



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

January 10, 2019
Agenda Item No. 10

SUBJECT: 3902 Channel Place Residence (PA2018-210)
Coastal Development Permit No. CD2018-087

SITE LOCATION: 3902 Channel Place

APPLICANT: Brandon Architects

OWNER: Gordon and Stephanie Clemons

PLANNER: Melinda Whelan, Assistant Planner
949- 644-3221, mwhelan@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RT (Two-Unit Residential)
- **Zoning District:** R-2 (Two-Family Residential)
- **Coastal Land Use Category:** Two-Unit Residential – (20.0-29.9 DU/AC) (R-D)
- **Coastal Zoning District:** Two-Unit Residential (R-2)

PROJECT SUMMARY

The applicant requests a coastal development permit to allow the construction of a new three-story, 3,019-square-foot, single-family residence including an attached two-car garage. The project includes reinforcing and raising the height of the existing bulkhead. No work will be conducted bayward of the existing property. The proposed development includes landscape, hardscape, and subsurface drainage facilities. The design complies with all applicable development standards and no deviations are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2018-087 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-2 Coastal Zoning District, which provides for single-and-two-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The subject property was developed with a single-family residence that spanned across three legal lots including the subject lot (3902 Channel Place), 3900 Channel Place and 3904 Channel Place. Coastal Development Permit No. CD2018-062 approved the demolition of the existing single-family residence allowing the three underlying legal lots to be developed separately. The neighborhood is predominantly developed with single- and two-story, single-family residences. The design, bulk, and scale of the proposed single-family dwelling is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed single-family dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Channel Place (front)	3 feet	3 feet
Sides	3 feet	3 feet
Water Frontage (front)	20 feet	20 feet
Allowable Floor Area	3,198 square feet	3,019 square feet
Allowable 3rd Floor Area	319.85 square feet	319.12 square feet
Open Space (min.)	240 square feet	262 square feet
Parking (min.)	2-car garage	2-car garage
Height (max.)	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

Hazards

- The development fronts the Newport Bay and is protected by an existing cast-in-place concrete bulkhead with the top of the bulkhead at elevation 6.31 feet (NAVD88). A Bulkhead Conditions Report was prepared by PMA Consulting, Inc., dated December 3, 2018, and concluded that the existing concrete bulkhead was in poor condition. The existing bulkhead is proposed to be repaired and reinforced to a height of 10.05 feet NAVD88. The Bulkhead Conditions Report concluded that the

repaired, reinforced and raised bulkhead will protect the proposed development and adjacent development.

- The finish floor elevation of the proposed dwelling is 9.00 feet NAVD 88, which complies with the minimum 9.00 feet NAVD88 elevation standard. A waterproofing 6-inch curb is proposed to be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.05 feet (NAVD88). Flood shields (sand bags and other methods) can be deployed across the openings to prevent flooding to the structure. The Coastal Hazard Report concludes that the highest high tide elevation (currently 7.20 feet NAVD88) will not exceed the proposed exterior curb of 10.05 feet NAVD88 using the low-risk aversion projected sea level rise (2.85-foot increase) over the 75-year design life of the structure based on estimates for sea level rise provided by the State of California Sea-Level Rise Guidance 2018.
- Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather run-off and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
- Pursuant to Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a preliminary Water

Quality and Hydrology Plan (WQHP) has been provided and will undergo a final review during building permit plan check. The WQHP was prepared for the project by Forkert Engineering & Surveying, Inc. on October 17, 2018. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP prior to building permit issuance.

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Public Access

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities. Vertical access to the bay front is available adjacent the property at the terminus of 39th Street and the Newport Bay.
- The closest designated public viewpoint is located on the 38th Street bridge entrance to Newport Island, approximately 500 feet from the property. The site is also visible in the distance from the Channel Place Park. The proposed residence is not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the public view points and the project's compliance with applicable Local Coastal Program (LCP) development standards, including height and setbacks, the project will not impact coastal views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 3,019-square-foot single-family residence.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Melinda Whelan
Assistant Planner

JM/msw

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2018-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2018-087 TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE AND ATTACHED 2-CAR GARAGE LOCATED AT 3902 CHANNEL PLACE (PA2018-210)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Brandon Architects, with respect to property located at 3902 Channel Place, requesting approval of a coastal development permit.
2. The lot at 3902 Channel Place is legally described as Lot 2, Block 539, of Canal Section.
3. The applicant proposes a coastal development permit to allow the construction of a new three-story, 3,019-square-foot, single-family residence including an attached two-car garage. The project includes reinforcing and raising the height of the existing bulkhead. No work will be conducted bayward of the existing property. The proposed development includes landscape, hardscape, and subsurface drainage facilities..
4. The subject property is designated RT (Two-Unit Residential) by the General Plan Land Use Element and is located within the R-2 (Two-Family Residential) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Two-Unit Residential (RT-D) 20.0-29.9 DU/AC and it is located within the Two-unit Residential (R-2) Coastal Zone District.
6. A public hearing was held on January 10, 2019, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures).
2. Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of one single-family residence and the construction of a new 3,019-square-foot single-family residence and attached 2-car garage.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 3,198 square feet and the proposed floor area is 3,019 square feet.
 - b. The proposed development provides the minimum required setbacks, which are 3 feet along the front property line abutting Channel Place, 3 feet along each side property line and 20 feet along the second frontage abutting Newport Bay.
 - c. The highest guardrail is less than 24 feet from established grade (9.00 feet NAVD88) and the highest ridge is no more than 29 feet from established grade, which comply with the maximum height requirements.
 - d. The project includes garage parking for a total of two vehicles, complying with the minimum two-car garage parking requirement for single-family residences with less than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with two- and three-story, single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
3. The development fronts the Newport Bay. The project site is protected by a bulkhead. The finished floor elevation of the proposed dwelling is 9.00 feet NAVD 88, which complies with the minimum 9.00 feet NAVD88 elevation standard. A waterproofing 6-inch curb is proposed to be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.05 feet NAVD88. Flood shields (sand bags and other methods) can be deployed across the openings to prevent flooding to the structure.

4. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by PMA Consulting, dated December 3, 2018 for the project. The report concludes that the proposed project is reasonably safe from the shoreline erosion due to lack of wave or wakes that can erode sand from the beach. However, the site requires a reinforced and raised bulkhead to protect the site and surrounding development from sea level rise, considering a 2.85-foot sea level rise (the low-risk aversion projected sea level rise over the 75-year design life of the structure based on estimates for sea level rise provided by the State of California Sea-Level Rise Guidance 2018). The project includes raising the bulkhead to 10.05 feet (NAVD88), which meets the State of California Sea-Level Rise Guidance 2018.
5. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
7. The property is located adjacent to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials. The project design also addresses water quality through the inclusion of a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
8. Pursuant to Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 percent of impervious surface area, a preliminary Water Quality and Hydrology Plan (WQHP) has been provided and will undergo a final review during building permit plan check. The WQHP was prepared for the project by Forkert Engineering & Surveying, Inc. on October 17, 2018. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the

proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP prior to building permit issuance

9. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted
10. The property is not located near designated Public Viewpoints or Coastal View Roads and will not impact public coastal views.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities.
2. Vertical access to the bay is available approximately 50 feet east of the site at the terminus of 39th Street and the Newport Bay.
3. The closest designated public viewpoint is located on the 38th Street bridge entrance to Newport Island, approximately 500 feet from the property. The site is also visible in the distance from the Channel Place Park. The proposed residence is not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the public view points and the project's compliance with applicable Local Coastal Program (LCP) development standards, including height and setbacks, the project will not impact coastal views.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2018-087, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section

21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 10TH DAY OF JANUARY, 2019.

Patrick J. Alford, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Prior to the issuance of a building permit, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.
3. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.
4. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
5. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
6. This Coastal Development Permit does not authorize any development seaward of the private property. Should the bulkhead require more extensive repair or replacement with construction equipment bayward of the private property, an additional Coastal Development Permit shall be obtained for the bulkhead from the Coastal Commission.
7. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
8. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and

construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

9. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
10. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
11. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
12. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
13. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
14. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
15. Prior to issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall be in compliance with the WQHP/WQMP and any changes could require separate review and approval by the Building Division.
16. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
17. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
18. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.

19. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
20. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
21. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
22. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
23. This Coastal Development Permit No. CD2018-087 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
24. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of 3902 Channel Place Residence including, but not limited to, Coastal Development Permit No. CD2018-087 (PA2018-210). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. CD2018-087
PA2018-210

3902 Channel Place

Attachment No. ZA 3

Project Plans



CABO CONTEMPORARY

3902 CHANNEL PLACE, NEWPORT BEACH, CA 92663


SHEET #		DRAWING TITLE	
T-1.0	TITLE SHEET		
T-1.1	GENERAL ARCHITECTURAL NOTES		
T-1.2	SUPPLEMENTAL NOTES & DOCUMENTS		
SUR	TOPOGRAPHIC SURVEY		
A-0.0	ARCHITECTURAL SITE PLAN		
A-0.2	SLAB EDGE PLAN		
A-0.3	AREA PLANS		
C2	GRADING PLAN		
C4	EROSION CONTROL PLAN		
A-1.0	3-DIMENSIONAL VIEWS		
A-2.0	FLOOR PLAN		
A-3.0	ROOF PLAN		
A-4.0	EXTERIOR ELEVATIONS & MATERIAL SCHEDULE		
A-5.0	BUILDING SECTIONS		
S1	FOUNDATION PLAN		
FD1	FOUNDATION DETAILS		
SW-0	STRUCTURAL GENERAL NOTES & VICINITY MAP (FOR REF. ONLY)		
SW-1	SITE PLAN & ELEVATION (FOR REF. ONLY)		
SW-2	DETAILS (FOR REF. ONLY)		

PROJECT NAME
CABO CONTEMPORARY

STATUS
CDD

BRANDON ARCHITECTS

151 Kalma Drive, Suite 6-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com



OWNER INFORMATION:
3900 CHANNEL LLC, #2,
LLC,
15 CORPORATE PLAZA,
STE. 150
NEWPORT BEACH, CA
92660

CABO
CONTEMPORARY
3902 CHANNEL PLACE
NEWPORT BEACH, CA 92663

ORIGINAL SIGNATURE

TITLE SHEET

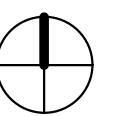
REVISIONS		
NO.	REVISION	DATE

JOB NO. _____

DATE 11/01/2010

SHEET NO.

T-1.0



PROJECT DESCRIPTION:

THE SUBJECT PROPERTY IS LOCATED IN THE NEWPORT BEACH, CA ON CHANNEL PLACE SOUTH OF PACIFIC COAST HIGHWAY. THE LOT IS APPROXIMATELY 30' WIDE BY 88' DEEP. IT IS ZONED R2 AND APPX. 2,690 S.F. THE PROPERTY INCLUDES AN EXISTING SINGLE FAMILY RESIDENCE AND GARAGE TO BE DEMOLISHED. THE EXISTING RESIDENCE IS A 3-1/2 STORY, 1950'S STYLE RESIDENCE WITH A 1-1/2 STORY WOOD FRAMED WITH A SLAB FOUNDATION WITH ROOF TOP VIEW DECKS. THE PROJECT WILL BE OF A CONTEMPORARY CABO INSPIRED DESIGN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: AMPLE INDOOR/OUTDOOR LIVING SPACES INTEGRATED WITH A MODERN OPEN LIVING FLOOR PLAN WHICH MAXIMIZES POTENTIAL VIEWS FROM THE LIVING SPACES AS WELL AS OUTDOOR PATIOS, DECKS AND POOLS. THE EXTERIOR WILL BE A MIXTURE OF MATERIALS INCLUDING BUT NOT LIMITED TO: THE EXTERIOR WILL BE PRIMARILY WHITE STUCCO, WOOD SIDING, WITH SOME USE OF METAL AND STONE.

	ALUMINUM	<div>1. REF. STRUCT. SHITS: FOR SPECIAL INSPECTION BY ENGINEER OF RECORD 2. HERS VERIFICATION REQUIRED; REF. T-24 ENERGY CALCULATIONS</div> <div>SPECIAL INSPECTIONS</div> <div>6</div> <div>1. LANDSCAPE PLAN, BBQ, FIRE PIT, ACCESSORY STRUCTURES, MASONRY OR CONCRETE WALLS/FENCES, RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF WALL, UNDER SEPARATE SUBMITTAL (FOR H.O.A. PURPOSES). 2. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS. 3. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER ANI STD. 275 SOUND LEVEL NOT TO EXCEED 50dBA (55dBA WITH TIMER, 65dBA WITH TIMER AND NEIGHBORS CONSENT). LOCATION OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING. 4. A CAL OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT. 5. FIRE SPRINKLERS REQUIRED. CONTRACTOR TO SUBMIT FIRE SPRINKLER DRAWINGS FOR ARCHITECT'S APPROVAL. PRIOR TO SUBMITTING TO CITY. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION. 6. GLASS GUARDHANDRAILS NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL TO LOCAL AGENCY FOR REVIEW. C.N.B. NOTE: CHRISTOPHER BRANDON, PRINCIPAL ARCHITECT IS THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THE PROJECT, RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. (NBMC 15.02.01)</div>									
	CONCRETE										
	EARTH										
	GYPSUM - PLASTER										
	INSULATION - RIGID										
	MASONRY - BRICK/STONE										
	MASONRY - CONCRETE BLOCK										
	PLYWOOD / GLU-LAM TIMBER										
	SAND										
	STEEL										
WOOD											
MATERIAL LEGEND		9	DEFERRED SUBMITTALS		7	AGENCIES & PUBLIC SERVICES		4	PROJECT DIRECTORY		2
	NORTH ARROW		BUILDING AREA SCHEDULE			LEGAL DESCRIPTION:			CODES:		
	PROPERTY LINE TAG		Name	AREA	COMMENTS	APR. 423 051 06 LOT 2 OF PARCEL 1, MAP OF CANAL, SECTION BLOCK 539, CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA M.M. 459			NBMC (NEWPORT BEACH MUNICIPAL CODE) CALIFORNIA CODES: 2016 CBC, 2016 CFC, 2016 CEC, 2016 CPC, AND 2016 CMC, 2016 CAL GREEN		
	SECTION INDICATOR		FIRST FLOOR	1029.94 SF		LOT INFORMATION:			OCCUPANT LOAD _____ 1 UNIT		
	Room name 150 SF		SECOND FLOOR	1199.96 SF		ZONED: R-2			OCCUPANCY CLASSIFICATION _____ R-3 / U		
			THIRD FLOOR	319.12 SF	(319.85 SF MAX) (TOTAL LIVING S.F.)	SITE AREA: 2690 SF, BUILDABLE AREA: 1599.25 S.F. SITE AREA: 2690 SF, BUILDABLE AREA: 1599.25 S.F. = 3,938 S.F. OPEN SPACE REQ.: 15 X 1599.25 S.F. = 240 S.F. THIRD FLOOR ALLOWABLE: 2 X 1599.25 S.F. = 319.85 S.F.			OCCUPANCY SEPARATIONS (GARAGE) _____ 1-HR. FLOOR & FLOOR-CEILINGS _____ N/A		
	ROOM TAG (NAME / AREA)		2-CAR GARAGE	471.12 SF		EXISTING BUILDING INFORMATION:			TYPE OF CONSTRUCTION _____ V-B - SPRKR.		
	CALL-OUT TAG		GRAND TOTAL	3018.55 SF	(3,198 SF MAX)	EXISTING SINGLE FAMILY W/ GARAGE TO BE DEMOLISHED EXISTING S.F. = 2,315 S.F. (782 S.F.) GARAGE (3 BEDS, TTL.)			FIRE SPRINKLER: NFPA 13D _____ YES HEIGHT _____ 3 STORY		
	ELEVATION INDICATOR		OPEN VOLUME SCHEDULE			ZONING INFORMATION:			FLOOR AREA _____ REF. 8/1-T-0		
			NAME	AREA	COMMENTS (OPEN VOL. REQ.)	FRONT SETBACK: 3 FT. REAR SETBACK: 20 FT. LEFT SETBACK: 3 FT. RIGHT SETBACK: 3 FT. BUILDABLE AREA: 1,599 S.F.			ALLOWABLE BLDG. AREA _____ N/A (PER CBC TBL. 503)		
	REVISION FLAG		BALC.	63.31 SF		LANDSCAPING NOTES:					
STAIR TAG (NO. OF RISER & HEIGHT)	MA. BALCONY	199.32 SF	(OPEN VOL. REQ.)	THIS PROJECT CONTAINS LESS THAN 800 S.F. OF LANDSCAPING AND IS EXEMPT OF T-15 CHAPTER 14.17							
WINDOW TAG	GRAND TOTAL	262.63 SF	(240 SF OPEN VOL. REQ'D.)								
KEYNOTE TAG											
ANNOTATION LEGEND		10	PROJECT STATISTICS		8	SITE INFORMATION		5	CODE REVIEW		3



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
100 Civic Center Drive | P.O. Box 17681 Newport Beach, CA 92658-8915
www.newportbeach.ca.gov | (949) 644-3200

**CALGREEN - RESIDENTIAL
MINIMUM REQUIREMENTS**

Scope

- 2016 California Green Building Standards Code (CG) is applicable to all new residential buildings, including but not limited to, dwellings, apartment houses, condominiums, hotels, and other types of dwellings containing sleeping accommodations with or without common toilets or cooking facilities regulated by the Department of Housing and Community Development (HCD-1). (NBMC 15.11.01b, CG Section 101.3.1.)
- 2016 California Green Building Standards Code (CG) is applicable to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. (301.1.1)

Energy Efficiency

- New one and two family dwellings and townhouses with attached private garages shall install a listed nominal 1 inch inside diameter raceway to accommodate a dedicated 208/240 volt branch circuit. (4.106.4.1.)
 - The raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box, or enclosure in close proximity to the proposed location of an EV charger.
 - The service panel or subpanel shall provide capacity to install a minimum 40 ampere dedicated branch circuit and space reserved for installation of a branch circuit overcurrent protective device.
 - The service panel or subpanel circuit directory shall identify the overcurrent protective devices space reserved for future EV charging as "EV CAPABLE."
 - The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Material Conservation and Resources Efficiency

- Annular spaces around pipes, electrical cables, conduits or other openings in sheetrock/plaster at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or other similar method. (4.406.1)
- Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (4.408.1, 4.408.3)

Water Efficiency and Conservation

- New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with City's water efficient landscape ordinance. (4.304.1, NBMC 14.17)
- Planting fixtures and fittings shall comply with the following (4.303.1):

FIXTURE TYPE	MAXIMUM FLOW RATE
Single Showerheads	2.0 gpm @ 80 psi
Multiple Showerheads	Combine flow rate of 2.0 gpm @80 psi
Residential Lavatory Faucets	1.2 gpm @ 60 psi ¹
Common and Public use Lavatory Faucets	0.5 gpm @60 psi
Kitchen Faucets	1.8 gpm @ 60 psi
Metering Faucets	0.25 gallons per cycle maximum
Water Closets	1.28 gallons/flush ²
Wall Mounted Urinal	0.125 gallons/flush
All Other Types of Urinal	0.5 gallons/flush

1. Include single and dual flush water closets with an effective flush rate of 1.28 gallons or less when tested per ASME A112.10.2.53.2 for single flush and ASME A112.10.2.53.2 for dual flush toilets.
2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

Environmental Quality

- Moisture content of building materials used in wall and floor framing is checked before enclosure according to one of the following (4.505.3):
 - Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
 - Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
 - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

- Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 494522(a)(2) and other toxic requirements in Sections 494522(a)(1) and (f)(1) of the California Code of Regulations, Title 17, commencing with Section 494520. (4.504.2.3)

- Carpet and carpet systems shall be compliant with of the following. (4.504.3):

- Carpet and Rug Institute's Green Label Plus Program.
 - California Department of Public Health Specification 01350.
 - NSF/ANSI 140 at the Gold level.
 - Scientific Certifications Systems Indoor Advantage™ Gold
- Minimum 80% of floor area receiving resilient flooring shall comply with one of the following (4.504.4):
 - VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Product Database.
 - Products certified under UL GREENGUARD Gold.
 - Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - California Department of Public Health Specification 01350.

- Adhesives, sealants and caulks shall be compliant with volatile organic compound (VOC) limits set forth in Table 4.504.1 or Table 4.504.2. (4.504.2.1)

ADHESIVE VOC LIMIT ^{1,2} (Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	80
Subfloor adhesives	50
Ceramic tile adhesives	65
VOT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Core bases adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	480
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure VOC content specified in this table, see Best Control Air Quality Management District Rule 1105.

SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	250
Nonporous	775
Porous	500
Modified bituminous	760
Marine deck	750
Other	750

- Paints, stains, and other coatings shall be compliant with VOC and other toxic compound limits set forth in Table 4.504.3. (4.504.2.2)

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3} (Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)	
COATING CATEGORY	VOC LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Dewaxing sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
Shelacs	420
High temperature coatings	250
Industrial maintenance coatings	250
Low solids coatings ¹	120
Magnesia cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	100
Multicolor coatings	250
Pretreatment wash primers	450
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shelacs	730
Clear	850
Opaque	250
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tube and tile refinishing coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.
2. The specified limit values in effect unless noted limits are listed in subsequent columns in the table.
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measures, February 1, 2005. More information is available from the Air Resources Board.

- Particulateboard, medium density fiberboard (MDF) and hardwood plywood used in interior or exterior of the building shall comply with low formaldehyde emission standards as set forth in Table 4.504.5 below (4.504.5)

FORMALDEHYDE LIMITS ¹ (Maximum formaldehyde Emissions in Parts per Million)		
PRODUCT	FORMALDEHYDE EMISSIONS (Parts per Million)	LIMIT
Hardwood plywood veneer core	0.05	0.05
Hardwood plywood composite core	0.05	0.05
Particleboard	0.09	0.09
Medium density fiberboard	0.11	0.11
Thin medium density fiberboard ²	0.13	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measures for Composite Wood as Applied to Composite with ASTM F 1323-96(2007). For additional information, see California Code of Regulations, Title 17, Sections 6710 through 6715.
2. Thin medium density fiberboard has a maximum thickness of 5/16 inch (8 mm).

- All duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the building inspector to reduce the amount of water, dust and debris, which may enter the system until final startup of the HVAC equipment. (4.504.1)

- Bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of whole house ventilation system, fans must be controlled by a humidity control capable of adjustment between a relative humidity range of less than or equal to 50% to maximum 80%. (4.506.1)

- Duct systems are sized, designed and equipment is selected using the following methods (4.507.2):
 - Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 (Residential Load Calculation), ASHRAE handbooks or equivalent design methods.
 - Size duct systems according to ANSI/ACCA 1 Manual D-2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
 - Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Selection) or other equivalent design software or methods.

- HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installers in the proper installation of HVAC systems. (702.1)

Installer and Special Inspector Qualifications

- HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installers in the proper installation of HVAC systems. (702.1)
- HVAC special inspectors must be qualified and able to demonstrate competence in the discipline they are inspecting. (702.2)

Documentation

- An operation and maintenance manual, CD, web-based reference or other approved media shall be provided by the builder to the building occupant or owner at the final inspection. It shall include operation and maintenance instruction of the equipment and appliances. (4.401.1)
- Documentation shall be provided to verify that finish materials used comply with VOC limits as set forth in Tables 4.504.1, 4.504.2, & 4.504.3. (4.504.2.4)
- Documentation shall be provided to verify that composite wood products used comply with formaldehyde limits as set forth in Tables 4.504.5, (4.504.5.1)
- Documentation which shows compliance with CAL Green code including construction documents, plans, specifications, builder or installer certification, and inspection reports and verification shall be available at the final inspection. (703.1)
- Documentation which shows compliance with CAL Green code including construction documents, plans, specifications, builder or installer certification, and inspection reports and verification shall be available at the final inspection. (703.1)
- CAL Green Documentation Certification Form (City form) is required to be submitted to the Building Inspector prior to final building inspection. (Section 703.1)

PROJECT NAME
CABO CONTEMPORARY

STATUS
FIRST CHECK/CDP

BRANDON ARCHITECTS

151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:

3900 CHANNEL LLC #2,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92660

CAL GREEN - RESIDENTIAL MANDATORY MEASURES



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
100 Civic Center Drive | P.O. Box 17681 Newport Beach, CA 92658-8915
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**RESIDENTIAL
CONSTRUCTION MINIMUM REQUIREMENTS**

Applicable Standards: 2016 California Residential Code (CRC); 2016 California Building Code (CBC); 2016 California Plumbing Code (CPC); 2016 California Electrical Code (CEC); 2016 California Mechanical Code (CMC); 2016 Building Energy Efficiency Standards (BEES); 2016 California Green Building Standards Code (Cal Green); & Chapter 15 of the Newport Beach Municipal Code (NBMC)

GENERAL:

- Residential building undergoing permitted alterations, additions or improvements shall replace non-compliant plumbing fixtures with water-conserving plumbing fixtures meeting the requirements of 2016 California Green Building Standards Code, Section 4.303. Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or final inspection by the Chief Building Official. (Civil Code, Section 1101.1 et seq., NBMC 15.11.010)
- Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
- Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department.
- A site survey by a licensed surveyor shall be required prior to foundation concrete pour.
- Garage ceiling height. The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the front four feet may have a minimum vertical clearance of four feet. (NBMC 20.40.090 A.4)
- Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (Cal Green 4.408.1, 4.408.3)
- Stairways shall not be less than 36 inches clear width. (CRC 311.7.1) The minimum head clearance shall be 6'-8" measured vertically from the sloped line adjoining tread nosing. (CRC 311.7.2)
- Advisory Note: Homeowners Association (HOA) approval may be required for this improvement.
- Additional permits are required for detached structures including but not limited to:
 - Accessory structures, detached patio covers, and trellises.
 - Masonry or concrete fences over 3.5 ft. high.
 - Retaining walls over 4 ft. high from the bottom of the foundation to the top of the wall.

CONSTRUCTION:

- Pedestrian protection adjacent to public way to be as follows:

CBC TABLE 2306.1 PROTECTION OF PEDESTRIANS		
HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQUIRED
8 feet or less	Less than 5 feet	Construction railings
	5 feet or more	None
	Less than 5 feet	Barrier and covered walkway
	5 feet or more, but not more than one-fourth the height of construction	Barrier and covered walkway
More than 8 feet	5 feet or more, but between one-fourth and one-half the height of construction	Barrier
	5 feet or more, but exceeding one-half the height of construction	None

- All exterior lath and plaster shall have two layers of Grade D paper over wood base sheathing. (CRC R703.7.3, CBC 2510.6)
- Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain inlet. Backing for tile shall be cement board or cement plaster. (CRC R307.2, CBC 1210.2.3)
- Safety glazing shall be provided at the following hazardous locations: (CRC R308.4, CBC 2405.4)
 - Swinging, bi-fold, and sliding doors.
 - When located within 60 inches above the floor of wet surfaces such as tubs, showers, saunas, steam rooms, or outdoor swimming pool.
 - Glazing adjacent to doors.
 - Within a 24 inch arc of either vertical edge of doors and within 60 inches of walking surface.
 - Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.
- Where glazing area is more than 9 sq. ft. in area, with the bottom edge less than 18 inches above the floor, top edge more than 36 inches above floor, and within 36 inches of a walking surface, measured horizontally.
- Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
- Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
- Glazing in guards and railings.
- All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate drowning prevention safety feature. (CRC 3109.4.4.2)
- Smoke alarms shall be installed in the following locations (CRC R314.3, CBC 907.2.11.2, 907.2.11.3 & 907.2.11.4):
 - In each sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - On each additional story, including basements and habitable attics.

FIREPLACE:

- All fireplaces:

- Factory-built fireplaces, chimneys and all of their components shall be listed and installed in accordance with their listing and manufacturer's installation instructions. (CRC R1004.1)
- Factory built wood burning fireplaces shall be qualified at the U.S. EPA's Voluntary Fireplace Program Phase 2 emissions level and be in accordance with the California Green Building Standards Code, Chapter 4, and Division 4.5.
- Decorative shrouds shall not be installed at the termination of factory-built chimneys, except where such shrouds are listed and labeled for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. (CRC R1005.2 & CMC 302.5.2.4)

- Solid fuel burning fireplaces:

- Provide a permanently anchored gaseous fuel burning pan to the firebox of a solid fuel burning fireplace.
- Solid fuel burning fireplace must comply with the California Energy Standards mandatory measures.
- Chimney shall extend at least 2 ft. higher than any portion of the building within 10 ft., but shall not be less than 3 ft. above the highest point where the chimney passes through the roof. (CRC R1003.9)
- Liquid fueled fireplaces are not allowed for interior use.

- Direct vent gas appliance fireplace:

- Direct vent sealed-combustion gas appliance fireplace must comply with the Cal Green code requirements and must comply with ANSI Z21.50 (Cal Green 4.503.1)

MECHANICAL:

- Rooms containing bathrooms, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 50 CFM ducted to terminate outside the building. (CRC R303.3, Cal Green 4.506.1, CBC 1203.5.2.1, CMC 402.5)

- Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust fan with humidity control sensor, min. 50 CFM capacity. (CRC R303.3)

- Where whole house fans are used in bathroom areas, the fan must run continuously and shall not be tied to a humidity control sensor. (Cal Green 4.506.1)

- The clothes dryer vent shall not exceed 14 ft. in overall length with maximum two 90 degree elbows. (CMC 504.4.2.1)

- Environmental air ducts shall terminate min. 3 feet from property line or openings into building, and 10 feet from a forced air inlet. (CMC 502.2.1)

- Mechanical equipment shall be installed per the manufacturer's installation instructions. (CMC 303.1)

- Domestic range vents to be smooth metallic interior surface. (CMC 504.3)

- Supply and return air ducts to be insulated at a minimum of R-6. (Cal Energy Code Table 150.1-A.)

Time in Use Hours	Required Setback From Property Line	Required Setback from Adjacent Structures
0 - 1 day	10 feet	5 feet
> 1 day	20 feet	5 feet

- If the minimum distance cannot be achieved, then the generator shall be located the most extreme distance practical to inhibit noise. Other methods to inhibit noise may be utilized when practical.

- May be operational for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided through the use of a temporary power pole.

- Usage is limited to weekdays between the hours from 8:00 AM and 3:30 PM Monday through Friday. No use on the weekends or federal holidays.

PLUMBING:

- All Plumbing Fixtures:

- New Construction & Addition/Alterations that increases condition space area, volume, or size (Cal Green 4.303.1):
 - Comply with CAL Green Mandatory Requirements

- Addition & Alteration: Existing fixtures shall be replaced to meet the following requirements:
 - Shower Heads: 2.0 gpm @ 80 psi
 - Lavatory Faucets: 1.2 gpm @ 60 psi
 - Kitchen Faucets: 1.8 gpm @ 60 psi
 - Water Closet: 1.28 gallons per flush

- Clearance for water closet to be a minimum of 24 inches in front, and 15 inches from its center to any side wall or obstruction. (CPC 402.5)

- The water heater burner to be at least 18 inches above the garage floor, if located in a garage. (CPC 507.13)

- Install a 3 inch diameter by 3 ft. tall steel pipe embedded in concrete slab for protection of water heaters located in garage. (CPC 507.13-1)

- Water heaters to be strapped at top and bottom with 1 1/2" x 16 gauge strap with 3/8" diameter, X 3" lag bolt each end. (CPC 507.2)

- ABS and PVC drain waste and vent piping material is limited to 2 stories maximum. (CPC 701.2)(2) (a) and 903.1.1)

- ABS and PVC roof and deck drain material is limited to 2 stories maximum. (CPC 1101.4)

- Roof and deck drain systems inside the building are required to be installed with directional DWV drainage fittings. (CPC 1101.4 and 4.708.0)

- All hose bibbs are to have vacuum breakers. (CPC 603.5.7)

- The maximum amount of water closets on a 3 inch vertical drainage system line is 3. (CPC Table 703.2)

- Provide a kitchen sink with a min capacity of 200,000 btu for water heater. (Cal Energy Code 150.0)(i)

- Provide a condensate drain no more than 2 inches above the base of the water heater space. (Cal Energy Code 150.0 (ii))

- Provide a straight vent pipe from the water heater space to the outside termination from the water heater space. (Cal Energy Code 150.0 (iii))

- Insulate all hot water pipes. (Cal Energy Code 150.0 (2), and CPC 609.11)

- Isolation valves are required for tankless water heaters on the hot and cold supply lines with hose bibbs on each valve, to flush the heat exchanger. (Cal Energy Code 110.3 (7))

ELECTRICAL:

- Electrical service to be underground for new construction, replacement building, or addition to an existing building exceeds fifty (50) percent of the gross floor area of the existing building. (NBMC 15.02.015)

- Edison Company approval is required for meter location prior to installation.

- Field inspectors to review and approve underground service requirement prior to concrete placement.

- Service equipment and subpanels to have a min 30" wide by 36" deep clear work space. (CEC 110.26)

- All lighting is required to be high efficacy. (California energy code section 150. (k) and Table 150.0-A.)

- Provide a listed 1 inch raceway to accommodate a dedicated 208/240-volt circuit for future electrical vehicle (EV) charging. (Cal Green 4.106.4)

- All receptacle outlets are required to be listed tamper resistant (CEC 406.12 and 250.52)

- Combination type AFCI circuit breakers are required for all 120 volt single phase 15/20 amp branch circuits. Except for bathrooms, garages, and outdoors. (CEC 210.12)




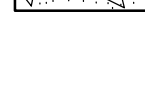

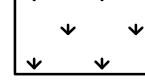

- At a minimum, one dedicated 20 amp circuit is required for a bathroom. (CEC 210.11)(C)(3))

- GFCI protection is required for all receptacle outlets located outdoors, garages, accessory buildings, bathrooms, crawl spaces, kitchens, laundry areas, kitchen dishwashers, central, garbage disposal, all areas within 6 feet of a sink, and all receptacles within 6 feet of a bathtub or shower stall. (CEC 210.8)

- Receptacle outlets are not allowed within or over a bathtub or shower stall. (CEC 406.9 (C))

- Subpanels are not allowed to be located in bathrooms or clothes closets. (CEC 240.24 (D) and (E))

- Circuits sharing a grounded conductor (neutral) with two un

	BLOCK WALL		BRICK SURFACE
	WROUGHT IRON FENCE (WIF)		
AC	AREA DRAIN		CONCRETE SURFACE
ACU	AIR CONDITION UNIT		
AD	AREA DRAIN		
CATV	CABLE TV BOX		
	CENTERLINE		GRASS SURFACE
EG	EDGE OF GUTTER		
EMH	ELECTRICAL MANHOLE		
FF	FINISHED FLOOR		
FFG	FINISHED FLOOR GARAGE		
FH	FIRE HYDRANT		
FL	FLOWLINE		
FS	FINISHED SURFACE		
GM	GAS METER		
NG	NATURAL GAS		
SCO	SEWER CLEAN OUT		
SDMH	STORM DRAIN MANHOLE		
SMH	SEWER MANHOLE		
TB	TOP OF BULKHEAD		
TC	TOP OF CURB		
TD	TOP OF DOCK		
TW	TOP OF WALL		
WM	WATER METER		
WV	WATER VALVE		
()	EXISTING ELEVATION		
●	FOUND MONUMENT		
○	SEARCHED, FOUND NOTHING; TO BE MONUMENTED PRIOR TO GRADING		
	TEMPORARY BENCHMARK SET ON A WATER METER (WM). ELEVATION = 8.12 FEET		

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH,
COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT ONE, TWO AND THREE, IN BLOCK FIVE HUNDRED THIRTY-NINE (539) OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT ONE (1) IN BLOCK FIVE HUNDRED THIRTY-NINE (539) OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE NORTHEASTERLY ALONG THE NORTHEASTERLY EXTENSION OF THE SOUTHEASTERLY LINE OF SAID LOT ONE (1) TO THE LINE OF ORDINARY HIGH TIDE OF THE PACIFIC OCEAN IN NEWPORT BAY, DESIGNATED "SOUTH LINE" AS DESCRIBED IN DECREE OF THE SUPERIOR COURT OF THE STATE OF CALIFORNIA AND FOR THE COUNTY OF ORANGE, A.D. 1914, AND AS ORDERED BY THE COURT IN 1914, 1928 IN BOOK 201, PAGE 253 OF THE OFFICIAL RECORDS; THENCE EASTERLY ALONG SAID HIGH TIDE LINE TO AN INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID LOT ONE (1); THENCE SOUTHWESTERLY ALONG SAID EXTENDED LINE TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT ONE (1); THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SAID LOT ONE (1) TO THE POINT OF BEGINNING.

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT TWO IN BLOCK FIVE HUNDRED THIRTY-NINE OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE NORTHEASTERLY ALONG THE NORTHEASTERLY EXTENSION OF THE SOUTHEASTERLY LINE OF SAID LOT TWO TO THE LINE OF ORDINARY HIGH TIDE OF THE PACIFIC OCEAN IN NEWPORT BAY, DESIGNATED "SOUTH LINE" AS DESCRIBED IN DECREE OF THE SUPERIOR COURT OF THE STATE OF CALIFORNIA IN AND FOR THE COUNTY OF ORANGE, A CERTIFIED COPY OF WHICH IS RECORDED SEPTEMBER 19, 1928 IN BOOK 201, PAGE 253 OF THE PUBLIC RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE SOUTHWESTERLY TO AN INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID LOT TWO; THENCE SOUTHWESTERLY ALONG SAID EXTENDED LINE TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT TWO; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SAID LOT TWO TO THE POINT OF BEGINNING.

BEGINNING AT THE NORTHEASTERLY CORNER OF LOT THREE IN BLOCK FIVE HUNDRED THIRTY-NINE OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY; THENCE NORTHERLY ALONG THE NORTHERLY EXTENSION OF THE EASTERLY LINE OF SAID LOT THREE TO THE LINE OF SAID LOT TWO; THENCE EASTERLY ALONG SAID PART BAY DESIGNATED "SOUTH LINE", AS DESCRIBED IN DECREE OF SUPERIOR COURT OF ORANGE COUNTY, A CERTIFIED COPY OF WHICH WAS RECORDED SEPTEMBER 19, 1928 IN BOOK 201, PAGE 253 OF OFFICIAL RECORDS; THENCE WESTERLY ALONG SAID HIGH TIDE LINE TO AN INTERSECTION WITH THE NORTHEASTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID LOT FOUR; THENCE NORTHERLY ALONG SAID EXTENSION OF SAID LINE TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT FOUR; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOTS FOUR AND THREE TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION INCLUDED WITHIN PARCEL 2 OF CERTIFICATE OF COMPLIANCE 2018-012 RECORDED MAY 23, 2018, AS INSTRUMENT NO. 2018000188810, OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

LEGAL DESCRIPTION & EASEMENTS SHOWN HEREON ARE PER A TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, DATED MAY 17, 2018, TITLE NO. 58601802506-JFA.

