



## **CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT**

January 10, 2019  
Agenda Item No. 4

**SUBJECT:** Bay House Landscape Improvements (PA2018-243)  
Coastal Development Permit No. CD2018-096

**SITE LOCATION:** 2100 East Balboa Boulevard

**APPLICANT:** Shawna L. Schaffner, CAA Planning, Inc.

**OWNER:** Bay House 2100, LLC

**PLANNER:** David S. Lee, Assistant Planner  
949-644-3225, dlee@newportbeachca.gov

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### **LAND USE AND ZONING**

- **General Plan:** RS-D (Single-Unit Residential Detached)
- **Zone:** R-1 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-B (Single-Unit Residential Detached – 6.0-9.9 DU/AC)
- **Coastal Zoning District:** R-1 (Single-Unit Residential)

### **PROJECT SUMMARY**

A coastal development permit to construct a covered patio, outdoor fireplace, pool and spa, and landscaping. Coastal Development Permit No. CD2018-018 was previously issued by the Zoning Administrator on March 29, 2018, authorizing the demolition of the single-family residence.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_\_ approving Coastal Development Permit No. CD2018-096 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is currently developed with an existing 600-square-foot garage on an existing lot designated for residential development by the Local Coastal Program. Coastal Development Permit No. CD2018-018 was previously issued by the Zoning Administrator on March 29, 2018, authorizing the demolition of the single-family residence.
- The property owner currently owns the adjacent subject property and single-family dwelling located at 2021 East Bay Avenue. The property owner intends to utilize both the subject property, including pool, patio, and landscape improvements, and the 2021 East Bay Avenue property as a single site until a future single-family dwelling is constructed on the subject site (2100 East Balboa Boulevard). No improvements are proposed to cross the underlying legal property line between the two lots.
- The subject property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and appurtenant structures, and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- In the absence of a single-family residence developed on the subject lot, the proposed covered patio, outdoor fireplace, pool and spa are considered significant non-attached accessory structures requiring the approval of a coastal development permit. Since the property is located in the Coastal Commission Appeal Area, a De Minimis Waiver cannot be issued. Also, the project is not eligible for a Categorical Exclusion from the need to obtain a coastal development permit due to its location on the waterfront.
- The proposed accessory structures conform to all applicable development standards, including setbacks and height. The covered patio and pool equipment enclosure exceed the minimum required setbacks, which are 20 feet from the front property line abutting the Newport Bay, 4 feet along each side property line, and 0 feet along East Balboa Boulevard. The height of the covered patio is approximately 13 feet 7 inches and the outdoor fireplace is approximately 17 feet 4 inches, significantly below the 24-foot maximum height limit.
- Per Section 21.30.085 of the Local Coastal Program, landscaping has been conditioned to have low water demand and be drought tolerant. The planting of invasive species shall be prohibited. Subsequent construction of a replacement dwelling will require a separate coastal development permit at a later date.

### *Water Quality*

- The property is located within 100 feet of coastal waters. The project design addresses water quality with a construction erosion control plan that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

### *Hazards*

- The development fronts the Newport Bay and is a private bay front parcel. The project site is protected by an existing bulkhead and no changes are proposed at this time, given the scope of work. A bulkhead conditions report and hazards analysis will be prepared as part of the coastal development permit application submittal for the future single-family residence.

### *Public Access*

- The project site is located on the Balboa Peninsula between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project results in the construction of accessory improvements to an adjacent single-family dwelling under single control and ownership. A future single-family dwelling will be constructed under a separate coastal development permit. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project site is sited so as not to block or impede existing public access opportunities. Vertical access to the bay front is available approximately 520 feet west of the subject property on K Street.
- The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas. However, the project is for the construction of a covered patio, outdoor fireplace, pool and spa, and landscaping. The future development of the site with a replacement dwelling will be required to comply with all applicable LCP development standards. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

## **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment. Class 3 includes the construction of accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. The proposed project includes the construction of a swimming pool, covered patio, and outdoor fireplace located in the R-1 Coastal Zoning District.

## **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners of property and residential occupants within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting that was posted at City Hall and on the City website.

## **APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



David S. Lee, Assistant Planner

JM/dl

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans



# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2019-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2018-096 TO CONSTRUCT A COVERED PATIO, OUTDOOR FIREPLACE, POOL AND SPA, AND LANDSCAPING LOCATED AT 2100 EAST BALBOA BOULEVARD (PA2018-243)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Shawna L. Schaffner, with respect to property located at 2100 East Balboa Boulevard and legally described as Parcel 4 of Resubdivision No. 250 requesting approval of a coastal development permit.
2. The applicant requests a coastal development permit to construct a covered patio, outdoor fireplace, pool and spa, and landscaping. Coastal Development Permit No. CD2018-018 was previously issued by the Zoning Administrator on March 29, 2018, authorizing the demolition of an existing single-family residence.
3. The subject property is located within the Single-Unit Residential (R-1) Zoning District and the General Plan Land Use Element category is Single-Unit Residential Detached (RS-D).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential – 6.0 – 9.9 DU/AC (RSD-B) and the Coastal Zoning District is Single-Unit Residential (R-1).
5. A public hearing was held on January 10, 2019 in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under New Construction or Conversion of Small Structures).
2. Class 3 includes the construction of accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences. The proposed project includes the construction of a swimming pool, covered patio, and outdoor fireplace located in the R-1 Coastal Zoning District.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The subject property is currently developed with an existing 600-square-foot garage on an existing lot designated for residential development by the Local Coastal Program. Coastal Development Permit No. CD2018-018 was previously issued by the Zoning Administrator on March 29, 2018, authorizing the demolition of an existing single-family residence.
2. The property owner currently owns the adjacent property and single-family dwelling located at 2021 East Bay Avenue. The property owner intends to utilize both the subject property, including pool, patio, and landscape improvements, and the 2021 East Bay Avenue property as a single site until a future single-family dwelling is constructed on the subject site (2100 East Balboa Boulevard). No improvements are proposed to cross the underlying legal property line between the two lots.
3. The proposed accessory structures conform to all applicable development standards, including setbacks and height. The covered patio and pool equipment enclosure exceed the minimum required setbacks, which are 20 feet from the front property line abutting the Newport Bay, 4 feet along each side property line, and 0 feet along East Balboa Boulevard. The height of the covered patio is approximately 13 feet 7 inches and the outdoor fireplace is approximately 17 feet 4 inches, significantly below the 24-foot maximum height limit.
4. Per Section 21.30.085 of the Local Coastal Program, landscaping has been conditioned to have low water demand and be drought tolerant. The planting of invasive species shall be prohibited. Subsequent construction of a replacement dwelling will require a separate coastal development permit at a later date.
5. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code and Building Division standards and policies.
6. The development fronts the Newport Bay and is a private bay front parcel. The project site is protected by an existing bulkhead and no changes are proposed.
7. The property is located within 100 feet of coastal waters. The project design addresses water quality with a construction erosion control plan that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located on the Balboa Peninsula between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project results in the construction of accessory improvements to an adjacent single-family dwelling under single control and ownership. A future single-family dwelling will be constructed under a separate coastal development permit. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project site is sited so as not to block or impede existing public access opportunities. Vertical access to the bay front is available approximately 520 feet west of the subject property on K Street.
2. The project site is not adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas. However, the project is for the construction of a covered porch, outdoor fireplace, pool and spa, and landscaping. The future development of the site with a replacement dwelling will be required to comply with all applicable LCP development standards. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

## SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2018-096, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Planning and Zoning of the Newport Beach Municipal Code.

**PASSED, APPROVED, AND ADOPTED THIS 10<sup>TH</sup> DAY OF JANUARY, 2019.**

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Patrick J. Alford, Zoning Administrator

**EXHIBIT "A"****CONDITIONS OF APPROVAL**

1. Landscaping of the site shall conform to the requirements of Section 21.30.075 (Landscaping) and Section 21.30.085 (Water Efficient Landscaping) of the Local Coastal Program Implementation Plan. Plant materials shall be selected for low water-demand and drought tolerance, and the planting of invasive species shall be prohibited.
2. All landscape materials and irrigations systems shall be maintained in accordance with the approved erosion control plan. All landscaped areas shall be maintained in a healthy and growing conditions and shall receive regular pruning, fertilizing, mowing and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
3. Construction activities shall comply with NBMC Section 10.28.040, which restricts hours of noise-generating construction activities to between the hours of 7 a.m. and 6:30 p.m., Monday through Friday and 8 a.m. and 6 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
4. The development shall be in substantial conformance with the approved construction plans stamped and dated with the date of this approval, (except as modified by applicable conditions of approval).
5. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
6. Coastal Development Permit No. CD2018-096 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
7. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
8. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
9. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

10. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
12. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, wetland or their buffers.
13. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).
14. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
15. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
16. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Bay House Landscape Improvements including, but not limited to, Coastal Development Permit No. CD2018-096 (PA2018-243). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

## **Attachment No. ZA 2**

Vicinity Map



## VICINITY MAP



Coastal Development No. CD2018-096  
PA2018-243

**2100 East Balboa Boulevard**

# **Attachment No. ZA 3**

Project Plans

VICINITY MAP



DIRECTORY

OWNER:  
BAY HOUSE 2100, LLC  
2100 EAST BAY AVE.  
NEWPORT BEACH, CA 92661

ARCHITECT:  
JOHNSON WEN MULDER AND ASSOC.  
FRANK WEN, ARCHITECT  
1691 WESTCLIFF DRIVE  
NEWPORT BEACH, CA 92660  
TEL: (949) 642-5212

PROJECT DATA

SITE AREA 15,450 S.F.  
EX. GARAGE 668 S.F.  
NEW TRELLIS AREA 407 S.F.

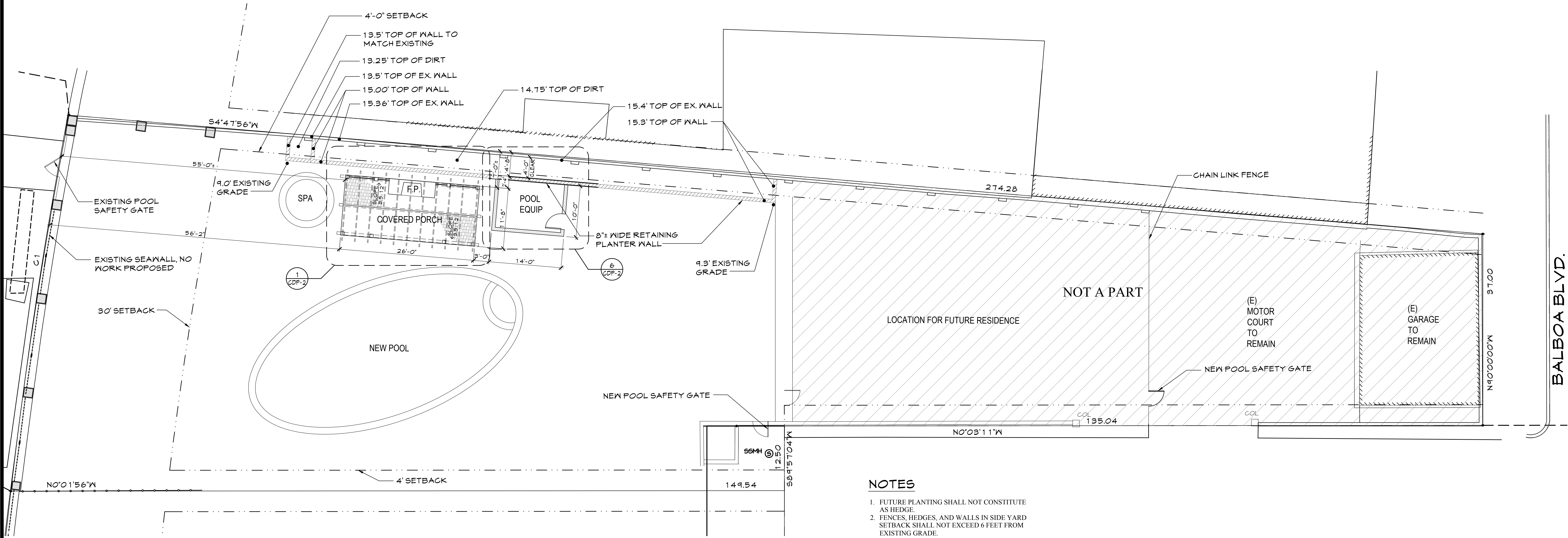
DESIGN SHALL COMPLY WITH THE 2016 CBC, CMC, CPC AND CEC AS AMENDED BY CITY ORDINANCE AND THE 2016 BUILDING ENERGY EFFICIENCY STANDARDS, 2016 CALIFORNIA GREEN BUILDING STANDARDS

JOHNSON WEN MULDER  
& ASSOCIATES, ARCHITECTURE  
1691 Westcliff Drive, Newport Beach, CA 92660  
Phone 949 642 5212 Fax 949 650 0146



COASTAL DEVELOPMENT PERMIT FOR  
BAY HOUSE 2100, LLC  
2100 E. BALBOA BLVD. 92661  
NEWPORT BEACH, CA

SHEET TITLE:  
SITE/FLOOR PLAN  
DATE: 12/1/2018  
SHEET:  
CDP-1  
OF



NOTES

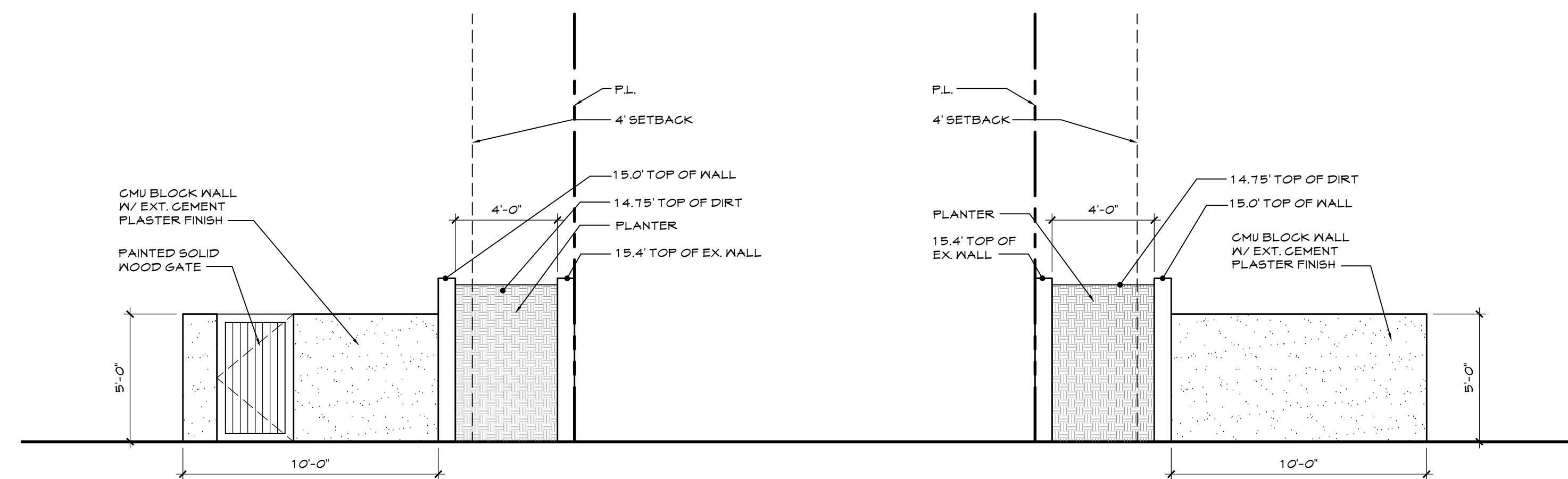
1. FUTURE PLANTING SHALL NOT CONSTITUTE AS HEDGE.
2. FENCES, HEDGES, AND WALLS IN SIDE YARD SETBACK SHALL NOT EXCEED 6 FEET FROM EXISTING GRADE.

SITE PLAN 1  
1/8" = 1'-0"

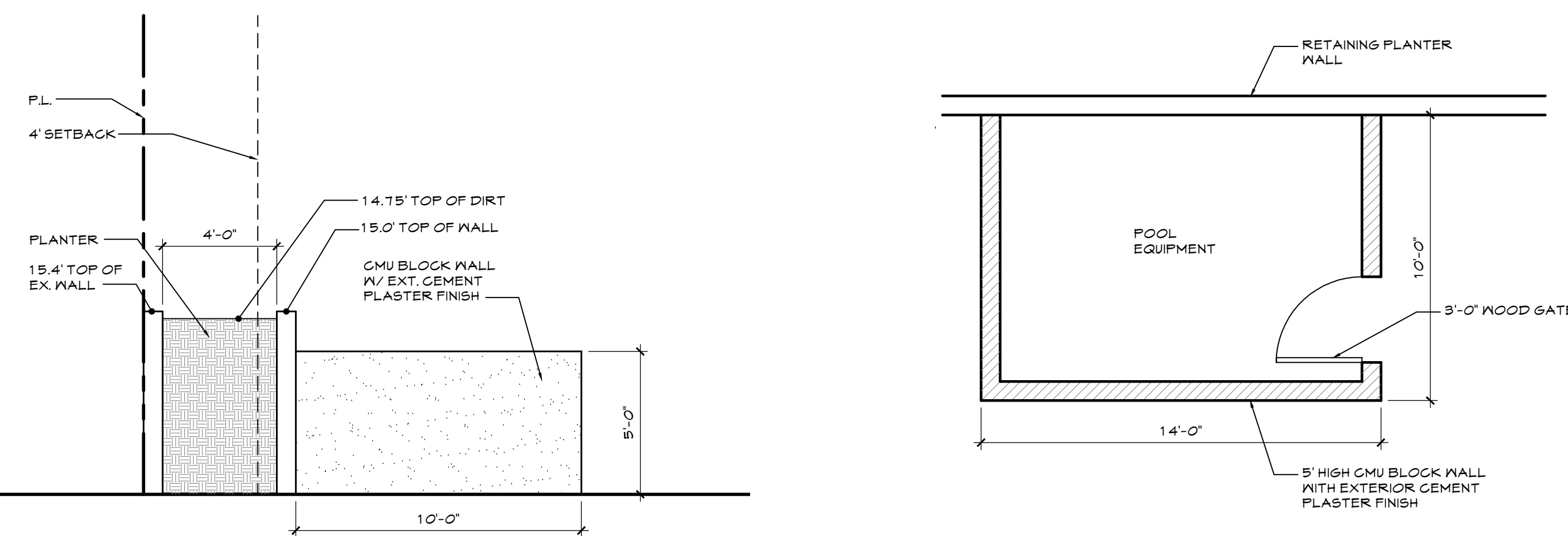


BALBOA BLVD.

