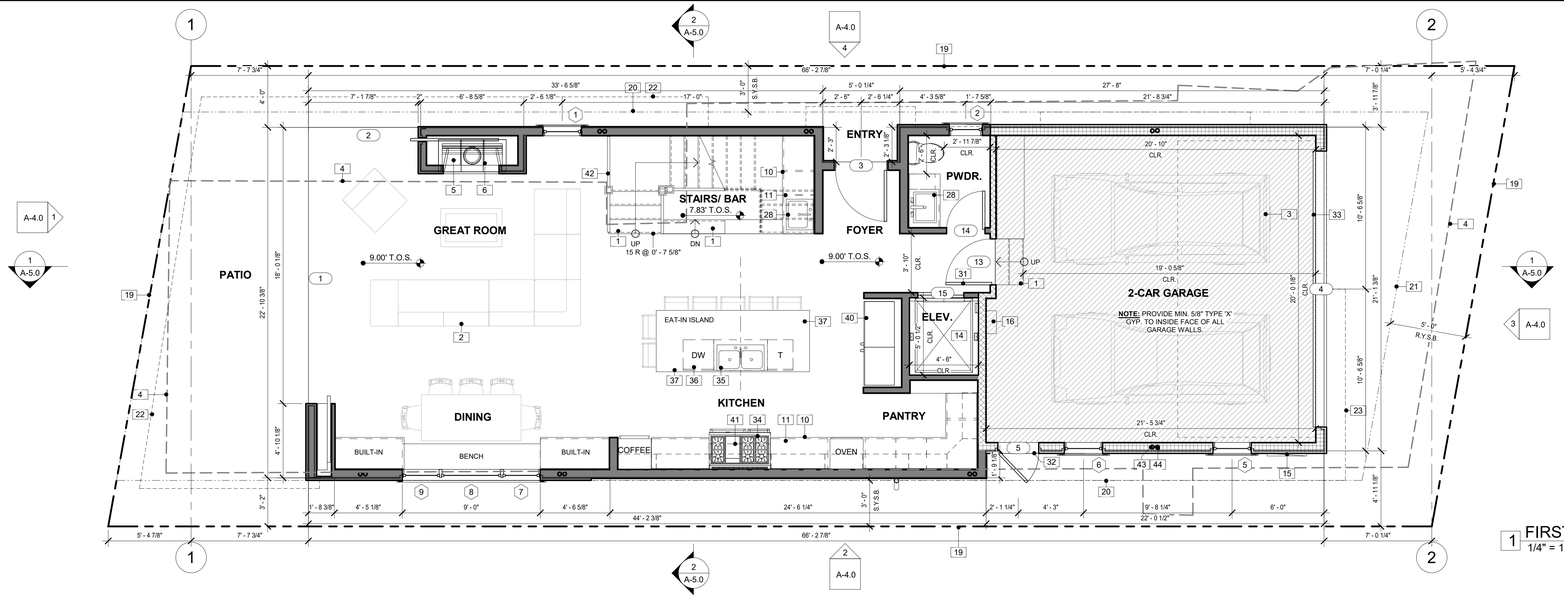
NO.	REVISION	DATE

JOB NO. 2018-30

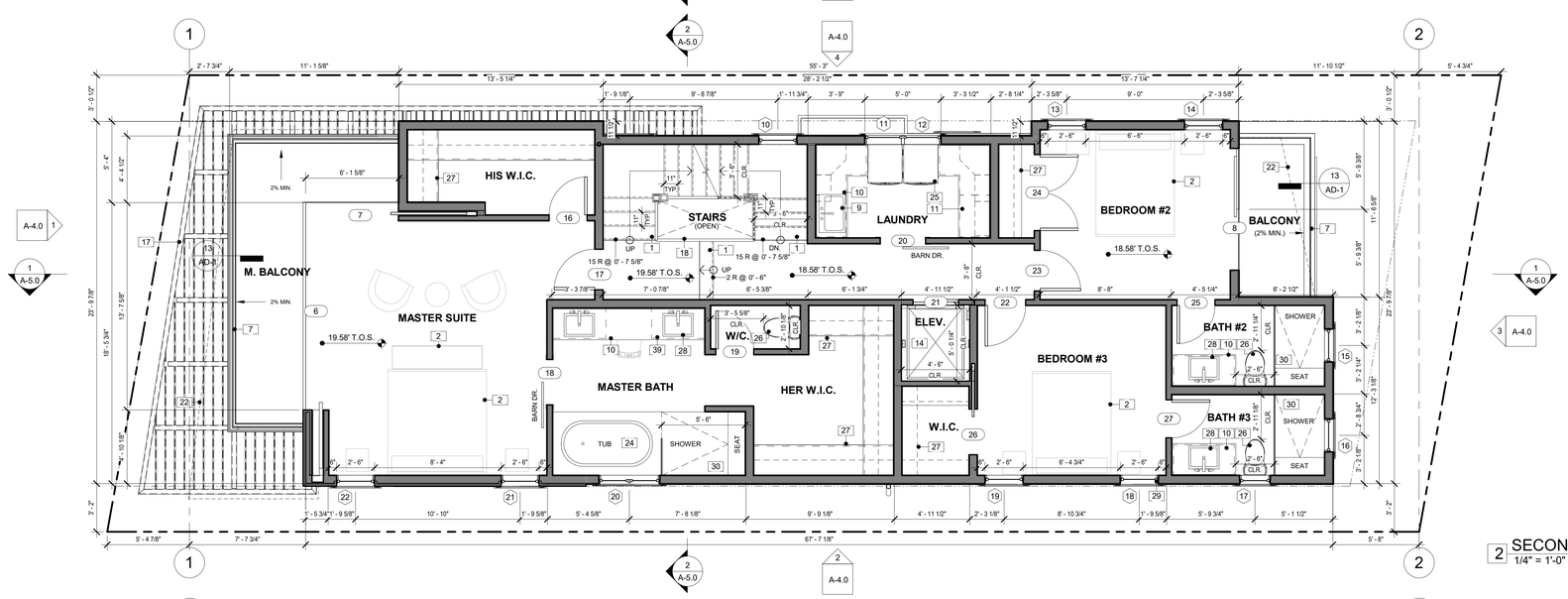
DATE 03/22/2019

SHEET NO.