ITEM 6: AN EASEMENT FOR PUBLIC WATER WAY OR HIGHWAY AND INCIDENTAL PURPOSES, RECORDED JANUARY 4, 1930 IN BOOK 339, PAGE 319, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND NOT PLOTTED HERE ON DUE TO LACK OF BACKUP DOCUMENTATION.

BENCHMARK NO: J-782

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED
782 1946". SET IN THE TOP OF A CONCRETE POST.
MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF
THE INTERSECTION OF 29TH STREET AND NORTHBOUND
NEWPORT BOULEVARD, 24.3 FT. EASTERLY OF THE
CENTERLINE OF THE NORTHBOUND LANES ALONG
NEWPORT BOULEVARD AND 23.3 FT. NORTHERLY OF THE
CENTERLINE OF 29TH STREET. MONUMENT IS SET LEVEL
WITH THE SIDEWALK.

ELEVATION: 7.142 FEET (NAVD88), YEAR LEVELED 1989

CHANNEL PLACE

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON
THE CENTERLINE OF CHANNEL PLACE HAVING A BEARING
OF N72°57'15"W PER R.S.B. 214/16

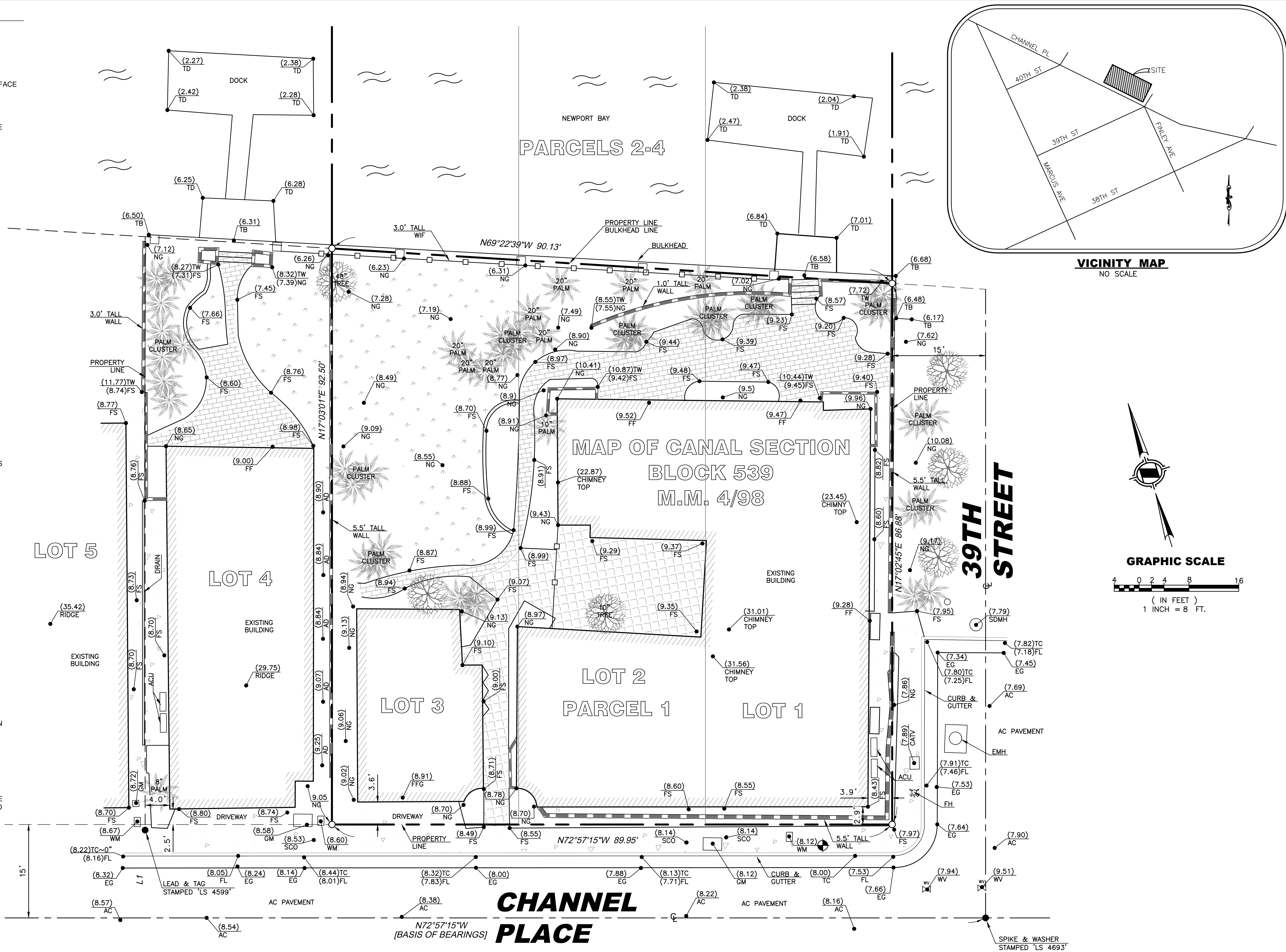
1. THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS, ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.

2. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



PAUL D. CRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/18

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



PROJECT SURVEYOR

APEX LAND SURVEYING & INC.

HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 458-5006 FAX: (714) 333-4440
APEXLSINC@GMAIL.COM

PROJECT SURVEYOR

DATE _____

TOPOGRAPHIC MAP

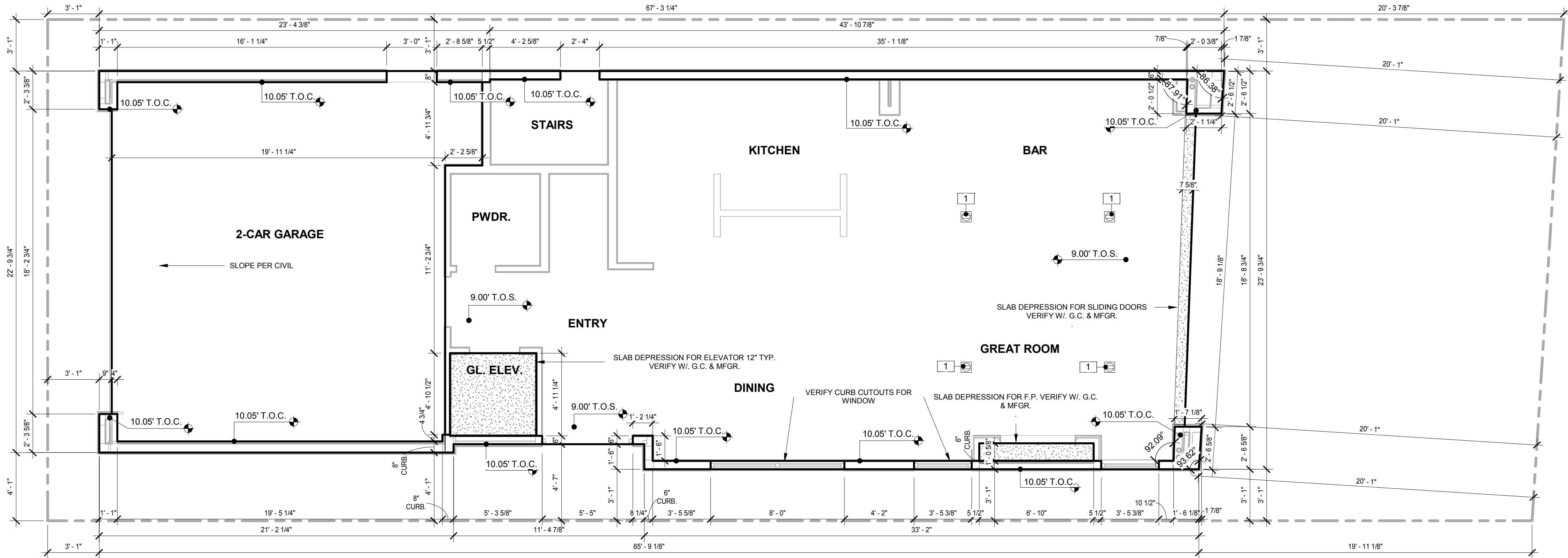
3900 CHANNEL PLACE
NEWPORT BEACH, CA 92663
(APN: 423-061-06)

HEET TITLE

SHEET NO

1 OF **1**


PROJECT NO 15139

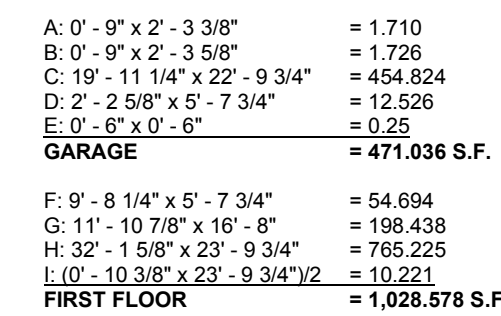


1 SLAB EDGE PLAN
1/4" = 1'-0"

NOTE:
GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS CONSISTENT WITH THE CONSTRUCTION DOCUMENTS. GENERAL CONTRACTOR TO REVIEW AND APPROVE ALL FINAL SHOP DRAWINGS PRIOR TO FABRICATION & POURING.

ARCHITECT & STRUCTURAL ENGINEER TO REVIEW SHOP DWGS. FOR DESIGN CONFORMITY TO THE CONSTRUCTION DOCUMENTS PRIOR TO FABRICATION & POURING.

PROJECT NAME CABO CONTEMPORARY	STATUS FIRST CHECK/CDP	BRANDON ARCHITECTS 151 Kilimuis Drive, Suite G-1 Costa Mesa, CA 92626 714.754.4040 www.brandonarchitects.com
		
OWNER INFORMATION: 3900 CHANNEL LLC #2, LLC, 15 CORPORATE PLAZA, NEWPORT BEACH, CA 92663		
CABO CONTEMPORARY 3902 CHANNEL PLAZA NEWPORT BEACH, CA 92663		
PROJECT MANAGER/ARCHITECT BRANDON LINSLEY, AIA		
DOCUMENT VALID UPON		
ORIGINAL SIGNATURE		
SLAB EDGE PLAN	<small>These documents are the property of BRANDON ARCHITECTS, Christopher Brandon, principal architect, and are not to be duplicated, altered or utilized in any way by any other person without the written consent of BRANDON ARCHITECTS. Any unauthorized reproduction or alteration of these documents by any party is a violation of BRANDON ARCHITECTS' intellectual property rights and may result in legal action. These plans are also not to be assigned to any other party without the written authorization and expressed permission of BRANDON ARCHITECTS. No part of these documents may be reproduced, stored in a retrieval system, or used in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of BRANDON ARCHITECTS. These documents are the property of BRANDON ARCHITECTS, Christopher Brandon, principal architect, and are not to be duplicated, altered or utilized in any way by any other person without the written consent of BRANDON ARCHITECTS. Any unauthorized reproduction or alteration of these documents by any party is a violation of BRANDON ARCHITECTS' intellectual property rights and may result in legal action. These plans are also not to be assigned to any other party without the written authorization and expressed permission of BRANDON ARCHITECTS. No part of these documents may be reproduced, stored in a retrieval system, or used in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of BRANDON ARCHITECTS.</small>	
	REVISIONS NO. REVISION DATE	
JOB NO. 3902-18		
DATE 09/07/2018		
SHEET NO.		
A-0.2		



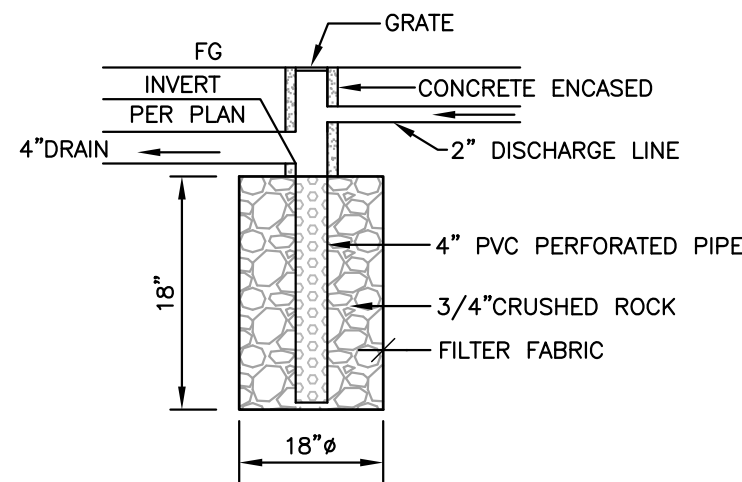
A: 18" - 5 3/4" x 12" - 2 1/4"	= 225.215
B: 13" - 8 1/4" x 11" - 8"	= 159.688
C: 4" - 4 7/8" x 10" - 11 5/8"	= 48.331
D: 7" - 1 5/8" x 5" - 10 7/8"	= 42.143
E: 1" - 11 5/8" x 5" - 11 1/4"	= 11.689
F: 6" - 5 3/8" x 11" - 10 1/8"	= 76.367
G: 2" - 2 1/8" x 10" - 11 5/8"	= 23.879
H: 25" - 8 3/8" x 23" - 9 3/4"	= 611.932
SECOND FLOOR	= 1,199.244 S.F.

MASTER BALCONY	
1: 7' - 6 5/8" x 23' - 11 3/4"	= 181.092
2: (1' - 6 1/4" x 23' - 11 3/4")/2	= 18.234
BALCONY	
Q.V. 3: 5' - 4 7/8" x 11' - 8 1/2"	= 63.298
TOTAL OPEN VOLUME	= 263.624 S.F.

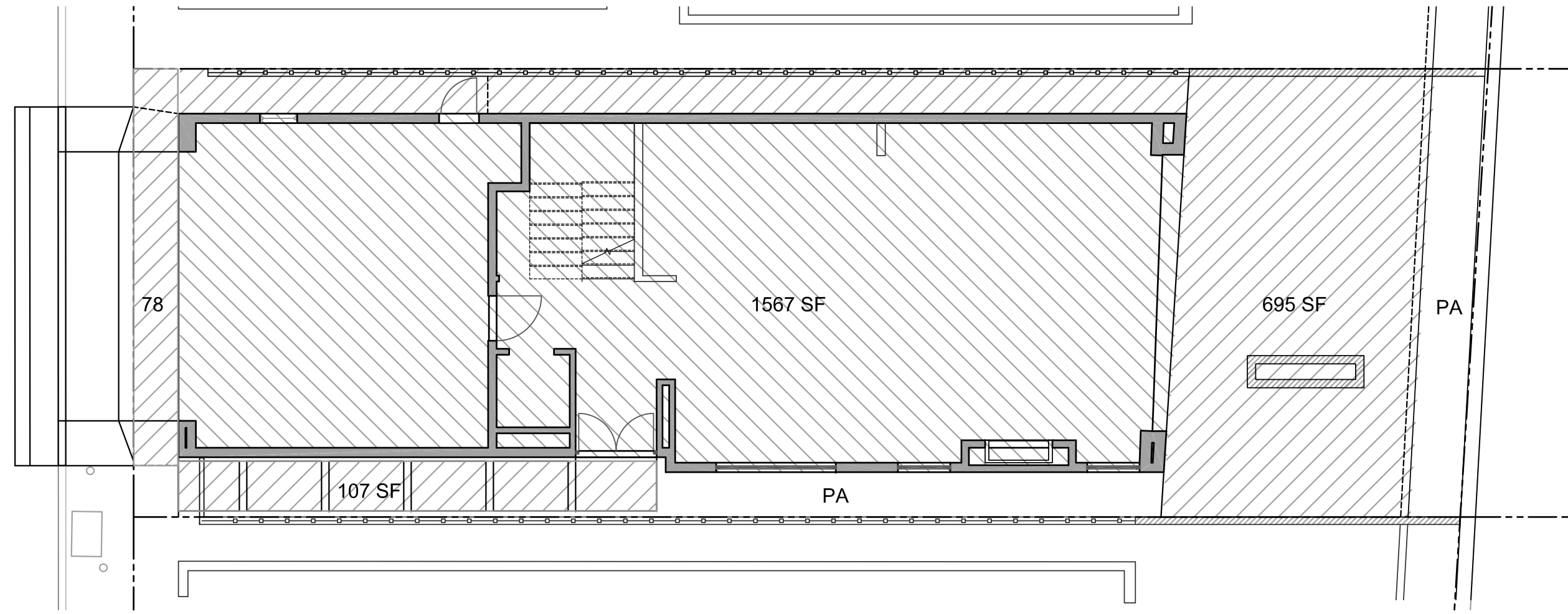
A: 6' - 5 1/2" x 9' - 2 1/2"	= 59.470
B: 5' - 6 1/4" x 5' - 4 3/4"	= 29.789
C: 5' - 1 1/8" x 1' - 2 1/4"	= 6.048
D: 7' - 1 1/4" x 5' - 4 1/8"	= 37.962
E: 14' - 1 1/2" x 13' - 1 7/8"	= 185.832
THIRD FLOOR	= 319.101 S.F.

CONSTRUCTION NOTES:

1. CONSTRUCT 5" MIN CONCRETE DRIVEWAY
2. CONSTRUCT 4" MIN CONCRETE HARDSCAPE, FINISH PER LANDSCAPE PLANS.
3. INSTALL 4" FLAT GRATE DRAIN
4. INSTALL 4" ATRUIM GRATE DRAIN
5. INSTALL GRATE DRAIN WITH ROCK SUMP PER DETAIL, SHEET C2
6. INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN
7. CONSTRUCT 3"Ø DRAIN THRU CURB PER CNB STD PLAN 184-L
8. INSTALL 24" SUMP WITH 3/4 HP PUMP AND 1.5" DISCHARGE LINE
9. CONSTRUCT BIO-RETENTION PLANTER
10. EXIST SEWER CLEANOUT, PROTECT
11. REMOVE EXISTING CONCRETE SIDEWALK AND CONSTRUCT 5" MIN. CONCRETE DRIVEWAY APPROACH, PER STD PLAN 163-L
12. REMOVE AND REPLACE ASPHALT WITH 12"X12"D FULL DEPTH A.C. PATCHBACK AND TACK COAT ALL JOINT SURFACWES PRIOR TO PLACEMENT
13. CONSTRUCT NEW WATER SERVICE AND INSTALL NEW WATER METER WITH TRAFFIC COVER PER CNB STD PLAN 502-L



6. GRATE DRAIN WITH ROCK SUMP NTS

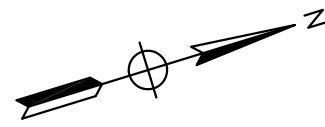
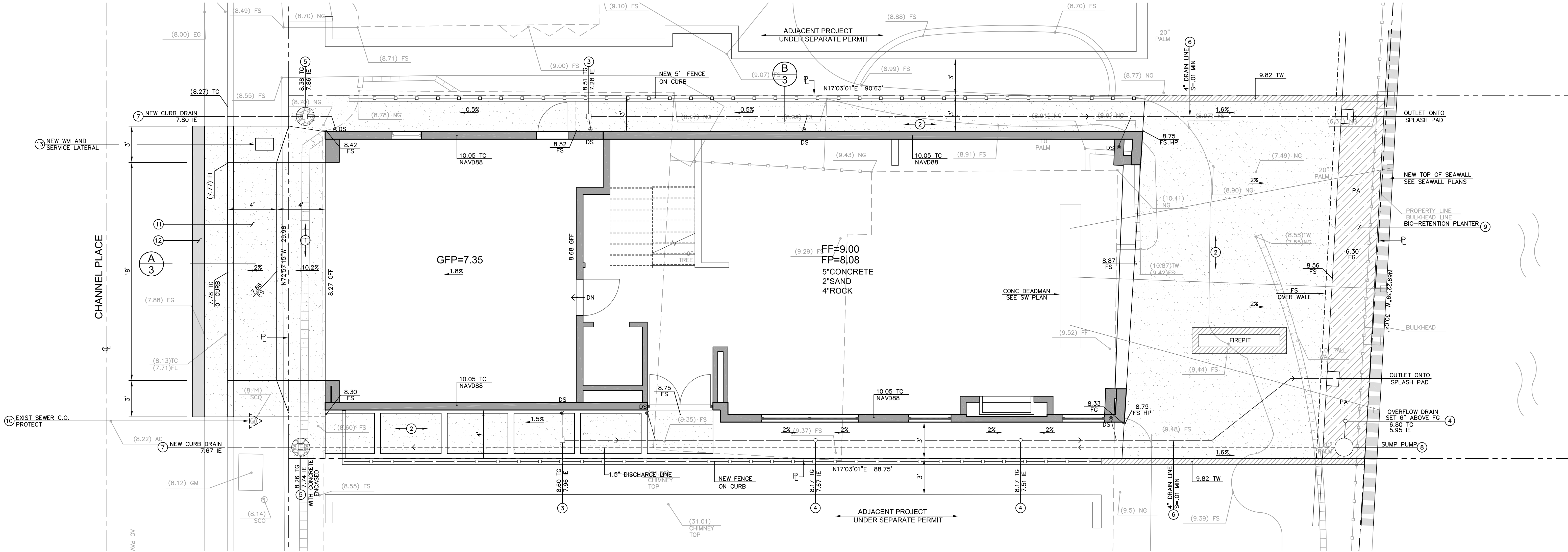


HARDSCAPE EXHIBIT
1"=8'

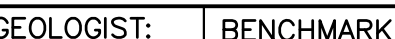
HOUSE + GARAGE=	1567 SF
HARDSCAPE =	802 SF
DRIVEWAY=	78 SF
	2447 SF

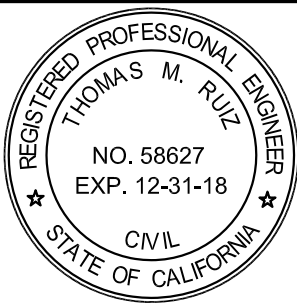
ABBREVIATIONS

ARCH	ARCHITECTURAL
A.C.	ASPHALT CONCRETE
C.O.	CLEAN OUT
DG	DECOMPOSED GRANITE
DS	DOWNSPOUT
EXIST	EXISTING
BFF	BASEMENT FINISH FLOOR
BFP	BASEMENT FINISH PAD
CONC	CONCRETE
DWY	DRIVEWAY
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
FD	FOUND
FL	FLOWLINE
FF	FINISH FLOOR
FG	FINISH GRADE
FP	FINISH PAD
FS	FINISH SURFACE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GFP	GARAGE FINISH PAD
GM	GAS METER
HH	HANDHOLE
HP	HIGH POINT
I.P.	IRON PIPE
IE	INVERT ELEVATION
L&T	LEAD AND TACK
MH	MANHOLE
MON.	MONUMENT
NTG	NOTHING
OG	ORIGINAL GROUND
PA	PLANTER AREA
PL	PROPERTY LINE
PROP	PROPOSED
R/W	RIGHT OF WAY
S.F.N.	SEARCHED FOUND NOTHING
SDWK	SEWER MANHOLE
SMH	SEWER MANHOLE
T.B.M.	TEMPORARY BENCHMARK
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TOC	TOP OF CONCRETE
TOP	TOP OF FENCE
TP	TOP OF PLASTER
T.O.R.	TOP OF RIDGE
TW	TOP OF WALL
WM	WATER METER



1"=4'

			DESIGNED BY:	ARCHITECT: BRANDON ARCHITECTS 151 KALMUS DRIVE SUITE G-1 COSTA MESA, CA 92626	OWNER/DEVELOPER: PATTERSON CUSTOM HOME 3900 CHANNEL PLACE LOT 2 NEWPORT BEACH, CA 92663	PREPARED BY: FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-6793 JN 9622		SOILS ENGINEER/GEOLOGIST: COAST GEOTECHNICAL, INC 1200 W. COMMONWEALTH AVE FULLERTON, CA 92633 PH: 714-870-1211 W.O. 557118-01 DATE: AUGUST 1, 2018	BENCHMARK: BENCHMARK NO. J-782 ELEVATION= 7.142 NAVD88 YEAR LEVELED= 1989	LEGAL DESCRIPTION: LOT 1 OF BLOCK 539 OF "CANAL SECTION, NEWPORT BEACH", AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY	GRADING PLAN LOT 2 3900 CHANNEL PLACE NEWPORT BEACH, CALIFORNIA	SHEET: C2
			DRAWN: SC									
			CHK'D: TR									
NO.	DATE	R E V I S I O N S									DATE: 8/20/18	



THOMAS M. RUIZ DATE

IN CASE OF EMERGENCY, CALL ANDREW PATTERSON AT 949-613-5260 (949) 723-1800.

A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.

EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.

GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.

ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.

A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR Dewatering OPERATIONS.

THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.

DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.

STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.

EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.

ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, ARE DRAINS, NATURAL DRAINAGE COURSES, OR WIND.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OR WIND OR WATER.

FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE THE BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.

DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).

TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

ANY SLOPES WITH DISTURBED SOIL OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.

ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

WM-1 MATERIAL DELIVERY AND STORAGE

PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

WM-2 MATERIAL USE

HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDELED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-4 SPILL PREVENTION AND CONTROL

IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

WM-5 SOLID WASTE MANAGEMENT

PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

WM-6 HAZARDOUS WASTE MANAGEMENT

HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7 CONTAMINATED SOIL MANAGEMENT

PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.

WM-8 CONCRETE WASTE MANAGEMENT

STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

TC-1 STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

SE-1 SILT FENCE

SE-3 SEDIMENT TRAF

SE-8 GRAVEL BAGS

ERODED SEDIMENT



EROSION CONTROL BMP'S MUST BE MAINTAINED ON SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEEMED SUFFICIENT.

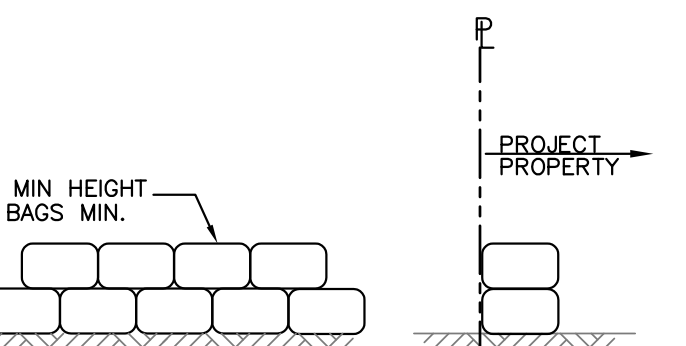
BMP FACTS SHEET

ALL BMP'S SHALL BE IN ACCORDANCE WITH MODEL BMP'S FROM THE CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CABMPHANDBOOKS.COM

- | | |
|-----|--|
| EC1 | CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH, MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #SE-8. |
| EC2 | CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-9. |
| EC3 | CONSTRUCT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-1. |
| EC4 | EXISTING WALL TO REMAIN. PROTECT IN PLACE. |

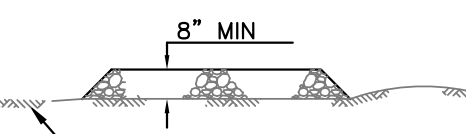


-  PLACE GRAVEL BAGS
-  PLACE FENCE WITH WIND SCREEN



GRAVEL BAG DETAIL


NTS

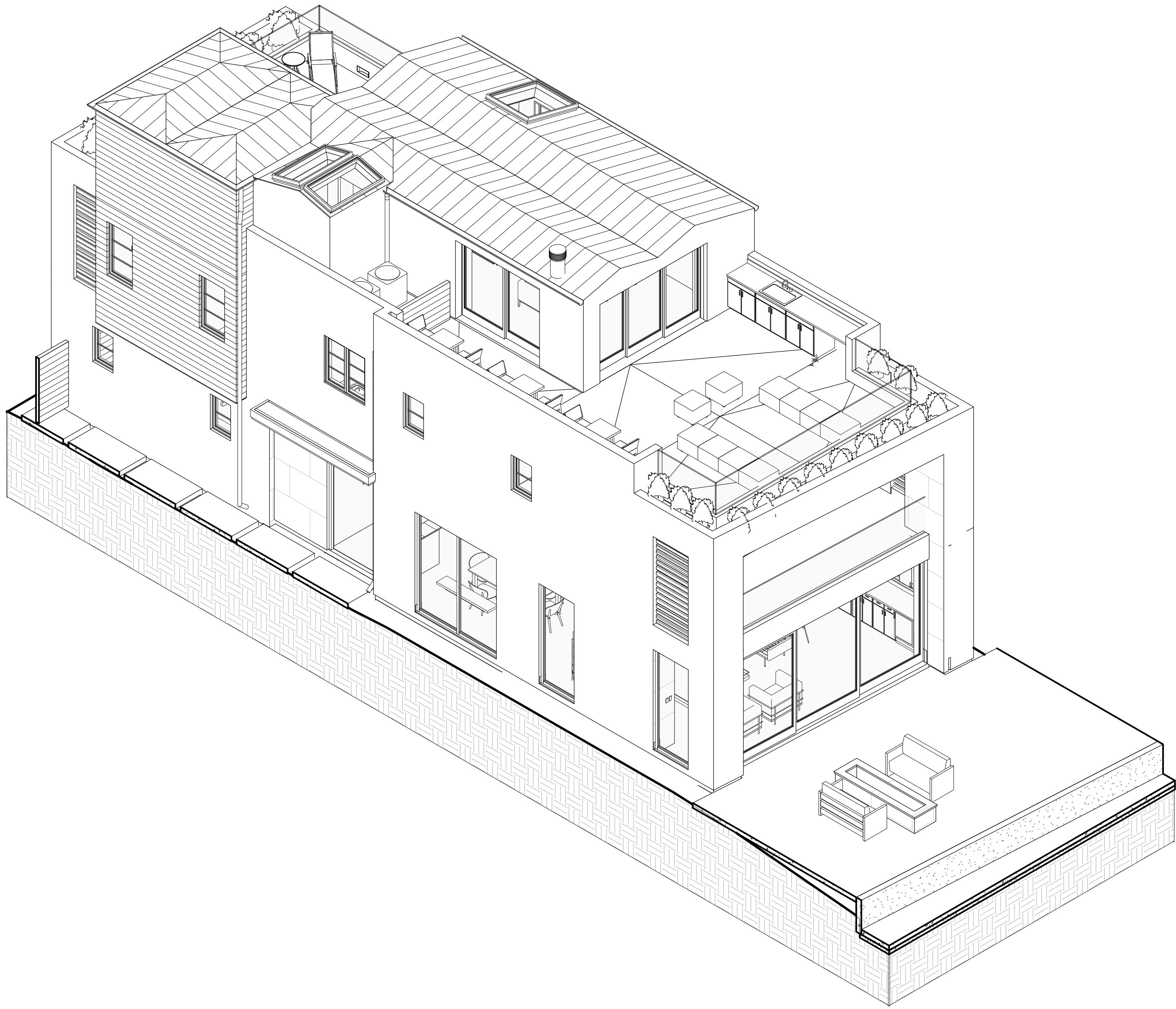


PROVIDE APPROPRIATE TRANSITION
BETWEEN STABILIZED CONSTRUCTION
ENTRANCE AND STREET

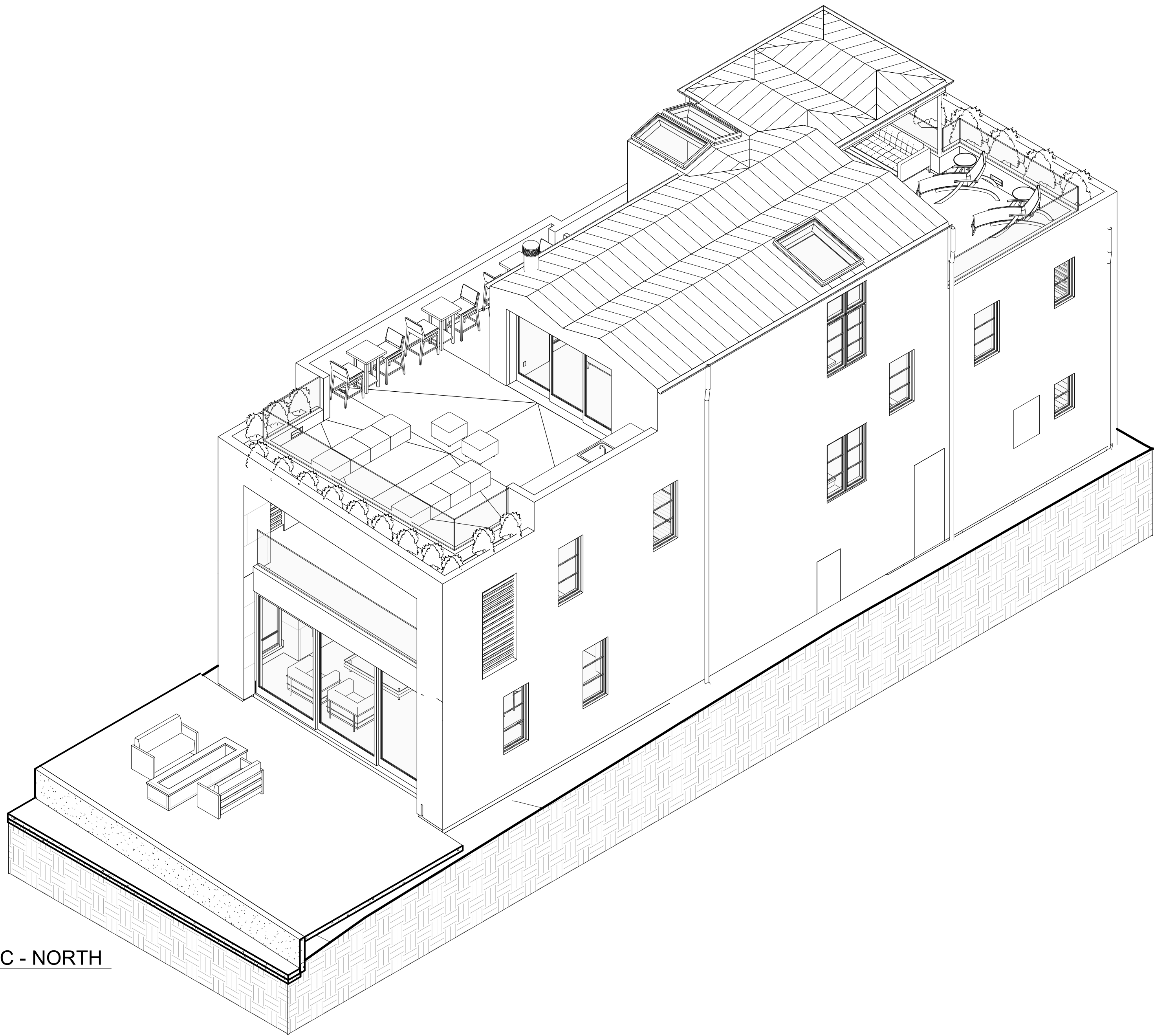
CONSTRUCTION ENTRANCE

NTS

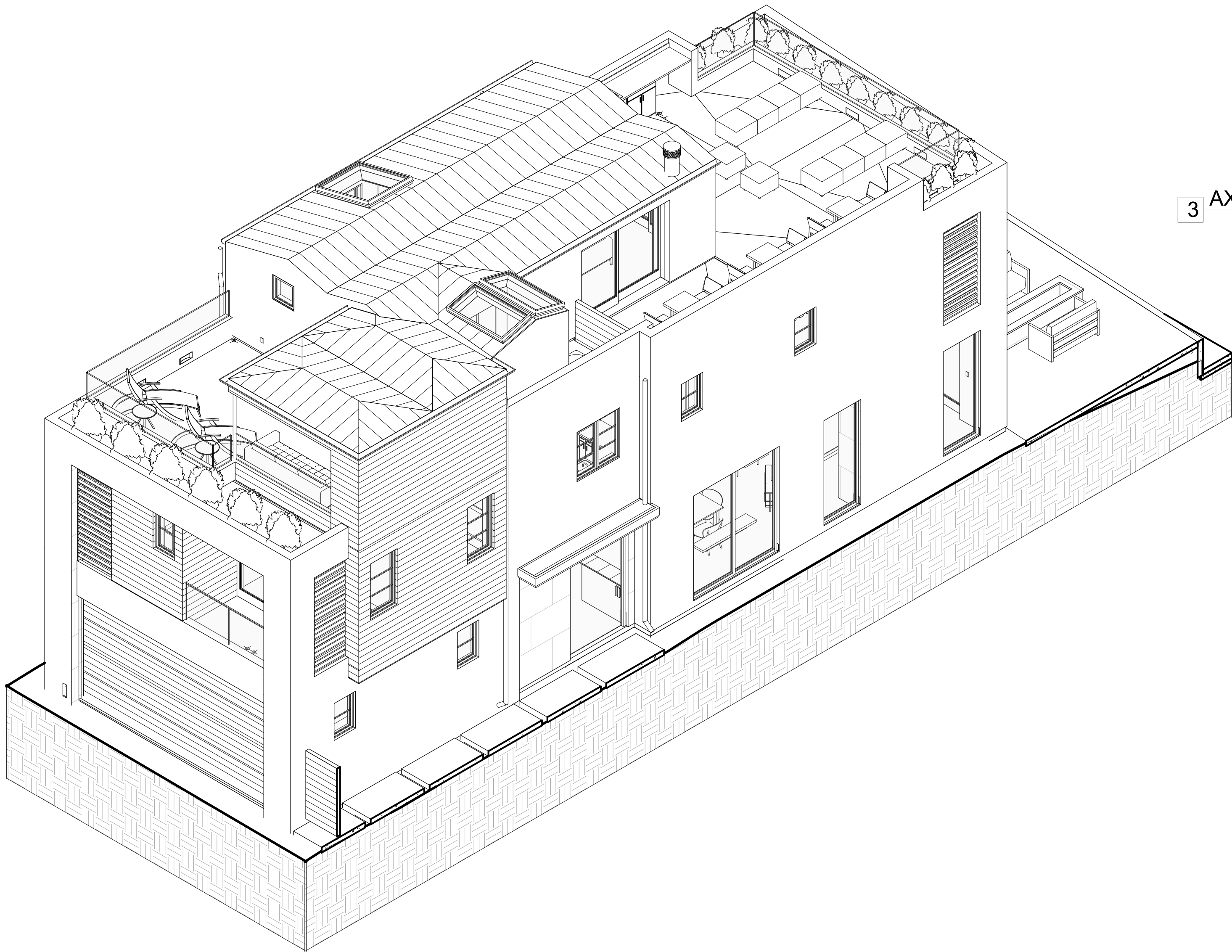
			DESIGNED BY:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:		SOILS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:	EROSION CONTROL PLAN 3900 CHANNEL PLACE LOT 2 NEWPORT BEACH, CALIFORNIA	SHEET: C4	
			DRAWN: SC	BRANDON AMUSTETS 151 KALMUS DRIVE SUITE G-1 COSTA MESA, CA 92626	PATTERSON CUSTOM HOME 3900 CHANNEL PLACE LOT 2 NEWPORT BEACH, CA 92663	FORKERT ENGINEERING & SURVEYING, INC. 22311 BROOKHURST ST, STE 203 HUNTINGTON BEACH, CA 92646 (714) 963-5783 JN 9622		COAST GEOTECHNICAL, INC 1200 W. COMMUNWEALTH AVE FULLERTON, CA 92633 PH: 714-870-1211 W.O. 557118-01 DATE: AUGUST 1, 2018	BENCHMARK NO. J-782 ELEVATION= 7.142 NAVD88 YEAR LEVELED= 1989	LOT 1 OF BLOCK 539 OF "CANAL SECTION, NEWPORT BEACH" AS SHOWN ON A MAP RECORDED IN BOOK # PAGE 98 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY			
			CHK'D: TR										
NO.	DATE	R E V I S I O N S		DATE: 8/20/18				THOMAS M. RUIZ	DATE				