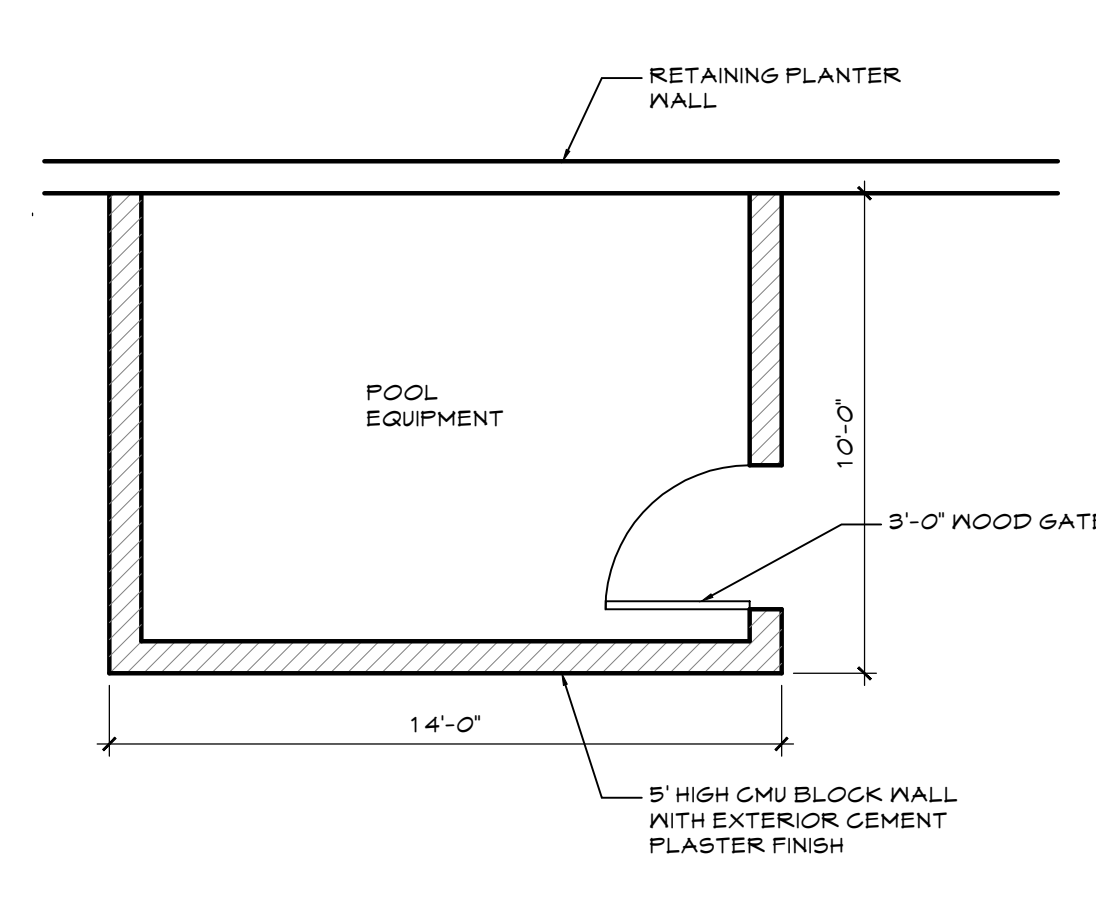




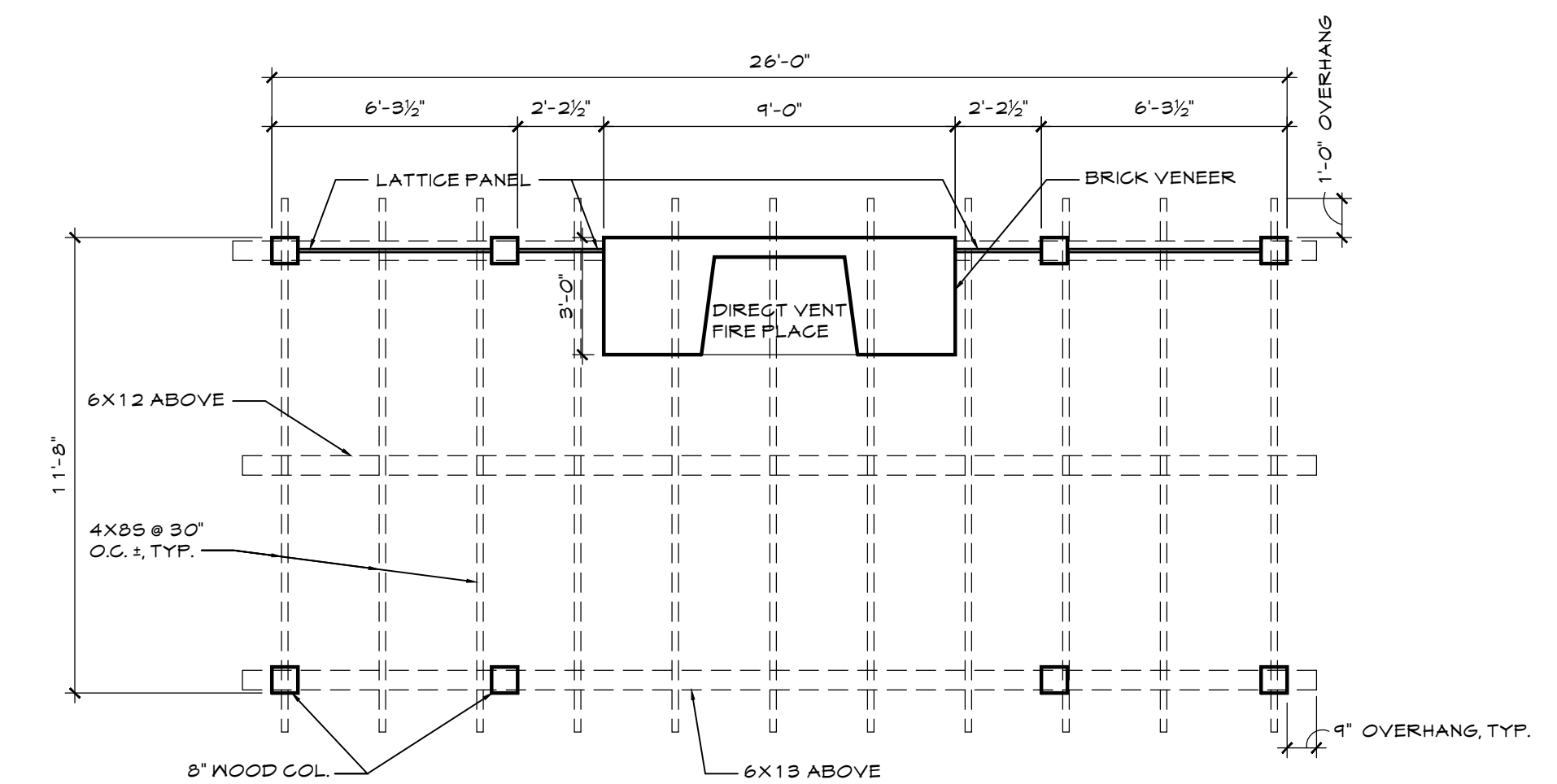
RIGHT SIDE ELEVATION 8  
1/4" = 1'-0"



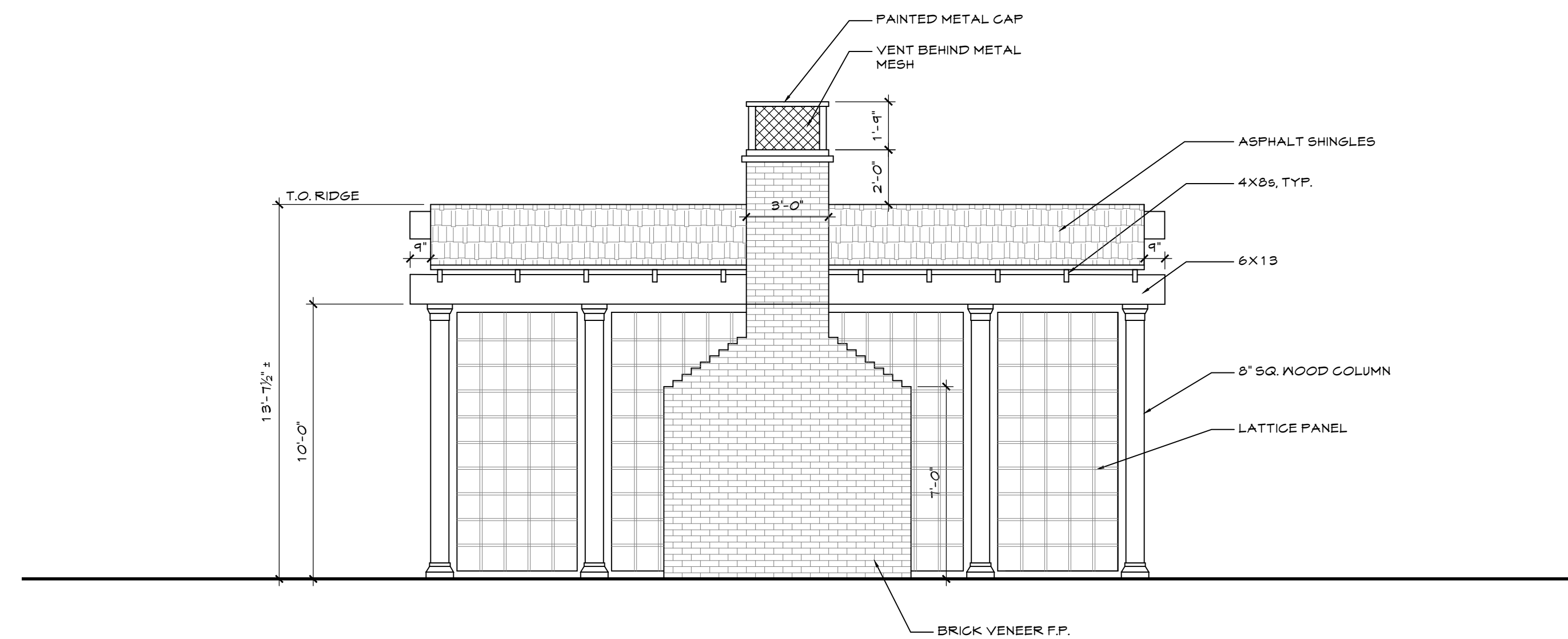
LEFT SIDE ELEVATION 7  
1/4" = 1'-0"



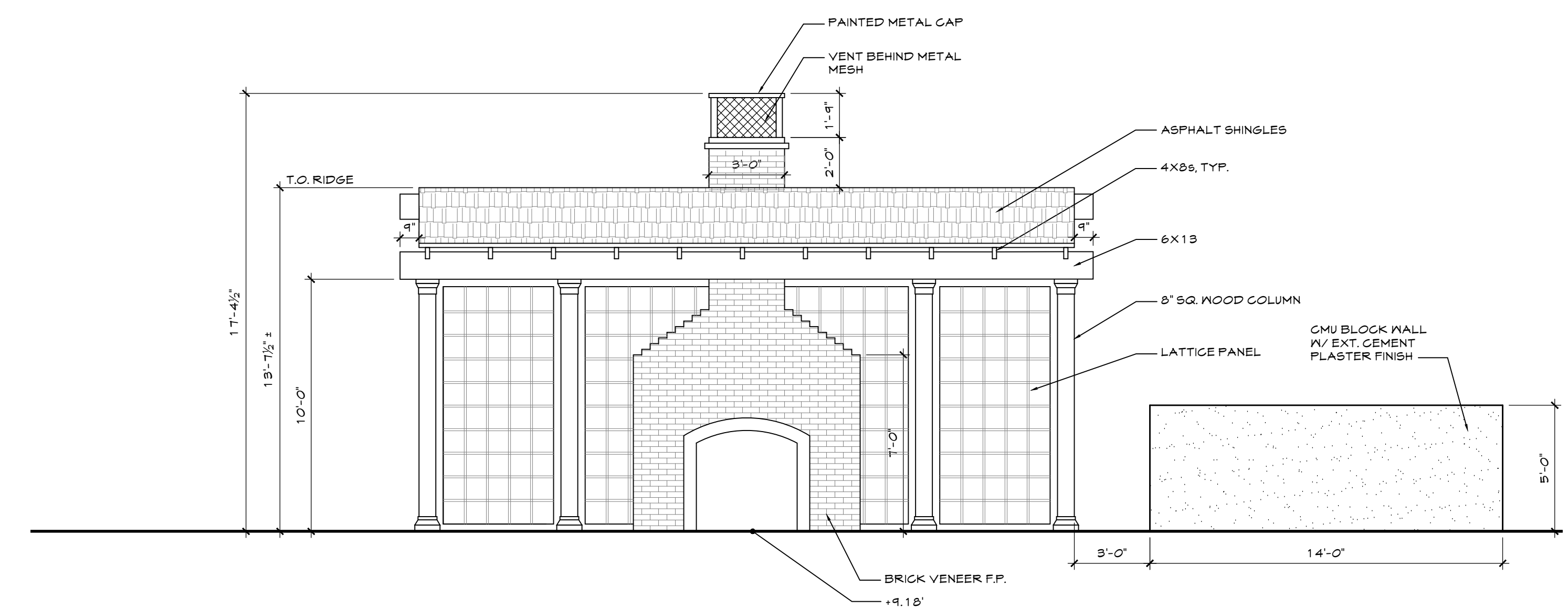
POOL EQUIPMENT PLAN 6  
1/4" = 1'-0" NORTH



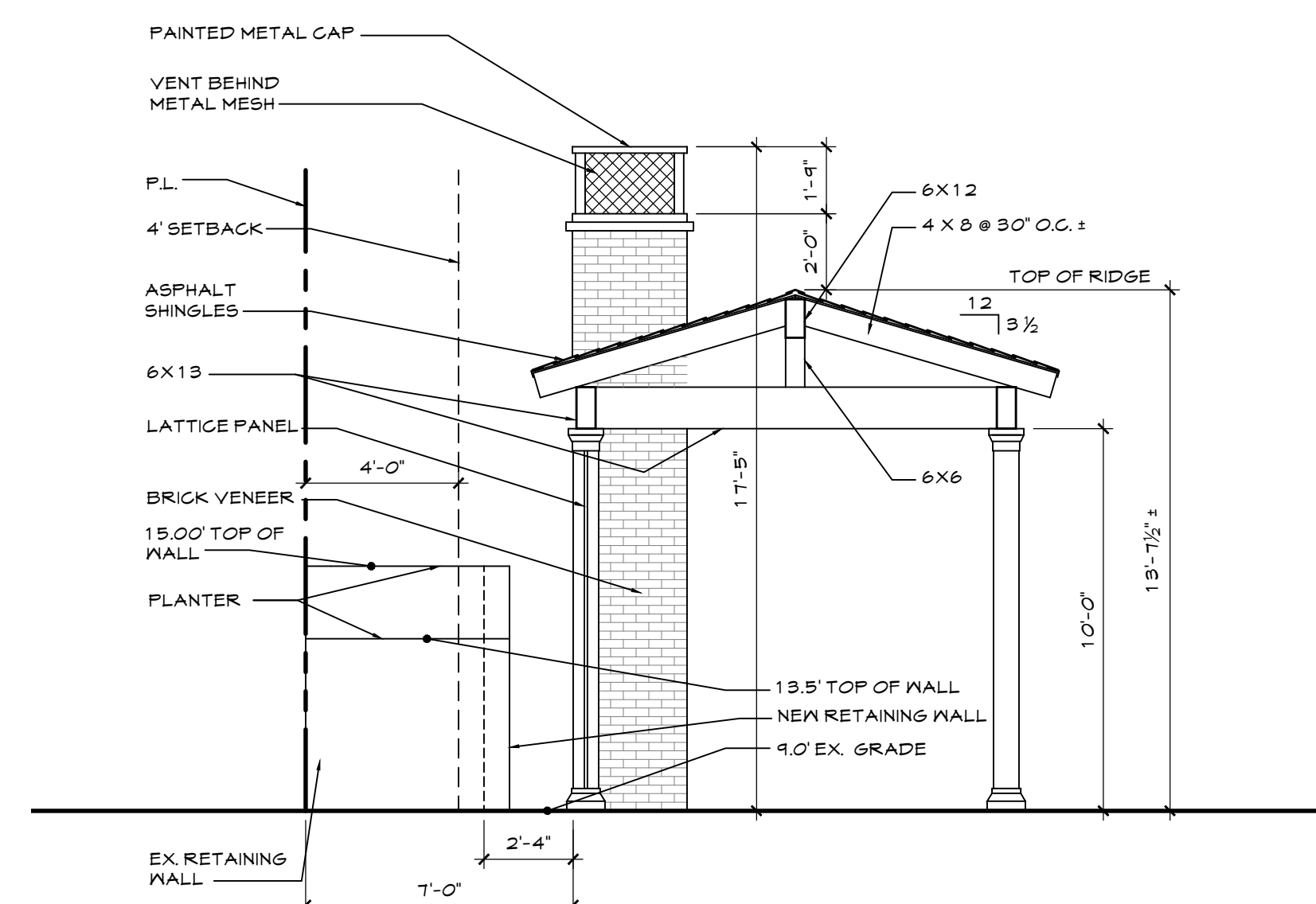
COVERED PORCH FLOOR PLAN 1  
1/4" = 1'-0" NORTH



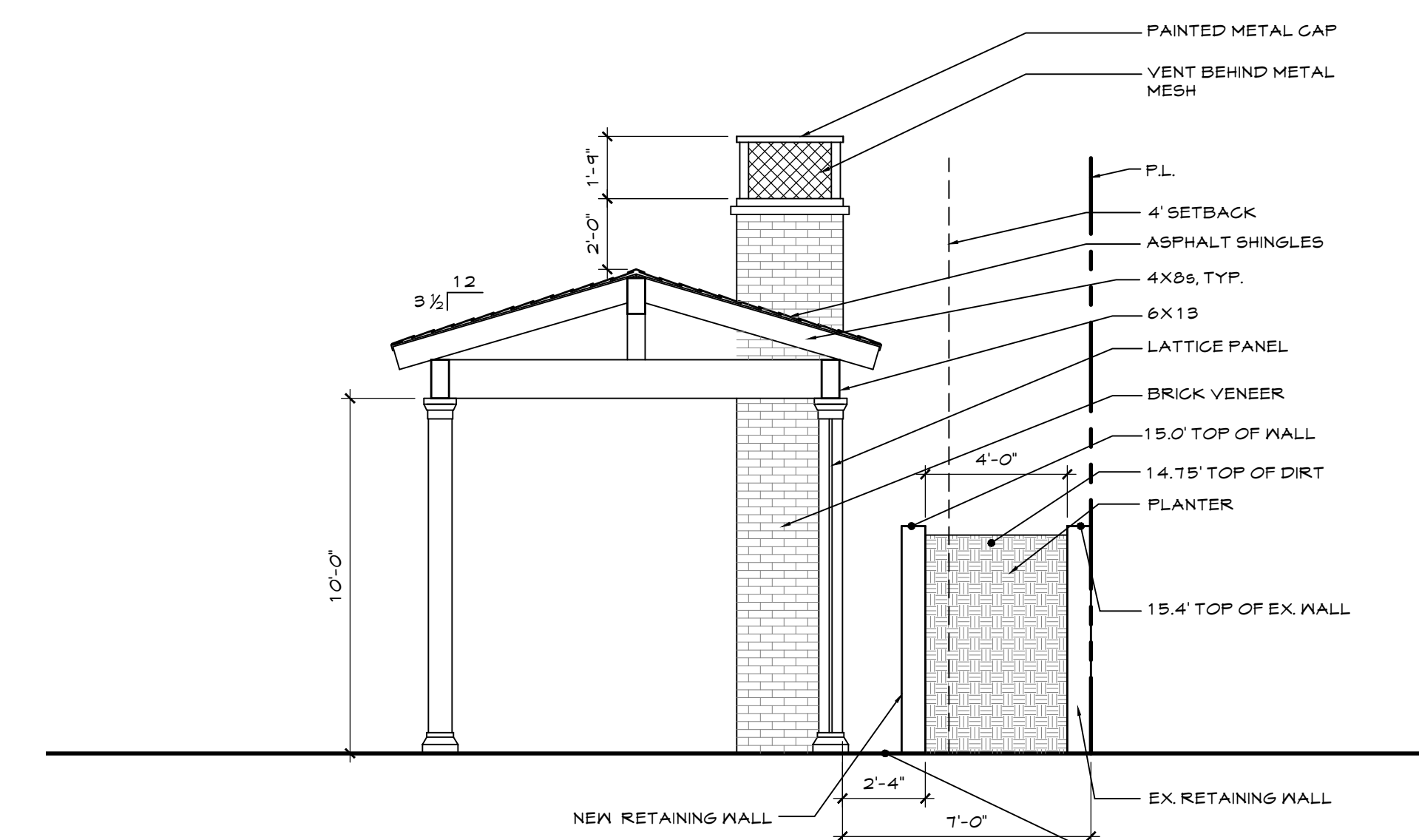
REAR ELEVATION 3  
1/4" = 1'-0"



FRONT ELEVATION 2  
1/4" = 1'-0"

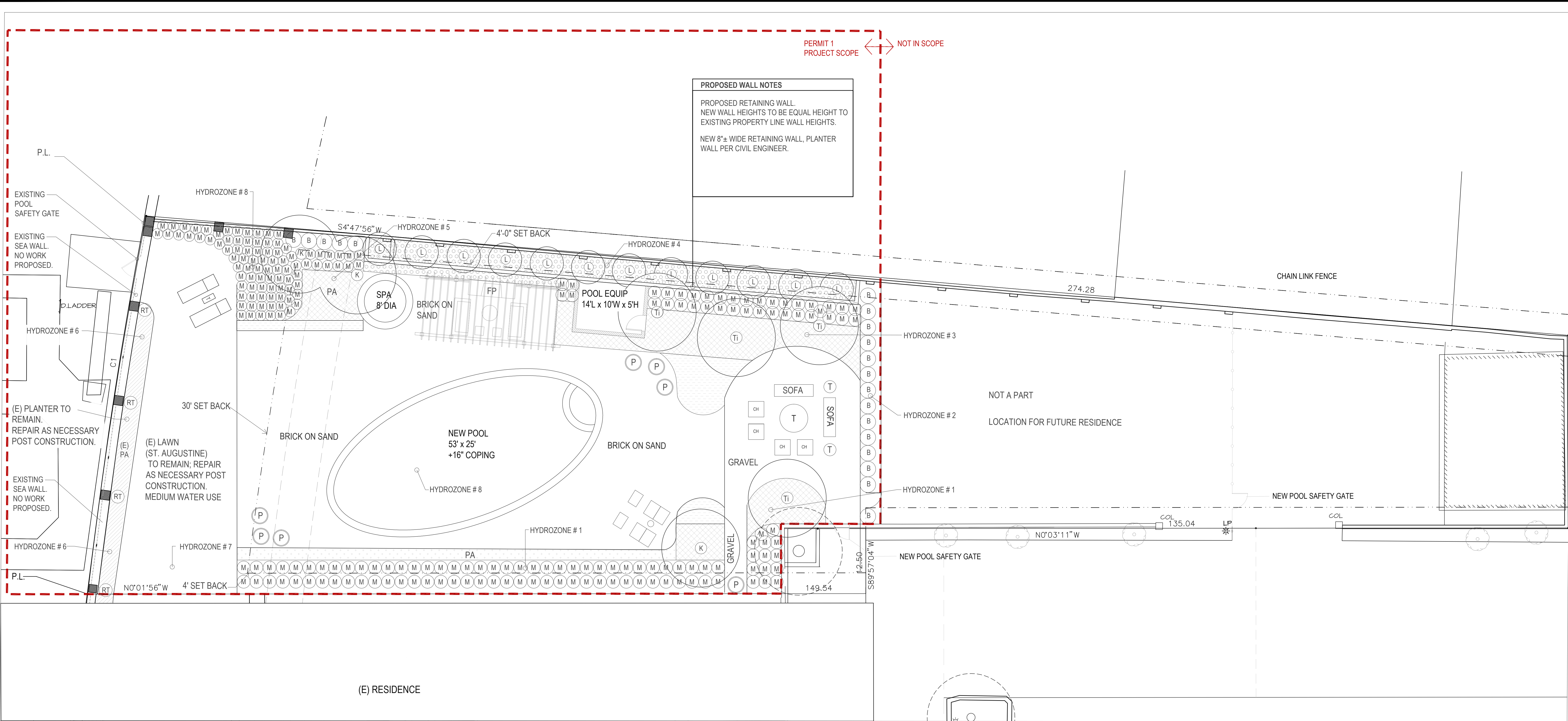


LEFT SIDE ELEVATION 5  
1/4" = 1'-0"

