



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

November 29, 2018
Agenda Item No. 2

SUBJECT: Naehring Residential Condominiums (PA2018-143)
▪ Coastal Development Permit No. CD2018-061
▪ Tentative Parcel Map No. NP2018-018
(County Tentative Parcel Map No. 2018-171)

SITE LOCATION: 3406 and 3406 ½ Marcus Avenue

APPLICANT: Rick Guina of GB Architecture

OWNER: Matt Naehring

PLANNER: Makana Nova, Associate Planner
949-644-3249, mnova@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Coastal Land Use Category:** RT-E (Two-Unit Residential) – (30.0-39.9 DU/AC)
- **Coastal Zoning District:** R-2 (Two-Unit Residential)
- **General Plan:** RT (Two-Unit Residential)
- **Zoning District :** R-2 (Two-Family Residential)

PROJECT SUMMARY

A coastal development permit and tentative parcel map to demolish an existing duplex and construct a new 3-story, 4,226-square-foot two-unit condominium with two attached single-car garages totaling 450 square feet and two carport spaces. The project includes hardscape, drainage, landscaping improvements, and accessory structures. The project also includes a reinforced bulkhead with cap for coastal hazards protection. The proposed residence complies with all applicable development standards including height, setbacks, and floor area limits. No deviations are requested.

The tentative parcel map will merge the underlying lot lines for development of a 2-unit condominium.

The subject property is bisected by the coastal permit jurisdiction boundary resulting in a portion of the two-unit condominium, front patio accessory improvements, and the bulkhead improvements within California Coastal Commission's permit jurisdiction. This Coastal Development Permit is intended to cover portions of the project within the City's permit authority as designated in the Local Coastal Program (Title 21 of the Newport Beach Municipal Code).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt under Section 15303 of the State California Environmental Quality Act (CEQA) Guidelines - Class 3 (New Construction or Conversion of Small Structures); and under Section 15315 of the State CEQA Guidelines - Class 15 (Minor Land Divisions), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. __ approving Coastal Development Permit No. CD2018-061 and Tentative Parcel Map No. NP2018-018 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-2 (Two-Unit Residential) Coastal Zoning District, which provides for single-unit and two-unit residential development and is consistent with the City's General Plan, Coastal Land Use Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property is currently developed with a duplex constructed in 1950. The neighborhood is predominantly developed with one- and two-story, single-and-two-family residences. Newer three-story development is also present in the vicinity. The proposed design, bulk, and scale of the development is compatible with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed two-unit dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1.

Table 1 – R-2 Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (water)	25 feet	25 feet
Sides	4 feet	4 feet
Second Front (street)	3 feet	3 feet
Allowable Floor Area (max.)	5,022 square feet	4,676 square feet
Allowable 3rd Floor Area (max.)	377 square feet	376 square feet
Open Space (min.)	377 square feet	391 square feet
Parking (min.)	2 per unit, 1 in a garage and 1 covered	2-single-car garages and two covered carports
Height (max.)	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

Parcel Map

- Approval of the Tentative Parcel Map will consolidate the underlying lot and half lot and allow each unit of the duplex to be sold individually.
- The property is designated for two-unit residential use by the General Plan and Zoning Code. The new two-unit dwelling is consistent with this designation and a tentative parcel map for condominiums does not change the use.
- The new condominium project will conform to current Municipal Code requirements and meet all Title 19 standards.
- Public improvements such as the undergrounding of overhead utilities and reconstruction of broken and/or otherwise damaged concrete and curb along Marcus Avenue will be required of the applicant per the Municipal Code and Subdivision Map Act.

Hazards

- The property fronts the Rivo Alto Waterway of Newport Bay and is a private waterfront parcel. The project site is protected by an existing seawall with the top of the bulkhead at elevation 6.71 feet (NAVD88). The existing bulkhead is low, is not in good condition, and is in need of maintenance and repair at this time. The site is also vulnerable to flooding from the adjacent street ends and other low-lying properties that will need to be protected in the future. The project proposes to reinforce the existing wall and add a cap that will bring the height to 10.05 feet (NAVD88). No development is proposed bayward of the existing seawall.

