

CITY OF NEWPORT BEACH PLANNING COMMISSION STAFF REPORT

April 18, 2019 Agenda Item No. 3

SUBJECT: Vivante Senior Housing (PA2018-185)

• General Plan Amendment No. GP2018-003

Planned Community Text Amendment No. PC2018-001

Development Agreement No. DA2018-005Site Development Review No. SD2018-003

• Lot Merger No. LM2018-004

Addendum No. 1 to Environmental Impact Report No. ER2016-002

SITE

LOCATION: 850 and 856 San Clemente Drive

APPLICANT: Nexus Development Corporation

OWNER: Nexus Development Corporation

PLANNER: Makana Nova, AICP, Associate Planner

949-644-3249, mnova@newportbeachca.gov

PROJECT SUMMARY

The applicant is seeking approval of an 184,309-square-foot, six-story combination senior living housing development consisting of 90 residential dwelling units and a memory care facility with 27 beds. The project site is approximately 2.91 acres and is located on San Clemente Drive across from the intersection of Santa Maria Road. The proposed project includes the demolition of the existing Orange County Museum of Art (approximately 24,000 square feet) and associated administrative office building (approximately 15,000 square feet).

The development would include resident dining areas, fitness room, yoga room, indoor pool, lounge with bowling alley, salon, art room, theater, library, golf simulator, and support uses such as offices, mechanical and storage rooms, mail room, laundry, and housekeeping.

On-site surface parking will provide a minimum of one space per dwelling unit and one space per three beds of memory care (115 spaces are proposed).

The applicant requests an increase in the maximum height limit identified in the PC-19 (San Joaquin Plaza Planned Community) Development Plan from 65 feet to 77 feet 10 inches (including 10 feet for rooftop appurtenances) to accommodate the proposed development.

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Surrounding uses include residential apartments (The Colony Apartments) and an office building to the south across San Clemente Drive, commercial office uses and a parking structure to the west and northwest, a parking structure to the east, and residential apartments to the north (Villas Fashion Island).

The applicant, Nexus Development Corporation, requests approval of the following applications from the City of Newport Beach:

- General Plan Amendment To amend Anomaly No. 49 to change the land use category from PI (Private Institutions) to MU-H3 (Mixed-Use Horizontal). The proposed amendment also includes 90 additional dwelling units in Statistical Area L1. An initial review of the General Plan Amendment and Charter Section 423 indicates that a vote of the electorate would not be required should the General Plan Amendment be approved by the City Council.
- Planned Community Text Amendment To modify the San Joaquin Plaza Planned Community (PC-19) Development Plan to include development and design standards to allow for 90 senior dwelling units and 27 memory care beds. The applicant also requests an increase in the height limit from 65 feet to 77 feet 10 inches.
- **Development Agreement** Review of a proposed development agreement that would provide development rights in exchange for public benefits should the project be approved.
- **Conditional Use Permit** To allow the operation of the proposed senior housing development and memory care facility.
- Major Site Development Review To allow the construction of 90 senior dwelling units and a 27-bed memory care facility, and to ensure the site is developed in accordance with the applicable planned community and zoning code development standards and regulations pursuant to Newport Beach Municipal Code (NBMC) Section 20.52.080 (Site Development Reviews).
- Lot Merger To merge the two existing lots into one parcel for development of the site.
- Addendum to Environmental Impact Report (EIR) (SCH#2016021023) To address reasonably foreseeable environmental impacts resulting from the legislative and project specific discretionary approvals, the City has determined that an addendum to a previously certified EIR is warranted pursuant to the California Environmental Quality Act (CEQA).

Preparation of an addendum to the Environmental Impact Report (EIR addendum) commenced for the project in November 2018. Once completed, the addendum to the EIR will be made available on the City's website.

Public hearings with the Planning Commission and John Wayne Airport Land Use Commission are anticipated to occur in late spring 2019, with subsequent City Council consideration in summer 2019.

STUDY SESSION

The purpose of the study session is to introduce the requested applications and provide the Planning Commission and general public with the opportunity to learn about the project. Additionally, the session will provide an opportunity to request additional information about the project in advance of a future public hearing. During the study session, staff will provide a brief overview of the proposed project, requested approvals, and the preliminary results of the environmental analysis. Additionally, staff will highlight how the public can participate in the process and future hearings. The applicant will provide a more detailed presentation of the proposed project.

No action on either the project or EIR addendum can be taken by the Planning Commission at the study session.

CORRESPONDENCE

Staff has received four letters regarding the proposed project prior to the printing of the staff report (Attachment No. PC 3). Any additional correspondence received by staff will be distributed to the Planning Commission prior to the study session.

COURTESY NOTICE

Although not required by the Municipal Code, a courtesy notice of this study session was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled meeting. Members of an interest list generated for the project were sent an email notification, a message was sent to local residents through the Nextdoor online application, and an email select alert was sent for email subscribers to the Planning Division's notification list. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

Prepared by:

Submitted by:

Makana Nova Associate Planner

Jim Campbell

Deputy Community Development Director

ATTACHMENTS

PC 1 Vicinity Map

PC 2 Public Comment Letters

PC 3 Project Plans

Attachment No. PC 1

Vicinity Map

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Attachment No. PC 2

Public Comment Letters

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From: Paul King <peakay@gmail.com>

Sent: December 21, 2018 1:04 PM

To: Nova, Makana

Subject: RE: Vivante Senior Housing Project

Is this an approved project or a proposed project? Just curious as a local NB resident.

Thank you, Paul

From: Coralee Newman <cora@govsol.com>

Sent: January 10, 2019 2:00 PM

To: Nova, Makana Cc: Ramirez, Gregg

Subject: Vivante Senior Living Applications

Importance: High

Follow Up Flag: Follow up Flag Status: Completed

(Gregg- forget my previous email. I found basic data on city website.)

Makana: I see a General Plan Amendment is being requested for this site and that it is being deemed "99 units"

I would like to see the application and any other pertinent information on this.

As you know, I worked on this site for years - (before Museum House) and was told by the city - senior living could not be deemed

residential- so I am very curious as to what is going on.

Appreciate being forwarded links to data if they are available. Has and EIR gone out on this?

Thanks so much. Coralee



CORALEE NEWMAN

Founding Principal

Email: Cora@govsol.com
Tel. 949-717-7944
Web: www.govsol.com

Mail: 1048 Irvine Ave. #618, Newport Beach, CA 92660

Office: 1601 DOVE STREET, SUITE 215, NEWPORT BEACH, CA

From: Adreana Souleles <absouleles@gmail.com>

Sent: February 05, 2019 4:46 PM

To: Nova, Makana Subject: Vivanti Project

Follow Up Flag: Follow up Flag Status: Flagged

I live near Fashion Island and am interested in the new project for seniors, Vivanti. Understand it is in the approval process but any information that is available at this time I would appreciate having. Thank you. Adreana Souleles, 10 Rue Fontainbleau, Newport Beach, Ca 92660

From: Abdol Bahrami <abdol.bahrami@orco.com>

Sent: April 04, 2019 1:01 PM

To: Nova, Makana

Subject: VIVANTE SENIOR HOUSING PROJECT

Follow Up Flag: Follow up Flag Status: Flagged

Hi Makana,

I hope you are doing well.

I was hoping you would be ale to tell me who the Architect on Record is for this project?

Best,

Abdol Bahrami - CMT

Architectural Sales Representative - Orange County

ORCO Block & Hardscape | Since 1946 11100 Beach Blvd - PO Box E Stanton, CA 90680 abdol.bahrami@orco.com | NEW! www.orco.com

(714) 527-2239 office (714) 932-7125 cell (714) 897-1904 fax

Attachment No. PC 3

Project Plans

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NEXUS

HKS

VIVANTE - SENIOR ASSISTED LIVING

NEWPORT BEACH, CALIFORNIA



HKS ARCHITECTS, INC. 539 BRYANT STREET, SUITE 100 SAN FRANCISCO, CA 94107

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

MEP ENGINEER

OWNER

CIVIL ENGINEER

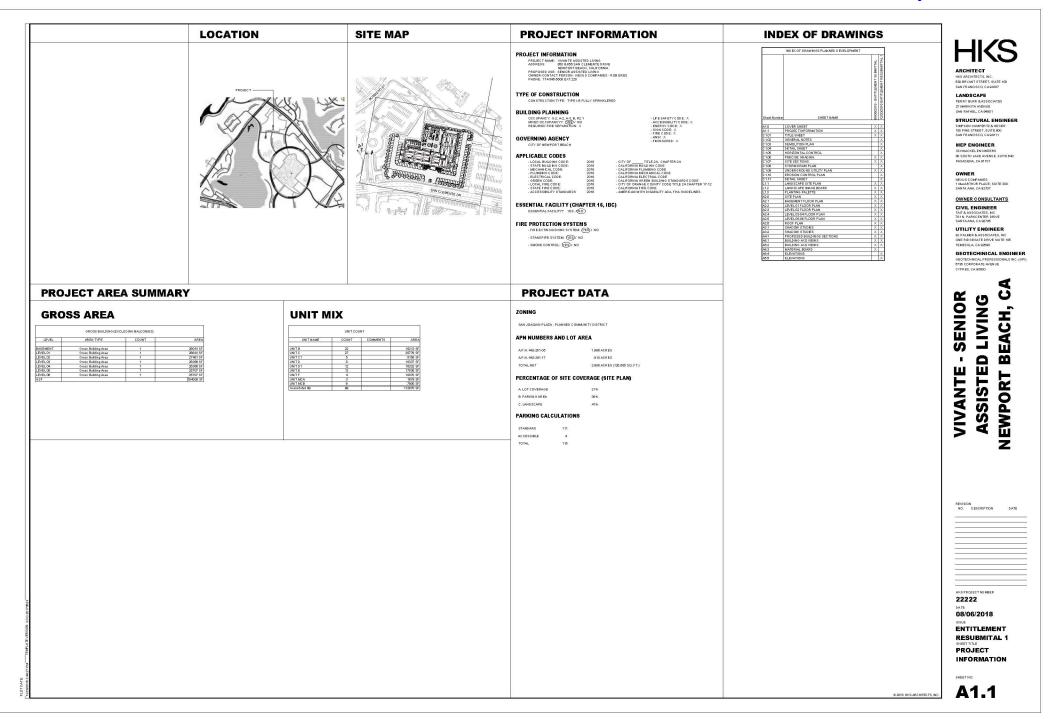
UTILITY ENGINEER

BJ PALMER & ASSOCIATES ONE RID GEGATE DRIVE SUITE 105 TEMECULA, CA 92590

GEOTECHINCAL ENGINEER

ENTITLEMENT RESUBMITTAL 1

PROJECT NO. 22222 DECEMBER 20, 2018



HKS

STRUCTURAL ENGINEER

80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

NEXUS COMPANIES 1 MinARAR THUR PLACE; SUITE 300 SANTA ANA, CA 92707

OWNER CONSULTANTS CIVIL ENGINEER

UTILITY ENGINEER

BJ PALMER & ASSOCIATES, INC ONE RID GEGATE DRIVE SUITE 105 TEMECULA, CA 92500

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VIVANT

GEOTECHINICAL ENGINEER CYPRES, CA 90630

SIMPSON GUMPERTZ & HEGI 100 PINE STREET, SUITE 800 SAN FRANCISCO, CA 94111

MEP ENGINEER

LANDSCAPE 27 MARINITA AVENUE SAN RAFAEL, CA 9490

IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

VIVANTE FASHION ISLAND-SR. ASSISTED LIVING

PRECISE GRADING PLANS

SAN CLEMENTE DR

INDEX MAP

ABBREVIATIONS

-END OF CURB RETURN
ENSTRING LEVATION
-EDGE OF PAVEMENT
-ENSTRING
-FRIE HYDRANT
-FRIEN CRADE
-FRIEN SURFACE
-FRIEN SURFACE
-FRIEN SURFACE
-FRIEN HYDRANT ASSEMBLY
-GRADE BEGOT
-GRADE BEGOT
-HADDEAP
-HEIGHT OF RETAINING
-HIGH POINT
-FIVERT

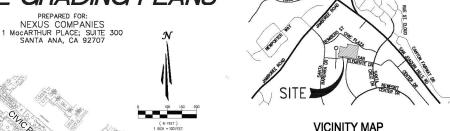
UTILITY COMPANIES:

CRAIR ENVIRONMENTAL SERVICES 2081 PLACENTIA AVE. COSTA NESA, CA 92627 PHONE: (949) 625-6735

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- LANDSCAPING
- LOW POPIT
- LO

SOUTHERN CALIFORNIA GAS COMPANY CENTRALIZED CORRESPONDENCE MONTEREY PARK, CA 91756 PHONE: (800) 427-2200



VICINITY MAP

GENERAL NOTES:

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO GREENE COVERNANS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS, YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PROPERTY OR TO OMMETICIBENT OF ANY CONSTRUCTION AUTHOREED BY THIS

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ACCEPTANCE OF IMPROVEMENTS. TES AND NOTES SHALL BE UNKED ON DRANCE COUNTY SURVEY PAPER.

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12/18/2018

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TITLE SHEET

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NEWPORT BEACH, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2, IN THE CITY OF NEWPORT BEACH, IN THE COUNTY OF ORANGE, STATE OF CALFORNIA, AS SHOWN ON A MAP FILED IN BOOK 51, PAGES 8 AND 9 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALFORNIA.