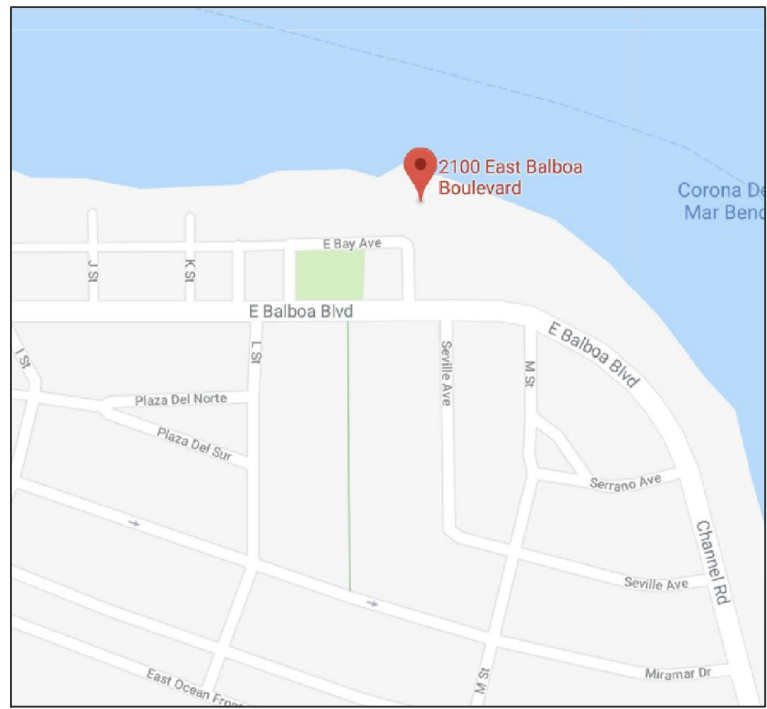


RIGHT SIDE ELEVATION 4  
1/4" = 1'-0"





ICINIT MA



DIRECTOR

**OWNER**  
BAY HOUSE 2100, LLC  
2100 EAST BAY AVE.  
NEWPORT BEACH, CA 92661

**ARCHITECT**  
JOHNSON WEN MULDER AND ASSOC.  
FRANK WEN, ARCHITECT  
1691 WESTCLIFF DRIVE  
NEWPORT BEACH, CA 92660  
TEL: (949) 642-5212

**PROJECT DATA**  
SITE AREA: 15,450 S.F.  
EX. GARAGE: 668 S.F.  
NEW TRELLIS AREA: 364 S.F.  
LANDSCAPE AREA: 5,824 S.F.

ACN: 048-240-38

DESIGN SHALL COMPLY WITH THE 2016 CBC, CMC, CPC AND CEC AS AMENDED BY CITY ORDINANCE AND THE 2016 BUILDING ENERGY EFFICIENCY STANDARDS, 2016 CALIFORNIA GREEN BUILDING STANDARDS

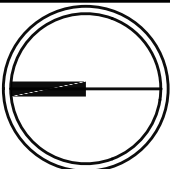
GENERAL NOTES:

- SOIL AMENDMENTS:  
SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATION OF SOILS REPORT. TOPSOIL MIX RECOMMENDED IS EARTHWORK'S "DISNEY MIX" WHICH IS A CUSTOM ANDY LOAM TOPSOIL, PAM AMENDED.  
SOIL TO BE AMENDED TO 12" DEPTH FOR ALL NEW LANDSCAPE AREAS.
- MULCH:  
A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.  
MULCH TO BE SEQUOIA HORTICULTURAL PRODUCTS, MINI PEBBLE BARK.
- I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND DESIGN STANDARDS AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
- ALL GRADING, DRAINAGE, HARDSCAPE AND RETAINING WALLS PER CIVIL ENGINEER.
- FUTURE PLANTING SHALL NOT CONSTITUTE A HEDGE.
- FENCES, HEDGES AND WALLS IN SIDE YARD SHALL NOT EXCEED 6' FROM EXISTING GRADE.

PLANT KEY						
S	B	C	S	Q	WUCOLS	NOTES
AC	AC	AC	4"	19	M	E
B	B	B	36"	19	L	30"
C	C	R	5	19	L	9"
M	M	S	15	226	L	18"
RT	R	R	15	19	M	E
S	B	B	1	19	L	6"
T	T	T	F	19	L	L
T	T	S	1	19	M	12"

TREE KEY						
S	B	C	S	Q	WUCOLS	NOTES
K	K	G	72"	3	L	
L	L	B	48"	12	M	
T	T	T	72"	4	L	

SCALE: 1/8" = 1'-0"

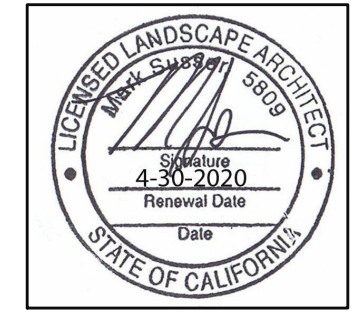


SCHEMATIC LANDSCAPE PLAN

Revisions		
note	date	by
Rev.1-Adjusted Loggia Footprint	04.19.18	ZA
Rev.2-Adjusted Bldg. Footprint Planters	04.23.18	ZA
Rev.3-New Bldg Footprint Opt.	06.26.18	ZA
Rev.4-New Bldg Footprint Opt.	08.09.18	ZA
Rev.5-Chosen Option	10.12.18	ZA
CDP Revision	10.23.18	ZA
CDP Revision	10.29.18	JJ
CDP Revision	11.08.18	ZA
CDP Revision	11.28.18	JJ
Revision	12.05.18	ZA
Pool Equip Encl	12.10.18	JJ

L Desi ro p, I c  
984 M S T  
P d, CA 90272  
T.310.454.0905 F.310.454.4255

RIATE RESIDENCE  
2100 EAST BALBOA BOULEVARD  
NEWPORT BEACH, CA 92661



LANTIN LAN

DATE 12/14/18  
SCALE 1/8"=1'-0"  
DRAWN JJ  
JOB NO.  
SHEET

L1.01

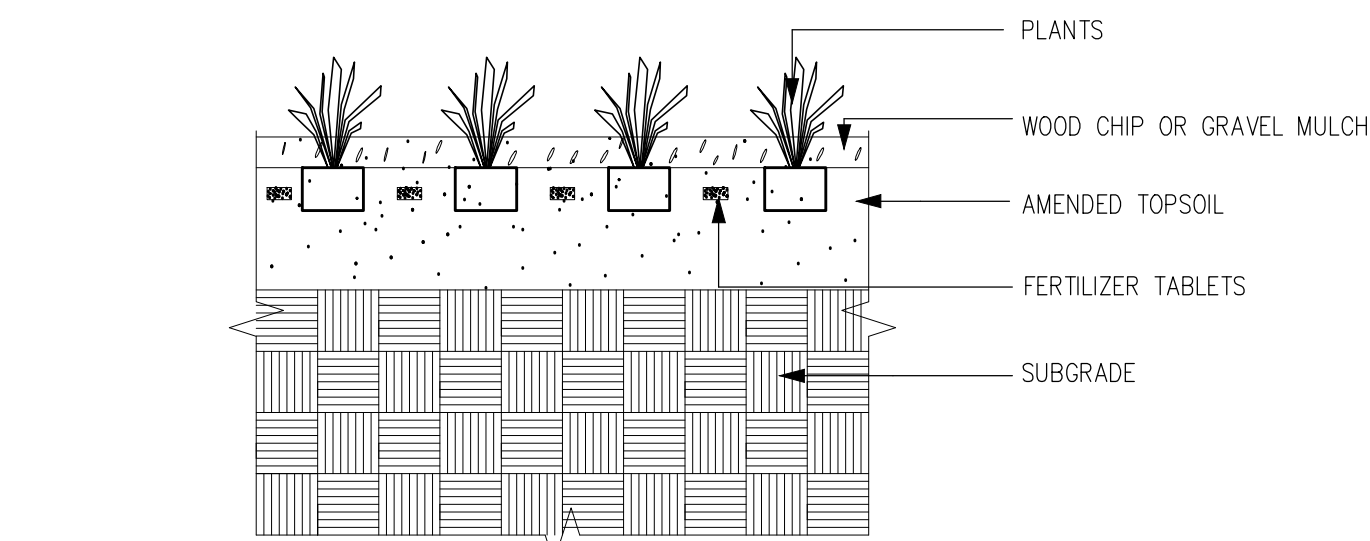
All dimensions and conditions shown are approximate prior to construction. Contractor and/or Owner/Builder to verify all dimensions and conditions and adjust as needed per code. All work shall be per local codes.



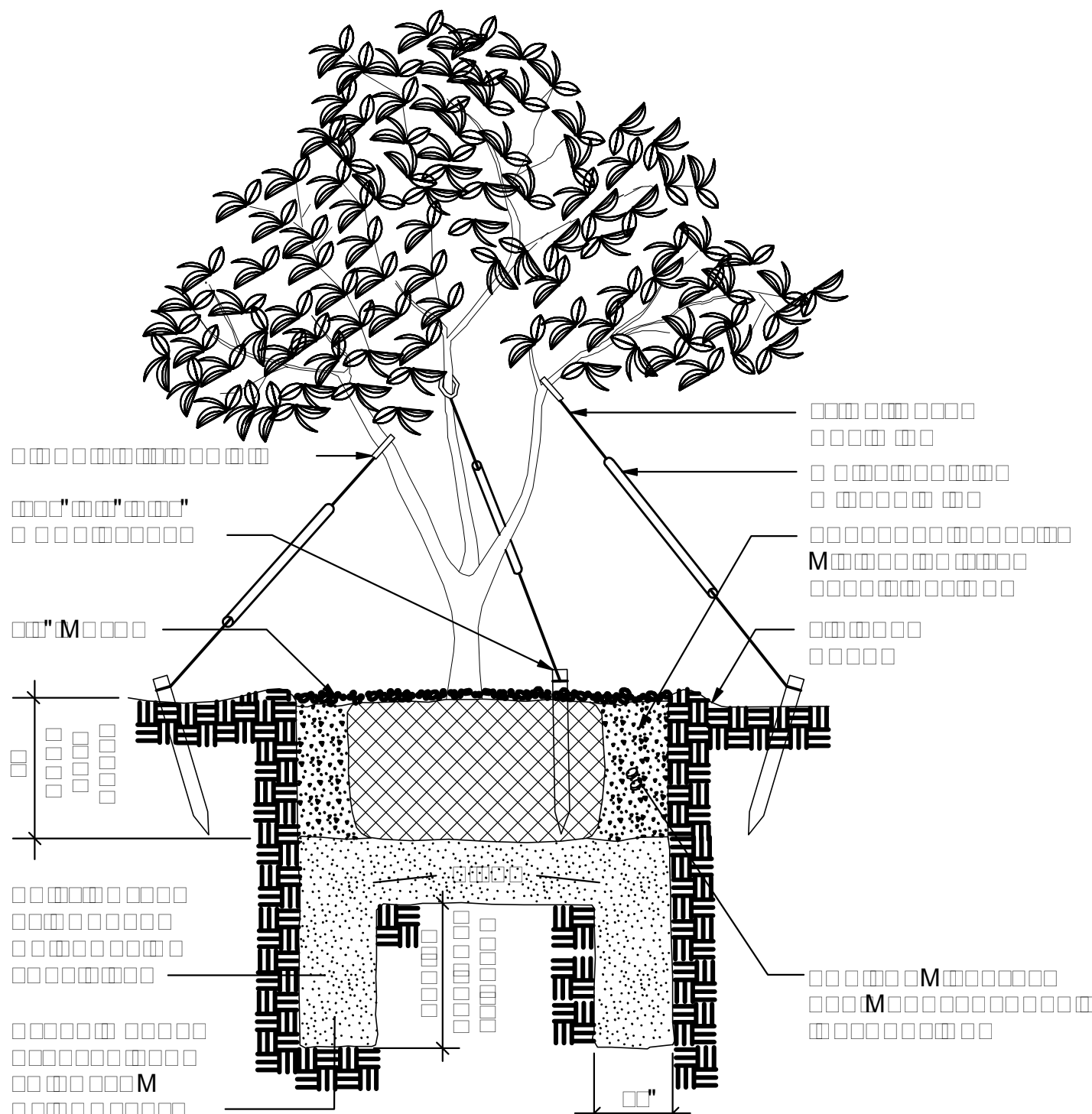
GENERAL PLANTING NOTES:

1. ALL LIMIT OF OPERATIONS SHALL BE CONFINED WITHIN THE PROPERTY LINE OF THE JOB SITE.
2. CONTRACTOR SHALL REMOVE ALL RUBBLE, STONE AND REMAINING CONSTRUCTION DEBRIS FROM ALL PLANTING AREAS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL REMOVE ALL WEEDS FROM PLANTING AREAS DESIGNATED FOR REPLANTING.
4. CONTRACTOR SHALL SLOPE GRADES WHERE POSSIBLE TOWARD NEW DRAINS OR ADJUST HEIGHT OF DRAIN IF NECESSARY. FINISH GRADES SHALL ALLOW FOR PROPER DRAINAGE AND SHALL BE 2" BELOW THE ADJACENT PAVING. CONTRACTOR SHALL RAKE SURFACE SMOOTH PRIOR TO PLACING PLANTS.
5. ALL EXISTING AND PROPOSED PLANT MATERIAL SHALL BE MAINTAINED AND PROTECTED BY LANDSCAPE CONTRACTOR OR OTHERS DURING ENTIRE CONSTRUCTION PHASE.
6. PLANTS ARE SHOWN DIAGRAMMATICALLY ON PLAN. PLANTING TO BE LAID OUT BY LANDSCAPE DESIGNER IN FIELD.
7. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL PRIOR TO INSTALLATION. ALL PLANTS SHOULD BE HEALTHY, OF NORMAL GROWTH & FORM, WELL ROOTED AND FREE FROM ALL DISEASES. ALL PLANTS SHALL BE FREE FROM PESTS.
8. ALL TREES SHALL HAVE A MINIMUM LIFE GUARANTEE OF ONE YEAR AFTER INSTALLATION. ALL SHRUBS SHALL HAVE A MINIMUM LIFE GUARANTEE OF ONE YEAR.
9. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND DRAWINGS FOR VERIFYING LOCATIONS OF UNDERGROUND UTILITIES, PIPES AND STRUCTURES. TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
10. LANDSCAPE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. CONTRACTOR SHALL BRING SUCH CONDITIONS IMMEDIATELY TO ATTENTION OF OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO LACK OF PROVIDING SUCH NOTIFICATION.
11. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING OTHER CONTRACTORS WORK RELATED TO PROPER EXECUTION OF LANDSCAPE CONTRACTOR'S WORK.
12. LANDSCAPE CONTRACTOR WILL NEED TO VERIFY FINAL PROPOSED GRADE FROM OWNER'S LANDSCAPE DESIGNER PRIOR TO BEGINNING PLANTING OPERATIONS CERTIFYING THAT ROUGH GRADES ARE WITHIN 1 / 10TH OF AN INCH FROM SPECIFIED FINISH GRADES. ENSURE THAT FINISH GRADE ELEVATIONS OF PLANTING AREAS ARE SET AT PROPER ELEVATIONS RELATIVE TO PAVING FINISH SURFACE ELEVATIONS, UTILITY COVERS, AND CURBS.
13. WE RECOMMEND TESTING FOR TOXIC ELEMENTS THAT ARE HAZARDOUS TO PLANT MATERIAL.
15. AMENDMENTS SHALL BE FROM A RELIABLE SOURCE THAT HAS CERTIFIED ORGANIC INGREDIENTS OR EQUAL. SOURCE OF AMENDMENTS TO BE APPROVED BY LANDSCAPE ARCHITECT=
16. BACK FILL AMENDMENTS SHOULD BE PER SOILS REPORT. ONCE AMENDMENT HAS BEEN APPLIED TO PLANTING AREAS, THOROUGHLY MIX THE SOIL TO A MINIMUM DEPTH OF 12" FOR LAWN AREAS AND 18" FOR SHRUB AREAS. DO NOT TILL UNDER ANY EXISTING TREE OR SHRUB DRIP LINES.
17. DO NOT APPLY FERTILIZERS AT TIME OF PLANTING TREES, SHRUBS, VINES OR GROUND COVERS. GROPOWER/CYPRISIM BACKFILL AMENDMENT MIX IS PERMITTED. APPLY NITROGEN CORRECTLY PER TIME OF YEAR.
18. LANDSCAPE ARCHITECT TO APPROVE FERTILIZERS AND FERTILIZER SCHEDULE.
19. IF LANDSCAPE CONTRACTOR IS TO SUPPLY ANY PLANT MATERIAL FOR PROJECT, THAT SAID PLANT MATERIAL SHALL MATCH REQUIRED SPECIFICATIONS, GENIUS SPECIES, FORM AND CHARACTER.