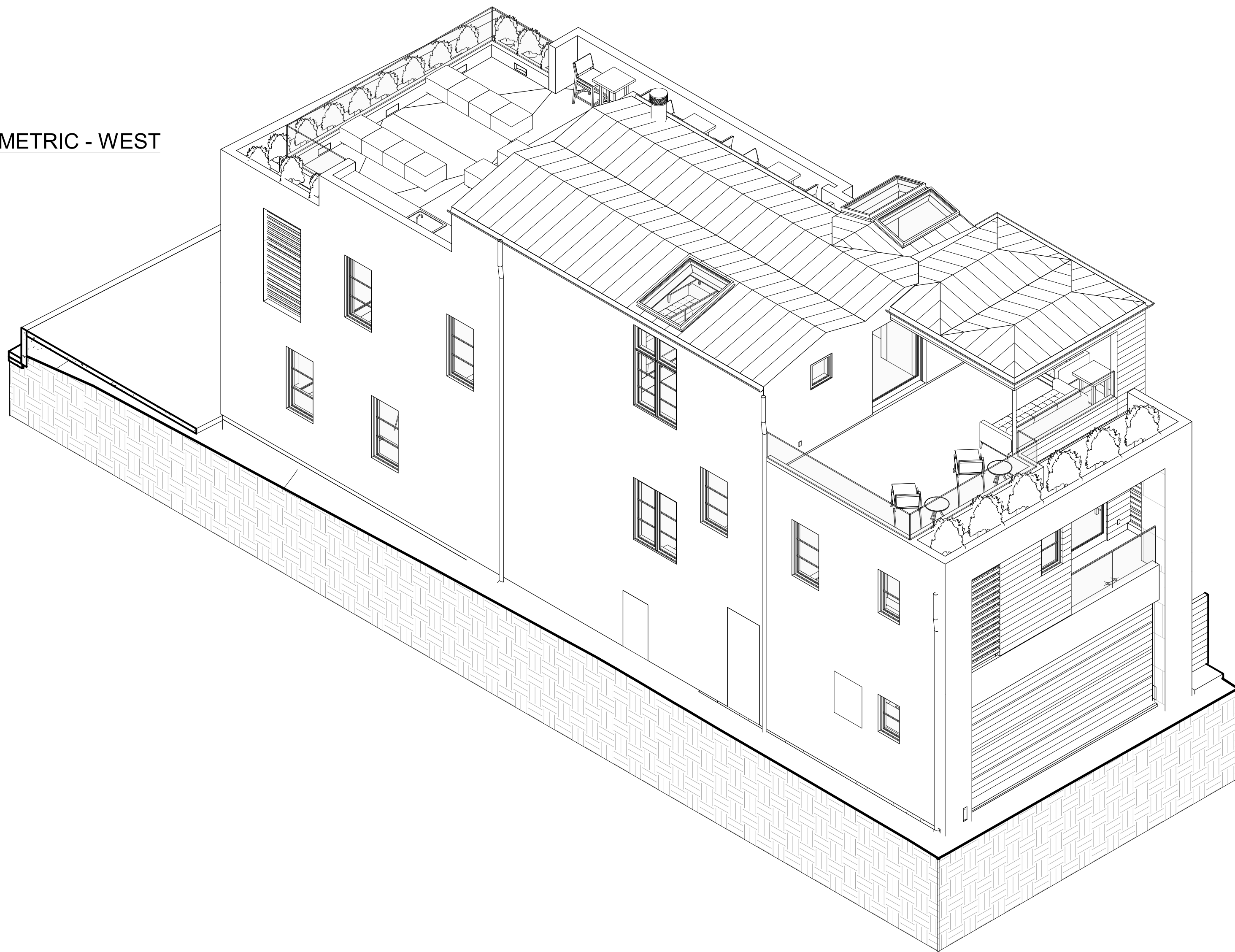
1 AXONOMETRIC - EAST



2 AXONOMETRIC - NORTH

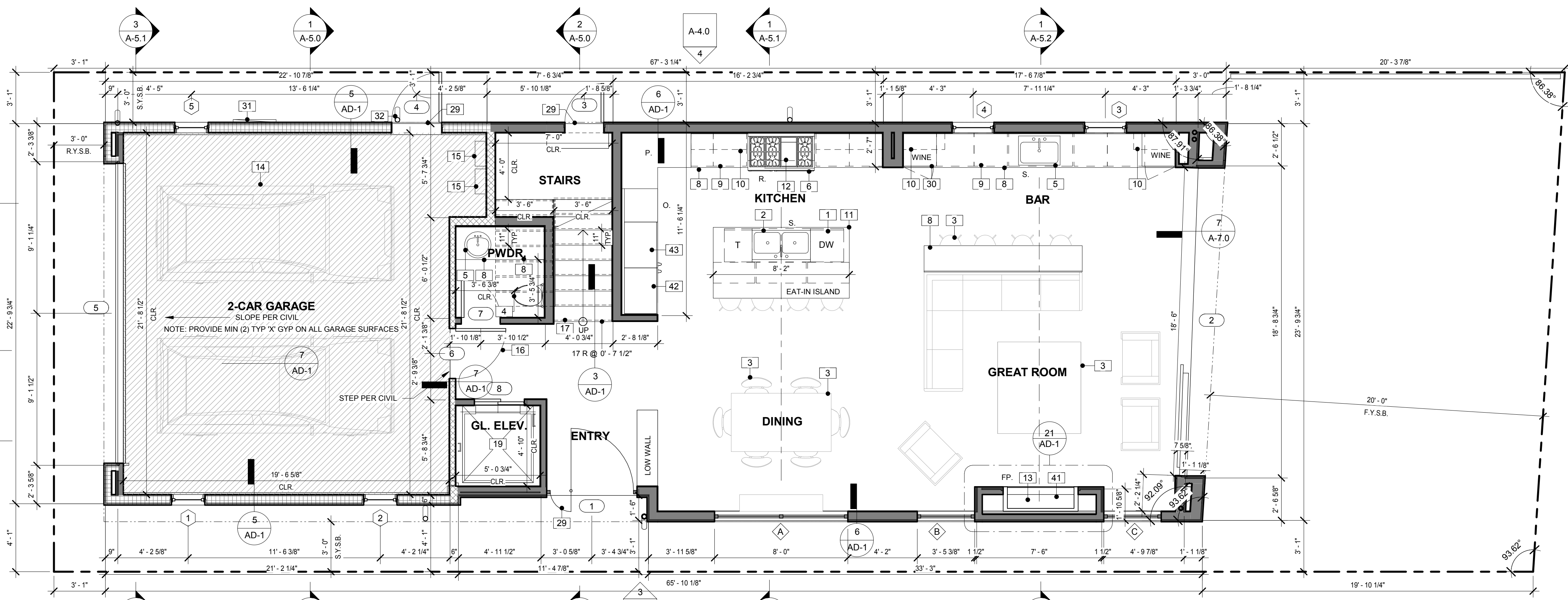


3 AXONOMETRIC - SOUTH

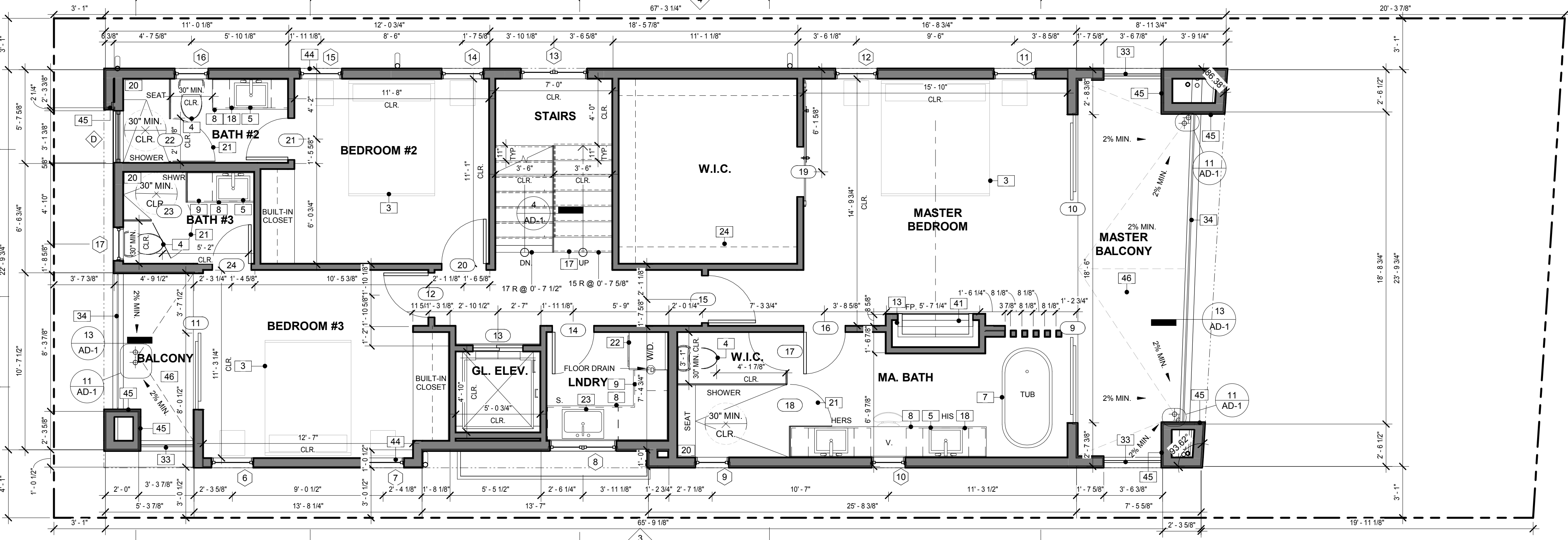


4 AXONOMETRIC - WEST

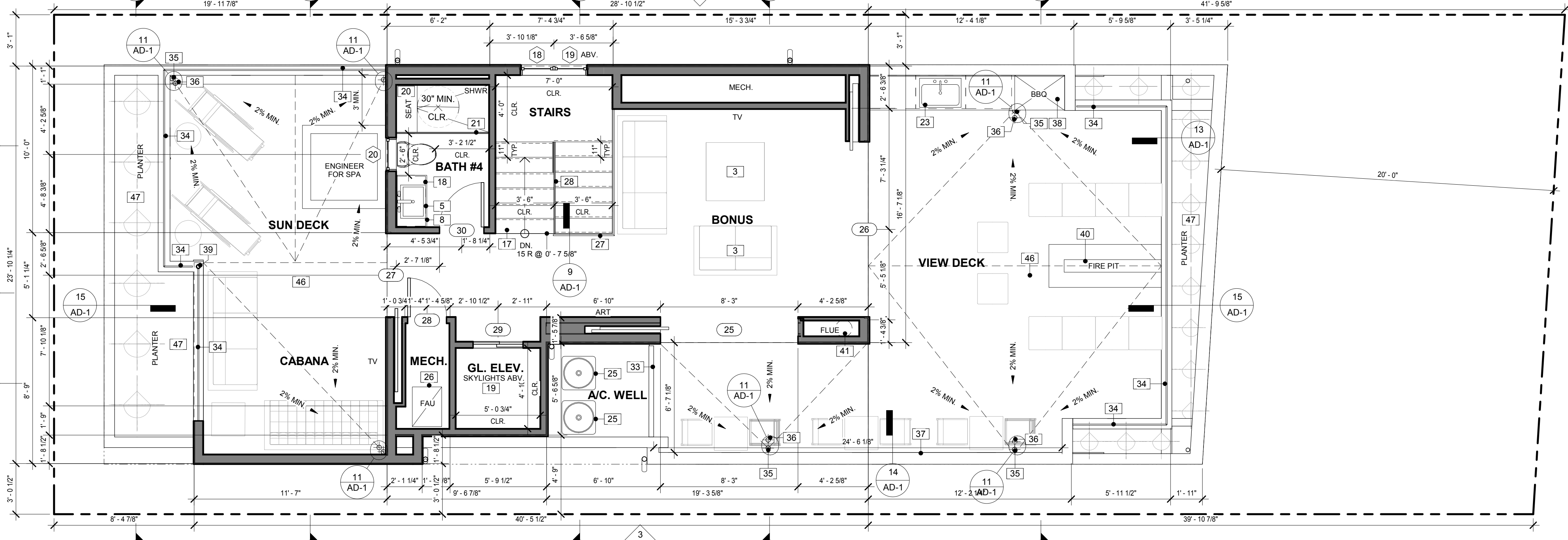
PROJECT NAME CABO CONTEMPORARY	
STATUS CDP	
BRANDON ARCHITECTS 151 Kilimius Drive, Suite G-1 Costa Mesa, CA 92626 714.754.4040 www.brandonarchitects.com	
OWNER INFORMATION: 3900 CHANNEL LLC #2, LLC, 15 CORPORATE PLAZA, NEWPORT BEACH, CA 92663	
CABO CONTEMPORARY 3902 CHANNEL PLAZA NEWPORT BEACH, CA 92663	
PROJECT MANAGER/ARCHITECT BRANDON LINSLEY, AIA	
DOCUMENT VALID UPON	
ORIGINAL SIGNATURE	
3-DIMENSIONAL VIEWS <small>These documents are the property of BRANDON ARCHITECTS, Christopher Brandon, principal architect, and are not to be duplicated, altered or utilized in any way by any other person without the written consent of BRANDON ARCHITECTS. Any reproduction, application or alteration of these documents by any party is a violation of BRANDON ARCHITECTS' policies and procedures and may result in legal action. These plans are also not to be assigned to any other party without written authorization and expressed permission from BRANDON ARCHITECTS. Any use of these documents by any third party, whether depicted or implied herein, is prohibited.</small>	
REVISIONS NO. REVISION DATE	
JOB NO. 3902-18	
DATE 11/21/2018	
SHEET NO.	
A-1.0	



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"



3 THIRD FLOOR PLAN
1/4" = 1'-0"

MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2-2016 SECTION 4. WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING VENTILATION (SEES 152a). EXCEPTION 5 TO SECTION 152 (a) FOR CONTINUOUS WHOLE-BUILDING VENTILATION, MIN. REQUIRED RATE OF VENTILATION IS 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 7.5 CFM FOR EACH OCCUPANT (ONE OCCUPANT PER BEDROOM + 1). VENTILATION TO BE PROVIDED BY EXHAUST AIR SUPPLY, EXHAUST OR COMBINED EXHAUST AND SUPPLY AIR.

2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM (PART OF WHOLE-BUILDING VENTILATION REQUIREMENT).

CALCULATIONS:
UNIT: 2,949 S.F.
0.0132 x 2,949 S.F. = 38.9 S.F. = 17.5 CFM x OCC. (BED. + 11) = 25.49 CFM + (17.5 x 4) = 55.49 CFM REQ'D.

KEYNOTE LEGEND

1. DISHWASHER - AS SELECTED
2. KITCHEN SINK - AS SELECTED
3. FURNISHINGS - AS SELECTED
4. TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL. GREEN NOTES FOR FLOW RATE INFO.
5. SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/ OWNER)
6. RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFG.)
7. BATHTUB - AS SELECTED (VERIFY LOCN. OF FIXTURES W/ OWNER)
8. COUNTERTOP - AS SELECTED
9. BASE CABINET - BUILT-IN, FINISH AS SEL.
10. UPPER CABINET - BUILT-IN, FINISH AS SEL.
11. CUSTOM BUILT KITCHEN ISLAND PER OWNER & ARCH.
12. KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFG'S. INSTRS.
13. FIREPLACE - PREFABRICATED GAS ONLY - DA VINCI CUSTOM FIREPLACE MODEL DAVINCI CUSTOM LINEAR GAS FIREPLACE (DTL. 22AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
14. VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
15. WATER HEATER - TANK LESS (ON DEMAND) WALL MOUNT 44" MIN. (TAKAGI) OR EQUIV. - VERIFY SIZE REQ'D. W/ MFG. PROVIDE ADEQUATE N.O. CONN. VENT THROUGH ROOF.
16. 1-3/8" MIN. SOLID CORE DOOR, SELF-CLOSING & SELF LATCHING (R302.5.1)
17. STAIRS - MAX 7/32" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CRG 1205-4) REF. DTL. 3AD-1
18. BASE CABINET - SINK UNIT, BUILT-IN, FINISH AS SEL.
19. RESIDENTIAL ELEVATOR - "ROCKY MOUNTAIN" OR EQUIV. - SHAFT SIZE = 60" X 60" CLEAR - PROVIDE SHDW. DGWS. TO ARCH. PRIOR TO PURCHASE & INSTALLATION
20. SHOWER - HOT ACP PAN, PROVIDE TILE W/ CEMENT BACKING MIN. 72" HIGH, NET AREA 7.1 S.F. MIN.; 30" DIA. CIRCLE MIN. REF. DTL. 11AD-1
21. TEMPERED GLASS ENCLOSURE - 1/2" THK (MIN. 3/8" THK) GLASS TO BE ETCH MARKED (FRAMELESS U.N.O.)
22. WASHER - PROVIDE HOOK-UPS & POWER - INSTALL PAN & DRAIN UNDER WASHER (TYP.) - G.C. TO VERIFY LOCN. & SIZE
23. LAUNDRY SINK - AS SEL.
24. SHED & POLE - BUILT-IN, FINISH AS SEL.
25. A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.A.B.) SEP. PERMIT REQ'D. REF. TYP. DEF. SUBMIT. #5
26. FAU - PROVIDE GAS S.O. POWER AND VENTING AS REQ'D. BY MFG. (CMC 904.1)
27. INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 5 & 9AD-1
28. INTERIOR HANDRAIL - 34" - 38" ABS. NOSING (3/4" TYP. LIN. C.), REF. DTL. 4 & 9AD-1
29. 1-1/2" MAX. STEP AT OUT SWING DOORS (R311.3.1)
30. PROVIDE POWER FOR BUILT-IN APPLIANCE EQUIPMENT
31. MAIN SERVICE PANEL - 400 AMP MAX. (MAY VARY 30" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCN. W/ SO. CA. EDISON
32. DOWNPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
33. CUSTOM WOOD SCREEN - PAINT & SEAL AS SEL. - ARCH. TO APPV.
34. EXTERIOR GLASS GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4 & 17AD-1
35. DECK/BALCONY DRAIN - SLOPE 2% MIN. - REF. DTL. 11AD-1
36. OVERFLOW DRAIN PER DTL. 11AD-1
37. EXTERIOR GUARDRAIL - MIN. 42" HEIGHT
38. BBQ, AS SEL. - PROVIDE NATURAL GAS
39. STRUCTURAL STEEL COLUMN, SIZE PER STRUCT. - VERIFY ALL DIMS W/ ARCH. PRIOR TO STEEL FABRICATION
40. FIRE PIT LOCN. - PROVIDE GAS AS NEEDED
41. EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED ACCORDING TO THE F.P. MFG'S. INSTRS. (CRC R1005)
42. FREEZER - VERIFY APPLIANCE W/ OWNER
43. REFRIGERATOR - VERIFY APPLIANCE W/ OWNER
44. WINDOW TO MEET EGRESS REQ'TS. - REF. WINDOW NOTE #6 ON SCHEDULE
45. EXT. ADHERED STONE VENEER - REF. MATERIAL SCHEDULE SH1 - A4, DTL. 8AD-1
46. TUFFLEX WATERPROOF MEMBRANE ROCK EPS-2201
47. FLAT ROOFING PER DETAIL 5A-3.8 MAT. SCHED. ON A-4

CONSTRUCTION NOTE:
PROVIDE CURB FOR ALL PERIMETER WALLS AT 10.05" NAVD88

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.)
TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER CRC R303.7

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED WITH 2 X 6 STUDS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1/2" - 1 1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD
*HERS VERIFICATION REQUIRED - REFERENCE T-24.1

- FIRE RATED CEILING ASS'Y. REF. DTL. 7/AD-1
- EXT. FIRE RATED PARTITION REF. DTL. 12/AD-1
- INT. FIRE RATED PARTITION REF. DTL. 7/AD-1
- NEW WALL - 2 x 6 STUDS @ 16" O.C.
- NEW WALL - 2 x 4 STUDS @ 16" O.C.
- WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.
- CONCRETE RETAINING WALL - REF. STRUCTURAL
- CONCRETE MASONRY WALL - 6" CMU U.N.O.
- DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
- WINDOW - REFERENCE SCHEDULE
- DOOR - REFERENCE SCHEDULE
- CABINET - BUILT IN CASEWORK
- COLUMN - REF. STRUCTURAL DWGS.
- FURNITURE - FOR PRESENTATION PURPOSES ONLY
- FIREPLACE - PREFAB GAS-ONLY APPLIANCE
- PLUMBING FIXTURE - SINK (AS SELECTED)
- PLUMBING FIXTURE - TOILET (AS SELECTED)
- LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
- WINDOW WALL TAG - REFERENCE SHEET A-7.0
- DOOR TAG - REFERENCE SHEET A-7.0
- WINDOW TAG - REFERENCE SHEET A-7.0
- KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SH1.

A PLAN LEGEND

PROJECT NAME
CABO CONTEMPORARY

STATUS
FIRST CHECK/CRP

BRANDON ARCHITECTS

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714.754.4040 | www.brandonarchitects.com

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CONTEMPORARY

3902 CHANNELPLACE
NEWPORT BEACH, CA 92663

PROJECT MANAGER/ARCHITECT
BRANDON LINDSAY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FLOOR PLAN

REVISIONS

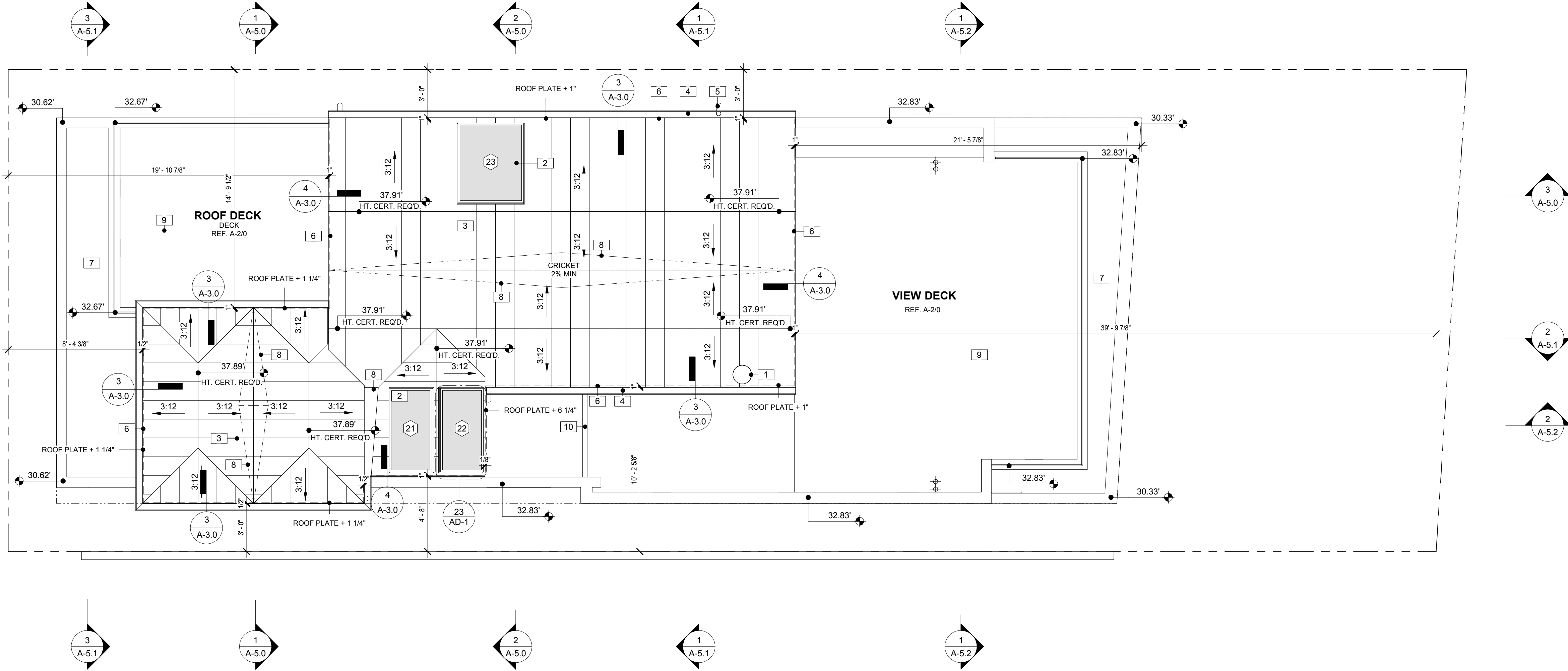
NO. REVISION DATE

JOB NO. 3902-18

DATE 09/07/2018

SHEET NO.

A-2.0



1 ROOF PLAN
1/4" = 1'-0"

KEYNOTE LEGEND

- CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. B.T. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFG. INST. INSTRUCTIONS. CMC 802.4.2.4)
- SKYLIGHT - SIZE AS DIM. - VELLUX ICG WSR-2415 OR EQUIV. (REF. DTL. 23AD-1)
- ROOF - STANDING SEAM METAL W/ SS. METAL ZINC FINISH - REF. MAT. SCHED. A-4.0 & DTL. 2/A-3.0
- METAL GUTTER - KYNAR FINISH OR EQUIV. - SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
- DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- OUTLINE OF WALLS BELOW
- FLAT ROOFING PER DETAIL 5/A-3 & MAT. SCHED. ON A-4
- CRICKET - SLOPE 2% MIN. - REF. ROOF PLAN A-4
- TUFFLEX WATERPROOF MEMBRANE PER ICG ESR-2201
- CUSTOM WOOD SCREEN - CLEAR HEART CEDAR OR EQUIV. ARCH. & OWNER TO APPV.

NOTE: ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHGTG. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHGTG. TO FACE OF FINISH FASCIA

FILLED REGION INDICATES ATTIC SPACE- REF. ATTIC VENTILATION CALCS.

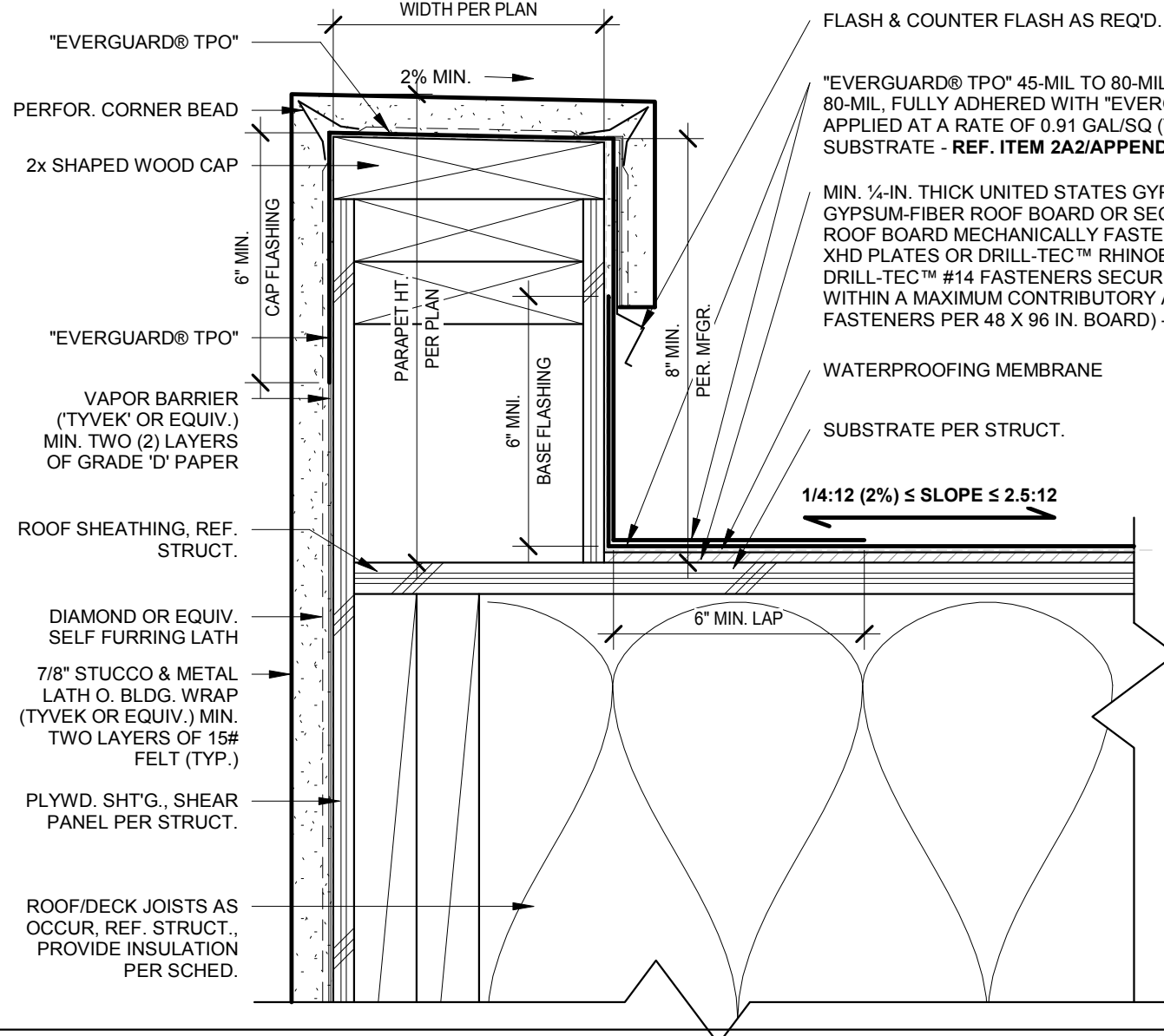
ROOF PLAN LEGEND

ROOF VENTILATION NOTES: (CRC R806)

- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/ CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R703.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.
- THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/160 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/100 IF ONE OR MORE OF THE FOLLOWING ARE MET: 1. IN CLIMATE ZONES 14 & 16, A CLASS I VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING. 2. AT LEAST 80% AND MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.
- WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHGTG. AND AT THE LOCATION OF THE VENT.
- VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFG.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R803. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R703.1.
- UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS/RAFTERS AND THE STRUCTURAL ROOF SHGTG. AT THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. 2. NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY. 3. WHERE WOOD SHINGLES OR SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHGTG. 4. IN CALIFORNIA CLIMATE ZONES 14 & 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/ THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 1, FIG. 100.1-A). 5. EITHER ITEMS 1, 1.2, OR 3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION. INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHGTG. NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES, OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATENS AND NO CONT. UNDERLAYMENT IS INSTALLED, A CONT. LAYER SHALL BE CONSIDERED TO EXIST IF SHGTG., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD 1. 5.1. AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHGTG. FOR CONDENSATION CONTROL, THE AIR-IMPERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION. 5.4. WHERE PREFORMED INSULATION BOARD IS USED AS THE AIR-IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

5

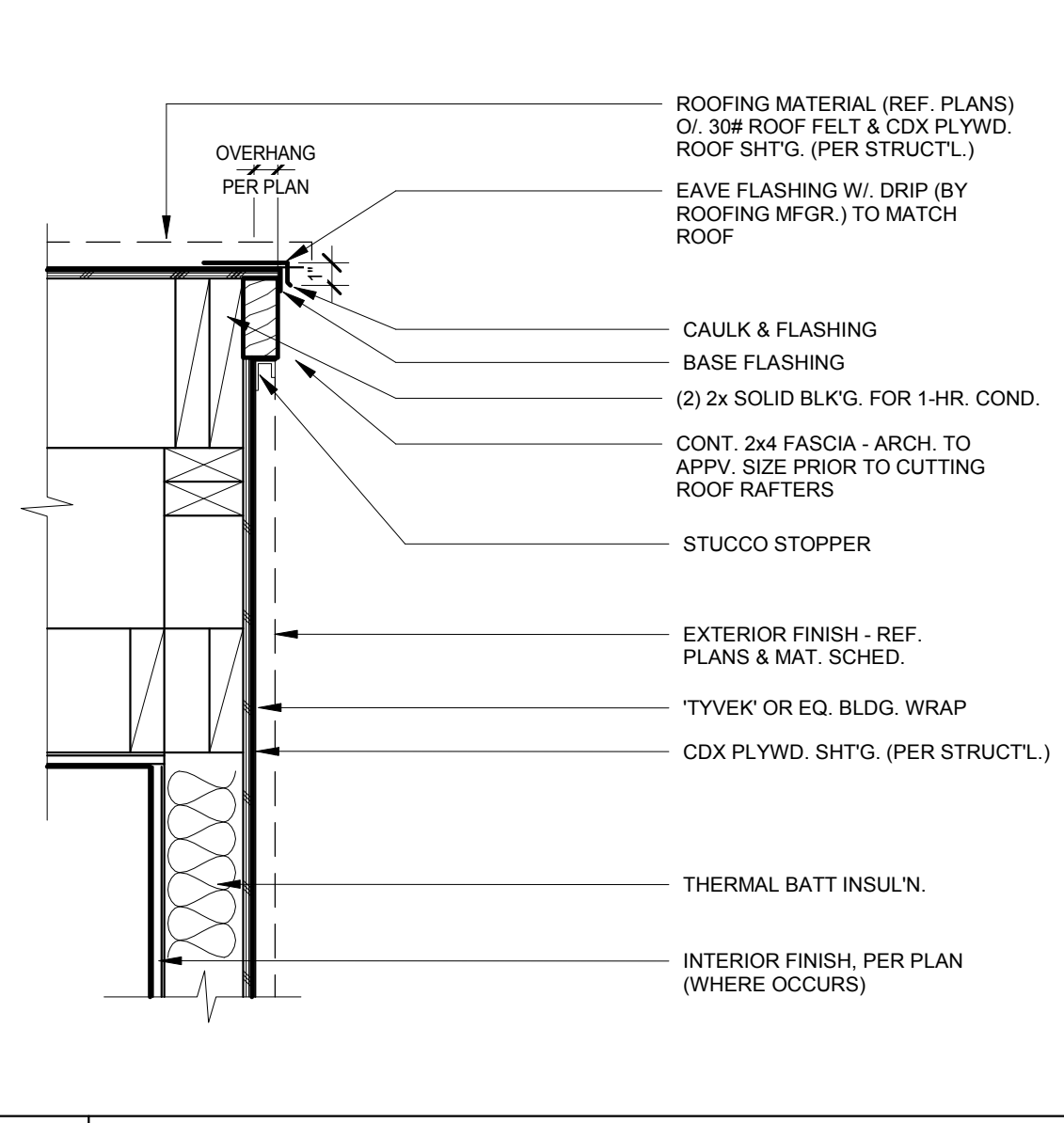
FLAT ROOF DETAIL
3" = 1'-0"



NOTE: APPLY EVERGUARD TPO & PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO & PVC EDGE. - INSTALL PER MFG. SPECS & REF. MFG. MANUAL FOR ADDITIONAL DTL. AND WARRANTY AS WELL AS UL E1306

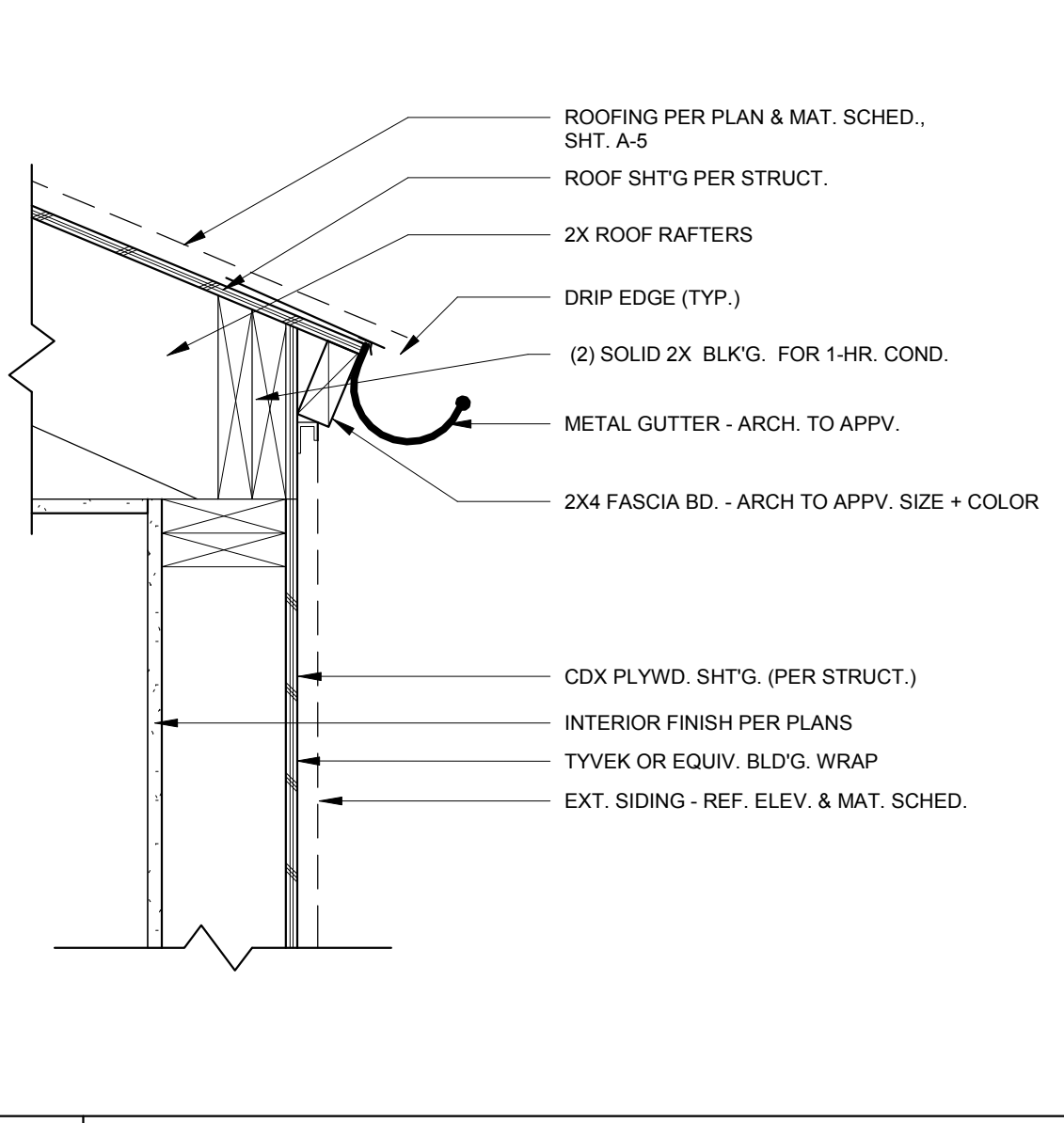
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RAKE DETAIL
1 1/2" = 1'-0"