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3, 2008, PUBLISHED BY THE FEDERAL EMERGENCY

EMERGENCY NUMBER:

EARTHWORK PAVEMENT LEGEND

UNDERGROUND SERVICE ALERT Call: TOLL FREE KNOW WHAT'S BELOW

TWO WORKING DAYS BEFORE YOU DIG

NEWPORT BEACH CITY UTILITIES WATER DEPARTMENT 949 W. 16TH STREET NEWPORT BEACH, CA 92663 PHONE: (949) 644-3011 SOUTHERN CALIFORNIA EDISON P.O. BOX 800 RANCHO CUCAMONGA, CA 91770 PHONE: (800) 655-4555

CITY OF NEWPORT BEACH GRADING GENERAL NOTES

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- MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
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- DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
- WORK HOURS ARE LIMITED FROM 7:00 AM TO 8:30 PM MONDAY THROUGH FRDAY; 8:00 AM TO 8:00 PM SATURDAYS; AND NO WORK ON SUNDAYS AND HOUDAYS PER SECTION 10-28 OF THE NAME.
- NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
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- PERMITTER AND CONTRIBUTION ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
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- APPROVED BY THE COLLARS OFFICIAL.

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- 13. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPES AREAS.
- FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEWCES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
- ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
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- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
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REQUIRED INSPECTIONS

- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PROFESS OF MEETING CONTRACTOR, DESDIC COVIL, ENGINEER, SOLIS ENGINEER, GEOLOGIST, CITY 6 INSPECTIOR OF THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTION SMILL BE OUTLINED AT THE MEETING.
- INSPECTION OF THE PROPERTY OF

GRADING FILLS/CUTS

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- FILL SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SMILE FRAMERS
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR CONTINUE, INSPECT EACH CANTON FOR MEASURE OF ADVERSE STABLITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FILTURE ACCUMULATION OF, SUBSUMFACE WATER OR SPRING FLOW, IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS FRONERS. THE BUILDING DEPARTMENT MAY REQUIRE CORING OF CONCRETE FLAT WORK PLACED OVER UNITSTEED BACKFILLS TO FACILITATE TESTING.
- 1. THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
 2. LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBMC.
- 12. LAIDSAPHING OF ALL SUPES AND PAIS SHALL BE IN ACCORDANCE WITH CHAPTER IS OF THE HIMD.

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 15. HE CHARLESTING CALCOST AND SIAL SHORKER, THE SIAL SHORKER WILL GIFTAN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BULLDING DEFINITION FOR CONTRIBUTION OF CARSOLATION OF ALL BUTTIESS.

 15. HE CHARLESTING OCCURRENT AND SIAL SHORKER SHALL INFORM THE THE CONSTRUCTION OF ALL BUTTIESS.

 16. ALL SHORKERING OCCURRENT AND SIAL SHARKER SHALL INFORM THE STATE SHARKER SHALL REPORT WHE STATE OF ALL BUTTIESS.

 17. ALL SHAR SHATTS IN THE SHARKER SHALL REPORT WAS THE CONSTRUCTION OF ALL BUTTIESS.

 17. ALL SHAR SHATTS IN THE SHARKER SHALL REPORT WAS THE THE CONSTRUCTION OF ALL BUTTIESS.

- 16. WHEN OUT PARA THE HIS TO HERR GRADE THE BROWNERS IN STRONGST SHALL DETERMINE IF THE BEDROOK IS EXTENSIVELY PRACTURED OF FAULTED AND WILL READLY TRANSMIT WATER. O'CONSIDERED RECOSSARY BY THE BROWNERS OF BROWNERS OF THE STRONGST WATER OF CONSIDERED RECOSSARY BY THE BROWNERS OF BROWNERS OF THE BROWNE
- 1. THE CHARGEMING SECONDARY OF THE PROJECT IN THE COURSE OF THE FULL UNITS HER REPORTSBULLTY, THE OVEL ENGINEER, SIGN ESTABLES, THE COURSE OF THE TESTING ACCOUNT OF THAT THE MORK IS NOT SHILD TO SOLD ENGINEER. THE CHARGEMENT OF COLORIST OF THE TESTING ACCOUNT OF THAT THE MORK IS NOT SHILD TO CHARGEMENT OF THE CHAR

- ALMACHATINAS AN AN ASPORT FARNING PLAY SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATION OF ALL SURFACE AND SUBSEMPACE DEVANIMENT EXACUTIES (FASTE SHALL PROVIDE METER) APPROVED, HAT THE WORK WAS CONCE IN ACCOUNTAGE OF THE FERMAL APPROVED GRADING PLANI AND STAYE THE NUMBER OF YARDS OF CUIT MOJO'R PLAN HOUSED DURING THE OPERATION.
- CUT MILLOYER DIL MONED DIAMINE THE OPERATION.
 A SOLIS GROUND REPORT PEPRATER BY THE SOLIS ENGINEER, NICLIDING LOCATIONS AND ELEVATION OF FIELD
 DEISHIT ISSTS. SUMMARES OF FIELD AND LABORATORY RESULTS AND DIFFER SUSSTAINTANED DATA AND COMMENTS
 ON ANY CHANGE AND DEPRING GROUND AND THAT PETCH OF ON THE RECOMMENDATIONS MADE IN THE SOLIS
 ENGINEERIC INVESTIGATION REPORT. HE SHALL PROVICE WHITTEN APPROVIA, AS TO THE ADEQUACY OF THE SITE FOR
 THE RITHIOLD USE AND COMMENTION OF WORK IN ADCORDANCE WHIT THE ADEPOYAL, AST
- THE INTELLIGED USE AND CONTRECTION OF THE ACCOUNTED WITH THE DISPERSAL THE ACCOUNTY CASHING REPORT PREPARED BY THE EIGHDERING CENCIOSE, INCLUDING A FINAL DESCRIPTION OF GEOLOGY OF THE SITE, INCLUDING ANY SEN INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF ON PECCHANICIAN INCORPORATED IN THE APPROVED GRADING PLAN, HE/SHE SHALL, PROVIDE WRITTEN APPLAS TO THE ADDUMATY OF THE SITE FOR THE INTELLIGED USE AS AFFECTED BY GEOLOGIC FACTORS.

- TO COMMENCEMENT OF ANY WORK COVERED BY THESE PLANS. SEPARATE CITY OF PLACENTIA PUBLIC WORKS PERMIT WILL BE REQUIRED FOR ANY WORK WITHIN THE CITY RIGHT—OF—WAY.
- A CONSTRUCTION EASEMENT AND "RIGHT TO ENTER" WILL BE REQUIRED FOR WORK ON ADJACENT PROPERTY.
- THE EXTENT OF DEMOLITION WORK SHALL BE AS SHOWN ON THE DEMOLITION PLANS, DEMOLITION INCLUDES COMPLETE WEECKING OF EXISTING IMPROVEMENTS AND REMOVA AND DISPOSAL OF DEMOLISHED MATERIALS, ANY SALVAGE OPERATIONS SHALL BE COORDINATED WITH THE "OWNER".
- PROTECTIONS: ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BULDINGS, STRUCTURES, OTHER FACILITIES, MAD PERSONS.
- DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION DEGRATIONS AT NO COST TO OWNER.
- B. LITLITY SERVICES: PRIOR TO THE START OF DEMOLITION WORK, THE CONTRACTOR SHALL DIBLIT SERVICES PERIOR TO THE START TO COMMUNICATION SHORE, THE CONTINUOUS TO THE START OF COMPANIES AND MAKE PROVISIONS TO HAVE ALL EXISTIN ON-SITE WATER, SEVER, ORS, ELECTRIC, IRRICATION, AND TELEPHONE LINES REMOVED, ASANDONED, OR PELOCATED THAT SERVE THE BUILDINGS TO BE DEMOLISHED, OR THAT INTERFERE WITH PROPOSED CONSTRUCTION.
- 9. CONTRACTOR TO MEET RULE 403:
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED UNPAVED ROADS AND DISTURBED AREAS WITHIN THE PROJECT ARE WATERED AT LEAST THREE TIMES DAILY DURING DRY WEATHER.
- THE CONTRACTOR SHALL ENSURE THAT TRAFFIC SPEEDS ON UNPAVED ROADS AND PROJECT SIRE AREAS ARE REDUCED TO 15 MILES PER HOUR OR LESS TO REDUCE PM10 AND PM2.5 FUGITIVE DUST HAUL ROAD EMISSIONS BY APPROXIMATELY 44%.
- DISPOSAL: REMOVE FROM SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURRING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- THE CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE, REGIONAL AND LOCAL LAWS RECARDING THE ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD-BASED PAINT AND ASBESTIOS THAT MAY BE FOUND IN THE EXISTING BUILDINGS.
- ALL CONSTRUCTION SHALL ABIDE BY THE NEWPORT BEACH NOISE ORDINANCES IN THAT NOISY CONSTRUCTION ACTIVITIES ARE PROHIBITED BETWEEN 8:00 P.M. ANID 7:00 A.M. ON WEEKDAYS (INCLUDING SATURDAY) AND PROHIBITED ALL DAY ON SUNDAY.
- IMPROVEMENTS AND ALL FOOTINGS, CONCRETE SLABS AND UNDERGROUND UTILITY LINES.
- FILLING BELOW-GRADE VOIDS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF EXISTING STRUCTURES.
- USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER CROANIC MATTER, AS RECOMMENDED BY SOILS REPORT.
- PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER. TRASH AND DEBRIS.
- PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 8" IN LODSE DEPTH. COMPACT EACH LAYER OF FILL MATERIAL AT OPTIMUM MOISTURE CONTENT OR A DENSITY EQUAL TO OPHIMAL ADJACESTIT GROUND, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE OWNER.
- AFTER FILL PLACEMENT AND COMPACTION, GRADE SURFACE TO MEET ADJACENT CONTOURS, CONTRACTOR IS RESPONSIBLE FOR SOILS COMPACTION TESTS.
 COMPACTION TEST SHALL MEET ALL REQUIREMENTS OF THE CITY OF (ENTER CITY).
- FINISH SITE CONDITION: THE FINISH GROUND SURFACES SHALL BE LEFT IN SMOOTH, UNIFORM GRADED CONDITION.
- 17. THIS DEMOLITION PILAN IS NOT INTENDED TO, AND DOES NOT DETERMINE THE METHOD, DETAILS, AND MEANS OF PERFORMING THE DEMOLITION. THIS PILAN MAKES NO INQUIRY OR DETERMINATION AS TO THE EXISTENCE OF ANY HAZARDOUS OR TONC MATERIALS ENSTING ON THE SITE.
- DONNEYANCE SYSTEM TO ACCOMMODATE PASSAGE OF OFF-SITE STORM WATER RUNOFF THROUGH THE DEMOLITION LIMITS TO AN EXISTING STORM DRAIN SYSTEM.
- 19. NO DEMOLITION WORK SHALL COMMENCE PRIOR TO INSTALLATION OF THE PROJECT'S STORM WATER POLLUTION PREVENTION PROGRAM (SWPPP) BEST MANAGEMENT PRACTICES (BUP's).

CITY OF NEWPORT BEACH WATER NOTES

- THE WATER SYSTEM AS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF NEWFOR BEACH STANDARD SPEDICATIONS AND DRAWNOS FOR CONSTRUCTION OF DOMESTIC WATER AND SEVER FACULTIES, LARSTED DIOL CHARGE OF SHALL KEEP A COPY OF THE STANDARD SPECIFICATIONS AND DRAWNOS ON THE JOBSTE AT ALL TIMES.
- A PRECONSTRUCTION MEETING CONFERENCE OF REPRESENTATIVES FROM AFFECTED AGENCIES AND THE CONTRACTOR SHALL BE HELD ON THE JOB SITE AT LEAST 48 HOURS PRIOR TO START OF WORK.
- SMAL BE HILLD ON HE WAS SHE AT LEAST 48 HOURS PROME IN STATE OF WORK.

 THE CONTRACTOR SHELL MOTIFY UNDERGORDING SEMICE ACREET (DIG ALERT) AT LEAST TWO (2) WORKING DAYS PRIDE TO CONSTRUCTION AT All OR 1-1400-4422-4133.