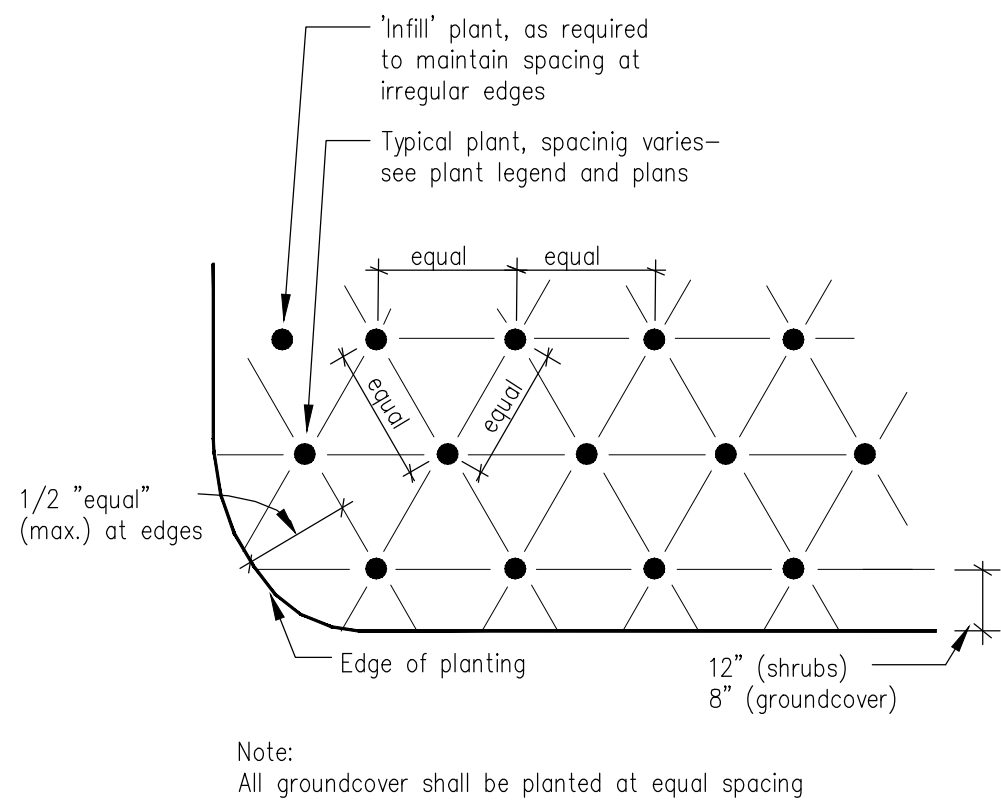
20. PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. PLANT MATERIAL, I.E. TREES, SHRUBS, VINES AND GROUND COVER, MUST BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIAL INSTALLED WITHOUT OWNER'S AUTHORIZED REPRESENTATIVE'S APPROVAL MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH RELATED COSTS INCURRED BY CONTRACTOR.
21. FINAL LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO APPROVAL OF OWNER'S AUTHORIZED REPRESENTATIVE OR LANDSCAPE DESIGNER PRIOR TO INSTALLATION. PERFORM THE FOLLOWING PROCEDURES BEFORE BEGINNING PLANTING PIT EXCAVATION:
  - 21.1. SHRUBS - PLACE ACTUAL PLANT CONTAINERS ON-SITE IN PRELIMINARY LOCATIONS.
  - 21.2. TREES - CHALK OR STAKE LOCATIONS BEFORE DIGGING HOLES.
  - 21.3. CONTAINER POTS - PLANT OUT ONE PROTOTYPICAL CONTAINER POT.
22. TREE ROOTBALL PITS FOR TREES THAT ARE IN A 48" BOX OR SMALLER SHOULD BE OVER EXCAVATED 1 FOOT HORIZONTALLY IN ALL DIRECTIONS.
23. TREE ROOTBALL PITS FOR TREES THAT ARE LARGER THAN A 48" BOX SHOULD BE OVER EXCAVATED 2 FEET HORIZONTALLY IN ALL DIRECTIONS.
24. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IN SUFFICIENT TIME TO PERFORM A SPECIFIED SITE OBSERVATION TASK. INSUFFICIENT NOTIFICATION GIVEN TO THE OWNER'S AUTHORIZED REPRESENTATIVE OR LANDSCAPE DESIGNER MAY REQUIRE SITE VISIT TO BE CANCELED, OR POSSIBLY, MAKE CONTRACTOR RESPONSIBLE TO COMPENSATE OWNER'S AUTHORIZED REPRESENTATIVE / LANDSCAPE DESIGNER FOR OVERTIME.
25. LANDSCAPE CONTRACTOR SHALL REQUEST THE LANDSCAPE DESIGNER FOR SITE VISITS AT LEAST 48 HOURS IN ADVANCE OF THE TIME APPROVAL AS REQUIRED.
26. THE CONTRACTOR SHALL CULTIVATE AND RAKE OVER FINISHED PLANTING AREAS AND SHALL LEAVE THE SITE IN AN ORDERLY CONDITION.
27. ON STEEP SLOPE PLANTING, A SHALLOW BASIN THE WIDTH OF THE ROOT BALL SHALL BE LEFT AROUND EACH PLANT.
28. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH PLANT MATERIAL FREE OF PESTS, POOR CONDITION, OR DISEASE, INCLUDING PRE-SELECTED OR PRE-TAGGED PLANT MATERIAL PROVIDED BY OWNER'S AUTHORIZED REPRESENTATIVE.
29. ALL PLANTS SHALL STAND AFTER SETTLEMENT AT THE SAME LEVEL AT WHICH THEY HAVE GROWN IN THE NURSERY. CARE SHALL BE EXERCISED IN SETTING PLANTS PLUMB.
30. ALL VINES ARE TO BE REMOVED FROM STAKES WHEN NOTED. NON-CLINGING VINES AND ESPALIER SHALL BE TIED TO WALLS. PROVIDE HARDWARE SAMPLES FOR APPROVAL TO LANDSCAPE DESIGNER.
31. GROUND COVER SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE DESIGNER.
32. CERTIFIED ARBORIST TO APPROVE HEALTH OF ALL TAGGED TREES PRIOR TO SHIPMENT TO JOB SITE.
33. SEE TREE PLANTING DETAIL FOR TREE DRAINAGE, INFORMATION ON PLANTING AND PLANT ROOTBALL PITS.
34. TREES SHALL HAVE 3 CABLES PER INDUSTRY STANDARDS WITH 3/4" 1" PVC PROTECTION PIPE, PAINTED BROWN.
35. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT DURING PROGRESS OF THE WORK UNTIL FINAL ACCEPTANCE OF THE WORK. OWNER TO MAKE ARRANGEMENTS FOR FUTURE MAINTENANCE.
36. LANDSCAPE CONTRACTOR TO COORDINATE DELIVERY OF TREES AND SHRUBS INCLUDING TREE CRANE, NECESSARY PERMITS AND TRAFFIC CONTROL MEASURES.
37. LANDSCAPE CONTRACTOR SHALL PROVIDE CLIENT WITH "AS BUILT" IRRIGATION ZONE PLAN CONTAINING ALL IRRIGATION ZONES, VALVE BOXES, MAIN LINES, HOSE BIBS, CONTROLLER AND MASTER ASSEMBLY.
38. ALL PLANTING PROCEDURES SHALL BE PER CITY AND STATE CODE.
39. LANDSCAPE CONTRACTOR TO CONFIRM ALL SQUARE FOOT CALCULATIONS ON SITE.



N.T.S.

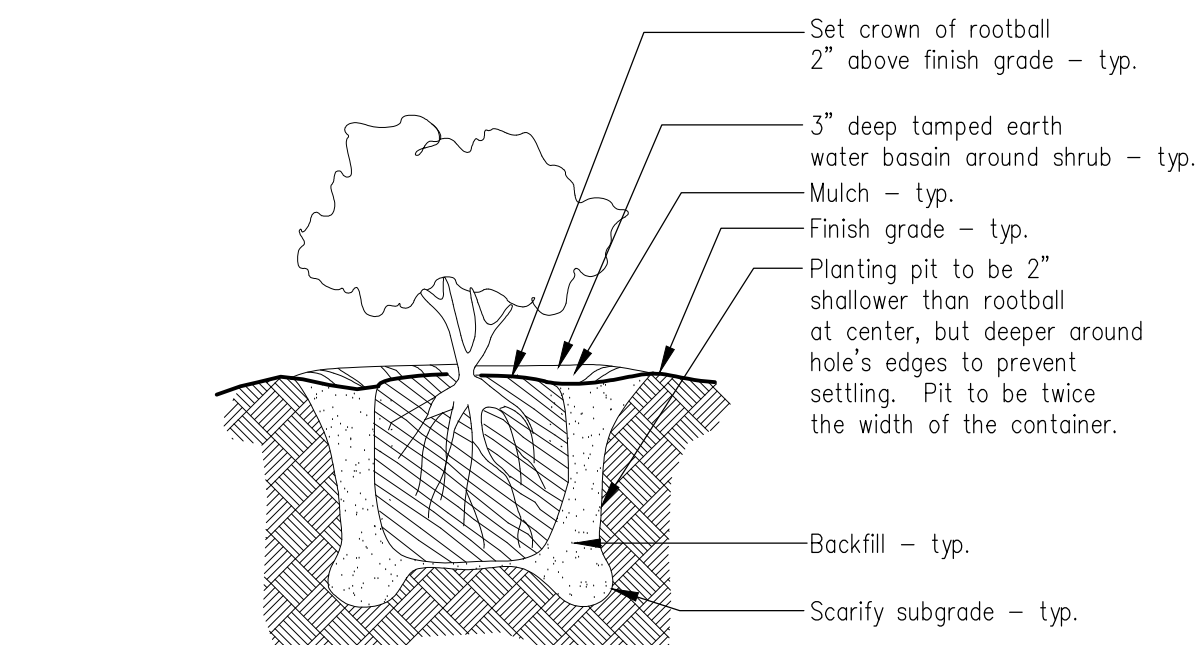


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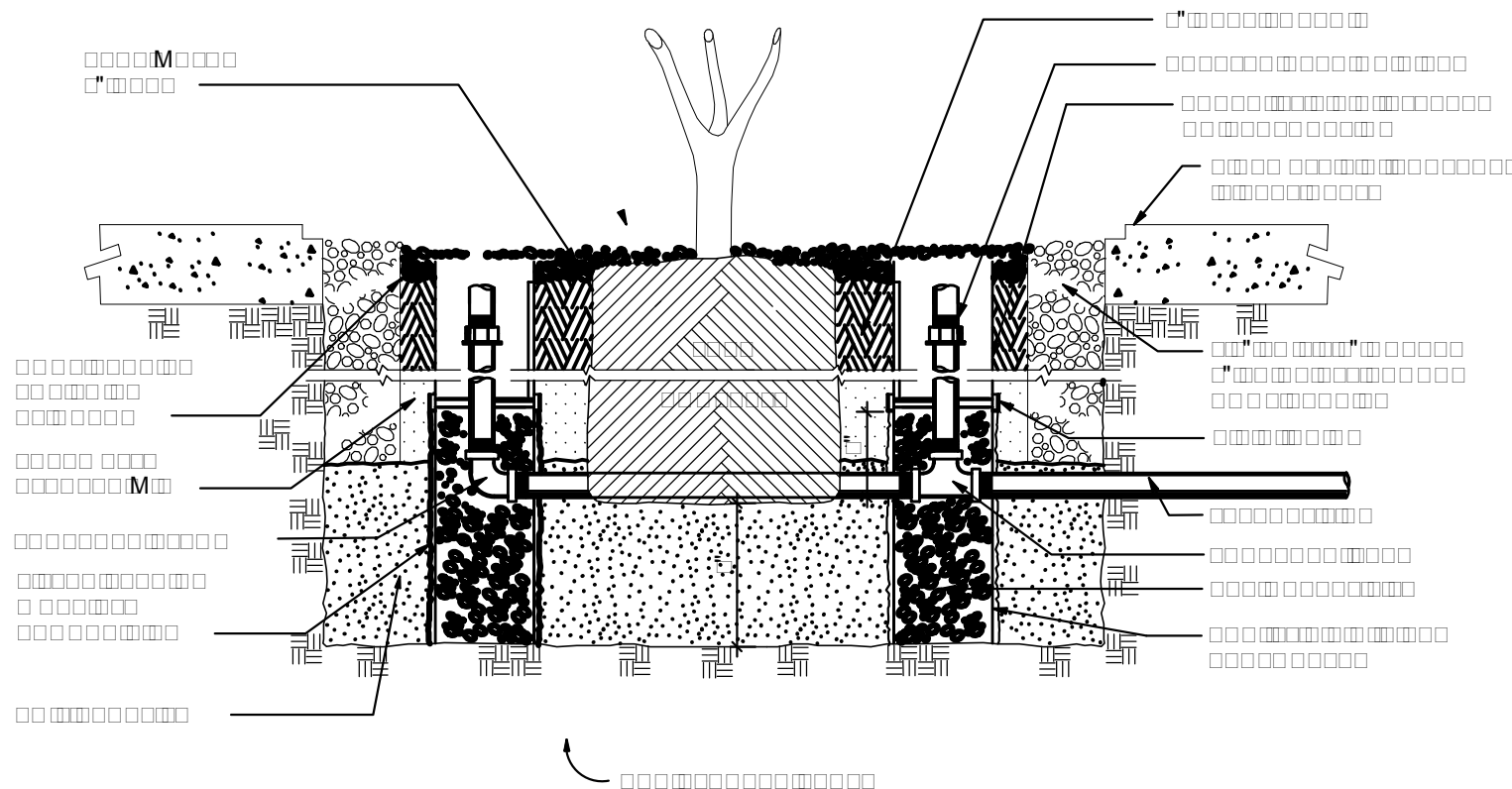


Note:  
All groundcover shall be planted at equal spacing

N.T.S.



N.T.S.



N.T.S.

LANDSCAPE CERTIFICATION FORM:

Appendix B

**CERTIFICATION OF LANDSCAPE DESIGN**

I hereby certify that:

(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.

(2) The landscape design and water use calculations for the property located at 2100 E. BALBOA BLVD (provide street address or parcel number(s)) were prepared by me or under my supervision.

(3) The landscape design and water use calculations for the identified property comply with the requirements of the City of NEWPORT BEACH Water Efficient Landscape Ordinance (Municipal Code Sections CH. 19.17) and the City of NEWPORT BEACH Guidelines for Implementation of the City of NEWPORT BEACH Water Efficient Landscape Ordinance.

(4) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of NEWPORT BEACH Guidelines for Implementation of the City of NEWPORT BEACH Water Efficient Landscape Ordinance.

Signature: MARK SUSSEY Date: 12/13/2018

Signature: [Signature] License Number: CA LIC# 5809

Address: 1157 26th St #241 SANTA MONICA CA 90403

Telephone: 310 592 4707 E-mail Address: MARK@ATOMICirrigation.com

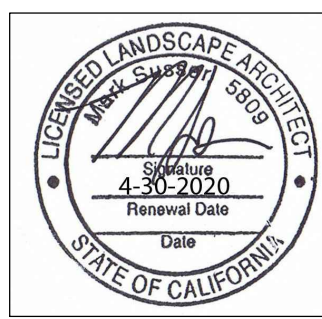
Landscape Design Professional's Stamp (If applicable):

28

Revisions		
note	date	by

Landscape Architect  
984 M...  
P...  
T. 310.454.0905 F. 310.454.4255

RIATE RESIDENCE  
2100 EAST BALBOA BOULEVARD  
NEWPORT BEACH, CA 92661



LANTIN DETAILS, NOTES  
& CERTIFICATION O  
LANDSCAPE DESIGN

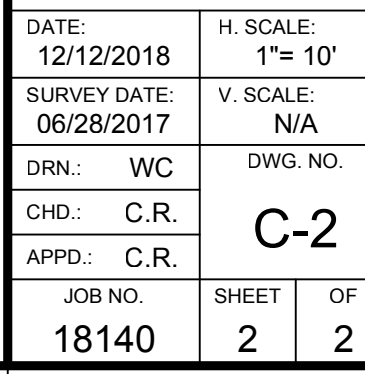
DATE	12/14/18
SCALE	PER DETAIL
DRAWN	MS
JOB	NO.
SHEET	

L2.01

SCALE: PER DETAIL

PLANTING DETAILS, NOTES & CERTIFICATION OF LANDSCAPE DESIGN

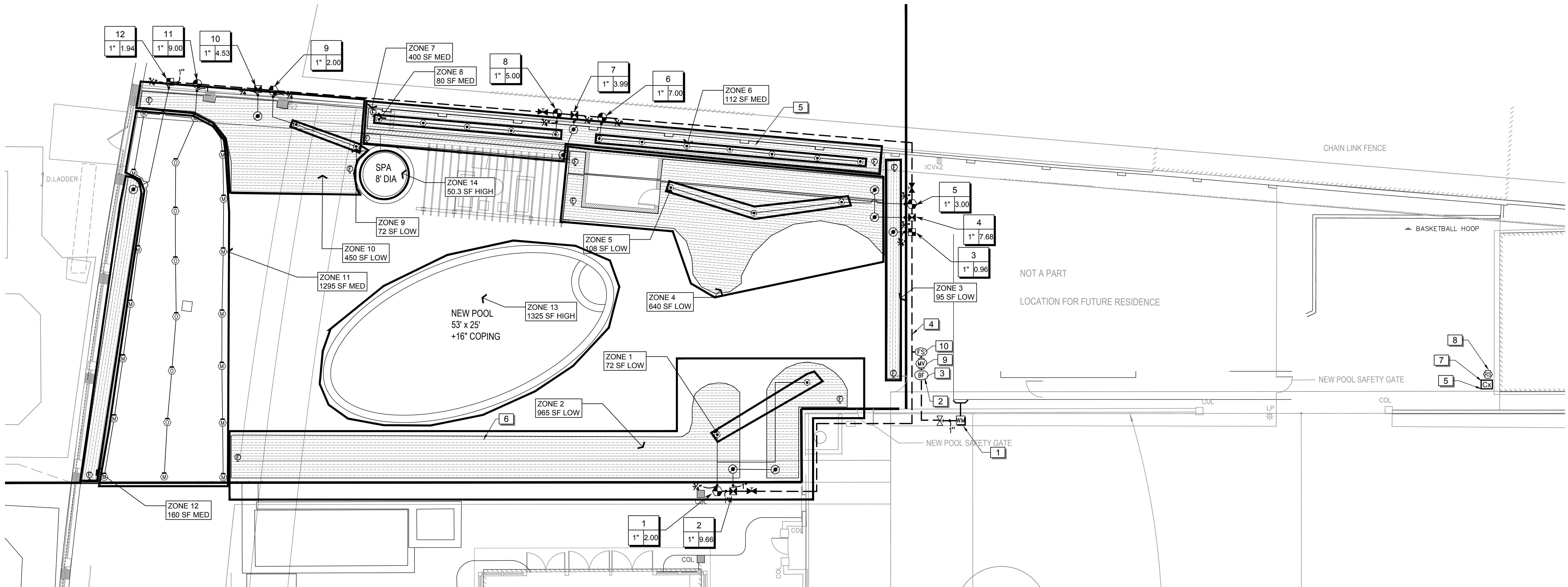


19





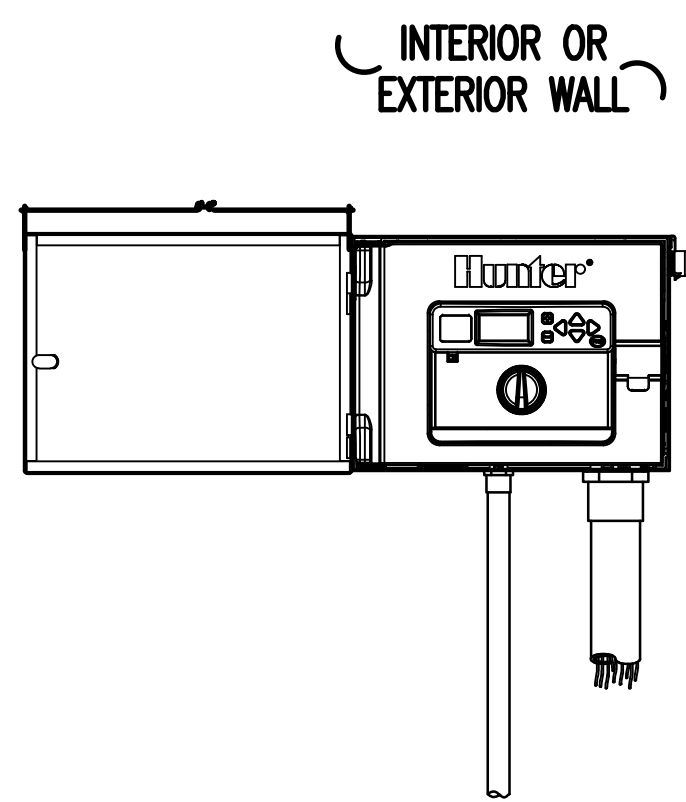




THIS HYDROZONE PLAN MEETS LA GREEN BUILD, MWEO PERFORMANCE APPROACH.  
ITEM 11A: DELINEATE AND LABEL EACH HYDROZONE BY NUMBER, LETTER OR OTHER METHOD  
ITEM 11B: IDENTIFY EACH HYDROZONE AS LOW, MODERATE, HIGH WATER, OR MIXED USE.