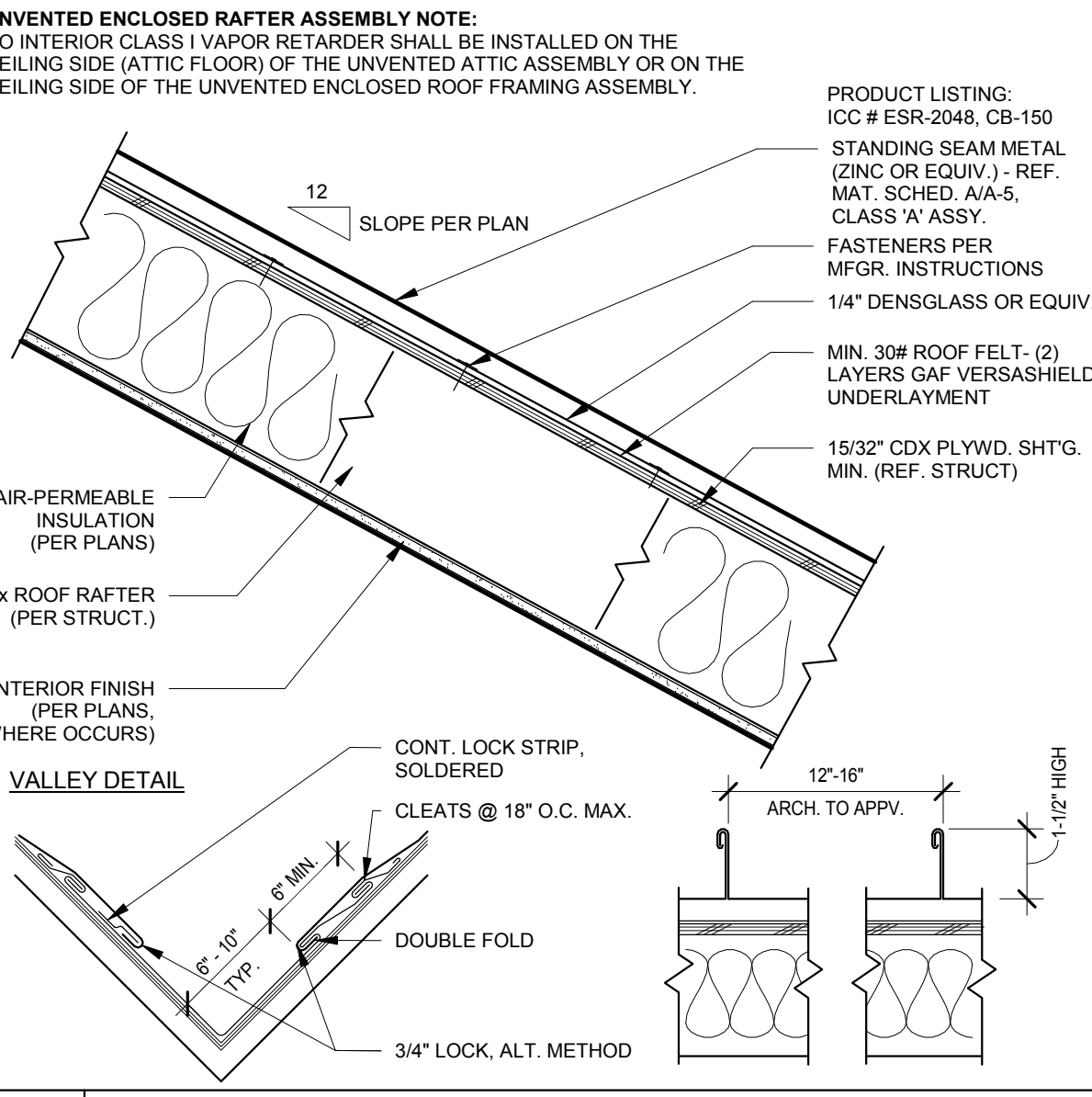
3

EAVE DETAIL
1 1/2" = 1'-0"



2

METAL ROOFING DETAIL
1 1/2" = 1'-0"



PROJECT NAME
CABO CONTEMPORARY
STATUS
FIRST CHECK/CDP

BRANDON ARCHITECTS
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BRANDON LINSLEY, AIA

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ROOF PLAN

REVISIONS

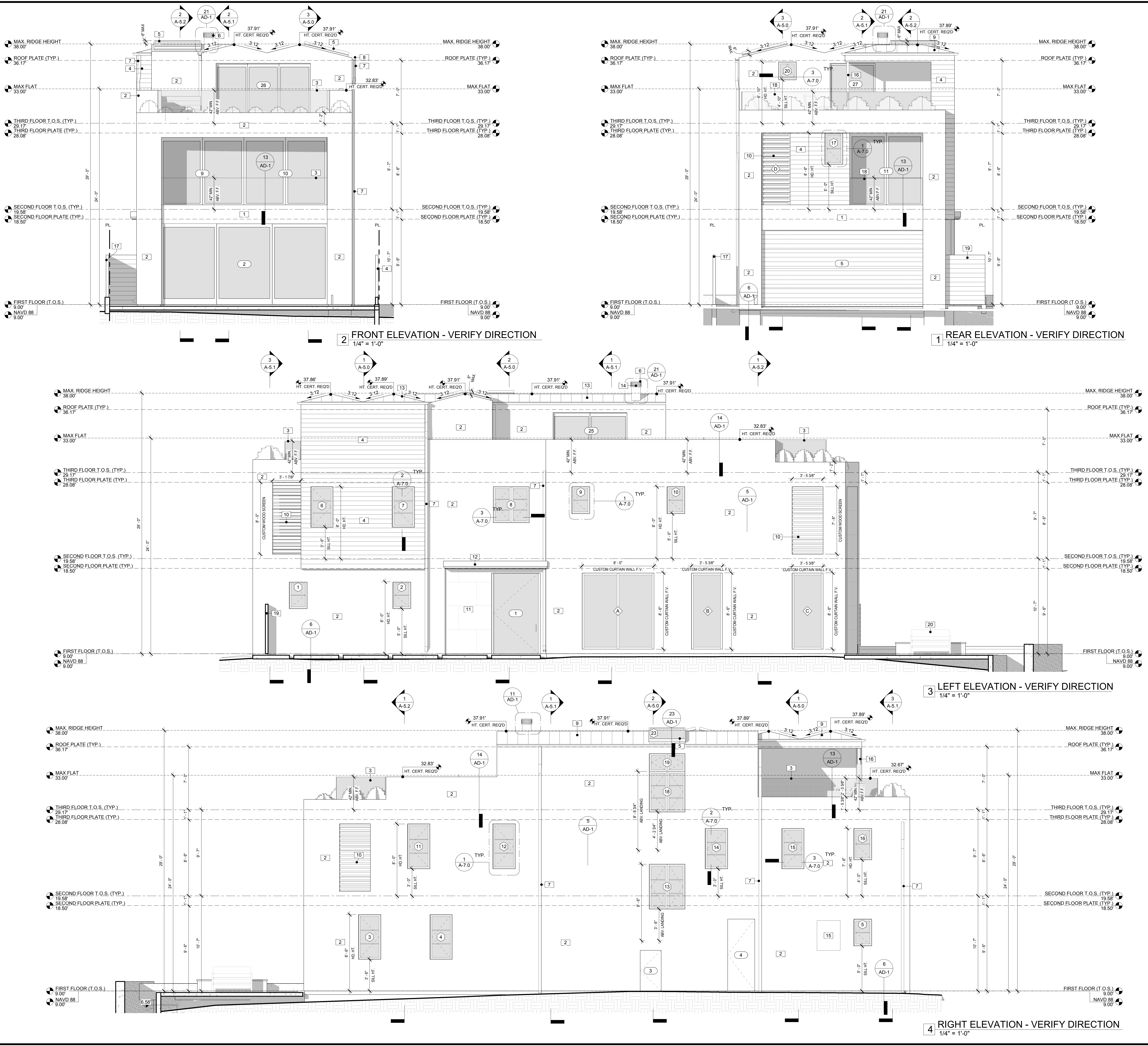
NO. REVISION DATE

JOB NO. 3902-18

DATE 09/07/2018

SHEET NO.

A-3.0



WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNG
PHONE: 949-872-3319
FAX: 206-696-2150
EMAIL: JYOUNG@ASSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM
ALUMINUM CLAD WINDOWS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD P.O. BOX 1328; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7472 OR 800-535-5956
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM
MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 6621 S. 20TH ST., PHOENIX, AZ 85040
PHONE: 877-268-1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

WOOD SIDING:
MANUFACTURER: TBD
SPECIES: WALNUT (CLEAR HEART OR 'A' CLEAR)
SIZE: 1x6
TREATMENT: STAIN & SEAL, COLOR AS SEL. (ARCH. TO APPV.) SCORE & BACK-PRIME AS NEEDED

EXTERIOR STUCCO:
MANUFACTURER: MERLEX STUCCO
2911 ORANGE OLIVE ROAD
ORANGE, CA 92665
P: 714-627-1700
COLOR: WHITE
APPLICATION: THREE-COAT APPL., SMOOTH 7/8" W/ METAL LATH (DIAMOND OR EQUIV.)

EXTERIOR STONE VENEER
SUPPLIER: TBD
STONE TYPE: CABO-STONE
COLOR: LT. BEIGE & SAND, COLOR GROUT TO MATCH
APPLICATION: SPLIT FACE
THICKNESS: 1" - 1.5" NOMINAL
WEIGHT: LESS THAN 15 LBS./S.F.

METAL ROOFING: (CLASS 'A')
MANUFACTURER: CUSTOM-BILT METALS
13940 MAGNOLIA AVE.
CHINO, CA 91710
P: 909-664-1500
PRODUCT: STANDING SEAM ZINC ROOFING, CB-150
COLOR: NATURAL ZINC
NOTES: USE CONTINUOUS 16" OR 18" PANS - VERIFY W/ ARCH. SIZE & LOCN. OF SEAMS. (NO TRANSVERSE SEAMS) REF. DTL. 2/A-3.0
WEIGHT: APPX. 2 PSF.
CODE: ICC # ESR-2048, CB-150
FLAT COOL ROOFING:
PRODUCT: TPO MEMBRANE
MFR: GAF, EVERGUARD - WWW.GAF.COM
COLOR: ENERGY GRAY 322 (COOL COLOR TECH.)
APPLICATION: REF. DTL. 4 & 5/A-4 (INSTALL PER MFR.)
CODE: ICC-CLASS A ASSEMBLY (ICC ESR-1597)
UL LISTING-TGU R1308 TPO FULLY ADHERED CLASS A
WEIGHT: N/A
GUTTERS:
MATERIAL: METAL - ALUM. PAINTED KYNAR
SHAPE: HALF ROUND (5") (VERIFY W/ ARCH.)
GARAGE DOORS:
SUPPLIER: RANCH HOUSE DOORS
WWW.RANCHHOUSEDOORS.COM
STYLE: CUSTOM
MATERIAL: CUSTOM BUILT, WOOD & GLASS
WATERPROOF DECK MEMBRANE:
TUFFLEX POLYMERS
10800 POPULAR AVE.
FONTANA, CA
P: 909-349-2019
WWW.TUFFLEXPOLYMERS.COM
CODE: ICC # ESR-2505
FLASHING & WEATHERSTRIPPING:
PROVIDE MIN. 24 GAUGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

PROJECT NAME
CABO CONTEMPORARY

STATUS
CDP

OWNER INFORMATION:
3900 CHANNEL LLC #2,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92660

PROJECT MANAGER/ARCHITECT
BRANDON LINSLEY, AIA

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

EXTERIOR ELEVATIONS & MATERIAL SCHEDULE

REVISIONS
NO. | REVISION | DATE

JOB NO. 3902-18
DATE 11/21/2018
SHEET NO.

A-4.0

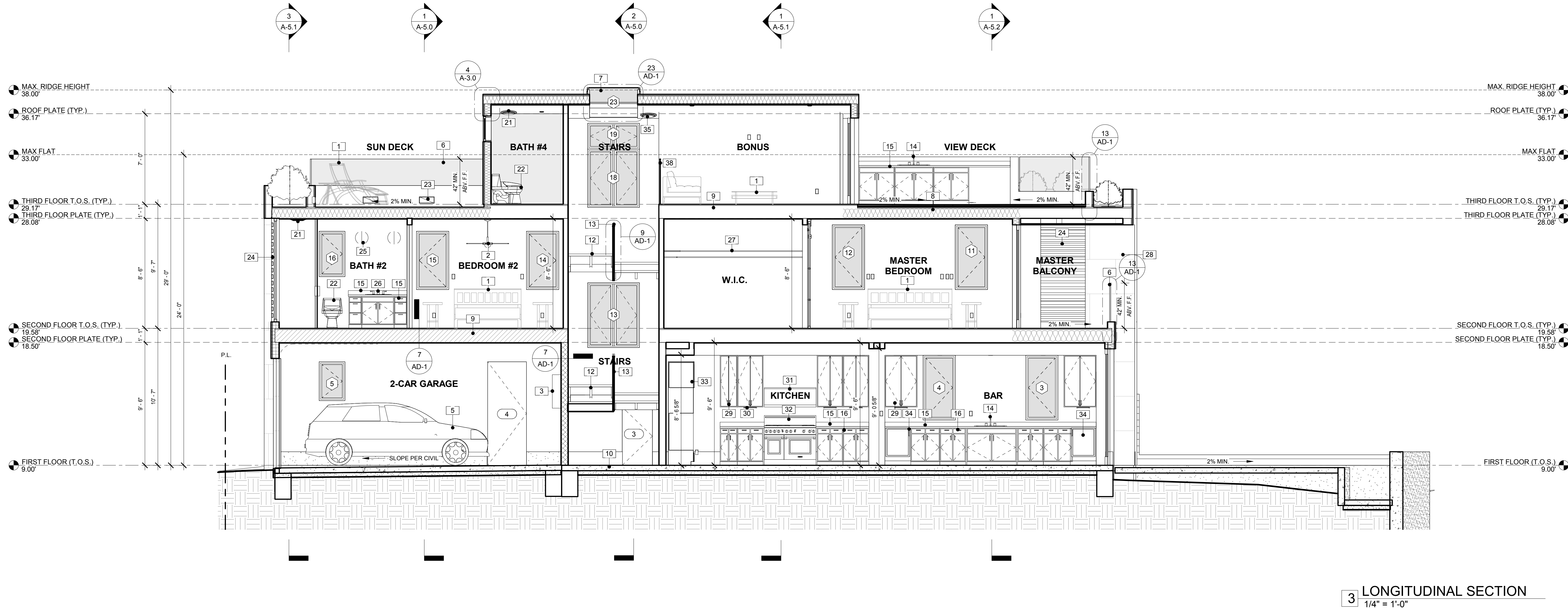
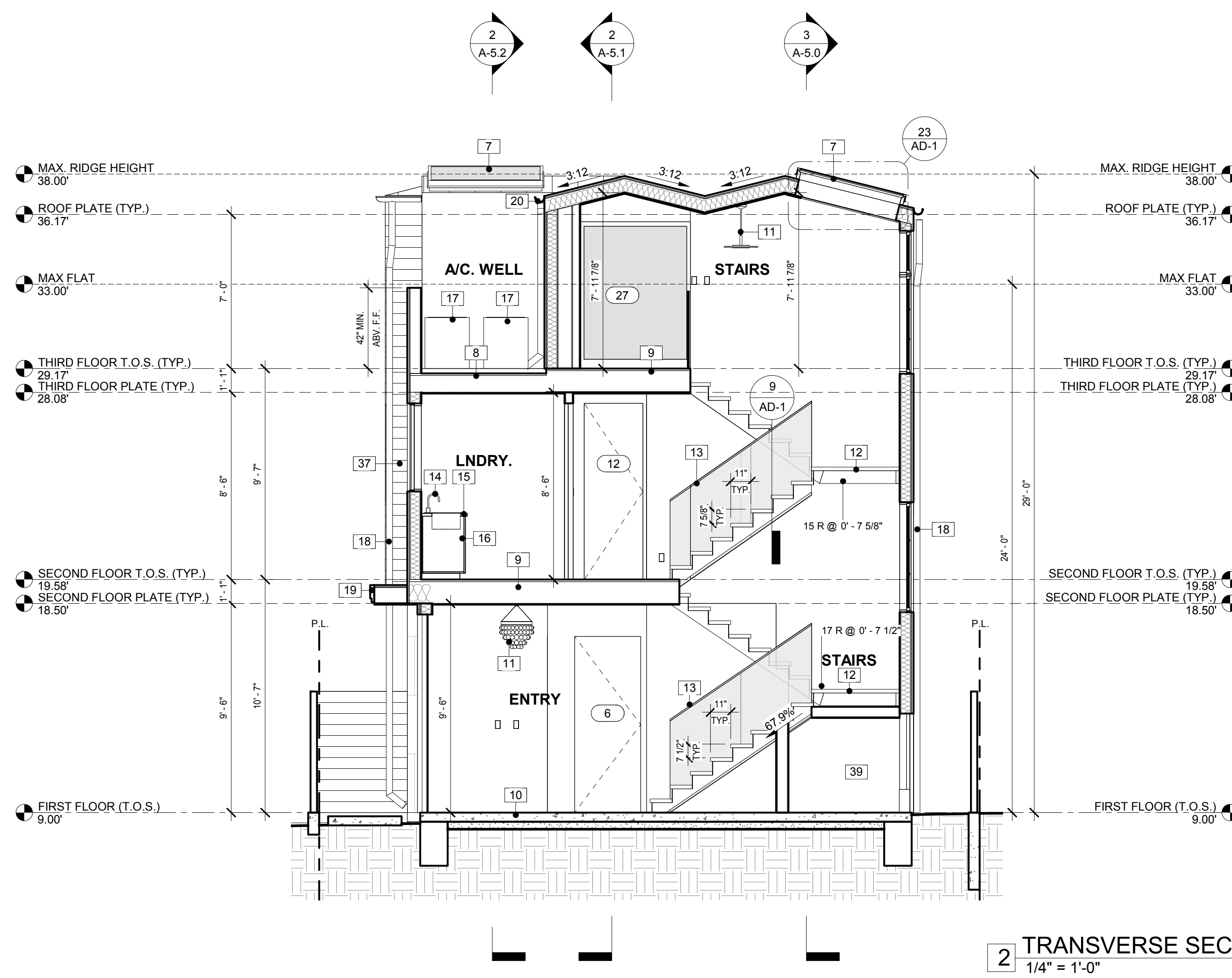
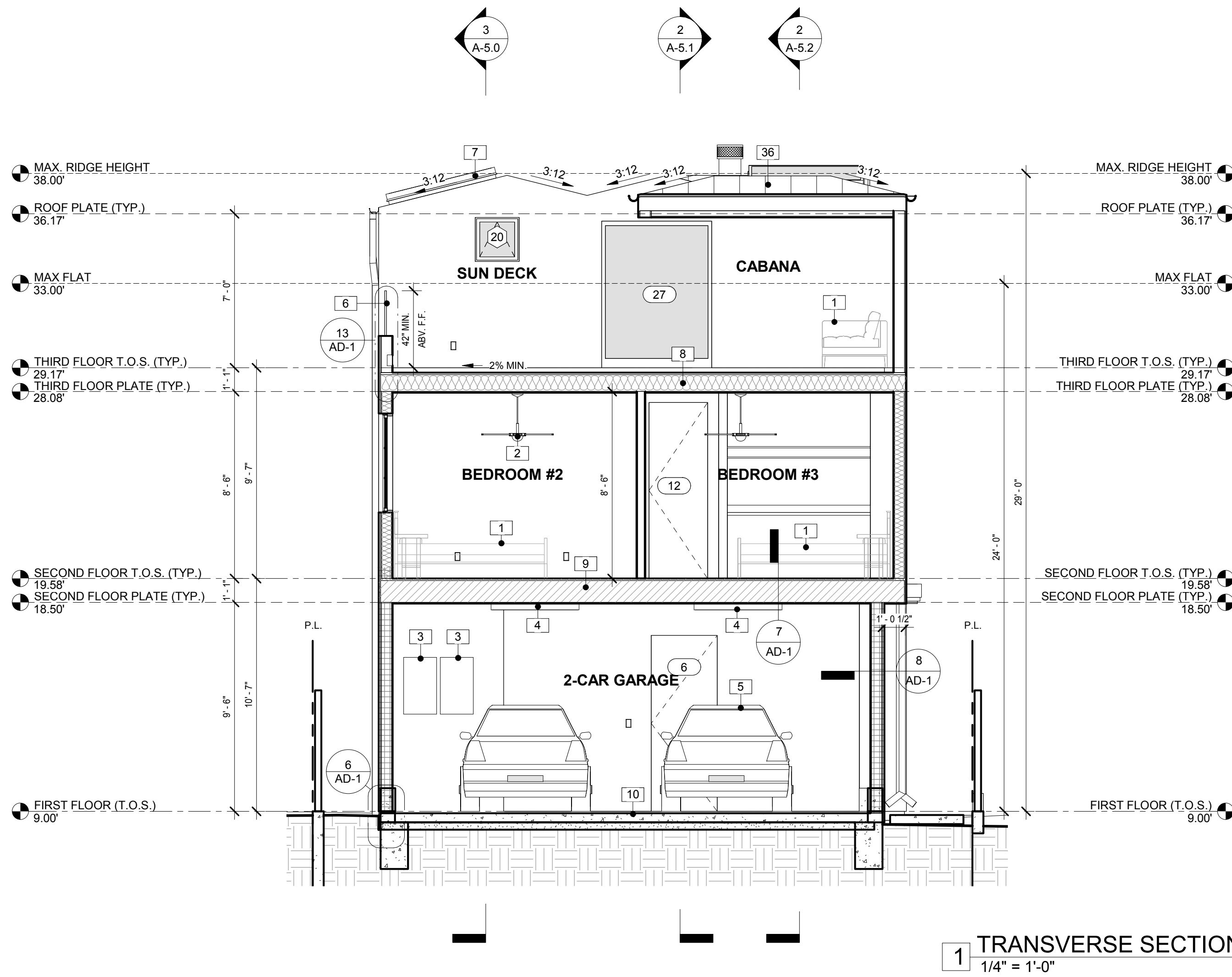
BRANDON ARCHITECTS

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714.754.4040 | www.brandonarchitects.com

CABO CONTEMPORARY

3902 CHANNEL PLAZA
NEWPORT BEACH, CA 92663

KEYNOTE LEGEND		
1	RECLAIMED WOOD SIDING - REF. DTL. 5/A-3 & MATERIAL SCHEDULE A-4	
2	STUCCO FINISH - COLOR AS SEL. ARCH. TO APPV.	
3	EXTERIOR GLASS GUARDRAIL - MIN. 42" HEIGHT - REF. DTL. 13/A-1	
4	WOOD SIDING - REF. DTL. 12/A-1 & MATERIAL SCHEDULE A-4	
5	SLOUGHT - SIZE AS DIM. - YELLOW USE REPORTER109 OR EQUIV. (REF. DTL. 23/A-1) - MAX 6" ABV. ROOF	
6	CHIMNEY CAPSPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BILT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFR. INST. INSTRUCTIONS. CMC 802.4.2.4)	
7	DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)	
8	METAL GUTTER - KYNAR FINISH OR EQUIV. SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.	
9	METAL ROOFING (S.S. ZINC/KYNAR PAINTED ALUM. OR EQUIV.), REF. DTL. A/A-4 & MAT. SCHED. A-4 - COLOR AS SEL. ARCH. TO APPV.	
10	CUSTOM WOOD SCREEN - PAINT & SEAL AS SEL. - ARCH. TO APPV.	
11	EXT. ADHERED STONE VENEER - REF. MATERIAL SCHEDULE SHT. A-4, DTL. 8/A-1	
12	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS)	
13	ROOF - STANDING SEAM METAL W/ SS. METAL ZINC FINISH - REF. MAT. SCHED. A-4.8 & DTL. 2/A-3.0	
14	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING W/IN 10' BUT SHALL NOT BE LESS THAN 3' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF (CBC 2113.9)	
15	(MAIN SERVICE PANEL 400 AMP MAX (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCN. W/ SO. CA. Edison)	
16	STRUCTURAL STEEL COLUMN, SIZE PER STRUCT. VERIFY ALL DIMS W/ ARCH. PRIOR TO STEEL FABRICATION	
17	(PROPERTY LINE FENCE (NEW)) 3.6" CURB FOUNDATION, WOOD TO MATCH - (MAX. 6" ABV. N.G.)	
18	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 13/A-1	
19	(N) GATE - PER LANDSCAPE DESIGNER (MAX. 9' - 6" HT. ABOVE NATURAL GRADE)	
20	FURNISHINGS - AS SELECTED	



INSULATION SCHEDULE:	
EXTERIOR WALL: 2 x 4 CONST. = 2 x 6 CONST. OR LARGER =	R-19 MIN. R-19
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30
(REF. T-24 REPORT FOR MORE INFORMATION)	
NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

FIRE-BLOCKING & DRAFT-STOP NOTE

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS.

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION: FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS.

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS.

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFT STOP CONSTRUCTION.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/4 INCH GYPSUM BOARD, 3/8 INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

KEYNOTE LEGEND

1	FURNISHINGS - AS SELECTED
2	CEILING FAN - W/ INCANDESCENT FIXTURE, AS SELECTED
3	WATER HEATER - TANKLESS (ON DEMAND) WALL MOUNT 44" MIN. "TAKAGI" OR EQUIV. - VERIFY SIZE REQ'D. W/ MFG. PROVIDE ADEQUATE N.G. CONN. VENT THROUGH ROOF
4	LINEAR FLUORESCENT FIXTURE - CEILING MOUNT (ALT. RECESS)
5	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
6	EXTERIOR GLASS GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING. (REF. DTL. 13AD-1)
7	SKYLIGHT - SIZE AS DIM. - VELUX ICC #ESR-2415 OR EQUIV. (REF. DTL. 23AD-1)
8	DECK FRAMING - REF. STRUCT.
9	FLOOR JOISTS - REF. STRUCT.
10	(N) CONCRETE SLAB ON GRADE - REF. STRUCT. & CIVIL DWGS.
11	DECORATIVE PENDANT LIGHT FIXTURE
12	STAIRS - MAX. 7 1/2" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CIRC 1205.4) REF. DTL. 3AD-1
13	INT. GLASS MOUNTED HANDRAIL (34" - 38" ABV. NGOSING, 30" TYP.) PER DTL. 9AD-1
14	LAUNDRY SINK - AS SEL.
15	COUNTERTOP - AS SELECTED
16	BASE CABINET - BUILT-IN, FINISH AS SEL.
17	A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATT. REQ'D. BY C.N.S.) SEP. PERMIT REQ'D. 7/1-1 DEF. SUBMITL. #3
18	DOWNSPOUT - METAL OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
19	ROOF FASCIA - EAVE AS DIMENSIONED (REF. ROOF PLAN & RCP FOR DETAILS)
20	METAL GUTTER - KYNAR FINISH OR EQUIV. SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH. PRIOR TO FAB.
21	EXHAUST FAN W/ DUCT - MIN. 50 CFM
22	TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL GREEN NOTES FOR FLOW RATE INFO.
23	EXTERIOR RECESSED WALL MOUNTED LIGHT FIXTURE (HIGH EFFICIENCY) SIZE AS SEL. DOWNLIGHT TYP. U.N.O.
24	CUSTOM WOOD SCREEN - PAINT & SEAL AS SEL. - ARCH. TO APPV.
25	WALL MOUNTED LIGHT FIXTURE, SCRODGE
26	SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/ OWNER)
27	SHELF AND POLE - BUILT-IN, FINISH AS SEL.
28	EXT. ADHERED STONE VENEER - REF. MATERIAL SCHEDULE SHT. A-4.0, DTL. 8AD-1
29	UPPER CABINET - BUILT-IN, FINISH AS SEL.
30	UNDER CABINET FIXTURE - PROVIDE CHANNEL LED LIGHTING, VERIFY W/ OWNER.
31	KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFGRS. INSTRS.
32	RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFGRS.)
33	TALL CABINET - BUILT-IN, FINISH AS SEL.
34	PROVIDE POWER FOR BUILT-IN APPLIANCE/EQUIPMENT
35	PROVIDE FAN TO COMPLY W/ WHOLE HOUSE VENTILATION REQUIREMENT - SEE MECH. VENT. NOTE-1 (ARCH. TO APPV. LOGN.)
36	ROOF - STANDING SEAM METAL W/ SS METAL ZINC FINISH - REF. MAT. SCHED. A-4.0 & DTL. 2/A-3.0
37	WOOD SIDING - REF. DTL. 5AD-4 & MATERIAL SCHEDULE A-4
38	INTERIOR GUARD - MIN. 42" HIGH - 4" MAX. SPHERE OPENING. REF. DTL. 4 & 9AD-1
39	ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 58" TYPE 'X' GYP. DR. FINISH TYP. (1/2" MIN.) (CRC R302.7)

	SECTION INDICATOR
	CALL-OUT TAG
	ELEVATION INDICATOR
	REVISION FLAG
	STAIR TAG (NO. OF RISER & HEIGHT)
	WALL TAG
	DOOR TAG - REF. SHEET A-7.0
	WINDOW TAG - REF. SHEET A-7.0
	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A ANNOTATION LEGEND

	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

B SEPARATION LEGEND

PROJECT NAME
CABO CONTEMPORARY

STATUS
FIRST CHECK/CDP

BRANDON ARCHITECTS

151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:

3902 CHANNEL LLC #2,
LLC,
15 CORPORATE PLAZA,
NEWPORT BEACH, CA
92660

PROJECT MANAGER/ARCHITECT
BRANDON LINDSAY, AIA

DOCUMENT VALID UPON

BUILDING SECTIONS

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REVISIONS

NO.	REVISION	DATE

JOB NO.

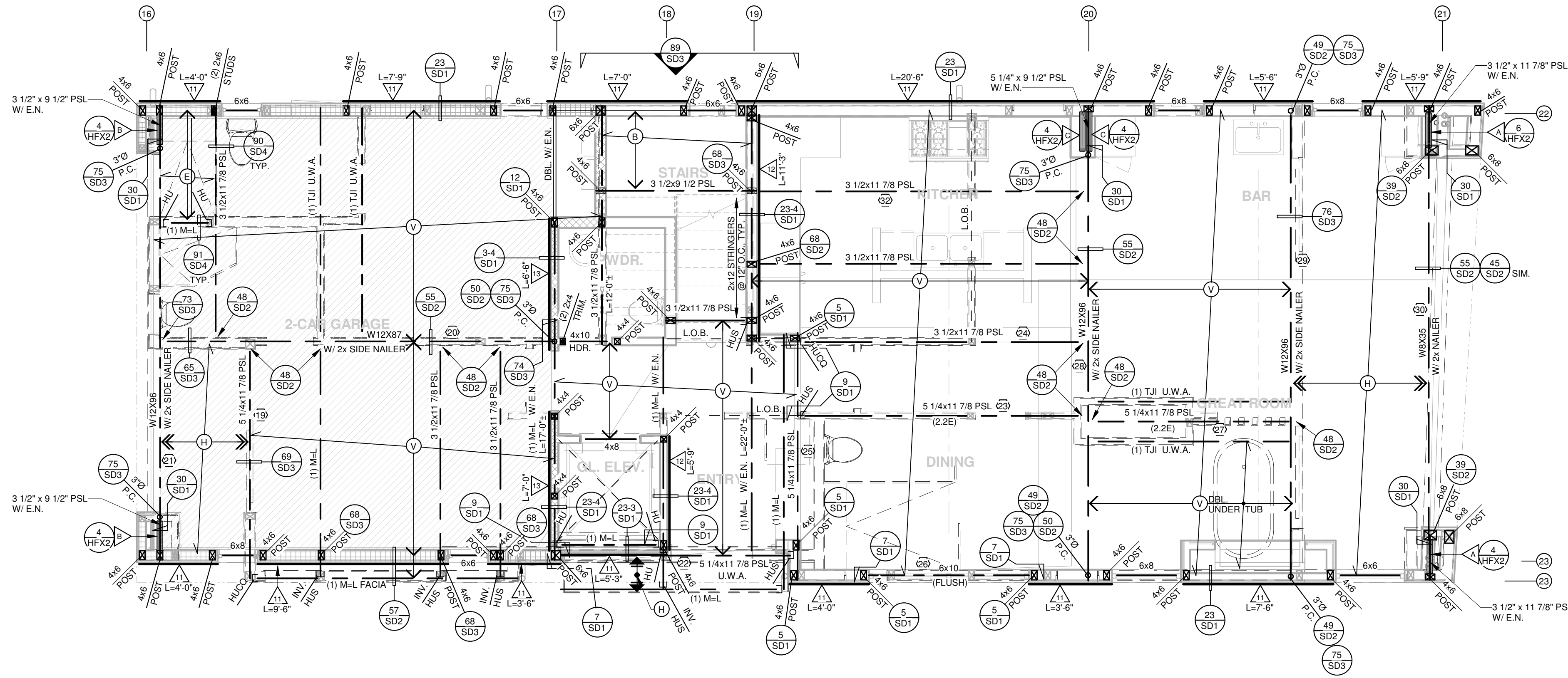
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DATE

09/07/2018

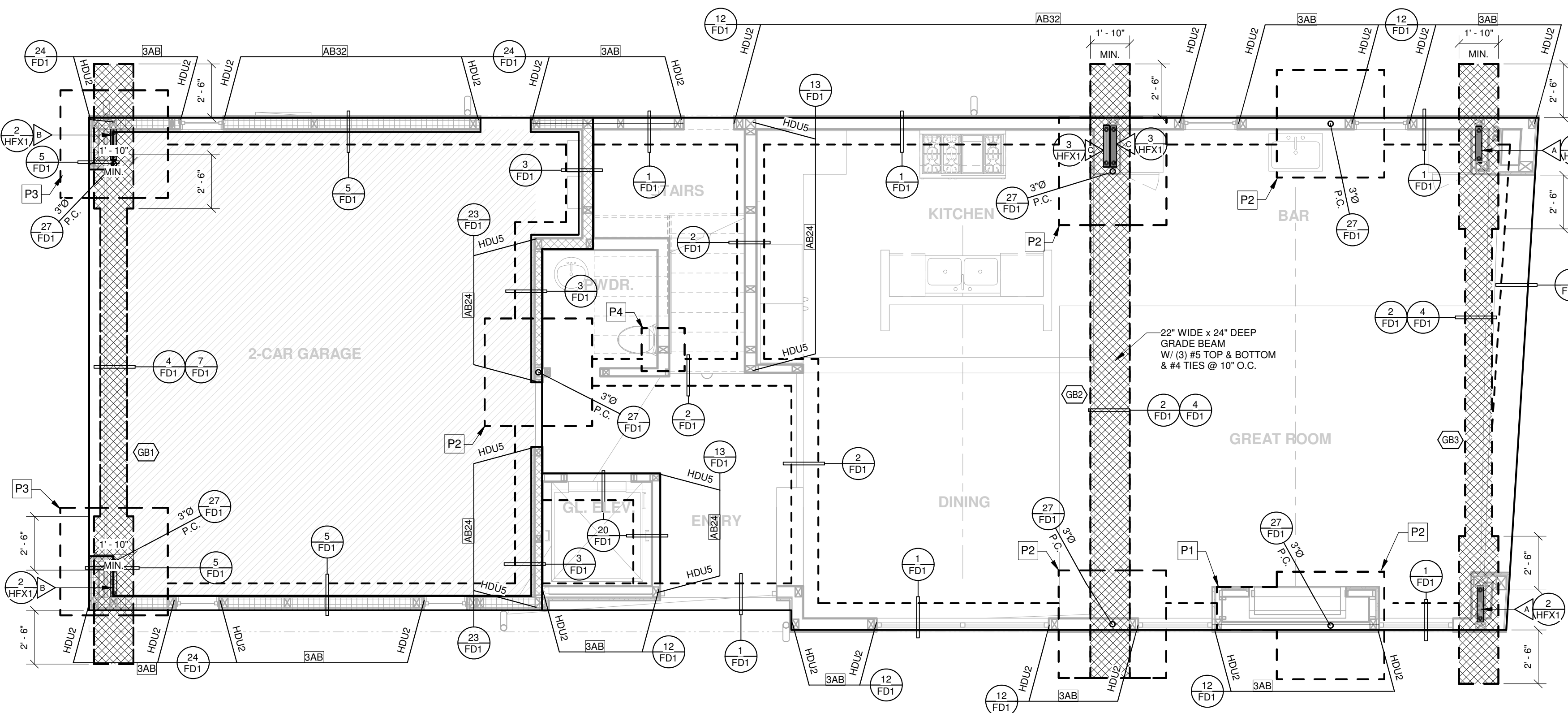
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A-5.0



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

ALL DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTS DRAWINGS ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO COMMENCING OF WORK.

- ALL BEARING & SHEAR WALLS ARE TO BE SECURED WITH 5/8" DIAMETER BY 10" LONG ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE WITH A MAXIMUM SPACING OF 48" O.C. U.N.O. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER PIECE OF FOUNDATION PLATE WITH ONE BOLT LOCATED WITHIN 12" MAX. 6'-4" MIN. OF EACH END OF EACH PIECE. SHEAR WALLS BOLTS SHALL HAVE A PROPERLY SIZED NUT AND A 3"x3"x.229" WASHER. THE WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE NUT AND WASHER. WASHER TO BE INSTALLED WITHIN A 1/2" OF THE SHEATHED SIDE OF THE PLATE. A STANDARD CUT WASHER MAY BE USED AT NON-SHEAR WALL LOCATIONS.
- FOR ALL INTERIOR NON-SHEAR WALLS USE SIMPSON 0.145" DIAMETER 3" LONG POP POWDER ACTUATED ANCHORS @ 24" O.C. (ESR #2138 OR EQUAL).
- INSTALL ALL SIMPSON (OR APPROVED EQUAL) FOUNDATION HARDWARE PER MANUFACTURERS RECOMMENDATIONS. DEEPEN FOOTING WHERE NECESSARY TO PROVIDE ANCHOR EMBEDMENT AT HOLDOWN LOCATIONS.
- ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUG FIR OR REDWOOD WITH SODIUM BORATE (SBX) OR DISODIUM OCTABORATE TETRAHYDRATE (DOT).