 AND ADMINISTRATION OF THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECURITIONS. WHITHIN THE LUMINIST OF THIS PROJECT, THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE OF THE CONTRACTOR OF THE CONT
- IN ACCORDANCE WITH CALFORNIA CODE OF REGULATIONS, TITLE 8, SECTION 34 (PERMIT REQUIREMENTS) THE CONTRACTOR SHALL GETAIN A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PROPRIATY TRENDS EXCAMPLIA. LOS CS SAID PERMIT SHALL BE KEPT AT THE JOB SITE AND AVAILABLE TO CITY REPRESENTATIVE UPON REQUEST.
- CONTRACTOR SHALL REPLACE IN KIND ALL IMPROVEMENTS REMOVED OR DISTURBED DURING CONSTRUCTION UNLESS OTHERWISE HOTED.
- THE WATER SYSTEM SHALL BE INSTALLED A MINIMUM OF 1 WEEK AFTER ALL CURBS HAVE BEEN INSTALLED. IF THERE ARE NO CURBS PLANNED, THEN THE WATER SYSTEM SHALL BE STAKED BY THE DEVELOPER'S ENGINEER AT MINIMUM 50-FEET STATIONING AT NO COST TO THE CITY.
- ANY WATER SERVICE FOUND TO BE WITHIN A DRIVEWAY SHALL BE REMOVED COMPLETELY FROM THE CORPORATION STOP AND REINSTALLED AT THE PROPER LOCATION, AT NO COST TO THE CITY.
- ALL MAIN LINE VALVES SHALL BE MAINTAINED SO AS TO BE ACCESSIBLE DURING TRACT DEVELOPMENT, AND ALL VALVES STEM TOPS HAVING OVER 48 INCHES OF COMER WILL REQUIRE AN EXTENSION. 10. IN RESIDENTIAL STREETS, THE TOP OF THE PIPE 12 INCHES AND SMALLER SHALL BE A MINIMUM OF 36 INCHES BELOW THE FINISHED STREET SURFACE AND 48 INCHES BELOW FINISHED STREET SURFACE FOR PIPE GREATER THAN 12".
- 11. ALL WET-BARREL FIRE HYDRANTS SHALL BE SET WITH THE BOTTOM OF THE TOP PLANCE OF THE BREAK-OFF RISER SHOULD ADDITION OF THE TOP PLANCE OF THE BREAK-OFF RISER AS UNITS ADDITIONAL OF THE BREAK-OFF RISER AS UNITS ADDITIONAL OF THE HYDRANT INSTALLATIONS.
- ACTUAL FIRE HYDRANT INSTALLATION LOCATION SHALL HAVE A MINIMUM OF 5 FEET RADIUS UNOBSTRUCTED CLEARANCE ALL AROUND.
- 14. EXISTING DRY BARREL FIRE HYDRANTS THAT REQUIRE RELOCATION OR REPLACEMENT SHALL BE REPLACED WITH WET-BARREL FIRE HYDRANTS. WET-BARREL FIRE FORMATIS.

 ALL WATER MANUS 8 INCH THROUGH 12 INCH DIAMETER SHALL BE PVC 0900 DL. 305 OR DIP DL. 350, UNIESS
 OTHERWISE NOTED, LARCER THAN 12 INCH SHALL BE DIP (PRESSURE DLASS AS SHOWN OF PLANS) OR STEEL
 CYLINGER DLL & C, JUNES DHERWISE HOUR PVC MAY BE USED UP TO 16 — INCH DIAMETER MITH USE OF
 EXTERNAL RESTRAINT SYSTEM AND ENGINEERING MANAGER APPROVAL.
- EXPLOYING MODIFIED THE MADE LEMBELSHIPM MANAGER APPROVAL.

 IN 10 TAPS OR OTHER CONDECTIONS SHALL BE MADE TO EXSTRUCT WASHING WATER MADE PROP TO CONDUCTING AN APPROVAD PRESSIRE TIST AND BACTERA TEST ON THE TIME WATER. DISTRIBUTION SYSTEM APPROSED SHALL BE PRESSIRED THE TIME OF THE MADE TO THE M
- 1B. WHERE METERS AND METER BOYES ARE LOCATED WITHIN SLOPES, THE ANGLE METER STOPS SHALL BE SO LOCATED THAT THE METERS AND BOXES WILL BE PARALLEL AND FLUSH, RESPECTIVELY, WITH THE FINISHED SURFACE.
- THAT THE MUCHOS AND DOINGS WILL BE PARKELED AND TURNEY, THEOPELINGUIT, WITH THE PRESENCE SHPPACE AND COMES SHALL BE RECORDED WITH \$50.00 MIN THE PRESENCE AND THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE COMMERCES TO THE COMMERCES TO THE COMMERCES TO THE COMMERCES AND THE PROPERTY OF THE PROPERT
- ALL BURNED NUTS AND BOLTS SHALL BE TYPE 316 STAINLESS STEEL.
 STATIONS SHOWN ARE ALONG THE HORIZONTAL CENTERLINE OF THE PIPE
- 22 INDIVIDUAL PRESSURE REGULATORS SHALL BE REQUIRED BY JURISDICTIONAL AGENCY IF AVERAGE STATIC PRESSURE IS 80 PSI OR GREATER.
- 23 ALL VALVES SHALL BE INSTALLED CLEAR OF ALL SPANDRELS WITHIN STREETS. 24. WHERE VALVES ARE LOCATED, CURBS SHALL BE INSCRIBED WITH A "Y" AND THE DISTANCE TO THE VALVE IN TWO (2) LOCATIONS.
- LOCATIONS.

 25 ALL WATER SERVICES FOR LANDSCAPING, AGRICULTURE, COMMERCIAL AND INDUSTRIAL BUILDINGS SHALL HAVE A
 REDUCED PRESSURE PRINCIPLE BACKTLOW ASSUREY.

 26. ALL RESDETING, BUILDINGS RECIDED BY THE CRANGE COUNTY FIRE AUTHORITY TO INSTALL A FIRE SPRINKLER
 SYSTEM, SYALL HAVE A DOUBLE CHECK VALVE BACK FLOW ASSENDLY.
- 27. ALL FIRE DETECTOR ASSEMBLIES AND BACKFLOW DEWCES SHALL BE TESTED AFTER INSTALLATION BY A CERTIFIED TESTER LICENSED TO OFFERATE IN ORRANGE COUNTY.
- 28. ALL WATER MAIN CROSSING OF SEWER LINES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF DRINKING WATER.
- RESOURCES CONTROL BOARD, DURSING PRINKING MAIRS,
 BEFORE FILLAL COOPERAGE OF THE WORK BY THE CITY, THE CONTRACTOR SHALL FURNASH A COMPLETE SET OF
 "AS—BUILT" REDLINE PLANS TO THE COTY AT THE COMPLETION OF THE PROJECT.
 3 THE CONTRACTOR SHALL HOTHEY THE CITY CHE (1) WEEK PROR TO ANY PROPOSED SHUT DOWN OF EXISTING WAINS
 ON SERVICES CONTRACTOR SHALL COMPLETE ALL WORK WITHIN AN EIGHT (3) HORP PERIOD FOR THE SOMEDULED 31. IN ACCORDANCE WITH THE LATEST CITY RULES AND REGULATIONS FOR WATER SERVICE, JUMPERS ARE NOT PERMITTED. AFTER ONISTIE ROUGH GRADING, WATER MAIN, SERVICES, CURB, GUTTER AND BASE PAVINS ARE COMPLETE, THE METER SHALL BE SET BY THE CITY.

SIGNAGE & STRIPING NOTES

- (1) INSTALL 4' WHITE PARKING STALL STRIPING PER PLAN.
- 2) PAINT CURB RED AND PLACE FIRE LANE MARKING ALONG FIRE LANE AT A MAXIMUM SPACING OF 100 FEET PER DETAIL "A" ON SHEET 5.
- (3) INSTALL ACCESSIBLE PARKING & LOADING ZONE STRIPING PER DETAIL "B" ON SHEET 5.
- (4) INSTALL ACCESSIBLE PARKING SIGNAGE PER DETAIL "C" ON SHEET 5.
- (5) INSTALL TOW AWAY & ACCESSIBLE ENTRANCE SIGNAGE AND POST PER DETAIL "D" ON SHEET 5.

PRECISE GRADING CONSTRUCTION NOTES

- (2) CONSTRUCT 6" CURB & GUTTER PER CITY OF NEWPORT BEACH STD-182-L, TYPE A.
- (3) CONSTRUCT 6" CURB PER CITY OF NEWPORT BEACH STD-182-L. TYPE B.
- (4) CONSTRUCT COMMERCIAL DRIVEWAY PER CITY OF NEWPORT BEACH STD-160-L-A.
- (5) CONSTRUCT CURB ACCESS RAMP PER CITY OF NEWPORT BEACH STD-181-1-A. CASE "C".
- (E) CONSTRUCT DETECTABLE WARNING SURFACE PER CITY OF NEWPORT BEACH STD-181-L-D.
- (B) CONSTRUCT STANDARD DUTY PAVEMENT PER DETAIL ON SHEET 5.

- THE RECONSTRUCT ALL DAMAGED CURB, GUTTER, SIDEWALK AND STREET ALONG ROADWAY IF DEEMED NECESSARY BY INSPECTOR

STORM DRAIN CONSTRUCTION NOTES

- ① INSTALL HOPE STORM DRAIN, INCLUDING ALL BENDS, FITTINGS, AND TRANSITIONS (SIZE AND SLOPE PER PLAN) BEDDING PER MANUFACTURER RECOMMENDATIONS.
- (2) CONSTRUCT STORM DRAIN MANHOLE PER SPPWC STD. 321-2.
- 3 CONSTRUCT 24" TRAFFIC RATED GRATED INLET PER DETAIL 3 ON SHEET 11 WITH FILTER INERT PER DETAIL 11 ON SHEET 11 (MODEL No. FOP-24FB).
- (4) CONSTRUCT 12" PEDESTRIAN RATED AREA DRAIN PER DETAIL 4 ON SHEET 11 WITH FILTER INERT PER DETAIL 11 ON SHEET 11 (MODEL No. FOP-12F8).
- (5) CORE DRILL INTO EXISTING CONCRETE CATCH BASIN AND CONNECT WITH HOPE MANHOLE ADAPTER.
- 6 CONNECT TO ROOF DRAIN DOWNSPOUT WITH PIPE TO PIPE COUPLER, SEE ARCHITECTURAL PLANS FOR SIZE OF DOWNSPOUT.
- (7) PROMDE STENCIL "NO DUMPING-DRAINS TO OCEAN" AT CATCH BASIN, PER DETAIL 8 ON SHEET 11.
- (8) CONSTRUCT 6" ADS N-12 STORM DRAIN CLEANOUT RISER PER DETAIL 11 ON SHEET 11.
- (9) CONSTRUCT MODULAR WETLAND SYSTEM.
- (10) CONSTRUCT BIO-BASIN.

SEWER CONSTRUCTION NOTES

- $\ensuremath{\bigoplus}$ INSTALL 6" VCP PRIVATE SANITARY SEWER LINE, BEDDING PER CITY OF NEWPORT BEACH DWG, NO. STD-106-L.
- ⊕ INSTALL VCP SANITARY SEWER LATERAL CONNECTION PER CITY OF NEWPORT BEACH DWG. NO. STD-405-L.
- (43) INSTALL 6" VCP SEWER CLEANOUT PER CITY OF NEWPORT BEACH DWG, NO. STD-406-L
- (4) INSTALL SANITARY SEWER MANHOLE PER CITY OF NEWPORT BEACH DWG, NO. STD-401-L
- (S) INSTALL XXXXX MODEL XXXX GREASE INTERCEPTOR PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, SEE SHEET X.
- (46) INSTALL JENSEN MODEL 20D SAMPLE BOX. (47) ADJUST EXISTING MANHOLE TO GRADE PER NB STD-111-L.

WATER CONSTRUCTION NOTES

- (51) INSTALL 3" WATER METER & BACKFLOW PREVENTION ASSEMBLY PER NB STD-520-L-B.
- 52 INSTALL 3" C-900 PVC WATERLINE PER NB STD-533-L.
- (53) CONNECT TO EXISTING X" WATERLINE PER NR STD-507-L.
- (S) CONNECT TO BUILDING PLUMBING (SEE MEP PLANS).
- (5) INSTALL 8" CAP AND BLIND FLANGE PER NB STD-XXX-X.
- REMOVE EX. 6" DIP WATERLINE AND FIRE HYDRANT ASSEMBLY, RETURN FIRE HYDRANT ASSEMBLY TO NEWPORT BEACH PUBLIC WORKS YARD PER CITY INSPECTOR.

EROSION CONTROL CONSTRUCTION NOTES

- $\overline{110}$ install stabilized construction entrance per detail on sheet 11. (contractor to locate on-site as necessary for construction).
- 111 INSTALL GRAVEL BAG PROTECTION PER DETAIL ON SHEET 11. III INSTALL CONCRETE TRUCK WASHOUT PER DETAIL ON SHEET 11. (CONTRACTOR TO LOCATE ON-SITE AS REQUIRED FOR CONSTRUCTION.)
- 3 SUGGESTED SOLID WASTE MANAGEMENT LOCATION, PER BMP WMS. (SIZE=STD. TRAILER SIZE) (CONTRACTOR TO LOCATE ON-SITE AS NECESSARY FOR CONSTRUCTION).
- SUGGESTED SPILL PREVENT & CONTROL STORAGE AREA, PER BMP WM4. (SIZE 10X10) (CONTRACTOR TO LOCATE CHISTIE AS NECESSARY FOR CONSTRUCTION SEQUENCING).
- II3 INSTALL GRATE INLET PROTECTION PER DETAIL ON SHEET 11. EXISTING INLET TO RECEIVE INLET PROTECTION WHILE IT REMAINS IN USE.
- INSTALL TEMPORARY CONSTRUCTION FENCE/SILT FENCE. 17 INSTALL GRAVEL BAG CHECK DAM.