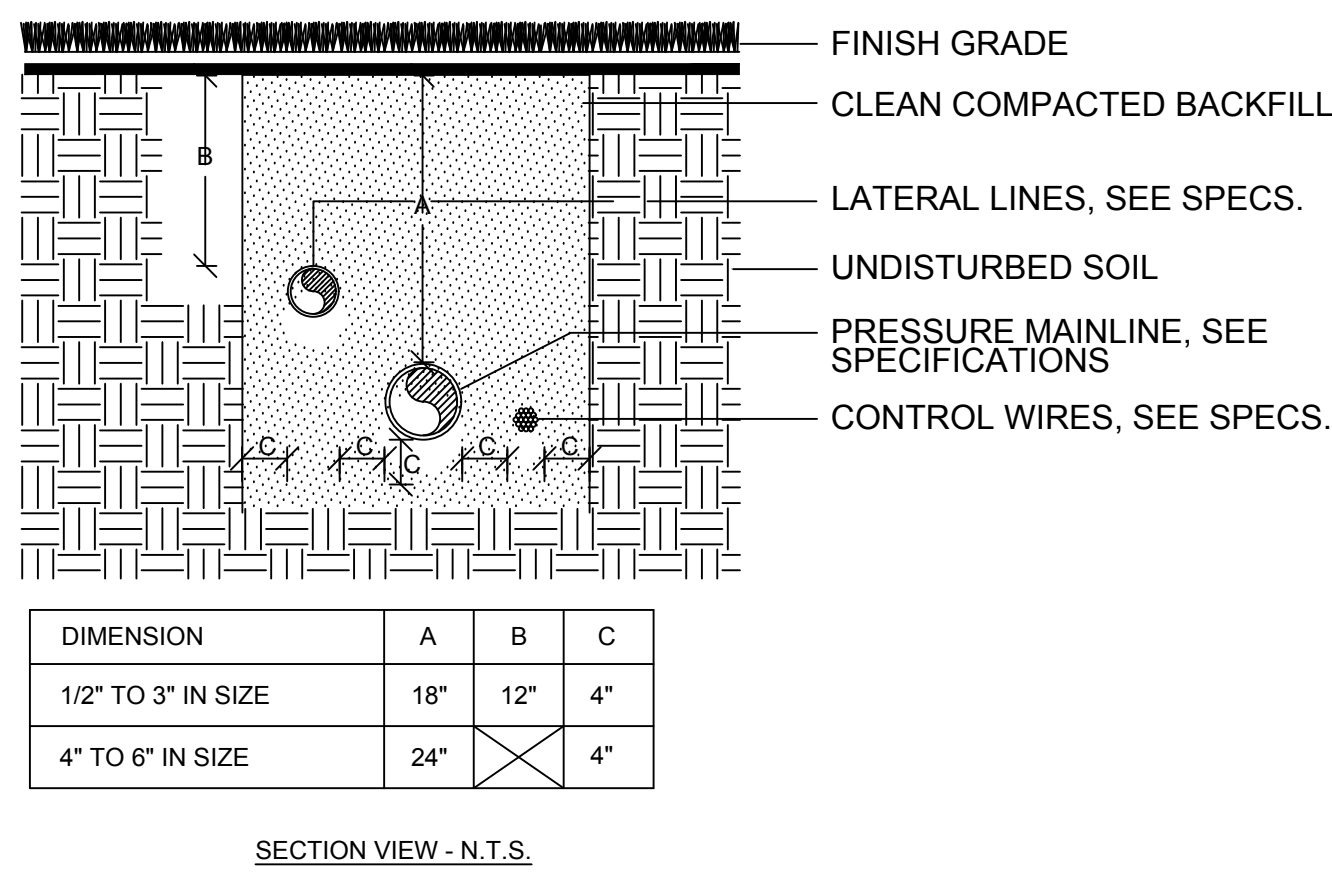
WATER EFFICIENT LANDSCAPE WORKSHEET									
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.									
Project Name:		BALBOA							
Project Address:		2100 EAST BALBOA BLVD, NEWPORT BEACH, CA 92661							
Reference Evaporation (ETo)		44.4		In/Yr		Residential Project?		Yes	
ETWU = (ETo) / (.62) * (ETAF X AREA)									
Hydrozone	Hydrozone #	Valve #	Plant Fctr	Irrigation	Irrigation	ETAF	Land.	ETAF	Estimated Total
Plant/Desc			PF	Method	Efficiency (IE)	(PF/IE)	Area	X Area	Water Use (ETWU)
Regular Landscape Areas									
LOW TREES	1	1	0.2	B	0.81	0.25	72	17.8	489
LOW SHRUBS	2	2	0.2	D	0.81	0.25	965	238.3	6,559
LOW SHRUBS	3	3	0.2	D	0.81	0.25	95	23.5	646
LOW SHRUBS	4	4	0.2	D	0.81	0.25	640	158.0	4,350
LOW TREES	5	5	0.2	B	0.81	0.25	108	26.7	734
MED SHRUBS	6	6	0.4	D	0.81	0.49	112	55.3	1,523
MED SHRUBS	7	7	0.4	D	0.81	0.49	400	197.5	5,438
MED TREES	8	8	0.4	B	0.81	0.49	80	39.5	1,088
LOW TREES	9	9	0.2	B	0.81	0.25	72	17.8	489
LOW SHRUBS	10	10	0.2	D	0.81	0.25	450	111.1	3,059
MED GC*	11	11	0.4	S	0.75	0.53	1,295	690.7	19,013
MED SHRUBS	12	12	0.4	D	0.81	0.49	160	79.0	2,175
POOL	13	13	1	O	1	1.00	1,325	1325.0	36,475
SPA	14	14	1	O	1	1.00	50	50.3	1,385
							Totals	5,824	774
									83,421
* = Deficit Irrigation									
Special Landscape Area:					1		0	0	0
					Totals		0	0	0
					Estimated Total Water Use (ETWU) Total				
					Maximum Applied Water Allowance (MAWA)				
					88,182				
Hydrozone # Planting Desc.					MAWA = (ETo) / (.62) / (.55 x LA) + (.45 x SLA)				
Low Water					Irrigation Method Overhead Spray or Drip				
Med Water									
High Water									
MAWA (Annual Gallons Allowed) = ETo x .62 x [(ETAF x LA) + [(1 - ETAF) x SLA)]					Irrigation Efficiency 0.75 for Spray 0.81 for Drip				
Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential projects and 0.45 for non-residential projects.									
ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area									
Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year.									
Evapotranspiration Adjustment Factor (ETAF) Calculation									
This residential project complies with the WELO and its average ETAF is less than					0.55				
Regular Landscape Areas					All Landscape Areas				
Total ETAF x Area 774					Total ETAF x Area 774				
Total Area 5,824					Total Area 5,824				
Average ETAF 0.13					Average ETAF 0.13				





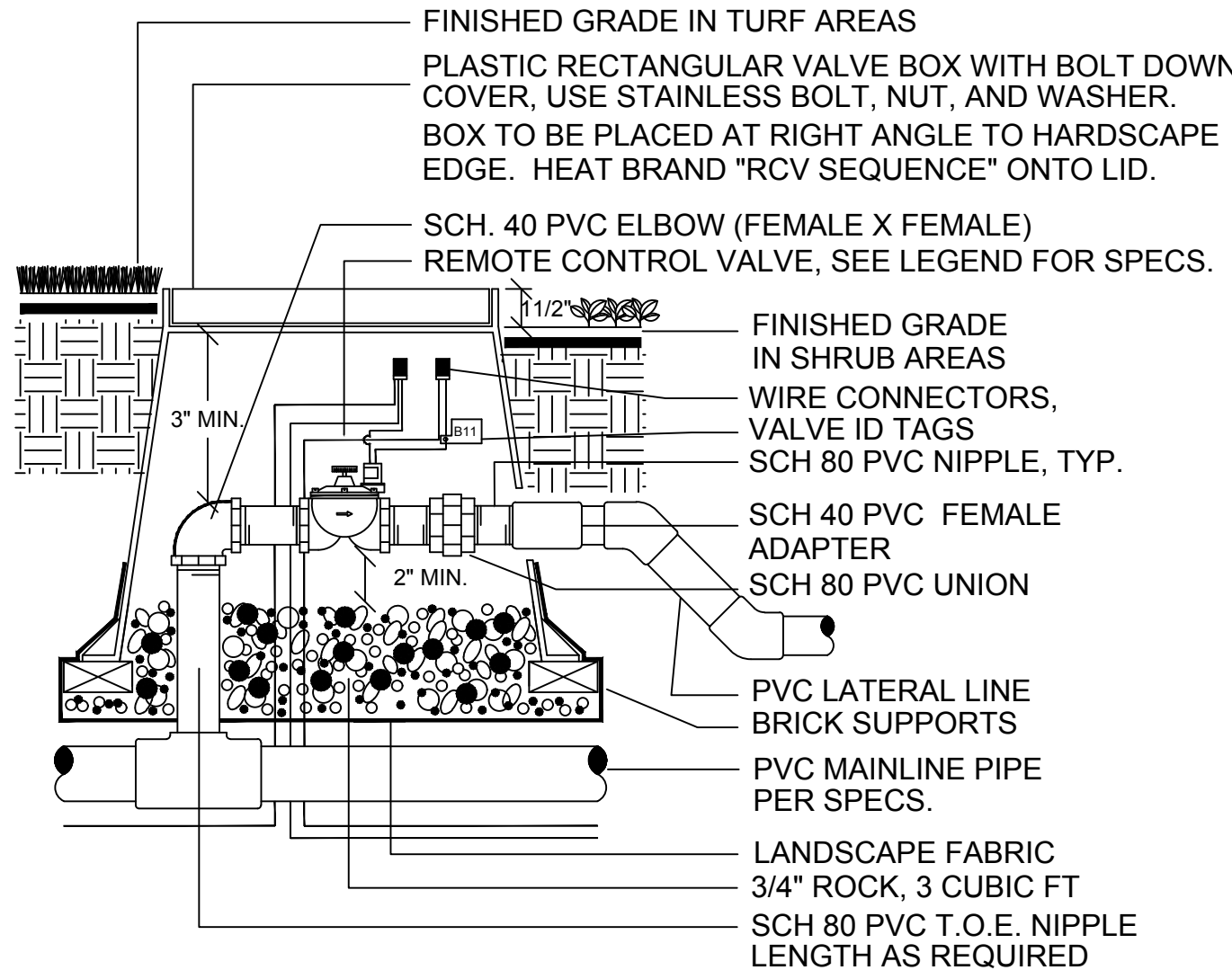
\*NOTE\*  
SPECIFY 6, 12, 18, 24, 30, 36, 42 STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 or 220 VAC SOURCE.

1 AUTOMATIC CONTROLLER ASSEMBLY  
NO SCALE



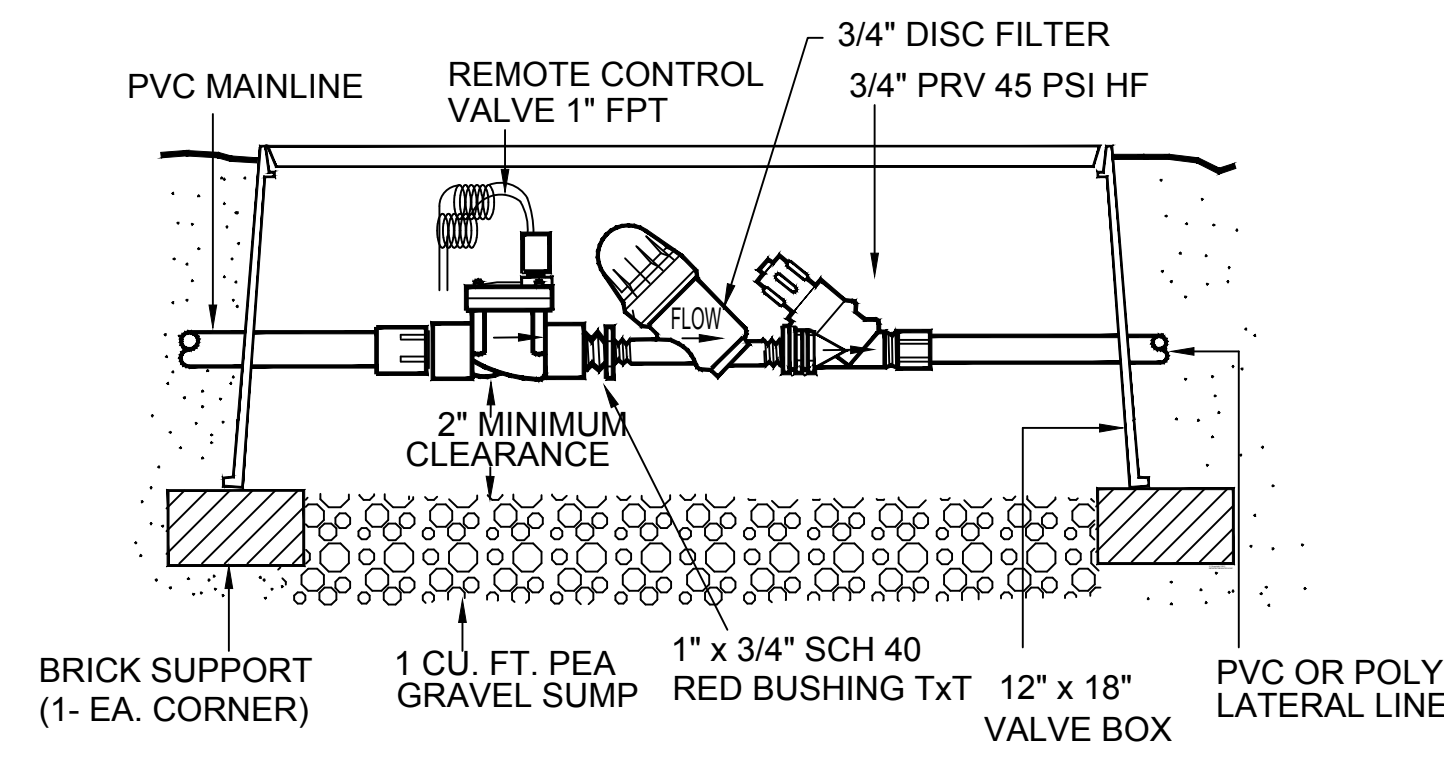
NOTE:  
ALL PLASTIC PIPING SHALL BE SNAKED WITHIN TRENCH.  
BUNDLE WIRING AND WRAP WITH TAPE AT TEN FOOT INTERVALS.  
ALL MAINLINE PIPING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION SPECIFICATIONS.

2 TYPICAL TRENCHING UNDER LANDSCAPE AREA  
NO SCALE



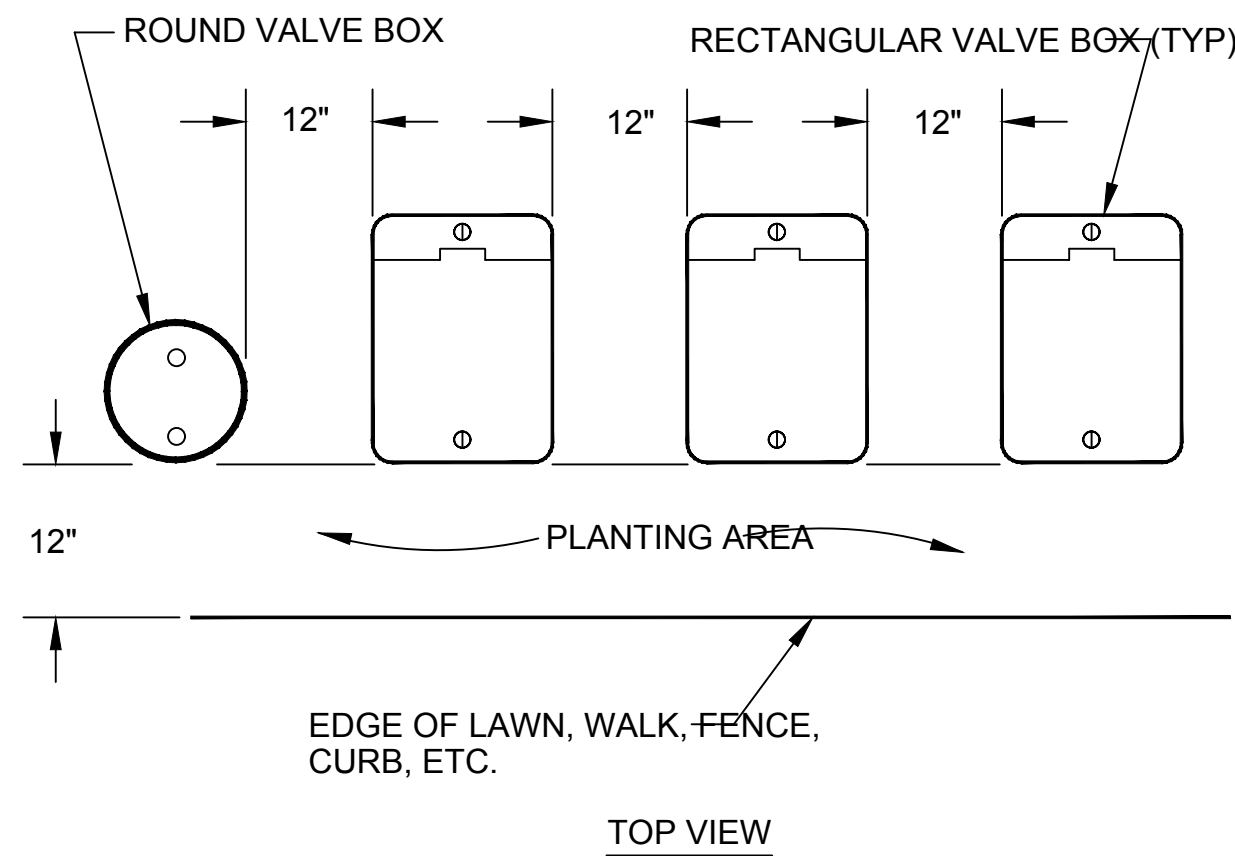
NOTE:  
INSTALL CONTROL VALVES A MINIMUM OF ONE FOOT APART IN SHRUB AREAS UNLESS OTHERWISE NOTED.

3 TYPICAL REMOTE CONTROL VALVE ASSEMBLY  
NO SCALE

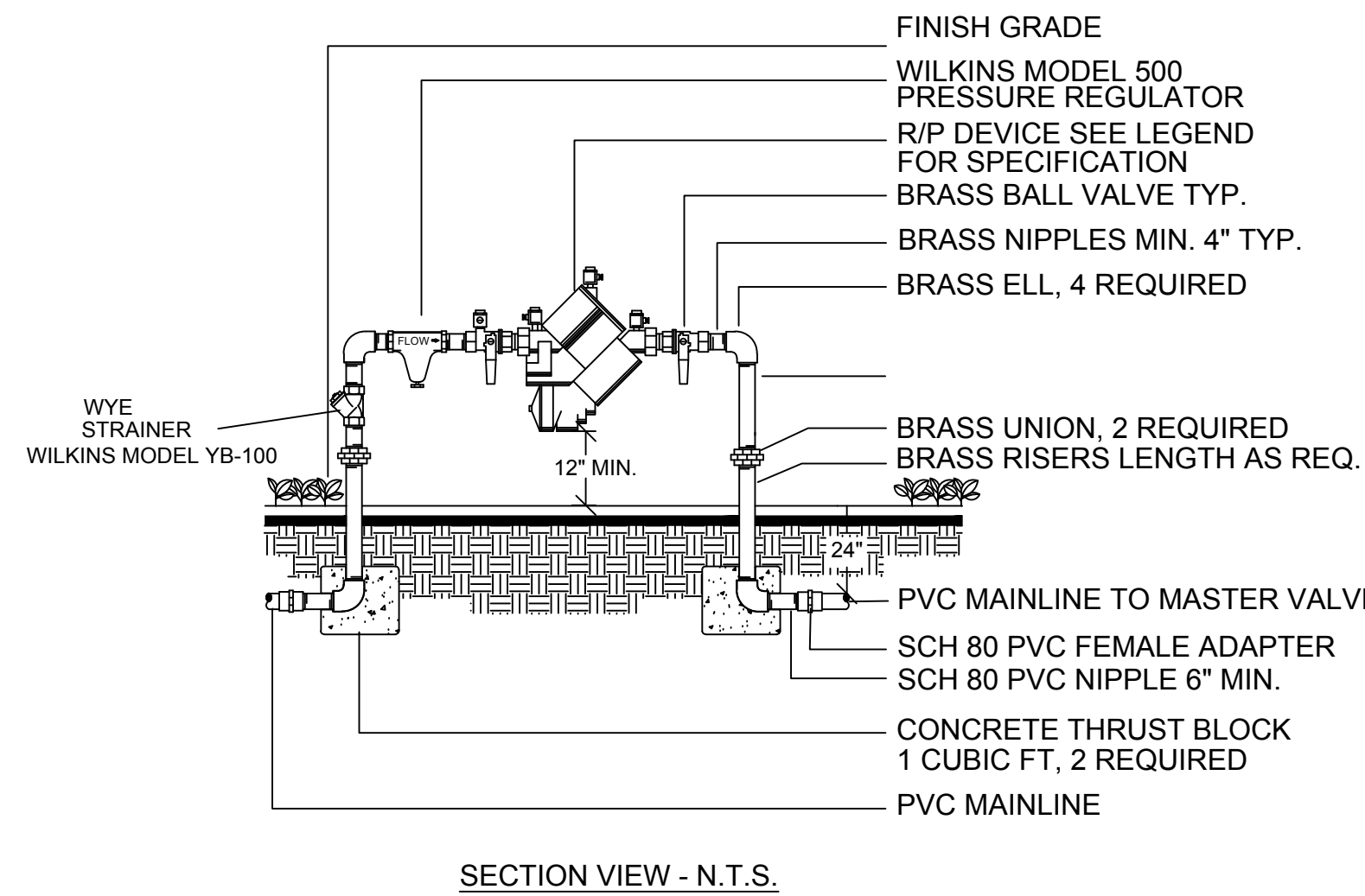


4 LOW VOLUME CONTROL ZONE ASSEMBLY  
NO SCALE

- NOTES: 1. CENTER BOXES OVER VALVES.  
2. SET BOXES IN GROUND COVER/SHRUB AREA WHERE POSSIBLE.  
3. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.  
4. AVOID HEAVILY COMPACTING SOIL AROUND BOXES TO PREVENT DAMAGING VALVE BOXES.