NOTE: WHEN REQUIRED BY LOCAL BUILDING DEPARTMENT ALL ANCHOR BOLTS AND HOLDOWN BOLTS TO BE SET IN PLACE PRIOR TO CITY FOUNDATION INSPECTION

SOIL INFORMATION:

- FOUNDATION SIZES, DEPTHS, AND REINFORCEMENT ARE AS RECOMMENDED WITHIN THE OWNER/DEVELOPER'S SOILS ENGINEERS REPORT. SOILS ENGINEER TO PROVIDE FOUNDATION INSPECTOR AS OUTLINED IN LATEST SOIL REPORT.
- OWNER/DEVELOPER AND SUBCONTRACTORS ARE TO REVIEW THE SOILS REPORT PRIOR TO COMMENCING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, DEVELOPER AND SUBCONTRACTOR TO VERIFY THAT THE REPORT DATE ABOVE IS CURRENT AND PLAN REQUIREMENTS ARE CONSISTANT WITH ANY UPDATED SOIL REPORTS. ES/IFME IS TO BE SUPPLIED WITH ALL UPDATED REPORTS.

- 15" WIDE x 24" DEEP FTG. W/ 2-#5 TOP & BOTTOM CONT.
- GRADE BEAM PER PLAN
- 15" WIDE x 24" DEEP
- W/ (2) #5 & #4 TIES @ 10" O.C.
- WIDEN AT HARDY FRAME AS REQUIRED
- SEE SHEET "HFX" FOR SHEAR TIE SPACING

SLAB: 5" THK. W/ #4 BARS @ 12" O.C. E/W @ MIDDLE NEW CONSTRUCTION WITH SLAB ON GRADE SHALL INSTALL A CAPILLARY BREAK IN COMPLIANCE WITH CG 4.505.2.1 WITH 2-INCH THICK LAYER OF SAND OVER A 15 MIL VAPOR BARRIER COMPLIANT WITH ASTM E 1745. OVER A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING. (FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.0R-06)

ANCHOR BOLT LEGEND:

AB48 : 5/8" DIA. X 12" ANCHOR BOLTS AT 48" O.C.
AB40 : 5/8" DIA. X 12" ANCHOR BOLTS AT 40" O.C.
AB32 : 5/8" DIA. X 12" ANCHOR BOLTS AT 32" O.C.
AB24 : 5/8" DIA. X 12" ANCHOR BOLTS AT 24" O.C.
AB16 : 5/8" DIA. X 12" ANCHOR BOLTS AT 16" O.C.
AB 8 : 5/8" DIA. X 12" ANCHOR BOLTS AT 8" O.C.

2AB : (2) 5/8" DIA. X 12" ANCHOR BOLTS.
3AB : (3) 5/8" DIA. X 12" ANCHOR BOLTS.

2-#4 : PROVIDE A TOTAL OF 2 #4 AT TOP AND 2 #4 AT BOTTOM OF FOOTING, 3" PAST POSTS.
3-#4 : PROVIDE A TOTAL OF 3 #4 AT TOP AND 3 #4 AT BOTTOM OF FOOTING, 3" PAST POSTS.

HTT4 : (1) SIMPSON HTT4 PER POST.
HTT5 : (1) SIMPSON HTT5 PER POST.
HDU2 : (1) SIMPSON HDU2-SDS2.5 PER POST.
HDU5 : (1) SIMPSON HDU5-SDS2.5 PER POST.
HDU8 : (1) SIMPSON HDU8-SDS2.5 PER POST.
HD08 : (1) SIMPSON HD08-SDS2.5 PER POST.
HDU11 : (1) SIMPSON HDU11-SDS2.5 PER POST.
HDU14 : (1) SIMPSON HDU14-SDS2.5 PER POST.

HARDY FRAME SCHEDULE			
NOTE: - FIELD VERIFY ALL HFX HEIGHTS. SPECIAL ORDER HEIGHT AS REQUIRED. - ALL HFXS ON SLAB MUST BE INSTALLED ON DRY PACK. (NOT WOOD SILL PLATE)			
HFX #	HFX SIZE	CUSTOM HEIGHT	NOTES
△	HFX 21x9 1-1/8 H.S.-STK		STACKED
△	HFX 18x10 1-1/8 H.S.		
△	HFX 24x10 1-1/8 H.S.		BACK-TO-BACK

PAD FOOTING SCHEDULE	
NOTES: - CENTER PADS ON POSTS, U.N.O. - BOTTOM OF PAD TO MATCH BOTTOM OF FOOTING. - RUN FOOTING REINFORCING CONTINUOUS THROUGH PADS.	
PAD #	PAD SIZE AND REINFORCING
P1	90" x 24" RECT. x 24" DEEP CONCRETE PAD W/ #5 @ 12" O.C. EACH WAY. @ BOTTOM
P2	60" SQ. x 24" DEEP CONCRETE PAD W/ (10) #5 EACH WAY. @ BOTTOM
P3	60" SQ. x 24" DEEP CONCRETE PAD W/ (11) #5 EACH WAY. @ BOTTOM
P4	24" SQ. x 24" DEEP CONCRETE PAD W/ (3) #5 EACH WAY. @ BOTTOM

LATERAL SHEAR NOTES:

(2016 CBC, SDPWS 2015: SEISMIC DESIGN CATEGORY D & E) (TABLE 4.3A, AFPA SDPWS-2015)

- VERTICAL:
FRAMING MEMBERS DOUGLAS FIR-LARCH AT 16" O.C.
- 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 6" O.C. AT EDGES AND 12" O.C. AT FIELD260 PLF
- 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 4" O.C. AT EDGES AND 12" O.C. AT FIELD350 PLF
- 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 3" O.C. AT EDGES AND 12" O.C. AT FIELD490 PLF
- 1/2" WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. AT FIELD640 PLF
- 1/2" (OR 15/32) WOOD STRUCTURAL PANEL WITH 10d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. AT FIELD770 PLF
- 1/2" (OR 15/32) STRUCT. WOOD PANEL WITH 10d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. AT FIELD870 PLF
- HORIZONTAL:
FRAMING MEMBERS DOUGLAS FIR-LARCH AT 24" O.C.
- 3/8" @ CEILING LDS. 15/32 @ ROOF SHEATHING: AT 18" O.C.

- BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 6" O.C. AT BOUNDARIES, 6" AT CENTER AND 10" AT FIELD240 PLF
- BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 4" O.C. AT BOUNDARIES, 6" AT CENTER AND 10" AT FIELD320 PLF
- BLOCKED PLYWOOD DIAPHRAGM WITH 3/8" WOOD STRUCTURAL PANEL AND 8d COMMON NAILS AT 2.5" O.C. STAGG AT BOUNDARIES, 6" AT EDGES AND 10" AT FIELD425 PLF
- BLOCKED PLYWOOD DIAPHRAGM WITH 19/32 WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2" O.C. STAGG AT BOUNDARIES, 6" AT EDGES AND 10" AT FIELD640 PLF
- BLOCKED PLYWOOD DIAPHRAGM WITH 19/32 WOOD STRUCTURAL PANEL AND 10d COMMON NAILS AT 2" O.C. STAGG AT BOUNDARIES, 3" AT EDGES AND 10" AT FIELD730 PLF

NOTES:
A. WOOD STRUCTURAL PANEL: MATERIAL APPROVED BY APA. PF5/TECO OR PITTSBURG TESTING LABORATORIES THESE VALUES ARE FOR DOUG-FIR LARCH OR SOUTHERN PINE. OTHER LUMBER SPECIES MAY DIFFER IN SHEAR CAPACITY.
B. PROVIDE 2X BLOCKING AT HORIZONTAL WOOD STRUCTURAL PANEL JOINTS. FRAMING AT ADJOINING PANEL EDGES SHALL BE 3X WHEN NAILING IS 2.5" O.C. OR LESS.
C. WHERE WOOD STRUCTURAL PANEL IS APPLIED ON BOTH FACES OF WALL AND NAIL SPACING IS LESS THAN 6" O.C. PANEL JOINTS SHALL BE OFFSET TO DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3X OR WIDER AND NAILS STAGGERED ON EACH SIDE.

D. FOR SHEAR WALLS: 1) USE 3x MEMBER @ PANEL JOINTS & HORIZONTAL BLOCKING 2) EDGE NAILING SHALL BE STAGGERED
E. 10d SHORT BOLTS MAY BE USED IN LIEU OF 8d COMMON NAILS @ SHEAR WALLS ONLY.
F. REQUIRED STEEL PLATE WASHERS AT SHEAR WALLS ONLY (WHEN ANCHOR BOLTS ARE USED: 3" x 3" x .229" STEEL PLATE WASHERS ARE REQUIRED ON EACH ANCHOR BOLT (SDPWS SECT. 4.3.6.4.3) WASHER MAY BE SLOT CUT PROVIDED A STANDARD CUT WASHER IS PROVIDED BETWEEN THE WASHER AND NUT. WASHER TO BE INSTALLED WITHIN 1/2" OF SHEATHED SIDE OF PLATE.
G. A STANDARD CUT WASHER MAY BE USED AT ALL NON-SHEAR WALL LOCATIONS WITH ANCHOR BOLTS.

HORIZONTAL:
ALL ROOF AND FLOOR SHEATHING TO BE EXPOSURE 1 OR EXTERIOR

ROOF:
- JOIST SPACING EQUAL TO OR LESS THAN 24" O.C.: 15/32" WOOD STRUCTURAL PANEL T&G SHITG. W/ 8ds AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.
- HORIZONTAL DIAPHRAGM VALUES FOR 3/8" WOOD STRUCTURAL PANELS MAY BE USED FOR 15/32" WOOD STRUCTURAL PANELS. U.N.O.

FLOOR:
- JOIST SPACING EQUAL TO OR LESS THAN 16" O.C.: 19/32" WOOD STRUCTURAL PANEL T&G SHITG. W/ 10ds AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.
- JOIST SPACING EQUAL TO OR LESS THAN 20" O.C.: 19/32" WOOD STRUCTURAL PANEL T&G SHITG. P/140/20, W/10ds AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.
- JOIST SPACING EQUAL TO OR LESS THAN 24" O.C.: 23/32" WOOD STRUCTURAL PANEL T&G SHITG. P/148/24, W/10ds AT 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD.

PANEL EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH " BLOCKING NOT REQUIRED WHEN LIGHTWEIGHT CONCRETE IS PLACED OVER SUBFLOOR.

FRAMING LEGEND:

- ROOF JOISTS AND RAFTERS
- INDICATES SPAN AND DIRECTION OF TRUSSES
- INDICATES SPAN AND DIRECTION OF FLOOR JOISTS
- INDICATES SPAN AND DIRECTION OF CEILING JOISTS
- INDICATES SPAN AND DIRECTION OF DECK JOISTS (SLOPED AS REQUIRED)

I-JOIST TABLE		
MARK	SPACING	SIZE & MANUFACTURER OPTIONS
Q	I-JOIST @ 12" O.C.	a) 9 1/2" TJI / 230
R	I-JOIST @ 16" O.C.	
S	I-JOIST @ 19.2" O.C.	
U	I-JOIST @ 12" O.C.	a) 11 7/8" TJI / 360
V	I-JOIST @ 16" O.C.	
W	I-JOIST @ 19.2" O.C.	
X	I-JOIST @ 12" O.C.	a) 14" TJI / 360
Y	I-JOIST @ 16" O.C.	
Z	I-JOIST @ 19.2" O.C.	

A. 2x6 AT 12" O.C.
B. 2x6 AT 16" O.C.
C. 2x6 AT 24" O.C.
D. 2x8 AT 12" O.C.
E. 2x8 AT 16" O.C.
F. 2x8 AT 24" O.C.
G. 2x10 AT 12" O.C.
H. 2x10 AT 16" O.C.
J. 2x10 AT 24" O.C.
K. (2) 2x10 AT 16" O.C.
L. 2x12 AT 12" O.C.
M. 2x12 AT 16" O.C.
N. (2) 1 3/4" x 9 1/2" LVL AT 16" O.C.
P. 1 3/4" x 9 1/2" LVL AT 16" O.C.
T. TRUSS AT 24" O.C.
G-L - INDICATES (1) GANGLAM LVL 1.8E
GLB - INDICATES GLULAM BEAM
M-L - INDICATES (1) MICROLAM 2.0E
PSL - INDICATES PARALAM 2.0E
LSL - INDICATES LAMSTRAND 1.5SE
E.S. - EACH SIDE
FL.H.T. - FULL HEIGHT
ALT. - ALTERNATE
TYP. - TYPICAL
U.W.A. - UNDER WALL ABOVE
L.O.B. - INDICATES LINE OF BLOCKING W/ CS16
R.T.R. - RUN TO ROOF
U - INDICATES U HANGER, U.N.O.
C - INDICATES HU HANGER, U.N.O.
INDICATES HEADERS AND BEAMS, REFER TO ENGINEERING CALC'S

NOTE:
△ APPLY SHEAR PRIOR TO FRAMING OF PERPENDICULAR WALL AND/OR BOX-OUTS. (WHERE APPLICABLE)

FRAMING NOTES LEGEND	
MARK: DESCRIPTION	SPN-SOLE PLATE NAILING NAILS- 16d BOX
SPN12: 16d SOLE PLATE NAILING @ 12" O.C.	
SPN10: 16d SOLE PLATE NAILING @ 10" O.C.	
SPN8: 16d SOLE PLATE NAILING @ 8" O.C.	
SPN6: 16d SOLE PLATE NAILING @ 6" O.C.	
SPN4: 16d SOLE PLATE NAILING @ 4" O.C.	
SPN3: 16d SOLE PLATE NAILING @ 3" O.C. STAGGERED	
SPN2: 16d SOLE PLATE NAILING @ 2" O.C. STAGGERED	

XX - INDICATES LATERAL ENHANCEMENT. WALL NOT CONSIDERED IN LATERAL ANALYSIS.

○ - SHEAR WALL GRID LINE. REFERENCE STRUCTURAL CALC'S

FASTENERS AND CONNECTORS TO BE GALVANIZED FOR PRESERVATIVE PRESSURE TREATED WOOD.

PROJECT NAME
CHANNEL PLACE
STATUS
FIRST SUBMITTAL

ES/IFME INC.
STRUCTURAL ENGINEERS
1800 E. 10TH ST. STE. B
SANTA ANA, CA 92701
TEL: 714.885.2819
FAX: 714.885.2819
JOS H007 08-23-2018



