



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

January 10, 2019
Agenda Item No. 11

SUBJECT: 3904 Channel Place Residence (PA2018-211)
Coastal Development Permit No. CD2018-088

SITE LOCATION: 3904 Channel Place

APPLICANT: Brandon Architects

OWNER: Gordon and Stephanie Clemons

PLANNER: Melinda Whelan, Assistant Planner
949- 644-3221, mwhelan@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RT (Two-Unit Residential)
- **Zoning District:** R-2 (Two-Family Residential)
- **Coastal Land Use Category:** Two-Unit Residential – (20.0-29.9 DU/AC) (R-D)
- **Coastal Zoning District:** Two-Unit Residential (R-2)

PROJECT SUMMARY

The applicant requests a coastal development permit to allow the construction of a new three-story, 3,153-square-foot, single-family residence including an attached two-car garage. The project includes reinforcing and raising the height of the existing bulkhead. No work will be conducted bayward of the existing property. The proposed development includes landscape, hardscape, and subsurface drainage facilities. The design complies with all applicable development standards and no deviations are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2018-088 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-2 Coastal Zoning District, which provides for single-and-two-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The subject property was developed with a single-family residence that spanned across three legal lots including the subject lot (3904 Channel Place), 3900 Channel Place and 3902 Channel Place. Coastal Development Permit No. CD2018-062 approved the demolition of the existing single-family residence allowing the three underlying legal lots to be developed separately. The neighborhood is predominantly developed with single- and two-story, single-family residences. The design, bulk, and scale of the proposed single-family dwelling is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Channel Place (front)	3 feet	3 feet
Sides	3 feet	3 feet
Water Frontage (front)	20 feet	20 feet
Allowable Floor Area	3,286 square feet	3,153 square feet
Allowable 3rd Floor Area	328 square feet	313 square feet
Open Space (min.)	247 square feet	248 square feet
Parking (min.)	2-car garage	2-car garage
Height (max.)	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

Hazards

- The development fronts the Newport Bay and is protected by an existing cast-in-place concrete bulkhead with the top of the bulkhead at elevation 6.31 feet (NAVD88). A Bulkhead Conditions Report was prepared by PMA Consulting, Inc., dated December 3, 2018, and concluded that the existing concrete bulkhead was in poor condition. The existing bulkhead is proposed to be repaired and reinforced to a height of 10.05 feet NAVD88. The Bulkhead Conditions Report concluded that the

repaired, reinforced and raised bulkhead will protect the proposed development and adjacent development.

- The finish floor elevation of the proposed dwelling is 9.00 feet NAVD 88, which complies with the minimum 9.00 feet NAVD88 elevation standard. A waterproofing 6-inch curb is proposed to be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.05 feet (NAVD88). Flood shields (sand bags and other methods) can be deployed across the openings to prevent flooding to the structure. The Coastal Hazard Report concludes that the highest high tide elevation (currently 7.20 feet NAVD88) will not exceed the proposed exterior curb of 10.05 feet NAVD88 using the low-risk aversion projected sea level rise (2.85-foot increase) over the 75-year design life of the structure based on estimates for sea level rise provided by the State of California Sea-Level Rise Guidance 2018.
- Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather run-off and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
- Pursuant to Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a preliminary Water

Quality and Hydrology Plan (WQHP) has been provided and will undergo a final review during building permit plan check. The WQHP was prepared for the project by Forkert Engineering & Surveying, Inc. on October 17, 2018. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP prior to building permit issuance.

Public Access

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities. Vertical access to the bay front is available adjacent the property at the terminus of 39th Street and the Newport Bay.
- The closest designated public viewpoint is located on the 38th Street bridge entrance to Newport Island, approximately 500 feet from the property. The site is also visible in the distance from the Channel Place Park. The proposed residence is not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the public view points and the project's compliance with applicable Local Coastal Program (LCP) development standards, including height and setbacks, the project will not impact coastal views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 3,153-square-foot single-family residence.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Melinda Whelan
Assistant Planner
JM/msw

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2018-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2018-088 TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE AND ATTACHED 2-CAR GARAGE LOCATED AT 3904 CHANNEL PLACE (PA2018-211)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Brandon Architects, with respect to property located at 3904 Channel Place, requesting approval of a coastal development permit.
2. The lot at 3904 Channel Place is legally described as Lot 3, Block 539, of Canal Section.
3. The applicant proposes a coastal development permit to allow the construction of a new three-story, 3,153-square-foot, single-family residence including an attached two-car garage. The project includes reinforcing and raising the height of the existing bulkhead. No work will be conducted bayward of the existing property. The proposed development includes landscape, hardscape, and subsurface drainage facilities.
4. The subject property is designated RT (Two-Unit Residential) by the General Plan Land Use Element and is located within the R-2 (Two-Family Residential) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two-Unit Residential (RT-D) 20.0-29.9 DU/AC and it is located within the Two-unit Residential (R-2) Coastal Zone District.
6. A public hearing was held on January 10, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures).
2. Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 3,153-square-foot single-family residence and attached 2-car garage.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 3,286 square feet and the proposed floor area is 3,153 square feet.
 - b. The proposed development provides the minimum required setbacks, which are 3 feet along the front property line abutting Channel Place, 3 feet along each side property line and 20 feet along the second frontage abutting Newport Bay.
 - c. The highest guardrail is less than 24 feet from established grade (9.00 feet NAVD88) and the highest ridge is no more than 29 feet from established grade, which comply with the maximum height requirements.
 - d. The project includes garage parking for a total of two vehicles, complying with the minimum two-car garage parking requirement for single-family residences with less than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with two- and three-story, single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
3. The development fronts the Newport Bay. The project site is protected by a bulkhead. The finished floor elevation of the proposed dwelling is 9.00 feet NAVD 88, which complies with the minimum 9.00 feet NAVD88 elevation standard. A waterproofing 6-inch curb is proposed to be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.05 feet NAVD88. Flood shields (sand bags and other methods) can be deployed across the openings to protect prevent flooding to the structure.

4. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by PMA Consulting, dated December 3, 2018 for the project. The report concludes that the proposed project is reasonably safe from the shoreline erosion due to lack of wave or wakes that can erode sand from the beach. However, the site requires a reinforced and raised bulkhead to protect the site and surrounding development from sea level rise, considering a 2.85-foot sea level rise (the low-risk aversion projected sea level rise over the 75-year design life of the structure based on estimates for sea level rise provided by the State of California Sea-Level Rise Guidance 2018). The project includes raising the bulkhead to 10.05 feet (NAVD88), which meets the State of California Sea-Level Rise Guidance 2018.
5. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
7. The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
8. Pursuant to Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a preliminary Water Quality and Hydrology Plan (WQHP) has been provided and will undergo a final review during building permit plan check. The WQHP was prepared for the project by Forkert Engineering & Surveying, Inc. on October 17, 2018. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP prior to building permit issuance
- 9.
10. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance

of building permits, the final landscape plans will be reviewed to verify invasive species are not planted

11. The property is not located near designated Public Viewpoints or Coastal View Roads and will not impact public coastal views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities.
2. Vertical access to the bay is available approximately 50 feet east of the site at the terminus of 39th Street and the Newport Bay.
3. The closest designated public viewpoint is located on the 38th Street bridge entrance to Newport Island, approximately 500 feet from the property. The site is also visible in the distance from the Channel Place Park. The proposed residence is not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the public view points and the project's compliance with applicable Local Coastal Program (LCP) development standards, including height and setbacks, the project will not impact coastal views.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2018-088, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 10TH DAY OF JANUARY, 2019.

Patrick J. Alford, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Prior to the issuance of a building permit, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.
3. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.
4. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
5. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
6. This Coastal Development Permit does not authorize any development seaward of the private property. Should the bulkhead require more extensive repair or replacement with construction equipment bayward of the private property, an additional Coastal Development Permit shall be obtained for the bulkhead from the Coastal Commission.
7. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
8. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and

construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

9. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
10. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
11. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
12. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
13. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
14. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
15. Prior to issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the WQHP/WQMP and any changes could require separate review and approval by the Building Division.
16. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
17. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
18. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.

19. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
20. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
21. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
22. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
23. This Coastal Development Permit No. CD2018-088 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
24. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of 3904 Channel Place Residence including, but not limited to, Coastal Development Permit No. CD2018-088 (PA2018-211). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



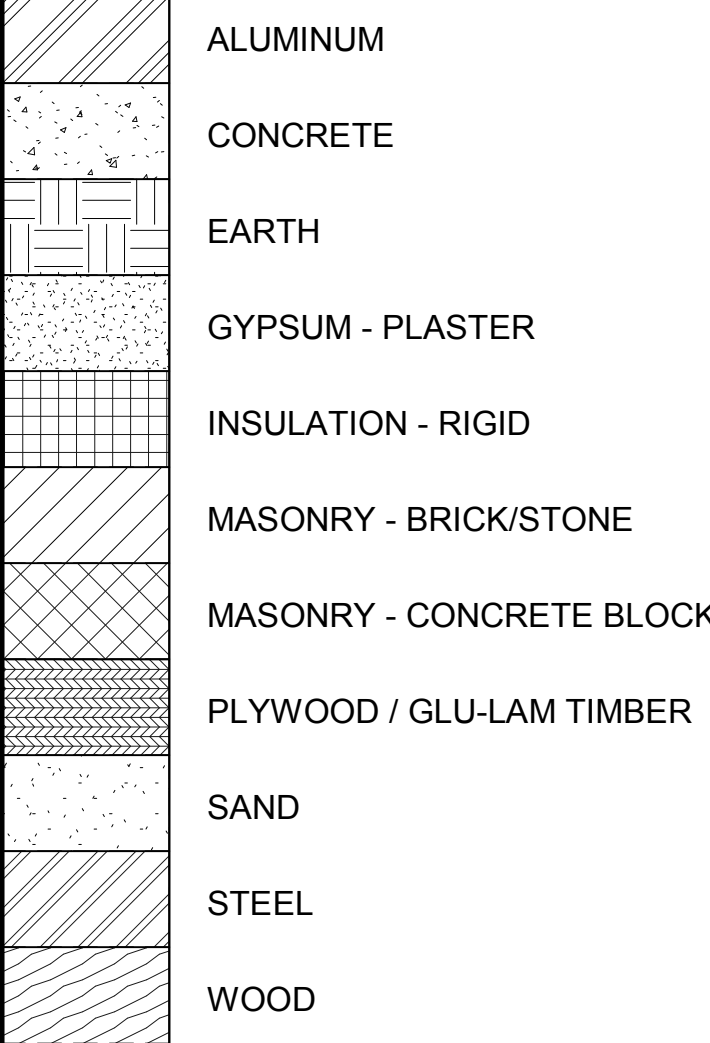
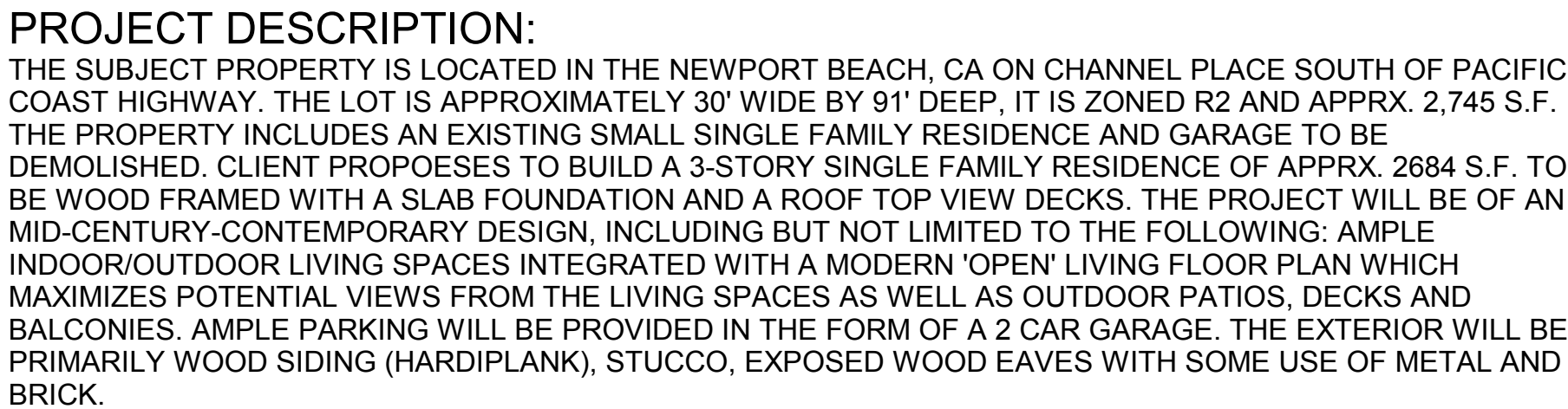
Coastal Development Permit No. CD2018-088
PA2018-211

3904 Channel Place

Attachment No. ZA 3

Project Plans

3904 CHANNEL PL., NEWPORT BEACH, CA., 92660



1. REF. STRUCT. SURVS. FOR SPECIAL INSPECTION BY ENGINEER OF RECORD TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL.

2. CONTRACT SURVEY SHALL COMPLETE FEMA ELEVATION CERTIFICATE AND SUBMIT IT TO BUILDING DEPARTMENT INSPECTOR DURING FINAL INSPECTION.

SPECIAL INSPECTIONS

1. LANDSCAPE PLAN, BBO, FIRE PIT, ACCESSORY STRUCTURES, MASONRY OR CONCRETE WALLS, FOUNDATIONS, RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF WALL, UNDER SEPARATE SURVEYOR'S REPORT.

2. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

3. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER AIR STD. SOUND LEVEL NOT TO EXCEED 50DBA @50HZ WITH TIMER, @50HZ WITH TIMER A CORRECTION FACTOR OF 10 DB. MEASUREMENT OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING.

4. A/C OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND TRENCHING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.

5. FIRE SPRINKLERS REQUIRED IN ACCORDANCE WITH NFPA 13D, CONTRACTOR TO SUBMIT FIRE SPRINKLER DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. CONTRACTOR OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.

6. GLASS GUARDHANDRAILS

NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ARCHITECT OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL TO LOCAL AGENCY FOR REVIEW.

C.N.B. NOTE: CHRISTOPHER BRANDON, PRINCIPAL ARCHITECT IS THE DESIGN PROFESSIONAL IN BUILDING CHARGE OF THE PROJECT. RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS INCLUDING PHASED AND DEFERRED SUBMITTALS. ITEMS, FOR COMPATIBILITY WITH

DIG ALERT:	1.800.227.2600
SOUTHERN CALIFORNIA EDISON:	1.714.895.0246
SOUTHERN CALIFORNIA GAS:	1.800.427.2000
CITY WATER & SEWER:	1.949.644.3011
PACIFIC BELL TELEPHONE:	1.800.750.2355
CITY OF NEWPORT BEACH PUBLIC WORKS DEPT.:	1.949.644.3311
CITY OF NEWPORT BEACH PLANNING DEPT.:	
GENERAL INFORMATION:	1.949.644.3200
ZONING INFORMATION:	1.949.644.3204
CITY OF NEWPORT BEACH BUILDING DEPT.:	
GENERAL:	1.949.644.3275
PERMITS:	1.949.644.3286
INSPECTIONS:	1.949.644.3255
NEWPORT BEACH FIRE DEPARTMENT:	1.949.644.3106
ORANGE COUNTY HEALTH SERVICES:	1.714.834.3682

<p>ARCHITECT: BRANDON ARCHITECTS, INC. PROJECT ARCH. BRONX, INC. 115 KALMUS DR. STE. G COSTA MESA, CA 92626 P: 714.754.4004 WWW.BRANDONARCHITECTS.COM</p>	<p>OWNER: 3900 CHANNEL PLACE, #3, LLC 15 CORPORATE PLAZA, SUITE 150 NORFOLK, VA 23502 P: 757.723.1800</p>
<p>STRUCTURAL ENGINEER: PETERSON MARSHALL, LLC, C36840 ESR/ME INC. P.O. BOX 1070, STE. B SAN ANTONIO, TX 78201 P: 714.835.2800 P: 714.835.2819</p>	<p>CIVIL ENGINEER: THOMAS H. RUZ, P.E. P231 BROOKVIEW, STE. 203 HUNTINGTON BEACH, CA 92646 P: 714.963.6750</p>
<p>GENERAL CONTRACTOR: PATTERSON CUSTOM HOMES ANDREW PATTERSON LANDSCAPE PLANT, SUITE 150 NEWPORT BEACH, CA 92660 P: 949.723.1800</p>	<p>LANDSCAPE DESIGNER: TBD</p>
<p>SURVEYOR: APEX LAND SURVEYING, INC. PAUL CRAFT HUNTINGTON BEACH, CA 02846 P: 714.488.5006 E: PAUL@APEXLANDSURV.COM E: APEX@APEXLANDSURV.COM</p>	<p>SOILS ENGINEER: COAST GEOTECHNICAL, INC. MING-TRANG CHEN 1700 W. COMMONWEALTH AVE. FULLERTON, CA 92833 P: 714.670.1211 E: COASTGEOTECH@SBCGLOBAL.COM W.D. # 657118-01, DISC. AUTH. 1, 2, 3</p>
<p>INTERIOR DESIGNER: TBD</p>	<p>HERITAGE ENERGY GROUP, LLC 470 WALD, IRVINE, CA 92618 P: 949.768.7221</p>

MATERIAL LEGEND	9	DEFERRED SUBMITTALS	7	AGENCIES & PUBLIC SERVICES	4	PROJECT DIRECTORY
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N 90 00' 00" E

1

SIM

A101

Room name

150 SF

1

A101

Name

Elevation

1

20 R @ 7 1/2"

1

1

1

7

NORTH ARROW

PROPERTY LINE TAG

SECTION INDICATOR

ROOM TAG (NAME / AREA)

CALL-OUT TAG

ELEVATION INDICATOR

REVISION FLAG

STAIR TAG (NO. OF RISER & HEIGHT)

WALL TAG

DOOR TAG

WINDOW TAG

KEYNOTE TAG

Name

AREA

COMMENTS

FIRST FLOOR

1102 SF

SECOND FLOOR

1267 SF

THIRD FLOOR

313.06 S.F.

328.63 S.F. MAX

2-CAR GARAGE

2682 SF

GRAND TOTAL

471 SF

3153 SF

3,286 S.F. MAX

NAME

AREA

COMMENTS

MA. BALCONY

248.67 SF

GRAND TOTAL

248.67 SF

(MIN. 246.47 S.F. OPEN VOLUME REQ.)

LANDSCAPING AREA

SITE PLAN

O.S.F.

LEGAL DESCRIPTION:

APN: 423-061-06
LOT 3, BLOCK 539 OF CANAL SECTION, CITY OF NEWPORT BEACH,
COUNTY OF ORANGE, STATE OF CALIFORNIA
M.M. 498

LOT INFORMATION:

ZONED: R-2
SITE AREA: 2,745.04 S.F. BUILDABLE AREA: 1,843.15 S.F.
TOTAL ALLOWABLE AREA: 2 x 1,643.15 S.F. = 3,286.3 S.F.
TOTAL AREA PER PLANS: 3,155 S.F. < 3,286.3 S.F.
OPEN VOLUME REQUIRED: 150(1,643.15) = 246,471 S.F.
OPEN VOLUME PROVIDED PER PLANS: MASTER BALCONY 246 S.F.
ALLOWABLE THIRD FLOOR AREA: 200(1,643.15) = 328,630 S.F.
THIRD FLOOR AREA PER PLANS: 312 S.F. < 328.63 S.F.

EXISTING BUILDING INFORMATION:

EXISTING SINGLE FAMILY W/ GARAGE TO BE DEMOLISHED
EXISTING S.F. = 3,937 S.F. (782 S.F.) GARAGE (4 BEDS. TTL.)

ZONING INFORMATION:

FRONT SETBACK (BAY FRONT): 20 FT.
REAR SETBACK (STREET): 3 FT.
LEFT SETBACK: 3 FT.
RIGHT SETBACK: 3 FT.

LANDSCAPING NOTES:

THIS PROJECT CONTAINS LESS THAN 500 S.F. OF
LANDSCAPING AND IS EXEMPT OF CHAPTER 14.17

CODES:

NBMC (NEWPORT BEACH MUNICIPAL CODE)
CALIFORNIA CODES: 2016 CBC, 2016 CFC, 2016 CEB
2016 CPC, AND 2016 CMC, 2016 CAL. CREI

OCCUPANT LOAD

OCCUPANCY CLASSIFICATION

OCCUPANCY SEPARATIONS (GARAGE)

FLOOR & FLOOR-CEILINGS

TYPE OF CONSTRUCTION

FIRE SPRINKLER: NFPA 13D

HEIGHT

FLOOR AREA

ALLOWABLE BLDG. AREA

1 UN

R-3



1-H

V-B SPRKR

3 STOR

REF. 87T

N

SHEET #	DRAWING TITLE	PROJECT NAME MID-MOD - CHANNEL PLACE
T-1.0	TITLE SHEET	STATUS SECOND CHECK
T-1.1	GENERAL ARCHITECTURAL NOTES	
T-1.2	SUPPLEMENTAL NOTES & DOCUMENTS	
SUR	TOPOGRAPHIC SURVEY	
A-0.0	ARCHITECTURAL SITE PLAN	
A-0.2	SLAB EDGE PLAN	
A-0.4	AREA PLANS	 <p>BRANDON ARCHITECTS 151 Kalmie Drive, Suite G-1 | Costa Mesa, CA 92626 714.754.4040 | www.brandonarchitects.com</p>
C2	PRECISE GRADING PLAN	
C4	EROSION CONTROL PLAN	
A-1.0	3-DIMENSIONAL VIEWS	
A-2.0	FLOOR PLAN	
A-3.0	ROOF PLAN	
A-4.0	EXTERIOR ELEVATIONS & MATERIAL SCHEDULE	
A-5.0	BUILDING SECTIONS	OWNER INFORMATION: 3900 CHANNEL PLACE #3, LLC 15 CORPORATE PLAZA, SUITE 150 NEWPORT BEACH, CA 92660
A-5.1	BUILDING SECTIONS	
S1	FOUNDATION PLAN	
SW-0	STRUCTURAL GENERAL NOTES & VICINITY MAP (REF. ONLY)	
SW-1	SITE PLAN & ELEVATION (REF. ONLY)	
SW-2	DETAILS (REF. ONLY)	

**MID-MOD - CHANNEL
PLACE**
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
BRANDON LINDSAY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

TITLE SHEET

REVISIONS		
NO.	REVISION	DATE

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

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BUILDING DIVISION

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www.newportbeach.gov | (949) 644-3200

CALGREEN - RESIDENTIAL MINIMUM REQUIREMENTS

Scope

- 2016 California Green Building Standards Code (CG) is applicable to all new residential buildings, including but not limited to, dwellings, apartment houses, condominiums, hotels, and other types of dwellings containing sleeping accommodations with or without common toilets or cooking facilities regulated by the Department of Housing and Community Development (HCD-1), (NIMC 15.11.016, CG Section 101.3.1).
- 2016 California Green Building Standards Code (CG) is applicable to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. (301.1.1)

Energy Efficiency

- New one and two family dwellings and townhouses with attached private garages shall install a listed nominal 1 inch inside diameter raceway to accommodate a dedicated 208/240 volt branch circuit. (4.106.4.1)
 - The raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box, or enclosure in close proximity to the proposed location of an EV charger.
 - The service panel or subpanel shall provide capacity to install a minimum 40 ampere dedicated branch circuit and space reserved for installation of a branch circuit overcurrent protective device.
 - The service panel or subpanel circuit directory shall identify the overcurrent protective devices space reserved for future EV charging as "EV CAPABLE."
 - The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Material Conservation and Resources Efficiency

- Annular spaces around pipes, electrical cables, conduits or other openings in sheetrock plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or other similar method. (4.406.1)
- Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (4.408.1, 4.408.3)

Water Efficiency and Conservation

- New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with City's water efficient landscape ordinance. (4.304.1, NIMC 14.17)
- Plumbing fixtures and fittings shall comply with the following (4.303.1):

FIXTURE TYPE	MAXIMUM FLOW RATE
Single Showerheads	2.0 gpm @ 80 psi
Multiple Showerheads	Combine flow rate of 2.0 gpm @80 psi
Residential Lavatory Faucets	1.2 gpm @ 60 psi ¹
Common and Public use Lavatory Faucets	0.5 gpm @60 psi
Kitchen Faucets	1.8 gpm @ 60 psi
Water Closets	0.25 gallons per cycle maximum
Water Closets	1.28 gallons/flush ²
Wall Mounted Urinal	0.25 gallons/flush
All Other Types of Urinal	0.5 gallons/flush

1. Includes single and dual flush water closets with an effective flush rate of 1.25 gallons or less when tested per ASME A112.10.2.53.2 for single flush and ASME A112.10.2.53.2 for dual flush toilets.
2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

Environmental Quality

- Moisture content of building materials used in wall and floor framing is checked before enclosure according to one of the following (4.505.3):
 - Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
 - Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
 - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

- Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other toxic requirements in Sections 94522(a)(1) and (f)(1) of the California Code of Regulations, Title 17, commencing with Section 94520. (4.504.2.3)

- Carpet and carpet systems shall be compliant with of the following (4.504.3):

- Carpet and Rug Institute's Green Label Plus Program.
 - California Department of Public Health Specification 01350.
 - NSF/ANSI 140 at the Gold level.
 - Scientific Certifications Systems Indoor Advantage™ Gold
- Minimum 80% of floor area receiving resilient flooring shall comply with one of the following (4.504.4):
 - VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Product Database.
 - Products certified under UL GREENGUARD Gold
 - Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - California Department of Public Health Specification 01350.

- Adhesives, sealants and caulks shall be compliant with volatile organic compound (VOC) limits set forth in Table 4.504.1 or Table 4.504.2. (4.504.2.1)

ADHESIVE VOC LIMIT ^{1,2} (Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	80
Subfloor adhesives	50
Ceramic tile adhesives	65
VOT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Core bases adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	480
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure VOC content specified in table, see Best Case Air Quality Management District Rule 1105.

SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	250
Nonporous	775
Porous	500
Modified bituminous	760
Marine deck	750
Other	750

- Paints, stains, and other coatings shall be compliant with VOC and other toxic compound limits set forth in Table 4.504.3. (4.504.2.2)

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3} (Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)	
COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Dewaxing sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
Shelacs	450
High temperature coatings	450
Industrial maintenance coatings	250
Magnesia cement coatings	120
Low solids coatings ¹	450
Masonry cement coatings	250
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	450
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shelacs	730
Clear	850
Opaque	250
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tube and tile reline coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.
2. The specified limits shown in effect unless noted limits are listed in subsequent columns in the table.
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measures, February 1, 2005. More information is available from the Air Resources Board.

- Particulateboard, medium density fiberboard (MDF) and hardwood plywood used in interior or exterior of the building shall comply with low formaldehyde emission standards as set forth in Table 4.504.5 below (4.504.5)

FORMALDEHYDE LIMITS ¹ (Maximum formaldehyde Emissions in Parts per Million)		
PRODUCT	FORMALDEHYDE EMISSIONS (Parts per Million)	LIMIT
Hardwood plywood veneer core	0.05	0.05
Hardwood plywood composite core	0.05	0.05
Particleboard	0.09	0.11
Medium density fiberboard	0.11	0.11

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measures for Composite Wood as Applied to Composite with ASTM D 1328-96/2002. For additional information, see California Code of Regulations, Title 17, Sections 9110 through 9114.
2. Thin medium density fiberboard has a maximum thickness of 0.16 inch (8 mm).

- All duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the building inspector to reduce the amount of water, dust and debris, which may enter the system until final startup of the HVAC equipment. (4.504.1)

- Bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of whole house ventilation system, fans must be controlled by a humidity control capable of adjustment between a relative humidity range of less than or equal to 50% to maximum 80%. (4.506.1)

- Duct systems are sized, designed and equipment is selected using the following methods (4.507.2):
 - Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 (Residential Load Calculation), ASHRAE handbooks or equivalent design methods.
 - Size duct systems according to ANSI/ACCA 1 Manual D-2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
 - Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Selection) or other equivalent design software or methods.

Installer and Special Inspector Qualifications

- HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installers in the proper installation of HVAC systems. (702.1)
- HVAC Special Inspectors must be qualified and able to demonstrate competence in the discipline they are inspecting. (702.2)

Documentation

- An operation and maintenance manual, CD, web-based reference or other approved media shall be provided by the builder to the building occupant or owner at the final inspection. It shall include operation and maintenance instruction of the equipment and appliances. (4.401.1)
- Documentation shall be provided to verify that finish materials used comply with VOC limits as set forth in Tables 4.504.1, 4.504.2, & 4.504.3. (4.504.2.4)
- Documentation shall be provided to verify that composite wood products used comply with formaldehyde limits as set forth in Tables 4.504.5, (4.504.5.1)
- Documentation which shows compliance with CAL Green code including construction documents, plans, specifications, builder or installer certification, and inspection reports and verification shall be available at the final inspection. (703.1)
- CAL Green Documentation Compliance Certification form (City form) is required to be submitted to the Building Inspector prior to final building inspection. (Section 703.1)

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5

CAL GREEN - RESIDENTIAL MANDATORY MEASURES

1



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1788 | Newport Beach, CA 92658-8915
www.newportbeach.gov | (949) 644-3200

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

Applicable Standards: 2016 California Residential Code (CRC); 2016 California Building Code (CBC); 2016 California Plumbing Code (CPC); 2016 California Electrical Code (CEC); 2016 California Mechanical Code (CMC); 2016 Building Energy Efficiency Standards (BEES); 2016 California Green Building Standards Code (Cal Green); & Chapter 15 of the Newport Beach Municipal Code (NIMC)

GENERAL:

- Residential building undergoing permitted alterations, additions or improvements shall replace non-compliant plumbing fixtures with water-conserving plumbing fixtures meeting the requirements of 2016 California Green Building Standards Code, Section 4.303. Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or final inspection by the Chief Building Official. (Civil Code, Section 1101.1 et seq., NIMC 15.11.010)
- Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
- Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department.
- A site survey by a licensed surveyor shall be required prior to foundation concrete pour.
- Garage ceiling height. The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the front four feet may have a minimum vertical clearance of four feet. (NIMC 20.40.090 A.4)
- Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (Cal Green 4.408.1, 4.408.3)
- Stairways shall not be less than 36 inches clear width. (CRC 311.7.1) The minimum head clearance shall be 6'-8" measured vertically from the sloped line adjoining tread nosing. (CRC 311.7.2)
- Advisory Note: Homeowners Association (HOA) approval may be required for this improvement.
- Additional permits are required for detached structures including but not limited to:
 - Accessory structures, detached patio covers, and trellises.
 - Masonry or concrete fences over 3.5 ft. high.
 - Retaining walls over 4 ft. high from the bottom of the foundation to the top of the wall.

CONSTRUCTION:

- Pedestrian protection adjacent to public way to be as follows:

CBC TABLE 3306.1 PROTECTION OF PEDESTRIANS		
HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQUIRED
8 feet or less	Less than 5 feet	Construction railings
	5 feet or more	None
	Less than 5 feet	Barrier and covered walkway
More than 8 feet	5 feet or more, but not more than one-fourth the height of construction	Barrier and covered walkway
	5 feet or more, but between one-fourth and one-half the height of construction	Barrier
	5 feet or more, but exceeding one-half the height of construction	None

- All exterior lath and plaster shall have two layers of Grade D paper over wood base sheathing. (CRC R703.7.3, CBC 2510.6)
- Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain inlet. Backing for tile shall be cement board or cement plaster. (CRC R307.2, CBC 1210.2.3)
- Safety glazing shall be provided at the following hazardous locations: (CRC R308.4, CBC 2405.4)
 - Swinging, bi-fold, and sliding doors.
 - When located within 60 inches above the floor of wet surfaces such as tubs, showers, saunas, steam rooms, or outdoor swimming pool.
 - Glazing adjacent to doors.
 - Within a 24 inch arc of either vertical edge of doors and within 60 inches of walking surface.
 - Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.
 - Where glazing area is more than 9 sq. ft. in area, with the bottom edge less than 18 inches above the floor, top edge more than 36 inches above floor, and within 36 inches of a walking surface, measured horizontally.
- Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
- Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
- Glazing in guards and railings.
- All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate drowning prevention safety feature. (CRC 3109.4.4.2)
- Smoke alarms shall be installed in the following locations (CRC R314.3, CBC 907.2.11.2, 907.2.11.3 & 907.2.11.4):
 - In each sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - On each additional story, including basements and habitable attics.

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2

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7

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

2

SUPPLEMENTAL NOTES & DOCUMENTS

REVISIONS

NO.	REVISION	DATE
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JOB NO. 3904-18


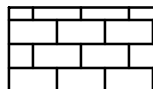
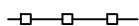
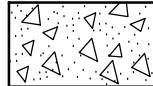
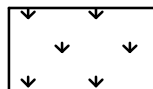

DATE 08/30/2018

SHEET NO.

T-1.2

3

LEGEND

	— BLOCK WALL		— BRICK SURFACE
	— WROUGHT IRON FENCE (WIF)		
AC	— ASPHALT PAVEMENT		
AD	— AIR CONDITION UNIT		
AA	— AREA DRAIN		— CONCRETE SURFACE
CATV	— CABLE TV BOX		
⊕	— CENTERLINE		
EG	— EDGE OF GUTTER		— GRASS SURFACE
EMH	— ELECTRICAL MANHOLE		
FF	— FINISHED FLOOR		
FFG	— FINISHED FLOOR GARAGE		
FH	— FIRE HYDRANT		
FL	— FLOWLINE		
FS	— FINISHED SURFACE		
GM	— GAS METER		
NG	— NATURAL GAS		
SCO	— SEWER CLEAN OUT		
SDMH	— STORM DRAIN MANHOLE		
SMH	— SEWER MANHOLE		
TB	— TOP OF BULKHEAD		
TC	— TOP OF CURB		
TD	— TOP OF DOCK		
TW	— TOP OF WALL		
WM	— WATER METER		
WV	— WATER VALVE		
()	— EXISTING ELEVATION		
●	— FOUND MONUMENT		
○	— SEARCHED, FOUND NOTHING; TO BE MONUMENTED PRIOR TO GRADING		
 T.B.M.	— TEMPORARY BENCHMARK SET ON A WATER METER (WM). ELEVATION = 8.12 FEET		

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT ONE, TWO AND THREE, IN BLOCK FIVE HUNDRED THIRTY-NINE (539) OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

PARCEL 2:

BEGINNING AT THE NORTHEASTEASTLY CORNER OF SAID LOT ONE (1) IN BLOCK FIVE HUNDRED THIRTY-NINE (539) OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE NORTHEASTERLY ALONG THE NORTHEASTLY EXTENSION OF THE SOUTHEASTERLY LINE OF SAID LOT ONE (1) TO THE LINE OF ORDINARY HIGH TIDE OF THE PACIFIC OCEAN IN NEWPORT BAY, DESIGNATED "SOUTH LINE" AS DESCRIBED IN DECREE OF THE SUPERIOR COURT OF THE COUNTY OF ORANGE AND FOR THE COUNTY OF ORANGE, A COPY OF WHICH WAS RECORDED SEPTEMBER 19TH, 1928 IN BOOK 201, PAGE 253 OF OFFICIAL RECORDS; THENCE WESTERLY ALONG SAID HIGH TIDE LINE TO AN INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID LOT ONE (1); THENCE SOUTHWESTERLY ALONG SAID EXTENDED LINE TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT ONE (1); THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SAID LOT ONE (1) TO THE POINT OF BEGINNING.

PARCEL 3:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT TWO IN BLOCK FIVE HUNDRED THIRTY-NINE OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE NORTHEASTERLY ALONG THE NORTHEASTERLY EXTENSION OF THE SOUTHEASTERLY LINE OF SAID LOT TWO TO THE LINE OF ORDINARY HIGH TIDE OF THE PACIFIC OCEAN IN NEWPORT BAY, DESIGNATED "SOUTH LINE" AS DESCRIBED IN DECREE OF THE SUPERIOR COURT OF THE STATE OF CALIFORNIA IN AND FOR THE COUNTY OF ORANGE, IN CERTIFIED COPY OF WHICH WAS RECORDED SEPTEMBER 19, 1928 IN BOOK 201, PAGE 253 OF OFFICIAL RECORDS; THENCE WESTERLY ALONG SAID HIGH TIDE LINE TO AN INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID LOT TWO; THENCE SOUTHWESTERLY ALONG SAID EXTENDED LINE TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT TWO; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SAID LOT TWO TO THE POINT OF BEGINNING.

PARCEL 4:

BEGINNING AT THE NORTHEASTERLY CORNER OF LOT THREE IN BLOCK FIVE HUNDRED THIRTY-NINE OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY; THENCE NORTHEASTERLY ALONG THE EXTENDED NORTHEASTERLY LINE OF SAID LOT THREE TO THE LINE OF ORDINARY HIGH TIDE OF THE PACIFIC OCEAN IN NEWPORT BEACH, DESIGNATED "SOUTH LINE", AS DESCRIBED IN DECREE OF SUPERIOR COURT OF ORANGE COUNTY, A CERTIFIED COPY OF WHICH WAS RECORDED SEPTEMBER 19, 1928 IN BOOK 201, PAGE 253 OF OFFICIAL RECORDS; THENCE WESTERLY ALONG SAID HIGH TIDE LINE TO AN INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE NORTHWESTERLY LINE OF LOT FOUR, NORTHERLY SOUGHT, EXTENDED ALONG SAID EXTENDED LINE TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT FOUR; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOTS FOUR AND THREE TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION INCLUDED WITHIN PARCEL 2 OF CERTIFICATE OF COMPLIANCE 2018-012 RECORDED MAY 23, 2018, AS INSTRUMENT NO. 2018000188810, OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

TITLE REPORT NOTES

LEGAL DESCRIPTION & EASEMENTS SHOWN HEREON ARE PER A TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, DATED MAY 17, 2018, TITLE NO. 58601802506-JFA.

EASEMENT NOTES

ITEM 6: AN EASEMENT FOR PUBLIC WATER WAY OR HIGHWAY AND INCIDENTAL PURPOSES, RECORDED JANUARY 4, 1930 IN BOOK 339, PAGE 319, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND NOT PLOTTED HERE ON DUE TO LACK OF BACKUP DOCUMENTATION.

BENCHMARK INFORMATION

BENCHMARK NO: J-782

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPE
782 1946". SET IN THE TOP OF A CONCRETE POST.
MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF
THE INTERSECTION OF 29TH STREET AND NORTHBOUND
NEWPORT BOULEVARD, 24.3 FT. EASTERLY OF THE
CENTERLINE OF THE NORTHBOUND LANES ALONG
NEWPORT BOULEVARD AND 23.3 FT. NORTHERLY OF THE
CENTERLINE OF 29TH STREET. MONUMENT IS SET LEVEL
WITH THE SIDEWALK.