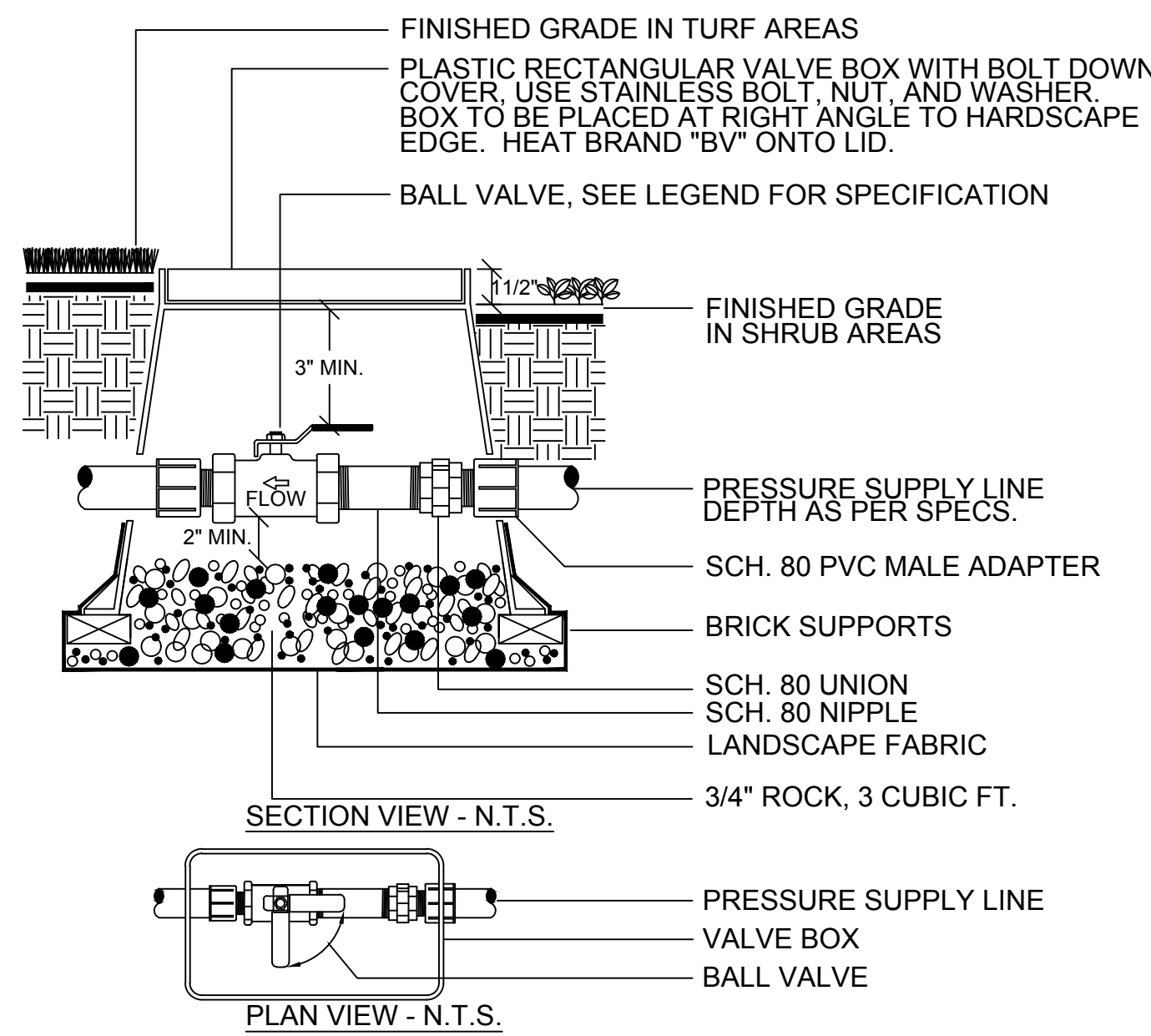


5 TYPICAL VALVE BOX LAYOUT  
NO SCALE



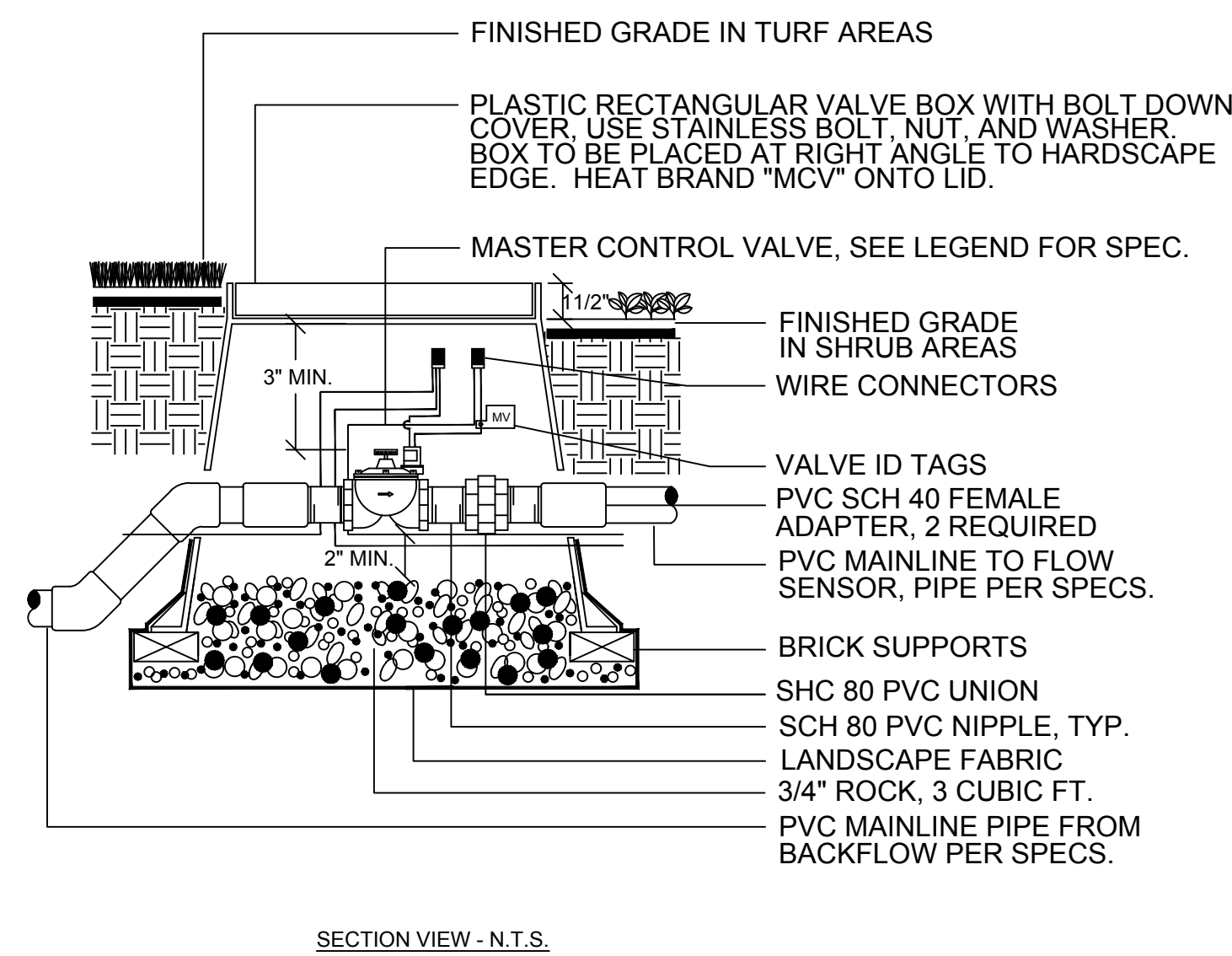
NOTE:  
- IF WYE STRAINER OR PRESSURE REGULATOR IS SPECIFIED, INSTALL ON EITHER THE HORIZONTAL PIPING OR ON THE DOWNSTREAM LEG AS SPACE PERMITS.  
- ALL MATERIAL INSTALLED ABOVE GROUND SHALL BE PAINTED FRAZEE "BLACKSMITH" COLOR

6 TYPICAL BACKFLOW PREVENTION ASSEMBLY  
NO SCALE



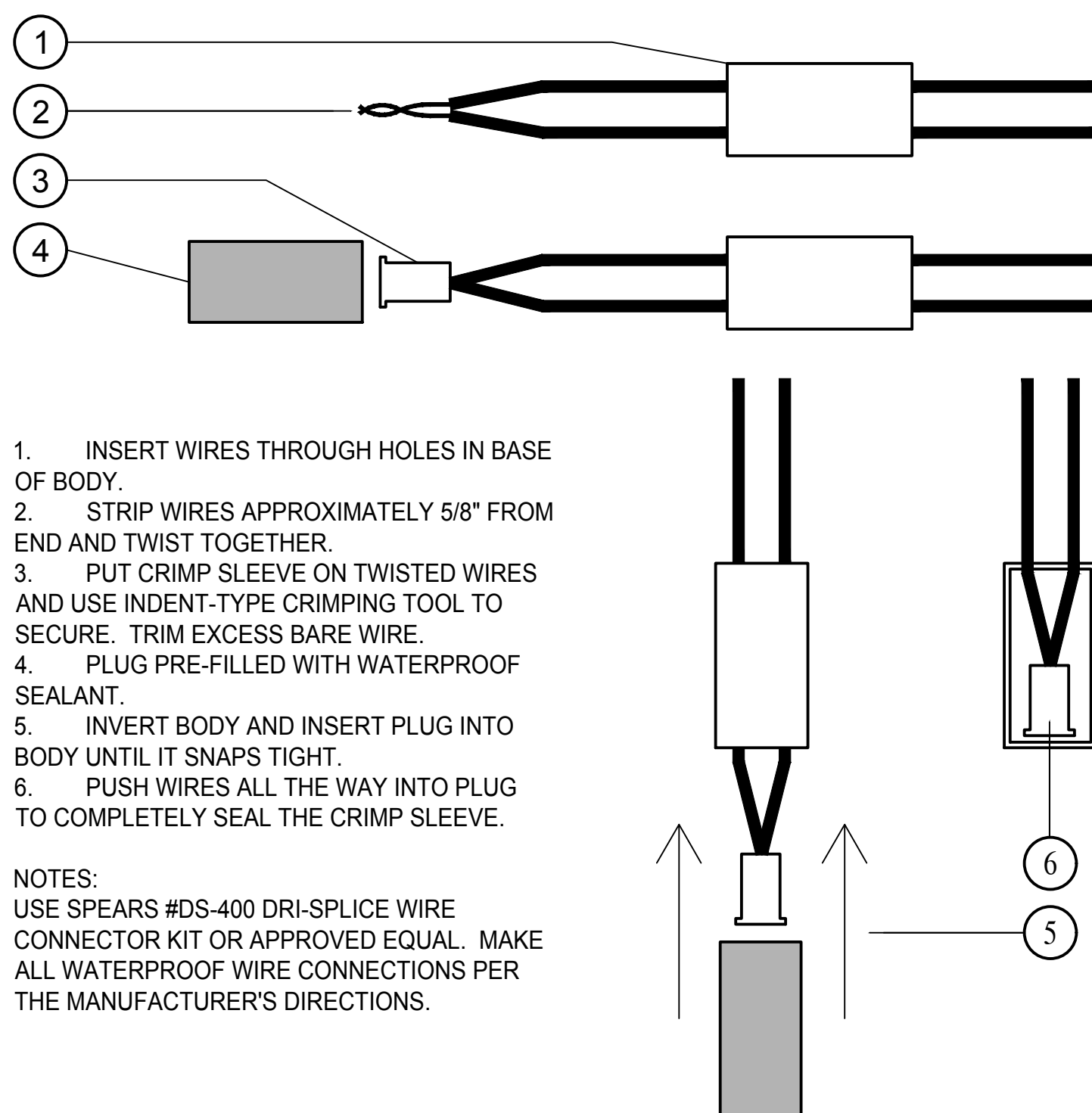
NOTE:  
- BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE. INSTALL VALVE OFF-CENTER IN BOX.  
- INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.

7 TYPICAL BALL VALVE ASSEMBLY  
NO SCALE

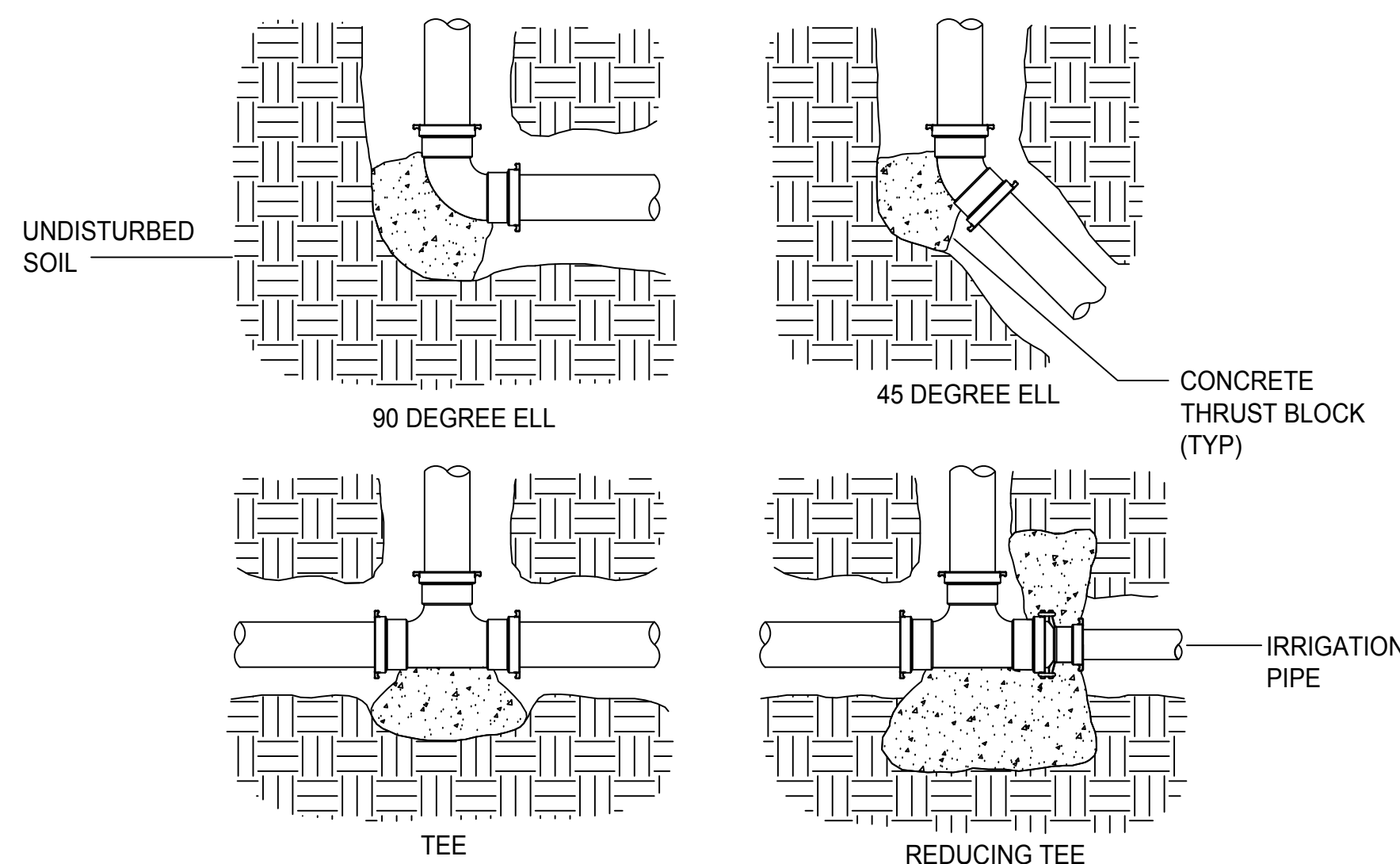


NOTE:  
- INSTALL CONTROL VALVES A MINIMUM OF ONE FOOT APART IN SHRUB AREAS UNLESS OTHERWISE NOTED.  
- USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH FROM UP-STREAM SIDE OF THE MASTER VALVE ASSEMBLY.