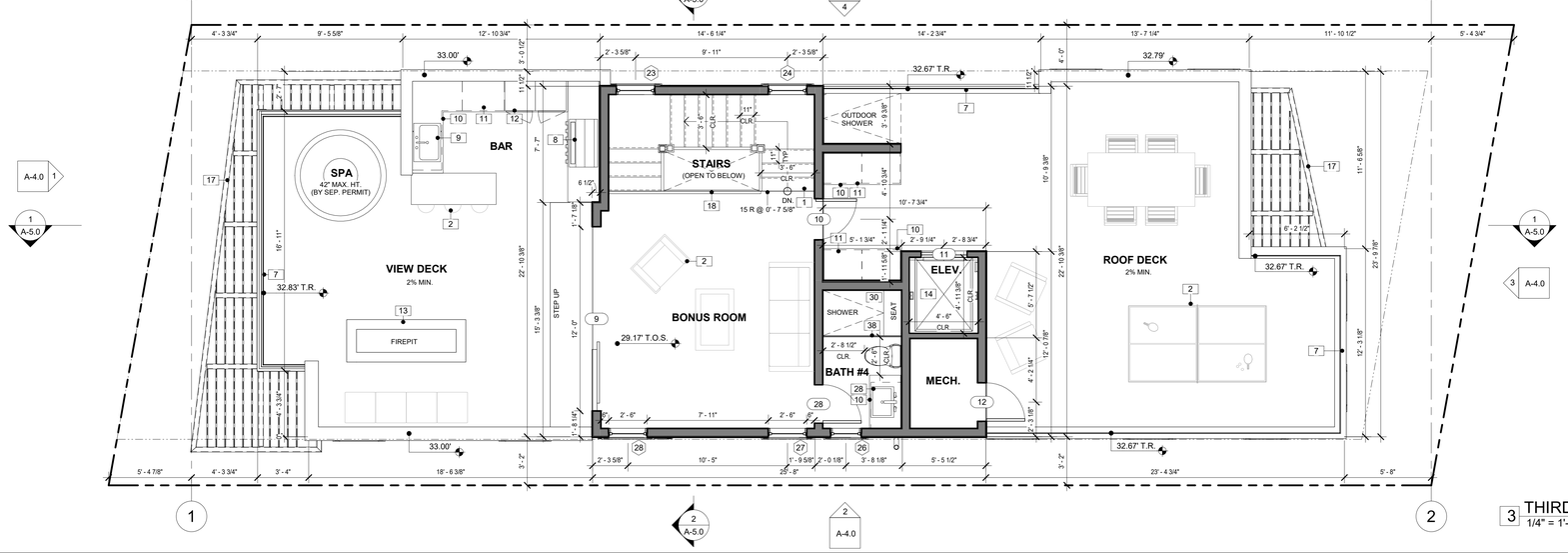
A-1.0



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"



3 THIRD FLOOR T.O.S.
1/4" = 1'-0"

MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2:2016 SECTION 4. WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING VENTILATION (BEES 152(a), EXCEPTION 5 TO SECTION 152(a)). FOR CONTINUOUS WHOLE-BUILDING VENTILATION, MIN. REQUIRED RATE OF VENTILATION IS 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EACH OCCUPANT (ONE OCCUPANT PER BEDROOM +1). VENTILATION TO BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.

2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM (PART OF WHOLE-BUILDING VENTILATION REQUIREMENT).

CALCULATIONS:
UNIT: 2,655 S.F.
(0.03)(2,655 S.F.+ [7.5 CFM x OCC. (BED. +1)] =
79.65 CFM + (7.5 x 4) = 109.65 CFM REQ'D.

KEYNOTE LEGEND

1	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
2	FURNISHINGS - AS SELECTED
3	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
4	OUTLINE OF EXISTING BUILDING - TO BE DEMOLISHED
5	FIREPLACE - PREFABRICATED, GAS ONLY - MASON-LITE FIREPLACE, MODEL 'BURNTECH GBV849' ICC# ESR-2401 (DTL. 22/AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AN INSTALLED IN ACCORDANCE W/. THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/. THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
6	EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED ACCORDING TO THE F.P. MFGR'S. INSTR'S. (CRC R1005)
7	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1
8	BBQ, AS SEL. - PROVIDE NATURAL GAS
9	LAUNDRY SINK - AS SEL.
10	COUNTERTOP - AS SELECTED
11	BASE CABINET - BUILT-IN, FINISH AS SEL.
12	PROVIDE POWER FOR BUILT-IN APPLIANCE/EQUIPMENT
13	FIRE PIT LOC'N., PROVIDE GAS AS NEEDED
14	RESIDENTIAL ELEVATOR - 'GARAVENTA LIFT, UPGRADE DOOR PACKAGE STYLE 5,' SHAFT SIZE = 62" X 63 1/2" CLEAR, SLAB DEPRESSION REQ'D PER MFGR. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO PURCHASE & INSTALLATION
15	MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOC'N. W/. SO. CA. EDISON
16	WATER HEATER - TANK-LESS (ON DEMAND) WALL-MOUNT +44" MIN., "TAKAGI" OR EQUIV. - VERIFY SIZE REQ'D. W/. MFGR. (PROVIDE ADEQUATE N.G. CONN.) VENT THROUGH ROOF
17	STRUCTURAL STEEL BEAM - REF. STRUCT. DWGS.
18	INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 4 & 9/AD-1
19	PROPERTY LINE
20	SIDE YARD SETBACK
21	REAR YARD SETBACK
22	OUTLINE OF OVERHANGS ABOVE
23	LINE OF SECOND FLOOR ABOVE
24	BATHTUB - AS SELECTED (VERIFY LOC'N. OF FIXTURES W/. OWNER)
25	WASHER - PROVIDE HOOK-UPS & POWER - INSTALL PAN & DRAIN UNDER WASHER (TYP.) - G.C. TO VERIFY LOC'N. & SIZE
26	TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL GREEN NOTES FOR FLOW RATE INFO.
27	SHELF AND POLE - BUILT IN, FINISH AS SEL.
28	SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/. OWNER)
29	WINDOW TO MEET EGRESS REQ'TS. - REF. WINDOW NOTE #6 ON SCHEDULE
30	SHOWER - HOT-MOP PAN, PROVIDE TILE W/. CEMENT BACKING MIN. 72" HIGH; NET AREA 7.1 S.F. MIN.; 30" DIA. CIRCLE MIN., REF. DTL. 17/AD-1
31	1-3/8" MIN. SOLID CORE DOOR, SELF CLOSING & SELF LATCHING (R302.5.1)
32	1-1/2" MAX. STEP AT OUT SWING DOORS (R311.3.1)
33	GARAGE DOOR - CUSTOM BUILT, ARCH. TO APPV.
34	RANGE - VERIFY APPLIANCE W/. OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/. MFGR.)
35	KITCHEN SINK - AS SELECTED
36	DISHWASHER - AS SELECTED
37	CUSTOM BUILT KITCHEN ISLAND PER OWNER & ARCH.
38	TEMPERED GLASS ENCLOSURE - 1/2" THK. (MIN. 3/8" THK.) GLASS TO BE ETCH MARKED (FRAMELESS U.N.O.)
39	BASE CABINET - SINK UNIT, BUILT-IN, FINISH AS SEL.
40	REFRIGERATOR - VERIFY APPLIANCE W/. OWNER
41	KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFGR'S. INSTRS.
42	INTERIOR HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTLS. 4 & 9/AD-1
43	OVERFLOW DRAIN LINE - IN WALL/ FROM ABV., TO BE METAL VERIFY W/. G.C. (REF. CIVIL DWGS. & DTLS.)
44	DRAIN LINE - IN WALL/FROM ABV., TO BE METAL VERIFY W/. G.C. (REF. CIVIL DWGS. & DTLS.)