HKS ARCHITECTS, INC. 539 BRYANT STREET, SUITE 100 SAN FRANCISCO, CA 94107

LANDSCAPE

27 MARINITA AVENUE SAN RAFAEL, CA 9490 STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HEG 100 PINE STREET, SUITE 600 SAN FRANCISCO, CA 94111

MEP ENGINEER

80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

NEXUS COMPANIES 1 MisoRRAR THUR PLACE; SUITE 300 SANTA ANA, CA 92707

OWNER CONSULTANTS CIVIL ENGINEER

UTILITY ENGINEER

ONE RIDGEGATE DRIVE SUITE 105 TEMECULA, CA 92590

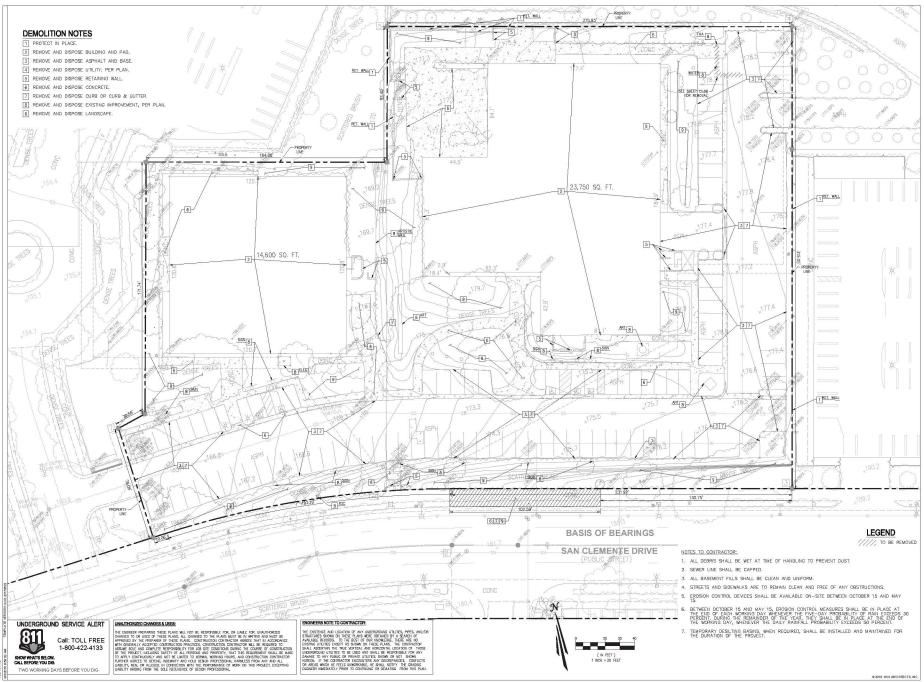
GEOTECHINICAL ENGINEER

SENIO N N N N CH, 3 8 STE ш **EWPORT** Ö

22222 12/18/2018

60% CD SET GENERAL NOTES

SHEET NO. C1.02



HKS

LANDSCAPE

STRUCTURAL ENGINEER

MEP ENGINEER

SC HNACKEL EN GINEERS 80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

OWNER CONSULTANTS

CIVIL ENGINEER
TAIT & ASSOCIATES, INC
701 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER

GEOTECHINICAL ENGINEER

NEWPORT BEACH, CA **VIVANTE - SENIOR ASSISTED LIVING**

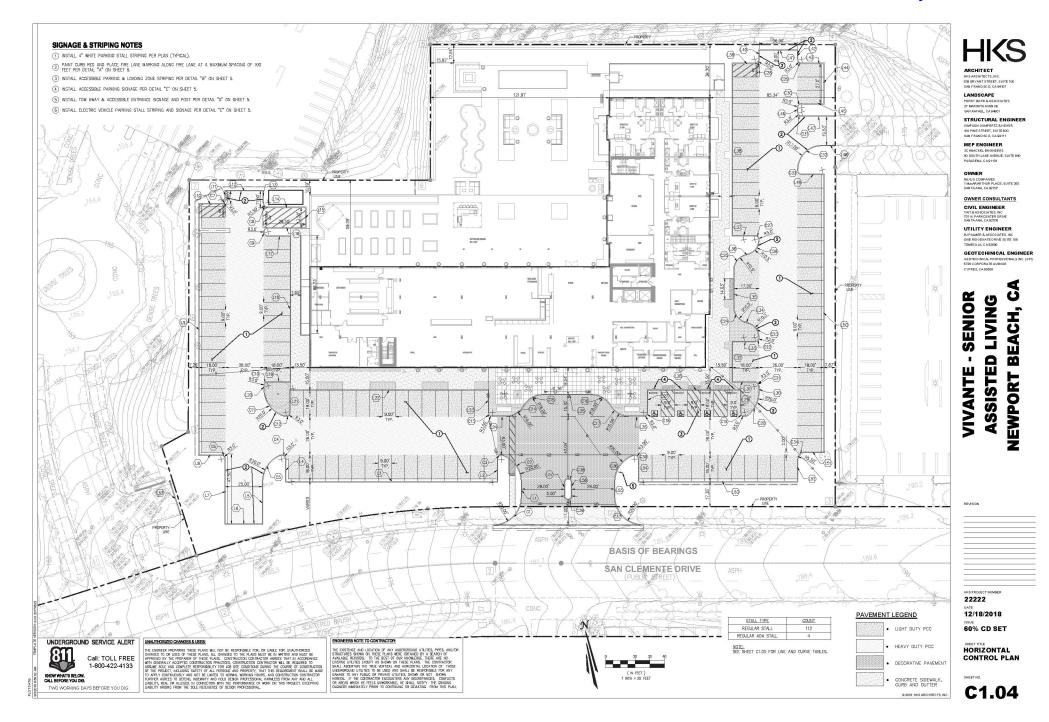
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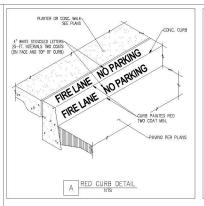
12/18/2018 60% CD SET

DEMOLITION PLAN

SHEET NO.

C1.03





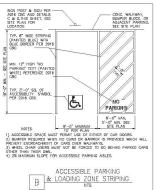
- clear floor spacer --EV charger ---

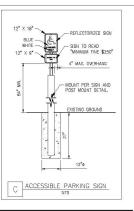
FIGURE 11B-812.9.

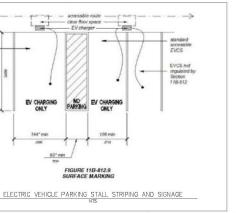
Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at owner's expense. Towed vehicles may be reclaimed at:

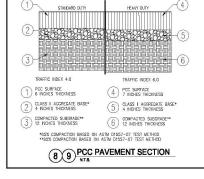
(REFER TO NOTE #4) or by telephoning: (REFER TO NOTE #4)

D UNAUTHORIZED VEHICLE SIGN DETAIL







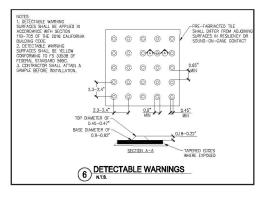


NTS	
OTES: SIGN TO BE PROGRAM ON STEEL WITH A RETECTORIZED BEACED WITH A RETECTORIZED BEACED WITH A RETECTORIZED BEACED LAGO. ABOVE FINISHED SUPFACE, LING. DETAIL FOR RETERPIVES COULY. DETAIL FOR BEACED LAGO. DETAIL FOR BEACED LAGO. DETAIL FOR BEACED LAGO. DETAIL FOR BEACED LAGO. SIGN LAGO. SIGN LAGO. DETAIL FOR BEACED LAGO. SIGN LAGO. DETAIL COOLS AND FOR LOCATIONS. LOCATIONS. DETAIL CHARACTERIST LOCATIONS. DETAIL CHARACTERIST LOCATIONS. DETAIL CHARACTERIST LOCATIONS. SIGN LETTERNIO SHALL CHARACTERIST LING SPACES OF SOUL FROM FILL LIN LAG A PERMANENT PART OF THE SIGN LETTERNIO SHALL BE NOT LESS THAIR "IN HEIGHT. CLE SIGN DETAIL.	ARP PANIS O'URR ARPORT BASE, O'C SITE PAIN TA' EIGE OF PANIS ABOVE LIP TA' EIGE OF PANIS TO LEP PANIS O'UP THE

	LINE TABLE			LINE TABLE	
NUMBER	BEARING	LENGTH	NUMBER	BEARING	LEN
L1	S10" 37" 47"W	9.35	L32	N10' 37' 47'E	27.
L2	N10" 37" 47"E	15.00	L33	S79" 21" 54"E	15.1
L3	S79' 22' 13"E	144.00	L34	N60' 25' 27"W	2.9
L4	S10" 37" 47"W	15.00	L36	NB1" 41" 01"E	2.8
L5	N10" 37" 47"E	28.44	L37	N79" 21" 54"W	15.
L6	S79" 22" 13"E	25.00	L3B	N10" 37" 47"E	117.
L7	S10" 37" 47"W	44.00	L39	S79' 22' 13"E	15.
LB	S79" 22" 13"E	15.00	L40	N10" 37" 47"E	6.0
L9	510' 37' 47"W	171.00	L41	579° 22' 13"E	26.
L1D	S79" 22" 13"E	15.00	L42	S10" 37" 47"W	6.0
L11	N10" 37' 47"E	6.00	L43	579° 22' 13"E	15.
L12	S79" 22" 13"E	25.50	L44	S10" 37" 47"W	26.
L13	S10" 37" 47"W	8.00	L45	N79" 22" 13"W	15.0
L14	S79' 22' 13"E	25.50	L46	S10" 38' 03"W	3.0
L15	S10" 37" 47"W	13.50	L47	579° 22' 13"E	22.
L16	N79" 22" 13"W	25.50	L48	N79" 22" 13"W	8.8
L17	S79" 22" 13"E	15.00	L49	S79° 22' 13"E	14.5
L18	S10" 37" 47"W	99.00	L50	S10" 37" 47"W	189.
L19	N79° 22' 13"W	15.00	L51	N79" 22" 13"W	12.
L20	S10" 37" 47"W	1.75	L52	S10" 37" 47"W	14.5
L21	N10" 37" 47"E	15.00	L53	N7' 22' 23"W	24.
L22	S79' 22' 13"E	135.00	L53	N79" 22" 13"W	10B.
L23	S10" 37" 47"W	15.00	L54	N10" 37" 47"E	15.
L28	S79" 22" 13"E	63.00	L55	S10" 37" 47"W	9.2
L29	S10" 37" 47"W	15.00	L56	N10" 37" 47"E	9.4
L30	N10" 37" 47"E	3.87	L57	S10" 37" 47"W	9.4
L31	N79" 21" 54"W	14.50			

CURVE	DELTA	LENGTH	RADIUS
C1	88" 55" 24"	31.04	20.00
C2	68' 44' 43"	24.00	20.00
C3	111' 15' 16"	5.83	3.00
C4	113' 43' 48"	5.95	3.00
C5	66" 16" 12"	23.13	20.00
C6	90. 00, 00,	4.71	3.00
C7	30, 00, 00,	4.71	3.00
C8	90, 00, 00,	5.50	3.50
C9	180' 00' 00"	9.42	3.00
C10	80, 00, 00,	4.71	3.00
C11	72' 52' 53"	25.44	20.00
C12	107" 07" 07"	5.61	3.00
C13	89" 58" 48"	4.71	3.00
C14	57' 51' 42"	16.16	16.00
C15	57' 54' 48"	18.17	16.00
C16	57' 42" 56"	16.12	16.00
C17	57" 45" 55"	16.13	16.00
C18	90' 22' 03"	4.72	2.99
C19	126' 42' 51"	6.63	3.00
020	53* 17* 13*	18.60	20.00

CURVE TABLE			
CURVE	DELTA	LENGTH	RADIUS
C21	89° 59° 41°	5.50	3.50
C22	90. 00, 00,	4,71	3.00
C23	71' 03' 14"	13.03	10.50
024	71" 03' 14"	13.03	10.50
C25	71' 03' 14"	13.03	10.50
C26	70" 41" 29"	12.96	10.50
C27	91' 15' 36"	4.78	3.00
028	90, 00, 00,,	4.71	3.00
C29	90, 00, 00,	4.71	3.00
C30	89' 59' 44"	4,71	3.00
C31	90' 00' 16"	4.71	3.00
032	89" 58" 06"	26.69	17.00
C33	91" 44" 24"	4.87	3.04
C34	90, 00, 00,	8.64	5.50
C35	111' 15' 43"	5.83	3.00
C36	68" 44" 41"	24.00	20.00
C37	89" 55" 56"	31.39	20.00
C38	180' 00' 00"	7.85	2.50
C39	180" 00" 00"	7.85	2.50