ELEVATION: 7.142 FEET (NAVD88), YEAR LEVELED 1989

CHANNEL
[INGS] **PLACE**

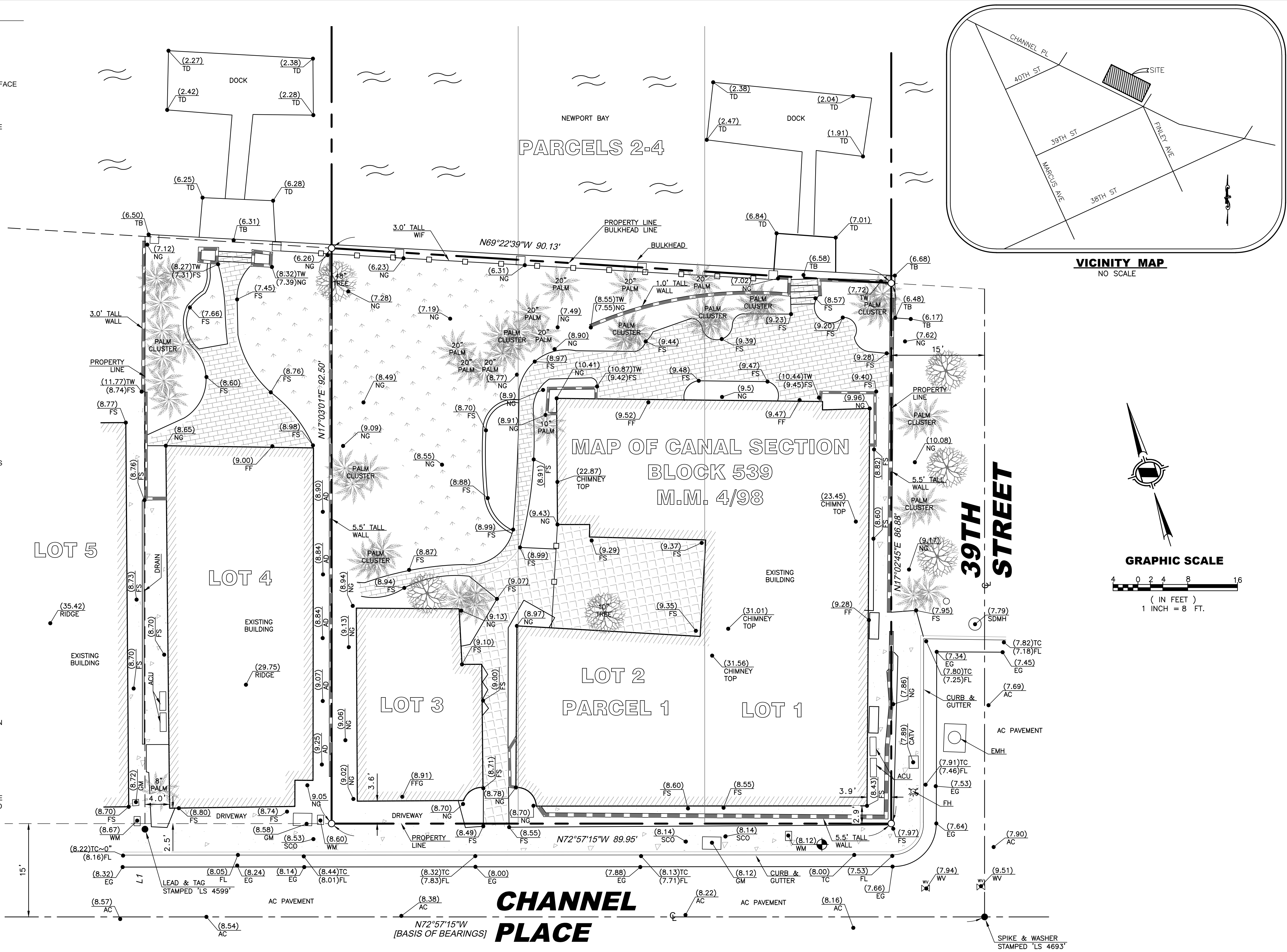
BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON
THE CENTERLINE OF CHANNEL PLACE HAVING A BEARING
OF N72°57'15"W PER R.S.B. 214/16

SURVEYOR'S NOTES

1. THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS, ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.

2. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



PAUL D. CRAFT, P.L. S. 8516
LICENSE RENEWAL DATE 12/31/18

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



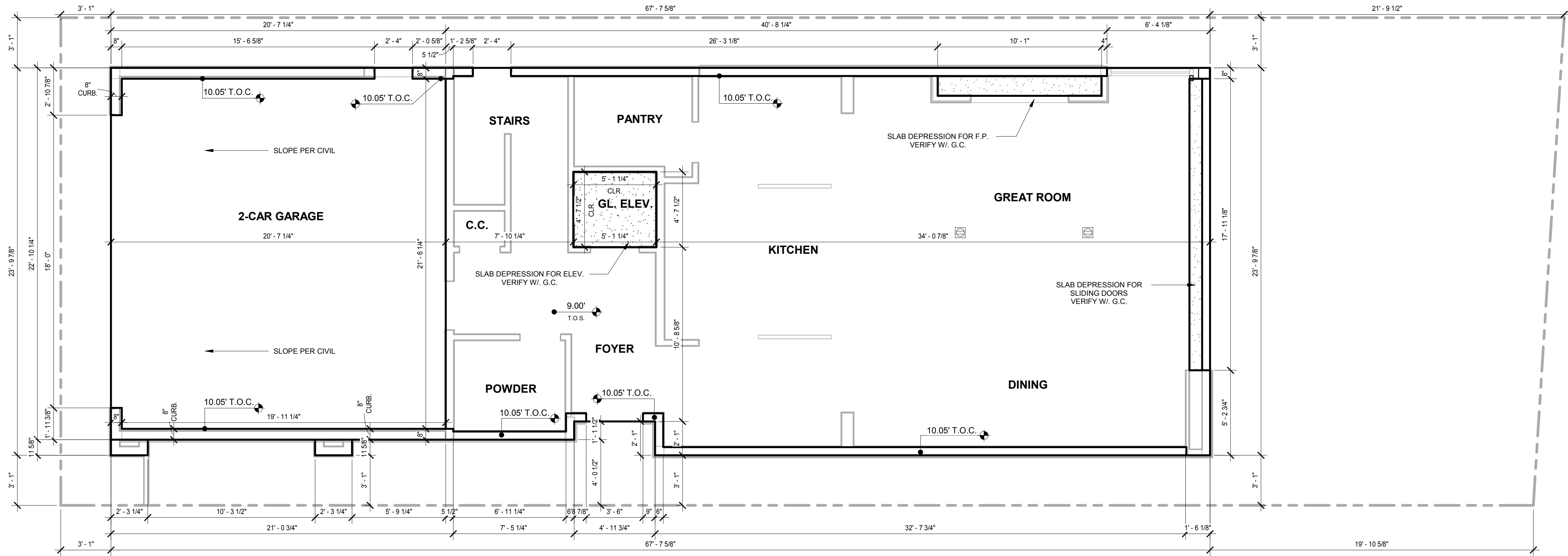
REVISIONS			
NO.	DESCRIPTION	DATE	APP'D
1	-----	-	P. D. C.

APEX LAND SURVEYING INC.
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 498-5006 FAX: (714) 333-4440
APEXLSINC@GMAIL.COM

DATE	6/07/2018
SCALE	1" = 8'
DRAWN	J. A. H.
CHECKED	P. D. C.

TOPOGRAPHIC MAP
3900 CHANNEL PLACE
NEWPORT BEACH, CA 92666
(APN: 423-061-06)

SHEET NO.
1 OF **1**



1 SLAB EDGE PLAN
1/4" = 1'-0"

GENERAL NOTES TO BE ADDED TO SLAB EDGE PLAN - DELETE IF NOT NEEDED

SLAB DEPRESSION FOR F.P. VERIFY W/ G.C. & MFGR.

SLAB DEPRESSION FOR ELEVATOR 12" TYP. VERIFY W/ G.C. & MFGR.

SLAB DEPRESSION FOR SLIDING DOORS VERIFY W/ G.C. & MFGR.

NOTE:
GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS CONSISTENT WITH THE CONSTRUCTION DOCUMENTS. GENERAL CONTRACTOR TO REVIEW AND APPROVE ALL FINAL SHOP DRAWINGS PRIOR TO FABRICATION & POURING.

ARCHITECT & STRUCTURAL ENGINEER TO REVIEW SHOP DWGS. FOR DESIGN CONFORMITY TO THE CONSTRUCTION DOCUMENTS PRIOR TO FABRICATION & POURING.

PROJECT NAME
MID-MOD - CHANNEL PLACE

STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kilimuis Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
3900 CHANNEL PLACE #3,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92663

MID-MOD - CHANNEL PLACE
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
BRANDON LINSDAY, AIA

DOCUMENT VALID UPON

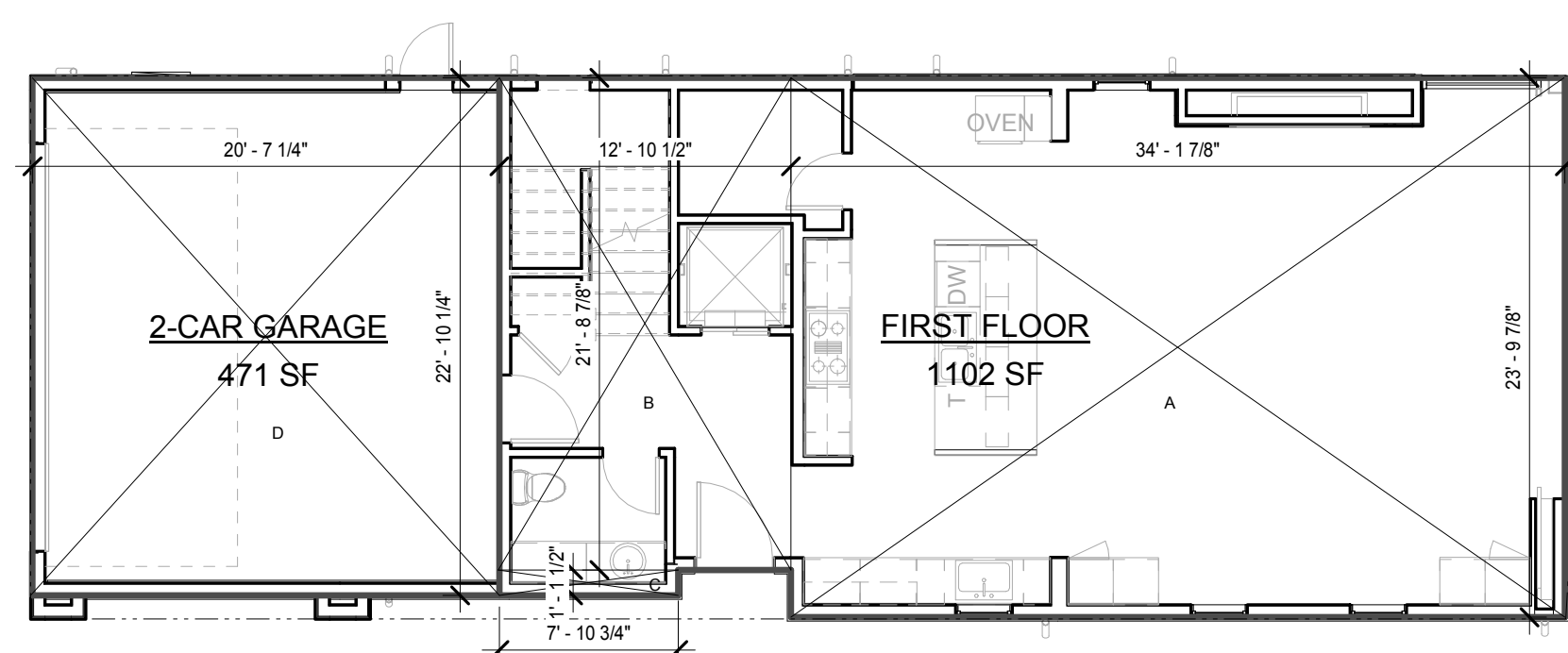
ORIGINAL SIGNATURE

SLAB EDGE PLAN
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REVISIONS
NO. | REVISION | DATE

JOB NO. 3904-18
DATE 08/30/2018
SHEET NO.

A-0.2

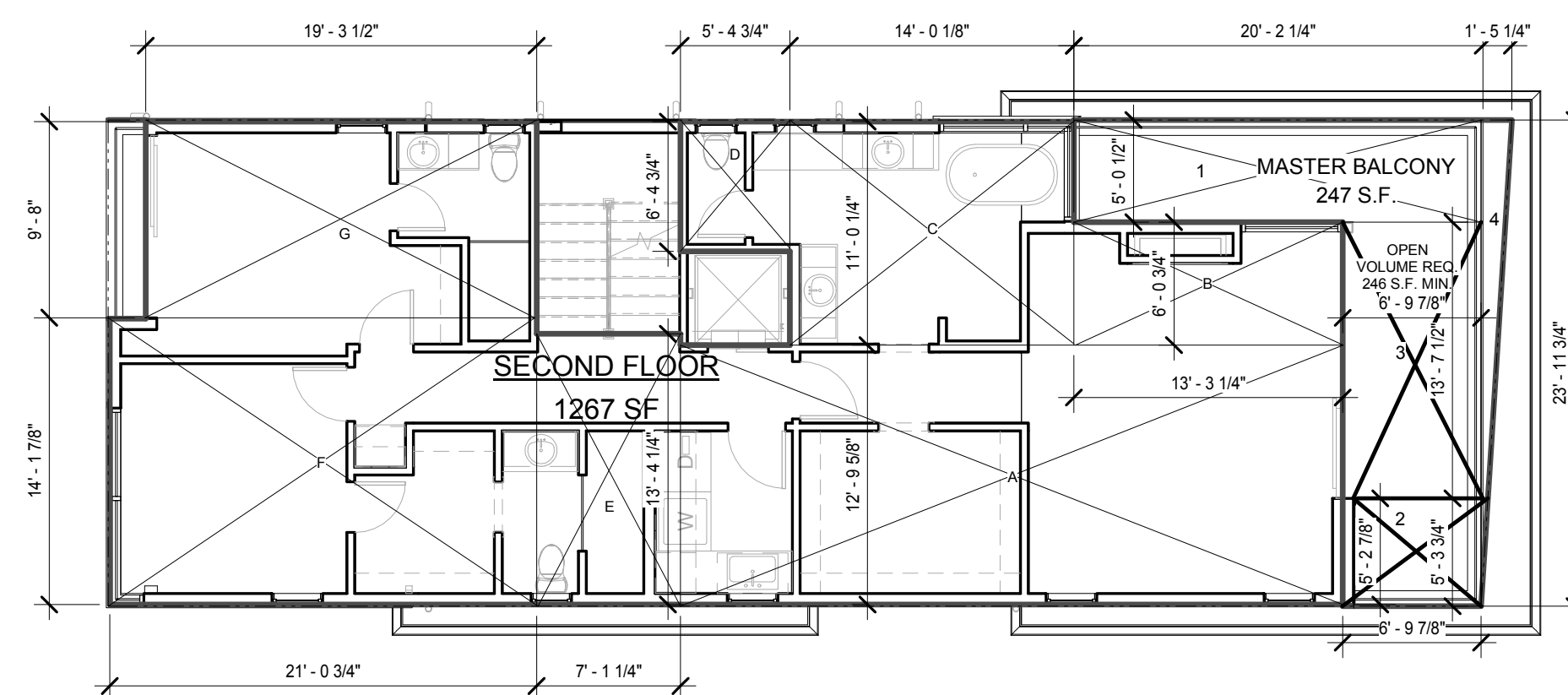


FIRST FLOOR

A $34' - 1 \frac{7}{8}" \times 23' - 9 \frac{7}{8}" = 813.7$
 B $21' - 8 \frac{7}{8}" \times 12' - 10 \frac{1}{2}" = 279.9$
 C $7' - 10 \frac{3}{4}" \times 1' - 1 \frac{1}{2}" = 8.89$

GARAGE

D $20' - 7 \frac{1}{4}" \times 22' - 10 \frac{1}{4}" = 470.89$

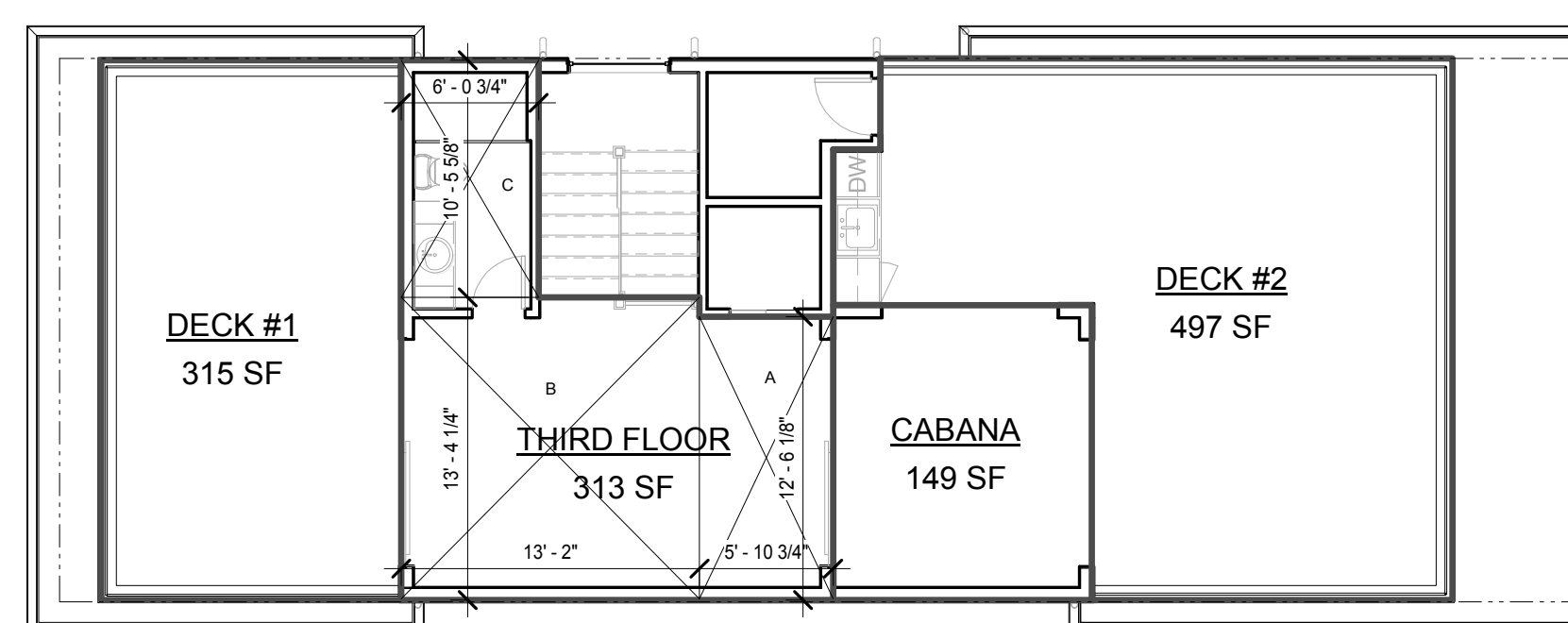


SECOND FLOOR

A $32' - 8 \frac{1}{8}" \times 12' - 9 \frac{5}{8}" = 418.33$
 B $13' - 3 \frac{1}{4}" \times 6' - 0 \frac{3}{4}" = 80.45$
 C $14' - 0 \frac{1}{8}" \times 11' - 0 \frac{1}{4}" = 154.408$
 D $6' - 4 \frac{3}{4}" \times 5' - 4 \frac{3}{4}" = 34.51$
 E $13' - 4 \frac{1}{4}" \times 7' - 1 \frac{1}{4}" = 94.87$
 F $14' - 1 \frac{7}{8}" \times 21' - 3 \frac{1}{4}" = 298.17$
 G $9' - 8 \frac{1}{2}" \times 19' - 3 \frac{1}{2}" = 186.49$

O.V. #2

- 1 $5' - 0 \frac{1}{2}" \times 20' - 2 \frac{1}{4}" = 100.937$
- 2 $6' - 9 \frac{5}{8}" \times 5' - 3 \frac{3}{4}" = 36.126$
- 3 $6' - 9 \frac{5}{8}" \times 13' - 7 \frac{1}{2}" = 92.962$
- 4 $1' - 5 \frac{1}{4}" \times 23' - 11 \frac{3}{4}" = 34.47/2=17.235$



THIRD FLOOR

A $12' - 6 \frac{1}{8}" \times 5' - 10 \frac{3}{4}" = 73.76$
 B $13' - 2" \times 13' - 4 \frac{1}{4}" = 175.83$
 C $6' - 3 \frac{3}{4}" \times 10' - 5 \frac{5}{8}" = 63.47$

LEGAL DESCRIPTION:

APN: 423-061-06
LOT 3, BLOCK 539 OF CANAL SECTION, CITY OF NEWPORT BEACH,
COUNTY OF ORANGE, STATE OF CALIFORNIA
M.M. 4/98

EXISTING BUILDING INFORMATION:

EXISTING SINGLE FAMILY W/ GARAGE TO BE DEMOLISHED
EXISTING S.F. = 3,937 S.F. (782 S.F.) GARAGE (4 BEDS. TTL.)

BUILDING AREA SCHEDULE		
Name	AREA	COMMENTS
FIRST FLOOR	1102 SF	
SECOND FLOOR	1267 SF	
THIRD FLOOR	313 SF	
	2682 SF	
2-CAR GARAGE	471 SF	
	471 SF	
GRAND TOTAL	3153 SF	

	BRANDON ARCHITECTS 151 Kalmus Drive, Suite G-1 Costa Mesa, CA 92626 714.754.4040 www.brandonarchitects.com	PROJECT NAME MO-MOD - CHANNEL PLACE STATUS CDP
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33900 CHANNEL PLACE #3,
LLC,
15 CORPORATE PLAZA,
SUITE 150
NEWPORT BEACH, CA
92660

**MID-MOD - CHANNEL
PLACE**
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
RANDON LINSDAY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

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DIVISIONS		
NO.	REVISION	DATE

R NO

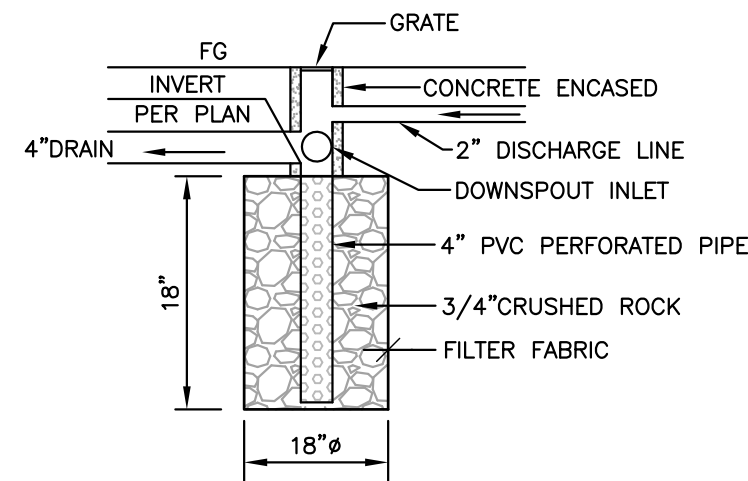
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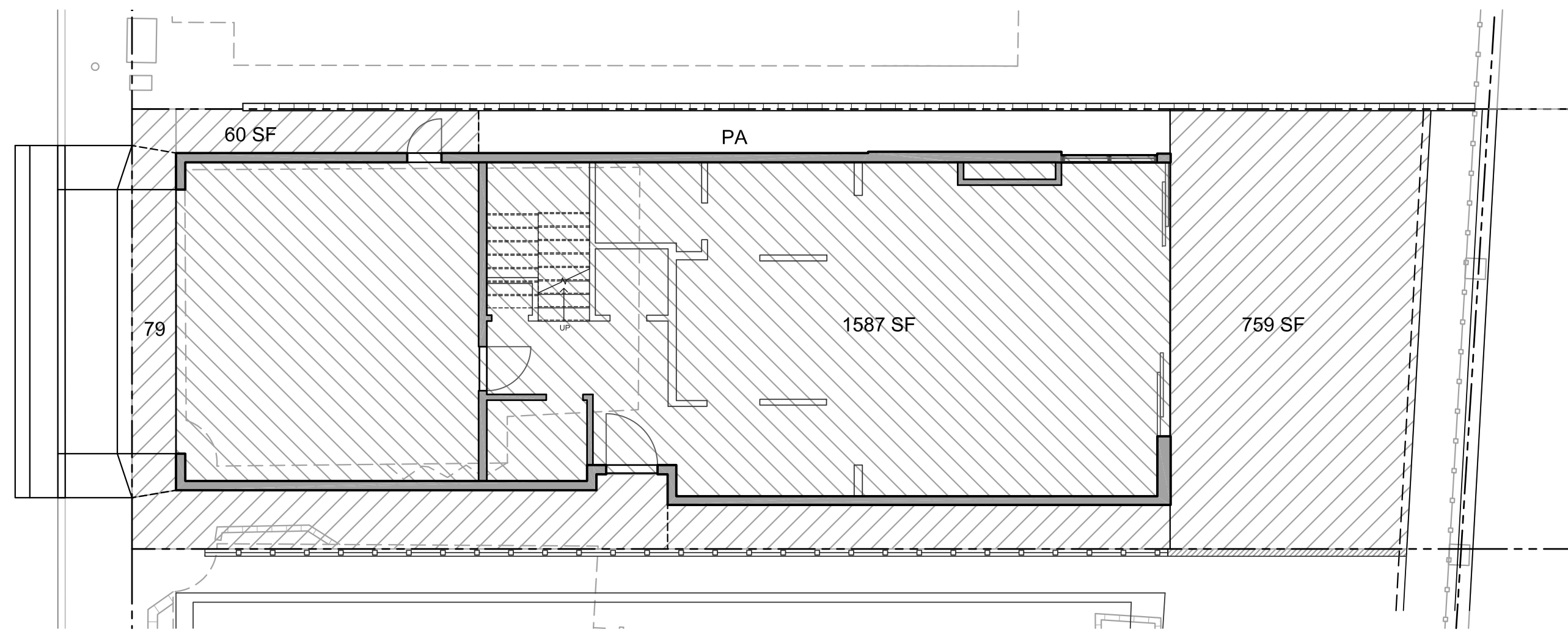
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CONSTRUCTION NOTES:

- 1) CONSTRUCT 5" MIN CONCRETE DRIVEWAY
- 2) CONSTRUCT 4" MIN CONCRETE HARDSCAPE, FINISH PER LANDSCAPE PLANS.
- 3) INSTALL 4" FLAT GRATE DRAIN
- 4) INSTALL 4" ATRUIM GRATE DRAIN
- 5) INSTALL GRATE DRAIN WITH ROCK SUMP PER DETAIL, SHEET C2
- 6) INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
- 7) CONSTRUCT 3"Ø DRAIN THRU CURB PER CNB STD PLAN 184-L
- 8) INSTALL 18" SUMP WITH 3/4 HP PUMP AND 1.5" DISCHARGE LINE
- 9) CONSTRUCT BIO-RETENTION PLANTER
- 10) INSTALL 4" SEWER LATERAL AND CLEANOUT WITH TRAFFIC COVER PER CNB STD PLAN 406-L
- 11) REMOVE EXISTING CONCRETE DRIVEWAY AND CONSTRUCT 5" MIN. CONCRETE DRIVEWAY APPROACH, PER STD PLAN 163-L
- 12) REMOVE AND REPLACE ASPHALT WITH 12"Wx12"D FULL DEPTH A.C. PATCHBACK AND TACK COAT ALL JOINT SURFACES PRIOR TO PLACEMENT
- 13) CONSTRUCT NEW WATER SERVICE AND INSTALL NEW WATER METER WITH TRAFFIC COVER PER CNB STD PLAN 502-L



6 GRATE DRAIN
WITH ROCK SUMP
NTS

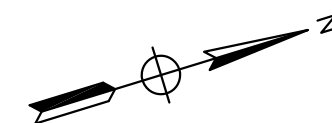
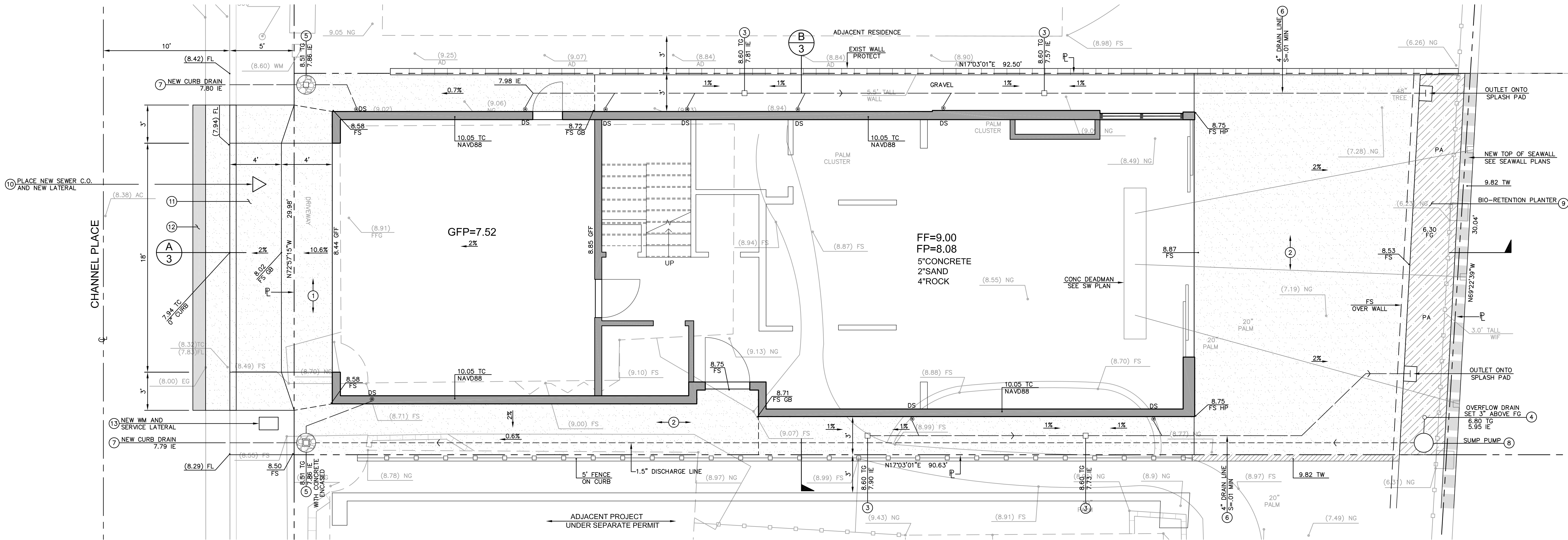


HARDSCAPE EXHIBIT
1"=8'

HOUSE + GARAGE=	1587 SF
HARDSCAPE =	819 SF
DRIVEWAY=	79 SF
	2485 SF

ABBREVIATIONS

ARCH	ARCHITECTURAL
A.C.	ASPHALT CONCRETE
C.O.	CLEAN OUT
DG	DECOMPOSED GRANITE
DS	DOWNSPOUT
EXIST	EXISTING
BFF	BASEMENT FINISH FLOOR
BFP	BASEMENT FINISH PAD
CONC	CONCRETE
DWY	DRIVEWAY
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
FD	FOUND
FL	FLOWLINE
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FP	FINISH PAD
FS	FINISH SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GFP	GARAGE FINISH PAD
GM	GAS METER
HPI	HANDHOLE
HP	HIGH POINT
I.P.	IRON PIPE
IE	INVERT ELEVATION
L&T	LEAD AND TACK
MANH	MANHOLE
MON	MONUMENT
NTG	NOTHING
OG	ORIGINAL GROUND
PA	PLANTER AREA
PB	PULL BOX
PL	PROPERTY LINE
PROP	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
S.F.N.	SEARCHED FOUND NOTHING
SDWK	SIDEWALK
SMH	SEWER MANHOLE
STLT	STREET LIGHT
T.B.M.	TEMPORARY BENCHMARK
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRADE
TOC	TOP OF CONCRETE
T.O.R.	TOP OF RIDGE
TOS	TOP OF SLAB
TW	TOP OF WALL
WM	WATER METER



1"=4'

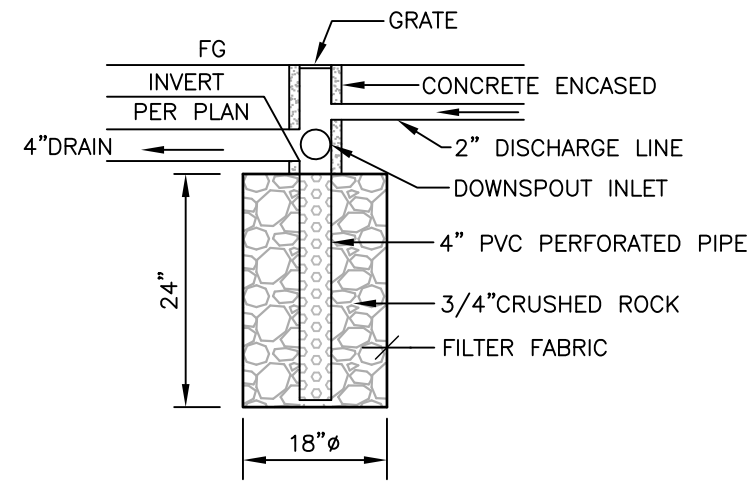
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				DRAWN: SC	BRANDON ARCHITECTS 151 KALMUS DRIVE SUITE G-1 COSTA MESA, CA 92626	PATTERSON CUSTOM HOME 3900 CHANNEL PLACE LOT 3 NEWPORT BEACH, CA 92663	FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-6793 JN 9622	COAST GEOTECHNICAL, INC 1200 W. COMMONWEALTH AVE FULLERTON, CA 92633 PH: 714-870-1211 W.O. 557118-01 DATE: AUGUST 1, 2018	BENCHMARK NO. J-782 ELEVATION= 7.142 NAVD88 YEAR LEVELED= 1989	LOT 3 OF BLOCK 539 OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY	LOT 3 3900 CHANNEL PLACE NEWPORT BEACH, CALIFORNIA	C2
NO.	DATE	R E V I S I O N S			DATE: 8/20/18							



THOMAS M. RUIZ DATE

CONSTRUCTION NOTES:

- ① CONSTRUCT 5" MIN CONCRETE DRIVEWAY
- ② CONSTRUCT 4" MIN CONCRETE HARDSCAPE, FINISH PER LANDSCAPE PLANS.
- ③ INSTALL 4" FLAT GRATE DRAIN
- ④ INSTALL 4" ATRUIM GRATE DRAIN
- ⑤ INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
- ⑥ INSTALL GRATE DRAIN WITH ROCK SUMP PER DETAIL, SHEET C2
- ⑦ INSTALL 18" SUMP WITH 3/4 HP PUMP AND 1.5" DISCHARGE LINE PER DETAIL, SHEET C2
- ⑧ CONTRUCT 3"Ø DRAIN THRU CURB PER CNB STD PLAN 184-L



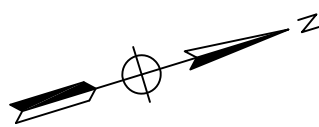
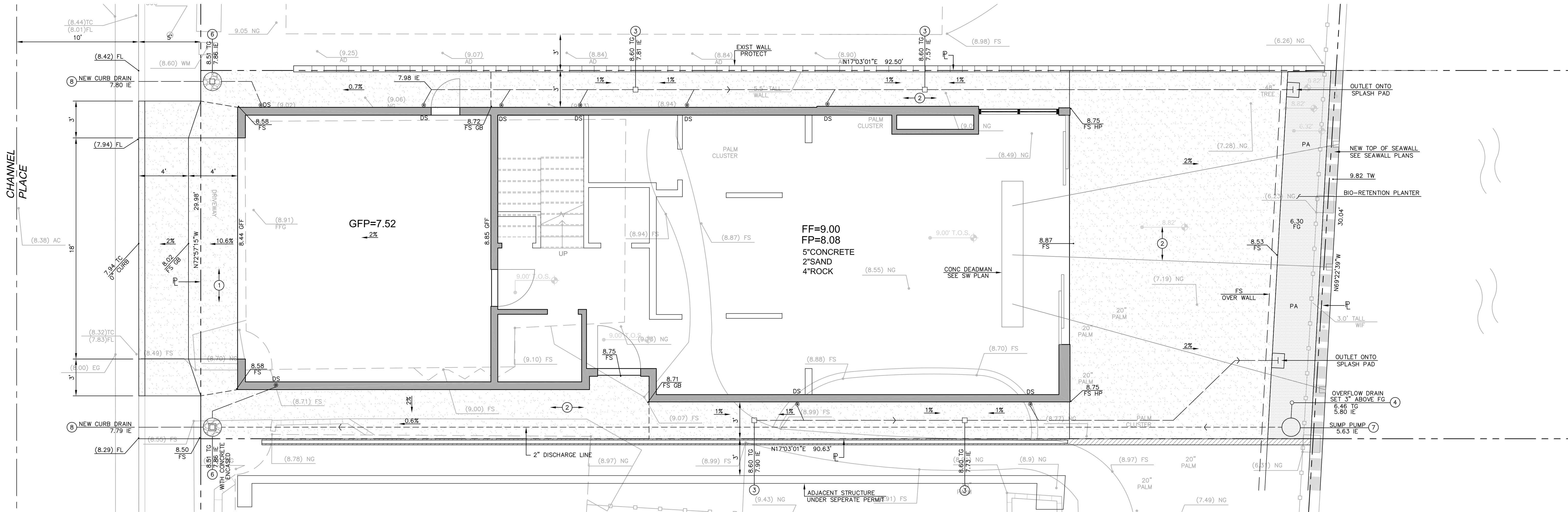
⑥ GRATE DRAIN
WITH ROCK SUMP
NTS

EARTHWORK

CUT = 57 CY
FILL = 0 CY

ABBREVIATIONS

ARCH	ARCHITECTURAL
A.C.	ASPHALT CONCRETE
C.O.	CLEAN OUT
DG	DECOMPOSED GRANITE
DS	DOWNSPOUT
EXIST	EXISTING
BFF	BASEMENT FINISH FLOOR
BFP	BASEMENT FINISH PAD
CONC	CONCRETE
DWY	DRIVEWAY
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
FD	FOUND
FL	FLOWLINE
FF	FINISH FLOOR
FG	FINISH GRADE
FP	FINISH PAD
FS	FINISH SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GFP	GARAGE FINISH PAD
GM	GAS METER
HH	HANDHOLE
HP	HIGH POINT
I.P.	IRON PIPE
IE	INVERT ELEVATION
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PROP	PROPOSED
R/W	RIGHT OF WAY
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T.B.M.	TEMPORARY BENCHMARK
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TOC	TOP OF CONCRETE
TOF	TOP OF FENCE
TP	TOP OF PILASTER
T.O.R.	TOP OF RIDGE
TW	TOP OF WALL
WM	WATER METER



1"=4'

			DESIGNED BY:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:		SOILS ENGINEER/GEOLOGIST: COAST GEOTECHNICAL, INC 1200 W. COMMONWEALTH AVE FULLERTON, CA 92833 PH: 714-870-1211 W.O. 557118-01 DATE: AUGUST 1, 2018	BENCHMARK: BENCHMARK NO. J-782 ELEVATION= 7.142 NAVD88 YEAR LEVELED= 1989	LEGAL DESCRIPTION: LOT 3 OF BLOCK 539 OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY	GRADING PLAN LOT 3 3900 CHANNEL PLACE NEWPORT BEACH, CALIFORNIA	SHEET: C2
			DRAWN: SC	BRANDON ARCHITECTS 151 KALMUS DRIVE SUITE G-1 COSTA MESA, CA 92626	PATTERSON CUSTOM HOME 3900 CHANNEL PLACE LOT 3 NEWPORT BEACH, CA 92663	FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-6793 JN 9622						
			CHK'D: TR									
NO. DATE REVISIONS			DATE: 8/20/18									

IN CASE OF EMERGENCY, CALL ANDREW PATTERSON AT 949-613-5260 (949) 723-1800.