TRUE NORTH PROJECT NORTH

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER CRC R303.7

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED WITH 2 X 6 STUDS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD
***HERS VERIFICATION REQUIRED- REFERENCE T-24.1**

FIRE RATED CEILING ASS'Y. REF. DTL. 7/AD-1
EXT. FIRE RATED PARTITION REF. DTL. 5/AD-1
INT. FIRE RATED PARTITION REF. DTL. 7/AD-1
NEW WALL - 2 x 6 STUDS @ 16" O.C.
NEW WALL - 2 x 4 STUDS @ 16" O.C.
WALL W/. STONE VENEER - 2 x 6 STUDS @ 16" O.C.
CONCRETE RETAINING WALL - REF. STRUCTURAL
CONCRETE MASONRY WALL - 6" CMU U.N.O.
DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
WINDOW - REFERENCE SCHEDULE
DOOR - REFERENCE SCHEDULE
CABINET - BUILT IN CASEWORK
COLUMN -REF. STRUCTURAL DWGS.
FURNITURE - FOR PRESENTATION PURPOSES ONLY
FIREPLACE - PREFAB GAS-ONLY APPLIANCE
PLUMBING FIXTURE - SINK (AS SELECTED)
PLUMBING FIXTURE - TOILET (AS SELECTED)
LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
WINDOW WALL TAG - REFERENCE SHEET A-7.0
DOOR TAG - REFERENCE SHEET A-7.0
WINDOW TAG - REFERENCE SHEET A-7.0
KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHT.

A PLAN LEGEND

PROJECT NAME
MODERN BAY FRONT

STATUS
CDP - FIRST CHECK

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NEWPORT BEACH, CA 92662

PROJECT MANAGER/ARCHITECT
Designer

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FLOOR PLANS

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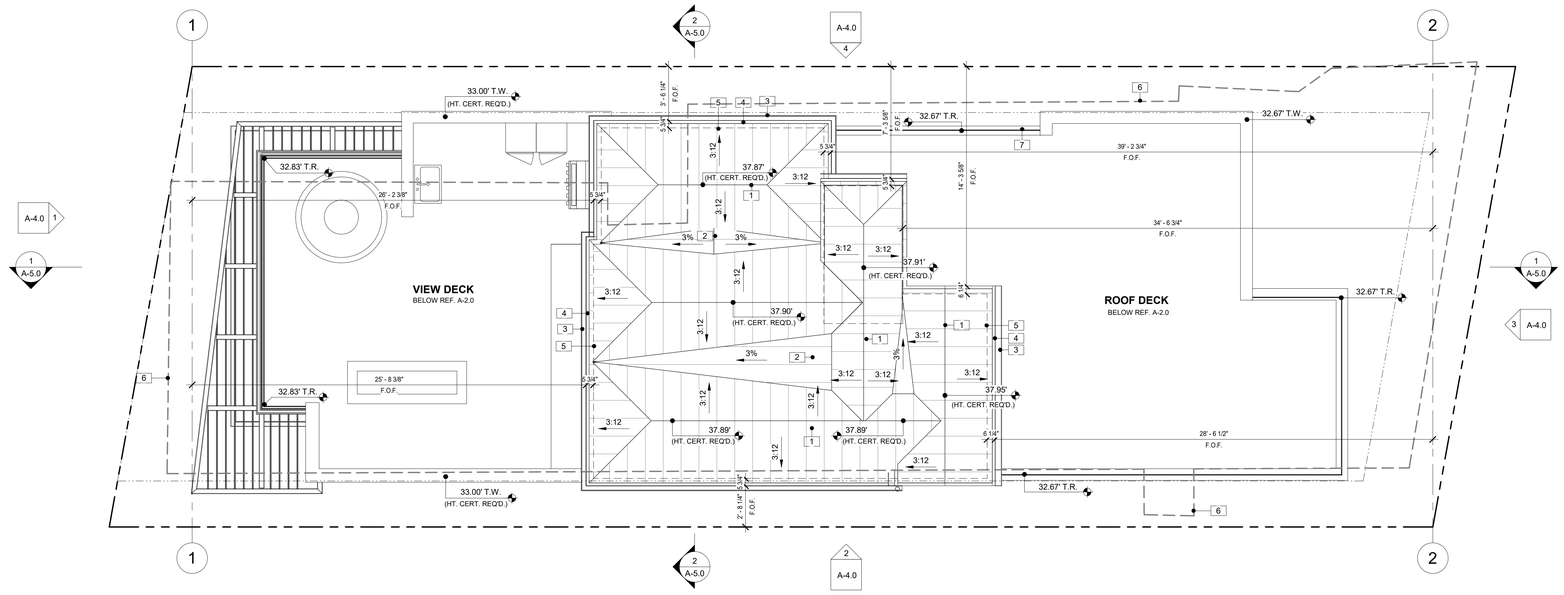
REVISIONS

NO.	REVISION	DATE

JOB NO. 2018-30
DATE 03/22/2019
SHEET NO.
A-2.0



1 ROOF PLAN
1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

KEYNOTE LEGEND	
1	ROOF - STANDING SEAM METAL W/. SS. METAL ZINC FINISH - REF. MAT. SCHED. A-4.0 & DTL. 2/A-3.0
2	CRICKET - SLOPE 2% MIN., REF. ROOF PLAN A-4
3	METAL GUTTER - KYNAR FINISH OR EQUIV., SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
4	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS)
5	LINE OF WALLS BELOW
6	OUTLINE OF EXISTING BUILDING - TO BE DEMOLISHED
7	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1

NOTE: ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHT'G. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHT'G. TO FACE OF FINISH FASCIA

FILLED REGION INDICATES ATTIC SPACE- REF. ATTIC VENTILATION CALCS.

A ROOF PLAN LEGEND

ROOF VENTILATION NOTES: (CRC R806)

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/. CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

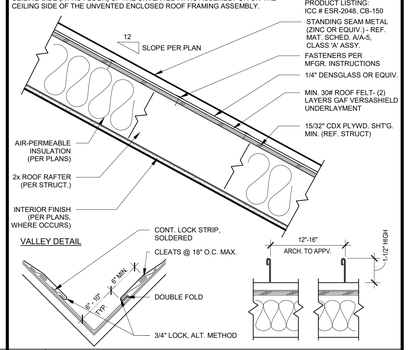
2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 IF ONE OR MORE OF THE FOLLOWING ARE MET; 1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40% AND MORE THAN 50% OF THE REQUIRED VENTILATING ARE IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF TEH REQUIRED VANTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.

3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHT'G. AND AT THE LOCATION OF THE VENT.

4. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MF'RG.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/. THE REQ'TS. OF SECTION R903. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/. THE REQ'TS. OF SECTION R703.1.

5. UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBER/RAFTERS AND THE STRUCTURAL ROOF SHT'G. AT THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. 2. NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASEEMBLY. 3. WHERE WOOD SHINGLES OF SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHT'G. 4. IN CALIFORNIA CLIMATE ZONES 14 & 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS III VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/. THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1-A) 5. EITHER ITEMS 5.1, 5.2 OR 5.3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHT'G. (NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONT. UNDERLAYMENT IS INSTALLED. A CONT. LAYER SHALL BE CONSIDERED TO EXIST IF SHT'G., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.); 5.1. AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/. THE UNDERSIDE OF THE STRUCTURAL ROOF SHT'G. 5.2. AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHT'G., RIDGE BOARD OR SHEET INSULATION W/. AN R-VALUE OR R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHT'G. FOR CONDENSATION CONTROL. 5.3. AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION. THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/. THE UNDERSIDE OF THE STRUCTURAL ROOF SHT'G. FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-PERMEABLE INSULATION. 5.4. WHERE PREFORMED INSULATION BOARD IS USED AS THE AIR IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

UNVENTED ENCLOSED RAFTER ASSEMBLY NOTE:
NO INTERIOR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY.