LANDSCAPE

STRUCTURAL ENGINEER

100 PINE STREET, SUITE 600 SAN FRANCISCO, CA 94111

MEP ENGINEER

80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

OWNER CONSULTANTS

CIVIL ENGINEER

UTILITY ENGINEER

GEOTECHINICAL ENGINEER

GEOTECHNICAL PROFESSIO 5738 C OR PORATE AVENUE CYPRES, CA 90830

SENIOR LIVING **NEWPORT BEACH,** ASSISTED VIVANTE

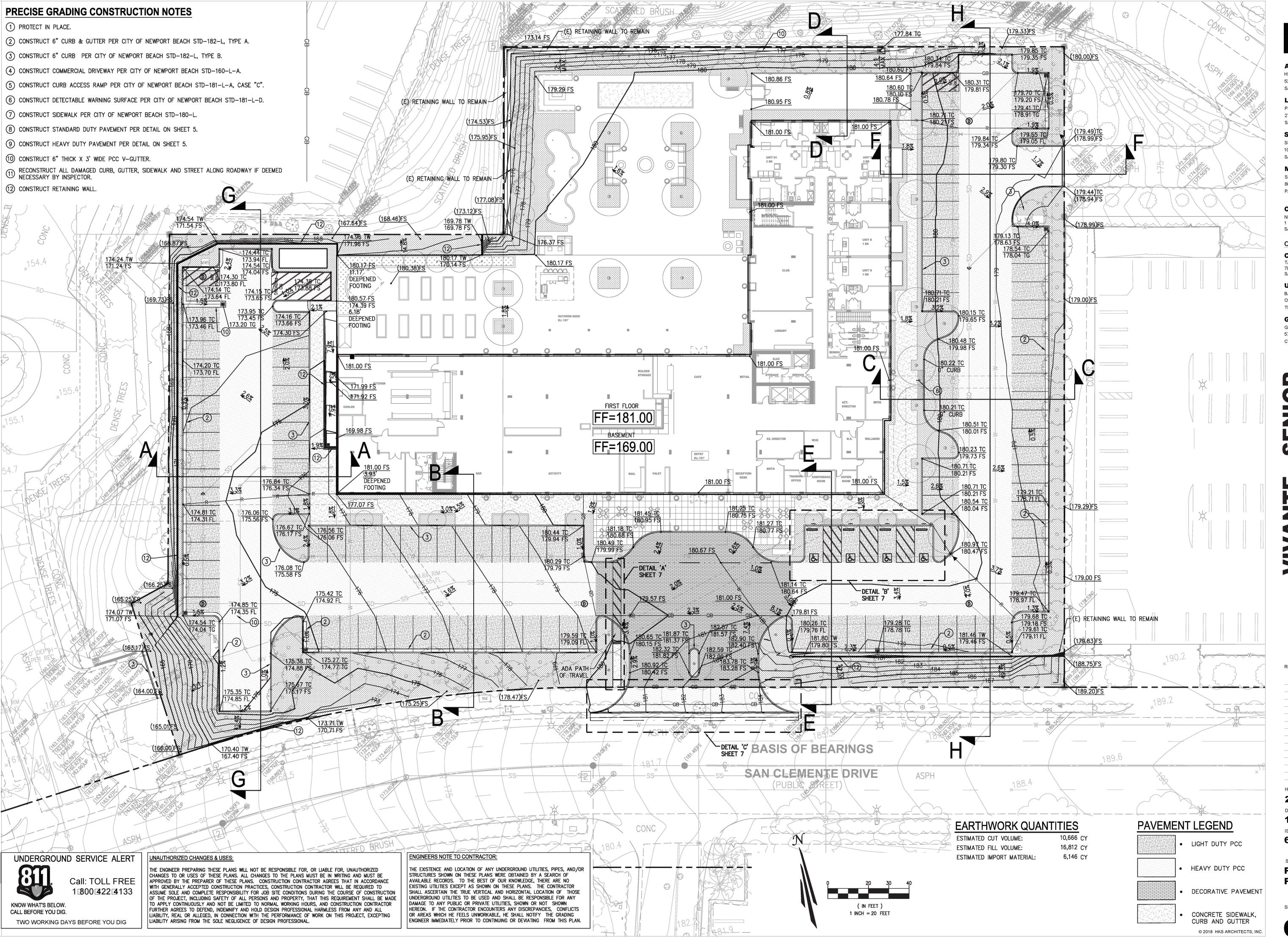
REVISION

22222 12/18/2018 60% CD SET

DETAIL SHEET

SHEET NO. C1.05

Attachment No. PC 3 - Project Plans PA2018-185 PRECISE GRADING CONSTRUCTION NOTES 1) PROTECT IN PLACE.



ARCHITECT

HKS ARCHITECTS, INC. 539 BRYANT STREET, SUITE 100 SAN FRANCISCO, CA 94107

LANDSCAPE

PERRY BURR & ASSOCIATES 27 MARINITA AVENUE SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HEGER 100 PINE STREET, SUITE 600 SAN FRANCISCO, CA 94111

MEP ENGINEER

SCHNACKEL ENGINEERS 80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

OWNER NEXUS COMPANIES

1 MacARARTHUR PLACE; SUITE 300 SANTA ANA, CA 92707

OWNER CONSULTANTS

CIVIL ENGINEER TAIT & ASSOCIATES, INC

701 N. PARKCENTER DRIVE SANTA ANA, CA 92705

UTILITY ENGINEER

BJ PALMER & ASSOCIATES, INC

ONE RIDGEGATE DRIVE SUITE 105 TEMECULA, CA 92590

GEOTECHINICAL ENGINEER

GEOTECHNICAL PROFESSIONALS INC. (GPI) 5736 CORPORATE AVENUE CYPRES, CA 90630

REVISION

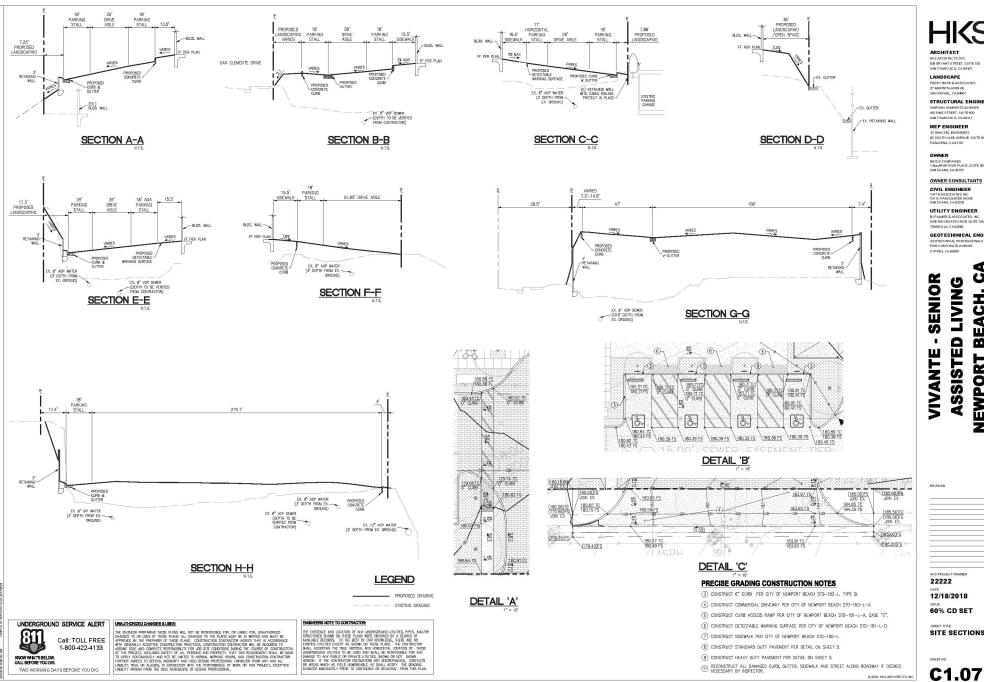
HKS PROJECT NUMBER

22222

12/18/2018 **60% CD SET**

SHEET TITLE PRECISE GRADING **PLAN**

SHEET NO.



HKS

STRUCTURAL ENGINEER

SCHNACKEL EN GINEERS 80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

UTILITY ENGINEER

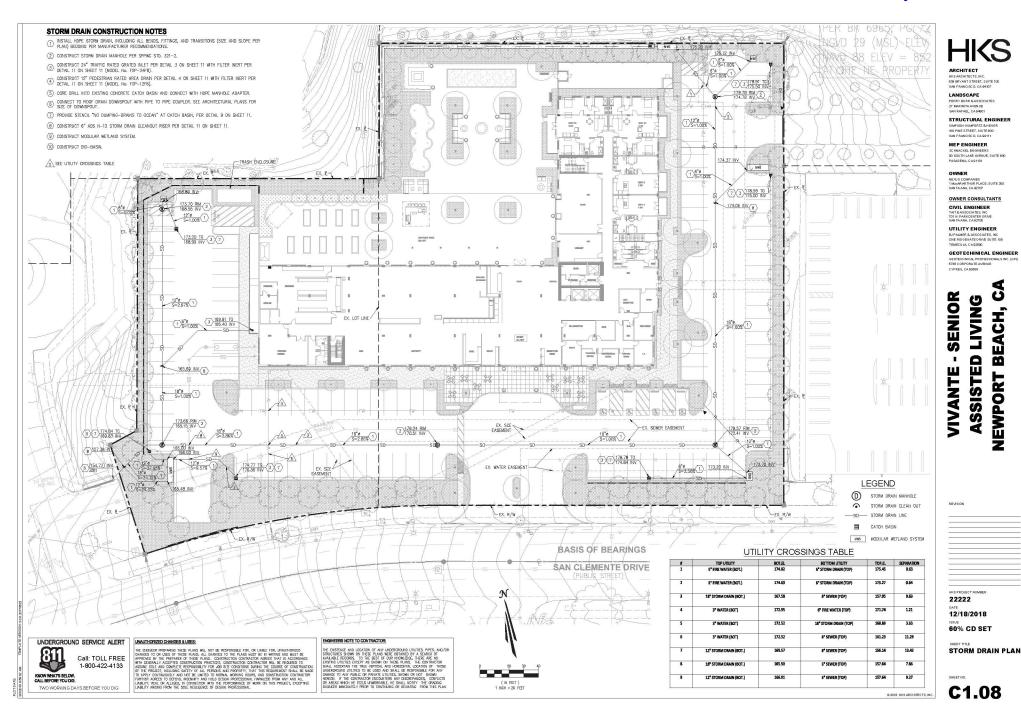
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NEWPORT BEACH, CA ASSISTED LIVING

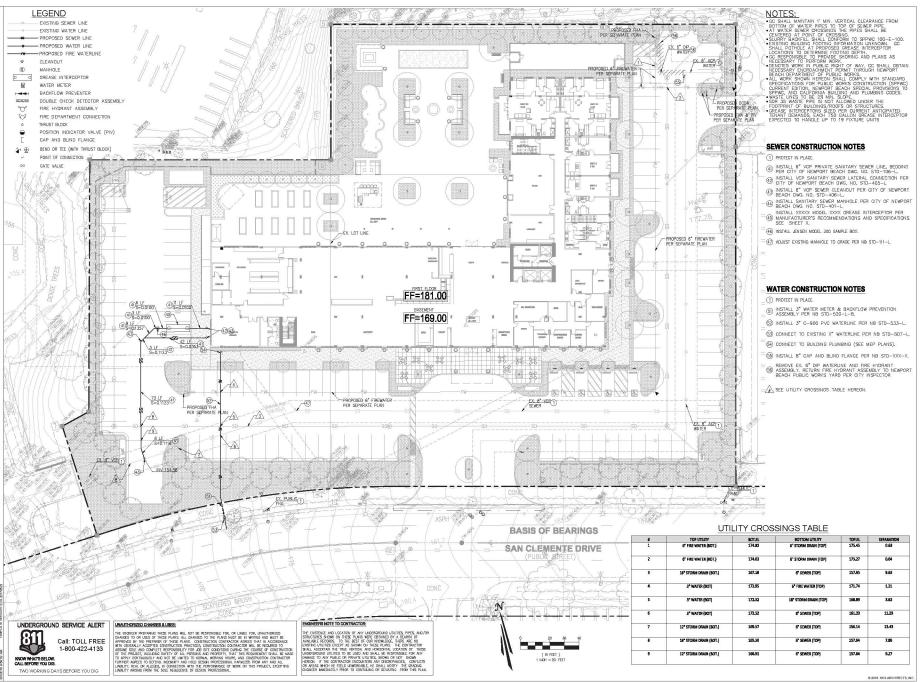
HKS PROJECT NUMBER

12/18/2018 60% CD SET

SITE SECTIONS



NEWPORT BEACH,



HKS ARCHITECTS, INC. 539 BRYANT STREET, SUITE 100 SAN FRANCISCO, CA 94107

LANDSCAPE

PERRY BURR & ASSOC 27 MARINITA AVENUE SAN RAFAEL, CA 9400*

STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HEGI 100 PINE STREET, SUITE 600 SAN FRANCISCO, CA 94111

MEP ENGINEER

80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

OWNER CONSULTANTS CIVIL ENGINEER

UTILITY ENGINEER

GEOTECHINICAL ENGINEER

GEOTECHNICAL PROFESSII 5736 CORPORATE AVENUE CYPRES, CA 90830

SENIOR LIVING **NEWPORT BEACH,** ASSISTED VIVANTE

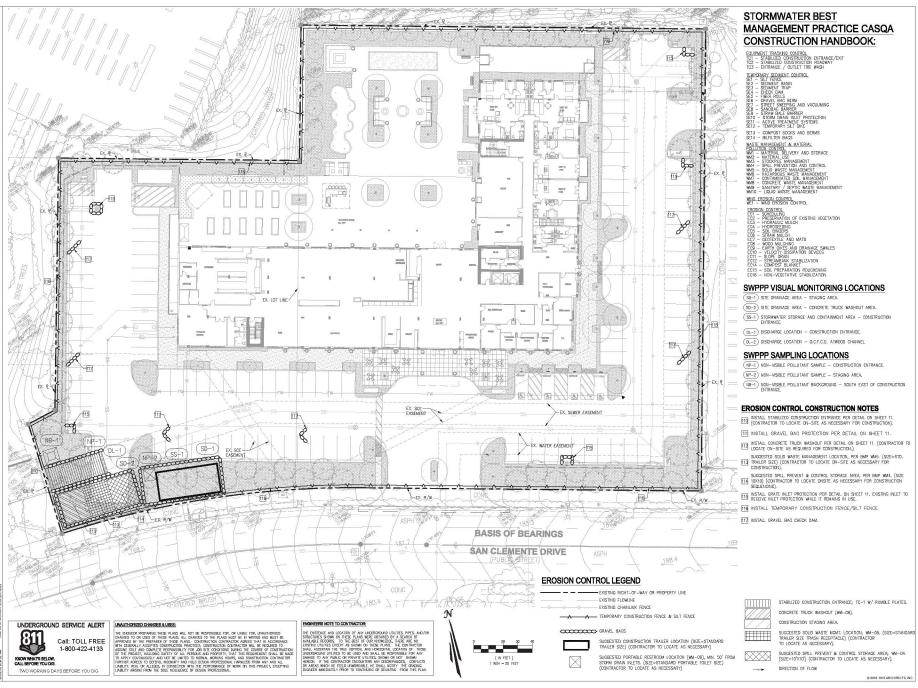
REVISION

22222

12/18/2018 60% CD SET

UNDERGROUND UTILITY PLAN

C1.09



LANDSCAPE PERRY BURR & ASSOC 27 MARINITA AVENUE SAN RAFAEL, CA 9400*

STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HEG 100 PINE STREET, SUITE 600 SAN FRANCISCO, CA 94111