A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.

EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.

GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.

ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.

A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.

THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.

DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.

STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.

EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.

ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, ARE DRAINS, NATURAL DRAINAGE COURSES, OR WIND.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OR WIND OR WATER.

FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE THE BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.

DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).

TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

ANY SLOPES WITH DISTURBED SOIL OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.

ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

WM-1 MATERIAL DELIVERY AND STORAGE

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

WM-2 MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDELED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-4 SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

WM-5 SOLID WASTE MANAGEMENT

PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

WM-6 HAZARDOUS WASTE MANAGEMENT

HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7 CONTAMINATED SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.

WM-8 CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1 STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

SE-1 SILT FENCE

SE-3 SEDIMENT TRAP

SE-8 GRAVEL BAGS



ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEEMED SUFFICIENT.

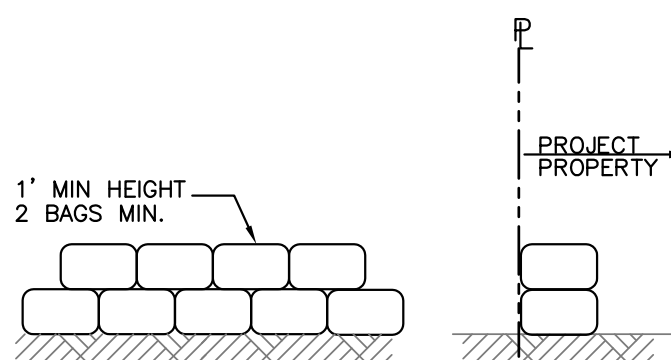
BMP FACTS SHEET

ALL BMP'S SHALL BE IN ACCORDANCE WITH MODEL BMP'S FROM THE CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM

- (EC1) CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY/APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH. MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #SE-8.
- (EC2) CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-9.
- (EC3) CONSTRUCT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-1.
- (EC4) EXISTING WALL TO REMAIN. PROTECT IN PLACE.

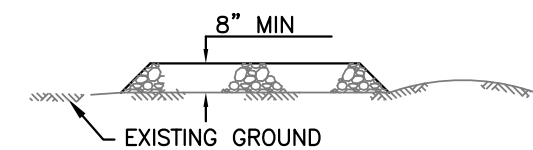


-  PLACE GRAVEL BAGS
-  PLACE FENCE WITH WIND SCREEN




GRAVEL BAG DETAIL

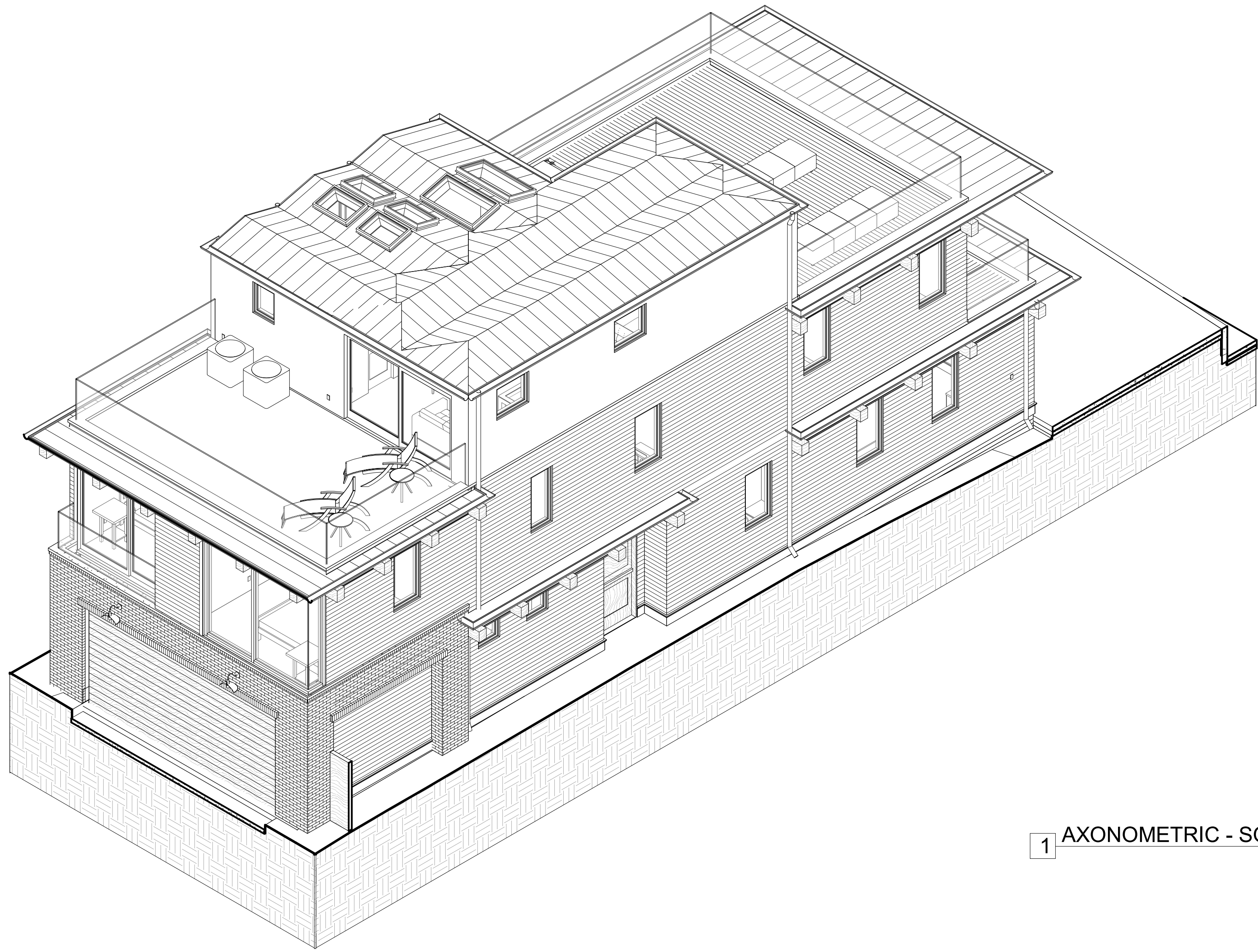
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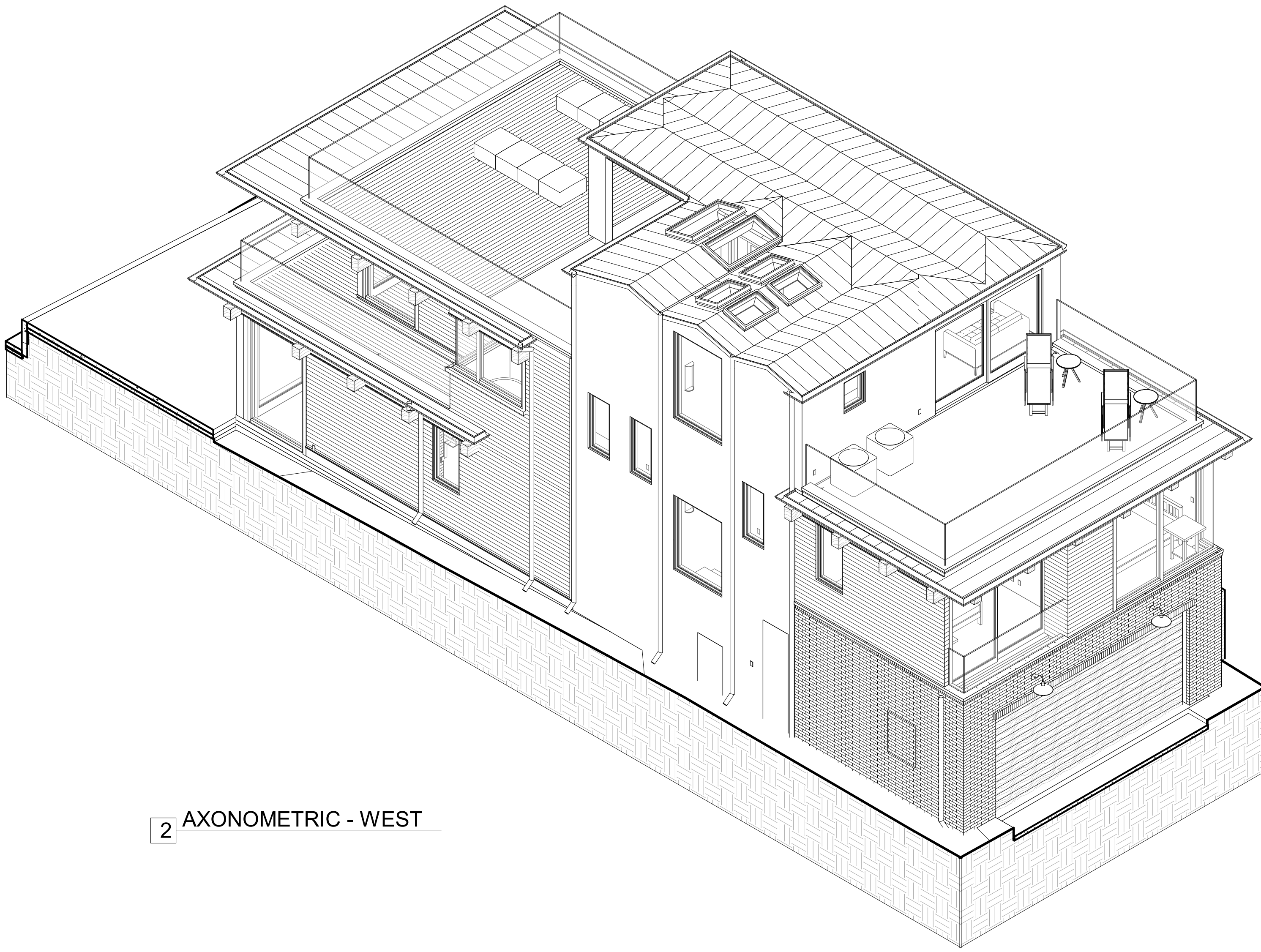
PROVIDE APPROPRIATE TRANSITION
BETWEEN STABILIZED CONSTRUCTION
ENTRANCE AND STREET

CONSTRUCTION ENTRANCE

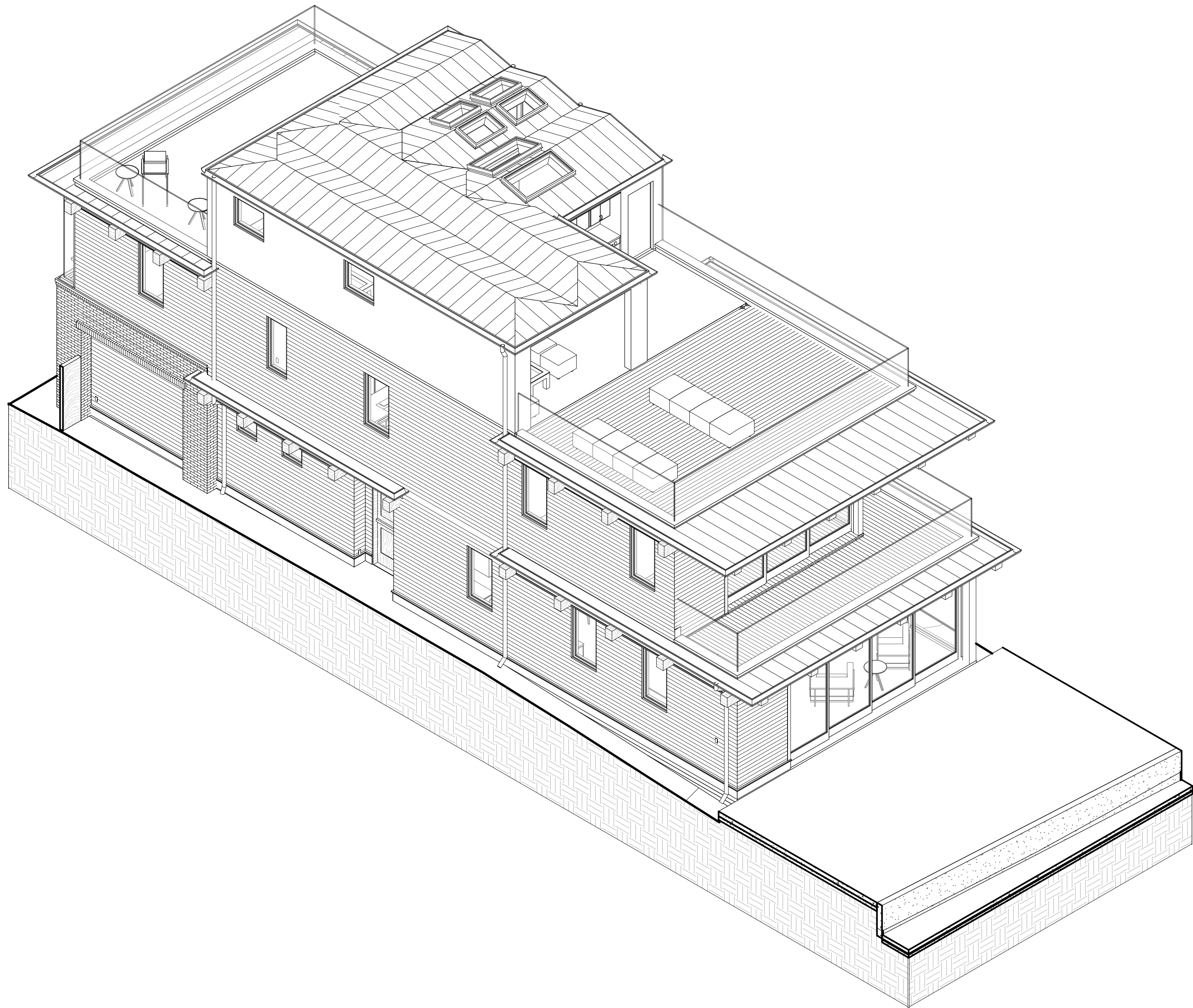
			DESIGNED BY:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:		SOILS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:	EROSION CONTROL PLAN LOT 3 3900 CHANNEL PLACE NEWPORT BEACH, CALIFORNIA	SHEET:
				BRANDON ARCHITECTS 151 KALMUS DRIVE SUITE G-1 COSTA MESA, CA 92626	PATTERSON CUSTOM HOME 3900 CHANNEL PLACE LOT 2 NEWPORT BEACH, CA 92663	FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-6793 JN 9622		COAST GEOTECHNICAL, INC 1200 W. COMMONWEALTH AVE FULLERTON, CA 92833 PH: 714-870-1211 W.O. 557118-01 DATE: AUGUST 1, 2018	BENCHMARK NO. J-782 ELEVATION= 7.142 NAVD88 YEAR LEVELED= 1989	LOT 1 OF BLOCK 539 OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY		D4
			DRAWN: SC									
			CHK'D: TR									
NO.	DATE	R E V I S I O N S		DATE: 8/20/18				THOMAS M. RUIZ	DATE			



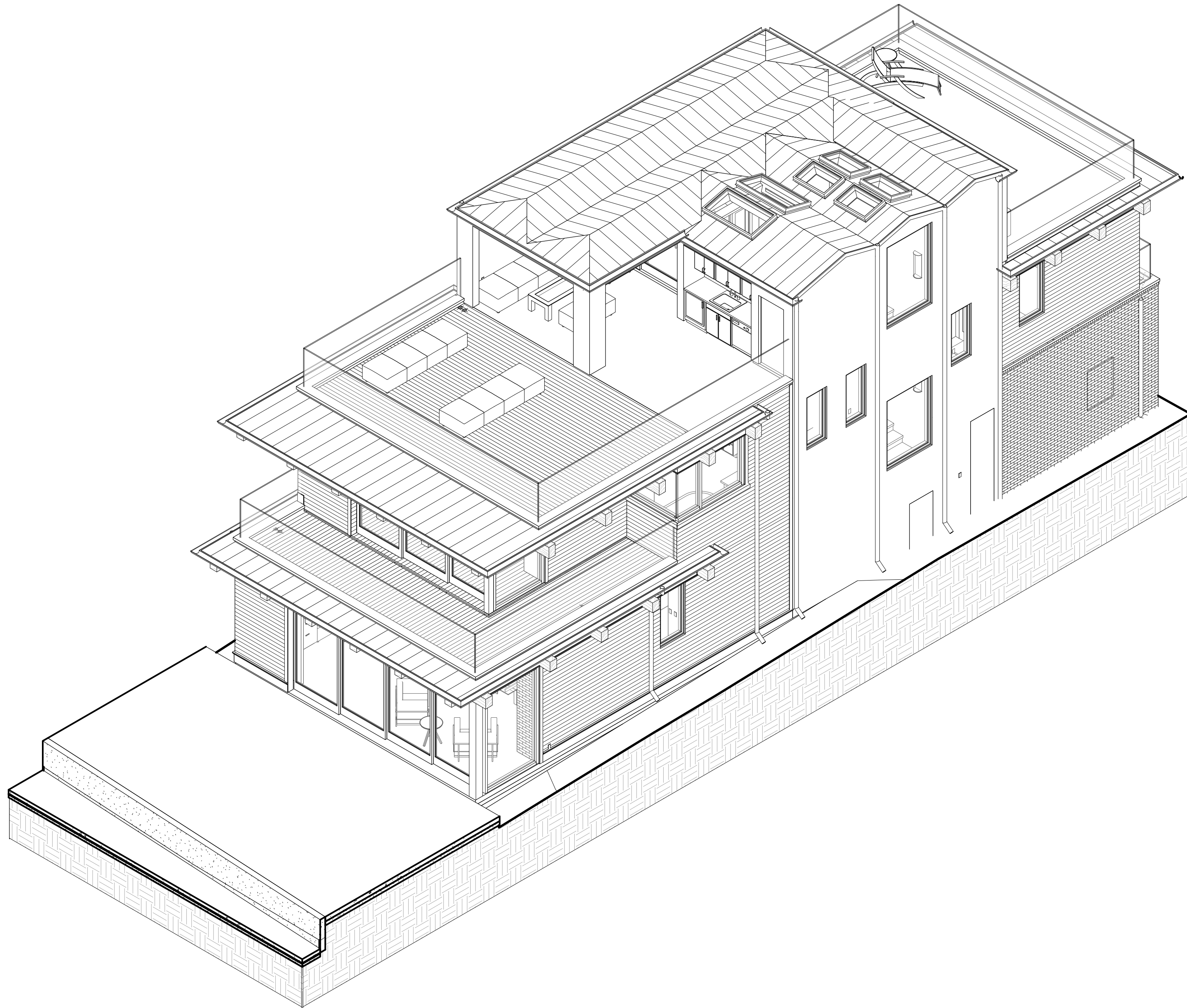
1 AXONOMETRIC - SOUTH



2 AXONOMETRIC - WEST



3 AXONOMETRIC - EAST



4 AXONOMETRIC - NORTH

PROJECT NAME
MID-MOD - CHANNEL PLACE

STATUS
FIRST CHECK

BRANDON ARCHITECTS

151 Kilimuis Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:

3900 CHANNEL PLACE #3,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92663

MID-MOD - CHANNEL PLACE

3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
BRANDON LINSLEY, AIA

DOCUMENT VALID UPON

3-DIMENSIONAL VIEWS

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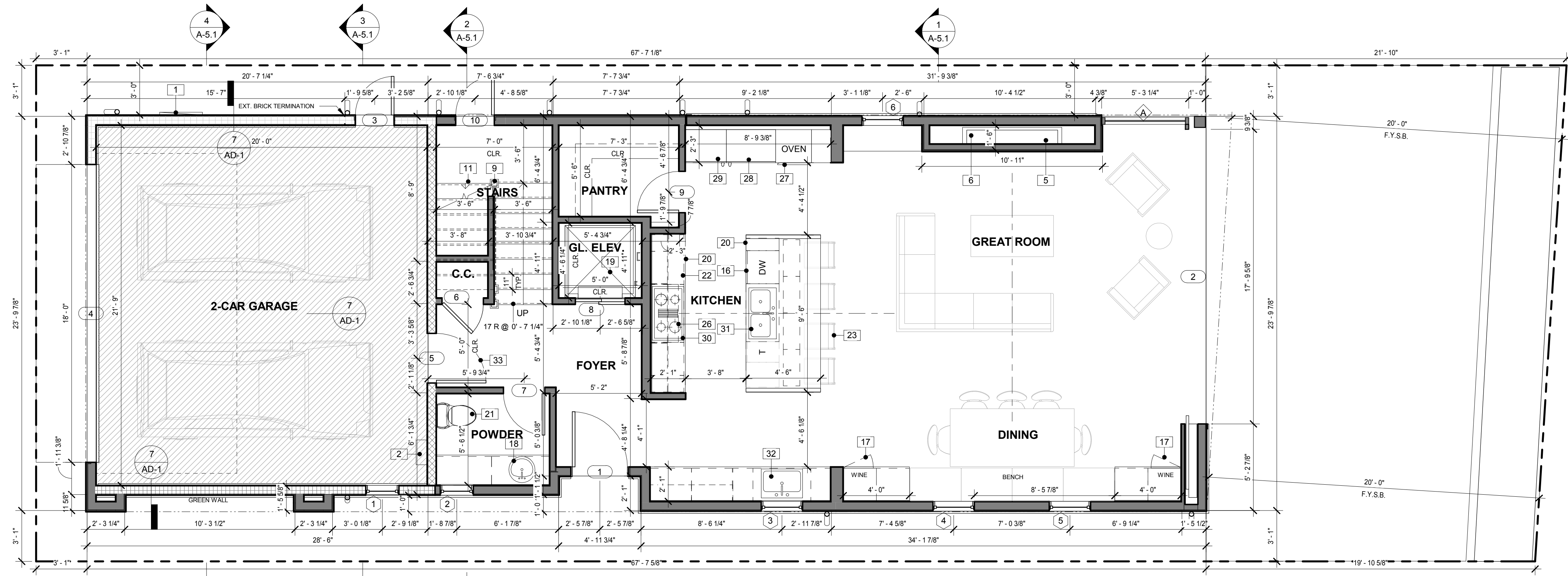
REVISIONS

NO.	REVISION	DATE
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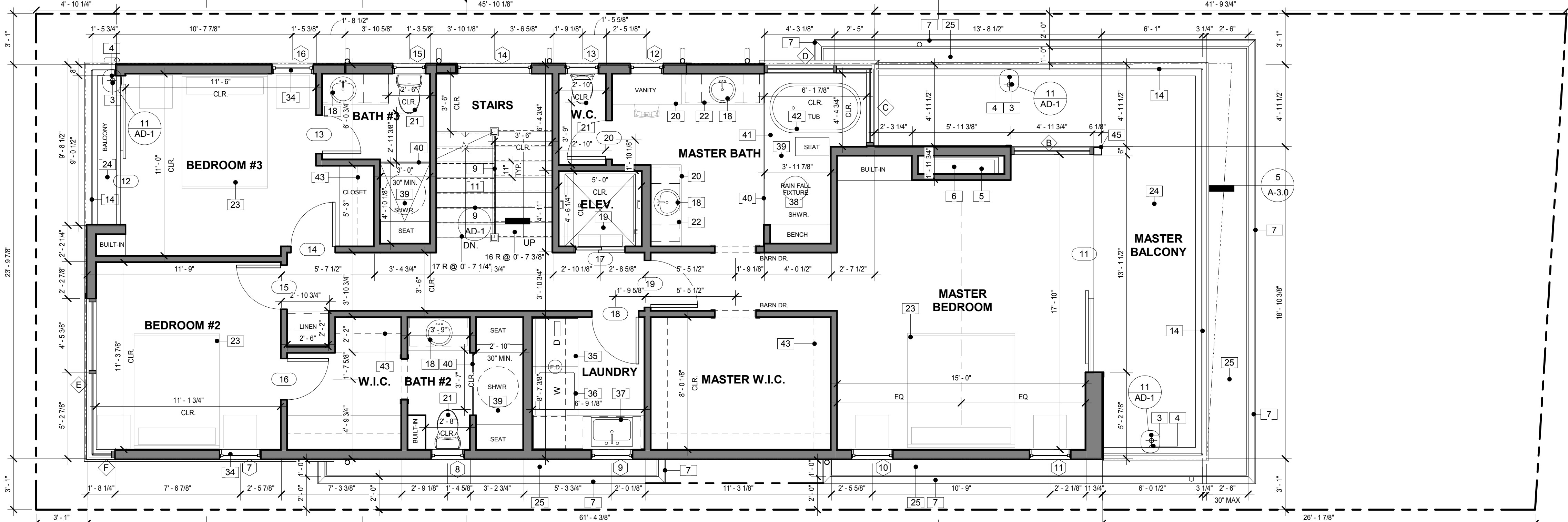
JOB NO.
3904-18

DATE
08/30/2018

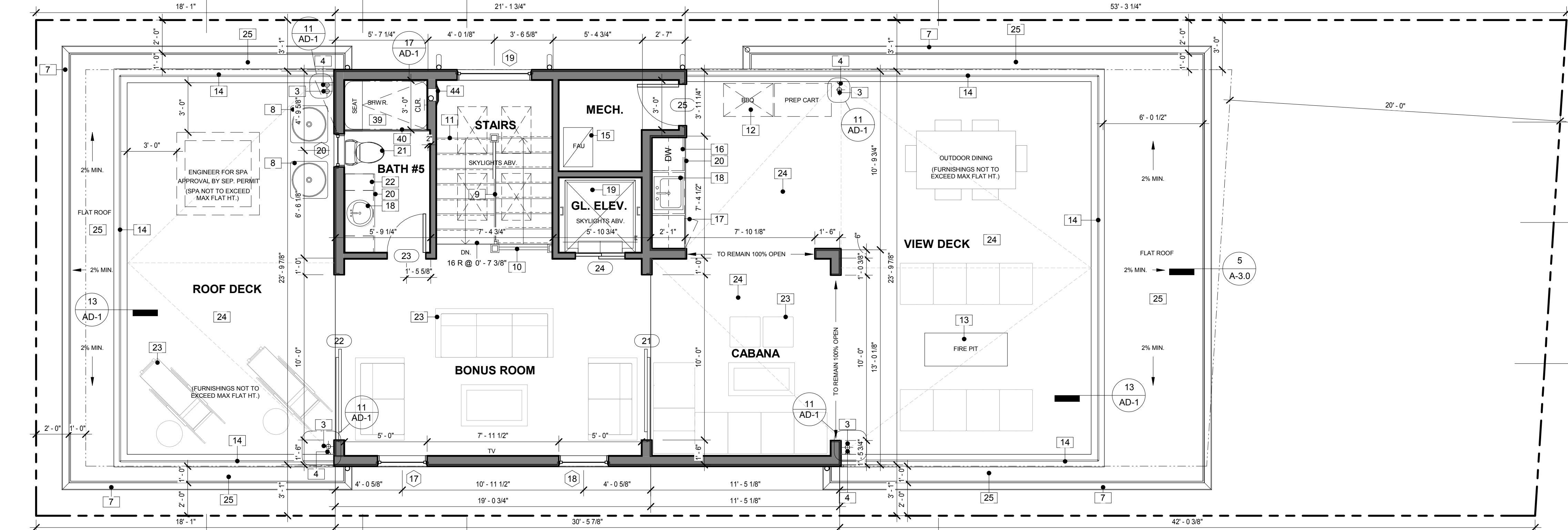
SHEET NO.
A-1.0



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"



3 THIRD FLOOR (T.O.S.)
1/4" = 1'-0"

MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2-2016 SECTION 4. WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING VENTILATION (SEES 152A). EXCEPTION 5 TO SECTION 152 (a) FOR CONTINUOUS WHOLE-BUILDING VENTILATION, MIN. REQUIRED RATE OF VENTILATION IS 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EACH OCCUPANT (ONE OCCUPANT PER BEDROOM +1). VENTILATION TO BE PROVIDED BY EXHAUST AIR SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.

2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM (PART OF WHOLE-BUILDING VENTILATION REQUIREMENT).

CALCULATIONS:
UNIT: 3,155 S.F.
0.030 185 S.F. + 17.5 CFM x OCC. (BED +1) =
94.65 CFM + (7.5 x 4) = 124.65 CFM REQ'D.

KEYNOTE LEGEND

- | | |
|----|---|
| 1 | MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCN. W/ SO. CA. EDISON |
| 2 | WATER HEATER - TANKLESS (ON DEMAND) WALL-MOUNT 144" MIN. TAKAGO OR EQUIV. - VERIFY SIZE REQ'D. W/ MFGR. PROVIDE ADEQUATE V.G. CONN. VENT THROUGH ROOF |
| 3 | DECK/BALCONY DRAIN - SLOPE 2% MIN. - REF. DTL. 11AD-1 |
| 4 | OVERFLOW DRAIN LINE - IN WALL FROM ABV. TO BE METAL VERIFY W/ G.C. (REF. CIVIL DWGS. & DTL'S.) |
| 5 | FIREPLACE - PREFABRICATED GAS ONLY - DA VINCI CUSTOM PREFAB. MODEL. DRAWING CUSTOM LINEAR GAS FIREPLACE (DTL. 22AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AS INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG'G. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.) |
| 6 | DIRECT VENT TERMINATION THROUGH WALL TO EXTERIOR PER MANUFACTURER SPECS. AND CLEARANCES |
| 7 | METAL GUTTER - COPPER, HALF ROUND - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB. |
| 8 | A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.N.B.) SEP. PERMIT REQ'D. REF. 711-1 DEF. SUBMITL. #3 |
| 9 | INTERIOR HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.N.O.) - REF. DTL'S. 4 & 9AD-1 |
| 10 | INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING. REF. DTL'S. 4 & 9AD-1 |
| 11 | STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CPC 1025-4) REF. DTL. 3AD-1 |
| 12 | BBQ, AS SEL. - PROVIDE NATURAL GAS |
| 13 | FIRE PIT LOCN. - PROVIDE GAS AS NEEDED |
| 14 | EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING. REF. DTL'S. 14AD-1 |
| 15 | PAU - PROVIDE GAS S.O. - POWER AND VENTING AS REQ'D. BY MFGR. (CMC 904.1) |
| 16 | DISHWASHER - AS SELECTED |
| 17 | PROVIDE POWER FOR BUILT-IN APPLIANCE/EQUIPMENT |
| 18 | GLASS ELEVATOR - VERIFY MAKE AND MODEL W/ CONTRACTOR |
| 19 | COUNTERTOP - AS SELECTED |
| 20 | TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL. GREEN NOTES FOR FLOW RATE INFO. |
| 21 | BASE CABINET - BUILT-IN, FINISH AS SEL. |
| 22 | COUNTERTOP - AS SELECTED |
| 23 | TUFFLEX OR EQUIV. PER MAT. SCHED. - REF. MFGR. INSTALLATION REQ'S. MIN. 2% SLOPE (CLASS 'A' ASSEMBLY) |
| 24 | BUILT-UP COOL ROOFING SYSTEM REF. MATERIAL SCHEDULE. ARCH. TO VERIFY SUBSTITUTIONS, COOL GREY, CLASS 'A' MIN. REQ'D. (CC # ESR-1507) |
| 25 | KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFGRS. INSTRS. |
| 26 | DOUBLE OVEN - AS SELECTED |
| 27 | REFRIGERATOR - VERIFY APPLIANCE W/ OWNER |
| 28 | FREEZER - VERIFY APPLIANCE W/ OWNER |
| 29 | COOK-TOP - VERIFY APPLIANCE W/ OWNER & I.D. - PROVIDE HOOD CAPABLE OF 100 CFM/MIN. (VERIFY W/ MFGR.) |
| 30 | KITCHEN SINK - AS SELECTED |
| 31 | BAR SINK - AS SELECTED |
| 32 | 1-3/8" MIN. SOLID CORE DOOR, SELF CLOSING & SELF LATCHING (R02.2.1) |
| 33 | WINDOW TO MEET EGRESS REQ'S. - REF. WINDOW NOTE #6 ON SCHEDULE |
| 34 | DRYER - DRYER VENT 14" MAX. LENGTH (CMC 504.3.2) PROVIDE GAS STUB-OUT & POWER |
| 35 | WASHER - PROVIDE HOOD-UPS & POWER - INSTALL PAN & DRAIN UNDER WASHER (TYP.) - G.C. TO VERIFY LOCN. & SIZE |
| 36 | LAUNDRY SINK - AS SEL. |
| 37 | MASTER SHOWER - PROVIDE RAIN DOME SHOWER HEAD, 3" FIXED HEADS & 1" HAND SHOWER |
| 38 | SHOWER - HOT-MOP PAN, PROVIDE TILE W/ CEMENT BACKING MIN. 72" HIGH, NET AREA 7.1 S.F. MIN. 30" DIA. CIRCLE MIN. REF. DTL. 17AD-1 |
| 39 | TEMPERED GLASS ENCLOSURE - 1/2" THK. (MIN. 3/8" THK.) GLASS TO BE ETCH MARKED (FRAMELESS U.N.O.) |
| 40 | BATHTUB & SHOWER - PROVIDE TILE W/ CEMENT BACKING MIN. 70" HIGH |
| 41 | BATHTUB - AS SELECTED (VERIFY LOCN. OF FIXTURES W/ OWNER) |
| 42 | SHOWER - PROVIDE TILE W/ CEMENT BACKING MIN. 70" HIGH |
| 43 | SHOWER - PROVIDE TILE W/ CEMENT BACKING MIN. 70" HIGH |
| 44 | PROVIDE FAN TO COMPLY W/ WHOLE HOUSE VENTILATION REQUIREMENT - SEE MECH. VENT. NOTE-E-1 (ARCH. TO VERIFY LOCN.) |
| 45 | STRUCT. COLUMN - REF. STRUCT. DWGS. & PROVIDE SHOP DWGS. FOR ARCH. & ENGINEER APPROV. PRIOR TO FAB. |

CONSTRUCTION NOTE:
PROVIDE CURB FOR ALL PERIMETER WALLS AT 10.05' NAVD88

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.)
TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER CRC R303.7

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED WITH 2 X 6 STUDS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD
-HERS VERIFICATION REQUIRED- REFERENCE T-24.1

- | | |
|--|---|
| | FIRE RATED CEILING ASS'Y. REF. DTL. 7/AD-1 |
| | EXT. FIRE RATED PARTITION REF. DTL. 5/AD-1 |
| | INT. FIRE RATED PARTITION REF. DTL. 7/AD-1 |
| | NEW WALL - 2 x 6 STUDS @ 16" O.C. |
| | NEW WALL - 2 x 4 STUDS @ 16" O.C. |
| | WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C. |
| | CONCRETE RETAINING WALL - REF. STRUCTURAL |
| | CONCRETE MASONRY WALL - 6" CMU U.N.O. |
| | DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C. |
| | WINDOW - REFERENCE SCHEDULE |
| | DOOR - REFERENCE SCHEDULE |
| | CABINET - BUILT IN CASEWORK |
| | COLUMN - REF. STRUCTURAL DWGS. |
| | FURNITURE - FOR PRESENTATION PURPOSES ONLY |
| | FIREPLACE - PREFAB GAS-ONLY APPLIANCE |
| | PLUMBING FIXTURE - SINK (AS SELECTED) |
| | PLUMBING FIXTURE - TOILET (AS SELECTED) |
| | LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS |
| | DOOR TAG - REFERENCE SHEET A-7.0 |
| | WINDOW TAG - REFERENCE SHEET A-7.0 |
| | KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHT. |

A PLAN LEGEND

PROJECT NAME
MID-MOD - CHANNEL PLACE

STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com



OWNER INFORMATION:
3900 CHANNEL PLACE #3,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92660

MID-MOD - CHANNEL PLACE
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
BRANDON LINDSAY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FLOOR PLAN

REVISIONS

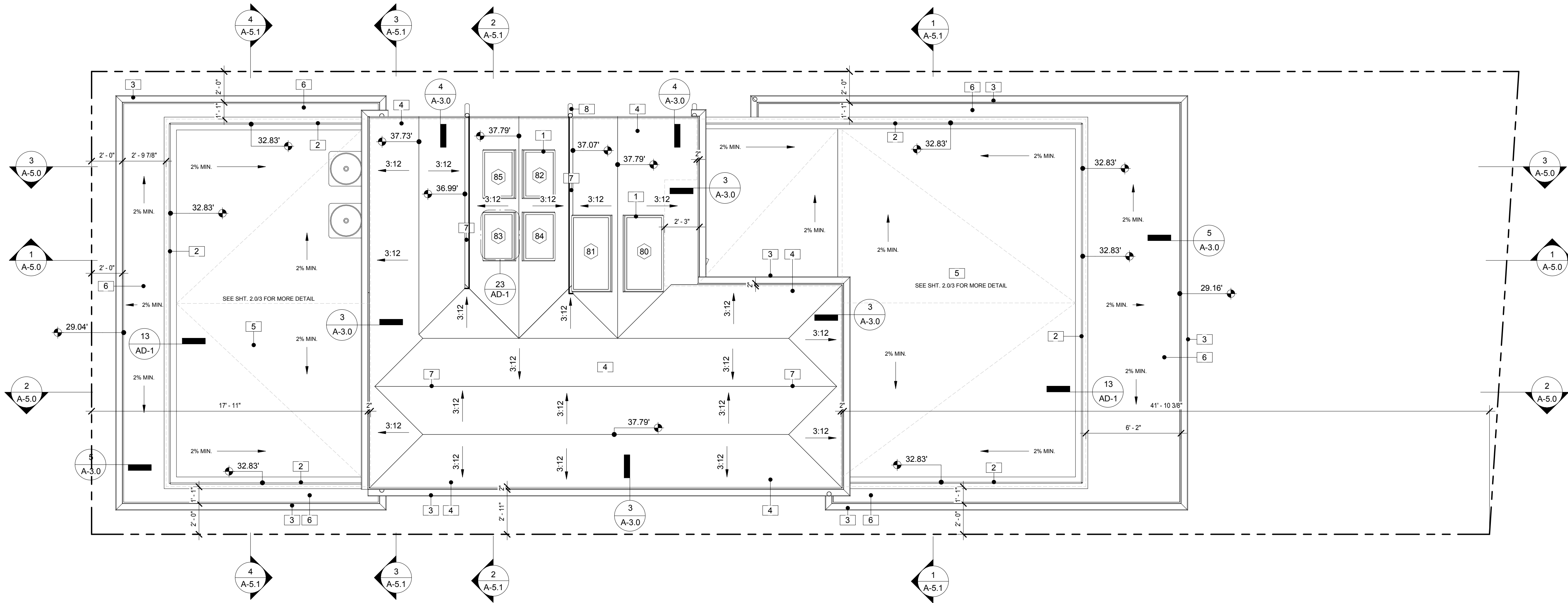
NO. | REVISION | DATE

JOB NO. 3904-18

DATE 08/30/2018

SHEET NO.