2 METAL ROOFING DETAIL
1 1/2" = 1'-0"

PROJECT NAME
MODERN BAY FRONT

STATUS
CDP - FIRST CHECK

BRANDON ARCHITECTS
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92660

MODERN BAY FRONT

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PROJECT MANAGER/ARCHITECT
Designer

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ROOF PLAN

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REVISIONS

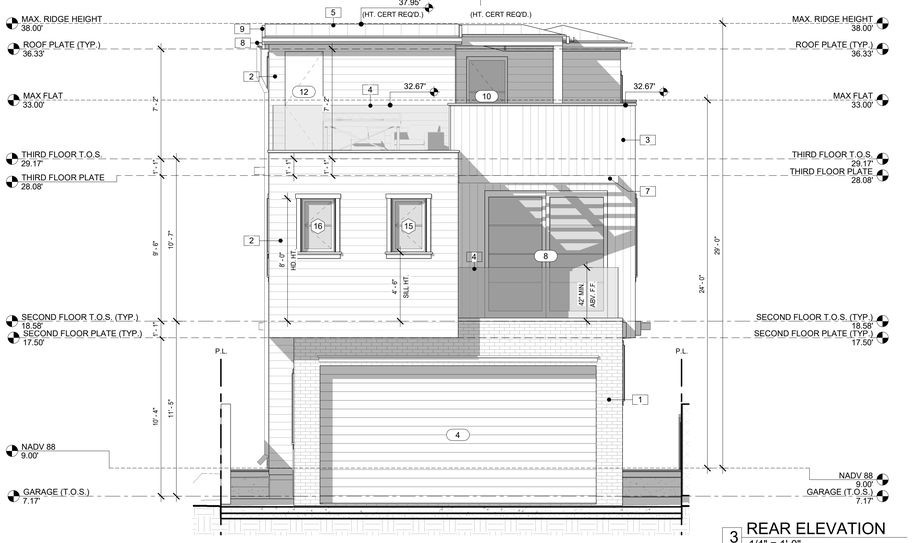
NO.	REVISION	DATE

JOB NO. 2018-30

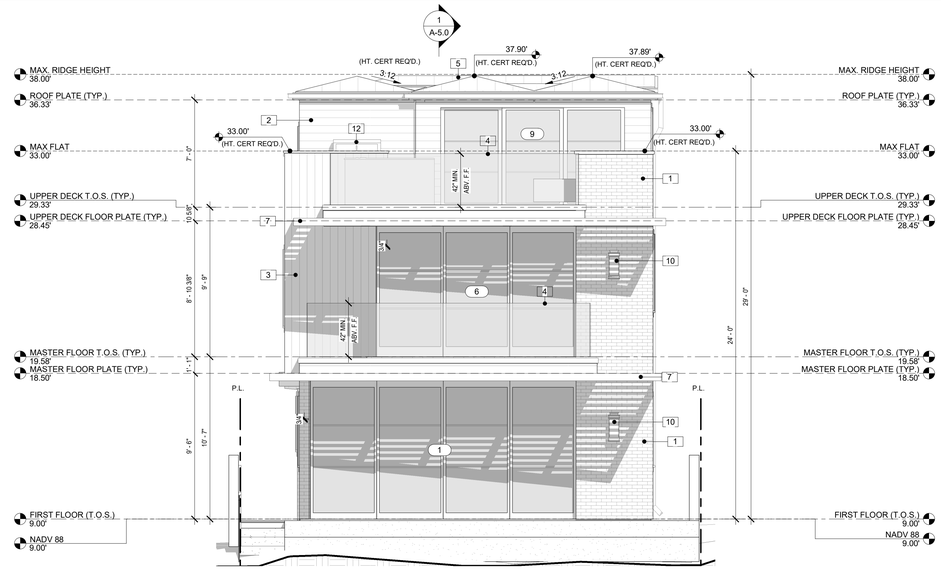
DATE 03/22/2019

SHEET NO.

A-3.0

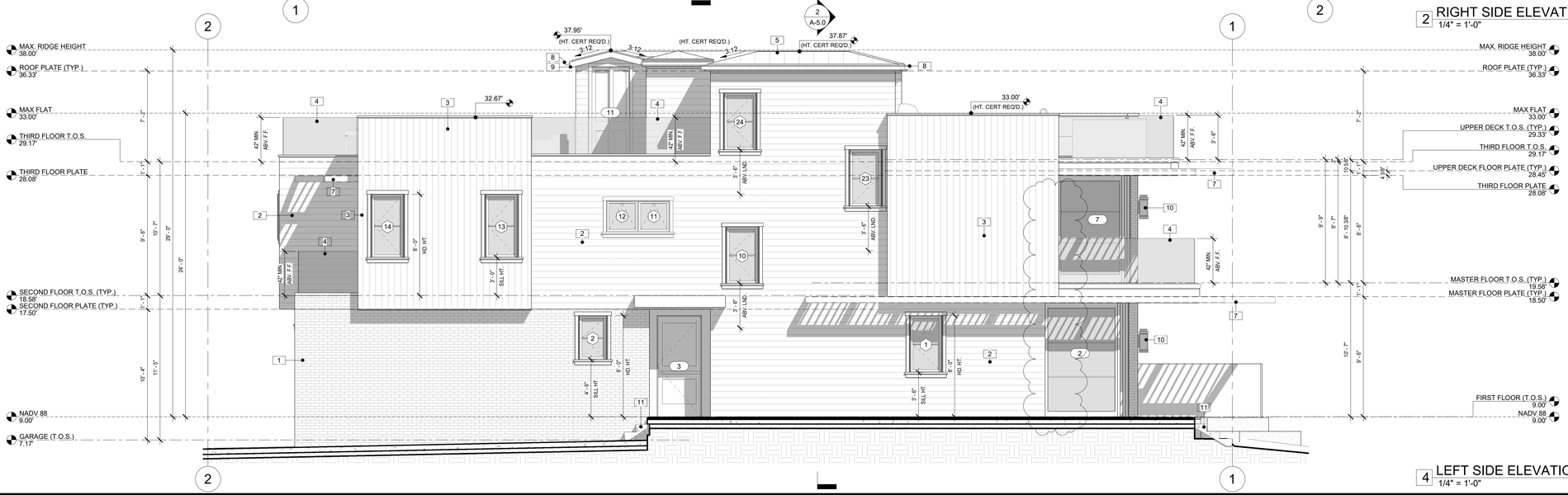


3 REAR ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



4 LEFT SIDE ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-2319
FAX: 206-666-2150
EMAIL: JYOUNAN@ABSSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD, P.O. BOX 1329; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7412 OR 800-535-3936
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 5621 S. 25TH ST., PHOENIX, AZ 85040
PHONE: 877.268.1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

CEMENT BASED WOOD SIDING:

MANUFACTURER:
JAMES HARDIE BUILDING PRODUCTS, INC.
10901 ELM AVENUE
FONTANA, CA 92337
P: 909.356.6366

COLOR: PAINTED-DUNN EDWARDS: WHITE

APPLICATION: SHIPLAP 6" PLANK

CODE: ICC# NER-405

BRICK VENEER:

MANUFACTURER:
ELDORADO STONE. LLC
1200 INDUSTRY STREET
EVERETT, WA. 98203
P: 425-407-0107

STONE TYPE: CAPISTRANO ADOBE (ARCH. TO VERIFY)

COLOR: PAINTED LIGHT GREY, OWNER TO APPV.

APPLICATION: RUNNING BOND, RUSTIC GROUT (ARCH. TO APPV.)