8 TYPICAL MASTER CONTROL VALVE ASSEMBLY  
NO SCALE

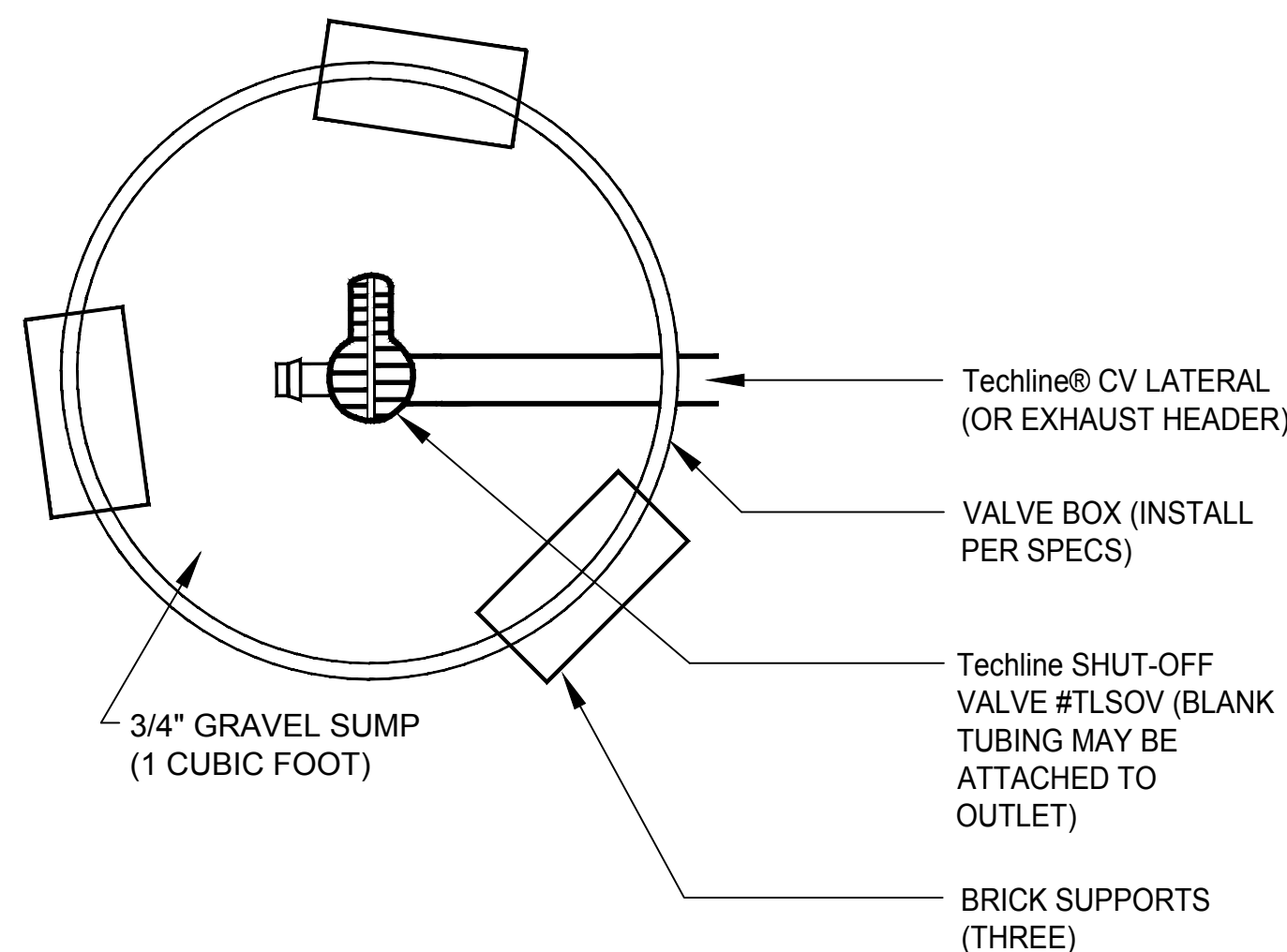


9 WIRE CONNECTION  
NO SCALE

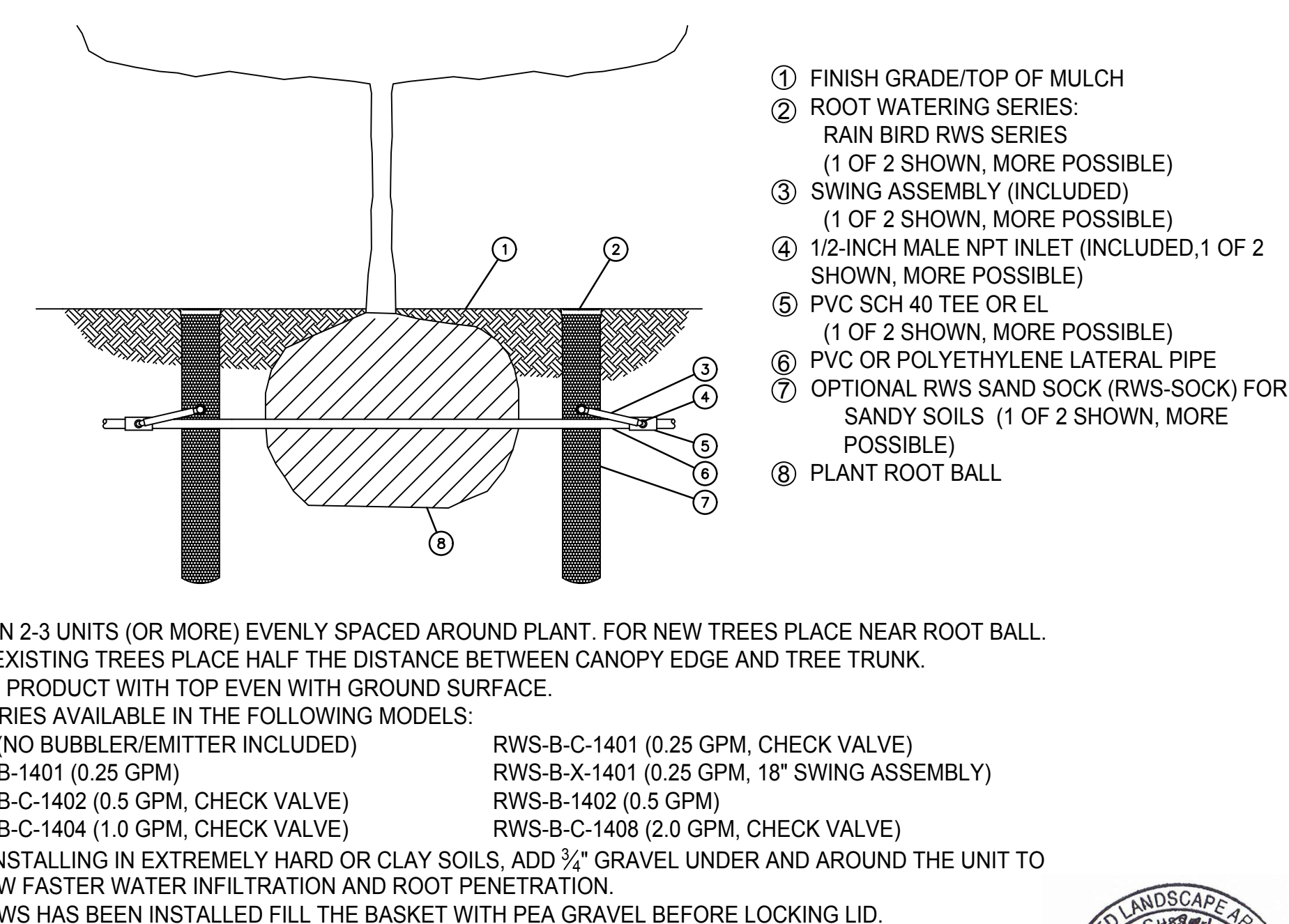


NOTE:  
THRUST BLOCKS TO BE A MINIMUM OF 1 CUBIC FEET CONCRETE. REFER TO MANUFACTURER RECOMMENDATIONS FOR CONFIGURATIONS NOT SHOWN. PRIOR TO THRUST BLOCKING, WRAP FITTINGS USING AWWA C209 APPROVED TAPE.

10 THRUST BLOCKS  
NO SCALE



11 NETAFIM TECHLINE LINE FLUSHING VALVE  
NO SCALE



NOTES:  
1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.  
2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.  
3. RWS SERIES AVAILABLE IN THE FOLLOWING MODELS:  
RWS (NO BUBBLER/EMITTER INCLUDED)  
RWS-B-1401 (0.25 GPM, CHECK VALVE)  
RWS-B-C-1402 (0.5 GPM, CHECK VALVE)  
RWS-B-C-1404 (1.0 GPM, CHECK VALVE)  
RWS-B-C-1401 (0.25 GPM, CHECK VALVE)  
RWS-B-X-1401 (0.25 GPM, 18\"/>

12 RWS INSTALLATION FOR TREES  
NO SCALE

Revisions

note date by

**LZ Design Group, Inc.**  
984 Monument Street  
Pacific Palisades, CA 90272  
T.310.454.0905 F.310.454.4255  
e:lisa@lzdesigngroupinc.com

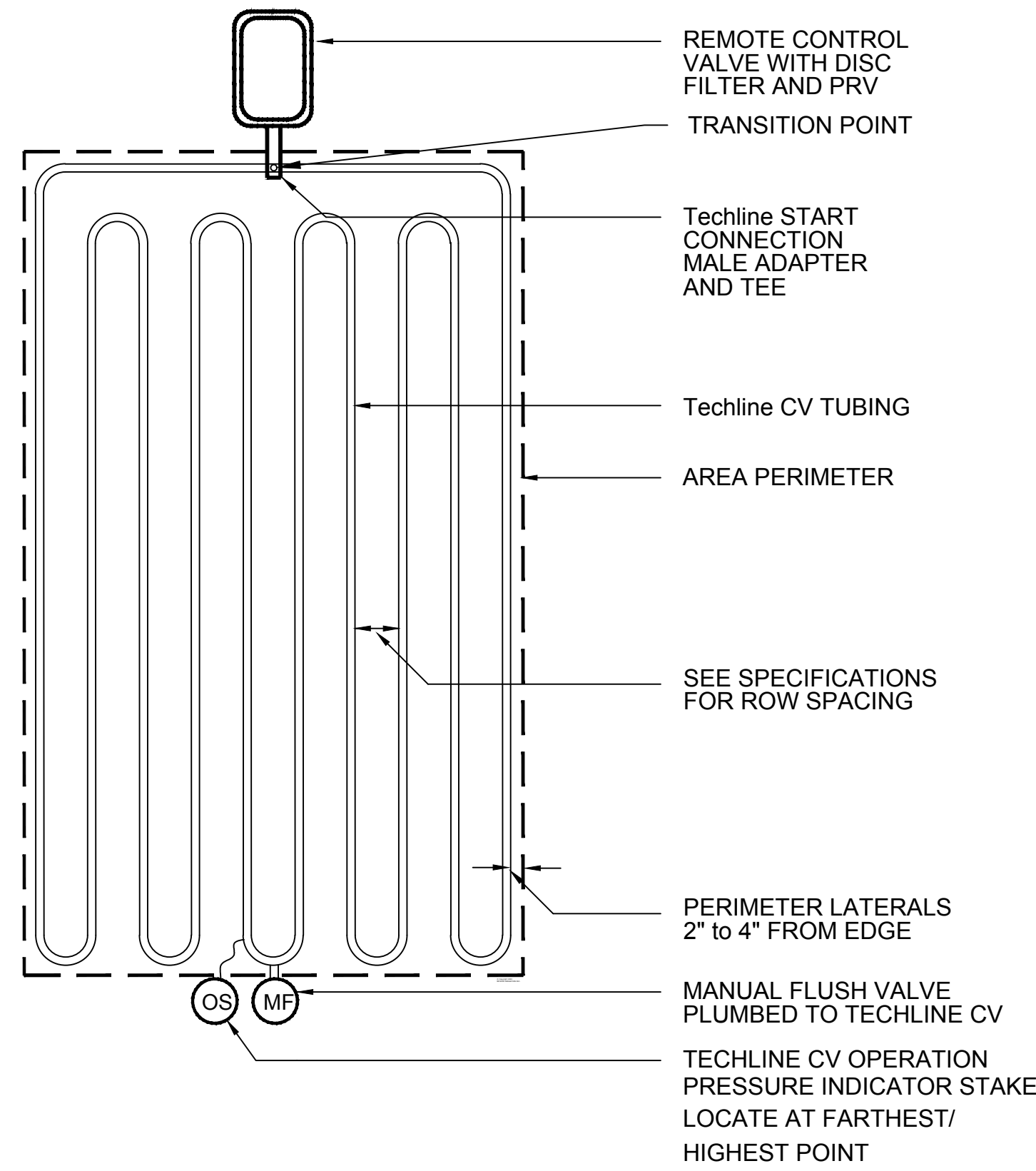
**PRIVATE RESIDENCE**  
2100&2021 EAST BALBOA BOULEVARD  
NEWPORT BEACH, CA 92661

IRRIGATION DETAILS

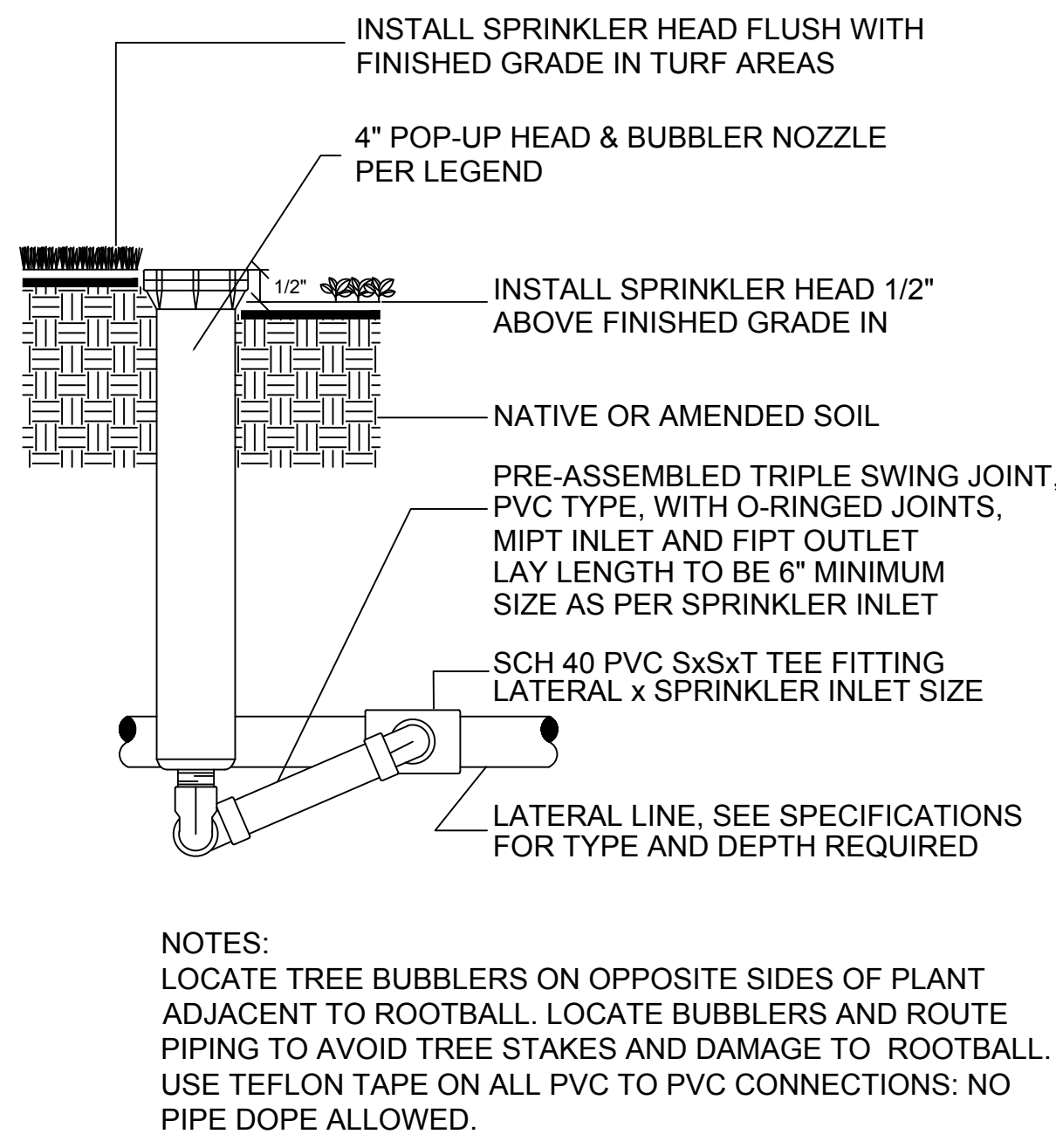
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SCALE NTS  
DRAWN MS  
JOB NO.  
SHEET



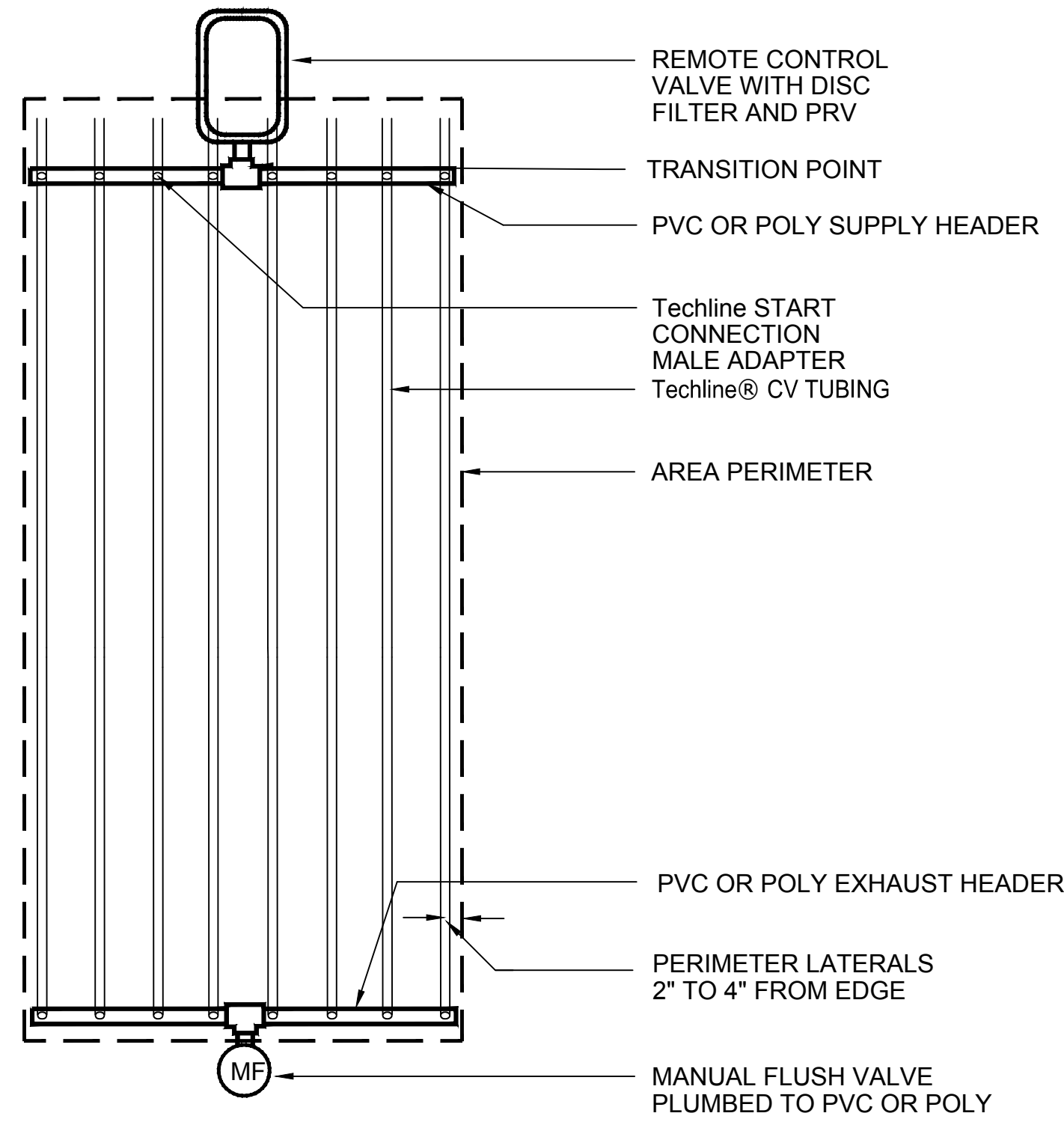




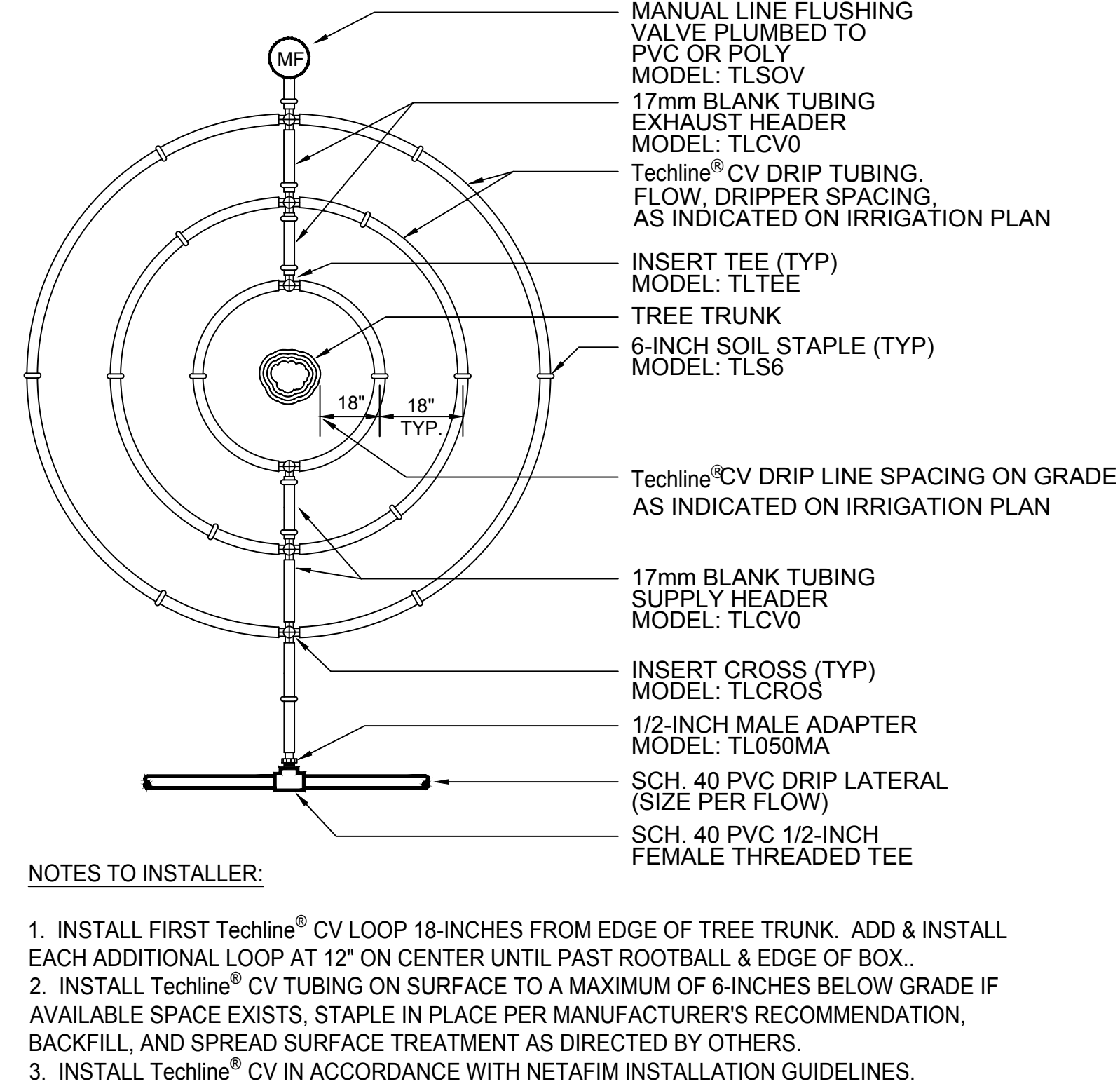
13 NO SCALE Techline® CV LITE END FEED LAYOUT