A-2.0



1 ROOF PLAN
1/4" = 1'-0"

KEYNOTE LEGEND

1	SKYLIGHT - SIZE AS DIM. - VELLUX ICC #ESR-2415 OR EQUIV. (REF. DTL. 23AD-1) - MAX 6" ABBY. ROOF.
2	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING. REF. DTLS. 14AD-1.
3	METAL GUTTER - COPPER, HALF ROUND - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
4	METAL ROOFING (S.S. ZINC/NYAR PAINTED ALUM. OR EQUIV.), REF. DTL. A/A-4 & MAT. SCHED. A-4 - COLOR AS SEL. ARCH. TO APPV.
5	TUFFLEX OR EQUIV. PER MAT. SCHED. REF. MFGOR INSTALLATION REQ'S. MIN. 2% SLOPE (CLASS 'A' ASSEMBLY).
6	BUILT-UP COOL ROOFING SYSTEM REF. MATERIAL SCHEDULE. ARCH. TO VERIFY SUBSTITUTIONS, COOL, GREY.
7	CRICKET MIN. 2% SLOPE BUILT UP TOWARDS DRAIN.
8	DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)

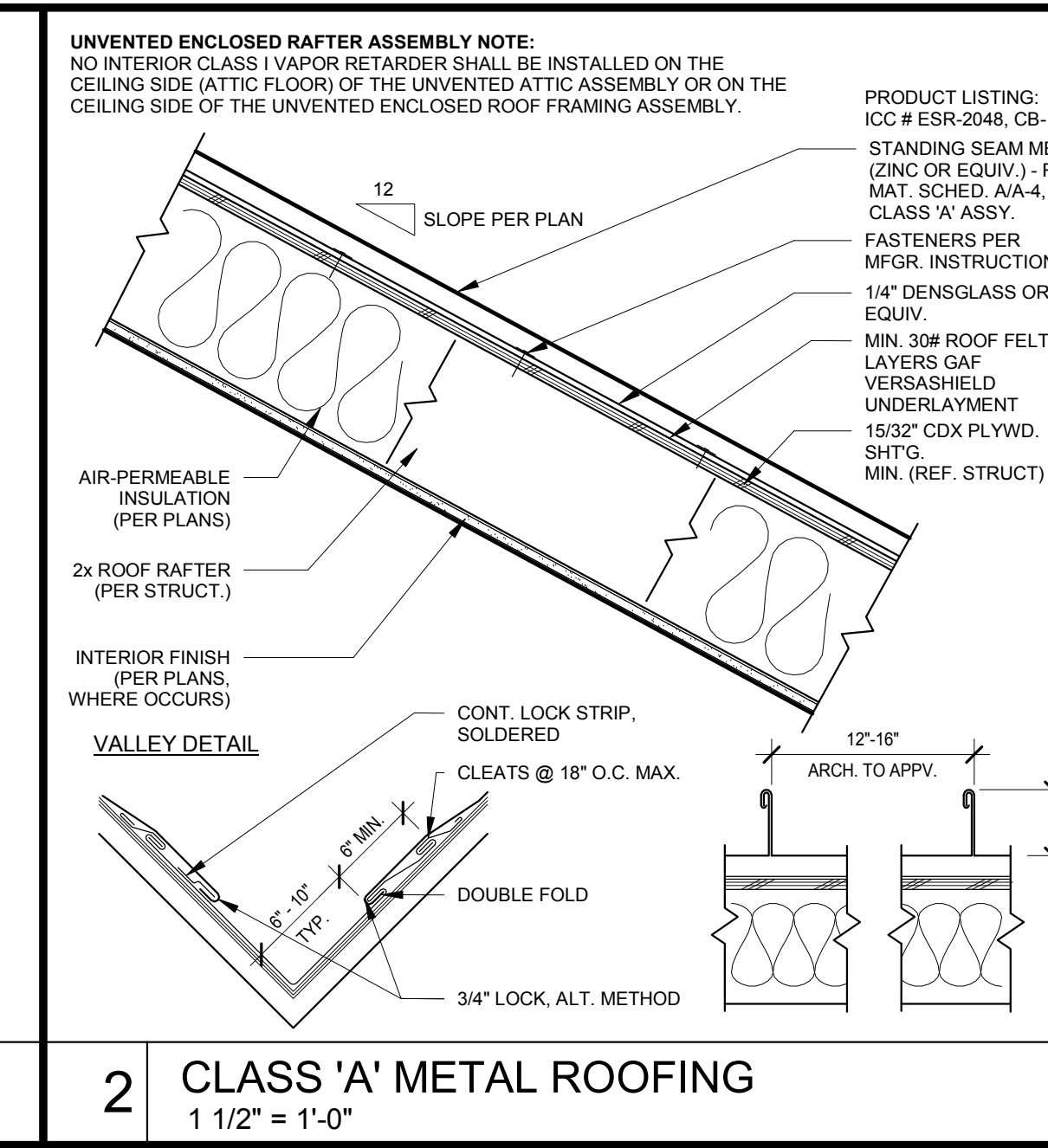
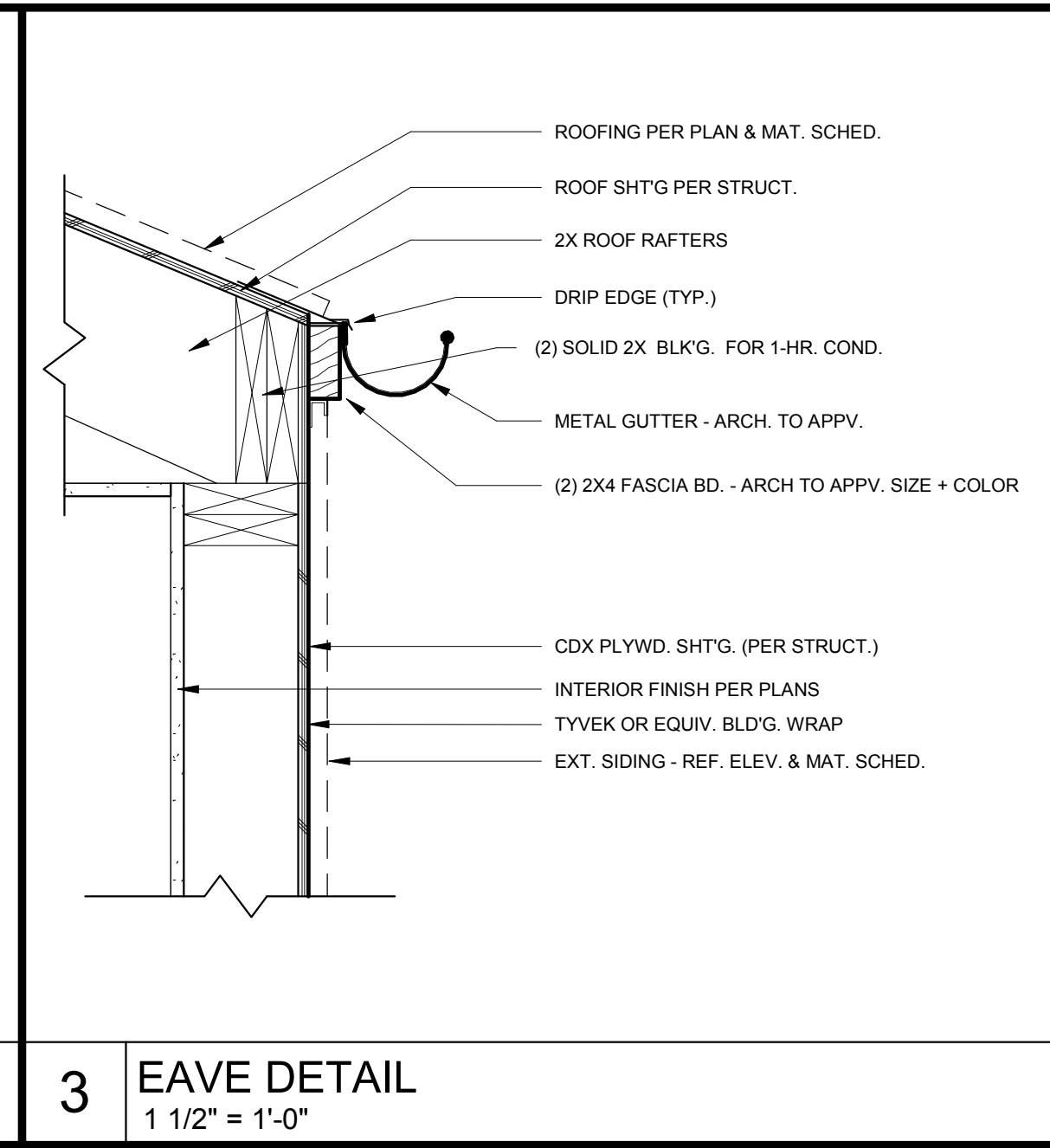
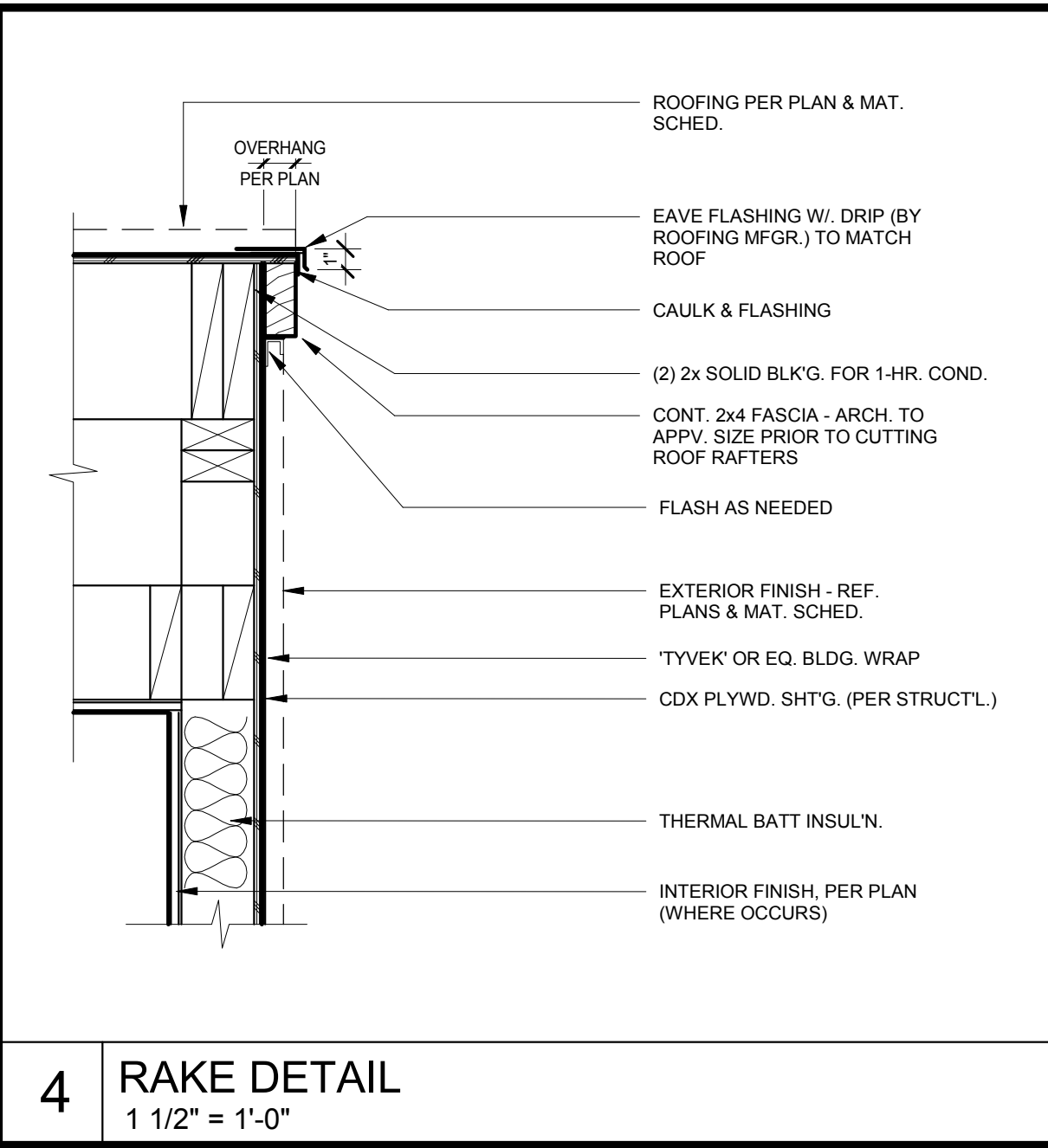
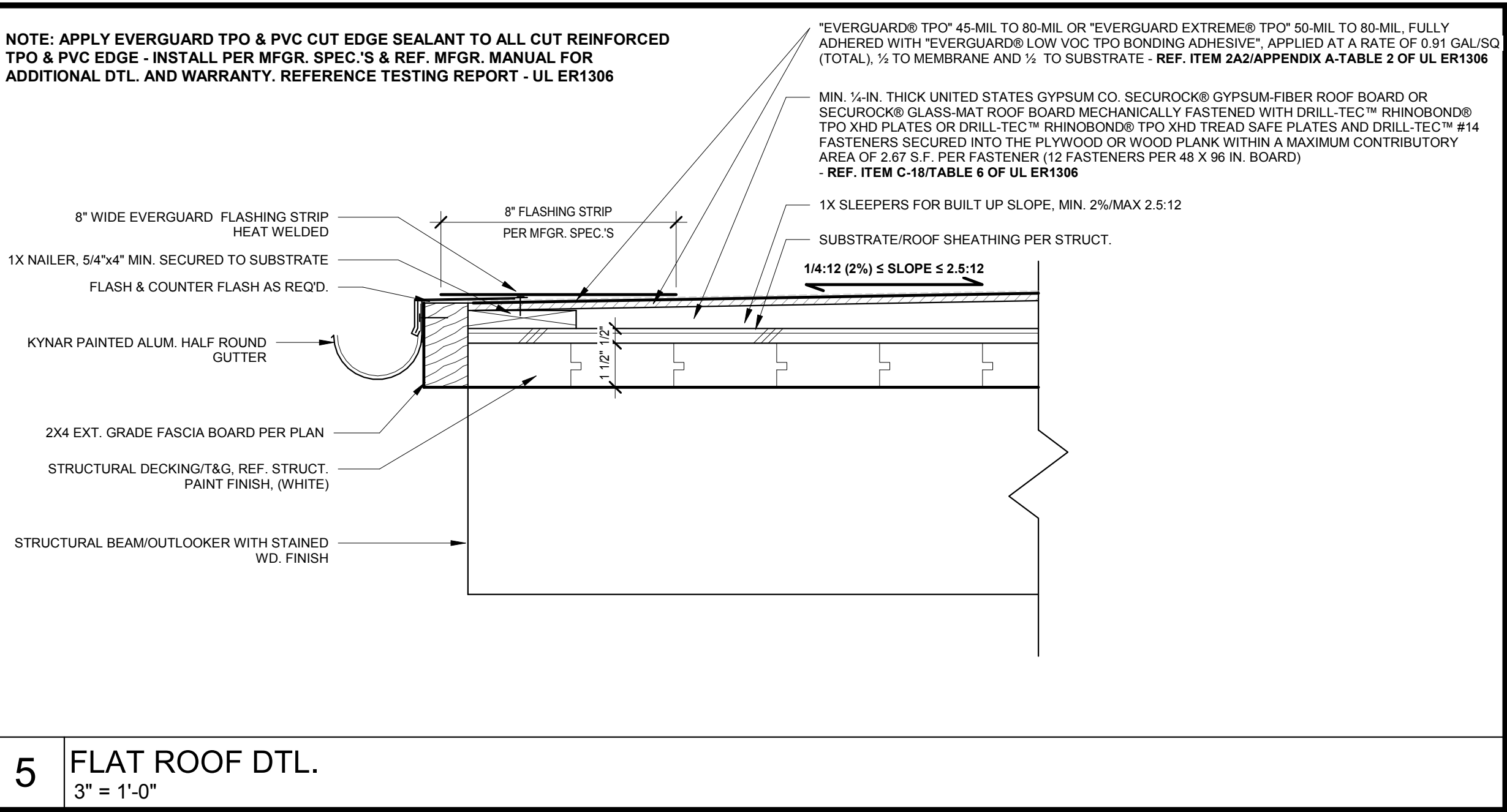
NOTE: ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHTG. (F.O.S.), TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHTG. TO FACE OF FINISH FASCIA

FILLED REGION INDICATES ATTIC SPACE- REF. ATTIC VENTILATION CALCS.

A ROOF PLAN LEGEND

ROOF VENTILATION NOTES: (CRC R806)

- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/ CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R902.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.
- THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/1000 IF ONE OR MORE OF THE FOLLOWING ARE MET: 1. IN CLIMATE ZONES 1A & 1B, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM/WINTER SIDE OF THE CEILING. 2. AT LEAST 80% AND MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.
- WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHTG. AND AT THE LOCATION OF THE VENT.
- VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFGOR'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R903. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R703.1.
- UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBER/RAFTERS AND THE STRUCTURAL ROOF SHTG. AT THE TOP OF THE ROOF FRAMING MEMBER/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. 2. NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY. 3. WHERE WOOD SHINGLES OR SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHTG. 4. IN CALIFORNIA CLIMATE ZONES 1A & 1B, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/ THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1-A). 5. EITHER ITEMS 1, 1.1, 1.2 OR 3 & 3.1 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHTG. (NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONT. UNDERLAYMENT IS INSTALLED. A CONT. LAYER SHALL BE CONSIDERED TO EXIST IF SHTG., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD). 5.1. AIR-IMPERMEABLE INSULATION ONLY: INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHTG. 5.2. AIR-PERMEABLE INSULATION ONLY: IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHTG., RIDGE BOARD OR SHEET INSULATION W/ AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHTG. FOR CONDENSATION CONTROL. 5.3. AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION: THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHTG. FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION. 5.4. WHERE PREFORMED INSULATION BOARD IS USED AS THE AIR-IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

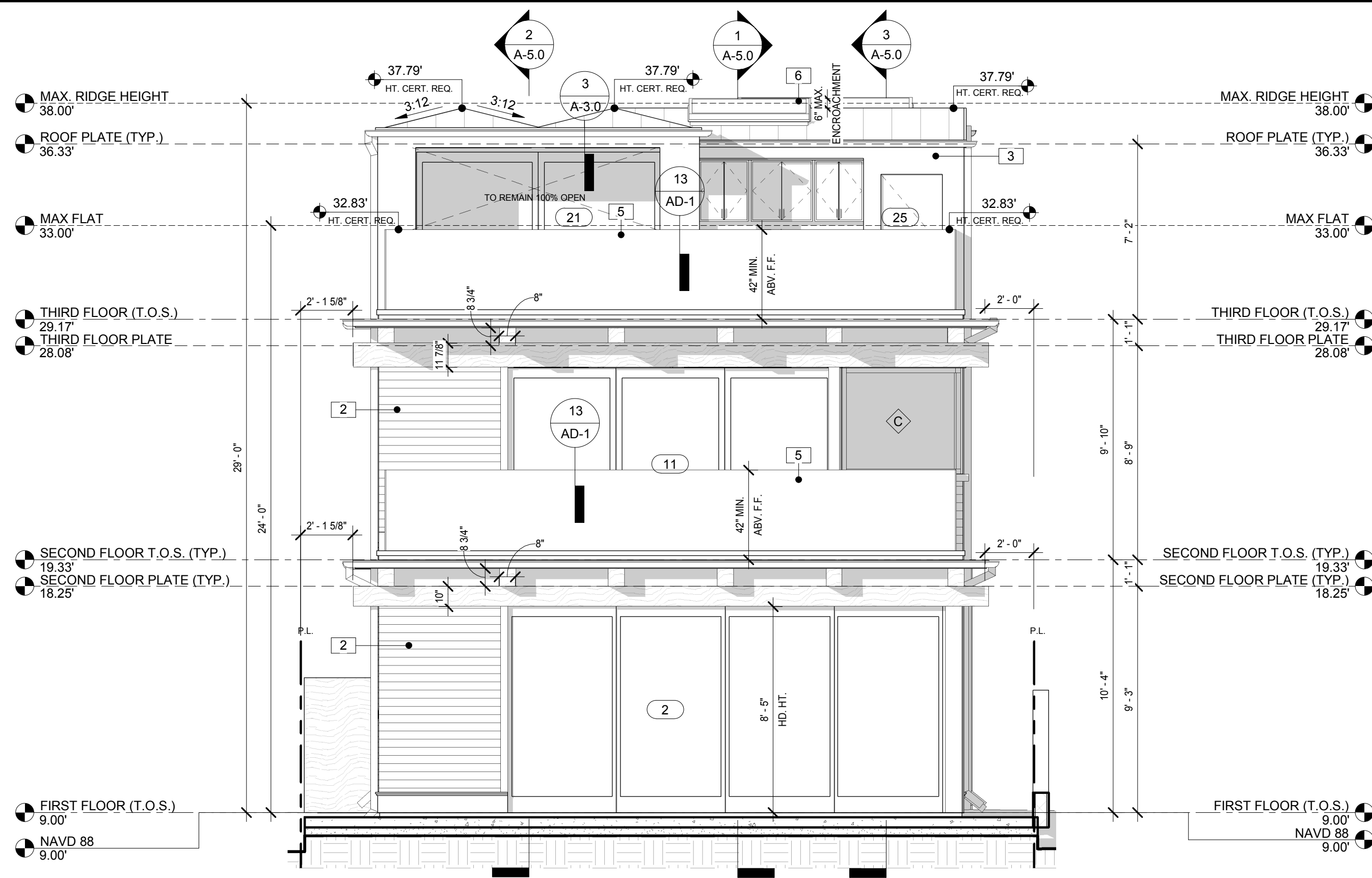


5 FLAT ROOF DTL.
3" = 1'-0"

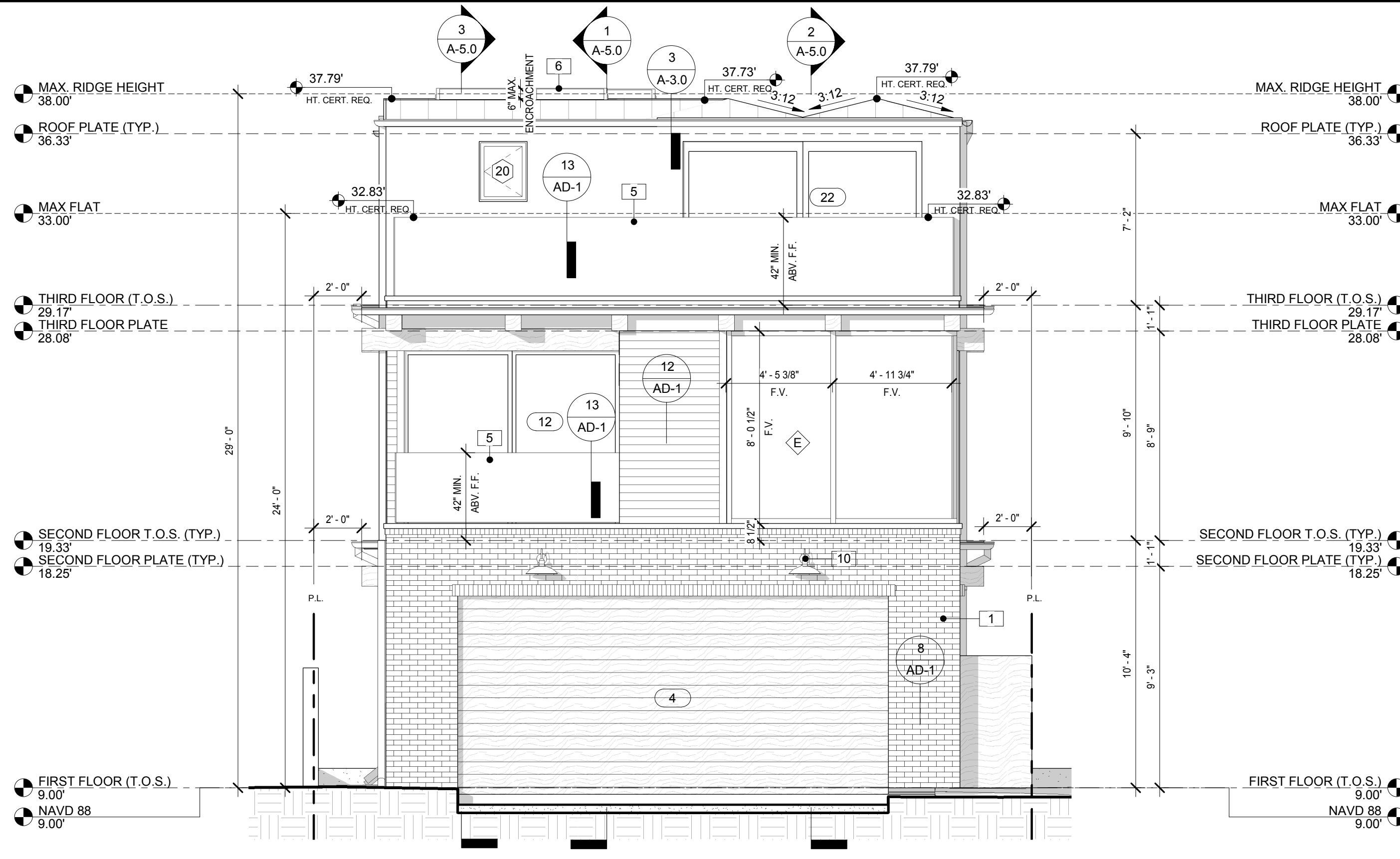
4 RAKE DETAIL
1 1/2" = 1'-0"

3 EAVE DETAIL
1 1/2" = 1'-0"

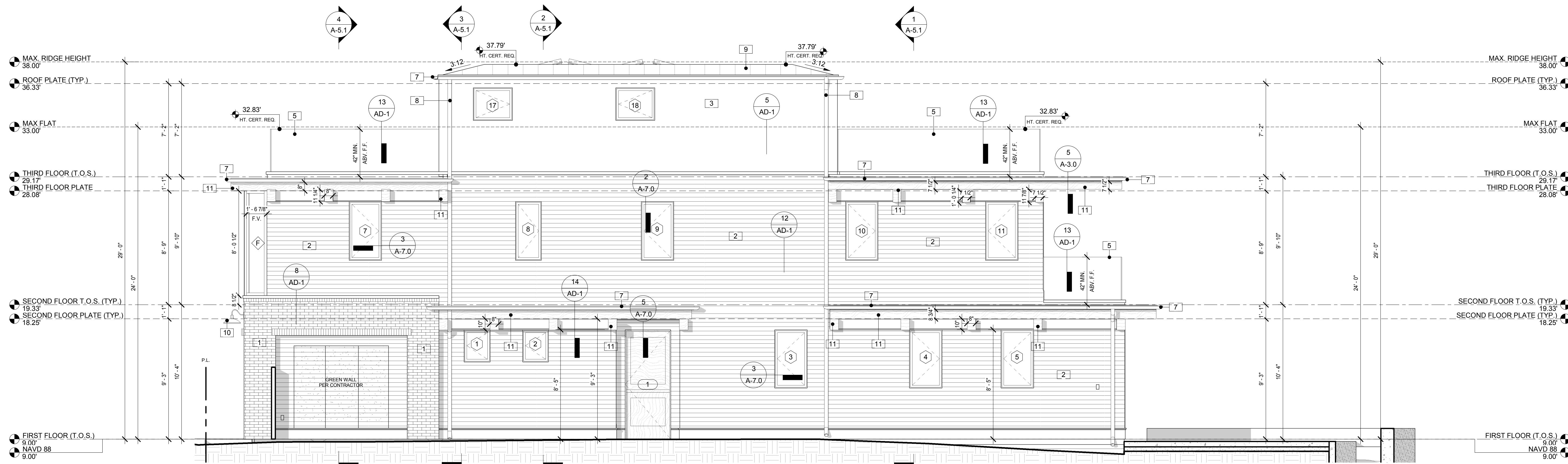
2 CLASS 'A' METAL ROOFING
1 1/2" = 1'-0"



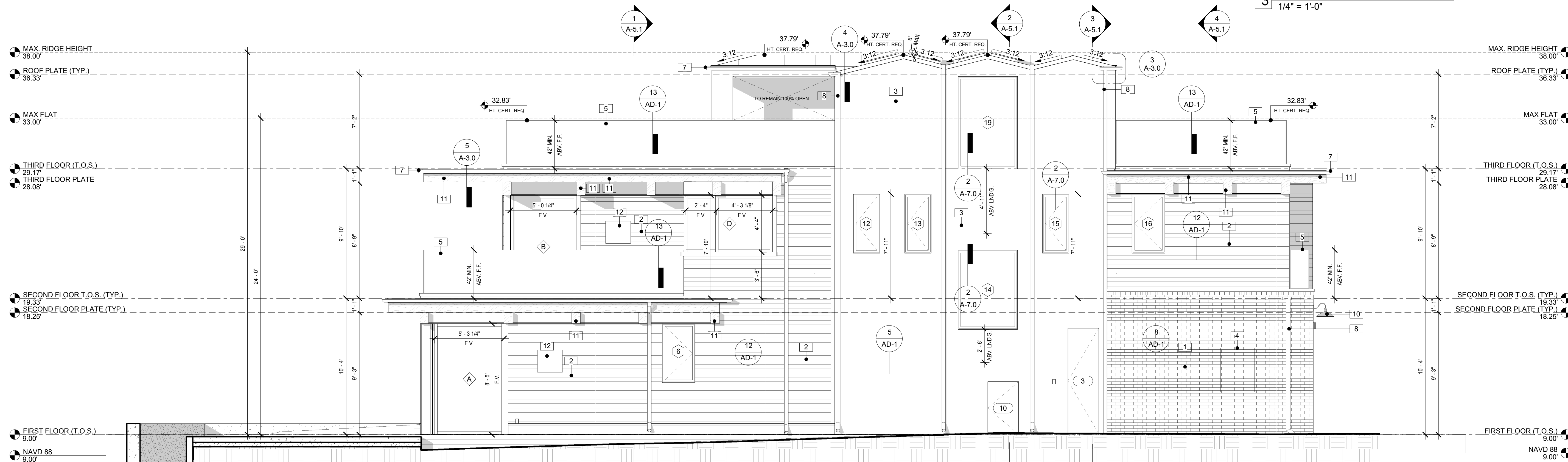
1 FRONT SIDE ELEVATION - NORTH
1/4" = 1'-0"



2 REAR SIDE ELEVATION - SOUTH
1/4" = 1'-0"



3 LEFT ELEVATION - EAST
1/4" = 1'-0"



4 RIGHT ELEVATION - WEST
1/4" = 1'-0"

WINDOWS & DOORS:
AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-3319
FAX: 206-696-2150
EMAIL: JYOUNAN@ASSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD P.O. BOX 1328; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7472 OR 800-535-5956
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 8621 S. 20TH ST., PHOENIX, AZ 85040
PHONE: 877-288-1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

DOOR AND WINDOW PAINT COLOR:
COLOR: STEELE GREY (ARCH. TO CONFIRM) SEE RENDERINGS

ACCENT WOOD (BEAMS, CORBELS, GARAGE DOOR & FRONT DOOR):
WOOD: STAIN GRADE (LIGHT BEACHY GREY/LIGHT BROWN) NO YELLOW OR RED WOOD
SPECIES: SEE RENDERINGS.

WOOD SIDING:
MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS, INC.
ADDRESS: 10901 ELM AVENUE
FONTANA, CA 92337
P. 909-356-6366
COLOR: PAINTED-DUNN EDWARDS: WHITE
APPLICATION: SHIPLAP 4" PLANK
CODE: ICC# NER-405

EXTERIOR STUCCO:
MANUFACTURER: MERLEX STUCCO
ADDRESS: 2911 ORANGE OLIVE ROAD
ORANGE, CA 92665
P. 714-627-1700
COLOR: P-109
APPLICATION: THREE-COAT SMOOTH, 7/8" W/ METAL LATH (DIAMOND OR EQUIV.)

EXTERIOR BRICK VENEER
PRODUCT: RECLAIMED BRICK SAWN VENEER
COLOR: LIME (WHITE) WASH OR STUCCO FOG
APPLICATION: MODULAR BRICK COURSE PER ELEVATIONS - REF. DTL. 8AD-1
THICKNESS: 1" - 1.5" NOMINAL
WEIGHT: <8.5 LBS./S.F.

ROOFING:
PRODUCT: STANDING SEAM METAL ROOFING, ULTRA-COOL, CB-150
MANUFACTURER: CUSTOM-BILT METALS
ADDRESS: 1333 CORPORATE DR., STE. 103
IRVING, TEXAS 76038
P. (888) 875-8484
COLOR: OLD TOWN GRAY, TO BE APPROVED BY ARCH. & OWNER
NOTES: USE CONTINUOUS 12" OR 16" PANS - VERIFY W/ ARCH. SIZE & LOCN. OF SEAMS (NO TRANSVERSE SEAMS) REF. DTL. 7JA-5
APPROVALS: ICC REPORT ESR-2048, CLASS 'A' ASSEMBLY
WEIGHT: APPX. 2 PSF.

BUILT-UP COOL ROOFING:
PRODUCT: TPO MEMBRANE
MFR: GAF, EVERGUARD - WWW.GAF.COM
COLOR: ENERGY GRAY 322 (COOL COLOR TECH.)
APPLICATION: REF. DTL. 5A-4 (INSTALL PER MFR.)
CODE: ICC-CLASS A ASSEMBLY (ICC ESR-1597)
UL LISTING-TGUR R1306 TPO FULLY ADHERED CLASS A

GUTTERS:
MATERIAL: METAL - ALUM. PAINTED KYNAR
COLOR: (PAINT TO MATCH SASH COLOR)
SHAPE: HALF ROUND (5") (VERIFY W/ ARCH.)

GARAGE DOORS:
SUPPLIER: RANCH HOUSE DOORS
WWW.RANCHHOUSEDOORS.COM
STYLE: CUSTOM - STAINED TO MATCH ACCENT WOOD, SEE RENDERINGS, ARCH. TO APPV.
MATERIAL: CUSTOM BUILT, WOOD & GLASS

WATERPROOF DECK MEMBRANE:
TUFFLEX POLYMERS
10880 POPLAR AVE.
FONTANA, CA
P. 909-349-2016
WWW.TUFFLEXPOLYMERS.COM
CODE: ICC # ESR-2505

FLASHING & WEATHERSTRIPPING:
PROVIDE MIN. 24 GAUGE METAL (16 OZ) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

A MATERIAL SCHEDULE

NOTE: REF. ROOF PLAN (A-3) FOR ALL PLATE HTS. & RIDGE HTS.