THICKNESS: 1" -1.5" NOMINAL

WEIGHT: LESS THAN 12 LBS. / S.F.

APPROVALS: ICC ESR - 1215

VERTICAL T&G WOOD SIDING:

SPECIES: TBD

SIZE: HORIZONTAL, VARYING WIDTHS.

TREATMENT: TBD

APPLICATION: PER DETAIL 14/AD-1

CODE: N/A

METAL ROOFING: (CLASS 'A')

MANUFACTURER:
CUSTOM-BILT METALS
13940 MAGNOLIA AVE.
CHINO, CA 91710
P: 909.664.1500

PRODUCT: STANDING SEAM ZINC ROOFING, CB-150

COLOR: NATURAL ZINC

NOTES: USE CONTINUOUS 16" OR 18" PANS - VERIFY W/. ARCH. SIZE & LOC'N. OF SEAMS. (NO TRANSVERSE SEAMS) REF. DTL. 1/A- 3

WEIGHT: APPX. 2 PSF.

CODE: ICC # ESR-2048, CB-150

GUTTERS:

MATERIAL: METAL - ALUM. PAINTED KYNAR

SHAPE: HALF ROUND (5") (VERIFY W/. ARCH.)

GARAGE DOORS:

SUPPLIER: RANCH HOUSE DOORS
WWW.RANCHHOUSEDOORS.COM

STYLE: CUSTOM

MATERIAL: CUSTOM BUILT, WOOD & GLASS

WATERPROOF DECK MEMBRANE:

TUFFLEX POLYMERS
10880 POPLAR AVE.
FONTANA, CA
P: 909.349.2016
WWW.TUFFLEXPOLYMERS.COM

CODE: ICC # ESR-2505

FLASHING & WEATHERSTRIPPING:

PROVIDE MIN. 24 GUAGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/. ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

A MATERIAL SCHEDULE

NOTE: REF. ROOF PLAN (A-3.0) FOR ALL PLATE HTS. & RIDGE HTS.

KEYNOTE LEGEND

1	BRICK VENEER - REF. DTL. 8/AD-1 & MATERIAL SCHEDULE A-4.0.
2	WOOD SIDING - REF. DTL. 5/AD-1 & MATERIAL SCHEDULE A-4
3	VERTICAL WOOD SIDING, SEE MATERIAL SCHEDULE A-4.0 AND DTL 8/AD-1.
4	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1
5	ROOF - STANDING SEAM METAL W/. SS. METAL ZINC FINISH - REF. MAT. SCHED. A-4.0 & DTL. 2/A-3.0
6	MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 30" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOC'N. W/. SO. CA. EDISON
7	STRUCTURAL STEEL BEAM - REF. STRUCT. DWGS.
8	METAL GUTTER - KYNAR FINISH OR EQUIV., SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
9	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS)
10	EXTERIOR WALL MOUNTED LIGHT FIXTURE (HIGH EFFICIENCY) SIZE AS SEL., DOWNLIGHT TYP. U.N.O.
11	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
12	BBQ, AS SEL. - PROVIDE NATURAL GAS

PROJECT NAME
MODERN BAY FRONT

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EXTERIOR ELEVATIONS & MATERIAL SCHEDULE

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REVISIONS

NO.	REVISION	DATE
1	Revision 1	Date 1

JOB NO. 2018-30

DATE 03/22/2019

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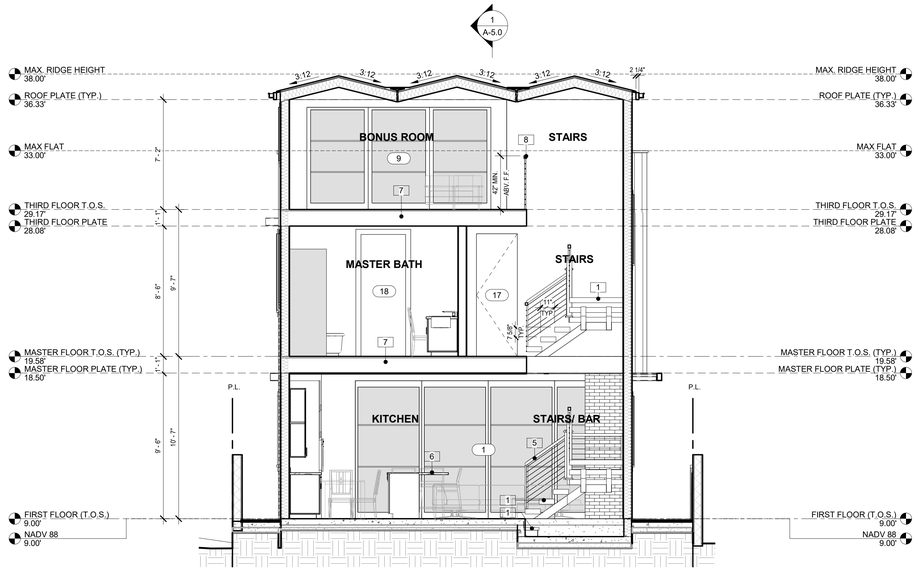
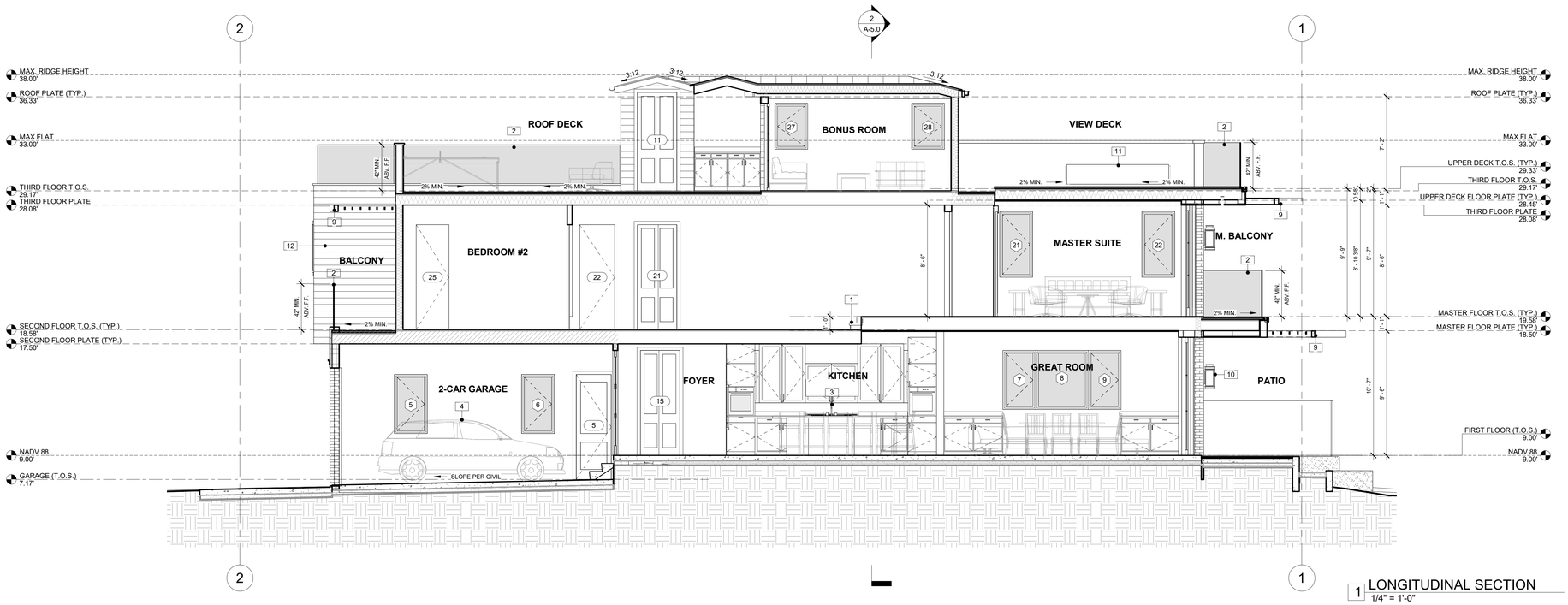
A-4.0