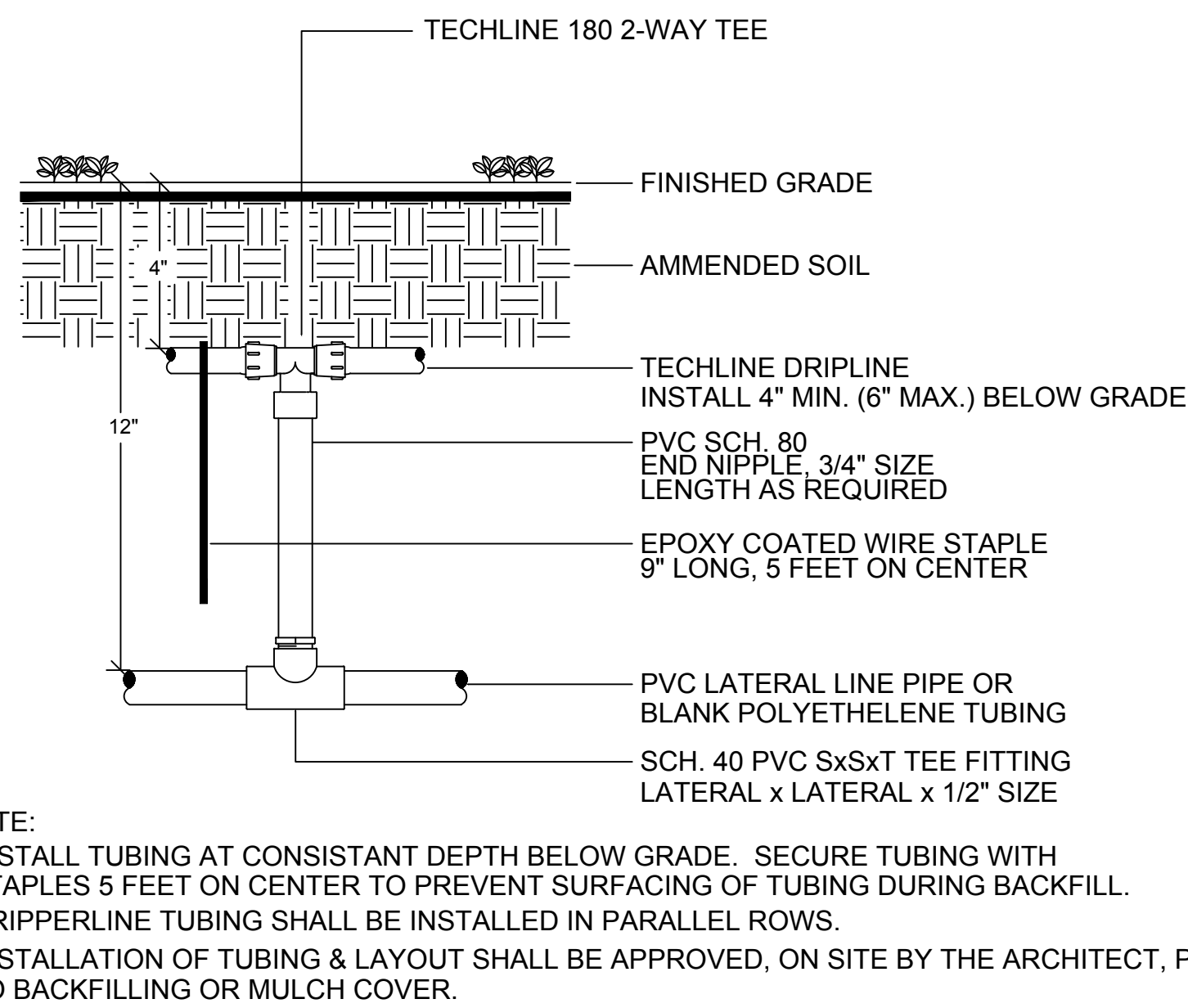
14 NO SCALE TREE BUBBLER SPRINKLERS



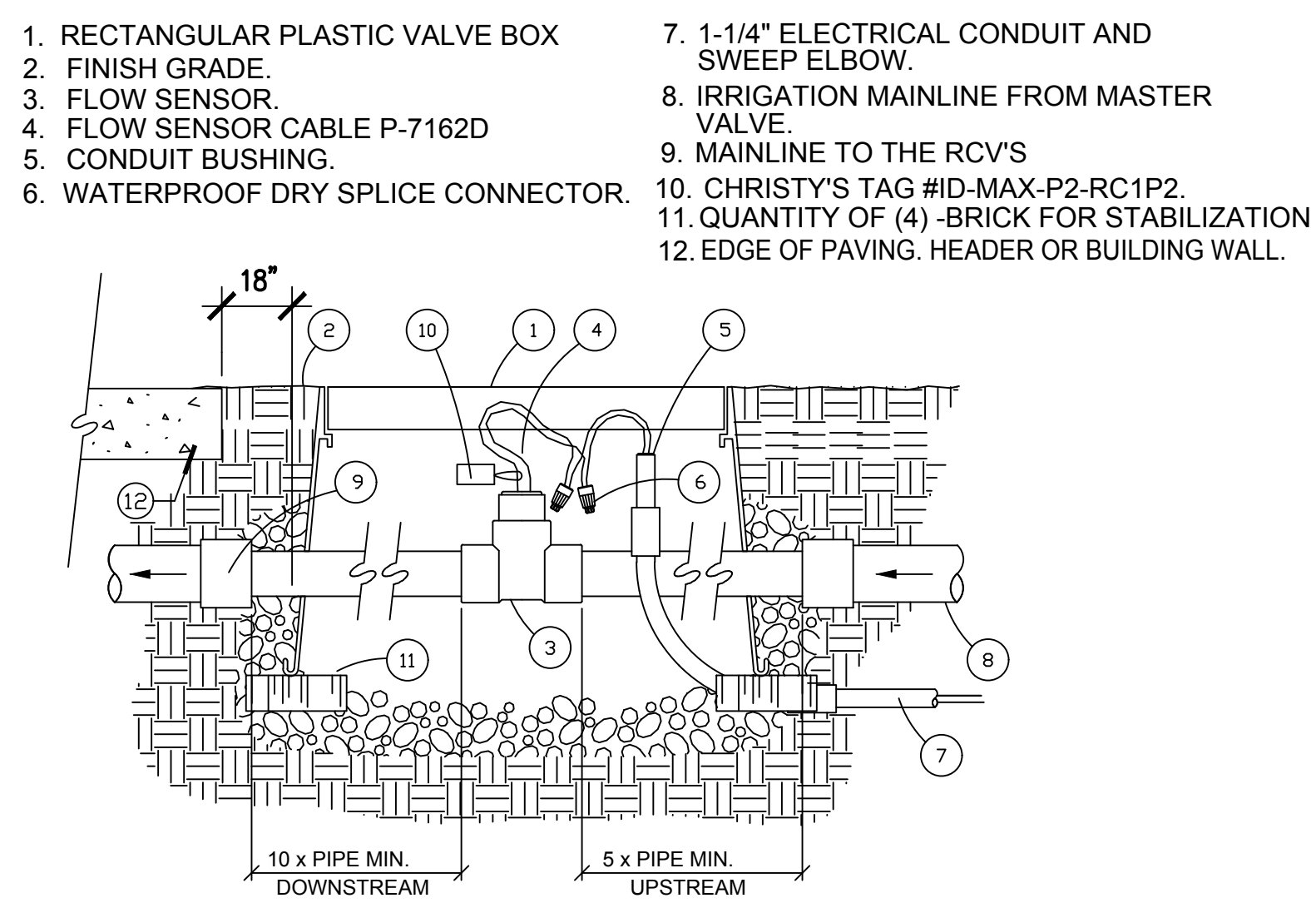
15 NO SCALE Techline® CV END FEED LAYOUT



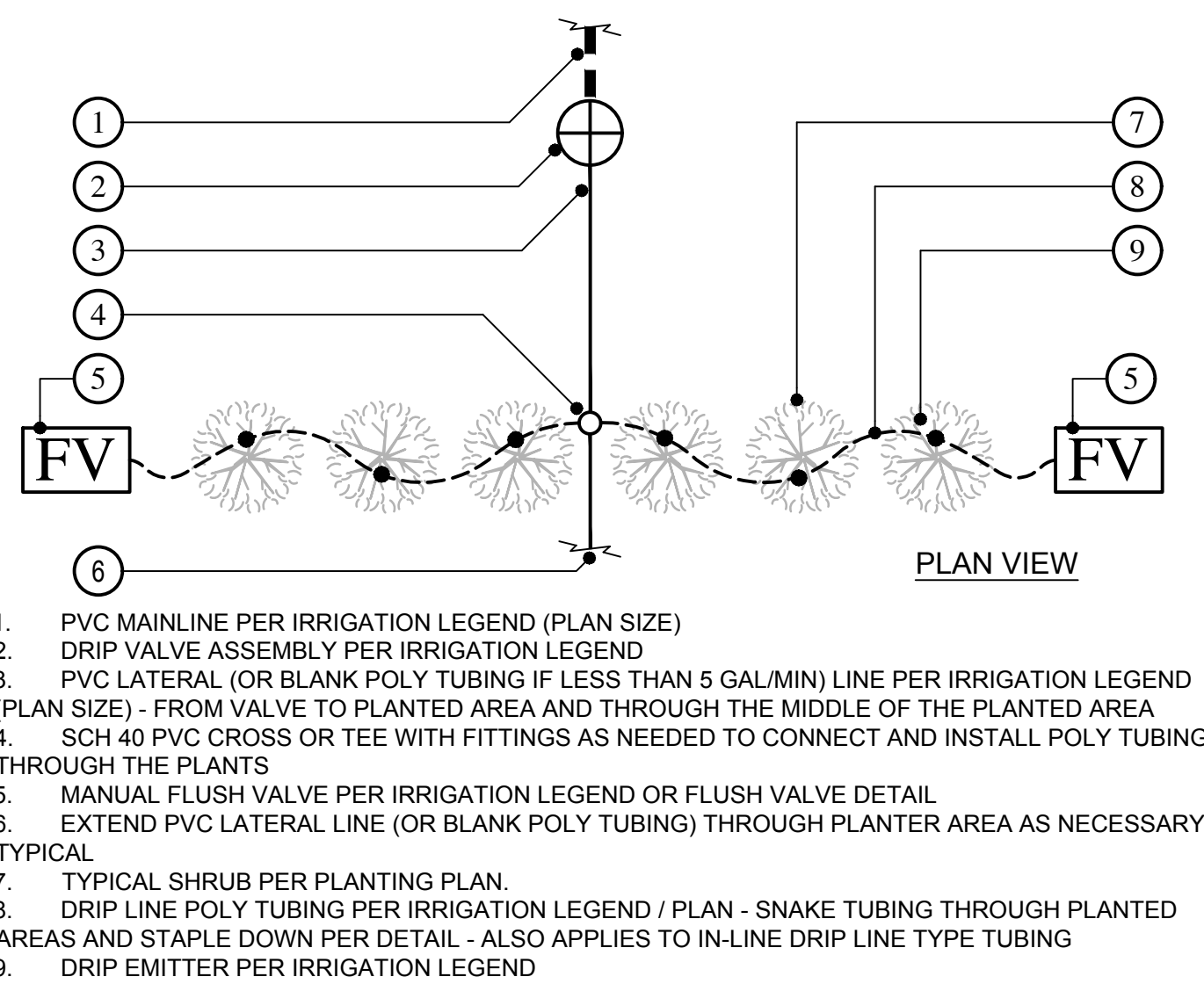
16 NO SCALE NETAFIM DRIP RINGS: 24 - 84" BOX TREES



14 NO SCALE NETAFIM SUB-GRADE START CONNECTION w/PVC RISER



21 NO SCALE FLOW SENSOR



17 NO SCALE TYPICAL POINT SOURCE LAYOUT WITH POLY TUBING

Revisions		
note	date	by
<b>LZ Design Group, Inc.</b> 984 Monument Street Pacific Palisades, CA 90272 T.310.454.0905 F.310.454.4255 e:lisa@lzdesigngroupinc.com		
<b>PRIVATE RESIDENCE</b> 2100&2021 EAST BALBOA BOULEVARD NEWPORT BEACH, CA 92661		
IRRIGATION DETAILS		
DATE	12/11/18	
SCALE	NTS	
DRAWN	MS	
JOB	NO.	
SHEET		





GENERAL NOTES

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, DRAWINGS, AND/OR CODE, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
5. THE MAINLINE AND SLEEVING IS DIAGRAMMATIC. ALL PIPING IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN LIMIT OF WORK BOUNDARIES. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
6. IRRIGATION EQUIPMENT AS SHOWN IS DIAGRAMMATIC. INSTALL ALL THE IRRIGATION REMOTE CONTROL VALVES, QUICK COUPLERS, MASTER VALVES, FLOW SENSORS, BACKFLOWS, AIR/VACUUM DEVICES, BALL VALVES, AND ANCILLARY EQUIPMENT IN SHRUB PLANTING AREAS WHEN FEASIBLE OR AS APPROVED BY OWNER'S REPRESENTATIVE AND THE LANDSCAPE IRRIGATION DESIGNER.
7. DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD REVISIONS DEEMED NECESSARY BY THE OWNER.
8. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY, AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION. ACTUAL LOCATION FOR THE INSTALLATION OF ANCILLARY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, THE BACKFLOW PREVENTER, PUMP STATION (IF APPLICABLE) AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. CONTRACTOR IS TO PROVIDE THREE (3) ADDITIONAL PILOT WIRES AND ONE (1) COMMON WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER. THE ADDITIONAL WIRE SHALL BE EXTENDED 10', MAKING A COIL TO FIT INSIDE A RECTANGULAR PULL BOX. LABEL THE LID OF THE PULL BOX 'SW'.
10. ALL PIPE UNDER PAVED AREAS, HARDSCAPE, OR AS DIRECTED BY OWNERS REPRESENTATIVE TO BE INSTALLED IN SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. ALL 4" AND SMALLER SLEEVING SHALL BE PVC 1220 SCH. 40, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-1785-4. ALL 6" AND LARGER SLEEVING SHALL BE PVC 1220 CLASS 200 SDR21, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-2241. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF PAVING.
11. ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE OR AS NOTED ON PLANS.
12. THE IRRIGATION CONTRACTOR SHALL ADJUST THE PRESSURE REGULATOR ON EACH ELECTRIC CONTROL VALVE SO THAT THE SPRINKLER HEAD FARTHEST AND HIGHEST IN ELEVATION FROM ITS RESPECTIVE CONTROL VALVE OPERATES WITHIN THE OPERATING PRESSURE SHOWN ON THE IRRIGATION LEGEND. NOT TO EXCEED FIVE (5) PSI ABOVE THE GIVEN OPERATING PRESSURE FROM THE SPECIFIED PRESSURE LOCATED ON THE IRRIGATION LEGEND.
13. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE BY DIRECT FIELD MEASUREMENT PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ANY REVISIONS.
14. SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE AND CAST IRON PIPE. FLOW THROUGH ANCILLARY EQUIPMENT, STEEL AND COPPER PIPE SHALL NOT EXCEED A VELOCITY OF 7.5 FPS. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
15. ELECTRICAL POWER SOURCE FOR THE IRRIGATION CONTROLLER AND/OR BOOSTER PUMP (IF APPLICABLE) SHALL BE PROVIDED UNDER THE ELECTRICAL SECTION OF THE SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER AND/OR BOOSTER PUMP.
16. LANDSCAPE CONTRACTOR SHALL PROVIDE CLIENT WITH "AS BUILT" IRRIGATION ZONE PLAN CONTAINING ALL IRRIGATION ZONES, VALVE BOXES, MAIN LINES, HOSE BIBS, CONTROLLER, AND MASTER ASSEMBLY.
17. THE IRRIGATION DESIGNER OR LANDSCAPE DESIGNER OR LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE UNDER ANY CIRCUMSTANCES FOR THE QUALITY OR TIMELINESS OF PERFORMANCE OF THE WORK INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY MAINLINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS AND SENSORS (IF APPLICABLE). THE RESPONSIBILITY FOR SAME SHALL REST WITH THE CONTRACTOR PERFORMING THE WORK.

OWNERS RESPONSIBILITY

18. THE OWNER IS RESPONSIBLE FOR THE SCHEDULING OF THE IRRIGATION SYSTEM TO MEET HORTICULTURAL REQUIREMENTS AND TO INSURE THAT EXCESSIVE SOIL SATURATION AND/OR SOIL EROSION DOES NOT OCCUR.
19. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION SYSTEM.
20. IT IS THE OWNER'S RESPONSIBILITY TO INSPECT THE IRRIGATION SYSTEM PERIODICALLY TO INSURE THAT THE SYSTEM IS OPERATING EFFICIENTLY AND THAT ALL NECESSARY REPAIRS ARE MADE TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC.

MINIMUM DESIGN CRITERIA

WATER METER SIZE = 3/4", STATIC PRESSURE IS 71 PSI, (MIN).  
WATER METER CONFIRMED BY NEWPORT BEACH WATER

MINIMUM SYSTEM DESIGN CRITERIA IS BASED ON 58 P.S.I. USING 9.8 G.P.M.

CONTRACTOR SHALL VERIFY ALL POC SIZE, PRESSURE AND FLOW BEFORE INSTALLATION.  
IF INFORMATION CONFLICTS, NOTIFY THE OWNER FOR INFORMATION  
FAILURE TO DO SO MAY RESULT IN CONTRACTOR BEING RESPONSIBLE  
FOR ANY CHANGES REQUIRED AS A RESULT.

system ANALYSIS

Generated: 2018-12-12 14:29

P.O.C. NUMBER: 01  
Water Source Information: City of Newport Beach Water

FLOW AVAILABLE  
Water Meter Size: 3/4"  
Flow Available: 10.20 gpm

PRESSURE AVAILABLE  
Static Pressure at POC: 71.00 psi  
Elevation Change: 5.00 ft  
Service Line Size: 3/4"  
Length of Service Line: 20.00 ft  
Pressure Available: 65.00 psi

DESIGN ANALYSIS  
Maximum Station Flow: 9.66 gpm  
Flow Available at POC: 10.20 gpm  
Residual Flow Available: 0.54 gpm

Critical Station: 2  
Design Pressure: 30.00 psi  
Friction Loss: 0.12 psi  
Fittings Loss: 0.01 psi  
Elevation Loss: 0.00 psi  
Loss through Valve: 10.74 psi  
Pressure Req. at Critical Station: 40.86 psi  
Loss for Fittings: 0.19 psi  
Loss for Main Line: 1.92 psi  
Loss for POC to Valve Elevation: 0.00 psi  
Loss for Backflow: 12.36 psi  
Loss for Master Valve: 0.71 psi  
Loss for Water Meter: 1.50 psi  
Critical Station Pressure at POC: 57.56 psi  
Pressure Available: 65.00 psi  
Residual Pressure Available: 7.44 psi

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	PSI	PSI @ POC
1	Rain Bird PEB	1"	Drip Emitter	2.00	30	31.47	43.92
2	Netafim LVCZS8010075-HF	1"	Area for Dripline	9.66	30	40.88	57.56
3	Netafim LVCZS8010075-LF	1"	Area for Dripline	0.96	30	35.00	47.36
4	Netafim LVCZS8010075-HF	1"	Area for Dripline	7.68	30	39.65	54.01
5	Rain Bird PEB	1"	Drip Emitter	3.00	30	31.73	44.24
6	Rain Bird PEB-PRS-D	1"	Drip Emitter	32.68	30	7.00	47.70
7	Netafim LVCZS8010075-HF	1"	Area for Dripline	3.99	30	37.25	50.29
8	Rain Bird PEB-PRS-D	1"	Drip Emitter	5.00	30	32.07	45.63
9	Rain Bird PEB	1"	Drip Emitter	2.00	30	31.46	44.05
10	Netafim LVCZS8010075-HF	1"	Area for Dripline	4.53	30	37.31	50.98
11	Rain Bird PEB-PRS-D	1"	Turf Rotary	9.00	30	32.46	51.13
12	Netafim LVCZS8010075-LF	1"	Area for Dripline	1.94	30	35.38	47.98

GENERAL IRRIGATION NOTES:

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED DEVICES.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF THE FINAL INSPECTION.

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

A SOILS REPORT HAS NOT BEEN PROVIDED. THIS IRRIGATION DESIGN ASSUMES THE PROPERTY IS SITED ON LOAM SOILS. IF THIS IS NOT THE CASE, PLEASE CONTACT IRRIGATION DESIGNER IMMEDIATELY FOR REDESIGN.

CONTROL OF IRRIGATION WATER IS A NECESSARY PART OF SITE MAINTENANCE. SOGGY GROUND AND PERCHED WATER MAY RESULT IF IRRIGATION WATER IS EXCESSIVELY APPLIED. IRRIGATION SYSTEMS SHOULD BE ADJUSTED TO PROVIDE THE MINIMUM WATER NEEDED. ADJUSTMENTS SHOULD BE MADE FOR CHANGES IN CLIMATE AND RAINFALL.

SLEEVES ARE REQUIRED FOR ALL IRRIGATION PIPING INSTALLED UNDER OR THROUGH PAVING/RETAINING WALLS. REFER TO IRRIGATION SLEEVE SIZING CHART SHOWN ON THIS SHEET. IT IS RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIM/HER SELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, FOOTINGS AND COORDINATE THIS WORK WITH OTHER TRADES.

IRRIGATION SLEEVE SIZES

PIPE SIZE	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"
SLEEVE SIZE	2"	2"	2-1/2"	3"	4"	5"	6"

NOTE: IRRIGATION CONTROL WIRE CONDUIT SIZE SHALL BE 4"



Revisions		
note	date	by

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IRRIGATION  
NOTES & CALCS

DATE	12/11/18
SCALE	NTS
DRAWN	MS
JOB	NO.
SHEET	