MEP ENGINEER

80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

OWNER CONSULTANTS

CIVIL ENGINEER

UTILITY ENGINEER

GEOTECHINICAL ENGINEER

ASSISTED LIVING

NEWPORT BEACH,

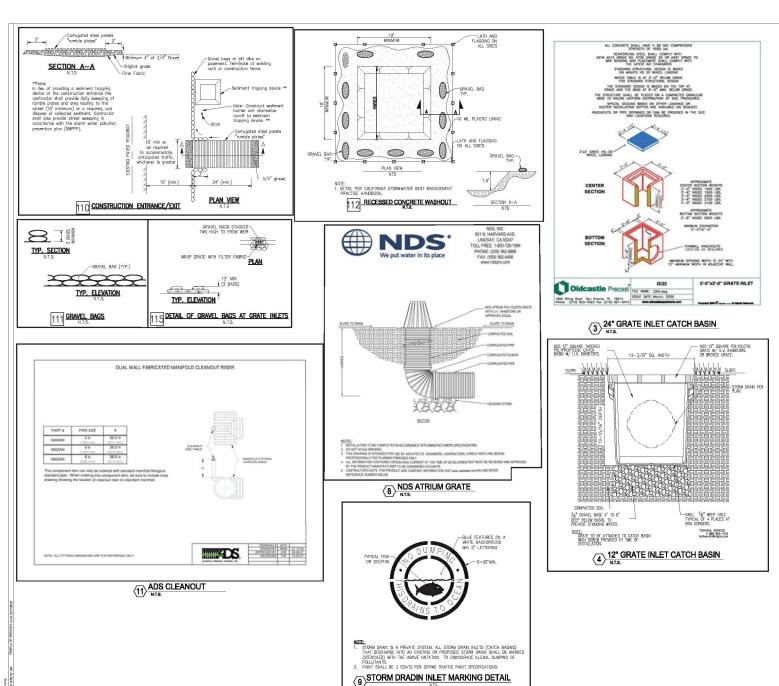
SENIOR

VIVANTE

22222 12/18/2018 60% CD SET

EROSION CONTROL PLAN

C1.10



HKS

LANDSCAPE

PERRY BURR & ASSOC 27 MARINITA AVENUE SAN RAFAEL, CA 9400* STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HEG 100 PINE STREET, SUITE 600 SAN FRANCISCO, CA 94111

MEP ENGINEER

80 SOUTH LAKE AVENUE, SUITE 640 PASADENA, CA 91101

OWNER CONSULTANTS

CIVIL ENGINEER

UTILITY ENGINEER

GEOTECHINICAL ENGINEER

GEOTECHNICAL PROFESSII 5736 CORPORATE AVENUE CYPRES, CA 90830

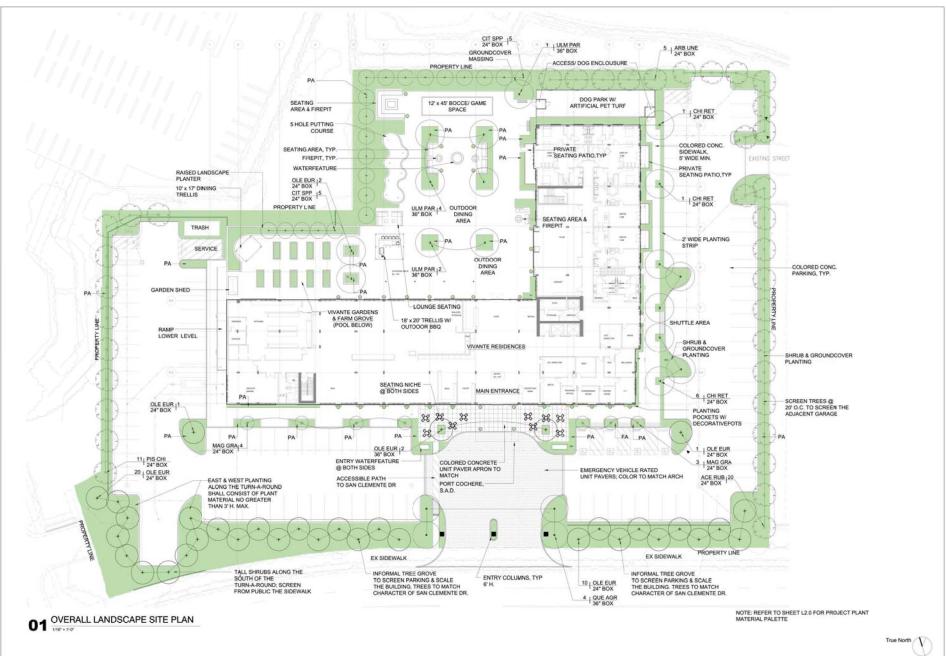
SENIOR **ASSISTED LIVING NEWPORT BEACH,** VIVANTE

22222

12/18/2018 60% CD SET

DETAIL SHEET

SHEET NO. C1.11



LANDSCAPE SAN RAFAEL, CA 9490 STRUCTURAL ENG

MEP ENGINEER 80 SOUTH LANE AVENUE, SUITE 640

OWNER CONSULTANTS

UTILITY ENGINEER

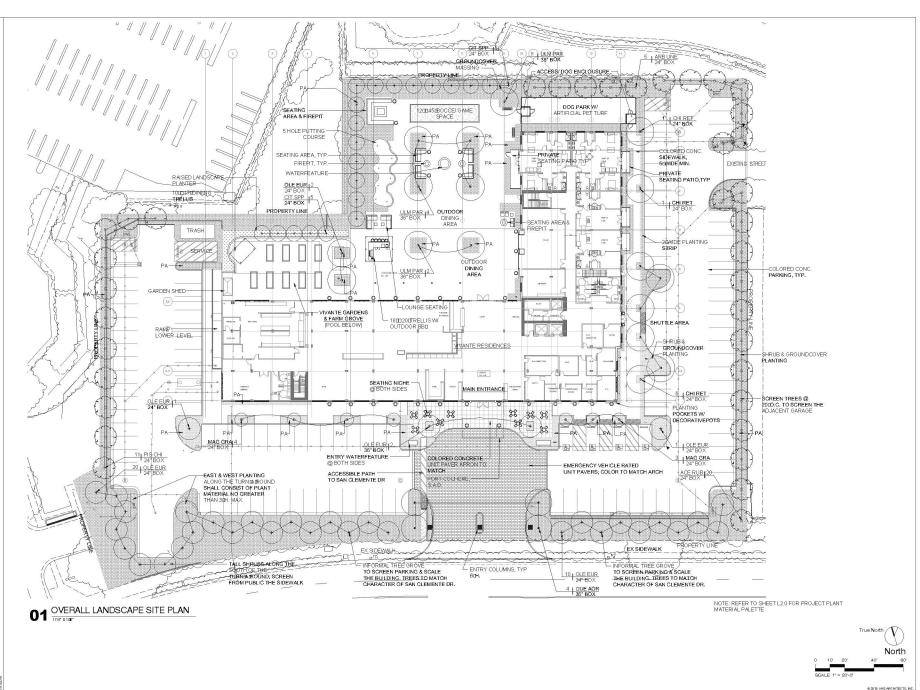
GEOTECHINICAL ENGINEER

SENIOR **ASSISTED LIVING NEWPORT BEACH,** VIVANTE

22222 12/20/2018 ENTITLEMENT RESUBMITTAL I LANDSCAPE SITE PLAN

L1.1

North



COMPANY STREET, GUITE 100
COMPANY STREET, GU

HKS

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA



PLANT SCHEDULE- VIVANTE NOTE: PLANTING PALETTE DEMONSTRATES PLANTS THAT WILL BE SELECTED FROM THIS LIST FOR THE FINAL PLANTING PLAN BOTANICAL NAM COMMON NAME SPACING WUCOL Coast Live Oak Quercus agrifolia 24" Box MAG GRA Dwarf Magnolia Magnalia Grandiflora 'Little Gem ACE RUB Acer Rubrum 'Armstrong' Armstrong Maple Chinese Pistache Chinese Fringe Tree CHI PIS Pistachia Chinensis QUE VIR ARB UNE ARB MAR Quercus virginiana Southern Live Oak Strawberry Tree BOTANICAL NAME COMMON NAME SPACING WUCOL Artemisia californico 5 Gal. Coastal Sagebrush Frangula californica California Coffeeberry 5 Gal. Cercis occidentalis Western Redbud 15 Gal. Holodiscus discolor Cream Bush 5 Gol. Corylus cornuta Hazelnut Heteromeles arbutifolia 15 Gal. Toyon Fremontodendran californicum Flannelbush 15 Gal Symphoricarpos albus Common Snowberry Ribes malvaceum 15 Gal Chaparral Current Salvia meliifera Black Sage BOTANICAL NAME COMMON NAME SPACING WUCOL SHRUBS/PERENNIALS/SUCCULENTS 1 Gal. Achillea millefolium Yarrow 1 Gal. CSP Cistus salviifolius 'Prostratus Sageleaf Rockrose Arctostaphylos 'Sunset' Manzanita 5 Gal Azalea 'Gumpo White' Gumpo White Azalea 1 Gal. Baccharis pilularis 'Pigeon Point' Coyote Brush Stalked Bulbine 1 Gal. Bulbine frutescens Carpenteria californica Bush Anemone 5 Gal CER Ceanothus 'Ray Hartman' Ray Hartman Wild Lilac Ceanothus griseus var. horizontalis Yankee Point Ceanothus 5 Gal. Fortnight Lily Erigeron glaucus 'Albus' Helictatrichon sempervirens 1 Gal. Beach Fleabane Daisy 18" n.c. Blue Oat Grass 24" O.C. N Nepeta x faassenii Salvia chamaedryoides Germander Sage 24" O.C. M Deer Grass Muhlenbergia rigens 1 Gal. Douglas Iris Iris douglasiana (White) Southern Sword Fern California Poppy Nephrolepis cordifolia Eschscholzia californica PCN Pittosporum crassifalium 'Nana Pittosporum 5 Gal. Rhamnus alternus Italian buckthorn Rhamnus californica "Mound San Bruno" Coffeeberry 'Mound San Bruno 5 Gal. Salvia spathacea Hummingbird Sage 1 Gal. 5 Cal. Eriogonum fasciculatum California Buckwheat 1 Gal. Epilobium canum California Fuschia 5 Gal. Rhamnus californica 'Mound San Bruno' Coffeeberry 'Mound San Bruno' Rosmorinus officinalis Rosemary 5 Gal. Salvia x greggii 'Raspberry Delight' Autumn Sage Little-leaved Sage 1 Gal. Salvia microphylla 'Hot Lips' Salvia 'Bee Bliss' Bee's Bliss Santa Barbara Daisy Corral Bells Erigeron karvinskianus 1 Gal. Heuchera maxima Gal. Lupinus nanus Sky Lupine BOTANICAL NAME COMMON NAME SPACING WUCOL 1 Gal. Ficus pumila Creeping Fig. BOTANICAL NAME COMMON NAME SPACING WUCOL GRASSES Festuca californica Festuca rubra Red Fescue Clustered Field Sedge Foothill Sedge Carex praegracilis Carex tumulicola 18" O.C. M Dune Sedge Carex pansa Carex tumulicola 18" O.C. Chondrapetalum tectorum Festuca rubra 'Molate No Mow Small Cape Rush Sod Red Fescue/No Mow 24" O.C. H California Gray Rush Pennisetum alonecuroides 'Little Bunny Tails' Fountain Grass Little Bunny Autumn Moor Grass PROPOSED LANDSCAPE/IRRIGATION DESIGN MEETS OR EXCEEDS CITY OF NEWPORT BEACH WATER CONSERVATION IN PROPOSED TREE TOTALS 24" BOX - X PROPOSED TREES 36" BOX - X PROPOSED TREES 48" BOX - X PROPOSED TREES

HKS

HKS ARCHITECTS, INC. 539 BRYANT STREET, SL

LANDSCAPE PERRY BURR & ASSOCIATE 27 MARINITA AVENUE SAN RAFAEL, CA 96001

SAN RAFAEL CA 94001 STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HEGER 100 PINE STREET, SUITE 000 SAN FRANCISCO, CA 94111

MEP ENGINEER

SCHNACKEL ENGINEERS 80 SOUTH LAKE AVENUE, SUITE 6-PASAD ENA, CA 91101

OWNER

1 MacARARTHUR PLACE: SUITE 30 SANTA ANA, CA 92707

OWNER CONSULTANTS
CIVIL ENGINEER
TANTAL PROPERTY.