2 TRANSVERSE SECTION
1/4" = 1'-0"



1 LONGITUDINAL SECTION
1/4" = 1'-0"

INSULATION SCHEDULE:	
EXTERIOR WALL:	
2 x 4 CONST. =	R-19 MIN.
2 x 6 CONST. OR LARGER =	R-19
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30
(REF. T-24 REPORT FOR MORE INFORMATION)	
NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

FIRE-BLOCKING & DRAFT-STOP NOTE

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS.

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION. FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS.

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS.

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFT STOP CONSTRUCTION.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN ½-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

KEYNOTE LEGEND

1	STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
2	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13/AD-1
3	KITCHEN SINK - AS SELECTED
4	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
5	INTERIOR HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.N.O.), REF. DTLS. 4 & 9/AD-1
6	CUSTOM BUILT KITCHEN ISLAND PER OWNER & ARCH.
7	FLOOR JOISTS - REF. STRUCT.
8	INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 4 & 9/AD-1
9	STRUCTURAL STEEL BEAM - REF. STRUCT. DWGS.
10	EXTERIOR WALL MOUNTED LIGHT FIXTURE (HIGH EFFICIENCY) SIZE AS SEL., DOWNLIGHT TYP. U.N.O.
11	FIRE PIT LOCTN., PROVIDE GAS AS NEEDED
12	WOOD SIDING - REF. DTL. 5/AD-1 & MATERIAL SCHEDULE A-4

SIM / 1 / A101	SECTION INDICATOR
SIM / 1 / A101	CALL-OUT TAG
Name / Elevation	ELEVATION INDICATOR
1	REVISION FLAG
20 R @ 7 1/2"	STAIR TAG (NO. OF RISER & HEIGHT)
1i	WALL TAG
101	DOOR TAG - REF. SHEET A-8
1i	WINDOW TAG - REF. SHEET A-8
?	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A ANNOTATION LEGEND

	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/. STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

B SEPARATION LEGEND

PROJECT NAME
MODERN BAY FRONT

STATUS
CDP - FIRST CHECK

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PROJECT MANAGER/ARCHITECT
Designer

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BUILDING SECTIONS

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REVISIONS

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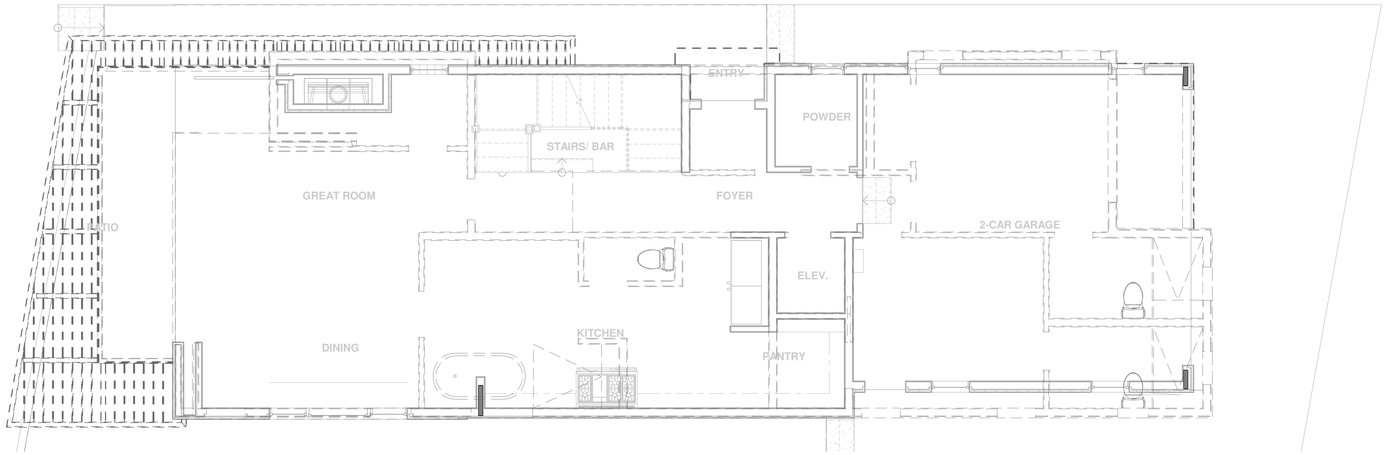
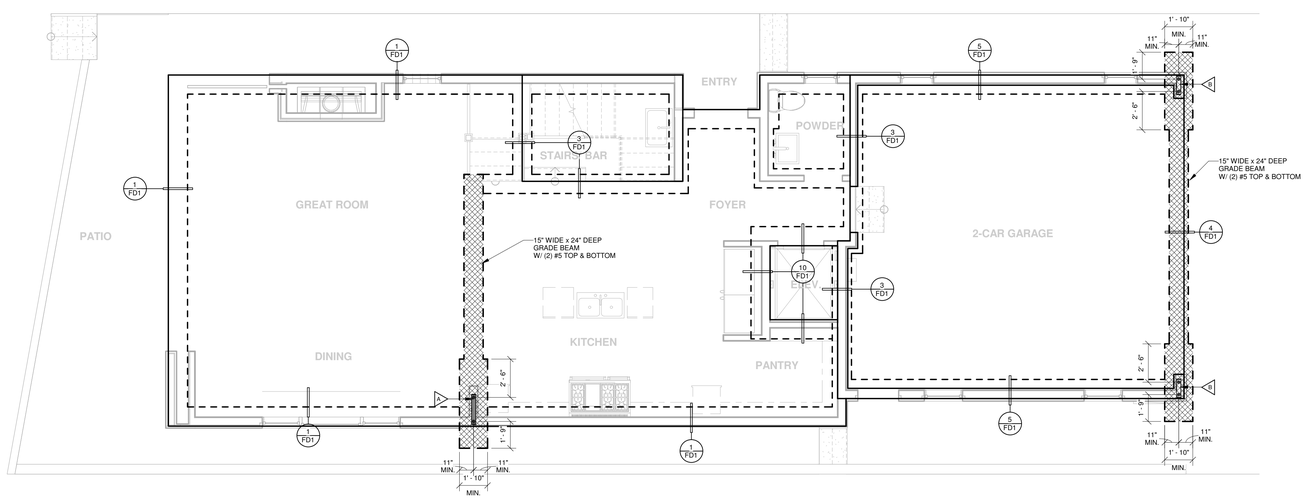


FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

ALL DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTS DRAWINGS ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO COMMENCING OF WORK.