OWNER INFORMATION:
ANDREW PATTERSON
3902 CHANNEL PLACE
NEWPORT BEACH, CA 92663

CHANNEL PLACE
3902 CHANNEL PLACE
NEWPORT BEACH, CA 92663

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FOUNDATION PLAN

REVISIONS

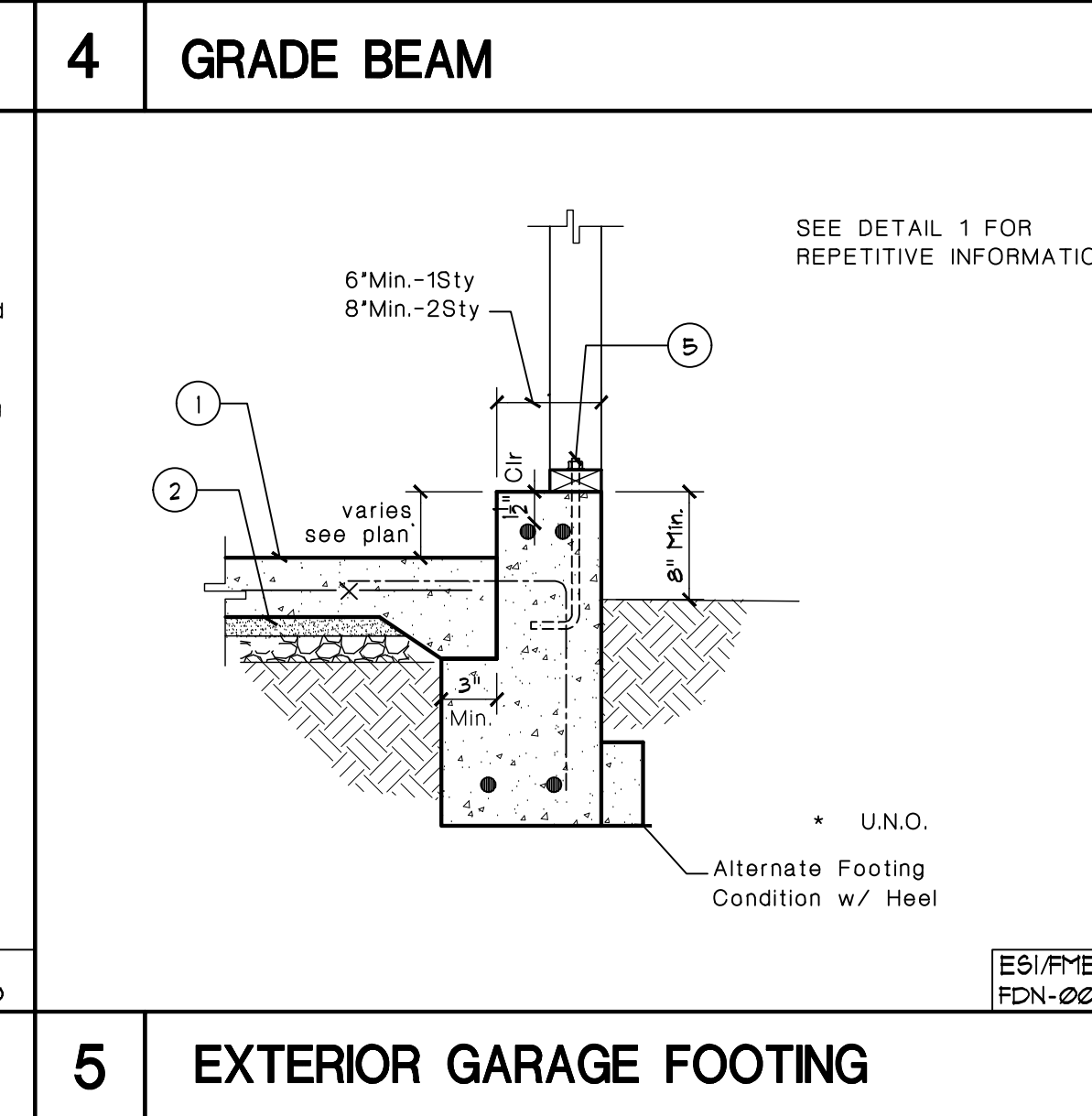
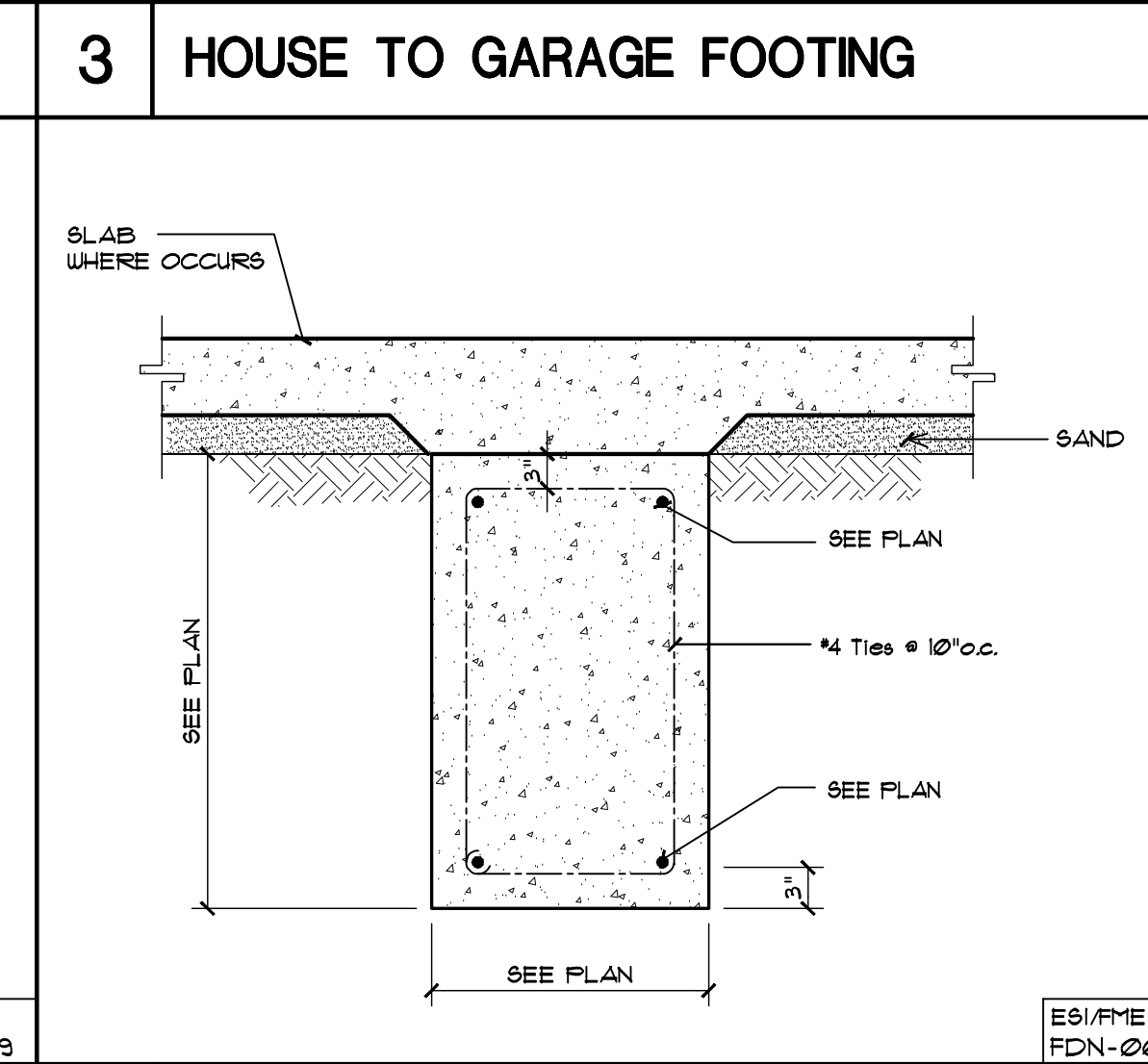
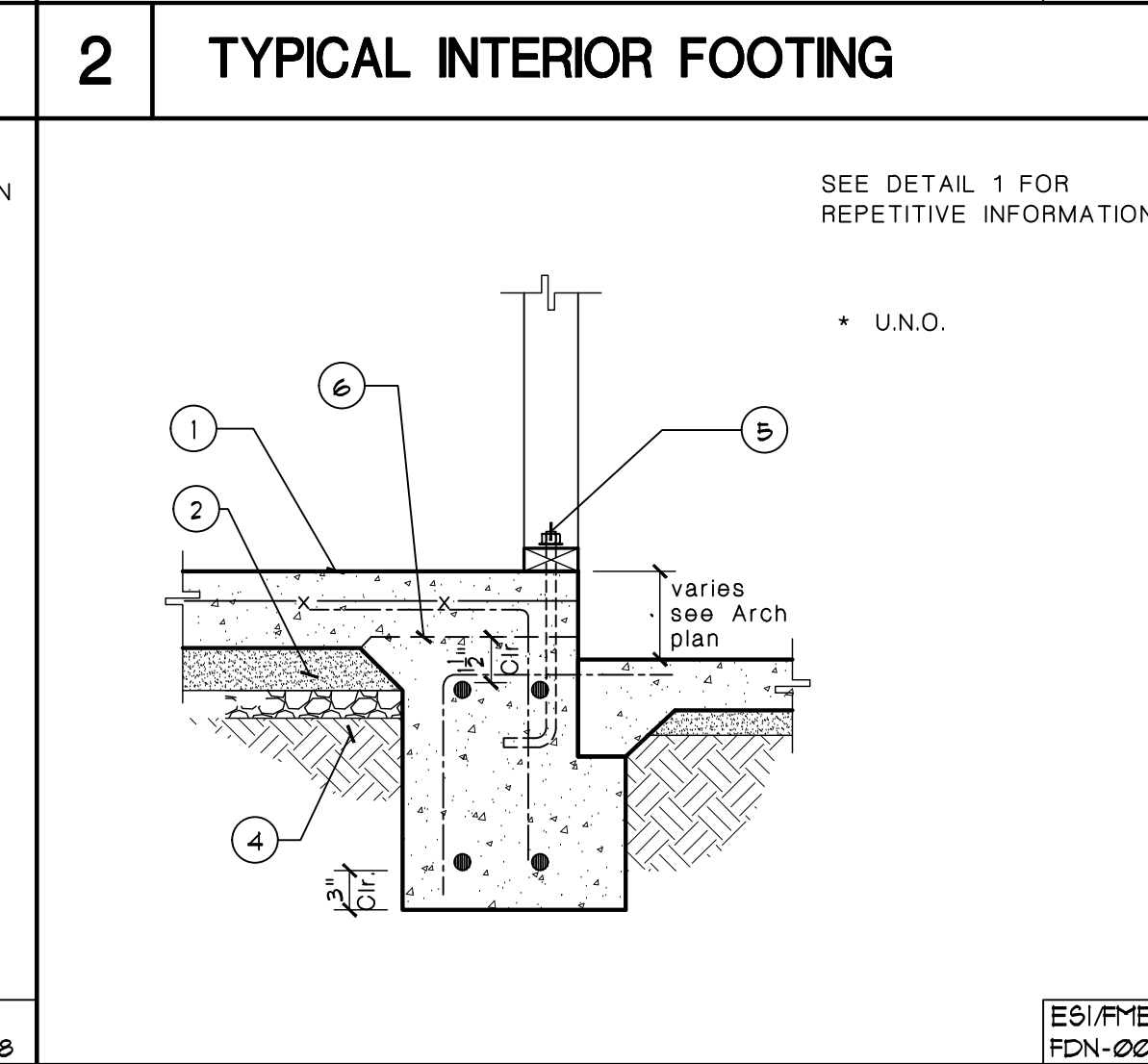
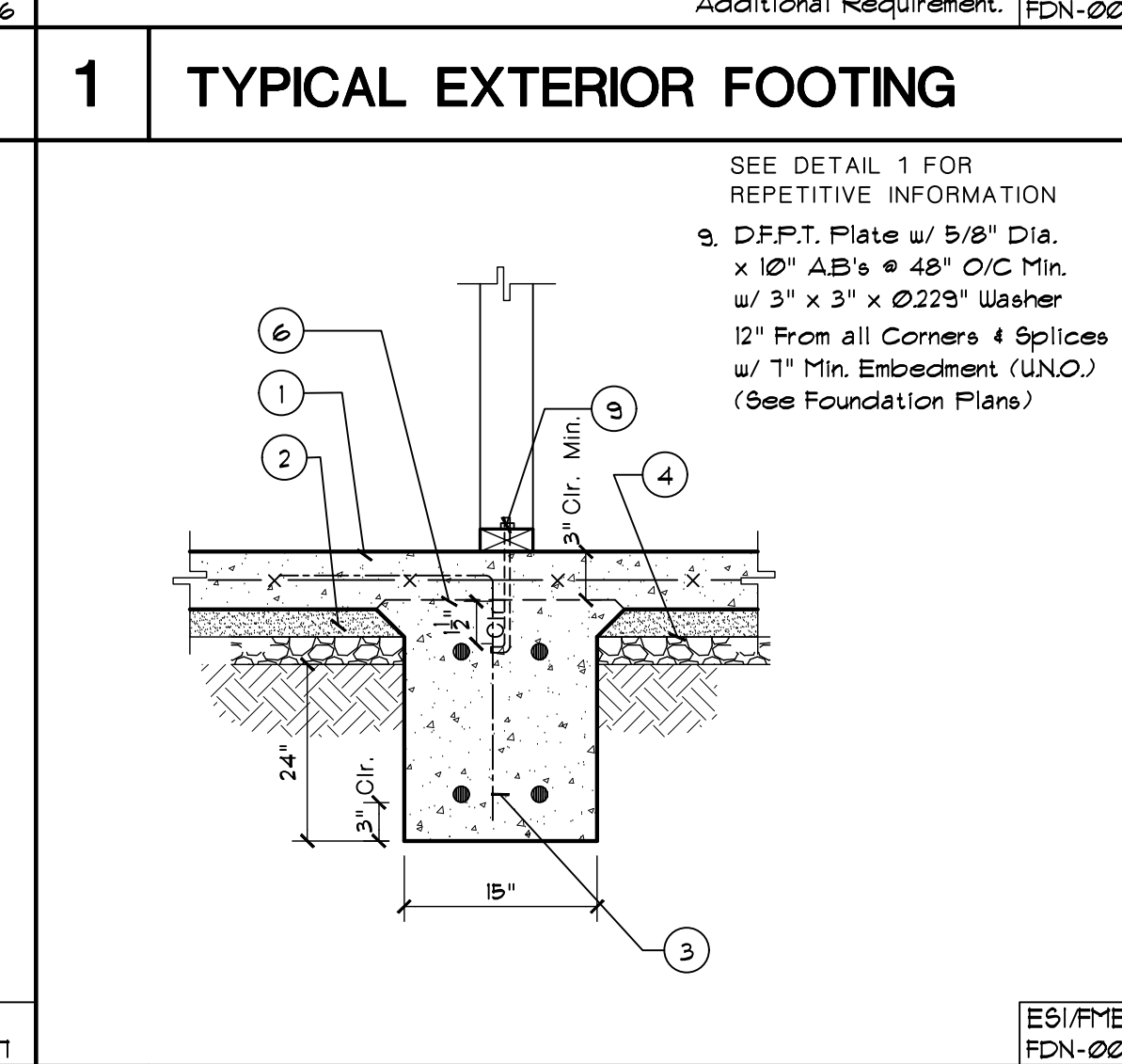
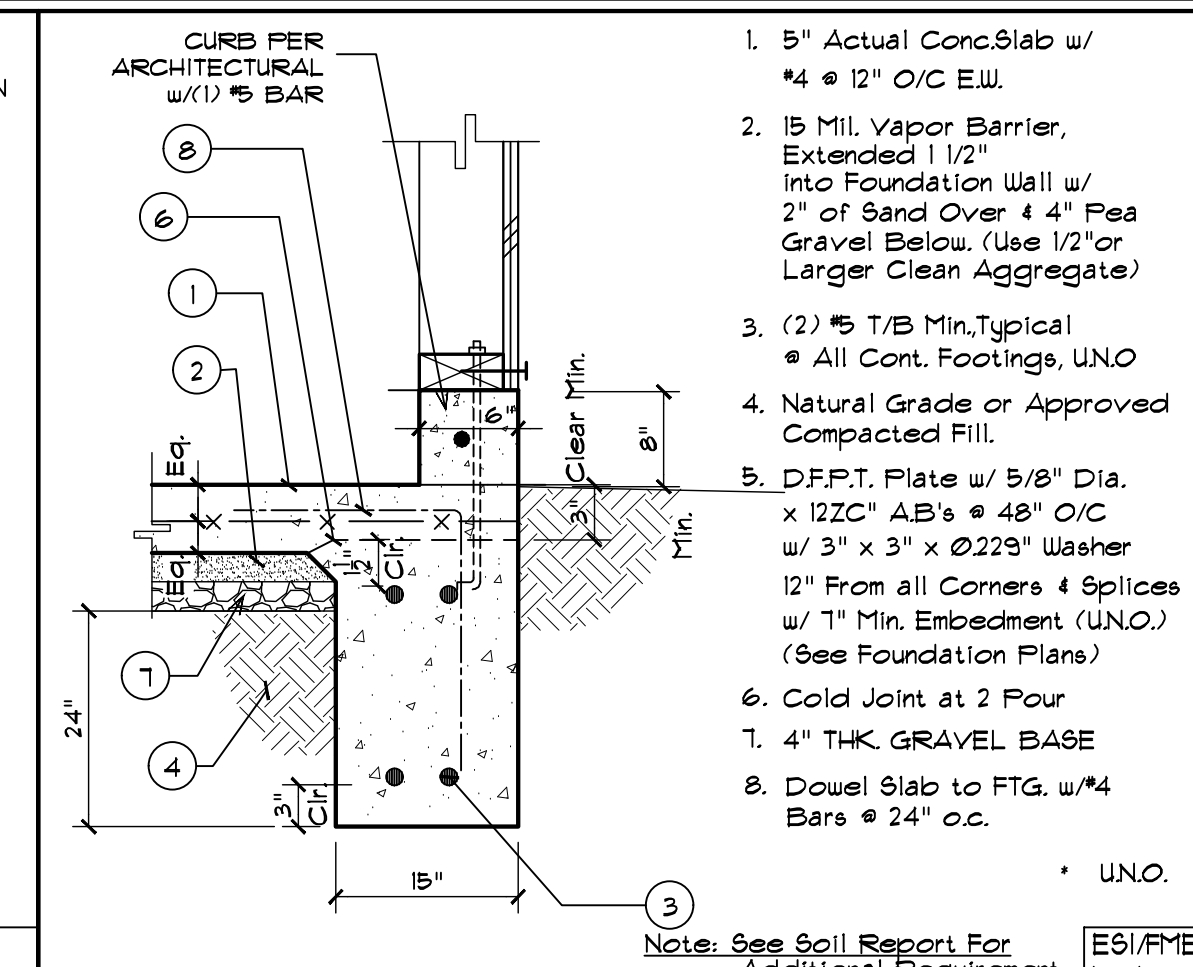
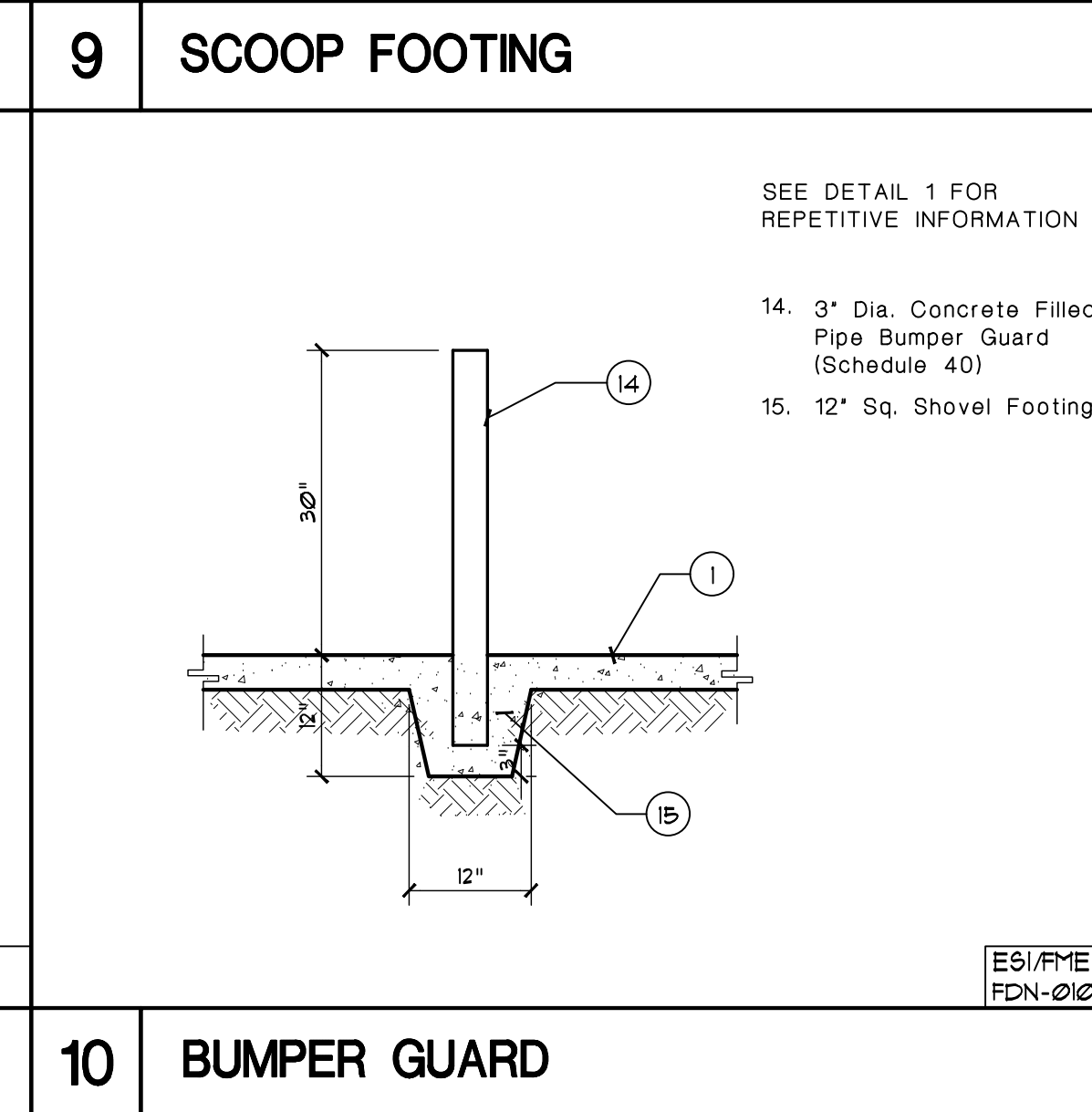
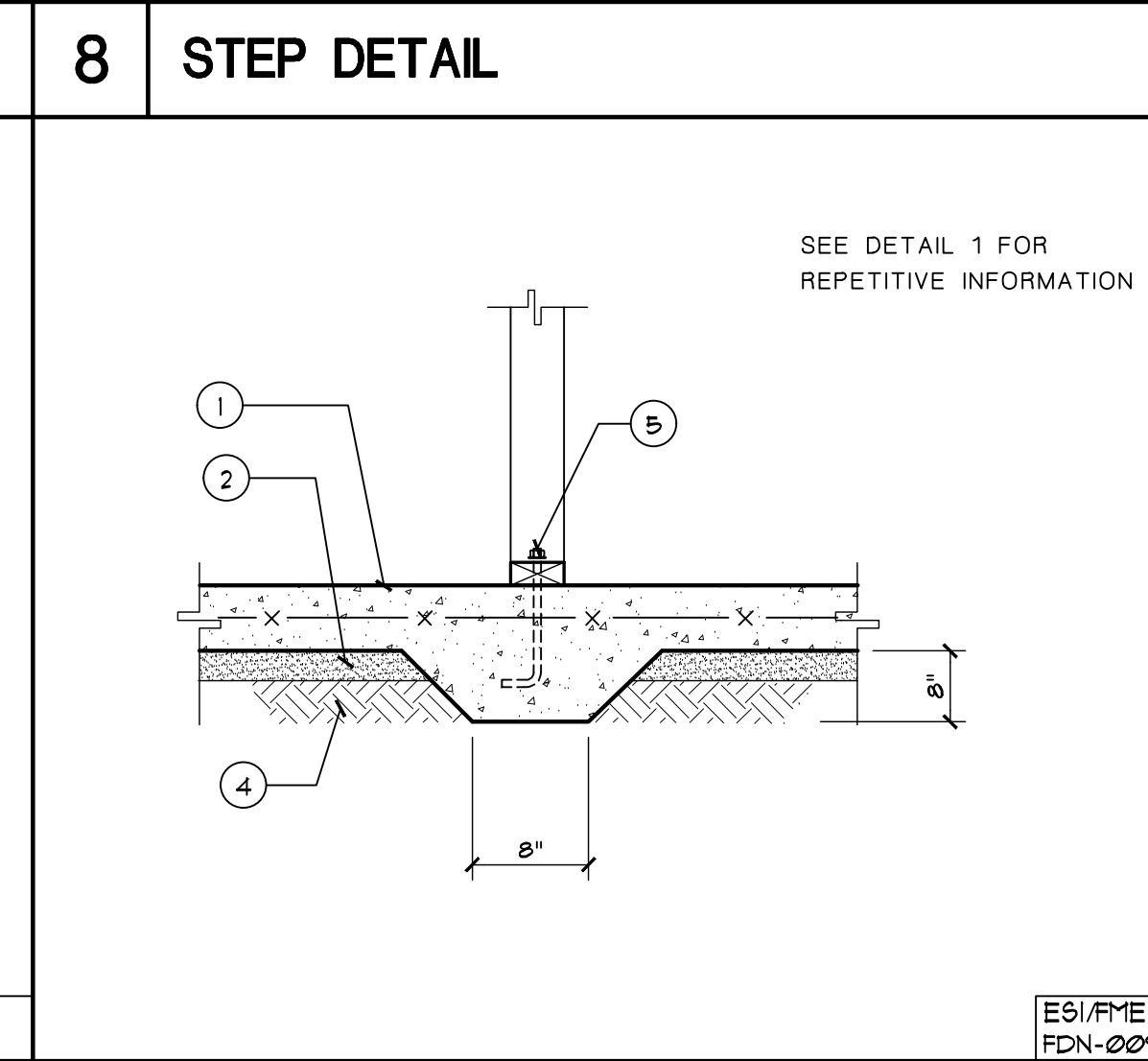
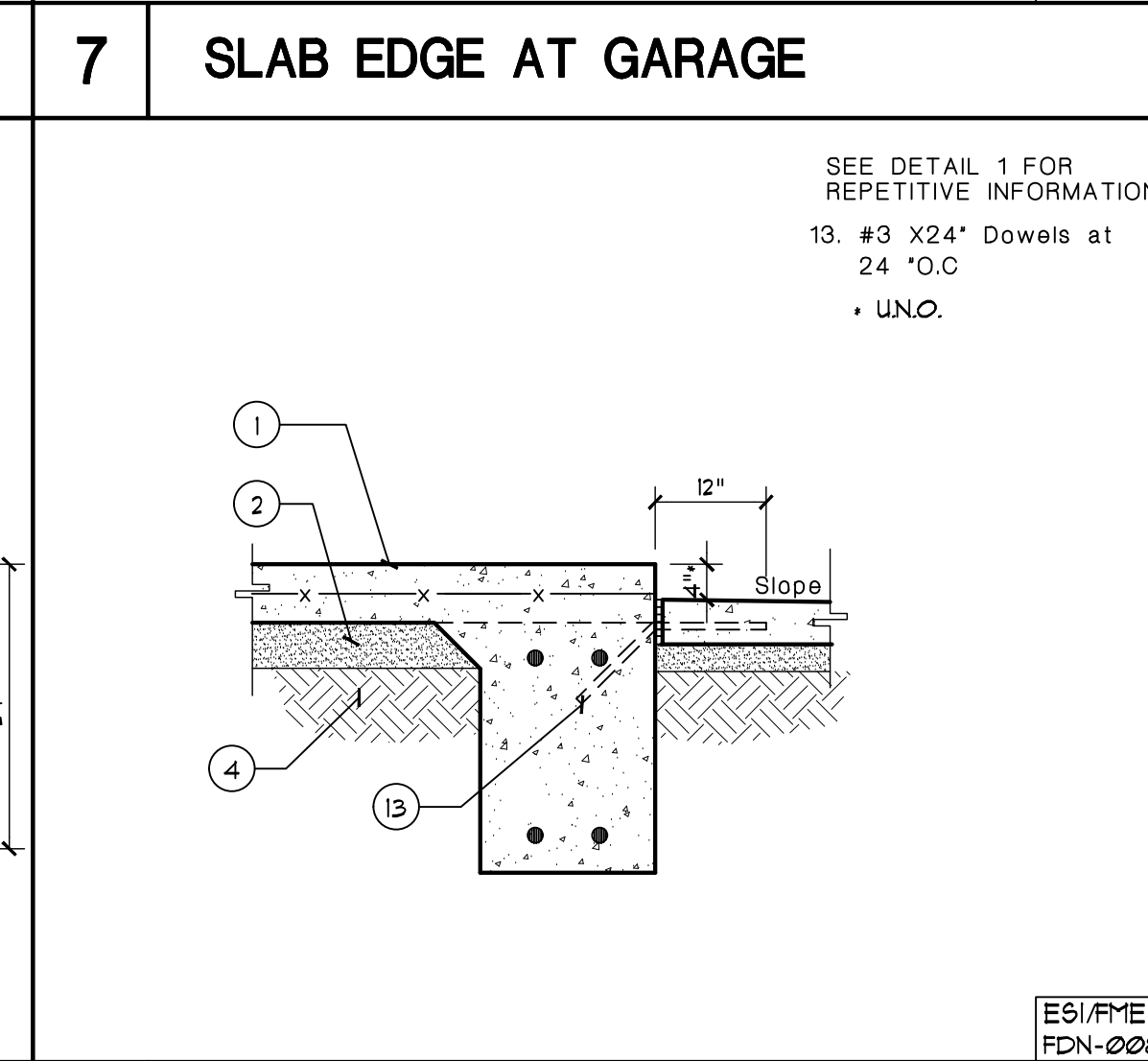
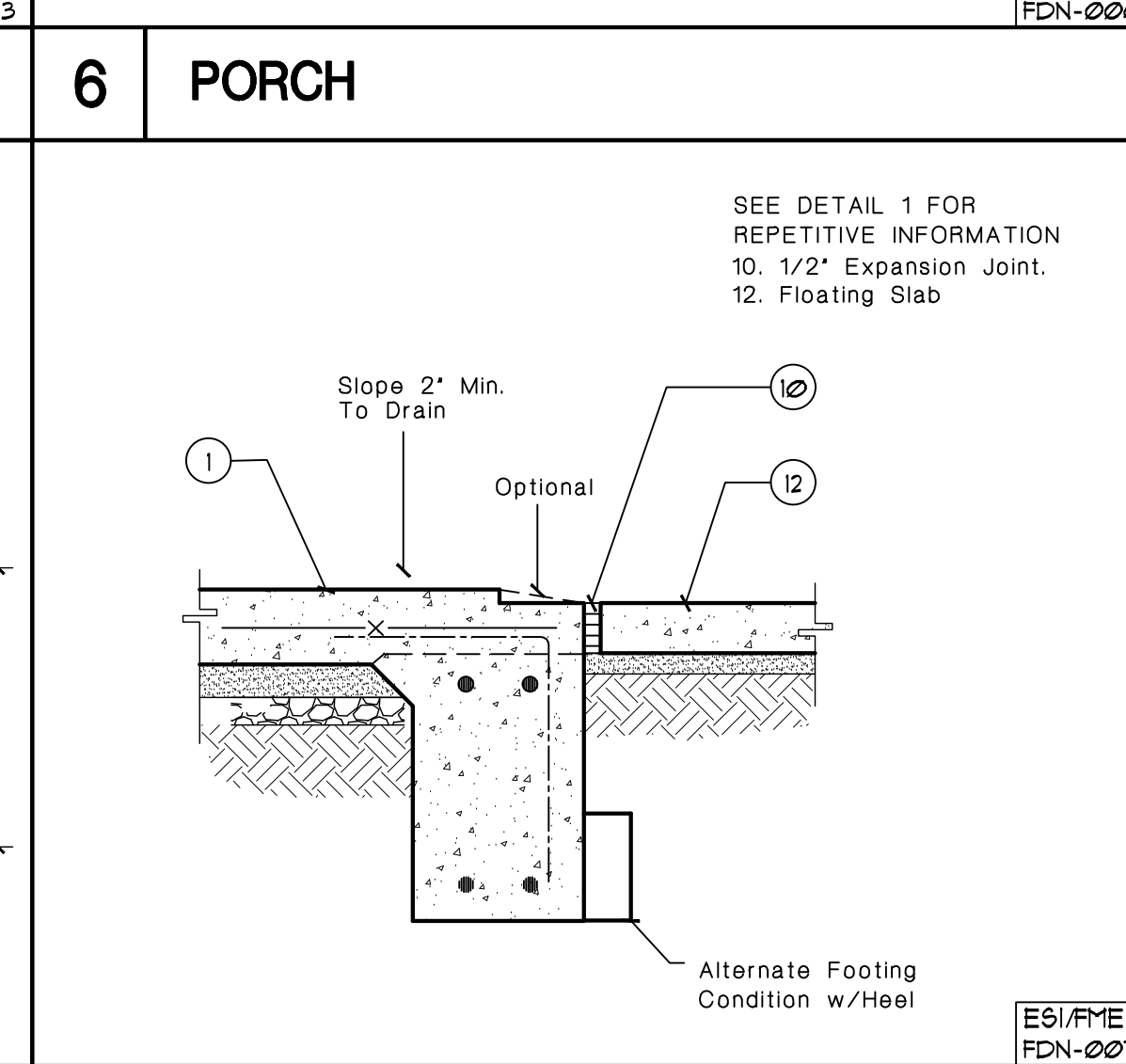
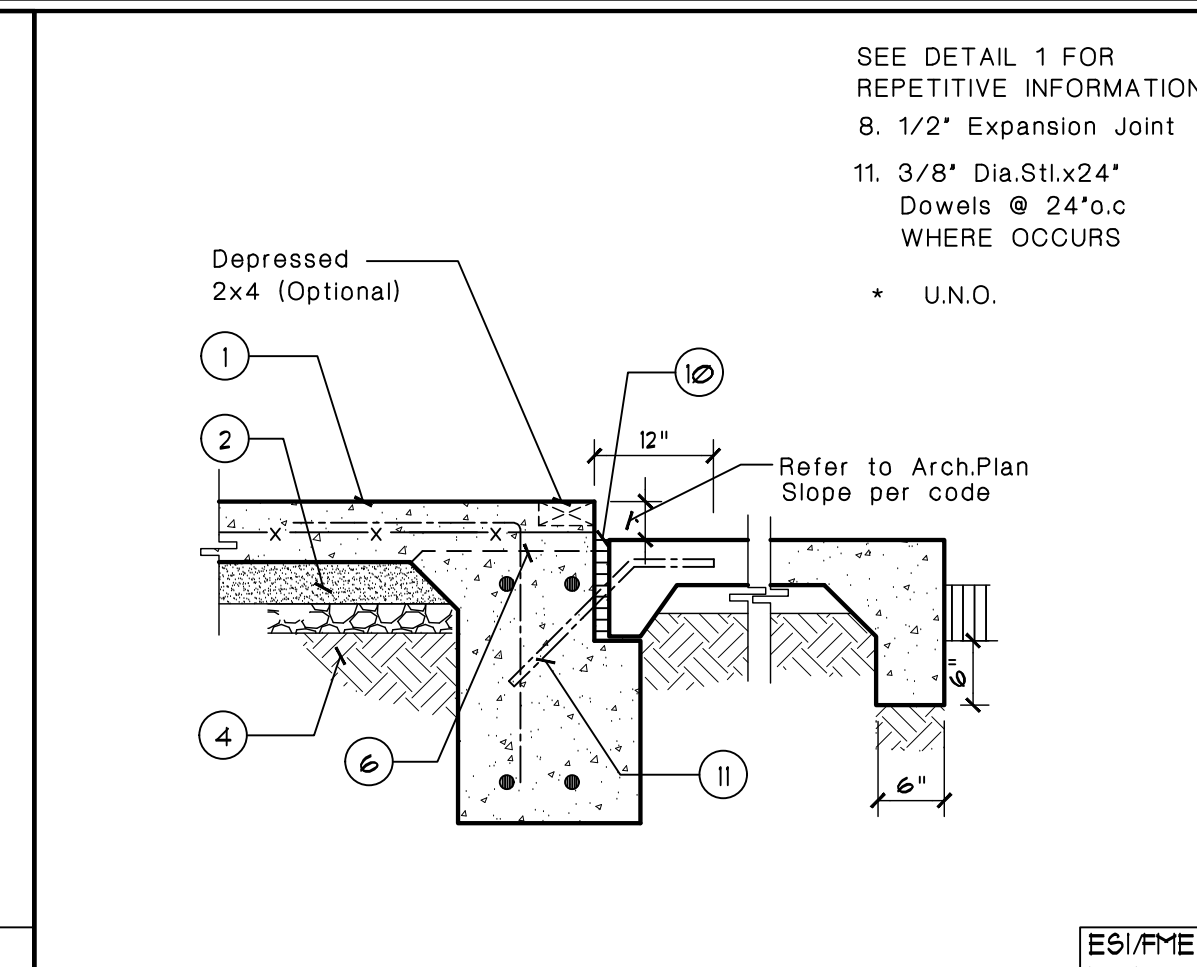
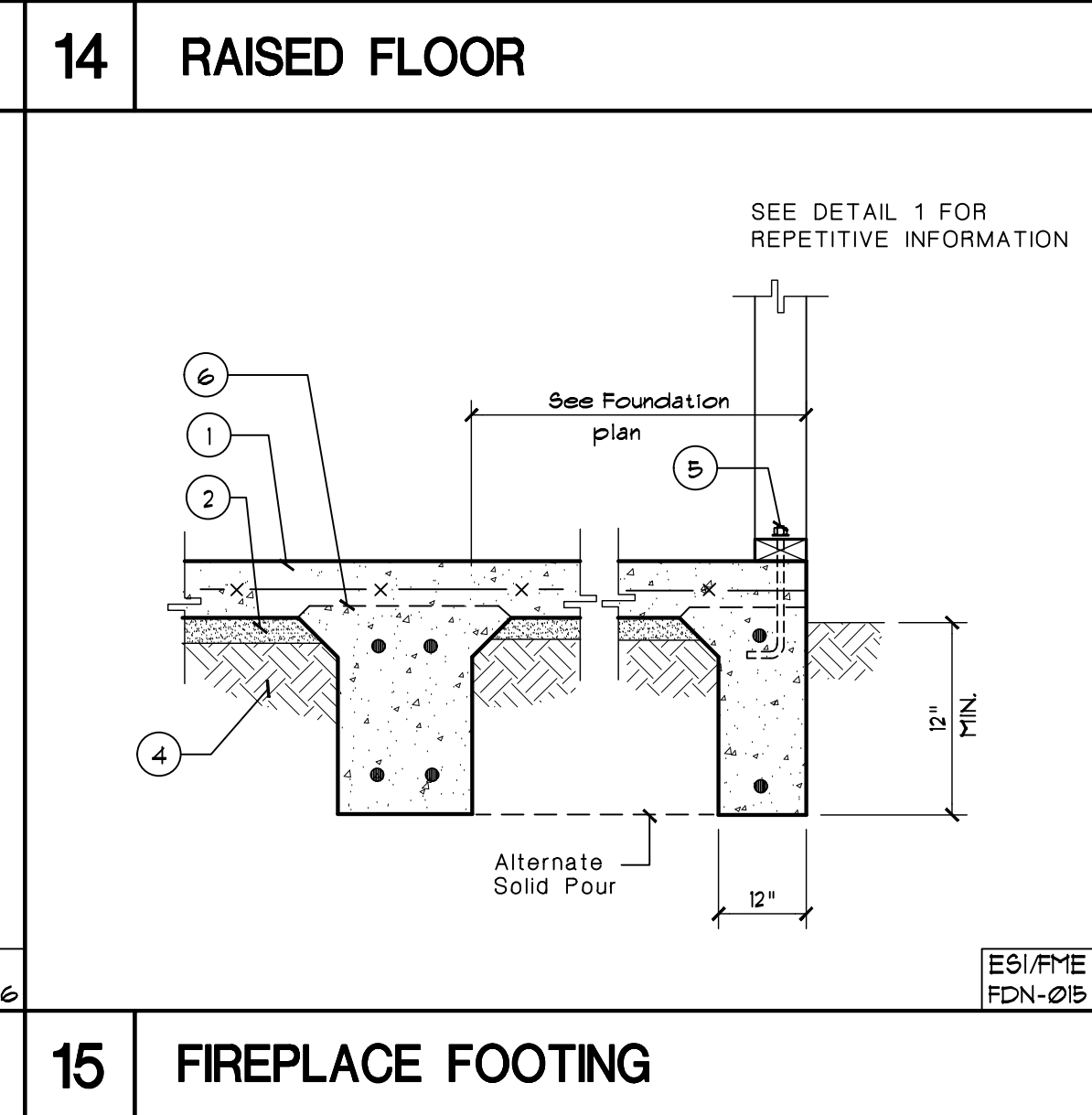
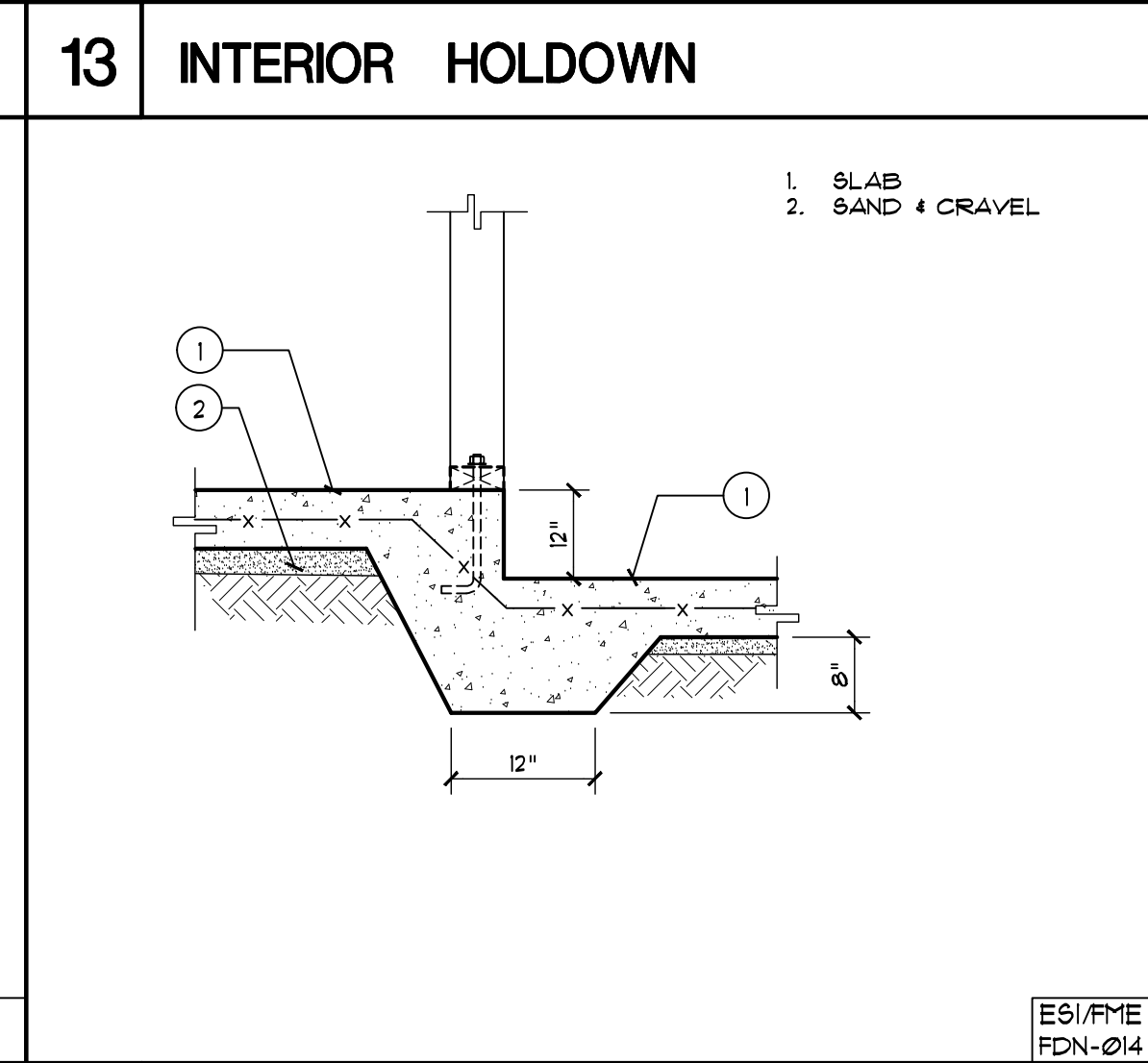
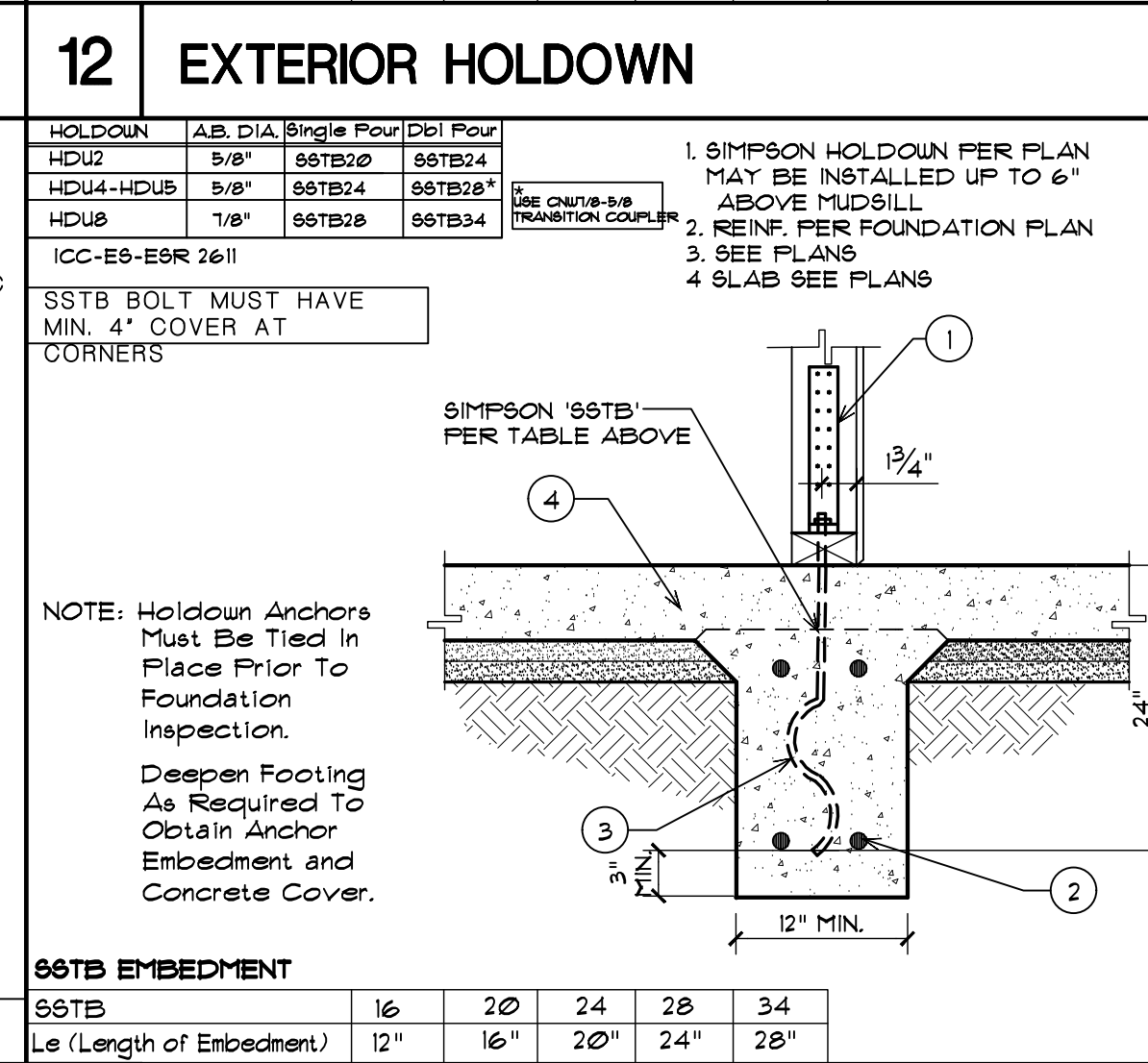
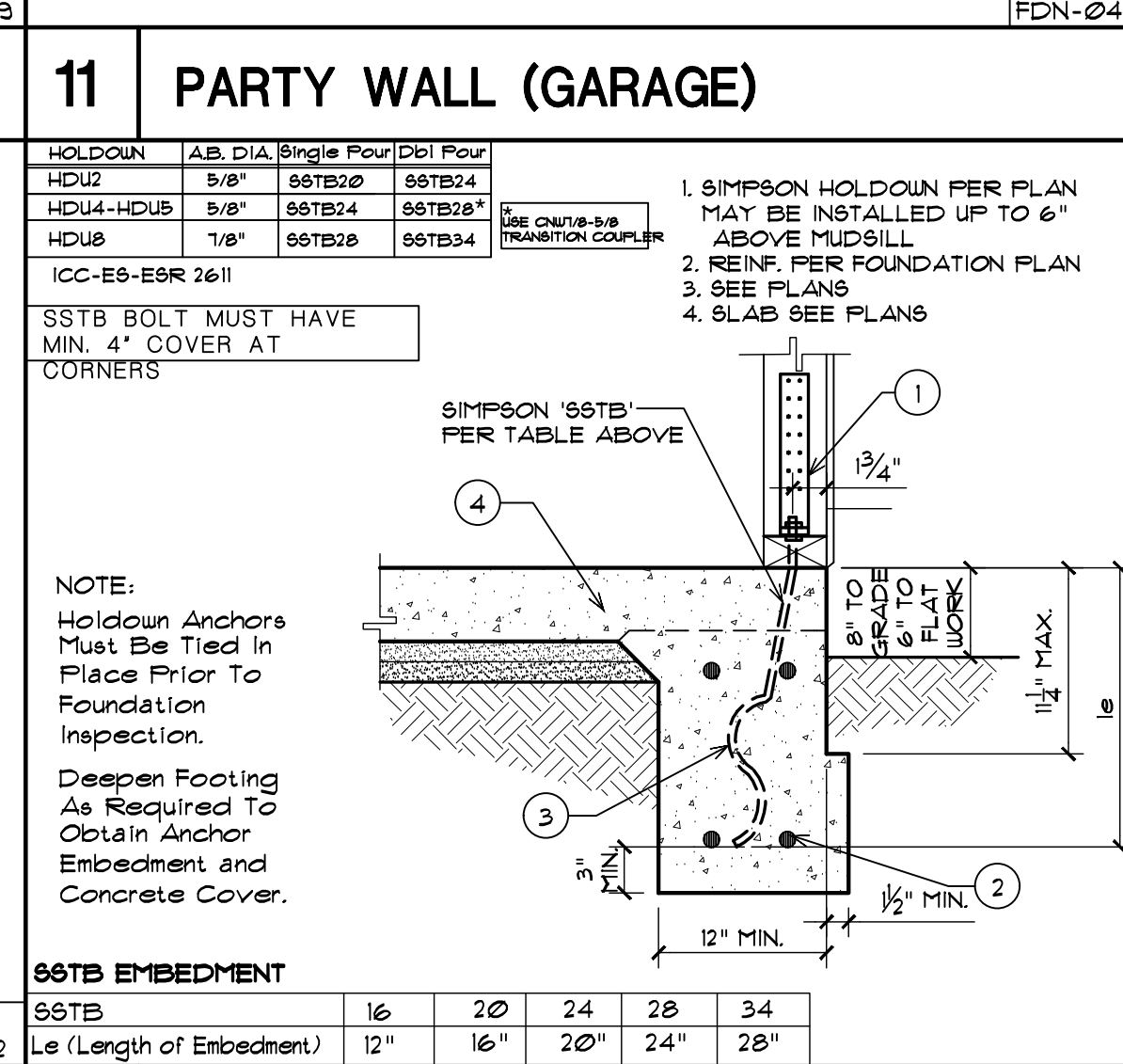