KEYNOTE LEGEND		
1	EXT. ADHERED BRICK VENEER - REF. MATERIAL SCHEDULE SHT. A-4, DTL. 8AD-1	
2	WOOD SHINGLE SIDING - REF. DTL. 8AD-1 & MATERIAL SCHEDULE A-4	
3	STUCCO FINISH - MIN. 7/8" THK. W/ DIA. LATH, COLOR AS SEL. DEF. DTL. 8AD-1	
4	MAIN SERVICE PANEL 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCN. W/ SO. CA. Edison	
5	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTLS. 13AD-1	
6	SKYLIGHT - SIZE AS DIM. - VELUX USES REPORT#199 OR EQUIV. (REF. DTL. 23AD-1) - MAX. 6" ABV. ROOF	
7	METAL GUTTER - COPPER HALF ROUND - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.	
8	DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)	
9	METAL ROOFING (IS. ZINC/KYNAR PAINTED ALUM. OR EQUIV.), REF. DTL. A/A-4 & MAT. SCHED. A-4 - COLOR AS SEL. ARCH. TO APPV.	
10	EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33	
11	BEAM WRAPPED IN WOOD VENEER, STAINED	
12	LOCATION OF DIRECT VENT - INSTALLED PER MANUFACTURE	

PROJECT NAME
MID-MOD - CHANNEL PLACE
STATUS
SECOND CHECK

BRANDON ARCHITECTS

151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
3900 CHANNEL PLACE #3,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92660

MID-MOD - CHANNEL PLACE
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
BRANDON LINSLEY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

EXTERIOR ELEVATIONS & MATERIAL SCHEDULE

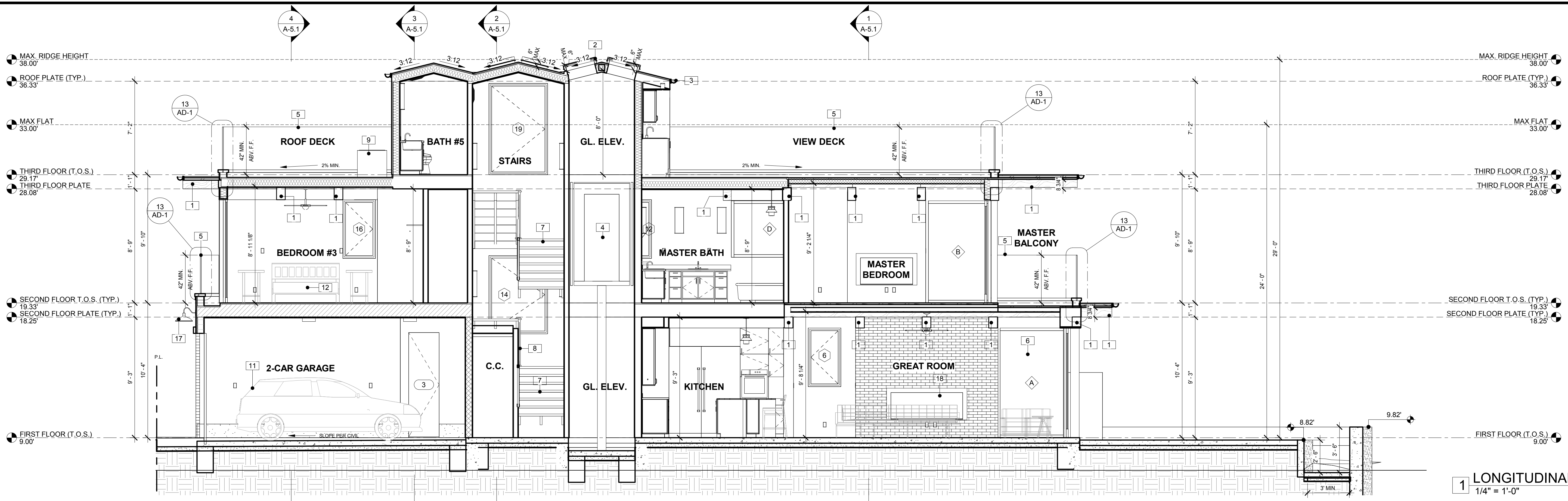
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JOB NO. 3904-18

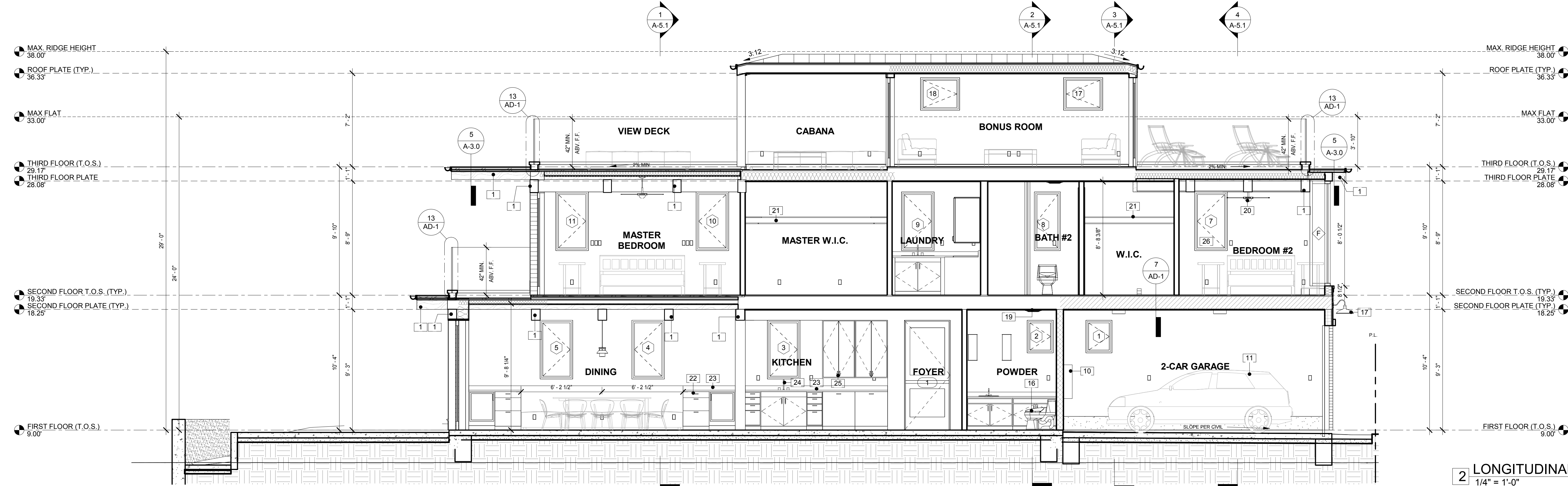
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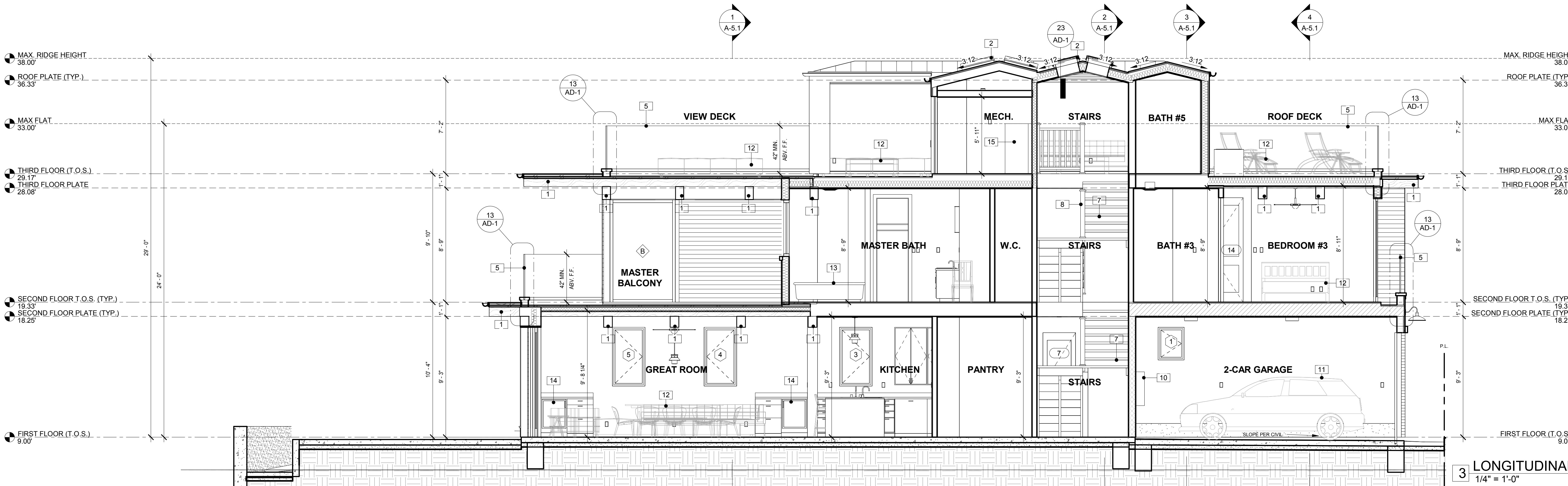
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1 LONGITUDINAL SECTION
1/4" = 1'-0"



2 LONGITUDINAL SECTION
1/4" = 1'-0"



3 LONGITUDINAL SECTION
1/4" = 1'-0"

INSULATION SCHEDULE:

EXTERIOR WALL: 2 x 4 CONST. 2 x 6 CONST. OR LARGER =	R-13 MIN. R-19
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30
(REF. T-24 REPORT FOR MORE INFORMATION)	
NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

FIRE-BLOCKING & DRAFT-STOP NOTE

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS.

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION: FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS.

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS.

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFT STOP CONSTRUCTION.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

KEYNOTE LEGEND

1	BEAM WRAPPED IN WOOD VENEER, STAINED
2	SKYLIGHT - SIZE AS DIM. - VELLUX ICC MESH 2415 OR EQUIV. (REF. DTL. 23AD-1) - MAX 6" ABV. ROOF
3	METAL GUTTER - COPPER, HALF ROUND - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
4	GLASS ELEVATOR - VERIFY MAKE AND MODEL W/ CONTRACTOR
5	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL.S. 14AD-1
6	CUSTOM GLASS WALL, VERIFY MRGR. W/ I.D. & OWNER, PROVIDE SHOP DWGS. FOR ARCH. APPV. PRIOR TO FAB.
7	STAIRS - MAX 7.75" RISE MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CMC 1205-4) REF. DTL. 3AD-1
8	INTERIOR HANDRAIL - 34" - 38" ABV. NOSING 38" TYP. U.N.O.), REF. DTL.S. 4 & 9AD-1
9	A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.A.B.) (SEP. PERMIT REQ'D. REF. T11-1 DEF. SUBMITT. #3)
10	WATER HEATER - TANK LESS (ON DEMAND) WALL-MOUNT 44" MIN. "TAKAGI" OR EQUIV. - VERIFY SIZE REQ'D. W/ MRGR. (PROVIDE ADEQUATE N.G. CONN.) VENT THROUGH ROOF
11	LINE OF TRELLIS ABV.
12	FURNISHINGS - AS SELECTED
13	BATHUB - AS SELECTED (VERIFY LOCN. OF FIXTURES W/ OWNER)
14	PROVIDE POWER FOR BUILT-IN APPLIANCE/EQUIPMENT
15	FAU - PROVIDE GAS S.O. POWER, AND VENTING AS REQ'D. BY MRGR. (CMC 804.1)
16	TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL GREEN NOTES FOR FLOW RATE INFO.
17	EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33
18	FIREPLACE - PREFABRICATED, GAS ONLY, DA VINCI CUSTOM FIREPLACE, MODEL DA VINCI CUSTOM LINEAR GAS FIREPLACE (DTL. 22AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MRGR. INSTALLATION INSTRUCTIONS, GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
19	EXHAUST FAN W/ DUCT MIN. 50 CFM
20	CEILING FAN - W/ INCANDESCENT FIXTURE, AS SELECTED
21	SHELF AND POLE - BUILT IN, FINISH AS SEL.
22	BASE CABINET - BUILT IN, FINISH AS SEL.
23	COUNTERTOP - AS SELECTED
24	LAUNDRY SINK - AS SEL.
25	UPPER CABINET - BUILT IN, FINISH AS SEL.
26	WINDOW TO MEET EGRESS REQ'TS. - REF. WINDOW NOTE #6 ON SCHEDULE

	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

B SEPARATION LEGEND

PROJECT NAME
MID-MOD - CHANNEL PLACE

STATUS
FIRST CHECK

BRANDON ARCHITECTS
151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
3900 CHANNEL PLACE #3,
L.L.C.,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92660

MID-MOD - CHANNEL PLACE
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

PROJECT ARCHITECT
BRANDON LINSLEY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

BUILDING SECTIONS

REVISIONS

NO.	REVISION	DATE

JOB NO. 3904-18
DATE 08/30/2018
SHEET NO.

A-5.0

FOUNDATION NOTES:


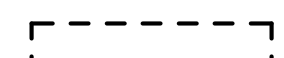
ALL DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTS DRAWINGS
ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO COMMENCING OF WORK

1. ALL BEARING & SHEAR WALLS ARE TO BE SECURED WITH 5/8" DIAMETER BY 10' LONG ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE WITH A MAXIMUM SPACING OF 48" O.C. U.N.O. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER PIECE OF FOUNDATION PLATE WITH ONE BOLT LOCATED WITHIN 12" MAX. & 4'-1/2' MIN. OF EA. END OF EA. PIECE. SHEAR WALLS BOLTS SHALL HAVE A PROPERLY SIZED NUT AND A 3"x3" 225" WASHER. THE WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE NUT AND WASHER. WASHER TO BE INSTALLED WITHIN A 1/2" OF THE SHEATHED SIDE OF THE PLATE. A STANDARD CUT WASHER MAY BE USED AT NON-SHEAR WALL LOCATIONS.
2. FOR ALL INTERIOR NON-SHEAR WALLS USE SIMPSON 0.145" DIAMETER x 3' LONG POP POWDER ACTUATED ANCHORS @ 24" O.C. (ESR #2138 OR EQUAL)
3. INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION HARDWARE PER MANUFACTURERS RECOMMENDATIONS. DEEPEN FOOTING WHERE NECESSARY TO PROVIDE ANCHOR EMBEDMENT AT HOLDOWN LOCATIONS.
4. ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUG FIR OR REDWOOD WITH SODIUM BORATE (SBX) OR DISODIUM OCTABORATE TETRAHYDRATE (DOT).

NOTE:
WHEN REQUIRED BY LOCAL BUILDING DEPARTMENT ALL ANCHOR BOLTS AND HOLDOWN BOLTS TO BE SET IN PLACE PRIOR TO CITY FOUNDATION INSPECTION

SOIL INFORMATION:

1. FOUNDATION SIZES, DEPTHS, AND REINFORCEMENT ARE AS RECOMMENDED WITH THE OWNER/DEVELOPER'S SOILS ENGINEER'S REPORT. SOILS ENGINEER TO PROVIDE FOUNDATION INSPECTOR AS OUTLINED IN LATEST SOIL REPORT.
2. OWNER/DEVELOPER AND SUBCONTRACTORS ARE TO REVIEW THE SOILS REPORT PRIOR TO COMMENCING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, DEVELOPER AND SUBCONTRACTOR TO VERIFY THAT THE REPORT DATE ABOVE IS CURRENT AND PLAN REQUIREMENTS ARE CONSISTANT WITH ANY UPDATED SOIL REPORTS. ES/IFME IS TO BE SUPPLIED WITH ALL UPDATED REPORTS.

-  GRADE BEAM PER PLAN
WIDER AT HARDY FRAME AS REQUIRED
SEE SHEET 'HFX1' FOR SHEAR TIE SPACING
-  15" WIDE x 24" DEEP FTG.
W/ 2-#5 TOP & BOTTOM CONT.

SLAB:
5" THK. W/ #4 BARS @ 12" O.C. EW @ MIDDLE NEW CONSTRUCTION WITH SLAB ON GRADE SHALL INSTALL A CAPILLARY BREAK IN COMPLIANCE WITH CG 4.505.2.1 WITH 2 INCH THICK LAYER OF SAND OVER A 15 MIL VAPOR BARRIER COMPLIANT WITH ASTM E 1745 OVER A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING. (FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302-OR-06)

ANCHOR BOLT LEGEND:

AB48 : 5/8" DIA. X 12" ANCHOR BOLTS AT 48" O.C.
AB40 : 5/8" DIA. X 12" ANCHOR BOLTS AT 40" O.C.
AB32 : 5/8" DIA. X 12" ANCHOR BOLTS AT 32" O.C.
AB24 : 5/8" DIA. X 12" ANCHOR BOLTS AT 24" O.C.
AB16 : 5/8" DIA. X 12" ANCHOR BOLTS AT 16" O.C.
AB 8 : 5/8" DIA. X 12" ANCHOR BOLTS AT 8" O.C.

2AB : (2) 5/8" DIA. X 12" ANCHOR BOLTS.
3AB : (3) 5/8" DIA. X 12" ANCHOR BOLTS.

2-#4 : PROVIDE A TOTAL OF 2 #4 AT TOP AND 2 #4 AT BOTTOM OF FOOTING, 3" PAST POSTS.
3-#4 : PROVIDE A TOTAL OF 3 #4 AT TOP AND 3 #4 AT BOTTOM OF FOOTING, 3" PAST POSTS.

HTT4 : (1) SIMPSON HTT4 PER POST.
HTT5 : (1) SIMPSON HTT5 PER POST.
HDU2 : (1) SIMPSON HDU2-SDS2.5 PER POST.
HDU5 : (1) SIMPSON HDU5-SDS2.5 PER POST.
HDU8 : (1) SIMPSON HDU8-SDS2.5 PER POST.
HDU8 : (1) SIMPSON HDU8-SDS3 PER POST.
HDU11 : (1) SIMPSON HDU11-SDS2.5 PER POST.
HDU14 : (1) SIMPSON HDU14-SDS2.5 PER POST.

LATERAL SHEAR NOTES:

(2016 CBC, SDPWS 2015, SEISMIC DESIGN CATEGORY D & E)
(TABLE 4.3A, AFPA SDPWS 2015)

VERTICAL:
FRAMING MEMBERS
DOUGLAS FIR-LARCH
AT 16" O.C.

10. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 6" O.C. AT EDGES AND 12" O.C. AT FIELD260 PLF
11. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 4" O.C. AT EDGES AND 12" O.C. AT FIELD350 PLF
12. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 3" O.C. AT EDGES AND 12" O.C. AT FIELD490 PLF
13. 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. AT FIELD640 PLF
14. 1/2" (OR 15/32) WOOD STRUCTURAL PANEL WITH 10d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. AT FIELD770 PLF
15. 1/2" (OR 15/32) STRUCT. I WOOD PANEL WITH 10d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. AT FIELD870 PLF


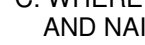
HORIZONTAL:
(3/8" @ CEILING LDS, 15/32 @ ROOF SHEATHING)
FRAMING MEMBERS
DOUGLAS FIR-LARCH
AT 24" O.C.

20. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 6" O.C. AT BOUNDRIES, 6" AT CENTER AND 10" AT FIELD240 PLF
21. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 4" O.C. AT BOUNDRIES, 6" AT CENTER AND 10" AT FIELD320 PLF
22. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2.5" O.C. STAGG. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD480 PLF
23. BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2" O.C. STAGG. AT BOUNDRIES, 3" AT EDGES AND 10" AT FIELD445 PLF

HORIZONTAL:
FRAMING MEMBERS
DOUGLAS FIR-LARCH
AT 16" O.C.

24. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 6" O.C. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD320 PLF
25. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 4" O.C. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD425 PLF
26. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2.5" O.C. STAGG. AT BOUNDRIES, 6" AT EDGES AND 10" AT FIELD640 PLF
27. BLOCKED PLYWOOD DIAPHRAGM WITH 19/32" WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2" O.C. STAGG. AT BOUNDRIES, 3" AT EDGES AND 10" AT FIELD730 PLF

NOTES:
A. WOOD STRUCTURAL PANEL MATERIAL APPROVED BY APA, PFSTECO OR PITTSBURGH TESTING LABORATORIES. THESE VALUES ARE FOR DOUGLAS FIR LARCH OR SOUTHERN PINE. OTHER LUMBER SPECIES MAY DIFFER IN SHEAR CAPACITIES.
B. PROVIDE 2X BLOCKING AT HORIZONTAL WOOD STRUCTURAL PANEL JOINTS. FRAMING AT ADJOINING PANEL EDGES SHALL BE 3X WHEN NAILING IS 2.5" O.C. OR LESS.
C. WHERE WOOD STRUCTURAL PANEL IS APPLIED ON BOTH FACES OF WALL AND NAIL SPACING IS LESS THAN 6" O.C., PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3X OR WIDER AND NAILS 5" O.C. ON EACH SIDE.

D. FOR SHEAR WALLS  TO  USE THE FOLLOWING:
1) USE 3x MEMBER @ PANEL JOINTS & HORIZONTAL BLOCKING
2) EDGE NAILING SHALL BE STAGGERED
E. 10d SHORT BOX NAILS MAY BE USED IN LIEU OF 8d COMMON NAILS @ SHEAR WALLS ONLY.

F. REQUIRED STEEL PLATE WASHERS AT SHEAR WALLS ONLY (WHEN ANCHOR BOLTS ARE USED: 3" x 3" x 225" STEEL PLATE WASHERS ARE REQUIRED ON EACH ANCHOR BOLT (SDPWS SECT. 4.3.6.4.3) WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE WASHER AND NUT. WASHER TO BE INSTALLED WITHIN 1/2" OF SHEATHED SIDE OF PLATE.
G. A STANDARD CUT WASHER MAY BE USED AT ALL NON-SHEAR WALL LOCATIONS WITH ANCHOR BOLTS.

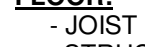




HORIZONTAL:
ALL ROOF AND FLOOR SHEATHING TO BE EXPOSURE 1 OR EXTERIOR

ROOF:
- JOIST SPACING EQUAL TO OR LESS THAN 24" O.C.: 15/32" WOOD STRUCTURAL PANEL PII 32/16, WITH 8d's AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.
- HORIZONTAL DIAPHRAGM VALUES FOR 3/8" WOOD STRUCTURAL PANELS MAY BE USED FOR 15/32" WOOD STRUCTURAL PANELS, U.N.O.

FLOOR:
- JOIST SPACING EQUAL TO OR LESS THAN 16" O.C.: 19/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 32/16, w/10d's AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.
- JOIST SPACING EQUAL TO OR LESS THAN 20" O.C.: 19/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 40/20, w/10d's AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.
- JOIST SPACING EQUAL TO OR LESS THAN 24" O.C.: 23/32" WOOD STRUCTURAL PANEL T&G SHTG, PII 48/24, w/10d's AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.

PANEL EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH 1" BLOCKING NOT REQUIRED WHEN LIGHTWEIGHT CONCRETE IS PLACED OVER SUBFLOOR.

FRAMING LEGEND:

-  ROOF JOISTS AND RAFTERS
 INDICATES SPAN AND DIRECTION OF TRUSSES
 INDICATES SPAN AND DIRECTION OF FLOOR JOISTS
 INDICATES SPAN AND DIRECTION OF CEILING JOISTS
 INDICATES SPAN AND DIRECTION OF DECK JOISTS (SLOPED AS REQUIRED)

A. 2x6 AT 12" O.C.
B. 2x6 AT 16" O.C.
C. 2x6 AT 24" O.C.
D. 2x8 AT 12" O.C.
E. 2x8 AT 16" O.C.
F. 2x8 AT 24" O.C.
G. 2x10 AT 12" O.C.
H. 2x10 AT 16" O.C.
I. 2x10 AT 24" O.C.
J. 2x12 AT 12" O.C.
K. (2) 2x10 AT 16" O.C.
L. 2x12 AT 12" O.C.
M. 2x12 AT 16" O.C.
N. 2x12 AT 24" O.C.
P. (2) 2x12 AT 16" O.C.
T. TRUSS AT 24" O.C.

G-L - INDICATES (1) GANGLAM LVL 1.8E
GLB - INDICATES GULAM BEAM
M-L - INDICATES (1) MICROLAM 2.0E
PSL - INDICATES PARALAM 2.0E
LSL - INDICATES LIMESTRAND 1.5SE
E/S - EACH SIDE
FL HT. - FULL HEIGHT
ALT. - ALTERNATE
TYP. - TYPICAL
U.W.A. - UNDER WALL ABOVE
L.O.B. - INDICATES LINE OF BLOCKING
R.T.R. - RUN TO ROOF
U - INDICATES U' HANGER, U.N.O.
H - INDICATES H' HANGER, U.N.O.
C - INDICATES HEADERS AND BEAMS, REFER TO ENGINEERING CALCS

NOTE:
* APPLY SHEAR PRIOR TO FRAMING OF PERPENDICULAR WALL AND/OR BOX-OUTS. (WHERE APPLICABLE)

MARK	SPACING	SIZE & MANUFACTURER OPTIONS
Q - I-JOIST @ 12" O.C.	a) 9 1/2" TJI / 230	
R - I-JOIST @ 16" O.C.		
S - I-JOIST @ 19.2" O.C.		
U - I-JOIST @ 12" O.C.	a) 11 7/8" TJI / 360	
V - I-JOIST @ 16" O.C.		
W - I-JOIST @ 19.2" O.C.		
X - I-JOIST @ 12" O.C.	a) 14" TJI / 360	
Y - I-JOIST @ 16" O.C.		
Z - I-JOIST @ 19.2" O.C.		

MARK	SPACING	SIZE & MANUFACTURER OPTIONS
Q - I-JOIST @ 12" O.C.	a) 9 1/2" TJI / 230	
R - I-JOIST @ 16" O.C.		
S - I-JOIST @ 19.2" O.C.		
U - I-JOIST @ 12" O.C.	a) 11 7/8" TJI / 360	
V - I-JOIST @ 16" O.C.		
W - I-JOIST @ 19.2" O.C.		
X - I-JOIST @ 12" O.C.	a) 14" TJI / 360	
Y - I-JOIST @ 16" O.C.		
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V - I-JOIST @ 16" O.C.		
W - I-JOIST @ 19.2" O.C.		
X - I-JOIST @ 12" O.C.	a) 14" TJI / 360	
Y - I-JOIST @ 16" O.C.		
Z - I-JOIST @ 19.2" O.C.		

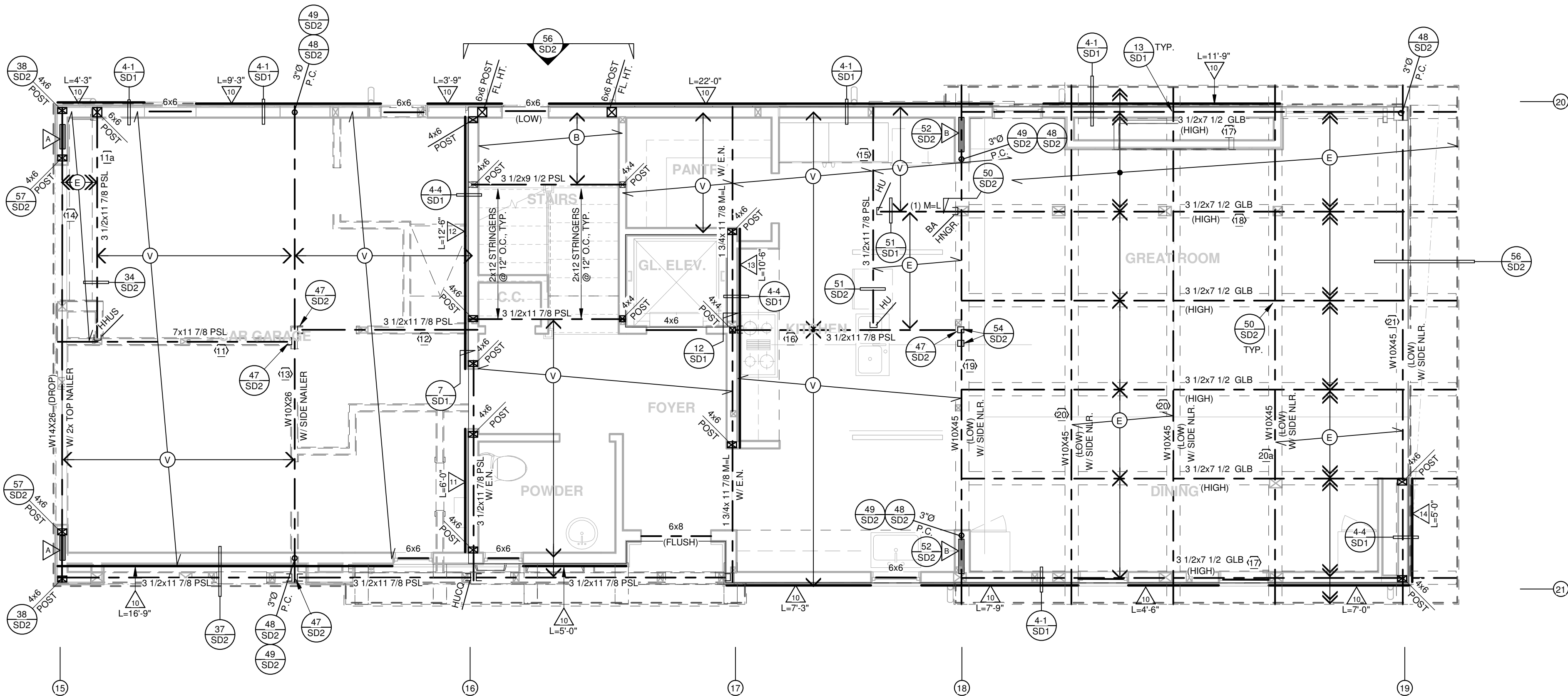
NOTE:
* APPLY SHEAR PRIOR TO FRAMING OF PERPENDICULAR WALL AND/OR BOX-OUTS. (WHERE APPLICABLE)

FRAMING NOTES LEGEND	SPN-SOLE PLATE NAILING
MARK: DESCRIPTION	NAILS - 16d BOX
SPN12: 16d SOLE PLATE NAILING @ 12" O.C.	
SPN10: 16d SOLE PLATE NAILING @ 10" O.C.	
SPN8: 16d SOLE PLATE NAILING @ 8" O.C.	
SPN6: 16d SOLE PLATE NAILING @ 6" O.C.	
SPN4: 16d SOLE PLATE NAILING @ 4" O.C.	
SPN3: 16d SOLE PLATE NAILING @ 3" O.C. STAGGERED	
SPN2: 16d SOLE PLATE NAILING @ 2" O.C. STAGGERED	

XX - INDICATES LATERAL ENHANCEMENT. WALL NOT CONSIDERED IN LATERAL ANALYSIS.

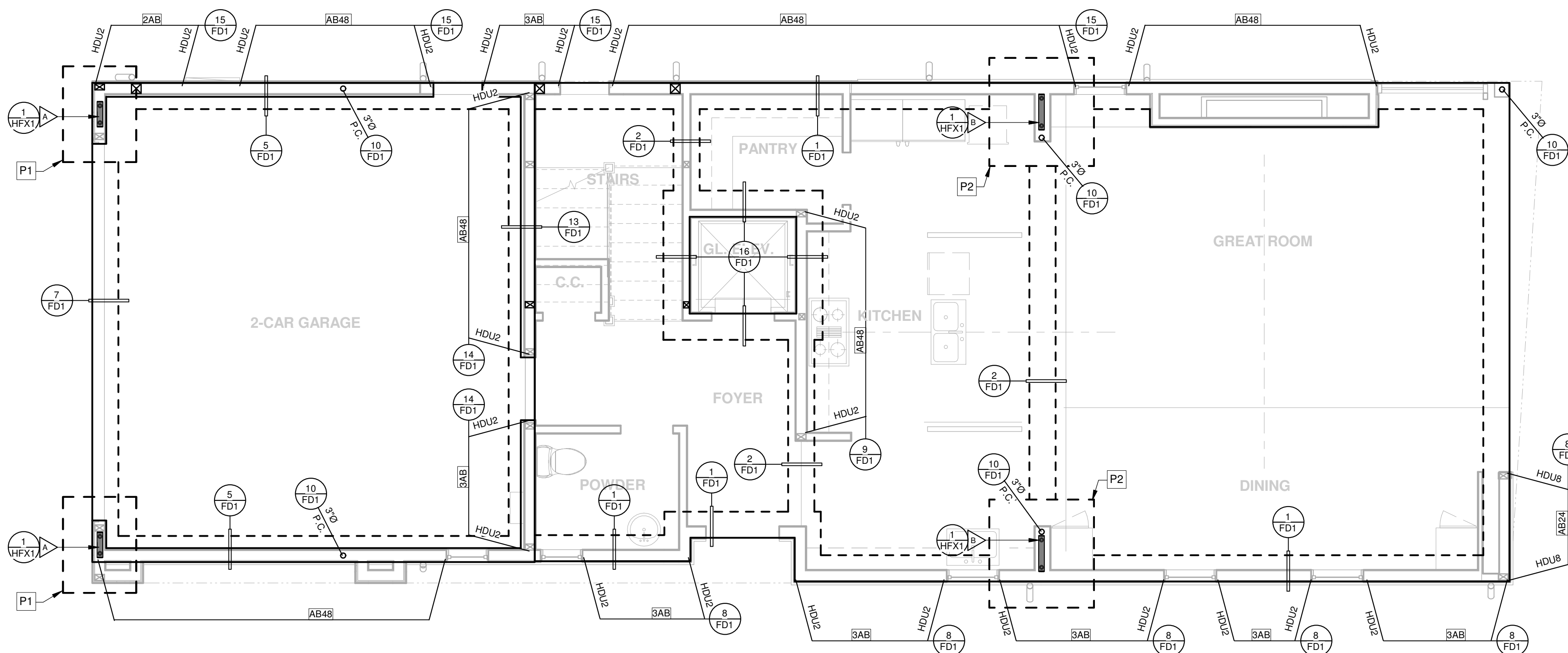
 - SHEAR WALL GRID LINE. REFERENCE STRUCTURAL CALCS

FASTENERS AND CONNECTORS TO BE GALVANIZED FOR PRESERVATIVE PRESSURE TREATED WOOD.




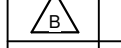
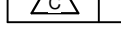
FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

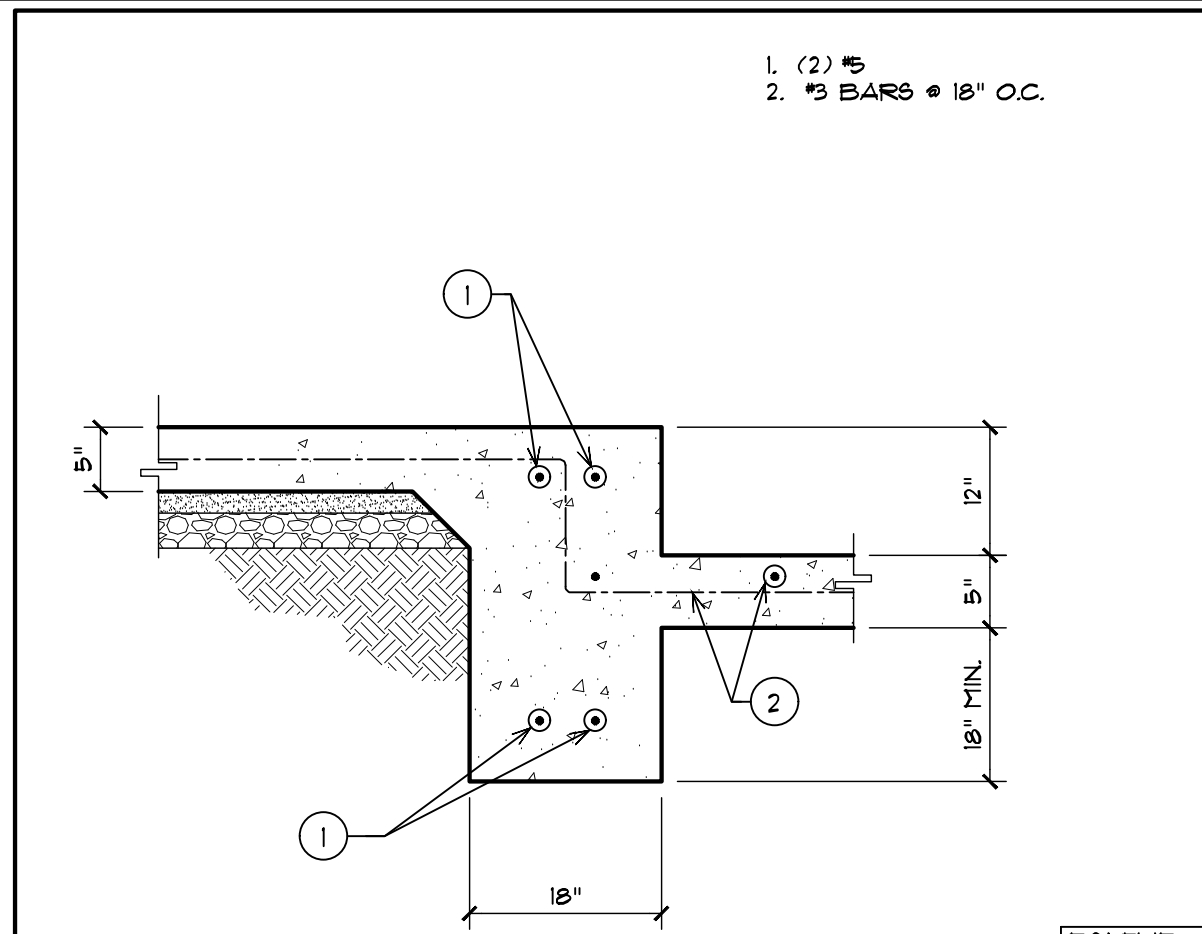


FOUNDATION PLAN

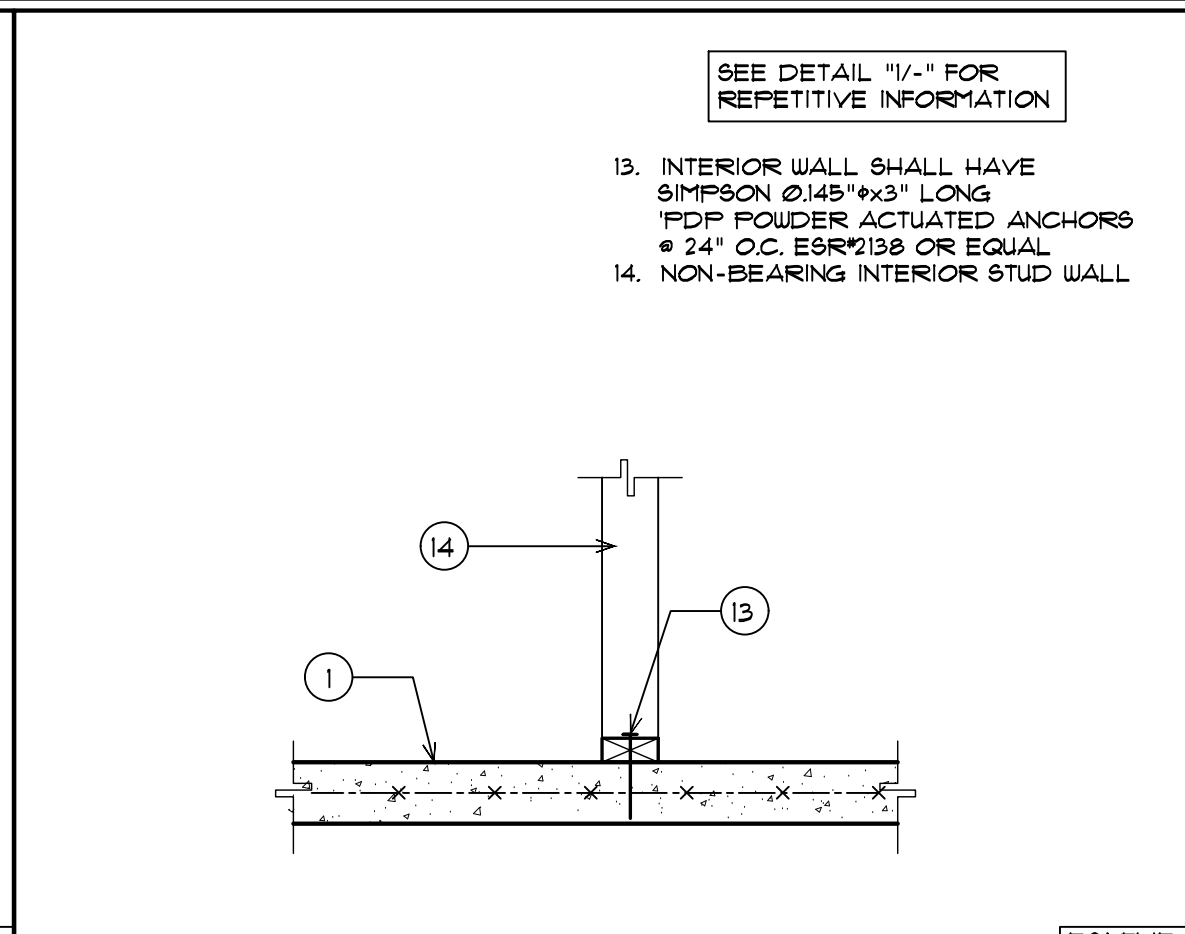
SCALE: 1/4" = 1'-0"

HAFX #	HAFX SIZE	CUSTOM HEIGHT	NOTES
	HFX 15x8 1-1/8 STD.		
	HFX 21x 1-1/8 STD.	XX	
	HFX 21x78 1-1/8 STD.		