1. ALL BEARING & SHEAR WALLS ARE TO BE SECURED WITH 5/8" DIAMETER BY 10" LONG ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE WITH A MAXIMUM SPACING OF 48" O.C. U.N.O. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER PIECE OF FOUNDATION PLATE WITH ONE BOLT LOCATED WITHIN 12" MAX. & 4-1/2" MIN. OF EA. END OF EA. PIECE. SHEAR WALLS BOLTS SHALL HAVE A PROPERLY SIZED NUT AND A 3"x3"x.229" WASHER. THE WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDE BETWEEN THE NUT AND WASHER. WASHER TO BE INSTALLED WITHIN A 1/2" OF THE SHEATHED SIDE OF THE PLATE. A STANDARD CUT WASHER MAY BE USED AT NON-SHEAR WALL LOCATIONS.
2. FOR ALL INTERIOR NON-SHEAR WALLS USE SIMPSON 0.145" DIAMETERx 3" LONG PDP POWDER ACTUATED ANCHORS @ 24" O.C. (ESR #2138 OR EQUAL)
3. INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION HARDWARE PER MANUFACTURERS RECOMMENDATIONS. DEEPEN FOOTING WHERE NECESSARY TO PROVIDE ANCHOR EMBEDMENT AT HOLDOWN LOCATIONS.
4. ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUG FIR OR REDWOOD WITH SODIUM BORATE (SBX) OR DISODIUM OCTABORATE TETRAHYDRATE (DOT).

NOTE:
WHEN REQUIRED BY LOCAL BUILDING DEPARTMENT ALL ANCHOR BOLTS AND HOLDOWN BOLTS TO BE SET IN PLACE PRIOR TO CITY FOUNDATION INSPECTION

SOIL INFORMATION:

1. FOUNDATION SIZES, DEPTHS, AND REINFORCEMENT ARE AS RECOMMENDED WITHIN THE OWNER/DEVELOPER'S SOILS ENGINEERS REPORT. SOILS ENGINEER TO PROVIDE FOUNDATION INSPECTOR AS OUTLINED IN LATEST SOIL REPORT.
2. OWNER/DEVELOPER AND SUBCONTRACTORS ARE TO REVIEW THE SOILS REPORT PRIOR TO COMMENCING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, DEVELOPER AND SUBCONTRACTOR TO VERIFY THAT THE REPORT DATE ABOVE IS CURRENT AND PLAN REQUIREMENTS ARE CONSISTANT WITH ANY UPDATED SOIL REPORTS. ESI/FME IS TO BE SUPPLIED WITH ALL UPDATED REPORTS.

15" WIDE x 24" DEEP FTG. W/ 2-#5 TOP & BOTTOM CONT.

GRADE BEAM PER PLAN WIDEN AT HARDY FRAME AS REQUIRED SEE SHEET 'HFX1' FOR SHEAR TIE SPACING

SLAB:
5" THK. W/#4 BARS @ 12" O/C E/W @ MIDDLE NEW CONSTRUCTION WITH SLAB ON GRADE SHALL INSTALL A CAPILLARY BREAK IN COMPLIANCE WITH CG 4.505.2.1 WITH 2-INCH THICK LAYER OF SAND OVER A 15 MIL VAPOR BARRIER COMPLIANT WITH ASTM E 1745 OVER A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING. (FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.OR-06)

ANCHOR BOLT LEGEND:

AB48 : 5/8" DIA. X 12" ANCHOR BOLTS AT 48" O.C.
AB40 : 5/8" DIA. X 12" ANCHOR BOLTS AT 40" O.C.
AB32 : 5/8" DIA. X 12" ANCHOR BOLTS AT 32" O.C.
AB24 : 5/8" DIA. X 12" ANCHOR BOLTS AT 24" O.C.
AB16 : 5/8" DIA. X 12" ANCHOR BOLTS AT 16" O.C.
AB 8 : 5/8" DIA. X 12" ANCHOR BOLTS AT 8" O.C.

2AB : (2) 5/8" DIA X 12" ANCHOR BOLTS.
3AB : (3) 5/8" DIA. x 12" ANCHOR BOLTS.

2-#4 : PROVIDE A TOTAL OF 2 #4 AT TOP AND 2 #4 AT BOTTOM OF FOOTING, 3' PAST POSTS.
3-#4 : PROVIDE A TOTAL OF 3 #4 AT TOP AND 3 #4 AT BOTTOM OF FOOTING, 3' PAST POSTS.

HTT4 : (1) SIMPSON HTT4 PER POST.
HTT5 : (1) SIMPSON HTT5 PER POST.
HDU2 : (1) SIMPSON HDU2-SDS2.5 PER POST.
HDU5 : (1) SIMPSON HDU5-SDS2.5 PER POST.
HDU8 : (1) SIMPSON HDU8-SDS2.5 PER POST.
HDQ8 : (1) SIMPSON HDQ8-SDS3 PER POST.
HDU11 : (1) SIMPSON HDU11-SDS2.5 PER POST.
HDU14 : (1) SIMPSON HDU14-SDS2.5 PER POST

LATERAL SHEAR NOTES:

(2016 CBC, SDPWS-2015 ; SEISMIC DESIGN CATEGORY D & E)
(TABLE 4.3A, AFPA SDPWS-2015)

VERTICAL: — FRAMING MEMBERS DOUGLAS FIR-LARCH AT 16" O.C

10. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 6" O.C AT EDGES AND 12" O.C. AT FIELD .....260 PLF
11. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 4" O.C AT EDGES AND 12" O.C. AT FIELD .....350 PLF
12. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 3" O.C AT EDGES AND 12" O.C. AT FIELD .....490 PLF
13. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 2" O.C AT EDGES AND 12" O.C. AT FIELD .....640 PLF
14. 1/2" (OR 15/32) WOOD STRUCTURAL PANEL WITH 10d COMMON NAILS AT 2" O.C AT EDGES AND 12" O.C. AT FIELD .....770 PLF
15. 1/2" (OR 15/32) STRUCT. I WOOD PANEL WITH 10d COMMON NAILS AT 2" O.C AT EDGES AND 12" O.C. AT FIELD .....870 PLF

HORIZONTAL: (3/8" @ CEILING LDS, 15/32 @ ROOF SHEATHING): — FRAMING MEMBERS DOUGLAS FIR-LARCH AT 24" O.C

20. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 6" O.C. AT BOUNDRIES, 6" AT CENTER AND 10" AT FIELD .....240 PLF
21. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 4" O.C. AT BOUNDRIES, 6" AT CENTER AND 10" AT FIELD .....320 PLF
22. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2.5" O.C. STAGG.AT BOUNDRIES, 4" AT CENTER AND 10" AT FIELD .....480 PLF
23. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2" O.C. STAGG.AT BOUNDRIES, 3" AT CENTER AND 10" AT FIELD .....545 PLF

HORIZONTAL: — FRAMING MEMBERS DOUGLAS FIR-LARCH AT 16" O.C

24. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 6" O.C. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD .....320 PLF
25. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 4" O.C. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD .....425 PLF
26. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2.5" O.C. STAGG. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD .....640 PLF
27. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2" O.C. STAGG. AT BOUNDRIES, 3" AT EDGES AND 10" AT FIELD .....730 PLF