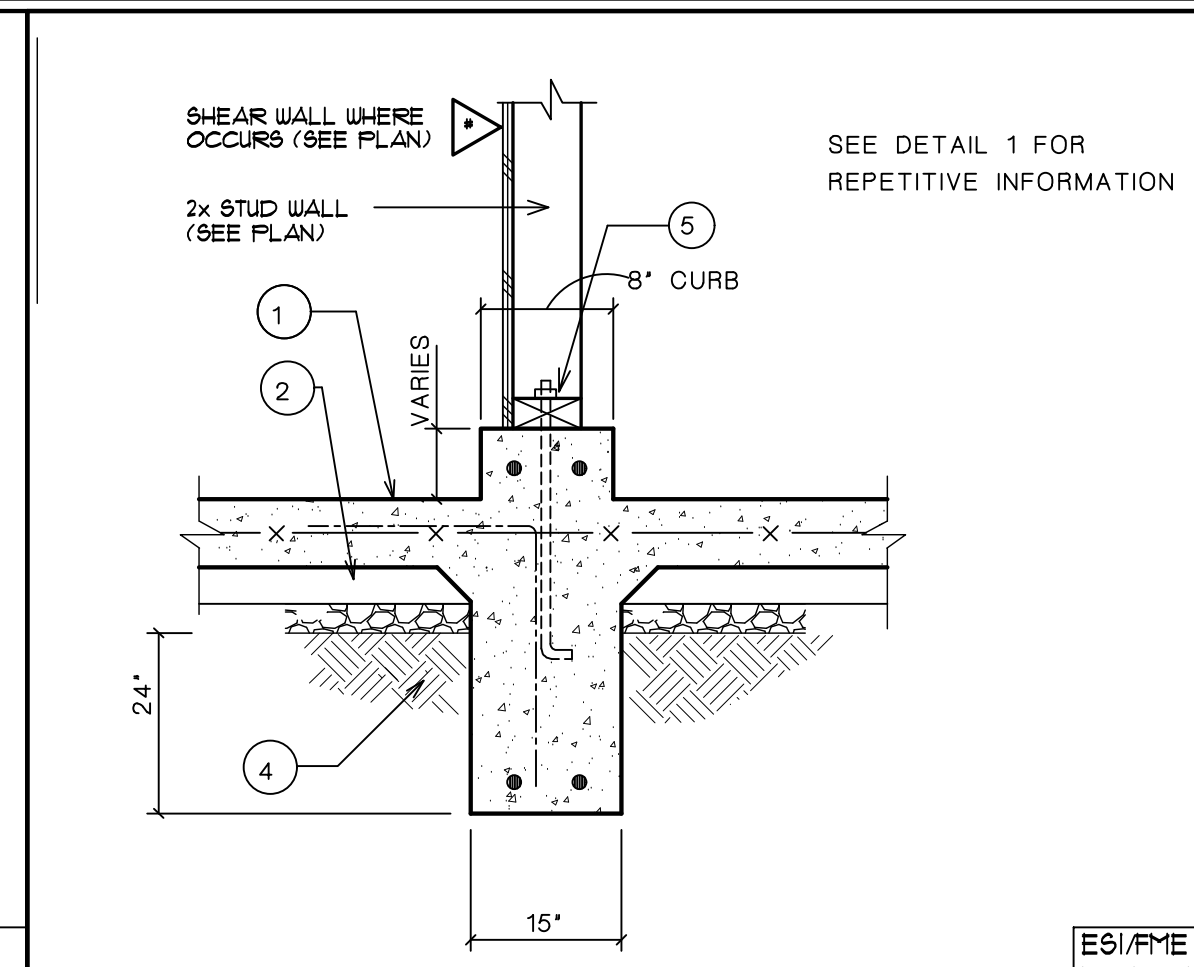
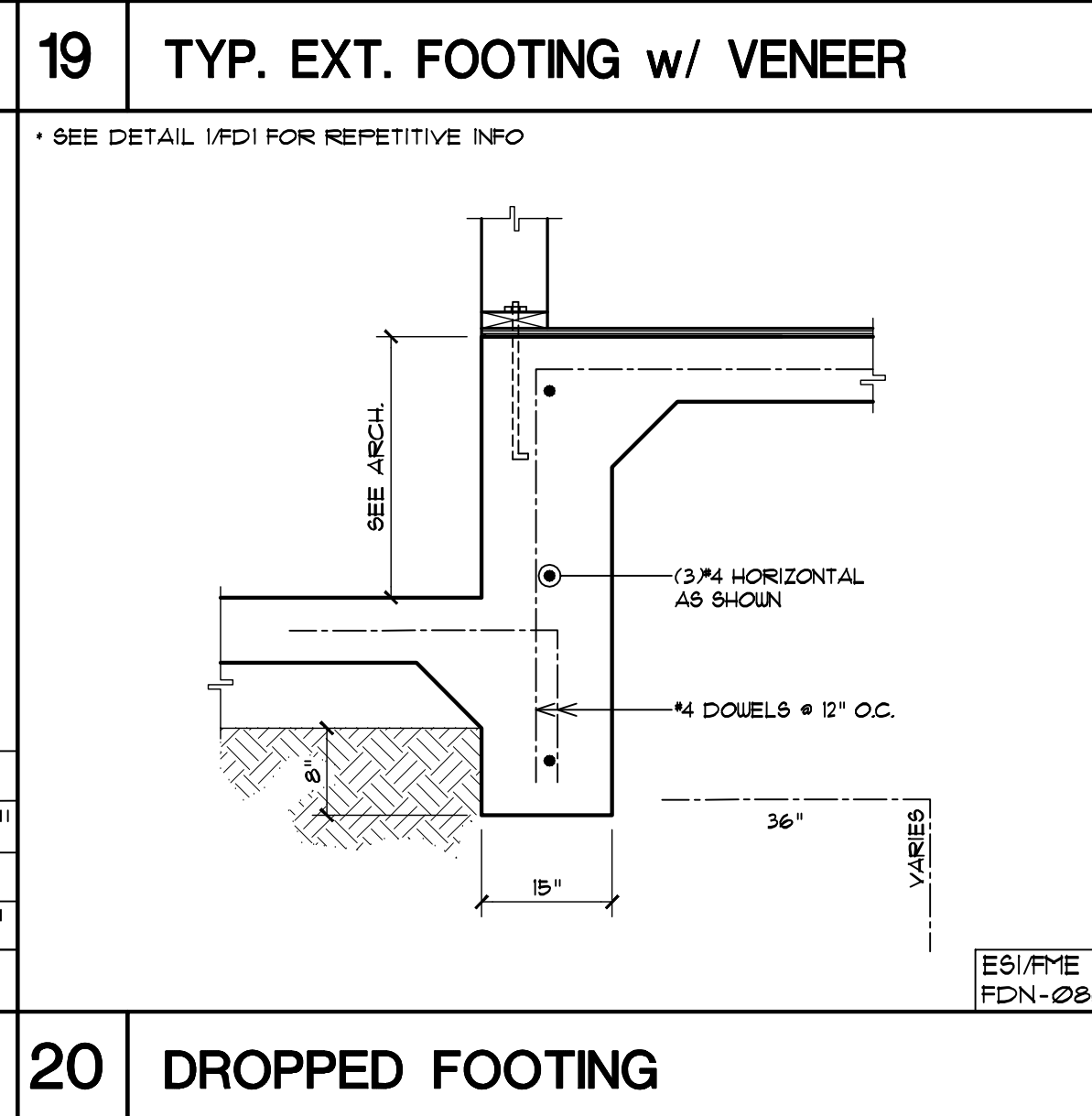
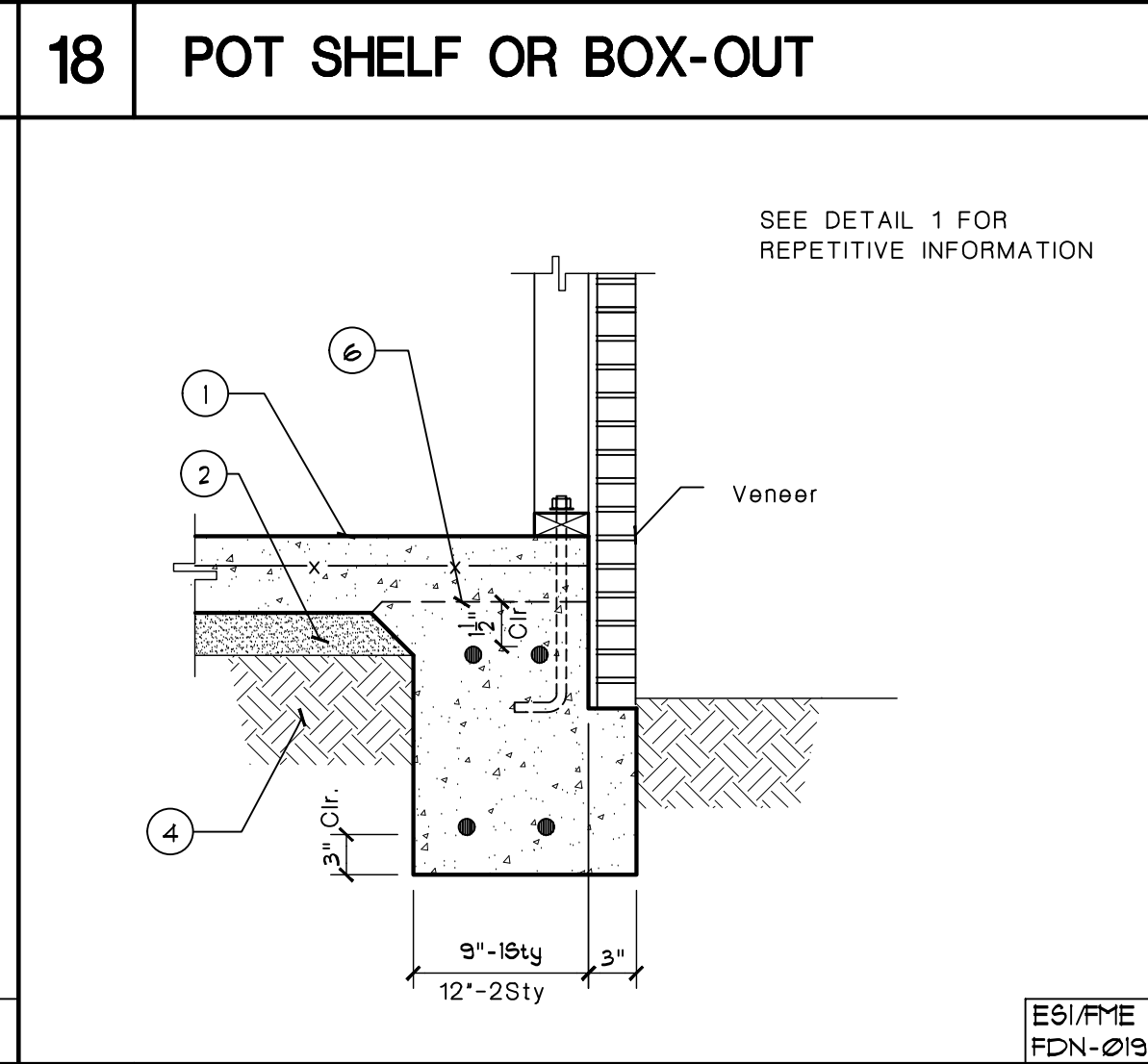
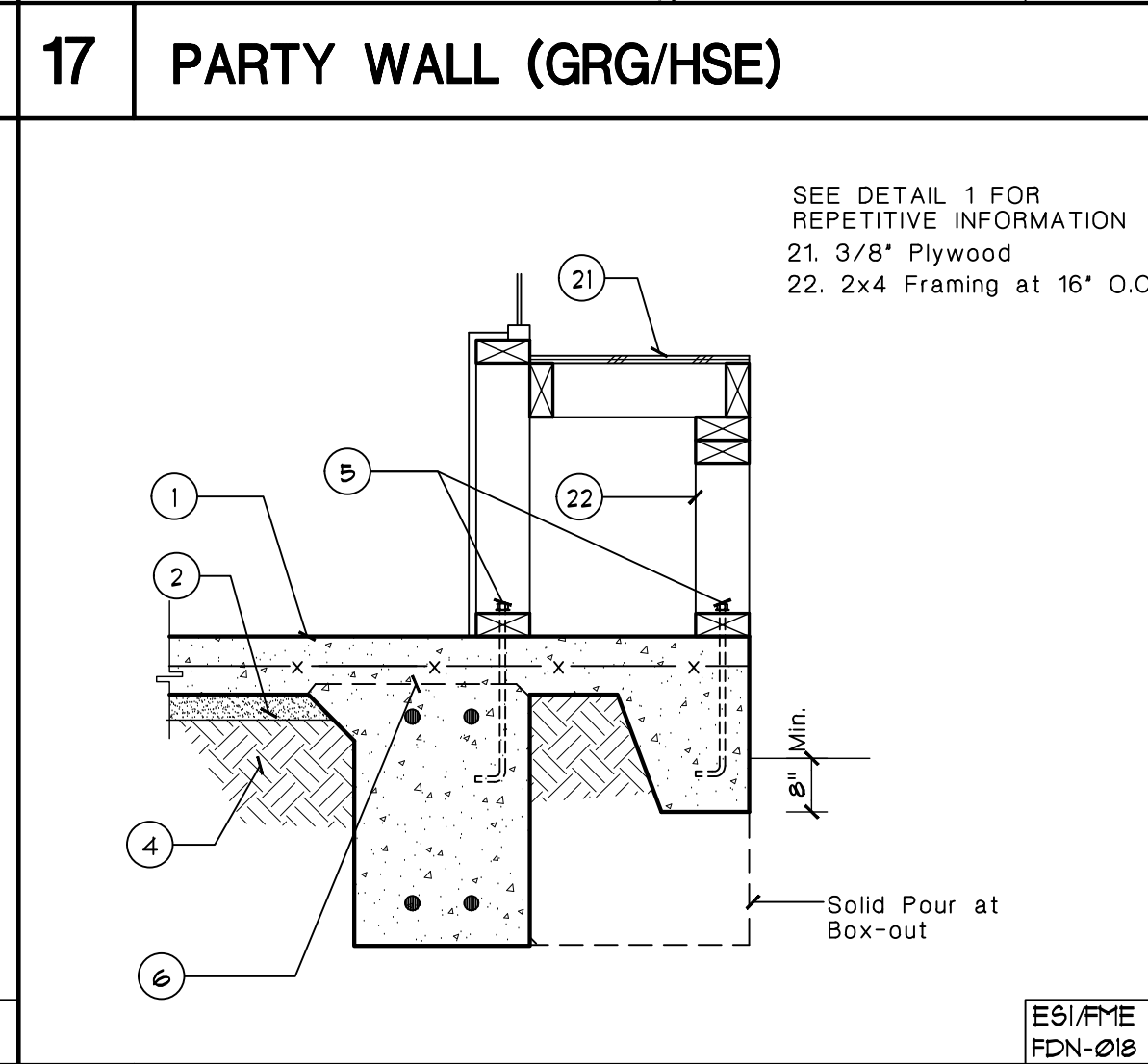
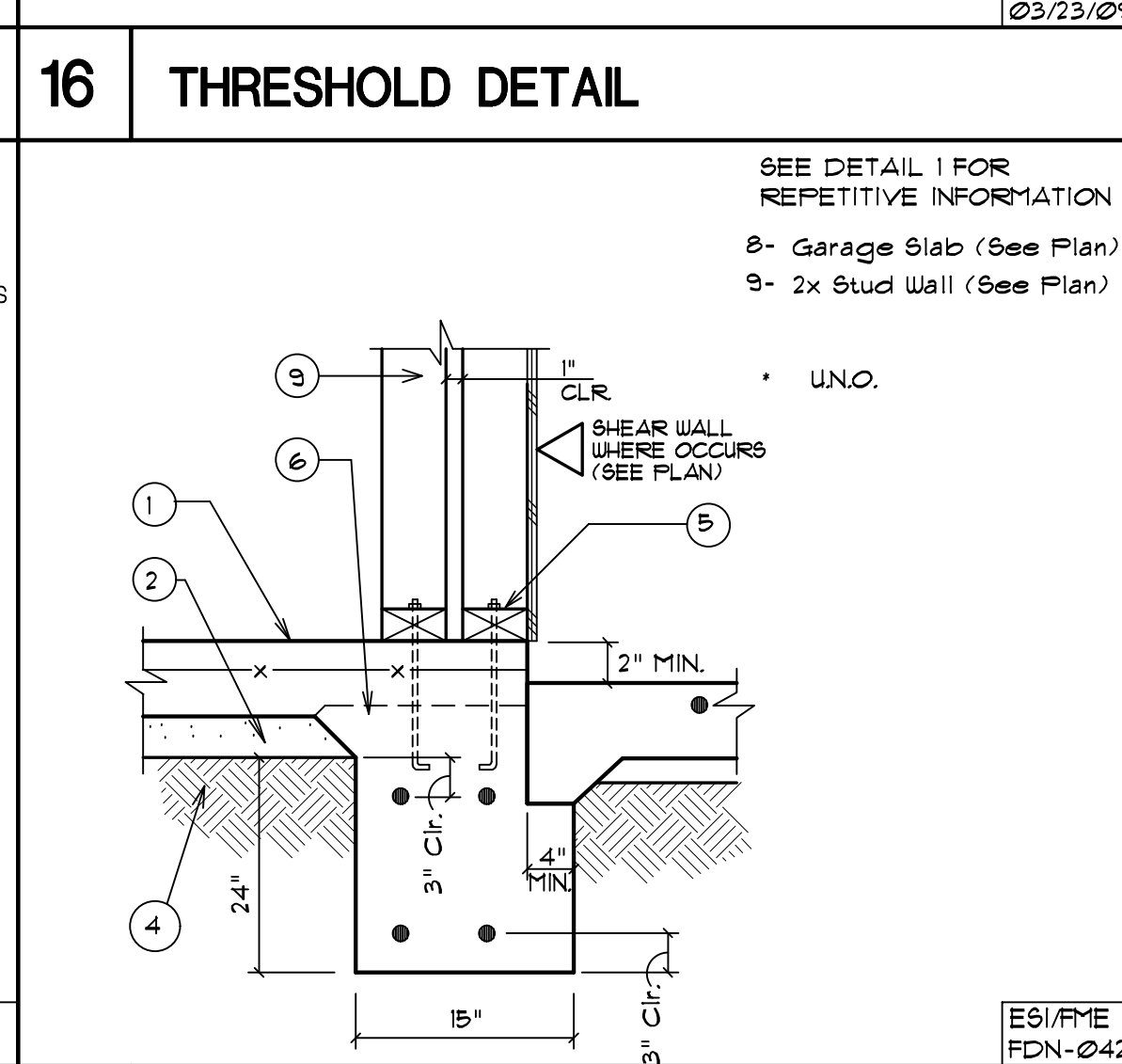
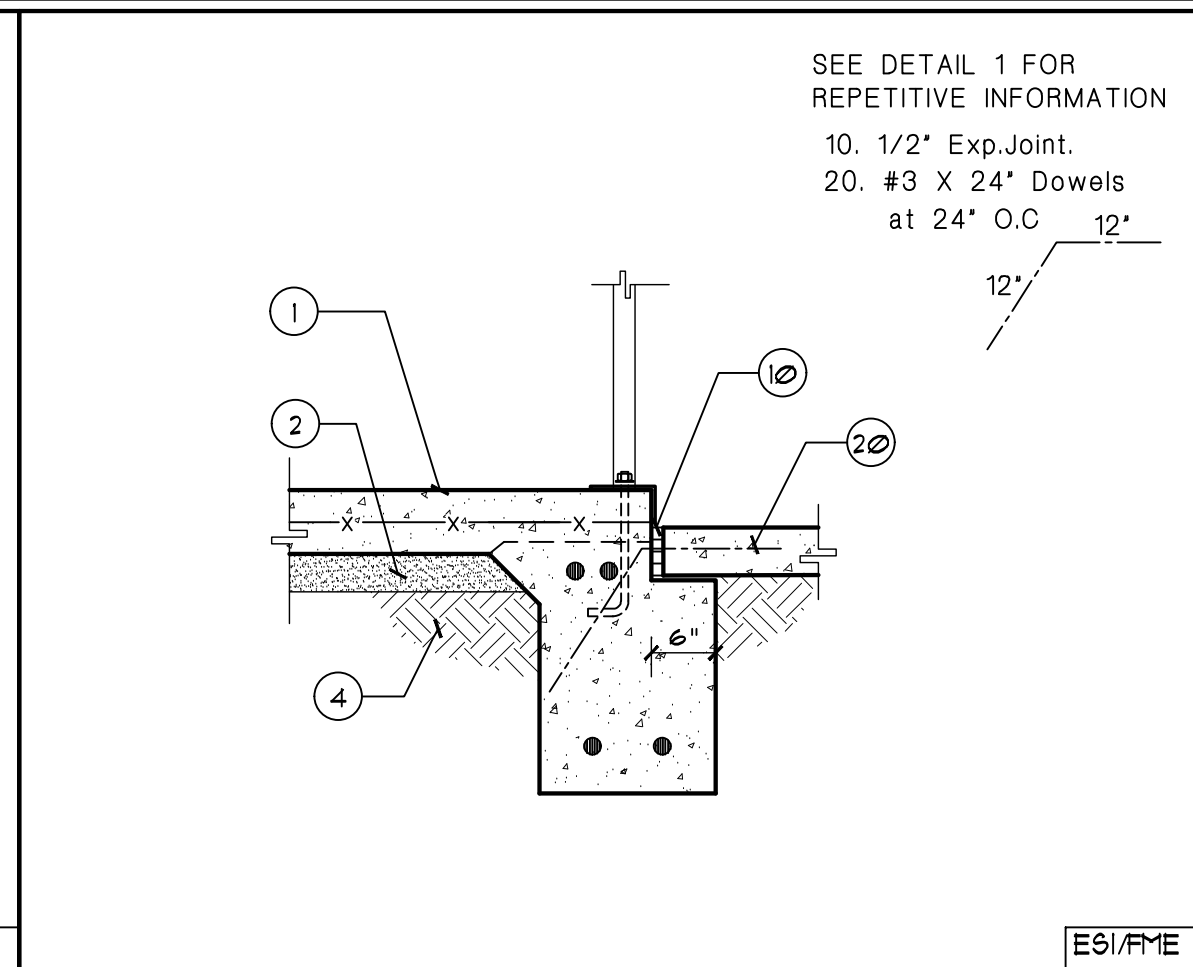
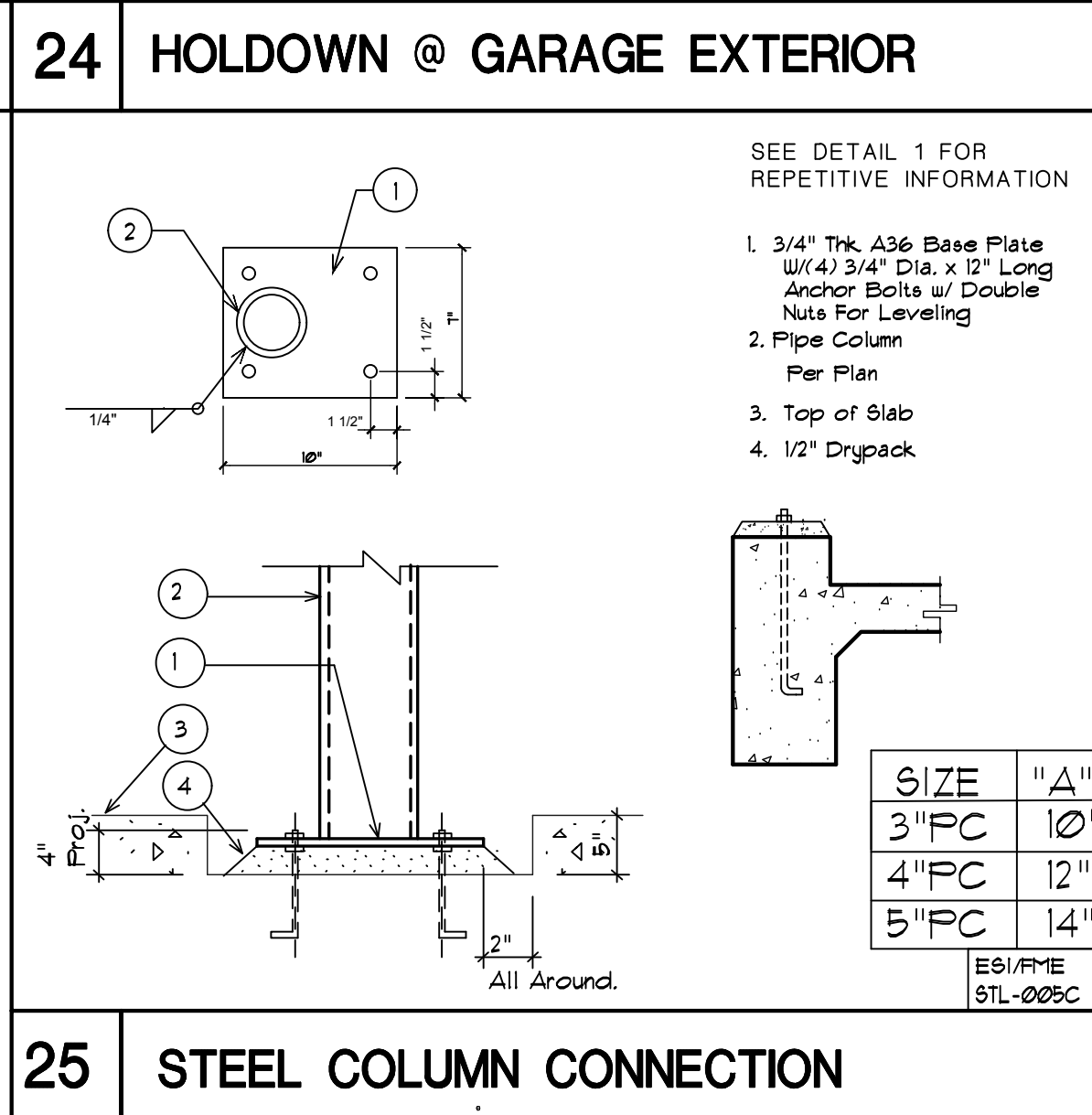
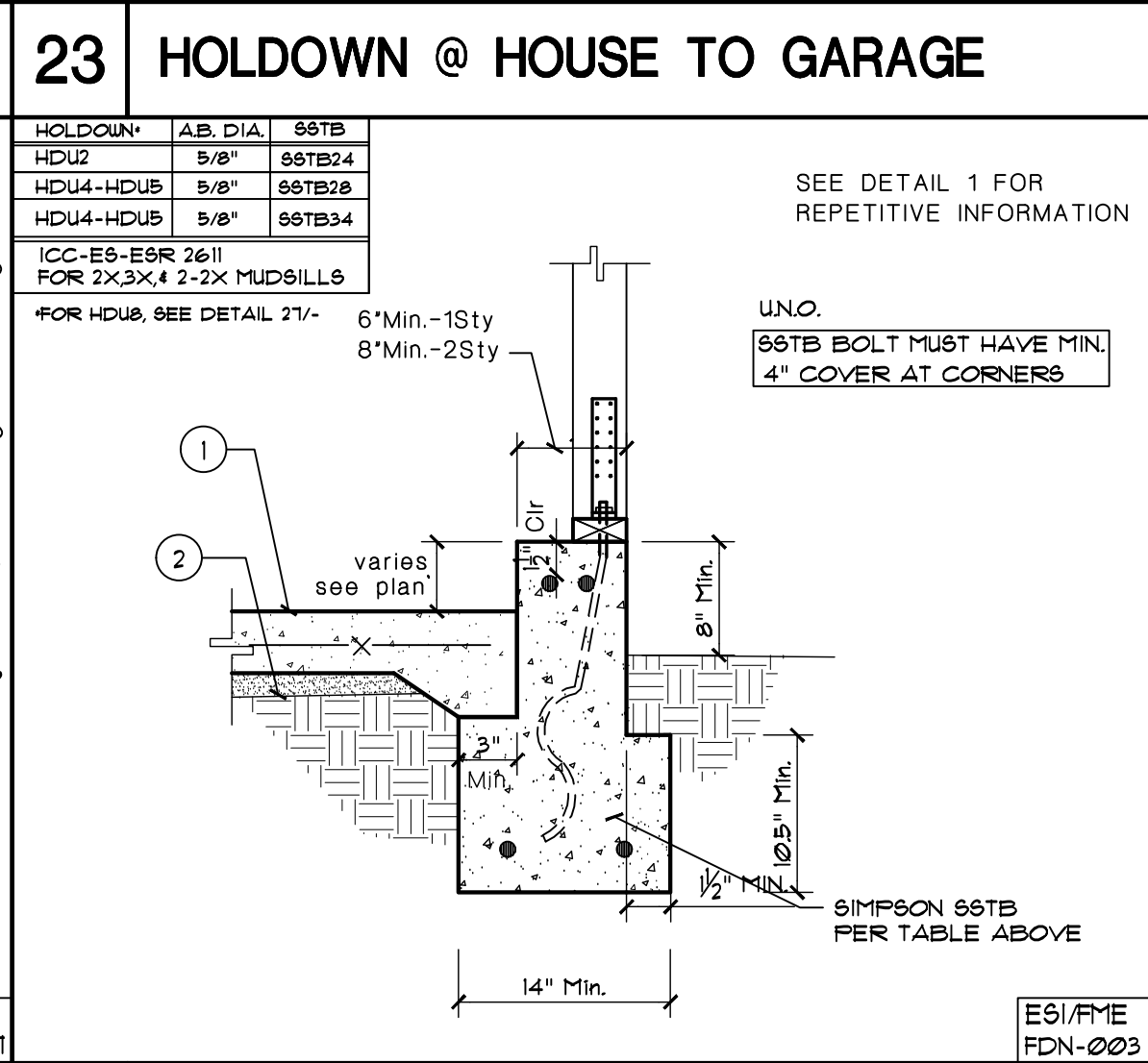
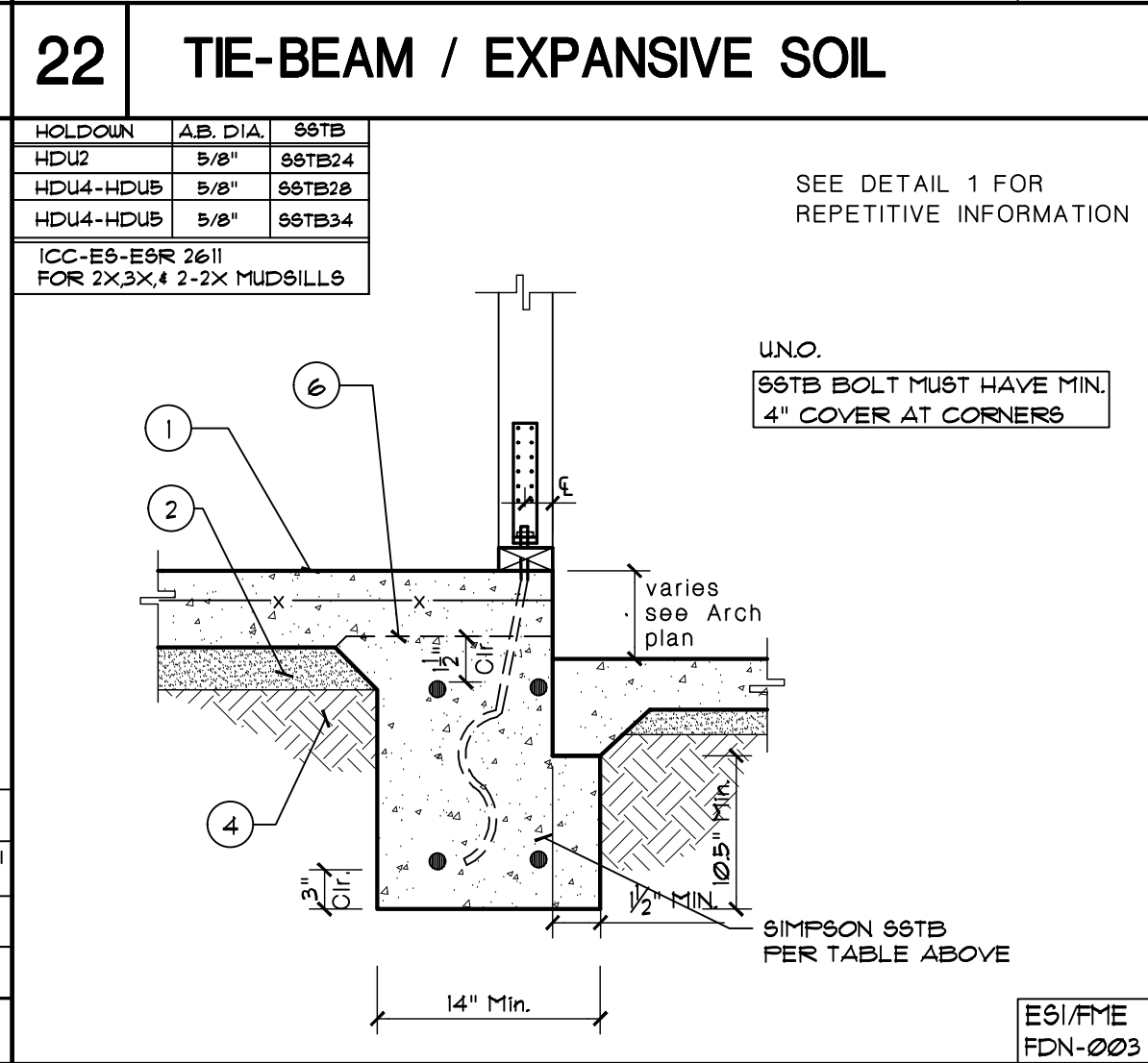
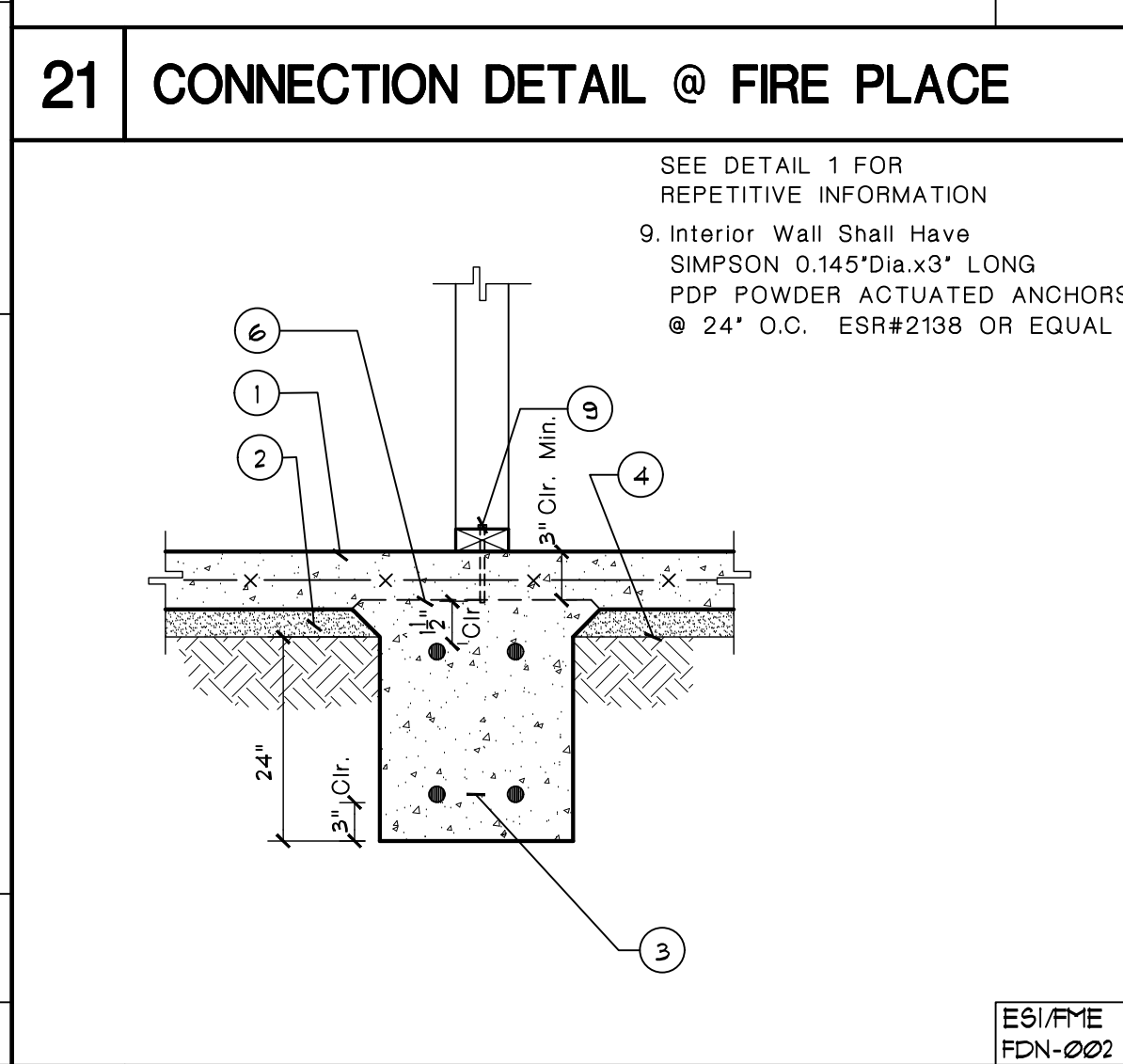
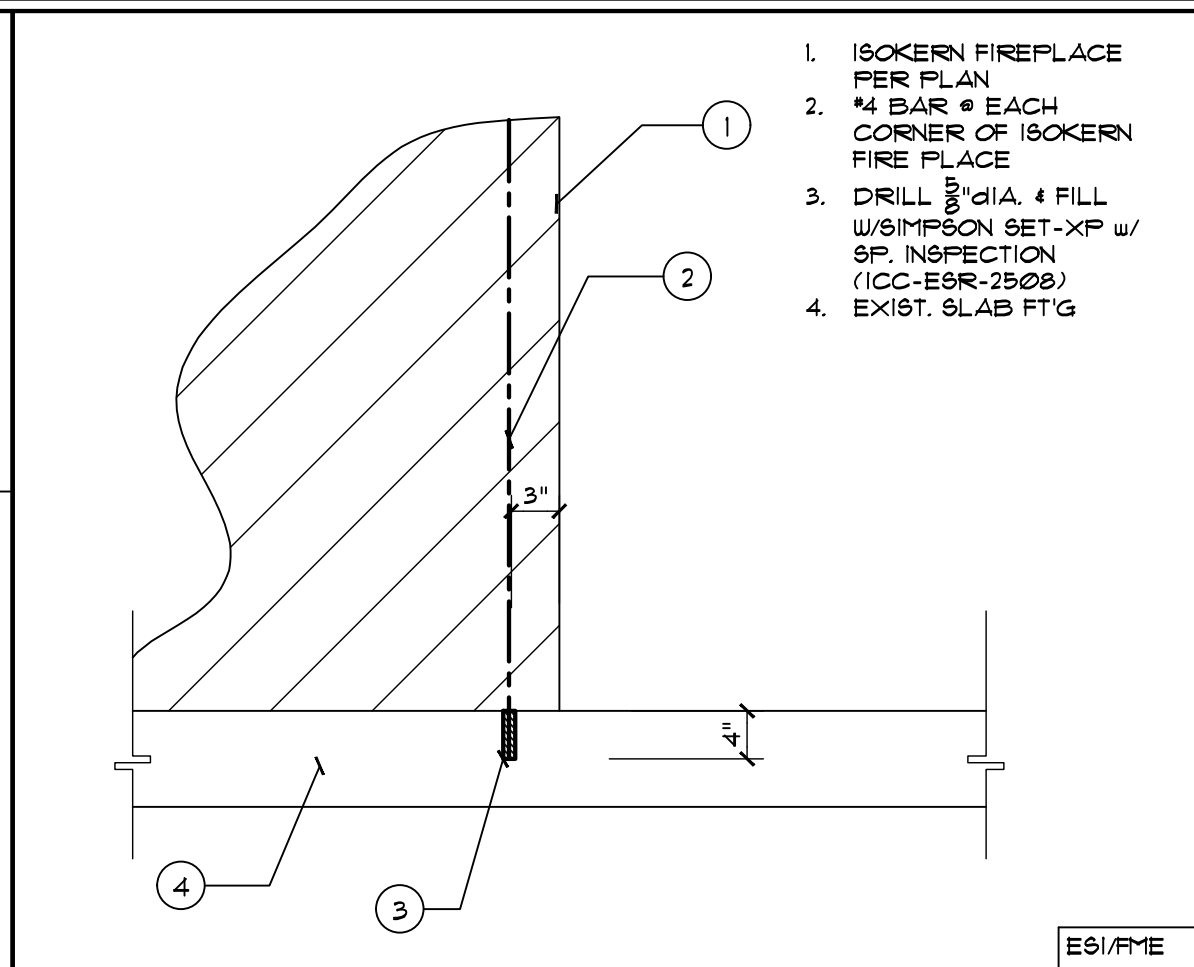
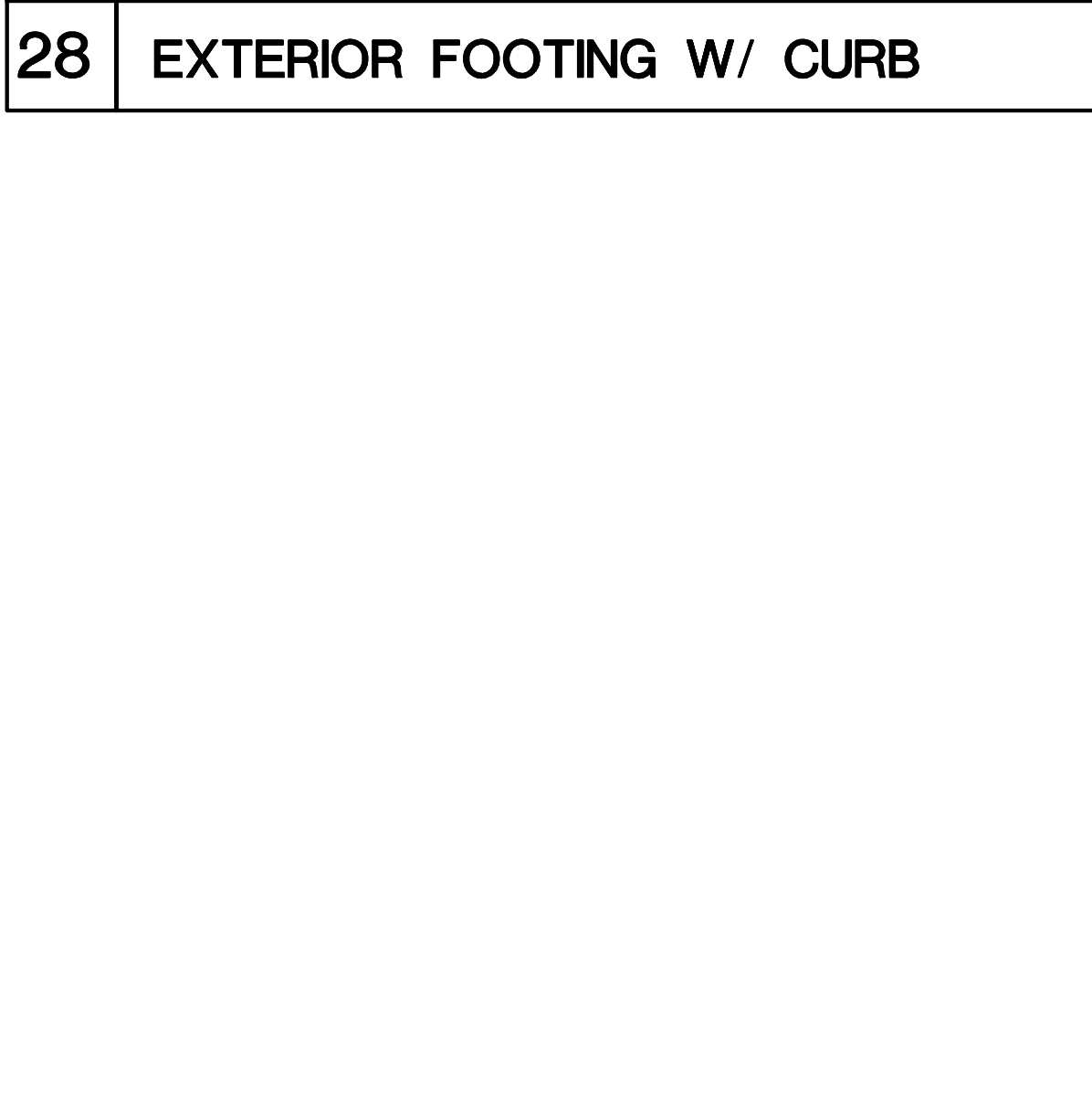
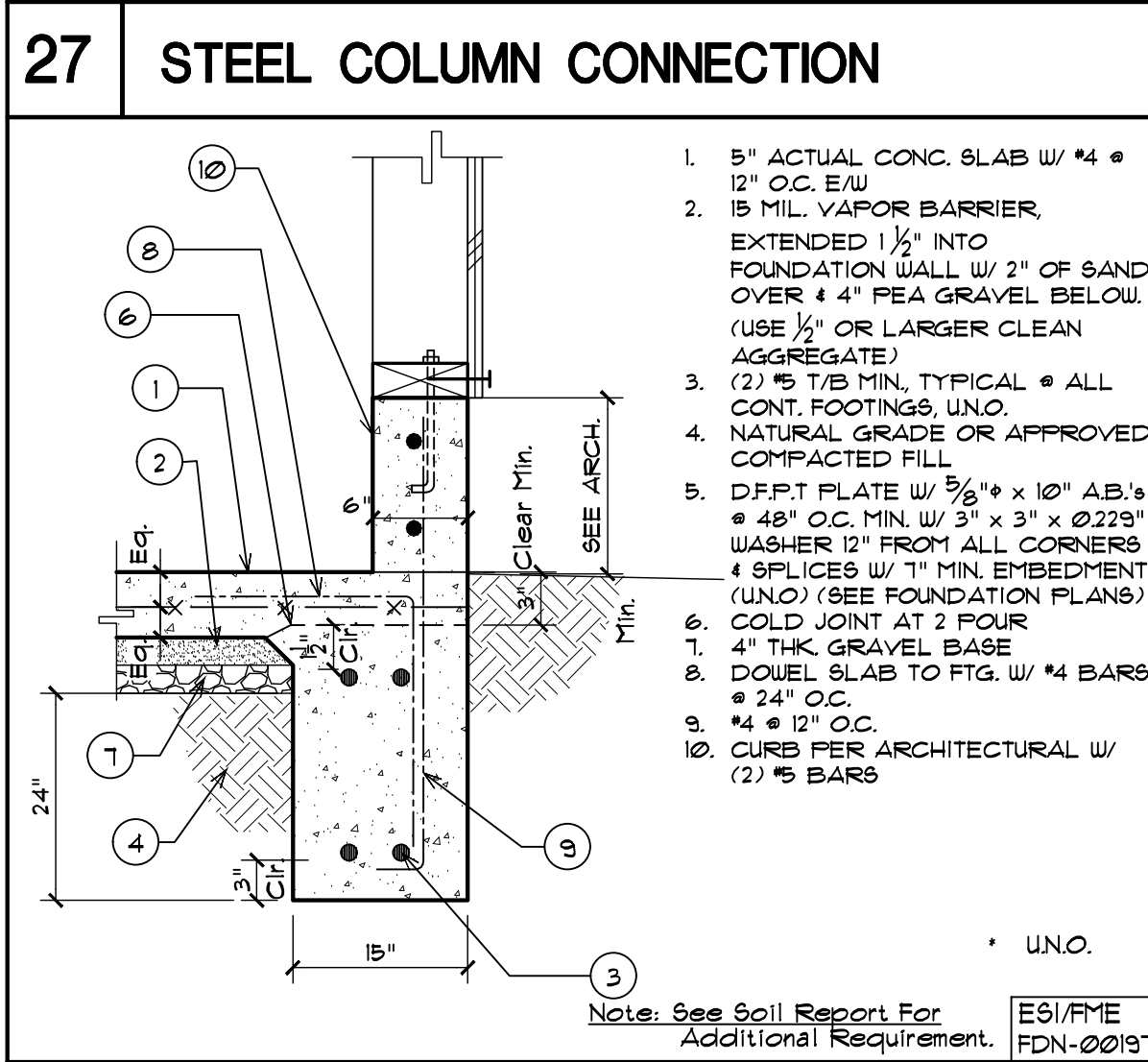
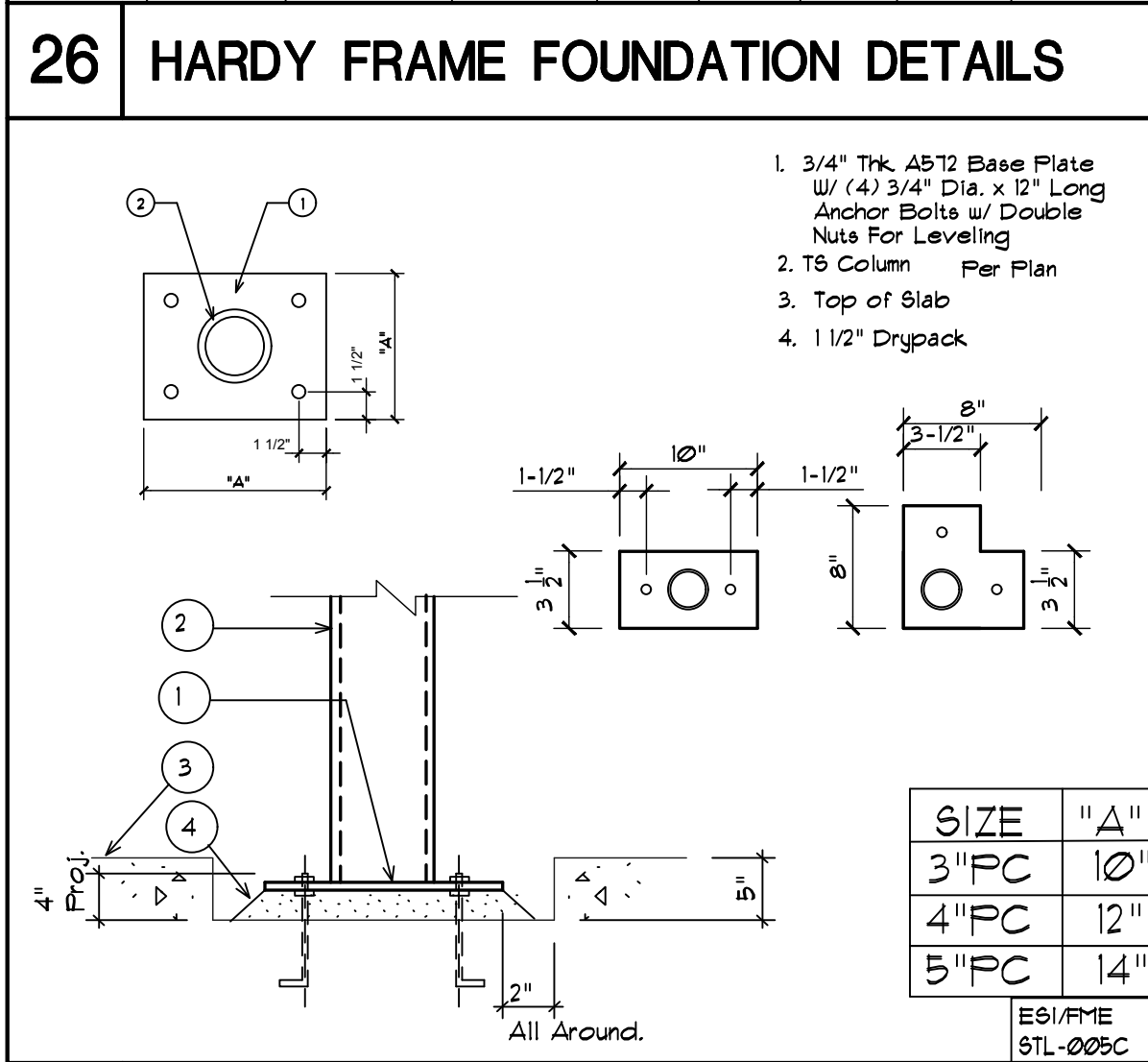
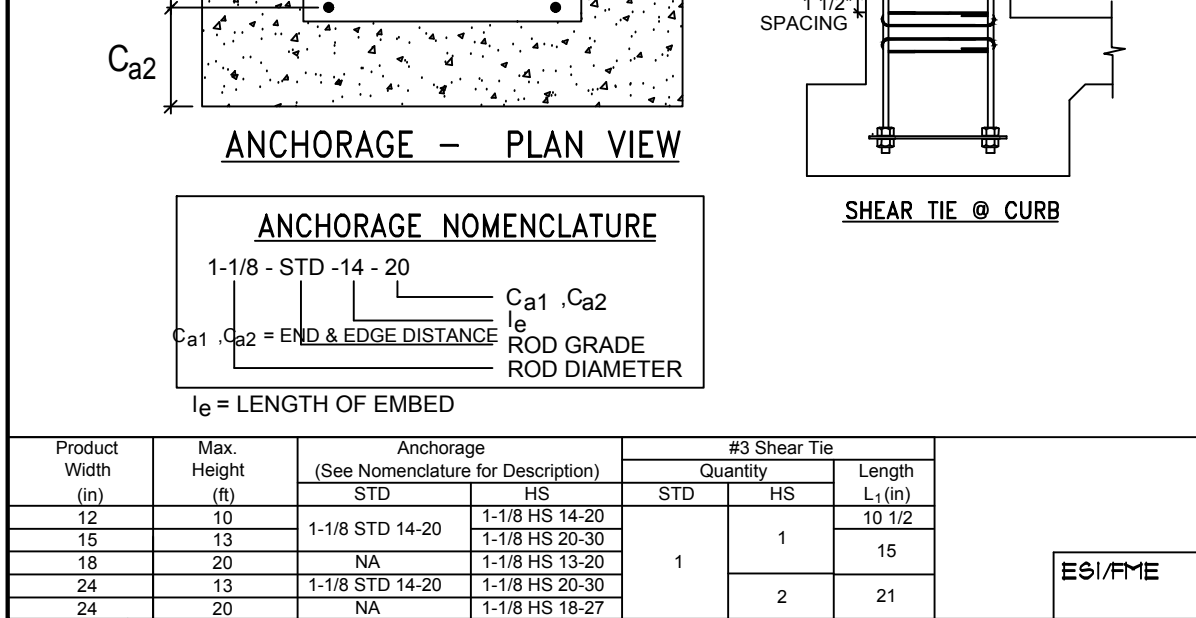
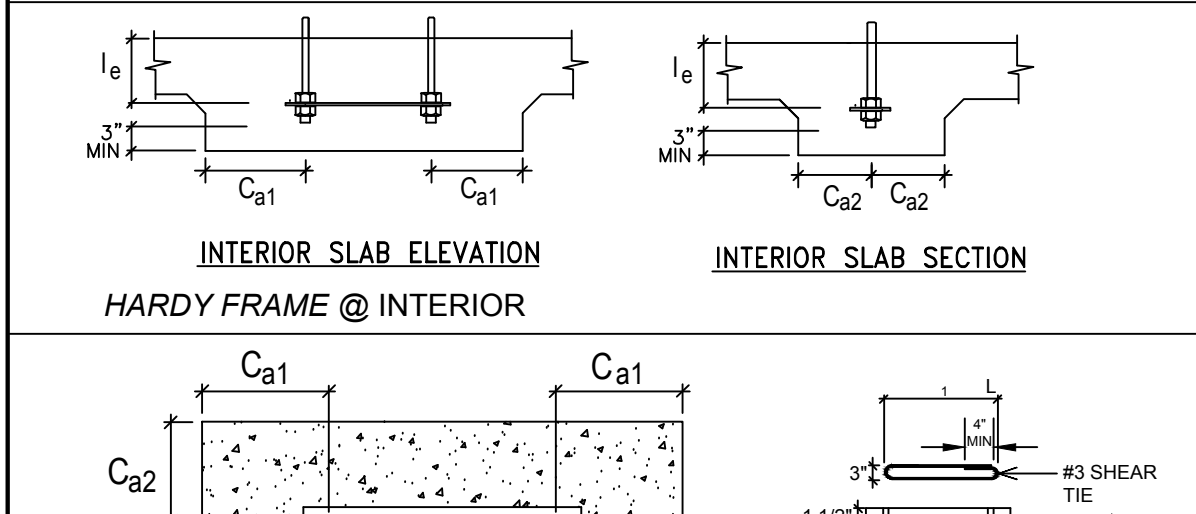
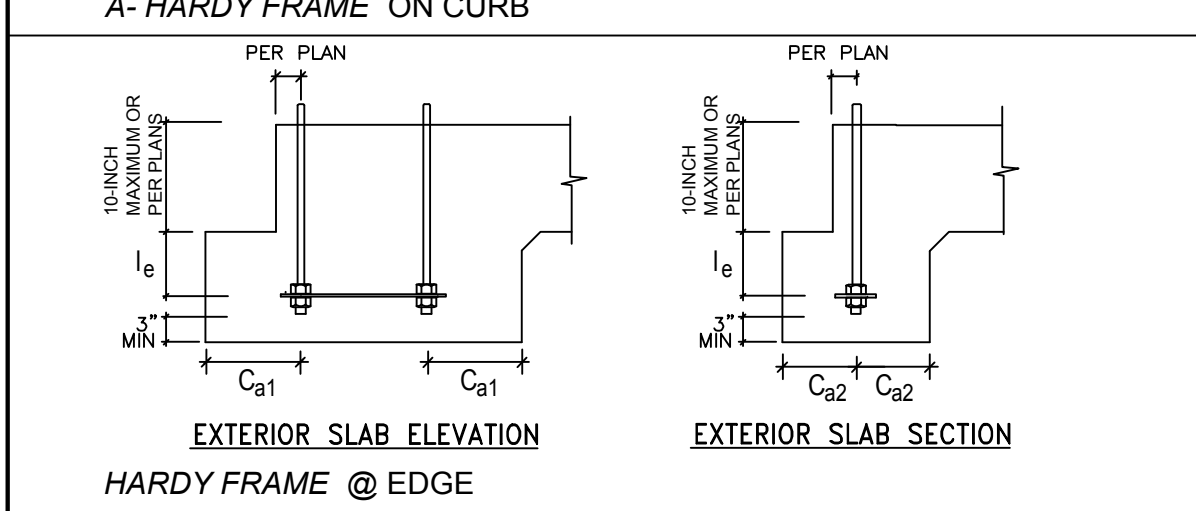
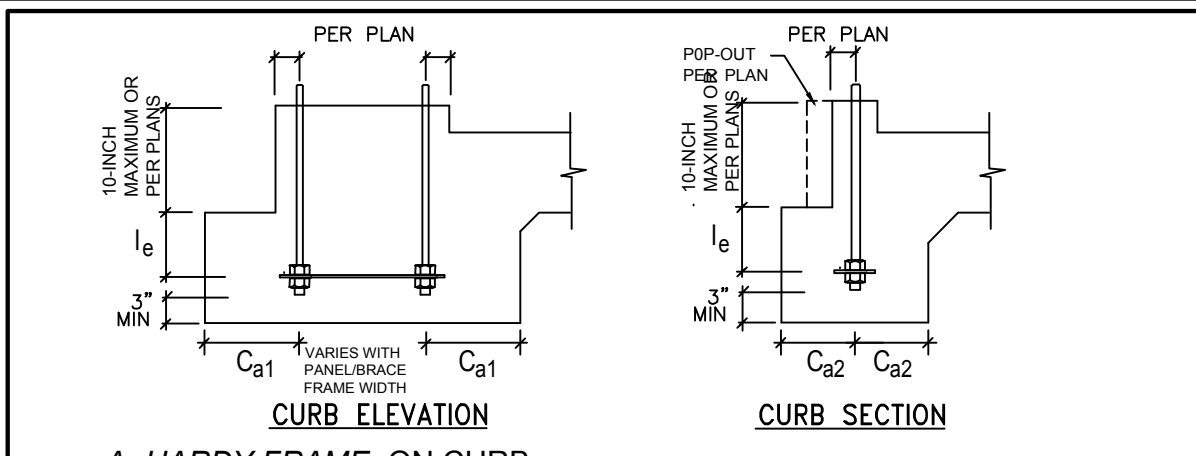
NO. DESCRIPTION DATE