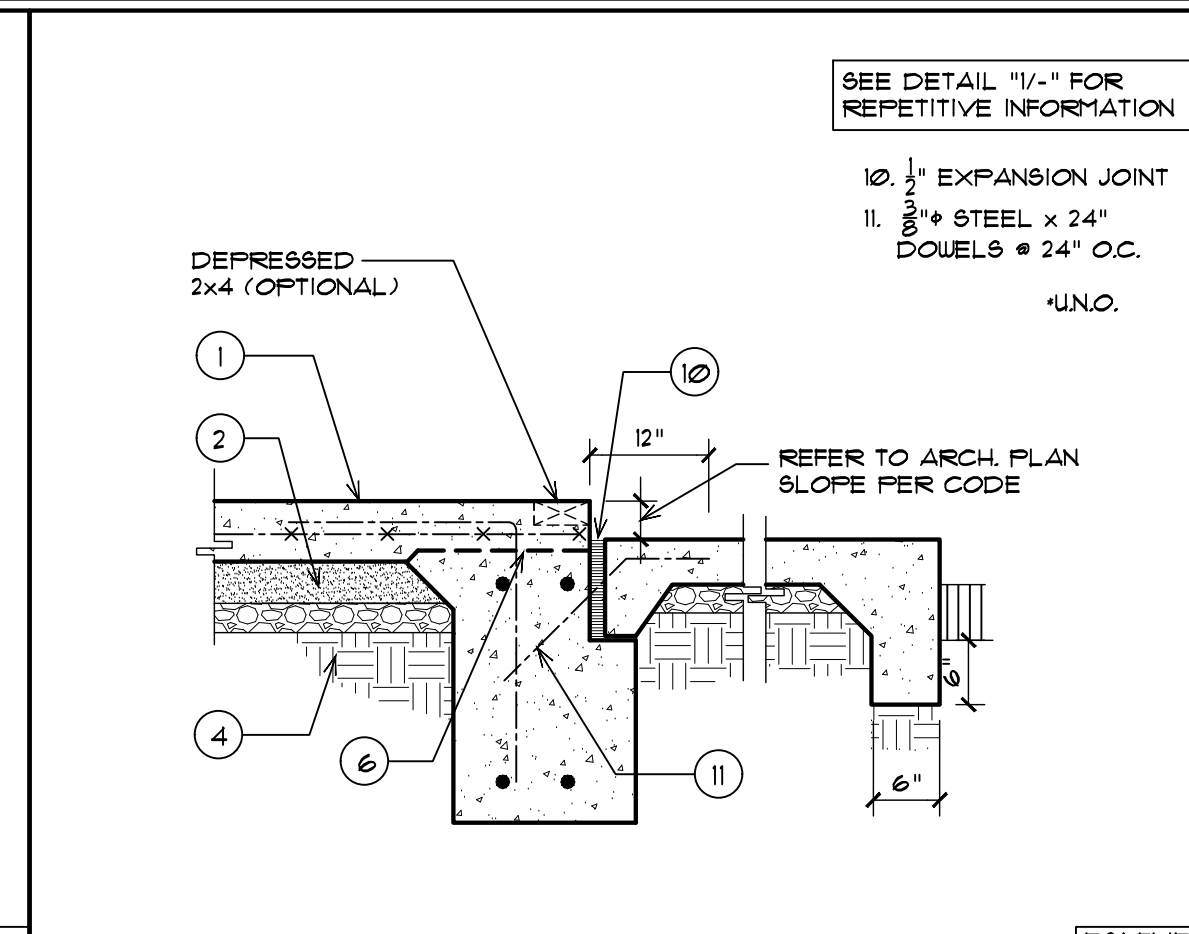
PAD #	PAD SIZE AND REINFORCING
P1	42" x 55" RECT. x 24" DEEP CONCRETE PAD W/ #5 @ 12" O.C., EACH WAY @ TOP & BOTTOM 82" x 60" RECT. x 24" DEEP CONCRETE PAD W/ #5 @ 12" O.C., EACH WAY @ TOP & BOTTOM
P2	