NOTES:
A. WOOD STRUCTURAL PANEL: MATERIAL APPROVED BY APA, PFS/TECO OR PITTSBURG TESTING LABORATORIES THESE VALUES ARE FOR DOUG-FIR LARCH OR SOUTHERN PINE, OTHER LUMBER SPECIES MAY DIFFER IN SHEAR CAPACITIES.
B. PROVIDE 2X BLOCKING AT HORIZONTAL WOOD STRUCTURAL PANEL JOINTS. FRAMING AT ADJOINING PANEL EDGES SHALL BE 3X WHEN NAILING IS 2.5" O.C. OR LESS.
C. WHERE WOOD STRUCTURAL PANEL IS APPLIED ON BOTH FACES OF WALL AND NAIL SPACING IS LESS THAN 6" O.C. PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3X OR WIDER AND NAILS STAGGERED ON EACH SIDE.
D. FOR SHEAR WALLS 1 TO 4 USE THE FOLLOWING:
1) USE 3x MEMBER @ PANEL JOINTS & HORIZONTAL BLOCKING
2) EDGE NAILING SHALL BE STAGGERED
E. 10d SHORT BOX NAILS MAY BE USED IN LIEU OF 8d COMMON NAILS @ SHEAR WALLS ONLY.
F. REQUIRED STEEL PLATE WASHERS AT SHEAR WALLS ONLY (WHEN ANCHOR BOLTS ARE USED: 3" x 3" x .229" STEEL PLATE WASHERS ARE REQUIRED ON EACH ANCHOR BOLT (SDPWS SECT. 4.3.6.4.3) WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE WASHER AND NUT. WASHER TO BE INSTALLED WITHIN 1/2" OF SHEATHED SIDE OF PLATE.
G. A STANDARD CUT WASHER MAY BE USED AT ALL NON-SHEAR WALL LOCATIONS WITH ANCHOR BOLTS.

HORIZONTAL:
ALL ROOF AND FLOOR SHEATHING TO BE EXPOSURE I OR EXTERIOR

ROOF:
-JOIST SPACING EQUAL TO OR LESS THAN 24" O.C: 15/32"WOOD STRUCTURAL PANEL PII 32/16, WITH 8d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.
-HORIZONTAL DIAPHRAGM VALUES FOR 3/8" WOOD STRUCTURAL PANELS MAY BE USED FOR 15/32" WOOD STRUCTURAL PANELS. U.N.O.

FLOOR:
-JOIST SPACING EQUAL TO OR LESS THAN 16" O.C: 19/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 32/16, w/10d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.
-JOIST SPACING EQUAL TO OR LESS THAN 20" O.C: 19/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 40/20, w/10d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.
-JOIST SPACING EQUAL TO OR LESS THAN 24" O.C: 23/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 48/24, w/10d's AT 6" O.C AT EDGES AND BOUNDARIES, 12" O.C FIELD.

PANEL EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH * BLOCKING NOT REQUIRED WHEN LIGHTWEIGHT CONCRETE IS PLACED OVER SUBFLOOR.

FRAMING LEGEND:

ROOF JOISTS AND RAFTERS
INDICATES SPAN AND DIRECTION OF TRUSSES
INDICATES SPAN AND DIRECTION OF FLOOR JOISTS
INDICATES SPAN AND DIRECTION OF CEILING JOISTS
INDICATES SPAN AND DIRECTION OF DECK JOISTS (SLOPED AS REQUIRED)

A. 2x6 AT 12" O.C
B. 2x6 AT 16" O.C
C. 2x6 AT 24" O.C
D. 2x8 AT 12" O.C
E. 2x8 AT 16" O.C
F. 2x8 AT 24" O.C
G. 2x10 AT 12" O.C
H. 2x10 AT 16" O.C
J. 2x10 AT 24" O.C
K. (2) 2x10 AT 16" O.C
L. 2x12 AT 12" O.C
M. 2x12 AT 16" O.C
N. 2x12 AT 24" O.C
P. (2) 2X12 AT 16" O.C
T. TRUSS AT 24" O.C

I-JOIST TABLE		
MARK	SPACING	SIZE & MANUFACTURER OPTIONS
Q-	I-JOIST @ 12" O.C.	a) 9 1/2" TJI / 230
R-	I-JOIST @ 16" O.C.	
S-	I-JOIST @ 19.2" O.C.	
U-	I-JOIST @ 12" O.C.	a) 11 7/8" TJI / 360
V-	I-JOIST @ 16" O.C.	
W-	I-JOIST @ 19.2" O.C.	
X-	I-JOIST @ 12" O.C.	a) 14" TJI / 360
Y-	I-JOIST @ 16" O.C.	
Z-	I-JOIST @ 19.2" O.C.	

G=L - INDICATES (1) GANGLAM LVL 1.8E
GLB - INDICATES GLULAM BEAM
M=L - INDICATES (1) MICROLAM 2.0E
PSL - INDICATES PARALAM 2.0E
LSL - INDICATES TIMBERSTRAND 1.55E
E/S - EACH SIDE
FL. HT. - FULL HEIGHT
ALT. - ALTERNATE
TYP. - TYPICAL
U.W.A. - UNDER WALL ABOVE
L.O.B. - INDICATES LINE OF BLOCKING
R.T.R. - RUN TO ROOF
'U' - INDICATES 'U' HANGER, U.N.O.
'[' - INDICATES 'HU' HANGER, U.N.O.
(#) - INDICATES HEADERS AND BEAMS, REFER TO ENGINEERING CALCS

NOTE:
1 * APPLY SHEAR PRIOR TO FRAMING OF PERPENDICULAR WALL AND/OR BOX-OUTS. (WHERE APPLICABLE)

FRAMING NOTES LEGEND MARK: DESCRIPTION	SPN=SOLE PLATE NAILING NAILS= 16d BOX
SPN12: 16d SOLE PLATE NAILING @ 12" O.C.	
SPN10: 16d SOLE PLATE NAILING @ 10" O.C.	
SPN8: 16d SOLE PLATE NAILING @ 8" O.C.	
SPN6: 16d SOLE PLATE NAILING @ 6" O.C.	
SPN4: 16d SOLE PLATE NAILING @ 4" O.C.	
SPN3: 16d SOLE PLATE NAILING @ 3" O.C. STAGGERED	
SPN2: 16d SOLE PLATE NAILING @ 2" O.C. STAGGERED	

XX - INDICATES LATERAL ENHANCEMENT. WALL NOT CONSIDERED IN LATERAL ANALYSIS.

(#) - SHEAR WALL GRID LINE, REFERENCE STRUCTURAL CALCS

FASTENERS AND CONNECTORS TO BE GALVANIZED FOR PRESERVATIVE PRESSURE TREATED WOOD.

PROJECT NAME
BAY FRONT PLACE

STATUS
FIRST SUBMITTAL

ESI/FME INC.
STRUCTURAL ENGINEERS
3916 E. 1ST ST. STE. B
SANTA ANA, CA 92703
PHONE: 714-835-2050
FAX: 714-835-2051

JOB # 5047
02-28-19

REGISTERED PROFESSIONAL ENGINEER
REZAWAN MAHMOOD
036840
CIVIL
STATE OF CALIFORNIA

OWNER INFORMATION:
GARRETT CALACCI
610 NEWPORT CENTER DRIVE, SUITE 890,
NEWPORT BEACH, CA 92660

BAY FRONT PLACE

402 S BAY FRONT
NEWPORT BEACH, CA 92662

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FOUNDATION PLAN

REVISIONS

NO.	DESCRIPTION	DATE

JOB NO. H047
DATE 02-28-2019
SHEET NO.
S1