JOB NO. H307

DATE 08-24-2018

SHEET NO.

S1



PROJECT NAME: LOT 2 - CHANNEL PLACE

STATUS: FIRST SUBMITTAL

ES/FME INC. STRUCTURAL ENGINEERS
1800 E. 18TH ST. STE B
NEWPORT BEACH, CA 92663
PHONE: 714-952-2800 FAX: 714-952-2819

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
No. 36840

CLIENT INFORMATION:
ANDREW PATTERSON
3900 CHANNEL PLACE
NEWPORT BEACH, CA 92663

LOT 2 - CHANNEL PLACE
3900 CHANNEL PLACE
NEWPORT BEACH, CA 92663

DOCUMENT VALID UPON

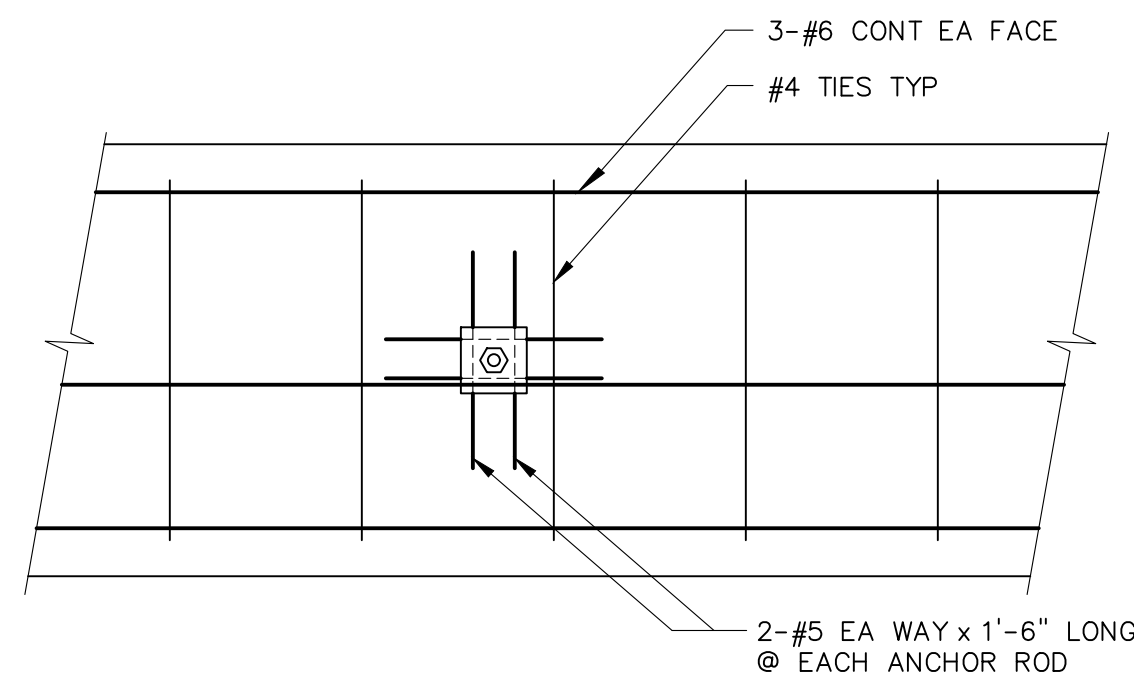
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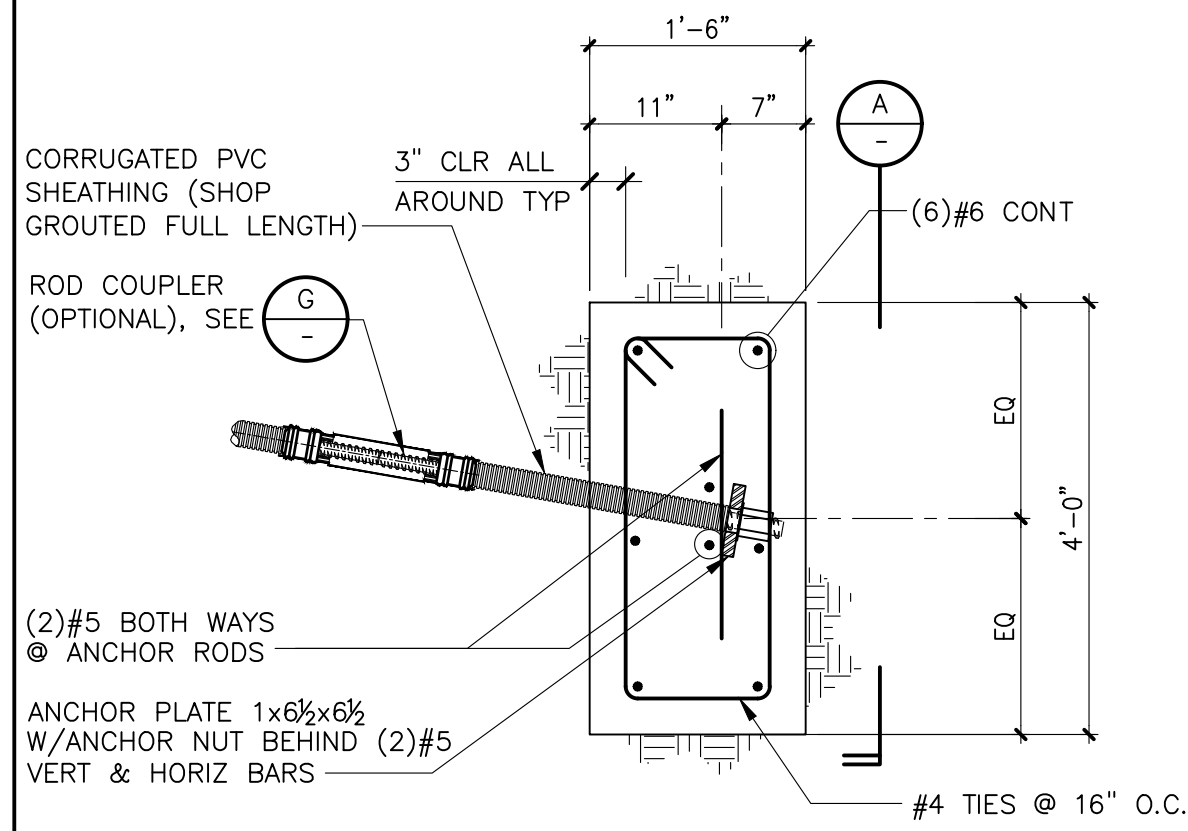
REVISIONS
NO. REVISION DATE


JOB NO. H307
PLOT DATE 08/24/2018
SHEET NO.

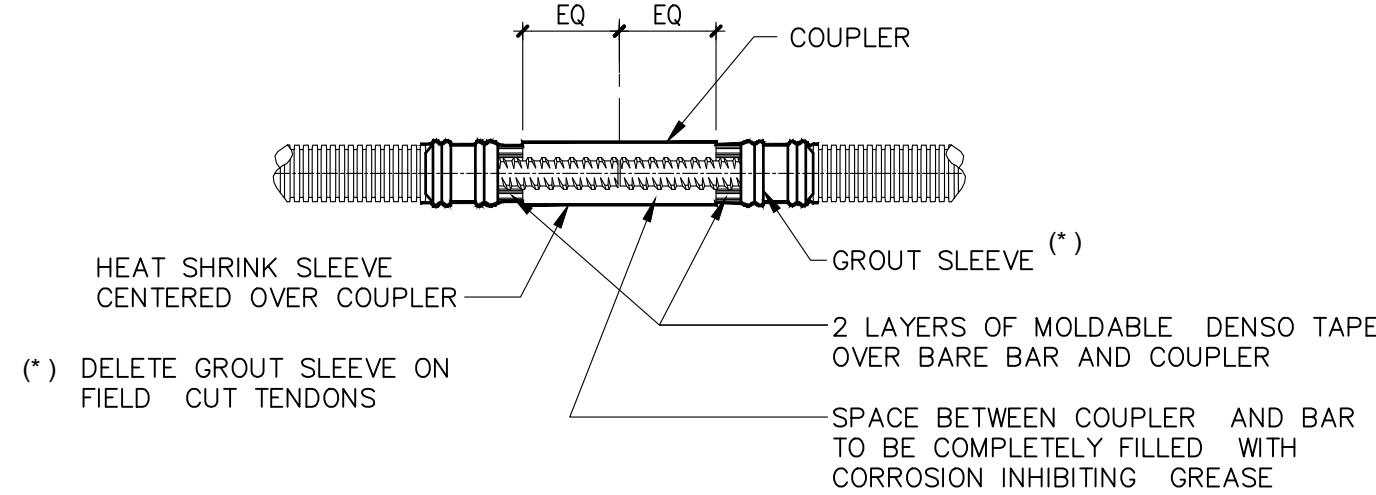
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NOTE :
FOR INFORMATION NOT SHOWN, SEE DETAIL 



NOTE:
FOR INFORMATION NOT SHOWN, SEE DETAILS  & 

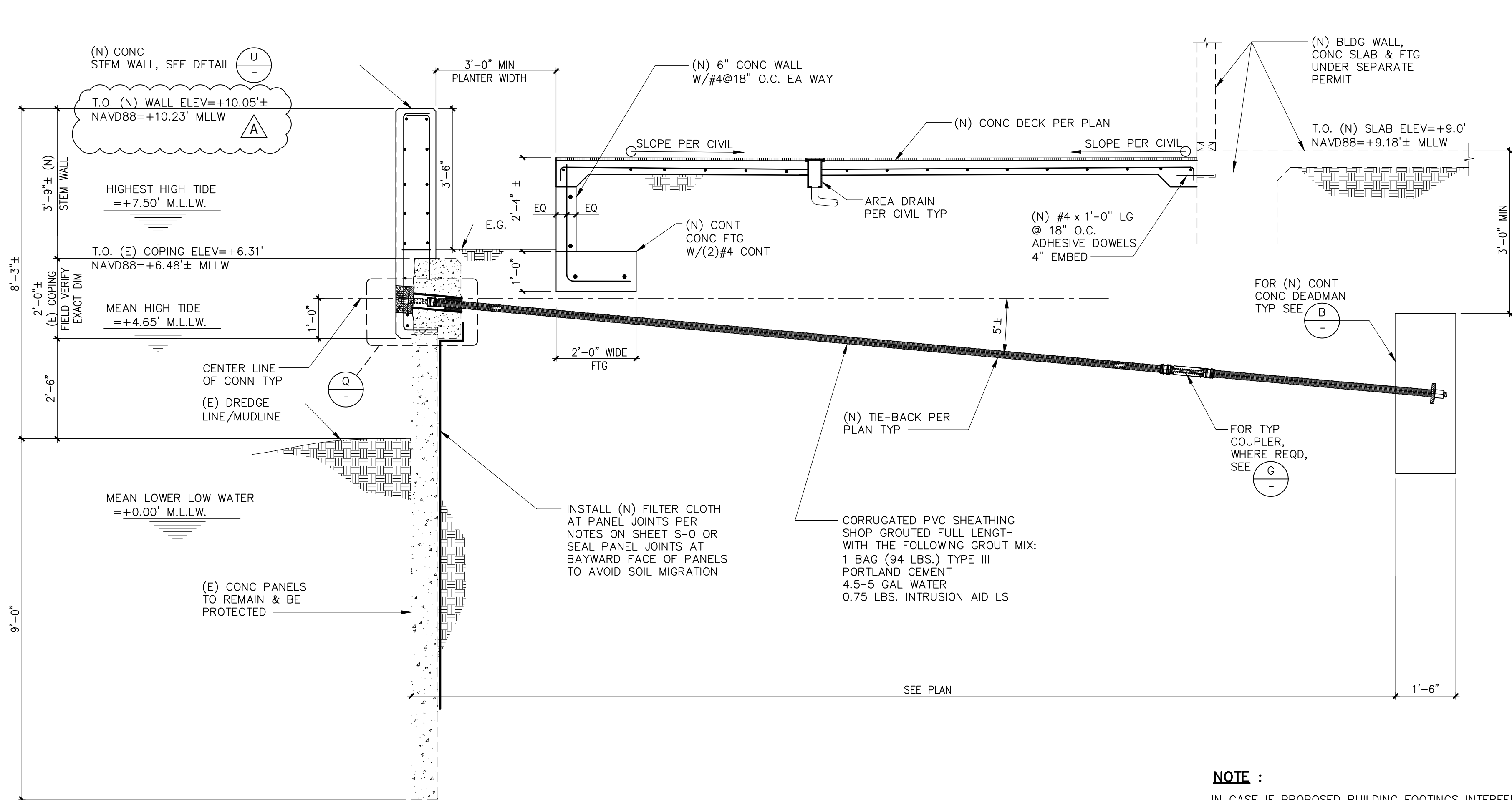


COUPLER INSTALLATION PROCEDURE:

1. APPLY CORROSION INHIBITING GREASE TO THE BARE ENDS OF THE BARS AND THE INSIDE OF THE COUPLER.
2. CONNECT THE TWO BAR ENDS WITH THE COUPLER. EACH END SHALL BE SCREWED INTO THE COUPLER HALF THE LENGTH OF THE COUPLER.
3. TORQUE BAR ENDS TOGETHER (200 FT. LBS).
4. ADD ANOTHER COAT OF GREASE TO BARE BAR AND COUPLER AND WRAP WITH TWO LAYERS OF DENSO TAPE.
5. CENTER HEAT SHRINK SLEEVE OVER COUPLER AND APPLY HEAT UNTIL SLEEVE IS FULLY RECOVERED.

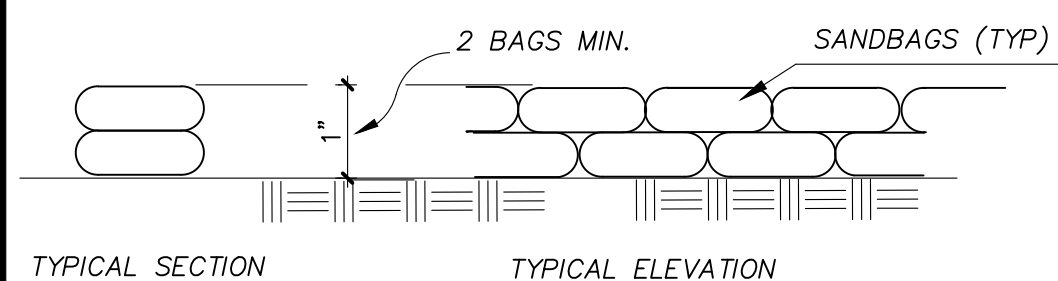
PREPARATION FOR FIELD CUT BARS:

1. CUT CORROSION PROTECTION AND THREAD BAR WITH AN ABRASIVE SAW (DO NOT USE A TORCH).
2. CAREFULLY REMOVE 6" ($\pm \frac{1}{4}$ ") CORRUGATED AND CEMENT GROUT FROM THE END OF THE NEW CUT.

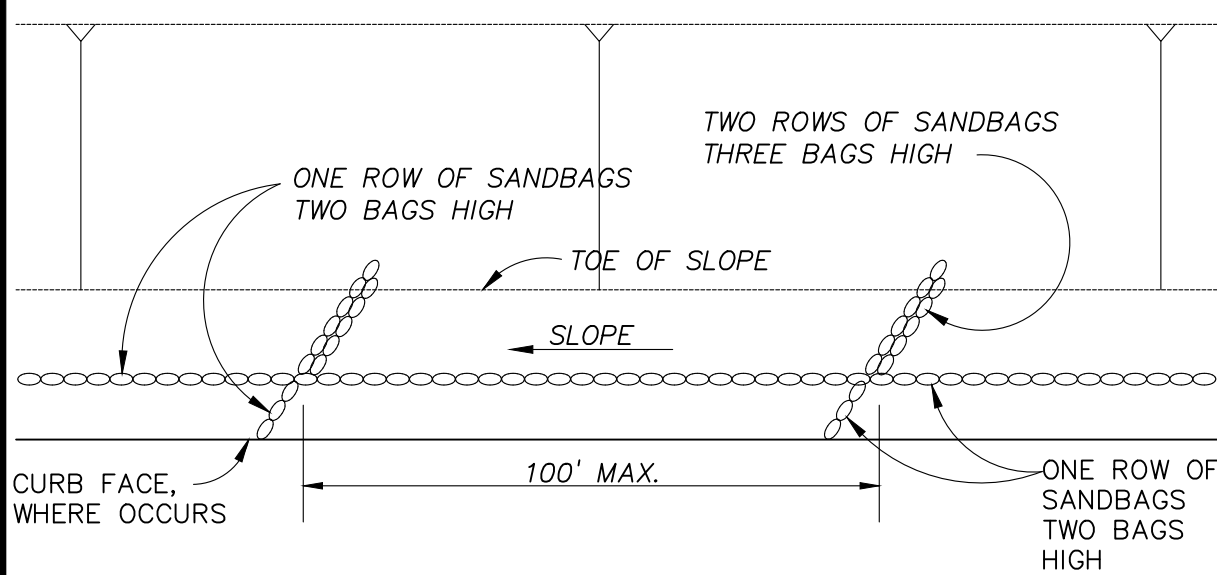


NOTE :

IN CASE IF PROPOSED BUILDING FOOTINGS INTERFERE WITH THE TIE-BACKS, DEEPEN FOOTINGS PER STRUCTURAL ENGINEER OF THE BUILDING REQUIREMENTS AND PROVIDE SCHEDULE 40 PVC SLEEVES FOR MINIMUM 2" CLEAR DISTANCE AROUND TIE-BACKS.

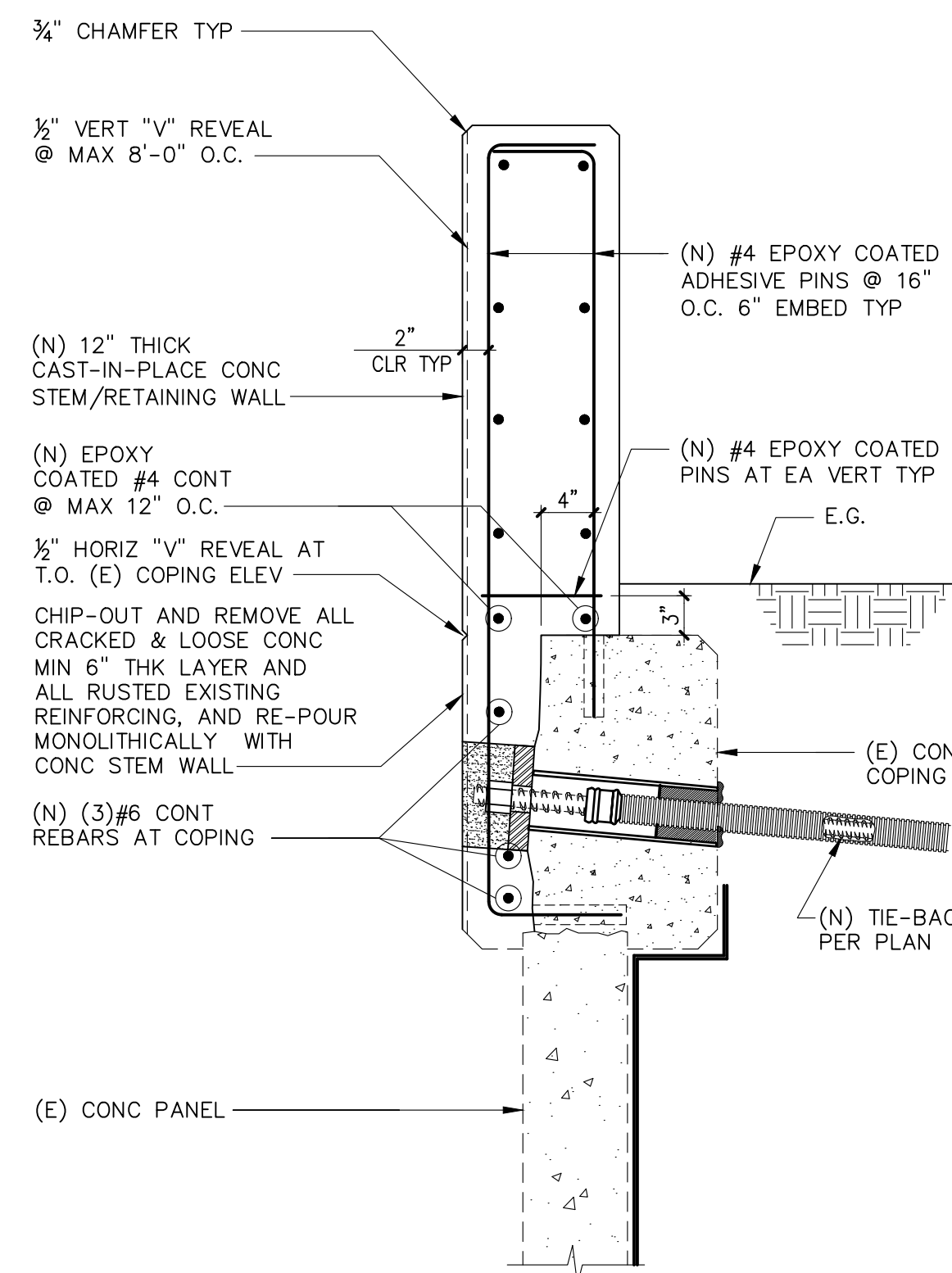


SANDBAG VELOCITY REDUCER DETAIL

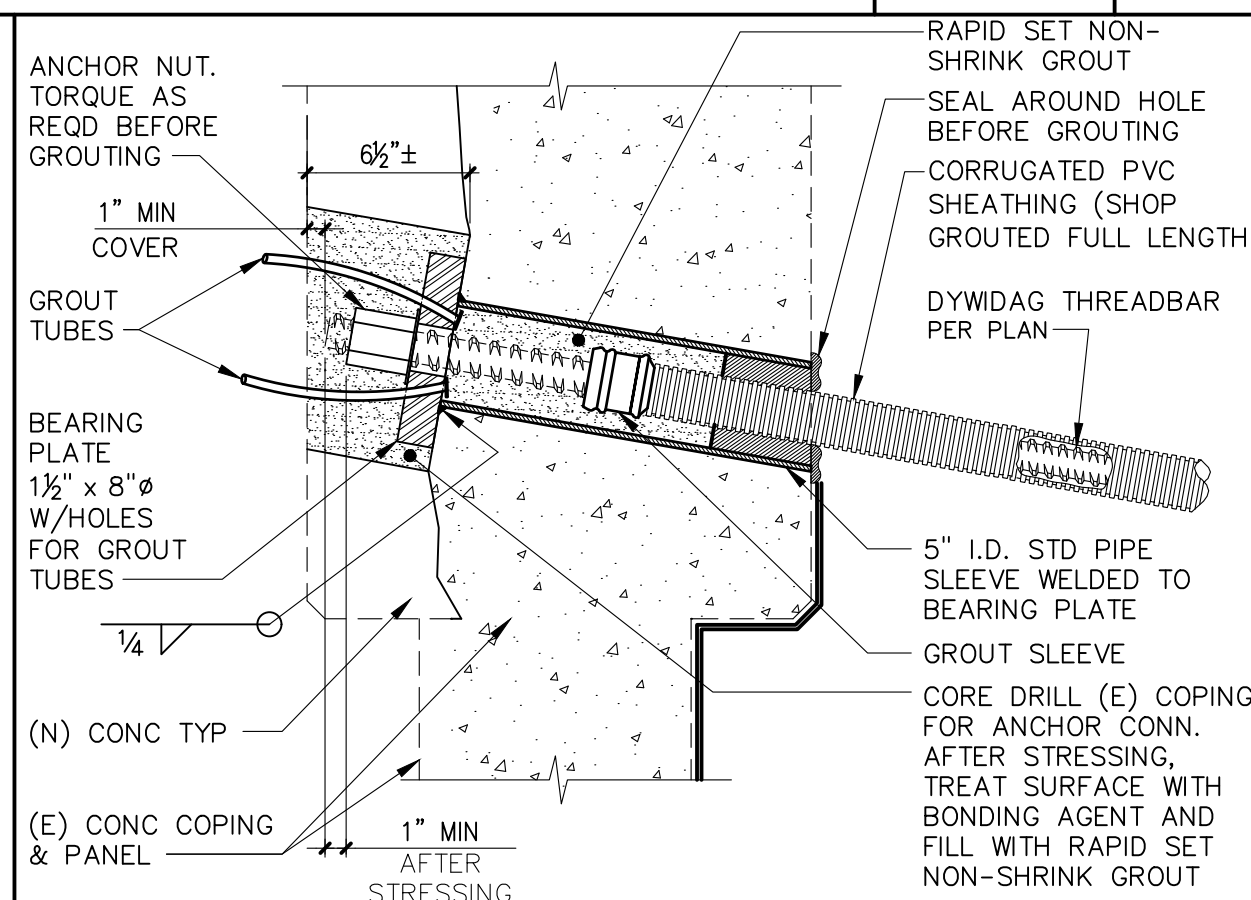


TOE OF SLOPE PROTECTION DETAIL

NOTE:
THIS DETAIL SHALL APPLY AT THE ENTIRE PERIMETER OF ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 6 UNDER "EROSION CONTROL NOTES" ON SHEET S-0.




NOTE:
APPLY EPOXY COATING ON THE FACE OF CUT EXISTING
TRANSVERSE REINFORCING/SHEAR TIES IF ANY.



NOTE: CARE SHALL BE EXERCISED BY THE CONTRACTOR NOT TO CUT ANY OF THE EXISTING REINFORCING DURING THE CORE DRILLING FOR THE INSTALLATION OF THE CONNECTION SHOWN ABOVE.

CORE DRILL DETAIL



APPLY DETAIL  AT THE ENTIRE PERIMETER OF ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 6 UNDER "EROSION CONTROL NOTES" ON SHEET S-0.

NO	REVISIONS	DATE
△		
△		
A	RESPONSE TO CDP CORRECTIONS	10/15/18

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Phone: (714) 717-7542
E-Mail: P.Petrov@PMA-RC.com

OWNER / APPLICANT
Mr. Andrew Patterson
3902 CHANNEL PLACE
NEWPORT BEACH, CA 92663

REINFORCING THE EXISTING
SEAWALL/BULKHEAD LOCATED AT:
3902 Channel Place
Newport Beach, CA 92663

SITE PLAN & ELEVATION

DATE	08/15/2018
JOB NO.	24318-1
DRAWN	M.PETROVA
CHECKED	P.PETROV

SHEET OF

SW-1

C.