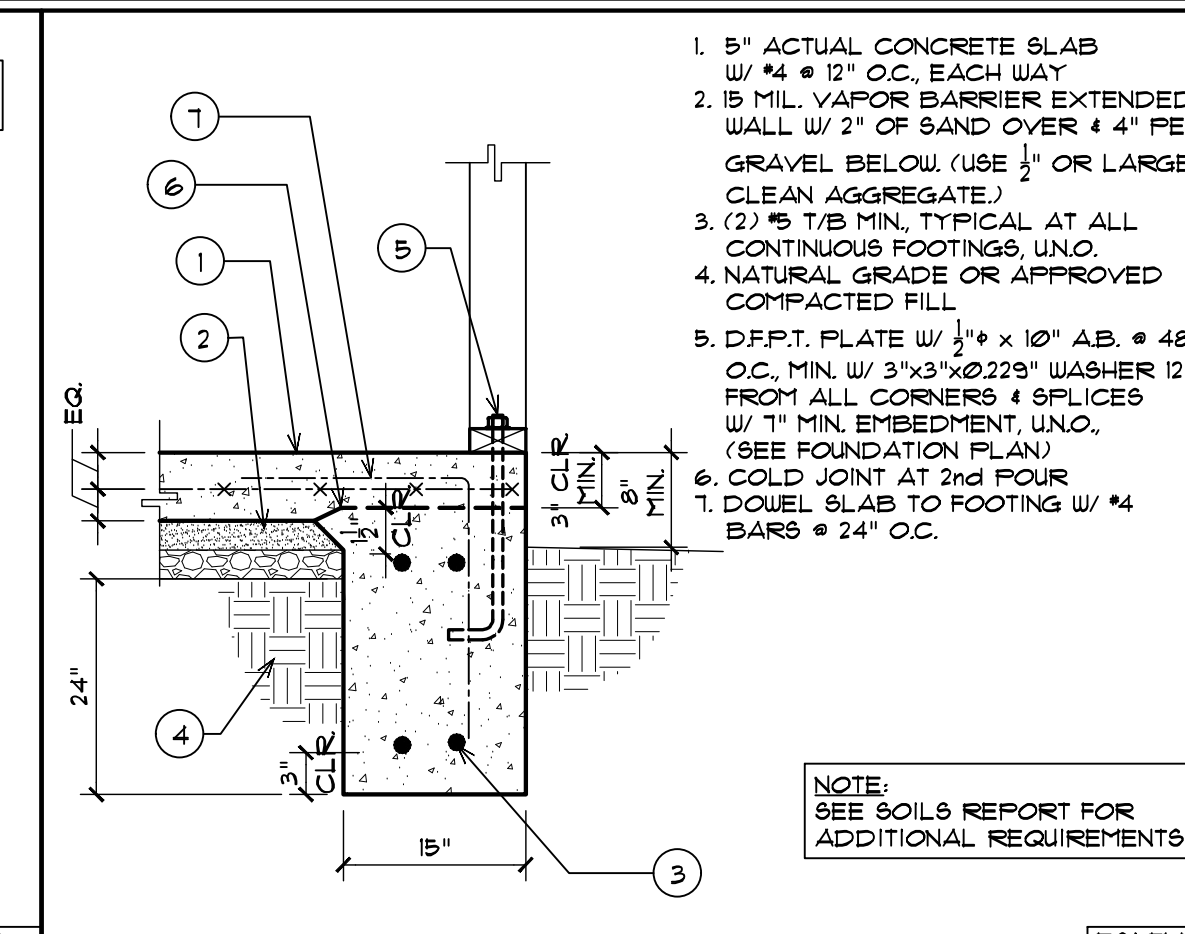
16 STEP / ELEVATOR FOOTING



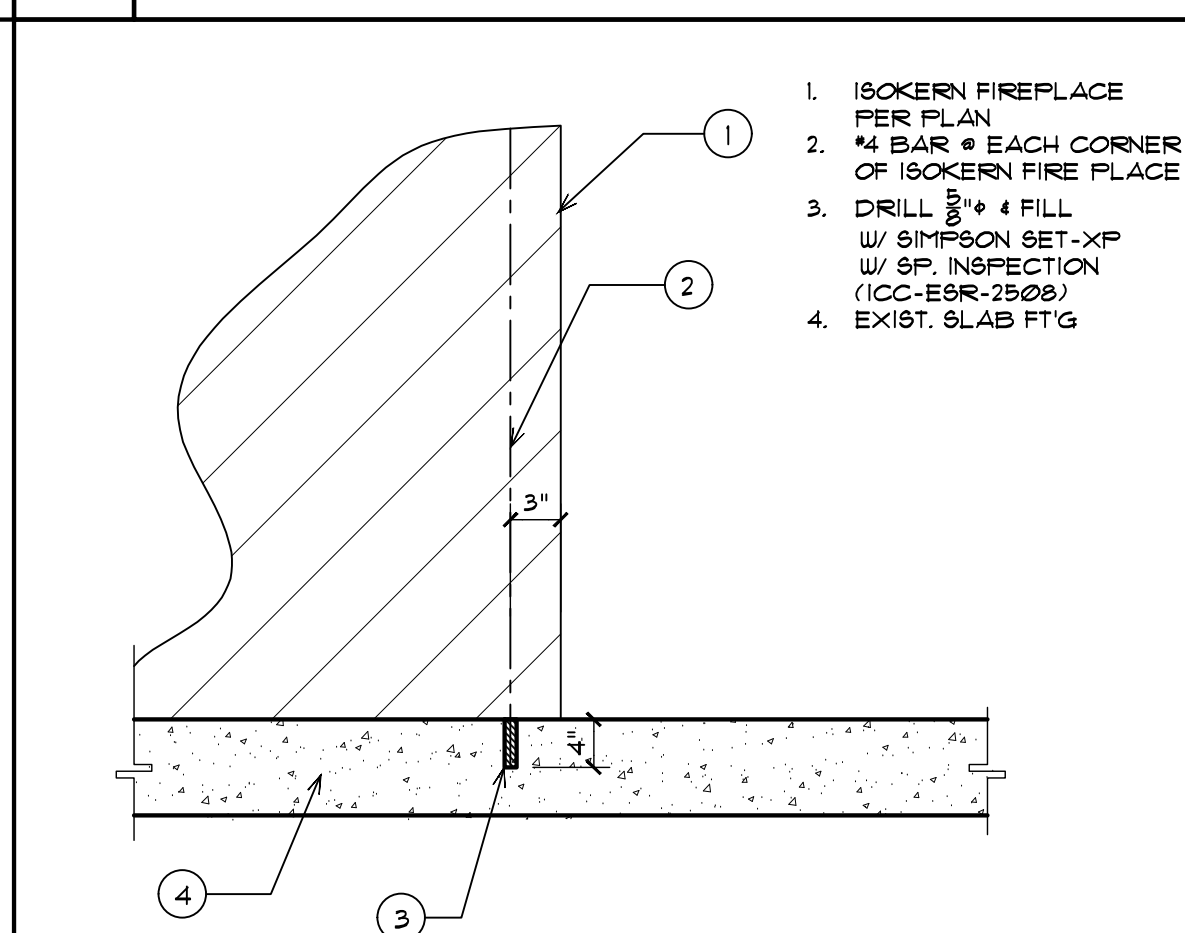
11 NON BEARING STUD INTERIOR WALL



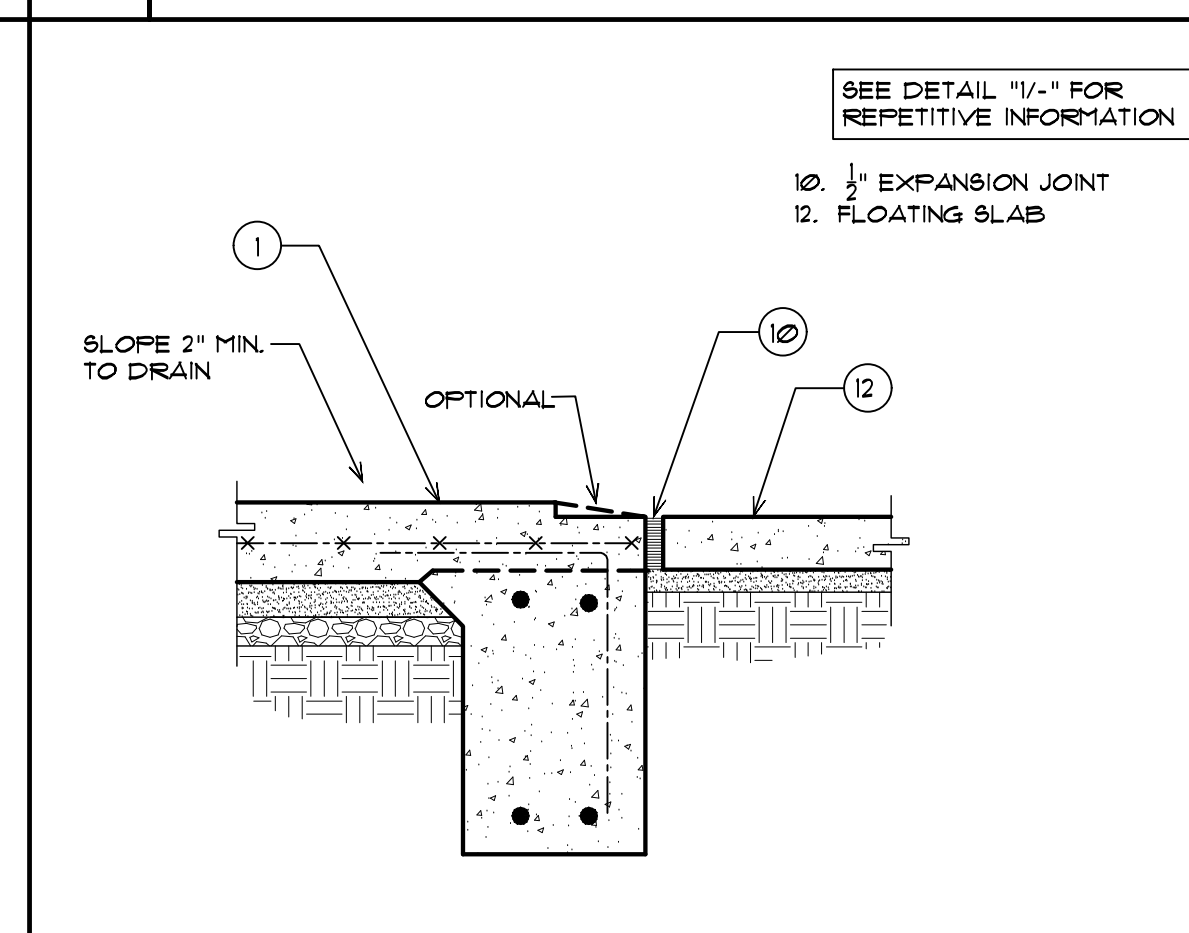
6 PORCH



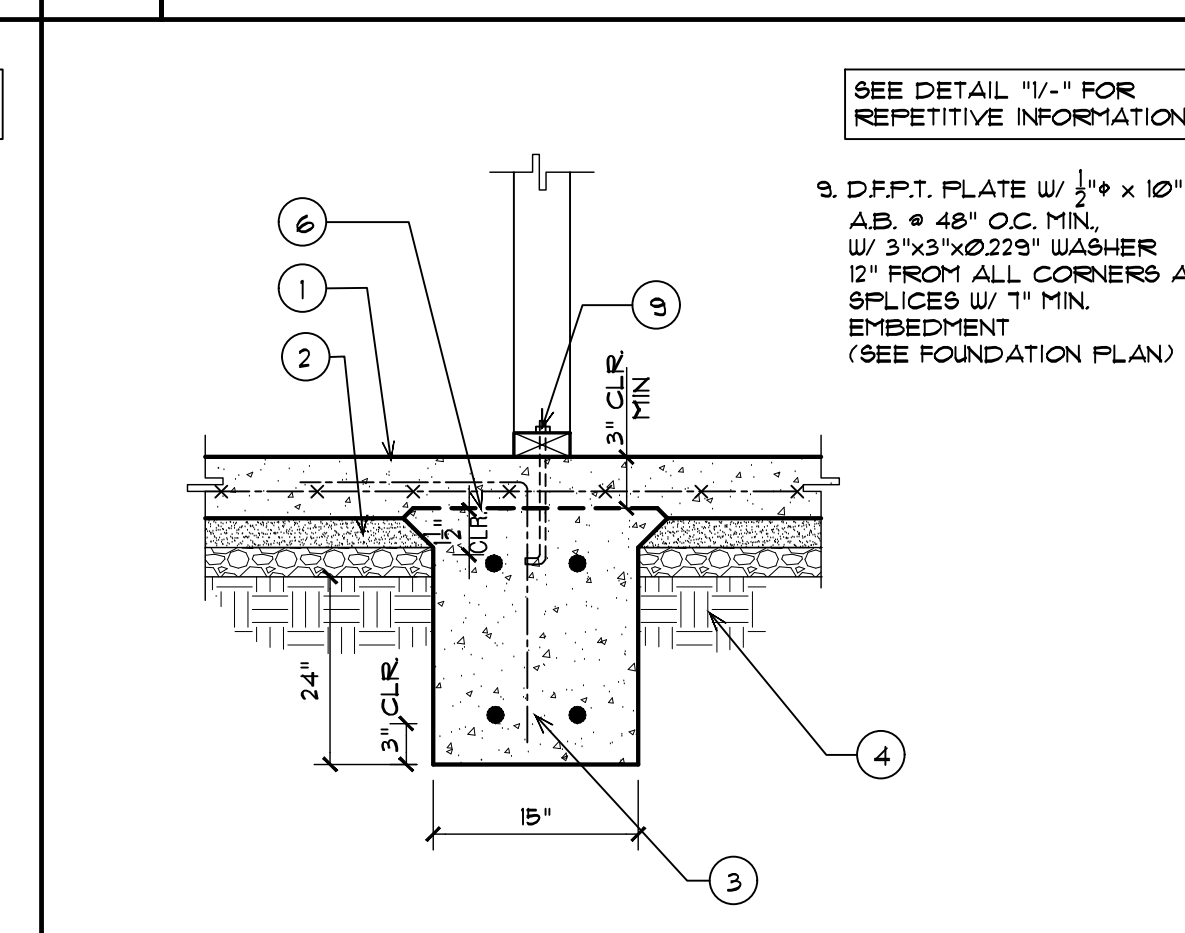
1 TYPICAL EXTERIOR FOOTING



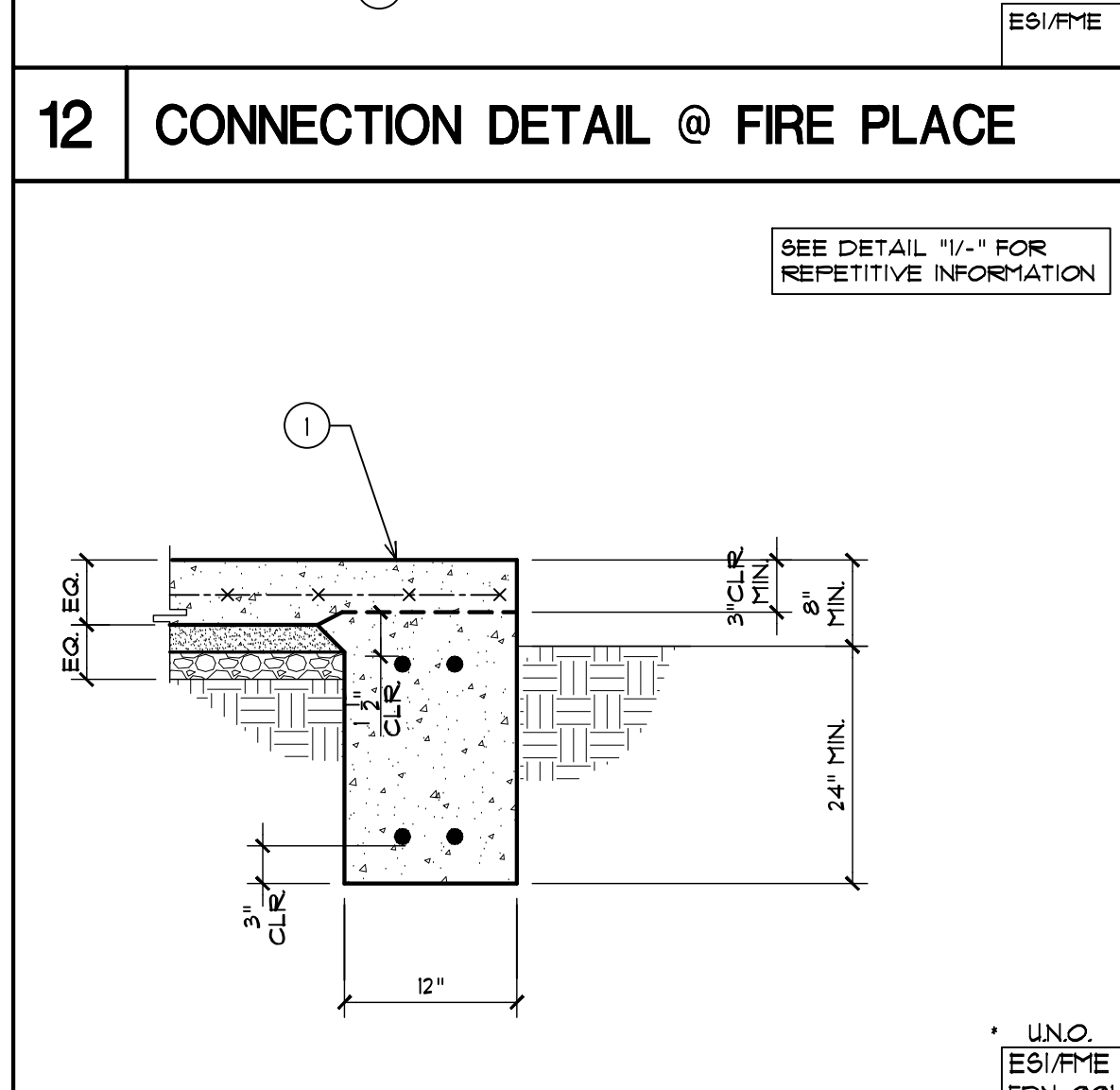
12 CONNECTION DETAIL @ FIRE PLACE



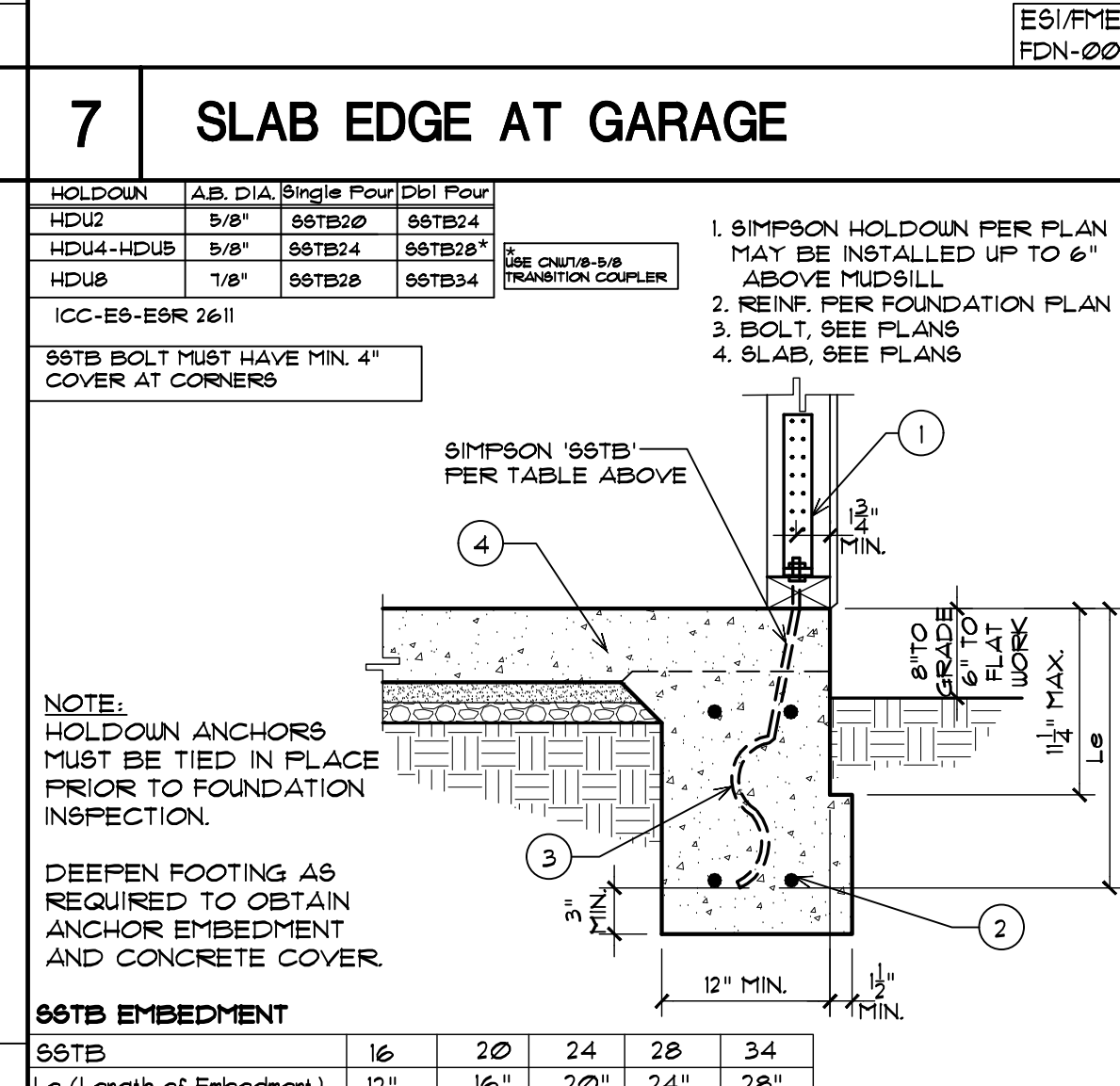
7 SLAB EDGE AT GARAGE



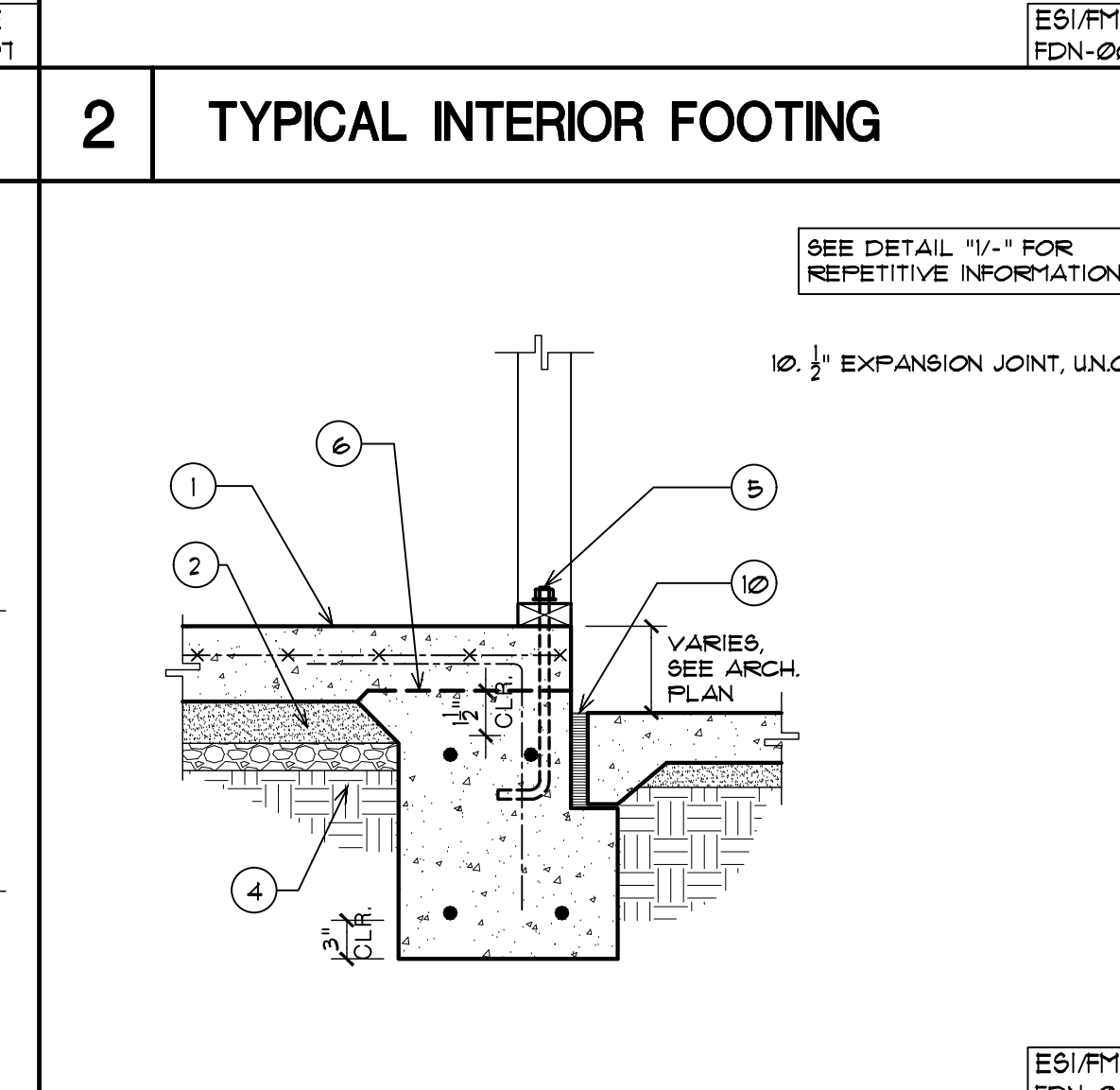
2 TYPICAL INTERIOR FOOTING



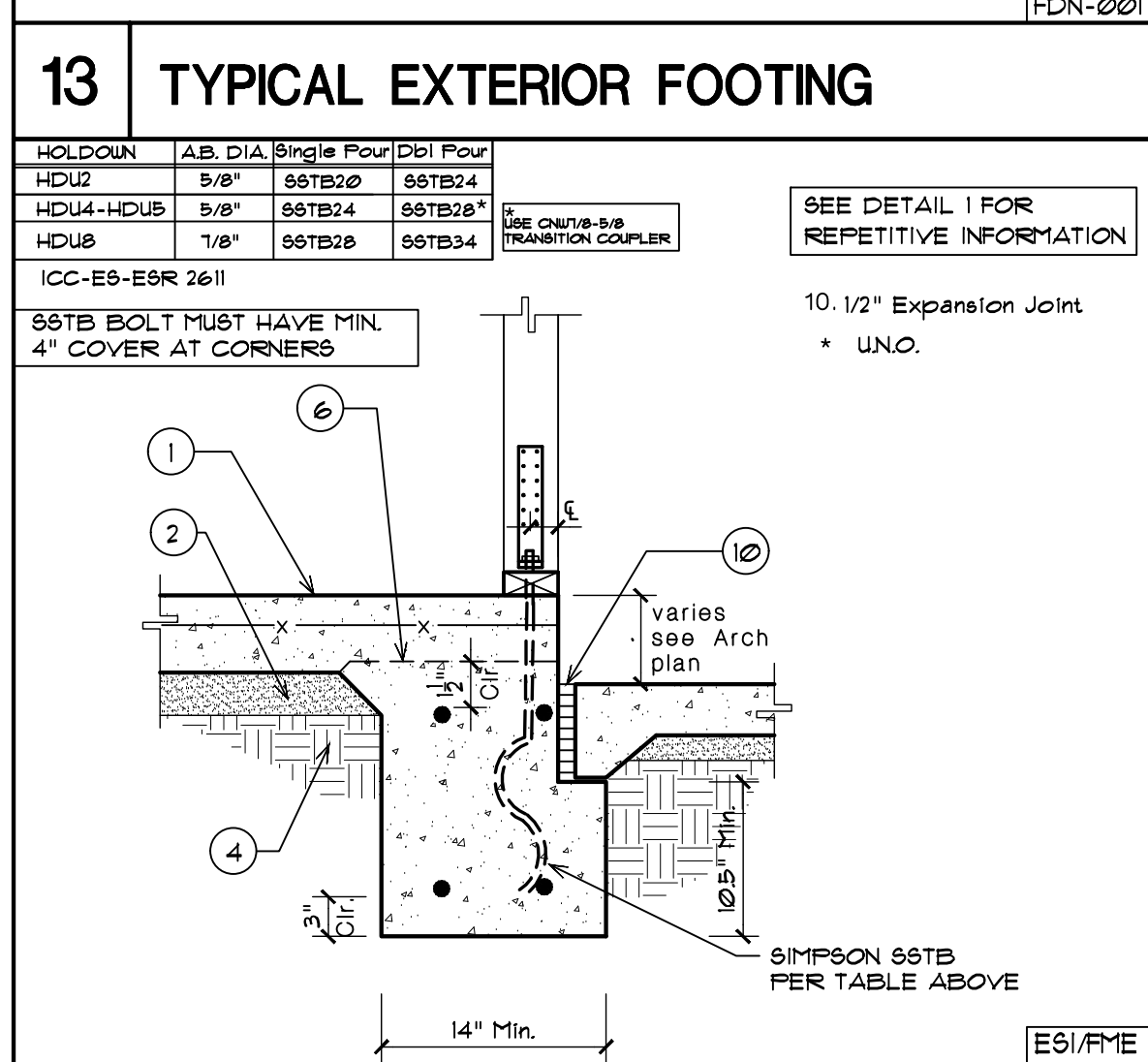
13 TYPICAL EXTERIOR FOOTING



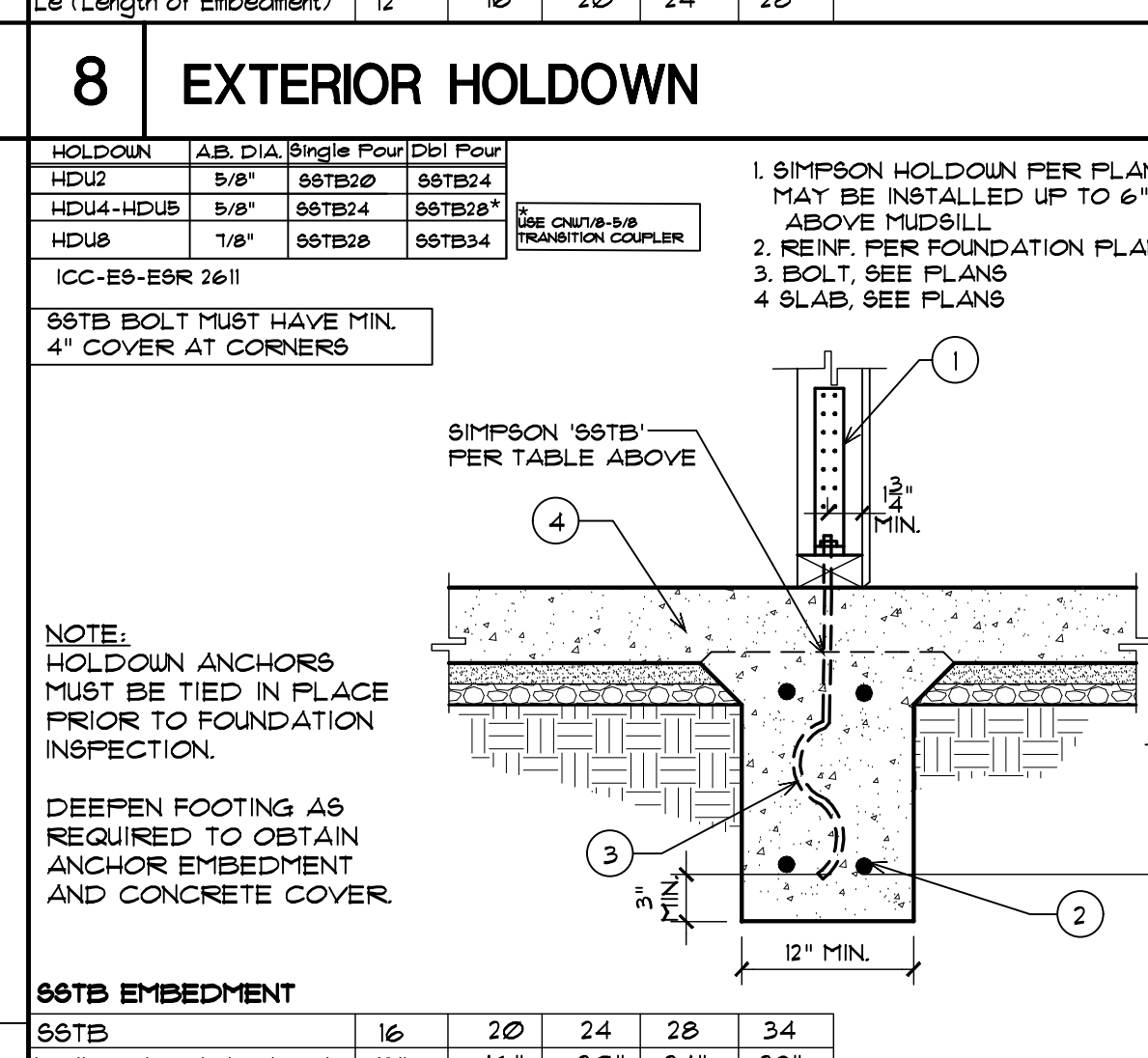
8 EXTERIOR HOLDOWN



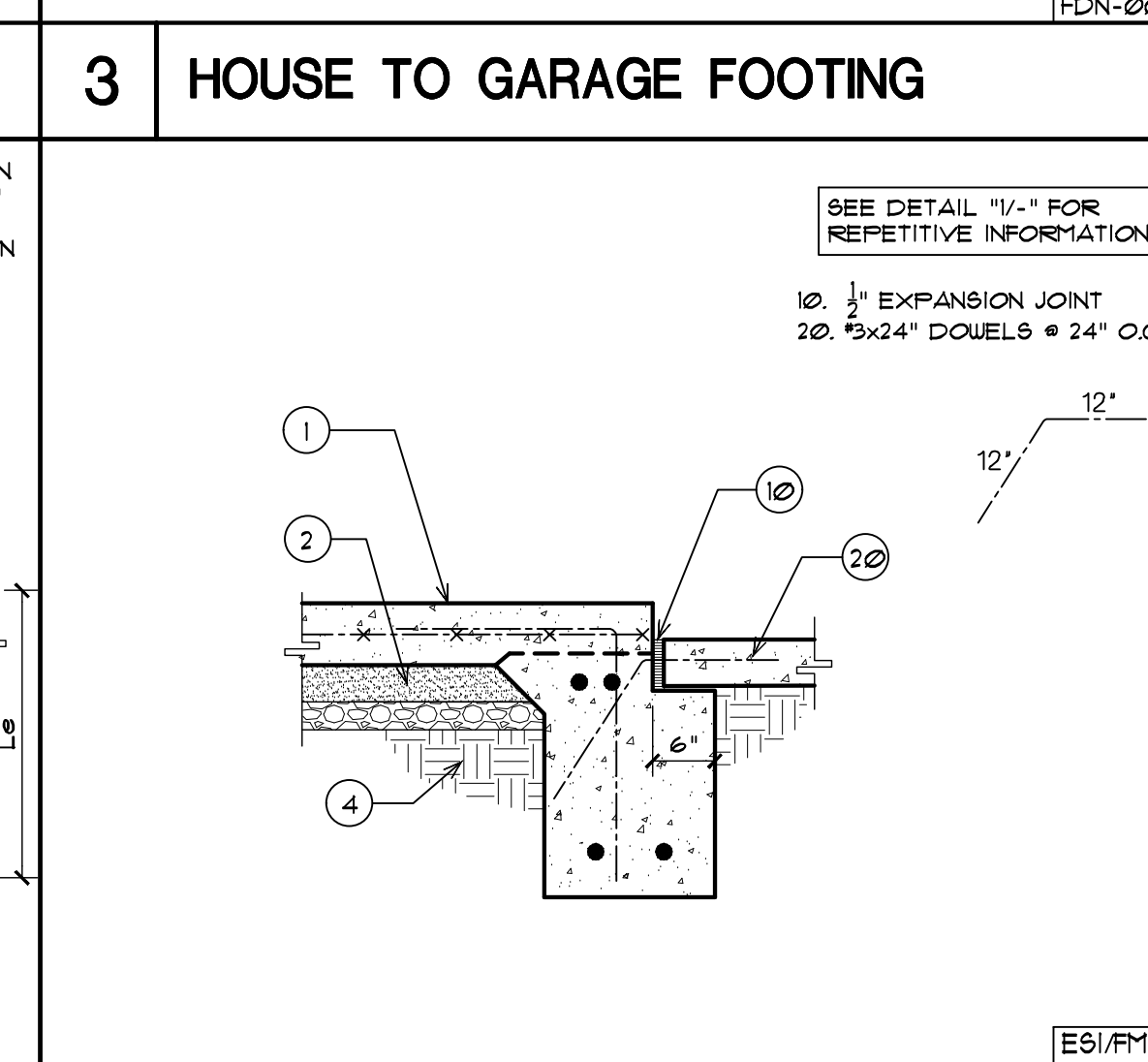
3 HOUSE TO GARAGE FOOTING



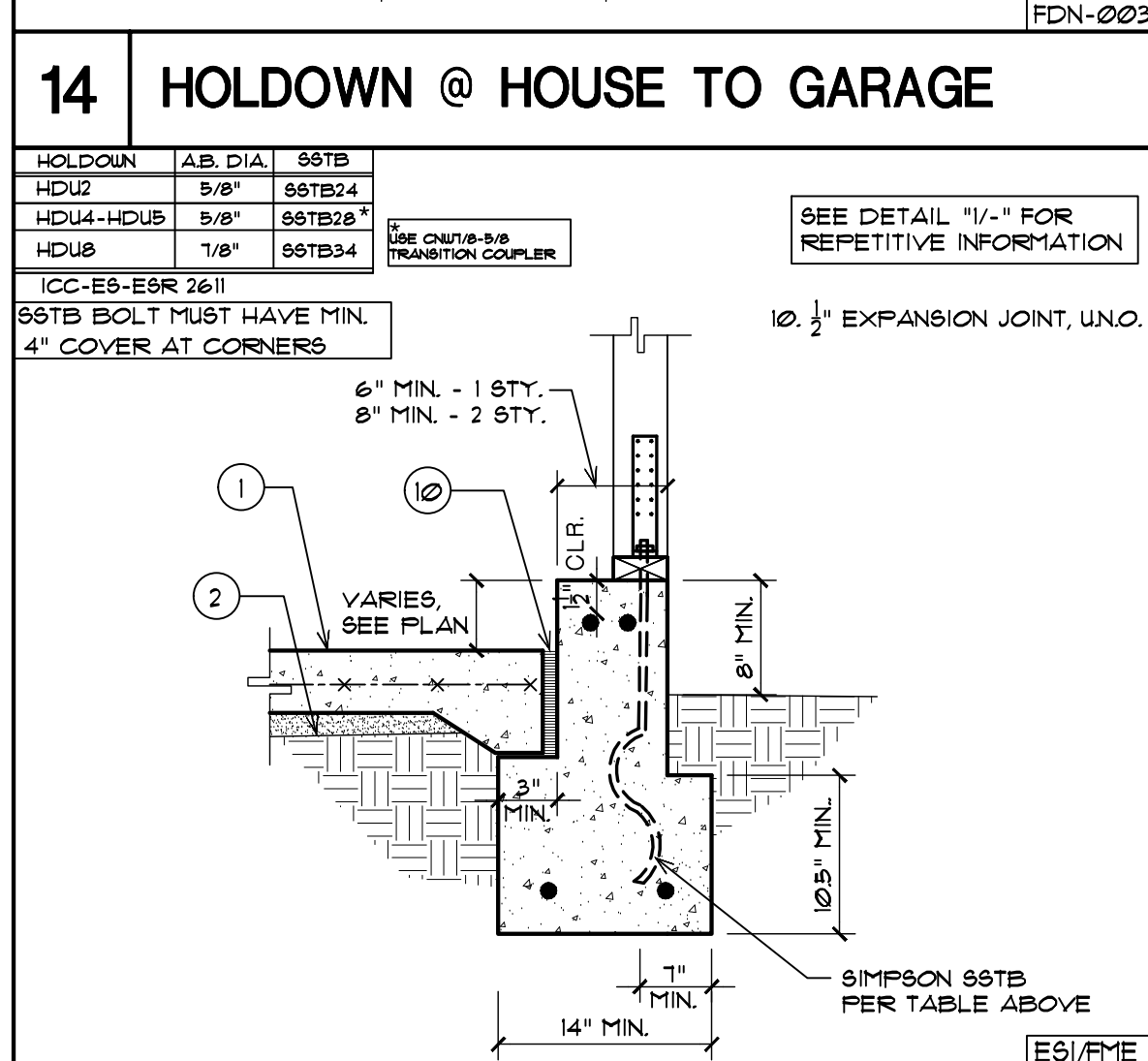
14 HOLDOWN @ HOUSE TO GARAGE



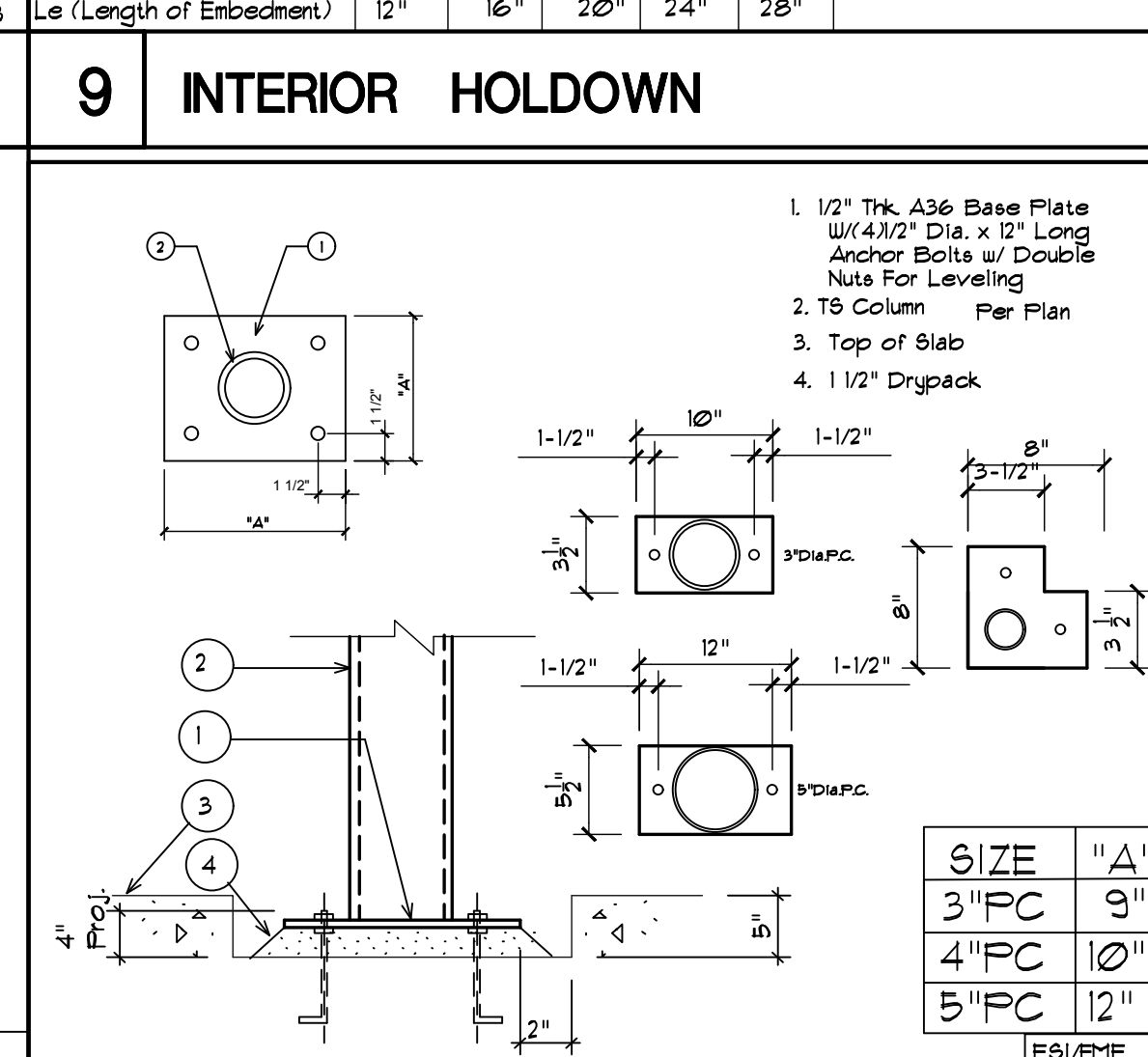
9 INTERIOR HOLDOWN



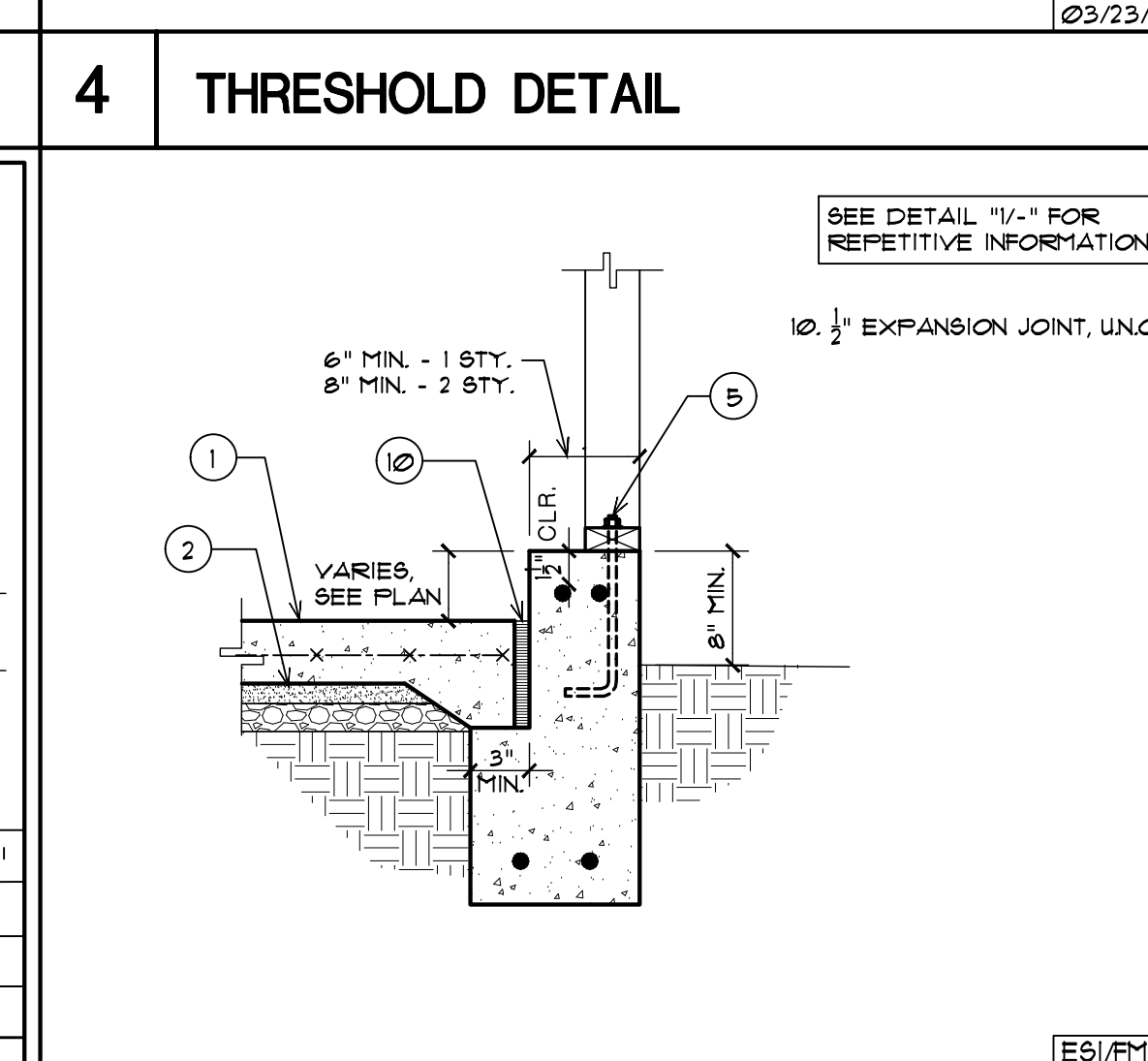
4 THRESHOLD DETAIL



15 HOLDOWN @ GARAGE EXTERIOR



10 STEEL COLUMN CONNECTION



5 EXTERIOR GARAGE FOOTING

PROJECT NAME
LOT 3, CHANNEL PLACE

STATUS
FIRST SUBMITTAL

ES/FME INC.
STRUCTURAL ENGINEERS
1800 E. 18TH ST. STE B
NEWPORT BEACH, CA 92663
PHONE: 714-552-2800
FAX: 714-552-2819
NCE 0038 02/07/15

REGISTERED PROFESSIONAL ENGINEER
ANDREW PATTERSON
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663
92663

CLIENT INFORMATION:
ANDREW PATTERSON
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663
92663

LOT 3, CHANNEL PLACE
3904 CHANNEL PLACE
NEWPORT BEACH, CA 92663

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FOUNDATIONS
DETAILS

REVISIONS
NO. REVISION DATE

JOB NO. H308
PLOT DATE 09/10/2018
SHEET NO.

FD1

STRUCTURAL GENERAL NOTES

GENERAL REQUIREMENTS

1. CONSTRUCTION SHALL BE IN CONFORMITY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
2. UPON INSPECTION, THE CONTRACTOR SHALL EXAMINE THE PROJECT SITE & SHALL VERIFY ALL DIMENSIONS, LOCATIONS & ELEVATIONS OF THE EXISTING CONSTRUCTION. THE CONTRACTOR SHALL ALSO DILIGENTLY INVESTIGATE THE SITE FOR THE POSSIBLE EXISTENCE & LOCATION OF UNDERGROUND UTILITIES, PRIOR TO EXCAVATING ANY MATERIAL AND/OR COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO BE "PMA CONSULTING, INC." HEREINAFTER CALLED "THE ENGINEER".
3. CONTRACTOR SHALL PROVIDE BARRICADES AND PEDESTRIAN PROTECTION AS REQUIRED BY STATE AND LOCAL CODES.
4. CONTRACTOR SHALL CONSULT REPRESENTATIVES OF CITY AND UTILITY COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING TO SEWER, PIPING OR WIRING, ETC., AND REPORT ANY PROBLEMS TO THE ENGINEER.
5. CONTRACTOR SHALL FULLY PROTECT ALL ADJACENT PROPERTIES BEFORE COMMENCING ANY WORK.
6. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
7. CONTRACTOR SHALL INSTALL ALL NECESSARY SAFETY BEFORE THE START OF JOB.
8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
9. TYPICAL DETAILS SHOWN SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN. WHERE A TYPICAL DETAIL SECTION, TYPICAL SECTION OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
10. DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS. DETAILED DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER GENERAL DRAWINGS AND SPECIFICATIONS.
11. WRITTEN DIMENSIONS (NOT SCALED DIMENSIONS) SHALL BE USED.
12. TEMPORARY ERECTION BRACING AND SHORING SHALL BE PROVIDED AS REQUIRED ON ALL STRUCTURES, ADEQUATE TO PROVIDE FULL STRUCTURAL STABILITY AND SAFETY BRACING AND SHORING SHALL BE PROVIDED TO ALL ELEMENTS FULLY CONNECTED AND ARE CAPABLE OF SUPPORTING THE DESIGN LOADING.
13. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL PROTECT PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
14. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO UNDERMINE ANY ADJACENT STRUCTURES DURING THE COURSE OF CONSTRUCTION.
15. CLEAN UP: NO PAINT, ASPHALT, GEMENT, OIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER THE BAY, STREETS, GUTTERS OR STORM DRAINS, ALL MATERIALS & WASTE SHALL BE REMOVED FROM THE SITE, NBMC 17.32.020.
16. DEMOLITION: ALL MATERIAL FROM THE EXISTING BULKHEAD THAT IS NOT USED AS FILL SHALL BE REMOVED FROM THE SITE & DISPOSED OF IN AN OFFICIAL DUMP SITE.
17. SEE THE LATEST "GENERAL GRADING SPECIFICATIONS" OF THE BUILDING DEPARTMENT FOR THE CITY'S: GENERAL NOTES, EROSION CONTROLS, REQUIRED INSPECTIONS, GRADING FILLS/CUTS & ALL NECESSARY DOCUMENTATION.
18. POST AND SIGNATURES, PAID TO OVERT AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
19. ALL A.S.T.M. SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE A.S.T.M.
20. THE CONTRACTOR WANTS TO THE CITY ENGINEER SHALL NOT BE CONSTRUED AS ANY INSPECTION AS REQUIRED BY CODE.

FOUNDATIONS

1. THE CONTRACTOR SHALL ESTABLISH ALL CONSTRUCTION LINES AND PROCEED WITH THE EXCAVATION OF ALL FOOTINGS AS CALLED FOR ON THE DRAWINGS.
2. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED UNIFORM EARTH OR ENGINEERED FILL.
3. NO REINFORCING STEEL AND NO CONCRETE SHALL BE PLACED IN ANY EXCAVATION PRIOR TO APPROVAL BY THE BUILDING DEPARTMENT.
4. THE TOP OF ALL EXCAVATIONS SHALL BE PROTECTED AGAINST HEAVY SURCHARGE LOADING AND EROSION FROM EXCESSIVE DRAINAGE DUE TO RAINFALL OR SURFACE RUN-OFF DURING THE ENTIRE CONSTRUCTION PERIOD.
5. THE SOILS REPORT DESCRIBED UNDER ITEMS No.7 BELOW SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN THE SOILS REPORT AND COMPLY WITH ALL RECOMMENDATIONS THEREIN.
6. PAD PREPARATION SHALL BE IN ACCORDANCE WITH THE SOILS REPORT. THE PAD SHALL BE INSPECTED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING ANY CONCRETE. THE PAD SHALL BE KEPT MOIST PRIOR TO THE PLACING OF CONCRETE.
7. FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT ON FILE WITH THE BUILDING DEPARTMENT.

SOILS REPORT PREPARED BY:..... COAST GEOTECHNICAL,
ADDRESS: 1200 WEST COMMONWEALTH
..... FULLERTON, CA 92833

PHONE NUMBER:(714) 870-1211
FAX NUMBER:(714) 870-1222

SOILS REPORT DATE:08/01/18
SOILS REPORT NUMBER:W.O. 557118-01

GRADING NOTES

1. THE ANTICIPATED TOTAL VOLUME OF CUT AND FILL FOR SEAWALL CONSTRUCTION ON THIS PROJECT WILL BE GREATER THAN 50 CUBIC YARDS. THUS, GRADING PERMIT IS REQUIRED. SEE ITEM 2 BELOW.
2. WHEN EROSION CONTROL PLANS ARE REQUIRED, IF NO GRADING IS ADDRESSED ON THE PLANS - SEE THE CITY & ARCHITECTURAL PLANS FOR THE FINISH GRADING ON THE SHORE SIDE OF THE BULKHEAD.
3. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CITY ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
4. A GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CITY ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
5. THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT & APPROVE ALL AREAS PRIOR TO THE PLACEMENT OF ANY FILL.
6. ALL FILLS SHALL BE INSPECTED, TESTED & APPROVED BY THE GEOTECHNICAL ENGINEER VERIFYING MINIMUM OF 90% REQUIRED RELATIVE COMPACTION AS WELL AS PROXIMITY.
7. ALL EXCAVATIONS FOR ANCHORS SHALL BE INSPECTED & APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
8. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
9. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
10. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE DAILY RAINFALL PROBABILITY OF RAIN EXCEEDS 30 PERCENT, DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT. SEE DETAILS N & T ON SHEET 50.
11. LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND A CERTIFICATE OF CONFORMANCE RECEIVED BY THE CITY GRADING ENGINEER PRIOR TO CLOSURE OF PERMIT, UNLESS WAIVED BY THE CITY GRADING ENGINEER.
12. DETENTION BASINS, IF ANY, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
13. DATUM: ALL ELEVATIONS ARE BASED ON MLLW AND/OR NAVD88 DATUM.

BACKFILLING & COMPACTION NOTES

1. ALL BACKFILL SHALL CONFORM TO THE SOILS ENGINEER'S REPORT AND RECOMMENDATIONS.
2. UTILITY TRENCH BACKFILL AND ANY OTHER BACKFILL MUST BE MECHANICALLY COMPACTED, JETTING AND FLOODING SHALL NOT BE PERMITTED.
3. WHERE WALLS ARE BACKFILLED ON ONE SIDE ONLY, PROVIDE SHORING OR OTHER APPROVED MEANS OF LATERAL SUPPORT UNTIL RESISTING ELEMENTS ARE ALL IN PLACE AND HAVE ATTAINED THEIR REQUIRED STRENGTHS. RESISTING ELEMENTS SHALL BE CONSTRUCTED SUCH THAT SOILS BEHIND THEM WILL BE FULLY COMPACTED.
4. UNLESS NOTED OTHERWISE IN THE SOILS REPORT, ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE REQUIREMENTS OF THE CBC APPENDIX SECTION 331.3.
5. FILL COMPACTED SOIL SHALL BE NON-SERIES NONWOVEN POLYPROPYLENE GEOTEXTILE AS MANUFACTURED BY "TC MIRAFI COMPANY" AND SHALL BE MINIMUM 2.0' WIDE AND BE PLACED ON THE INSIDE FACE OF THE BULKHEAD EXTENDED EQUALLY FROM THE JOINT TO (2.0') BELOW THE FINAL MUDLINE FOR THE ENTIRE HEIGHT OF THE BULKHEAD.
6. COMPACTION REPORT MUST BE SUBMITTED TO AND BE APPROVED BY THE BUILDING DEPARTMENT BEFORE FOUNDATION INSPECTION.
7. THE FINAL COMPACTION REPORT OF COMPACTION & APPROVAL SHALL BE PREPARED BY THE PROJECT GEOTECHNICAL ENGINEER & SUBMITTED FOR BUILDING DEPARTMENT REVIEW AT THE TIME OF THE COMPLETION OF THE FOUNDATION.
8. COMPACT SOIL TO THE REQUIRED RELATIVE DENSITIES PER ASTM 155-91. DO NOT USE HEAVY COMPACTION EQUIPMENT WITHIN 20 FEET OF THE BULKHEAD.
9. ONCE THE CONCRETE AND AC PAVEMENT HAS BEEN LAYED AND FINISHED, IT PROVIDED IT DOES NOT EXCEED 8" INCHES IN SIZE & NOT CRACKED, LAYERED OR PLACED ABOVE ELEVATION +7.0' & IS APPROVED BY THE GEOTECHNICAL ENGINEER.

STEEL

4. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO A.S.T.M. A572 GRADE 50 OR A992 WITH $F_y = 50$ KSI.
5. STEEL BOLTS AND OTHER STEEL PIPE STRUCTURAL MEMBERS SHALL CONFORM TO A.S.T.M. A53, GRADE B.
6. STRUCTURAL STEEL TUBING SHALL CONFORM TO A.S.T.M. A500, GRADE B, $F_y = 46$ KSI.
7. BOLTS SHALL CONFORM TO A.S.T.M. A307, UNLESS NOTED OTHERWISE, WHERE HIGH STRENGTH (H.S.) BOLTS ARE SPECIFIED, THEY SHALL BE MINIMUM 3/4" DIAMETER AND CONFORM TO A.S.T.M. A325 SC CLASS A UNLESS NOTED OTHERWISE ON THE PLANS. THE INSTALLATION OF H.S. BOLTS SHALL BE INSPECTED BY A REGISTERED DEPUTY INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.
8. ALL BOLTS HOLES IN STEEL MEMBERS SHALL BE STANDARD HOLES, U.N.O.
9. STRUCTURAL STEEL "NELSON" STUDS SHALL BE MANUFACTURED FROM C1015, C1017 AND C1020 COLD DRAWN STEEL CONFORMING TO A.S.T.M. A108-58T.
10. LIGHT GAUGE STEEL MEMBERS SHALL CONFORM TO A.S.T.M. STANDARDS AS FOLLOWS:
 - A) FOR 18 GA. THICK AND LIGHTER STEEL : A446, GRADE A (GALVANIZED) OR A570, GRADE 33 OR A611, GRADE C - ALL HAVING MINIMUM OF 33 KSI YIELD STRENGTH.
 - B) FOR 16 GA. THICK AND HEAVIER STEEL : A446, GRADE D (GALVANIZED) OR A570, GRADE 50 OR A607, GRADE 50 - ALL HAVING MINIMUM OF 50 KSI YIELD STRENGTH.
11. FABRICATION AND ERECTION SHALL CONFORM TO THE 14th EDITION OF A.I.S.C. SPECIFICATIONS.
12. ALL BOLTS, FOR BOLTS IN STRUCTURAL STEEL SHALL BE DRILLED OR PUNCHED. BURNING OF HOLES SHALL NOT BE PERMITTED.
13. ALL STEEL SHALL BE STEELSS, HOT DIP GALVANIZED OR EPOXY COATED.

WELDING

1. ALL WELDING SHALL BE DONE USING THE SHIELDED ELECTRIC ARC PROCESS BY CERTIFIED WELDERS, USING E70XX ELECTRODES.
2. WELDING OF STEEL REINFORCING BARS SHALL BE DONE WITH LOW HYDROGEN ELECTRODES, A233, CLASS E70XX SERIES.
3. WELDS REQUIRING CONTINUOUS OR PERIODIC SPECIAL INSPECTION NEED NOT HAVE SURVEILLANCE INSPECTION WELDS DONE IN AN APPROVED FABRICATOR'S SHOP. HOWEVER, THE APPROVED FABRICATOR MUST SUBMIT A CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH THE SECTION 1704.2.2 OF THE CBC.
4. SPECIAL INSPECTION IS REQUIRED FOR ALL FIELD WELDINGS.

CONCRETE

1. ALL CONCRETE MIX DESIGNS, CONFORMING TO CBC CHAPTER 19, SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE ANY CONCRETE IS PLACED. ALL CONCRETE MIXES SHALL HAVE A MINIMUM CEMENT CONTENT OF 6.0 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE. ALL CONCRETE SHALL BE CERTIFIED BY A CONCRETE TESTING LABORATORY AND SIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI AND A MIN. WATER-TO-CEMENT RATIO OF .45.
3. CONCRETE SHALL HAVE THE SAME COMPRESSIVE STRENGTH AS THE OTHER CONCRETE AND SHALL BE A SUITABLE MIX CONSISTING OF PEA GRAVEL, SAND, CEMENT AND WATER. MAXIMUM SLUMP SHALL BE 5 INCHES. AN APPROVED SUPERPLASTICIZING ADMIXTURE MAY BE ADDED TO INCREASE THE SLUMP TO MAXIMUM SLUMP OF 8 INCHES. FOR GRAVEL COVER SIZE OF 3/4" OR SMALLER, BASE PLATES SHALL BE "RAPID-SET OR "FIVE STAR GROUT" OR APPROVED EQUAL.
4. CONCRETE SHALL BE DESIGNED FOR PERMEABILITY, STRENGTH, CHEMICAL STABILITY AND ABRASION RESISTANCE, APPROPRIATE FOR ITS APPLICATION. PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 TYPE I OR TYPE II MODIFIED, AND LOW ALKALI. ALL CONCRETE COMPOSITIONS SHALL BE DESIGNED TO PREVENT CORROSION AND TO LIMIT CORROSION OF INTERNAL REINFORCING MAY BE USED. AIR ENTRAINMENT ADMIXTURES SHALL CONFORM TO ASTM C 260. COARSE AND FINE AGGREGATE SHALL CONFORM TO ASTM C 33, AND ASTM C 332. WHEN LIGHTWEIGHT AGGREGATES ARE USED, LIGHTWEIGHT AGGREGATE, IF USED, SHALL CONSIST OF EXPANDED AND COATED SAND OR EQUIVALENT MATERIAL. ALL CONCRETE SHALL MEET THE STRENGTH AND DURABILITY TO PROVIDE CONCRETE OF THE REQUIRED STRENGTH.
5. CONCRETE TEST SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH A.S.T.M. AND CBC STANDARDS. RESULTS OF THE 7 & 28 DAY TESTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SUBMITTALS OF CONCRETE TEST SAMPLES AND MUST ALSO BE REPORTED. ADDITIONALLY, ALL LIGHT WEIGHT CONCRETE SAMPLES MUST HAVE THEIR IN-PLACE DENSITIES DETERMINED AND REPORTED.
6. SIDES OF FOOTING PADS MAY BE POURED AGAINST STABLE EARTH.
7. FOR CONCRETE, WHERE SPECIFIED OR USED, SHALL HAVE A MINIMUM CEMENT CONTENT OF 1.1 SACKS OF CEMENT PER CUBIC YARD OF MIX.
8. SEE ARCHITECTURAL NOTES FOR COLORED OR TEXTURED CONCRETE.
9. CONCRETE FORM WORK TOLERANCES SHALL BE IN ACCORDANCE WITH CBC AND A.C.I. STANDARDS.
10. ALL REBAR REINFORCING, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR, PRIOR TO THE PLACING OF ANY CONCRETE.
11. ALL NECESSARY BRACES, STRONGBACKS, PICK-UP INSERTS, BOLTS, ETC., FOR PRECAST CONCRETE PANELS SHALL BE DESIGNED BY OTHERS FOR SAFE ERECTION OF THE PANELS.
12. NO CALCIUM CHLORIDE SHALL NOT BE USED IN ANY CONCRETE.
13. ALL CONCRETE TO BE CURED FOR A MINIMUM OF 3 DAYS BY A METHOD ACCEPTABLE TO THE ENGINEER. FORMS MAY BE REMOVED 30 MIN. AFTER THE CONCRETE HAS ATTAINED MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
14. CHAMFER EXPOSED CORNERS 3/4" U.N.O.

REINFORCING STEEL

1. FOR STRUCTURES EXPOSED TO SALT WATER SPLASH OR IMMERSION, REBAR REINFORCEMENT SHALL CONFORM TO ASTM A 706, UNLESS NOTED OTHERWISE ON THE CONTRACT. REBAR SHALL BE EPOXY COATED CONFORMING TO ASTM A 854, AFTER BENDING OF THE REBARS, WELDED WIRE MESH SHALL CONFORM TO ASTM A 185 AND SHALL BE EPOXY COATED CONFORMING TO ASTM A 884, WITH ALL VISIBLE DEFECTS AND CUTS REMOVED. REINFORCING STEEL SHALL BE EITHER EPOXY COATED STEEL, OR A 316 STAINLESS STEEL.
2. REINFORCEMENT MARKED CONTINUOUS MAY BE SPLICED BY LAPPING 42 BAR DIAMETERS IN CONCRETE AND 48 BAR DIAMETERS IN MASONRY WITH 24 INCH LAPS IN EACH CASE, UNLESS NOTED OTHERWISE ON PLANS. ALL SPLICES WHEN DETAILED SHALL BE LOCATED WHERE SHOWN ON PLANS.
3. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND SECURED IN POSITION TO WITHSTAND CONCRETE CURBS, CHAIRS, SPACERS, ETC., AND WIRE TIES BEFORE PLACING ANY CONCRETE.
4. ADDITIONAL REINFORCING REQUIRED FOR ERECTION OF PRECAST CONCRETE PANELS SHALL BE ADDED PER THE CONTRACTOR'S DETAILS.
5. MINIMUM COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - A) CONCRETE BELOW GRADE OR IN CONTACT WITH SOIL: WHEN CAST AGAINST EARTH 3", WHEN FORMED 2"
 - B) WALLS ABOVE GRADE EXTERIOR FACE 1 1/2", INTERIOR FACE 1"
 - C) PRECAST CONCRETE ELEMENTS AS DETAILED
 - D) CONCRETE SLAB ON GRADE: REINFORCING STEEL AT CENTER OF SLAB, UNLESS NOTED OTHERWISE
6. REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH CBC SECTION 1907. REINFORCING STEEL SHALL BE MINIMUM 16 GAUGE, BLACK ANNEALED, CONFORMING TO A.S.T.M. A782
7. ALL REINFORCING BARS SHALL BE FREE OF RUST, GREASE OR OTHER MATERIAL.
8. ALL BENDS IN REINFORCING SHALL BE COLD BENDS.

NAILING AND FASTENERS

1. ALL NAILS AND FASTENERS SHALL BE CORROSION RESISTANT MEETING ASTM A153 CLASS D, HOT DIP GALVANIZED AND BE ACRYLIC ADHESIVE OR THERMAL PLASMA RESIN IN THE FINISH MEMBER COATED.
2. ALL NAILS SHALL BE 16d (0.148" DIAMETER) HELICAL THREAD NAILS, WITH MINIMUM BENDING YIELD STRENGTH OF $F_y = 90,000$ PSI, U.N.O.
3. NAILING OTHER THAN ROOF OR FLOOR DIAPHRAGM SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE CBC.
4. NAILS FOR ROOF AND FLOOR SHEATHING SHALL HAVE A MIN OF 1/2" PENETRATION INTO THE FINISHING MEMBER COATED.
5. ALL HARDWARE SHALL BE CORROSION-RESISTANT COMPLYING WITH HDG G18/ FINISH AND BE MANUFACTURED BY "SIMPSON STRONG-TIE CO., INC." (OR APPROVED EQUAL), AND SHALL HAVE A VALID ICC NUMBER ON THE PRODUCT, ANY DEVIATION FROM THE APPROVED PRODUCTS MUST BE APPROVED BY THE BUILDING DEPARTMENT AND THE INSPECTOR.
6. ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. BLIND NAILING SHALL NOT BE ACCEPTABLE AND WILL BE REJECTED.
7. WHERE MECHANICAL OR ADHESIVE ANCHORS/DOWELS ARE INDICATED ON DRAWINGS:
 - A) MECHANICAL ANCHORS SHALL BE STAINLESS STEEL HILTI KWIK BOLT K8-TZ AND BE INSTALLED IN ACCORDANCE WITH ICC ESR-1917
 - B) ADHESIVE ANCHORS SHALL BE HILTI STAINLESS STEEL "HIT-HY 200 MAX-SD" ADHESIVE INSTALLED IN ACCORDANCE WITH ICC ESR-3187 OR STAINLESS STEEL SIMPSON STRONG-TIE "SET-UP EPOXY" ADHESIVE INSTALLED IN ACCORDANCE WITH ICC ESR-1508.
 - C) HOLES SHALL BE DRILLED WITH NON-REBAR-CUTTING DRILL BITS.
 - D) CONTINUOUS INSPECTION IS REQUIRED FOR THE INSTALLATION OF THE ALL ANCHORS/DOWELS BY A REGISTERED SPECIAL INSPECTOR APPROVED BY THE BUILDING DEPARTMENT. THE INSPECTOR SHALL VERIFY THE INSTALLATION OF ANCHORS/DOWELS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS INCLUDING CLEANLINESS OF DRILL HOLES AND PROPER EMBEDMENT.
 - E) UNLESS NOTED OTHERWISE ON THE DRAWINGS, USE MINIMUM 5/8" DIAMETER AT 24" ON CENTER WITH A MINIMUM OF 5" EMBEDMENT.

ANCHOR RODS

1. ANCHOR RODS/TIE-RODS SHALL CONFORM TO A.S.T.M. A722-95 GR 150 TYPE II THREADED REBAR AS MANUFACTURED BY DYWIDAG-SYSTEMS INTERNATIONAL (DSI) WITH DOUBLE CORROSION PROTECTION.
2. ROD TENSIONING: AFTER BACKFILLING & COMPACTING TO TOP OF ANCHOR BEAM, TENSION RODS TO 1,000#. COMPLETE BACKFILL & COMPACTION TO ROUGH GRADE & TENSION RODS TO 5,000#.

GENERAL SPECIAL INSPECTIONS

- PERIODIC (NON-CONTINUOUS) OR CONTINUOUS SPECIAL INSPECTION BY A CITY
CERTIFIED DEPUTY INSPECTOR IS REQUIRED FOR THE FOLLOWING:
- (A) SITE CONCRETE WORK (CONCRETE AND REINFORCEMENT) NON-CONTINUOUS,
(B) INSPECTION OF PILES FOR LENGTH & DAMAGE NON-CONTINUOUS,
(C) T & G LOGGING OF COLUMNS NON-CONTINUOUS,
(D) ANCHOR ROD TENSIONING NON-CONTINUOUS,
(E) GROUTING OF PVC SLEEVES NON-CONTINUOUS,
(F) PILING INSTALLATION NON-CONTINUOUS,
(G) SHELL CORROSION ALLIGATION IN ACCORDANCE WITH
SECTION 2.4.2. OF ICC ER-2794 NON-CONTINUOUS,
SPECIAL INSPECTION IS REQUIRED FOR SEAWALL PANEL CONCRETE IF NOT CAST
IN A CERTIFIED FORM.
2. SPECIAL INSPECTIONS ARE REQUIRED FOR THE INSTALLATION OF
ANCHOR BOLTS, ADHESIVE ANCHOR BOLTS, ADHESIVE DOWELS AND
MECHANICAL ANCHORS IN ALL CONCRETE AND MASONRY WORKS.
3. SPECIAL INSPECTION SHALL BE CONDUCTED BY A REGISTERED DEPUTY
(SPECIAL) INSPECTORS, APPROVED BY THE BUILDING DEPARTMENT ONLY,
HIRED AND PAID FOR BY THE OWNER.
4. SITE VISITS CONDUCTED BY THE ENGINEER ARE MERELY FOR OBSERVATION
PURPOSE ONLY AND DO NOT CONSTITUTE AN INSPECTION.
5. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL
INSPECTION AGREEMENT MUST BE SUBMITTED TO THE PERMIT SERVICES
DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
6. THE DEPTH OF THE SEAWALL EMBEDMENT INTO THE GROUND
SHALL BE AS SHOWN ON ELEVATIONS ON (S-1) AND MUST BE ACCURATELY
MEASURED BY THE DEPUTY INSPECTOR. A COPY OF THE MEASUREMENT MUST BE
SUBMITTED TO THE CITY & THE ENGINEER OF RECORD.
7. INSPECTION IS REQUIRED FOR ALL CONCRETE AND MASONRY
CONSTRUCTION, INCLUDING REINFORCING STEEL.