SANTA ANA, CA 92705

UTILITY ENGINEER
BJ PALMER & ASSOCIATES, INC.

BU PALMER & ASSOCIATES, IN C ONE RID GEGATE DRIVE SUITE 105 TEMECULA, CA 02590 GEOTECHINICAL ENGINEE GEOTECHNICAL PROFESSIONALS INC. (4)

GEOTECHNICAL ENGINES GEOTECHNICAL PROFESSIONALS INC. (6 5736 CORPORATE AVENUE CYPRES, CA 90630

VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA

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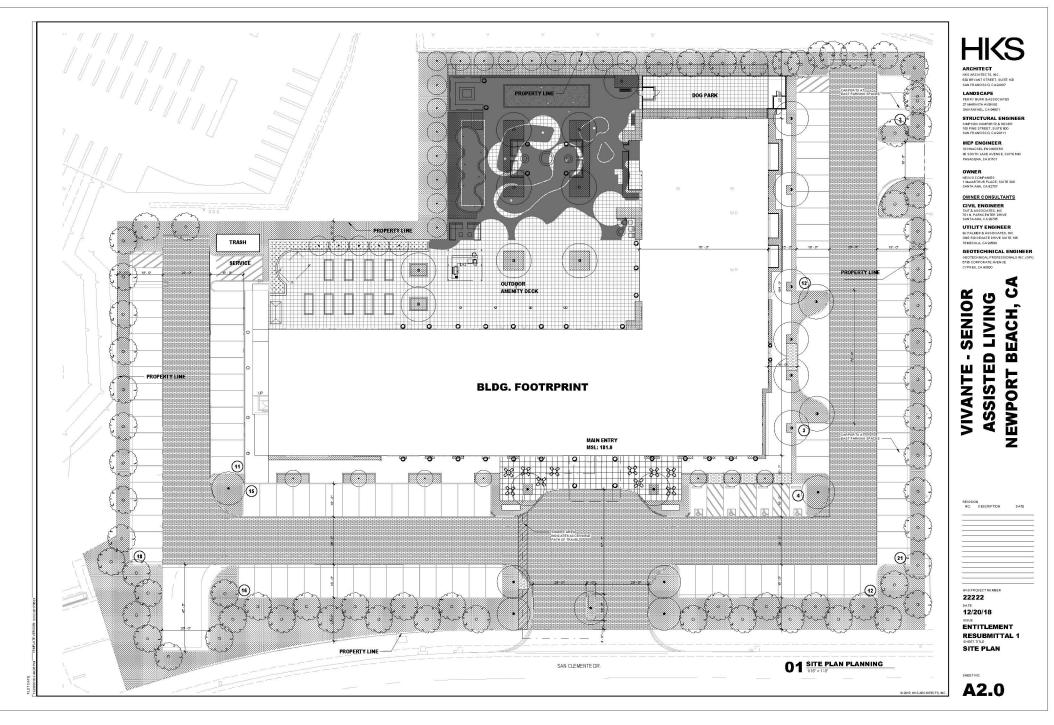
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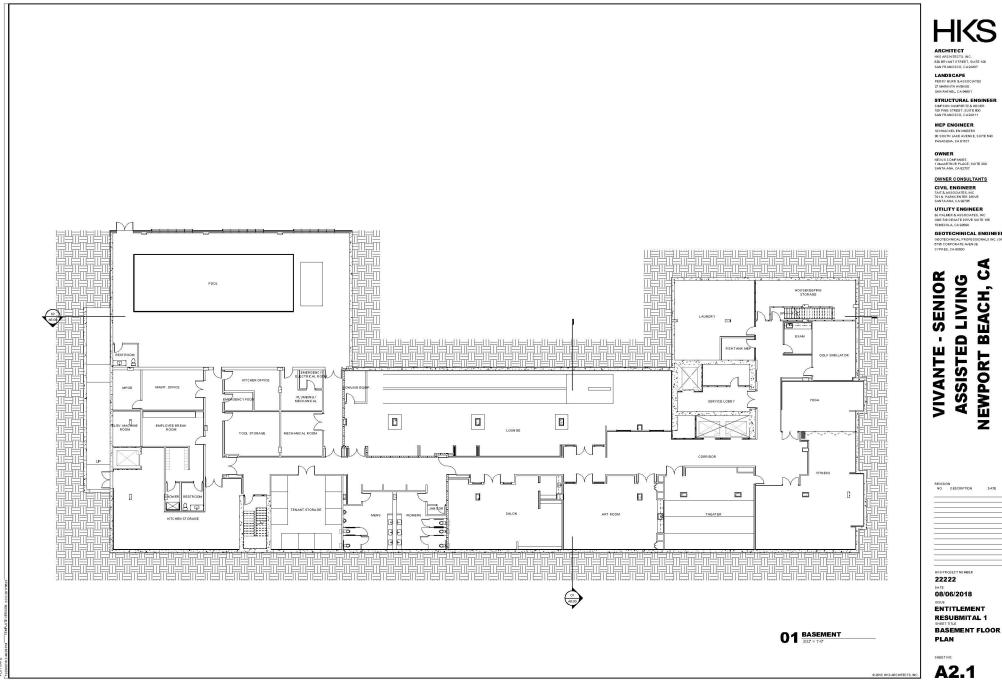
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ENTITLEMENT
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PLANTING
PALETTE

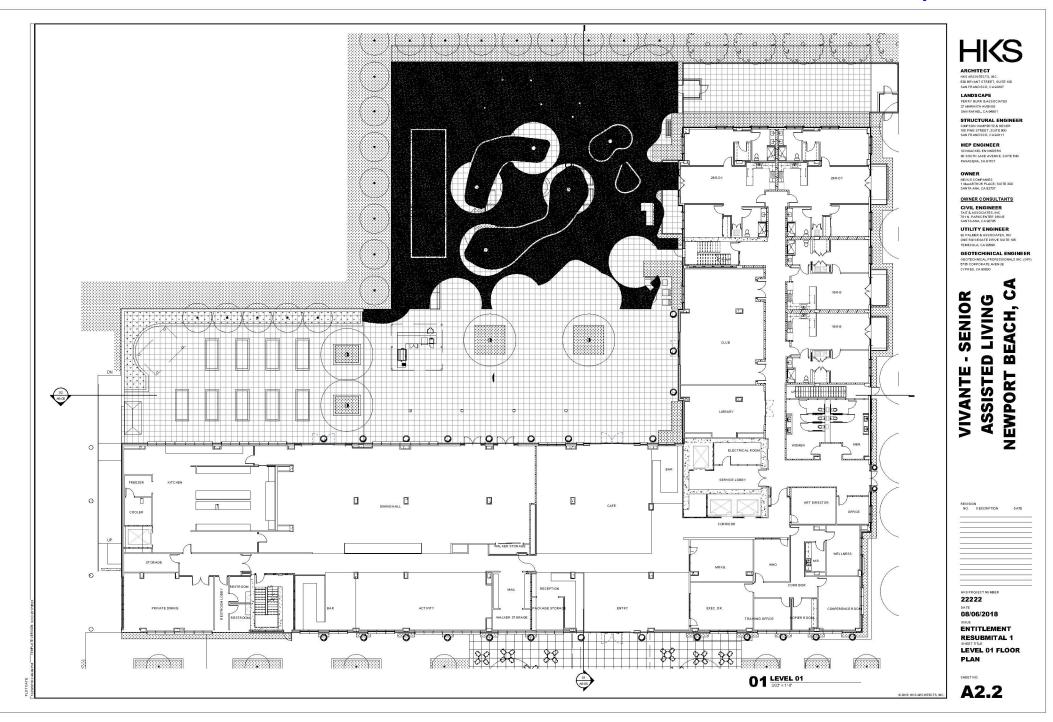
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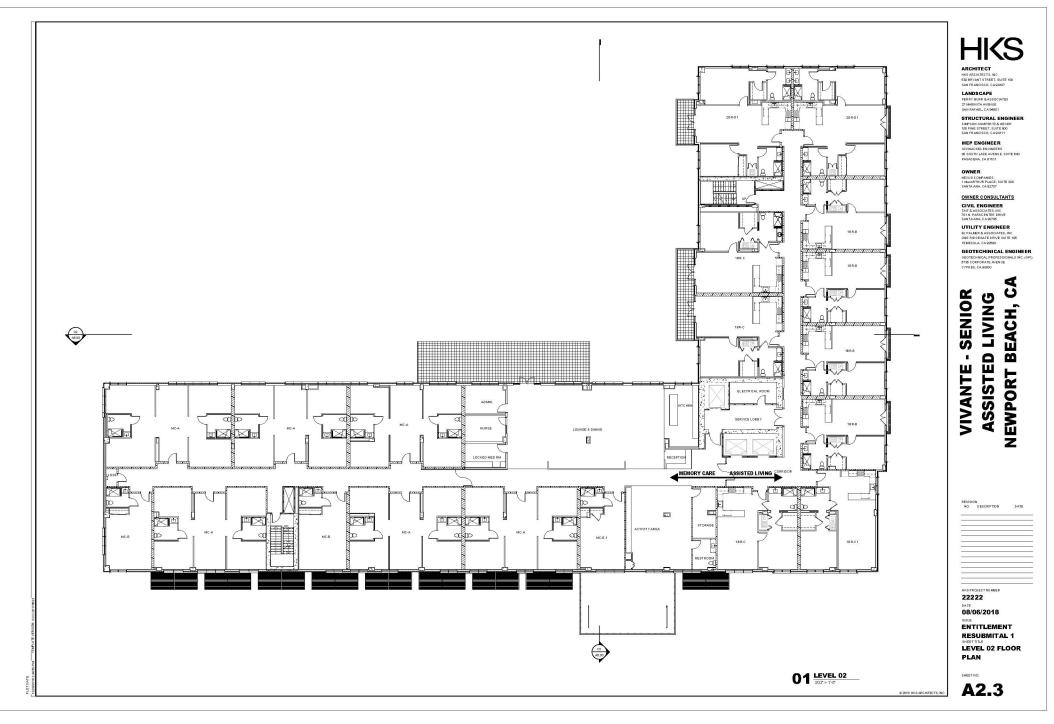
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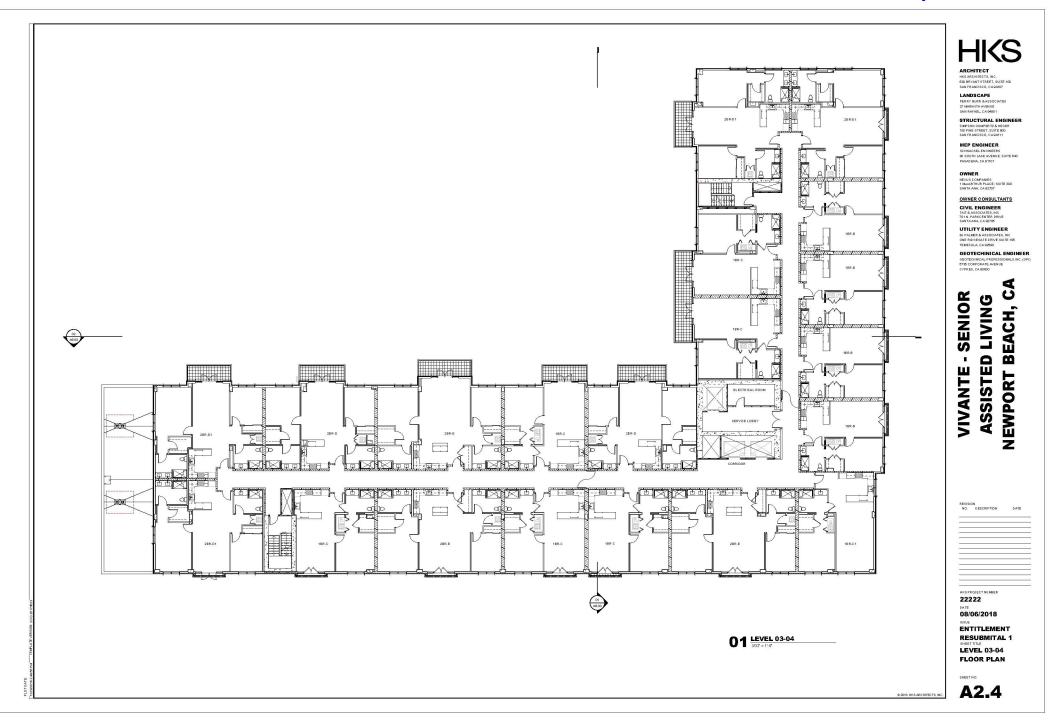