- A Coastal Hazard Report and Sea Level Rise Analysis was prepared by PMA Consulting, Inc. dated October 15, 2018, for the project. The bay water elevation (currently maximum 7.2 NAVD88) may exceed the current 6.71 feet NAVD88 top of bulkhead elevation during high tide or storm events. Once the existing seawall/bulkhead is repaired/reinforced per the report's recommendations, flooding, wave runup, and erosion will not significantly impact this property over the proposed life of the development. A waterproofing curb is proposed be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.05 feet (NAVD88). Flood shields (sand bags and other methods) can be deployed across the openings to protect and prevent flooding to the structure. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the reinforced/capped bulkhead and a flood protection curb. Therefore, the project has been conditioned to raise or cap the bulkhead and include a curb structure up to 10.05 feet (NAVD88). This analysis used estimates for sea level rise from The State of California, Sea Level Rise Guidance: 2018 Update estimates.
- The finished floor elevation of the proposed condominiums is 9.0 feet (NAVD 88), which complies with the minimum 9.00 feet (NAVD88) elevation standard. The Coastal Hazard Report concludes that the bay water elevation (currently 7.2 feet NAVD88) will not exceed the proposed flood protection curb around the two-unit condominium at 10.05 feet (NAVD88 datum) for the anticipated 75-year life of the structure.
- Pursuant to NBMC [Section 21.30.030\(C\)\(3\)\(i\)\(iv\)](#), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with [NBMC Section 21.30.015\(D\)\(3\)\(c\)](#). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The property fronts the Rivo Also waterway of Newport Bay. Pursuant to NBMC [Section 21.35.030 \(Construction Pollution Prevention Plan\)](#), a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. A CPPP has been prepared and included in the plan sets for review and approval prior to the issuance of construction permits. Construction plans and activities will be required to adhere to the approved CPPP.
- Pursuant to NBMC [Section 21.35.050 \(Water Quality and Hydrology Plan\)](#), because of the site's proximity to the water and because the development contains more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP/WQMP) was prepared by John Dinh Tran of JT Consulting Engineers, dated May 8, 2018. The final WQHP/WQMP will be required to be reviewed and approved by the City's Engineer Geologist prior to building permit issuance. The WQHP/WQMP includes a polluted runoff and hydrologic site characterization, treatment control BMPs, use of a low-impact development approach and bioretention system to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be required to comply with the approved WQHP/WQMP prior to the issuance of building permits.
- The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather run-off and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access

- The project site is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities.
- The residential lot does not currently provide nor does it inhibit public coastal access, and the proposed development does not alter or affect existing access conditions. Coastal access is provided along the public streets and street ends throughout the neighborhood. Vertical access to the Rivo Alto is available approximately 60 feet east of the site at the street end along 34th Street and 80 feet west at the street end along 35th Street with access to the water. Vertical access to the beach is also available approximately 1,000 feet southwest of the site at the street ends along 34th Street and 35th Street. The public beach to the southwest also includes a 12-foot-wide public sidewalk along West Ocean Front, providing lateral access and views of the beach.

- Implementation Plan [Section 21.30A.040 \(Determination of Public Access/Recreation Impacts\)](#) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing duplex with a new residential two-unit condominium in an R-2 zoning district. Therefore, the project does not involve a change in land use, density or intensity that will result in significant increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities.
- The closest Public Viewpoint is located at Newport Island Park, approximately 820 feet northwest from the property. The proposed two-unit condominium is not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the Public Viewpoint and the project's compliance with height, setbacks, and floor area limits, the project will not impact coastal views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 and 15315 under Class 3 (New Construction or Conversion of Small Structures) and Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

Class 3 exempts the construction and location of limited numbers of new, small facilities or structures including one single-family residence in a residential zone. The proposed project consists of the construction of a new 4,676-square-foot two-family condominium in the R-2 Zoning District.

Class 15 exempts the division of property in urbanized areas zoned for residential, commercial, or industrial use into four (4) or fewer parcels when the division is in conformance with the General Plan and Zoning, no variances or exceptions are required, all services and access to the proposed parcels are available, the parcel was not involved in a division of a larger parcel within the previous two (2) years, and the parcel does not have an average slope greater than 20 percent. The Tentative Parcel Map is for condominium purposes and is consistent with all of the requirements of the Class 15 exemption.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding

intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:


Makana Nova
Associate Planner
GR/mkn

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans
	ZA 3	Tentative Parcel Map No. NP2018-018 (County Tentative Parcel Map No. 2018-171)