CONCRETE REPAIR

AFTER THE REINFORCING OF THE EXISTING SEAWALL IS COMPLETED IN COMPLIANCE WITH THE REQUIREMENTS AS SHOWN ON THIS SET OF DRAWINGS, IT IS RECOMMENDED THAT THE OWNER SHALL HIRE A COMPANY SPECIALIZING IN STRUCTURAL PRESERVATION TO FIX THE CURRENT CRACKS, WHERE OCCUR, AT THE EXISTING CONCRETE WALL.

ABBREVIATIONS

A.B.	ANCHOR BOLT	DN	DOWN	HT	HEIGHT
A.C.	ASPHALT CONCRETE	DP	DEEP	H.S.	HIGH STRENGTH
A.C.P.	AIR CONDITIONING	D.S.	DOWNSPOUT	HVAC	HEATING/VENTILATING & AIR CONDITIONING
A.C.P.	ASPHALT CONCRETE PAVING	D.R.	DRAINAGES		
ADD	ADDITIONAL	(E)	EXISTING	IN	INCH
A.F.F.	ABOVE FINISH FLOOR	E.A.	EACH	INFO	INFORMATION
AL	ALUMINUM	E.E.	EACH FACE	INT	INTERIOR
ALT	ALTERNATE	ELEC	ELECTRICAL	J.B.	JOIST BEARING
ANOD	ANODIZED	ELEV	ELEVATION	J.G.	JOIST GIRDER
ARCHT	ARCHITECTURAL	EMBED	EMBEDMENT, EMBEDDED	JOIST	JOIST
B.C.	BOTTOM OF BEAM	EN	EDGE NAILING	JOINT	JOINT
BET	BETWEEN	E.Q.	EQUAL	K.O.	KNOCK OUT
BLDG	BUILDING	E.S.	EACH SIDE	L	ANGLE
BLKG	BLOCKING	E.W.	EACH WAY	LAT	LATERAL
B.N.	BEAM	EXST	EXISTING	LEDG	LEDGER
B.N.	BOUNDARY NAILING	EXP	EXPANSION	LG	LONG
BOT	BOTTOM	EXT	EXTERIOR	LLH	LONG LEG HORIZONTAL
B.W.	BOTTOM OF WALL	F.D.	FLOOR DRAIN	LLV	LONG LEG VERTICAL
C	CHANNEL	F.F.	FOUNDATION	LONGIT	LONGITUDINAL
CANT	CANTILEVER	F.F.	FINISH FLOOR	LP	LOW POINT
C.G.	CENTER OF GRAVITY	F.G.	FINISH GRADE	L.T.	LIGHT
C.J.	CONSTRUCTION JOINT OR CEILING JOIST	F.I.	FINISH	MATL	MATERIAL
CL	CENTER LINE	F.J.	FLOOR JOIST	MAX	MAXIMUM
CLG	CEILING	FL	FLANGE	M.B.	MACHINE BOLT
CLR	CLEAR	FLR	FLOOR	MATL	MATERIAL
C.M.U.	CONCRETE MASONRY UNIT	F.O.C.	FACE OF CONCRETE	MAX	MAXIMUM
COL	COLUMN	F.O.M.	FACE OF MASONRY	M.B.	MACHINE BOLT
COMP	COMPOSITION	F.O.S.	FACE OF STUD	MECH	MECHANICAL
CONC	CONCRETE	F.N.	FIELD NAILING	MEZZ	MEZZANINE
CONN	CONNECTION	F.S.	FACE SIDE	MF	MANUFACTURED
CONT	CONTINUOUS	FT	FEET OR FOOT	MFR	MANUFACTURER
CONT	CONSTRUCTION	F.T.	FOOTING	MIN	MINIMUM
CORR	CORRIDOR	GALV	GALVANIZED	MISC	MISCELLANEOUS
CTR	CENTER	GA	GAUGE	M.F.O.	METAL FRAME OPENING
DEL	DOUBLE	G.I.	GALVANIZED IRON	M.B.	MICROCLAM BEAM
DET	DETAIL	GLB	GLU-LAM BEAM	M.P.H.	MILES PER HOUR
D	DOUGLAS FIR	GLP	GLU-LAM PURLIN	M.TL	METAL
D.F.	DRINKING FOUNTAIN	GP BD	CYPRESS BOARD	(N)	NEW
DIAG	DIAGONAL	H	HEADER	N.C.	NOT IN CONTRACT
DIAPH	DIAPHRAGM	HGR	HANGER	N.O.	NUMBER
DIA	DIAMETER	HK	HOOK	N.S.	NELSON STUD OR NEAR SIDE
DIM	DIMENSION	HORIZ	HORIZONTAL	N.T.S.	NOT TO SCALE
			HIGH POINT	O.C.	ON CENTER

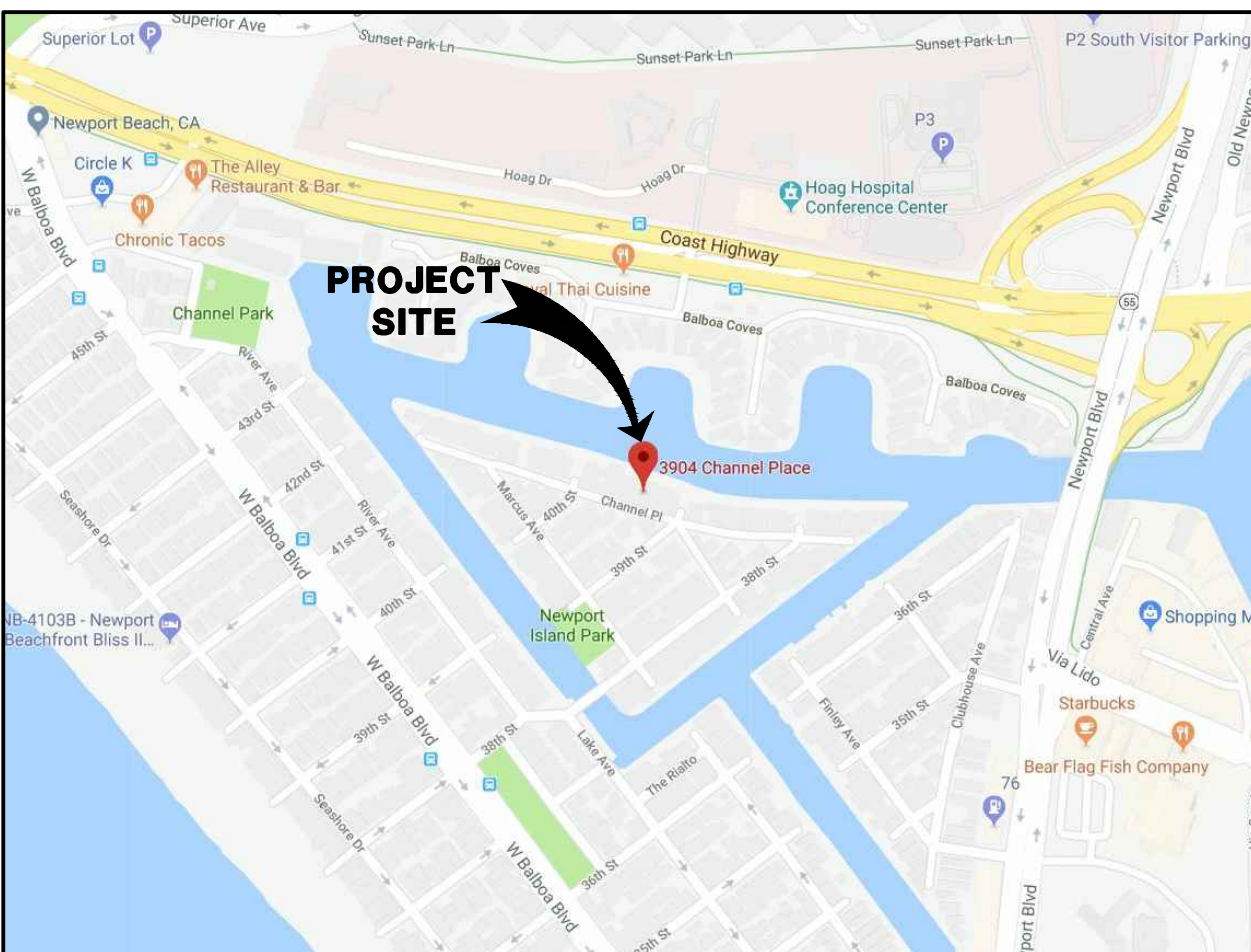
OPF	OFFICE	T.F.	TOP OF FOOTING
OPEN	OPENING	T.B.	TOP OF BEAM
OPD	OPPOSITE HAND	TG	THICKENED GIRDER
OSF	OUTSIDE FACE		TOP OF GIRDER
P.C.	PIPE COLUMN	THK	THICK
PEN	PENETRATION	THRU	THROUGH
PL	PLATE OR PROPERTY LINE	T.L.	TOP OF EGDGE
PILAS	PILASTER	T.N.	TOP OF NAILER
PLYWD	PLYWOOD	T.O.	TOP OF
PSQ	POUND PER SQUARE FOOT	T.O.P.	TOP OF PARAPET/PANEL
PSI	POUNDS PER SQUARE INCH		TOP OF STEEL
P.T.	PRESERVATIVE TREATED	TOT	TOTAL
R.D.	ROOF DRAIN	TRANSF	TRANSFER
REBAR	REINFORCING BAR	TRANSVERSE	TRANSVERSE
R.B.	ROOF BEAM	TS	TUBE STEEL
REQ	REQUIRED	T.S.	TOP OF SLAB
REIN	REINFORCING	T.W.	TOP OF WALL
REF	REFERENCE	TYPE	TYPICAL
REV	REVISION	U.N.O.	UNLESS NOTED OTHERWISE
ROOF	ROOF	VERT	VERTICAL
R.O.	ROOM	V.F.	VERIFY IN FIELD
R.M.	ROUGH OPENING	W/F	WITH FIELD
SCH	SCHEDULE	WOOD	WOOD
SECT	SECTION	W/F	WIDE FLANGE
SHT	SHEATHING	W/O	WITHOUT
SHEET	SHEET	W.P.	WORK POINT
SIM	SIMILAR	WATER	WATER RESISTANT
S.J.	SAWCUT JOINT	WT	WEIGHT
S.P.	SPLICE POINT	W.W.F.	WELDED REIN. FABRIC
SPAC	SPACING	EXTRA	EXTRA STRONG
SPECS	SPECIFICATIONS	XX	DOUBLE EXTRA STRONG

SYMBOLS

Ⓐ	.....	AT
Ⓒ	.....	CENTER LINE
Ⓓ	.....	DIAMETER
Ⓔ	.....	PLATE OR PROPERTY LINE
Ⓕ	.....	STEP IN FOOTING

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

PRIOR TO PERFORMING ANY WORK IN THE CITY
RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST
BE OBTAINED FROM THE PUBLIC WORKS
DEPARTMENT.



VICINITY MAP

SCOPE OF WORK:

TO REINFORCE THE EXISTING SEAWALL BY UTILIZING DYWIDAG TIE-BACKS
CONNECTING THE EXISTING SEAWALL TO A NEW CONCRETE DEADMAN.


NOTE TO THE BIDDERS.

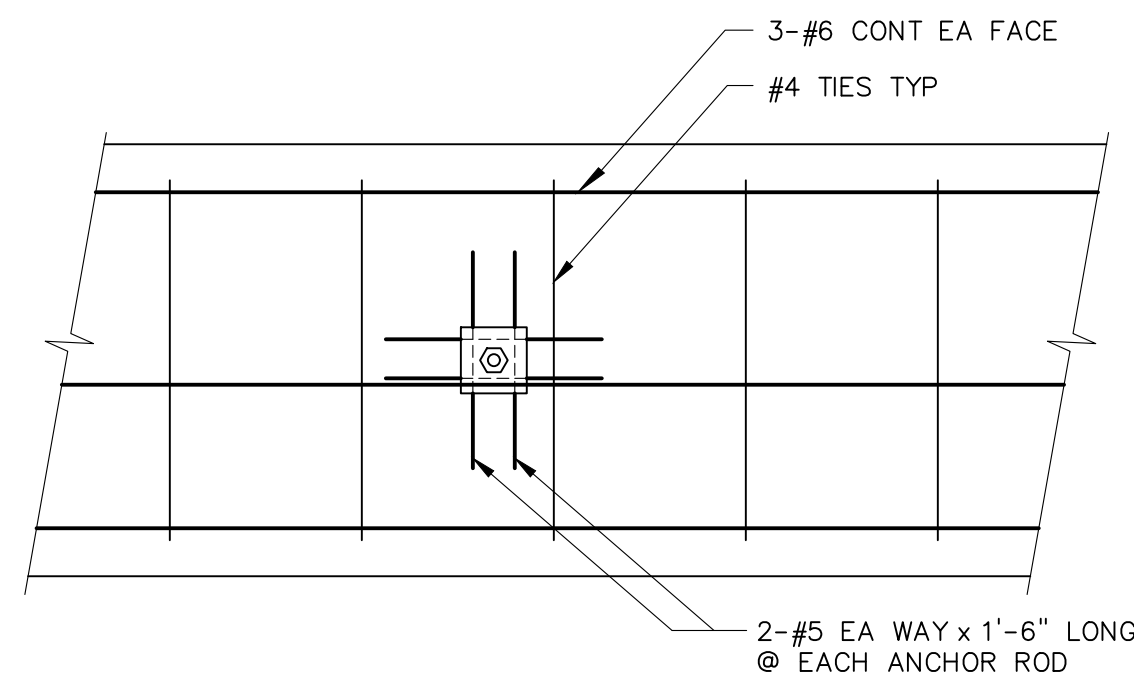
1. AFTER THOROUGHLY EXAMINING THE CONSTRUCTION DOCUMENTS AND THE SITE:


1.1. NOTIFY THE ARCHITECT AND/OR THE ENGINEER IN WRITING, REGARDING ALL DISCREPANCIES REQUIRING CLARIFICATION, PRIOR TO THE "BID SUBMITTAL".

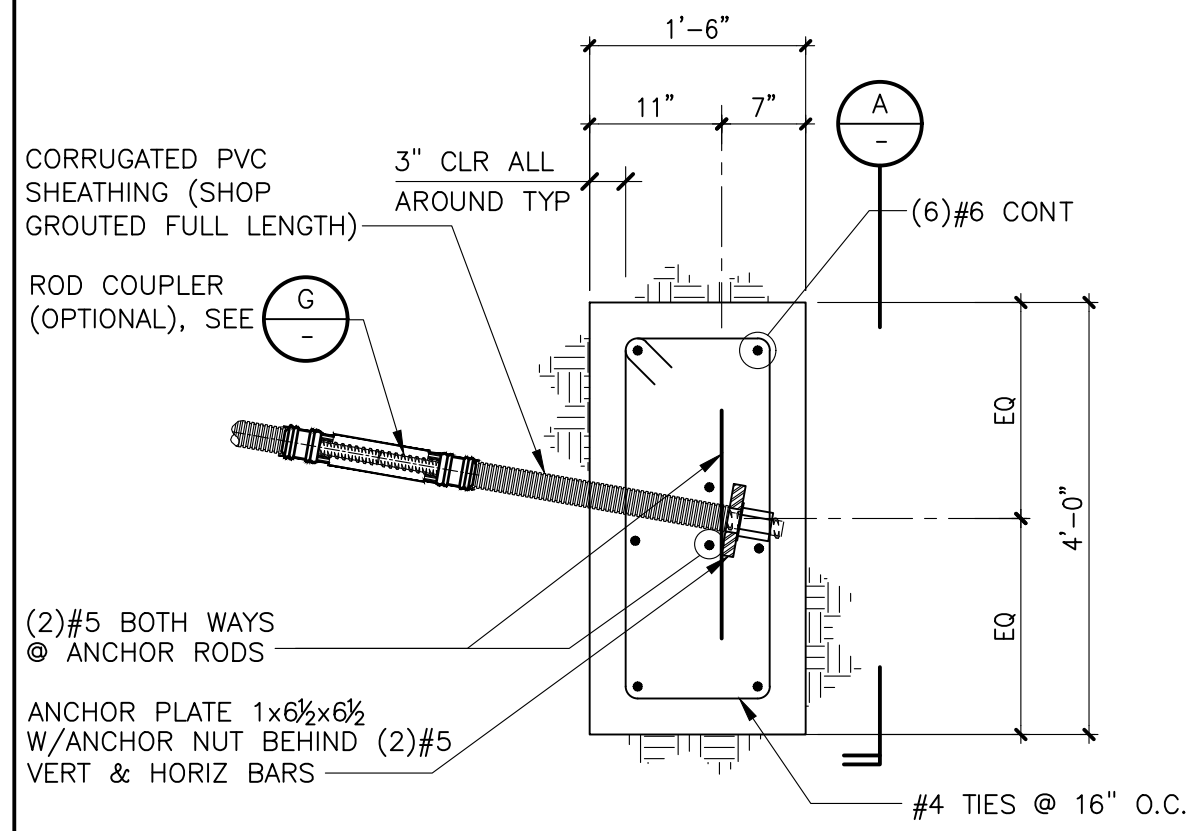
2. IF THE ARCHITECT AND/OR THE ENGINEER IS NOT NOTIFIED, AS REQUIRED PER ITEM #1 ABOVE, IT SHALL MEAN THAT THE CONTRACTOR HAS CONSIDERED ALL DISCREPANCIES AND ACCEPTED HIS BID TO COVER ALL COSTS TO COMPLY WITH THE MOST STRINGENT CONDITION.


3. THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY DISCREPANCY DISCOVERED AFTER THE "CLOSE OF THE BID".

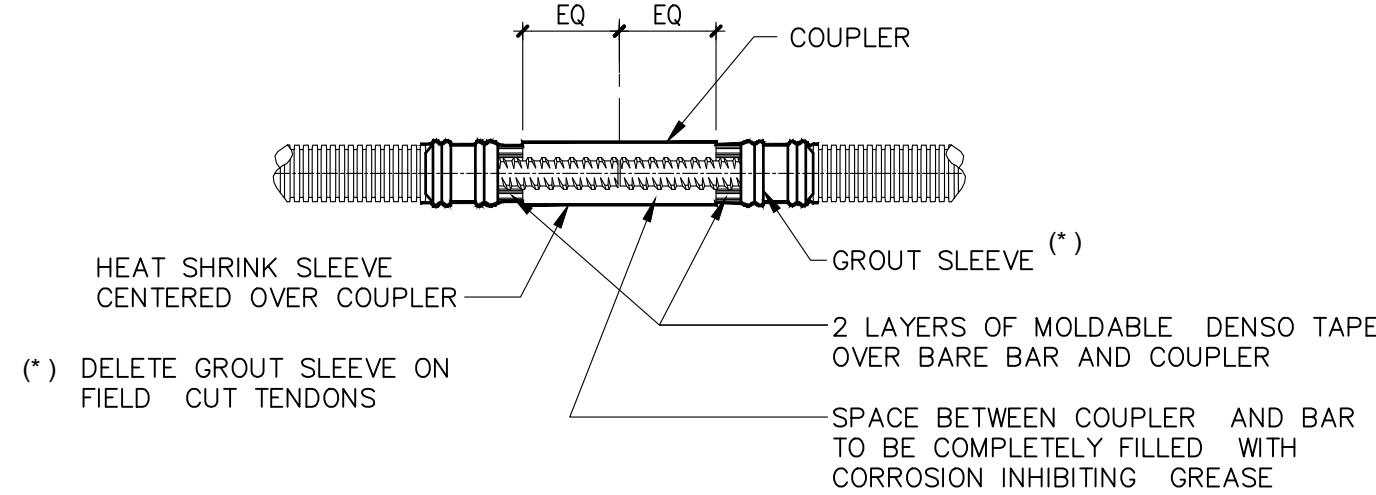
SW-0	REINFORCING THE EXISTING SEAWALL/BULKHEAD LOCATED AT:		OWNER / APPLICANT	Mr. Andrew Patterson 3904 CHANNEL PLACE NEWPORT BEACH, CA 92663		10/15/2018 PMA Consulting, Inc. Consulting Structural Engineers 23161 Castans Ct., Laguna Niguel, CA 92677 Phone: (714) 717-7542 E-Mail: P.Petrov@PMA-BC.com	NO. <input type="checkbox"/> REVISIONS <input type="checkbox"/> DATE <input type="checkbox"/>
	DATE 08/15/2018 JOB NO. 24318-2 DRAWN M. PETROVA CHECKED P. PETROV	SHEET OF					
STRUCTURAL GENERAL NOTES & VICINITY MAP			UNIVERSITY OF DOCUMENTS 1000 UNIVERSITY AVENUE, SUITE 1000, BERKELEY, CA 94702-1600 TEL: (415) 849-1500 FAX: (415) 849-1501 WWW.UDOCUMENTS.COM PMA CONSULTING, INC.				



NOTE :
FOR INFORMATION NOT SHOWN, SEE DETAIL 



NOTE:
FOR INFORMATION NOT SHOWN, SEE DETAILS  & 

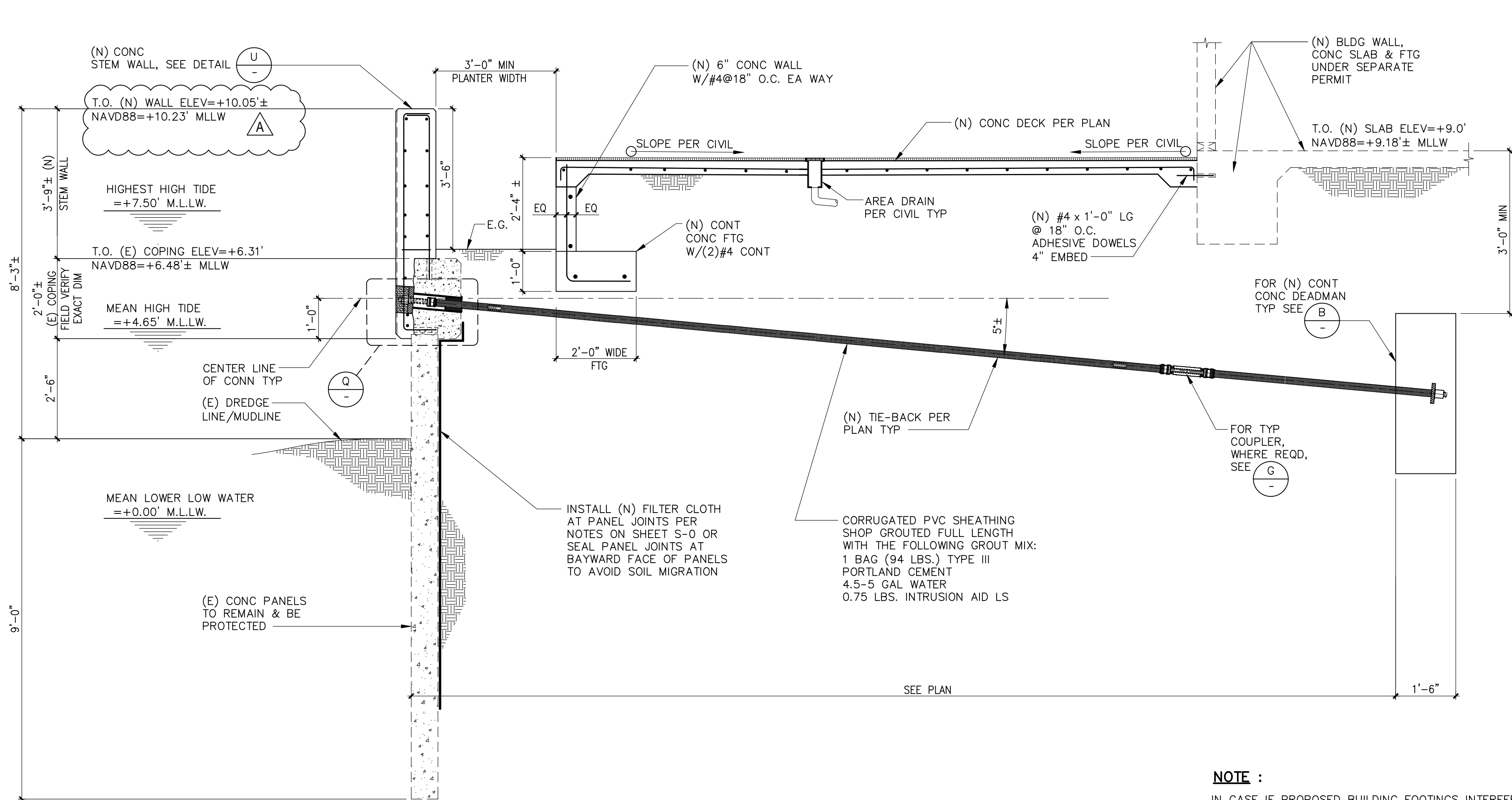


COUPLER INSTALLATION PROCEDURE:

1. APPLY CORROSION INHIBITING GREASE TO THE BARE ENDS OF THE BARS AND THE INSIDE OF THE COUPLER.
2. CONNECT THE TWO BAR ENDS WITH THE COUPLER. EACH END SHALL BE SCREWED INTO THE COUPLER HALF THE LENGTH OF THE COUPLER.
3. TORQUE BAR ENDS TOGETHER (200 FT. LBS).
4. ADD ANOTHER COAT OF GREASE TO BARE BAR AND COUPLER AND WRAP WITH TWO LAYERS OF DENSO TAPE.
5. CENTER HEAT SHRINK SLEEVE OVER COUPLER AND APPLY HEAT UNTIL SLEEVE IS FULLY RECOVERED.

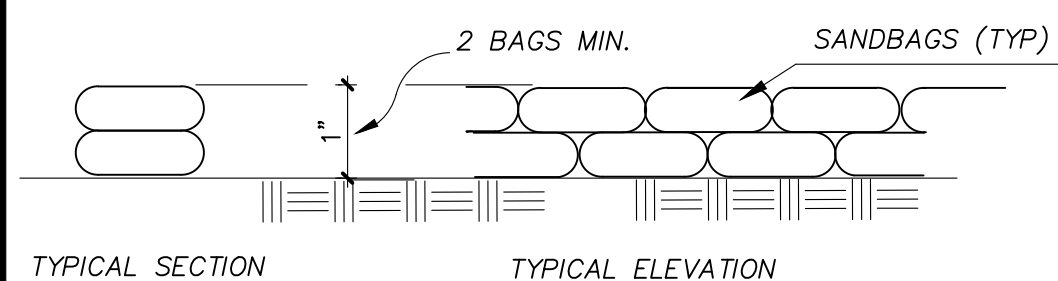
PREPARATION FOR FIELD CUT BARS:

1. CUT CORROSION PROTECTION AND THREAD BAR WITH AN ABRASIVE SAW (DO NOT USE A TORCH).
2. CAREFULLY REMOVE 6" ($\pm \frac{1}{4}$ ") CORRUGATED AND CEMENT GROUT FROM THE END OF THE NEW CUT.

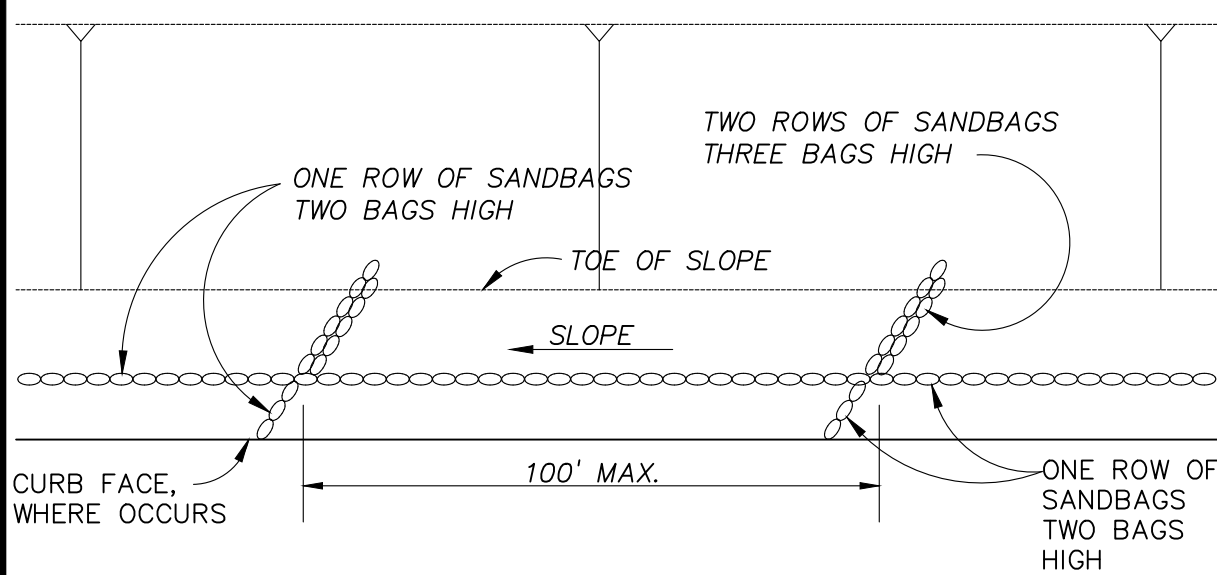


NOTE :

IN CASE IF PROPOSED BUILDING FOOTINGS INTERFERE WITH THE TIE-BACKS, DEEPEN FOOTINGS PER STRUCTURAL ENGINEER OF THE BUILDING REQUIREMENTS AND PROVIDE SCHEDULE 40 PVC SLEEVES FOR MINIMUM 2" CLEAR DISTANCE AROUND TIE-BACKS.

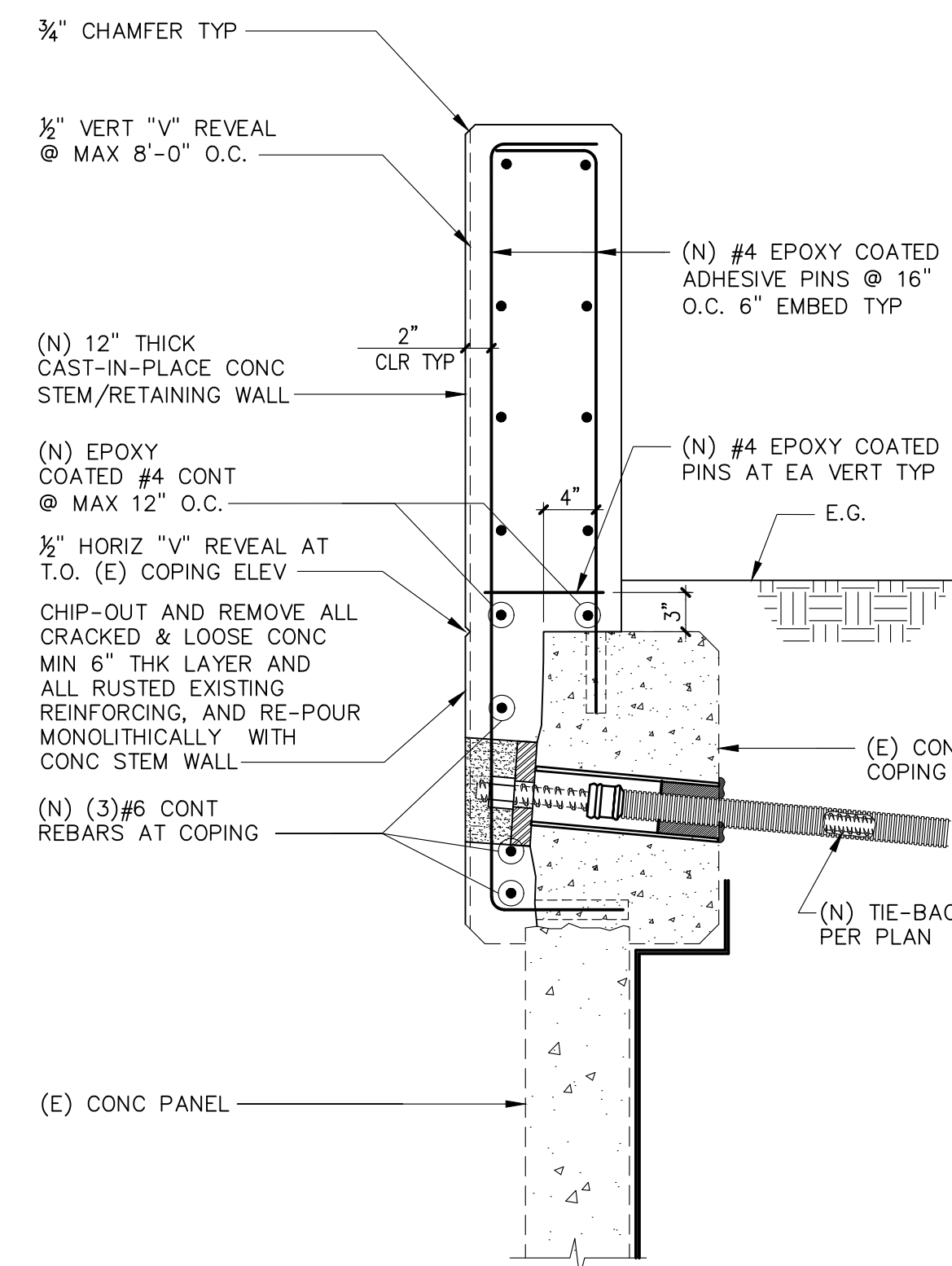


SANDBAG VELOCITY REDUCER DETAIL

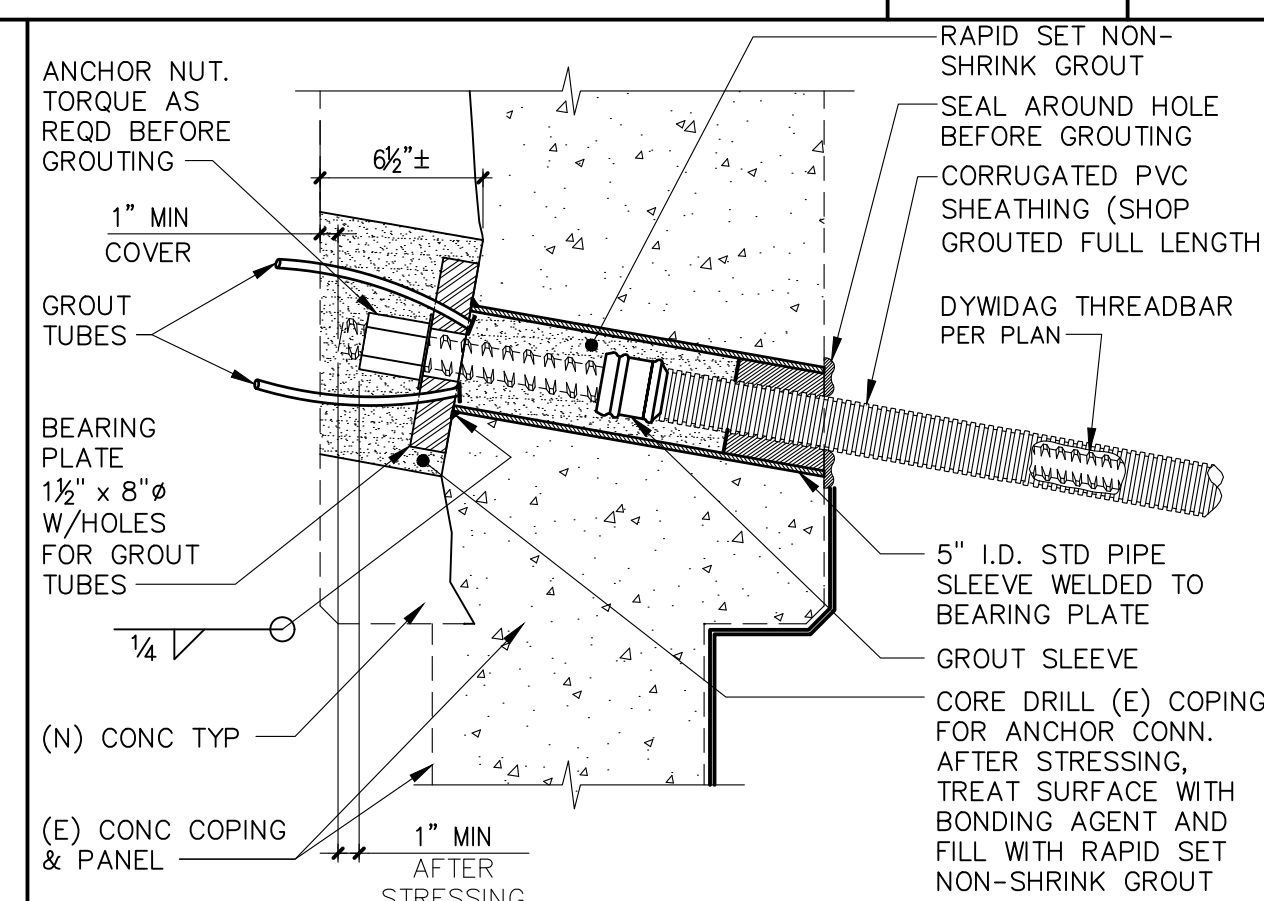


TOE OF SLOPE PROTECTION DETAIL

NOTE:
THIS DETAIL SHALL APPLY AT THE ENTIRE PERIMETER OF ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 6 UNDER "EROSION CONTROL NOTES" ON SHEET S-0.



NOTE:
APPLY EPOXY COATING ON THE FACE OF CUT EXISTING
TRANSVERSE REINFORCING/SHEAR TIES IF ANY.



NOTE: CARE SHALL BE EXERCISED BY THE CONTRACTOR NOT TO CUT ANY OF THE EXISTING REINFORCING DURING THE CORE DRILLING FOR THE INSTALLATION OF THE CONNECTION SHOWN ABOVE.

CORE DRILL DETAIL