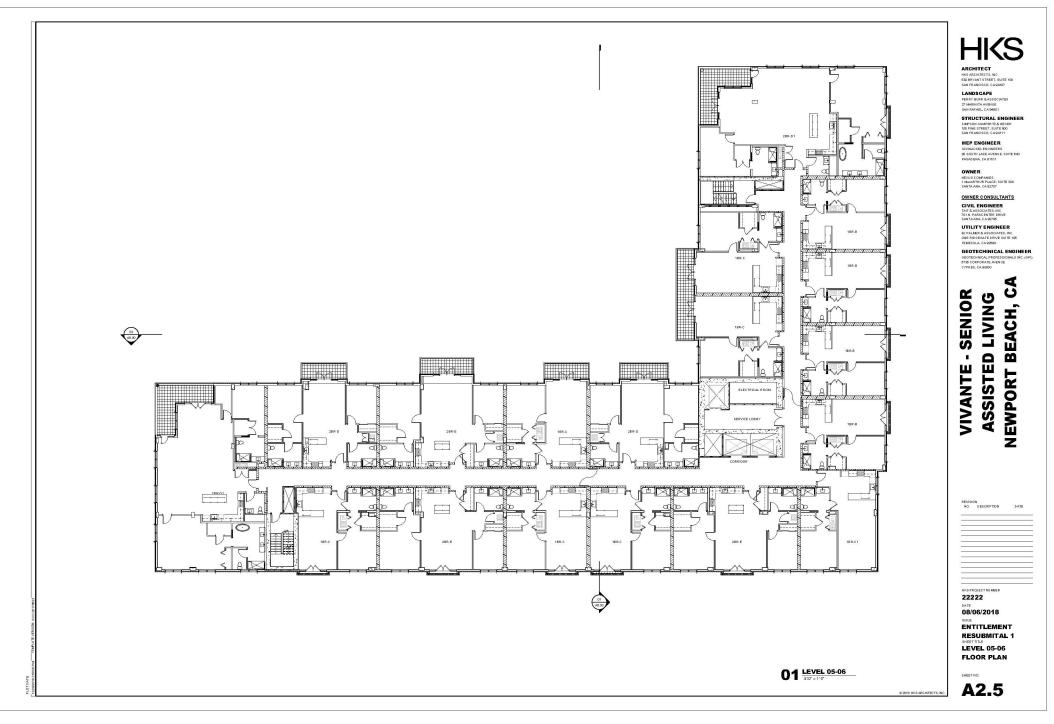


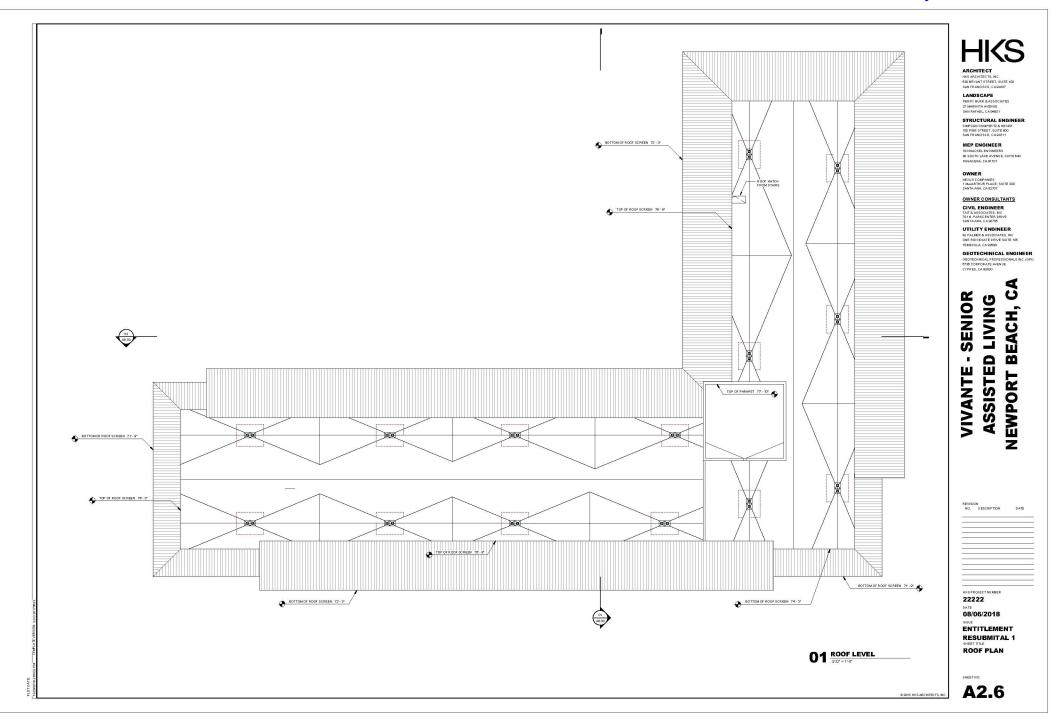
NEWPORT BEACH,

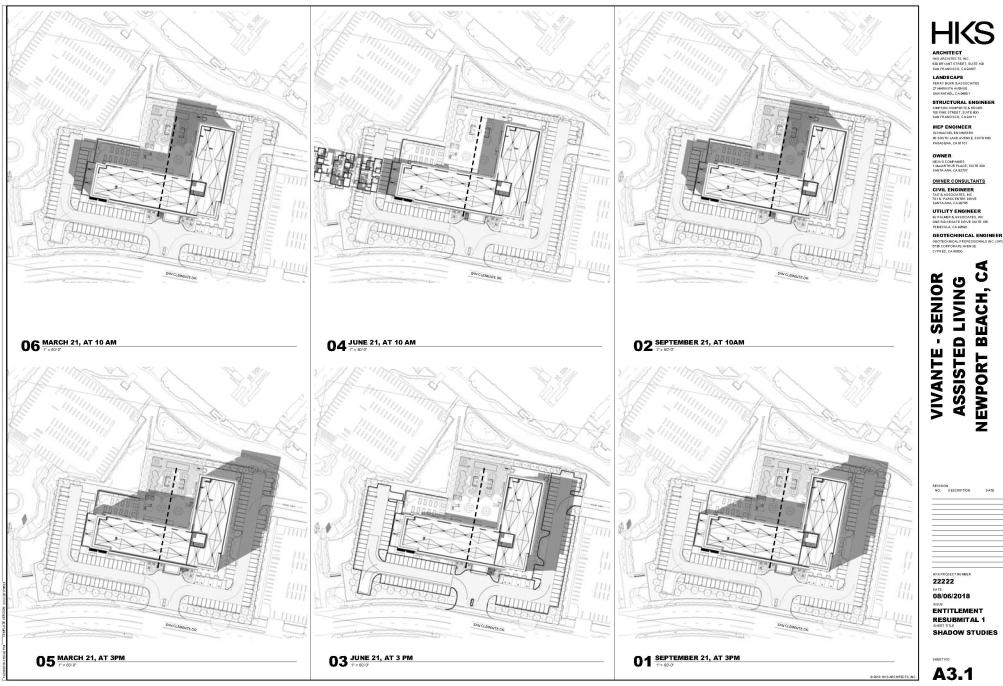




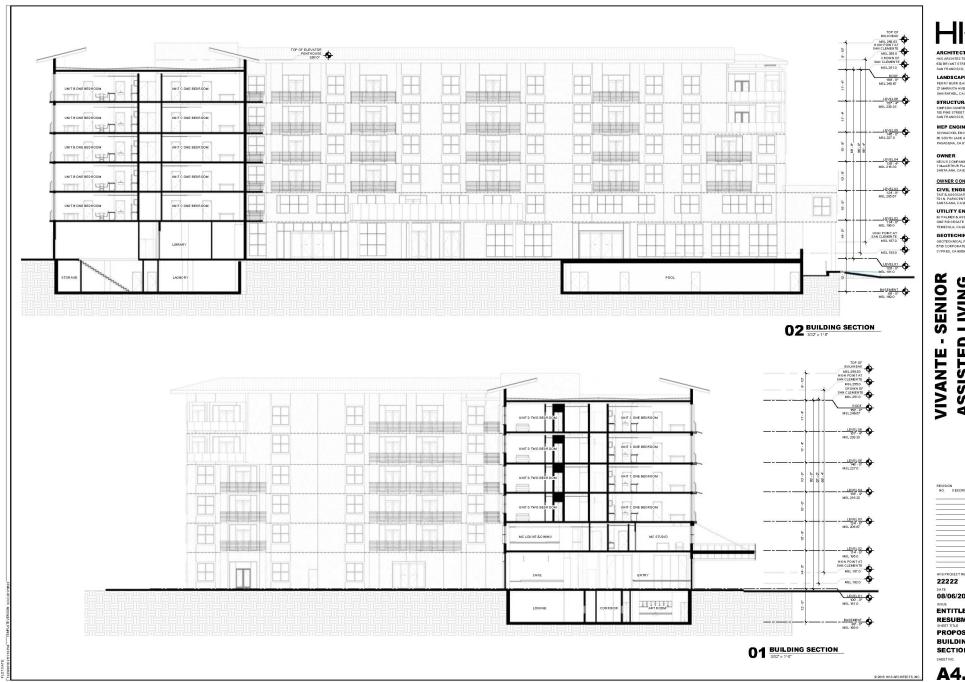




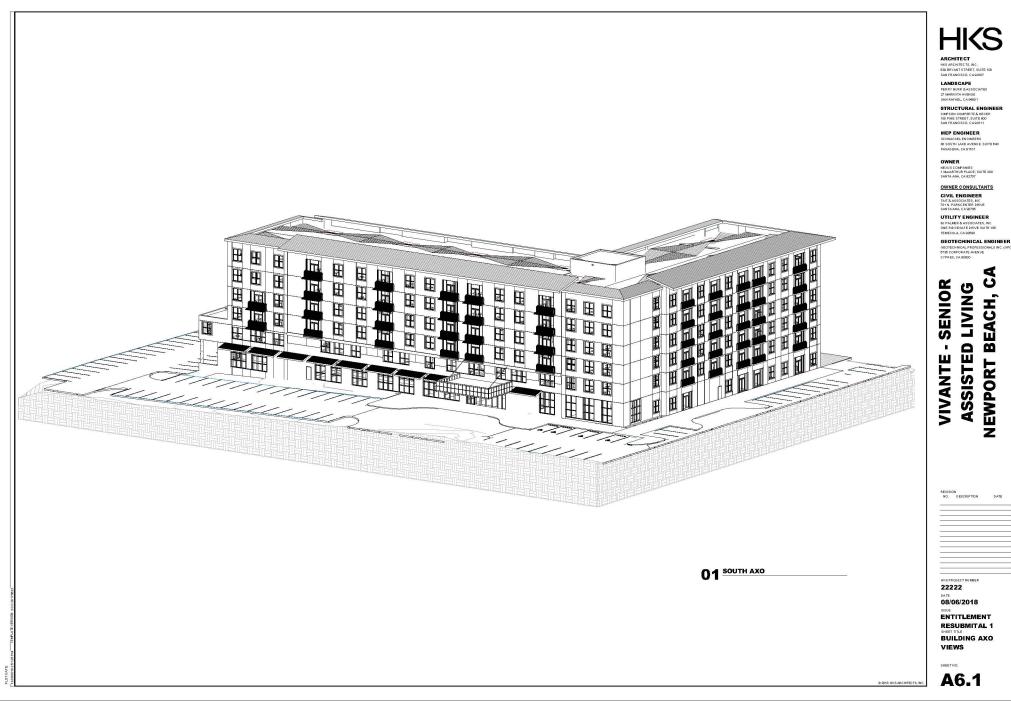


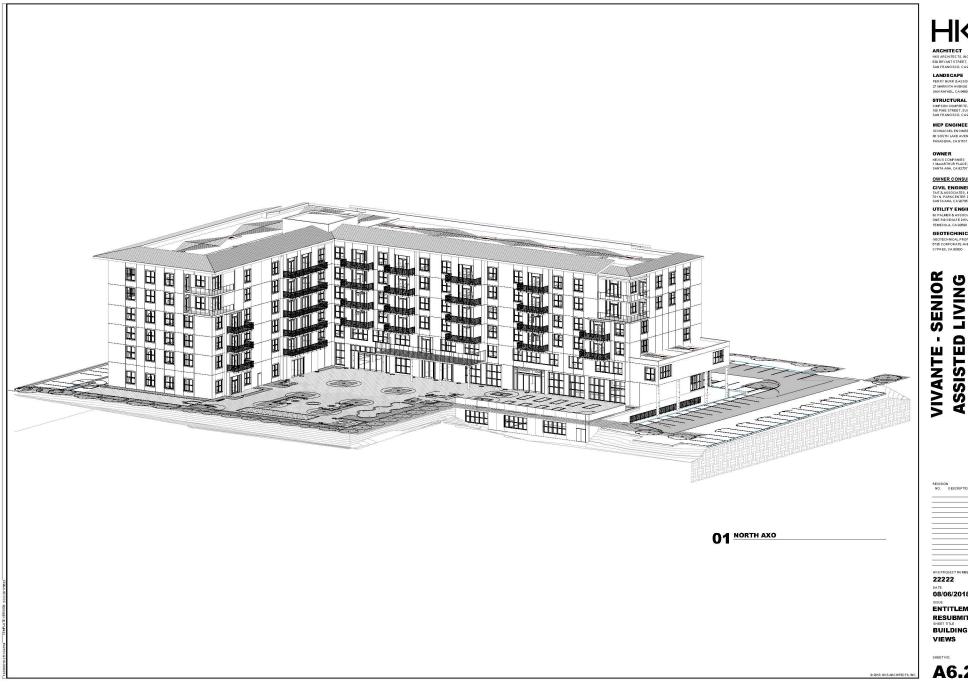






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08/06/2018 ENTITLEMENT RESUBMITAL 1 BUILDING AXO

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