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2018-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH COASTAL DEVELOPMENT PERMIT NO. CD2018-061 AND TENTATIVE PARCEL MAP NO. NP2018-018 TO CONSTRUCT A NEW THREE-STORY, TWO-UNIT CONDOMINIUMS LOCATED AT 3406 AND 3406 1/2 MARCUS AVENUE (PA2018-143)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Rick Guina of GB Architecture, representing the property owner, Matt Naehring, with respect to property located at 3406 and 3406 ½ Marcus Avenue, requesting approval of a coastal development permit and tentative parcel map.
2. The lot at 3406 and 3406 ½ Marcus Avenue is legally described as Lot 4 and the northwesterly half of Lot 3, Block 334, Canal Section, Newport Beach, as shown on a map recorded in Book 4, Page 98 of Miscellaneous Maps, records of Orange County, California.
3. The applicant requests a coastal development permit and tentative parcel map to demolish an existing duplex and construct a new 3-story, 4,226-square-foot two-unit condominium with two attached single-car garages totaling 450 square feet and two carport spaces. The project includes hardscape, drainage, landscaping improvements, and accessory structures. The project also includes a reinforced bulkhead with cap for coastal hazards protection. The proposed residence complies with all applicable development standards including height, setbacks, and floor area limits. No deviations are requested. The tentative parcel map will merge the underlying lot lines for development of a 2-unit condominium.
4. The subject property is bisected by the coastal permit jurisdiction boundary resulting in a portion of the two-unit condominium, front patio accessory improvements, and the bulkhead improvements within California Coastal Commission's permit jurisdiction. This Coastal Development Permit is intended to cover portions of the project within the City's permit authority as designated in the Local Coastal Program (LCP) (Title 21 of the Newport Beach Municipal Code).
5. The subject property is designated RT (Two-Unit Residential) by the General Plan Land Use Element and is located within the R-2 (Two-Family Residential) Zoning District.
6. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RT-E (Two-Unit Residential) (30.0 -39.9 DU/AC) and it is located within the R-2 (Two-Unit Residential) Coastal Zone District.
7. A public hearing was held on November 29, 2018, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place

and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act ("CEQA") under Class 3 (New Construction or Conversion of Small Structures) and Section 15315 under Class 15 (Minor Land Divisions) because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the construction and location of limited numbers of new, small facilities or structures including one single-family residence in a residential zone. The proposed project consists of the construction of a new 4,676-square-foot two-family condominium in the R-2 Zoning District.
3. Class 15 exempts the division of property in urbanized areas zoned for residential, commercial, or industrial use into four (4) or fewer parcels when the division is in conformance with the General Plan and Zoning, no variances or exceptions are required, all services and access to the proposed parcels are available, the parcel was not involved in a division of a larger parcel within the previous two (2) years, and the parcel does not have an average slope greater than 20 percent. The Tentative Parcel Map is for condominium purposes and to merge underlying legal lot lines and is therefore consistent with all of the requirements of the Class 15 exemption.

SECTION 3. REQUIRED FINDINGS.

In accordance with Newport Beach Municipal Code ("NBMC") [Section 21.52.015 \(Coastal Development Permits, Findings and Decision\)](#), the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development and Tentative Parcel Map for condominium purposes complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The total proposed floor area, including the residences and enclosed parking, is 4,676 square feet, which complies with the maximum allowable floor area limit of 5,022 square feet.

- b. The proposed development provides the minimum required setbacks, which are 25 feet along the water (front setback), 3 feet along the street (front setback), and 4 feet along each side property line.
 - c. The highest guardrail is no more than 24 feet and the highest roof ridge is no more than 29 feet, measured from the established grade level of 9.00 feet based on the North American Vertical Datum of 1988 ("NAVD88"), which complies with the maximum height limitation.
 - d. The project includes one enclosed garage for each residence parking and one covered carport for each residence for a total of four parking spaces vehicles, in compliance with the minimum parking requirement for two-unit residences.
2. The neighborhood is predominantly developed with one- and two-story, single-and-two-family residences. Newer three-story development is also present in the vicinity. The proposed design, bulk, and scale of the development is compatible with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
3. The property fronts the Rivo Alto Waterway of Newport Bay and is a private waterfront parcel. The project site is protected by an existing seawall with the top of the bulkhead at elevation 6.71 feet (NAVD88). The existing bulkhead is low, is not in good condition, and is in need of maintenance and repair at this time. The site is also vulnerable to flooding from the adjacent street ends and other low-lying properties that will need to be protected in the future. The project proposes to reinforce the existing wall and add a cap that will bring the height to 10.05 feet (NAVD88). No development is proposed bayward of the existing seawall.
4. A Coastal Hazard Report and Sea Level Rise Analysis was prepared by PMA Consulting, Inc. dated October 15, 2018, for the project. The bay water elevation (currently maximum 7.2 NAVD88) may exceed the current 6.71 feet NAVD88 top of bulkhead elevation during high tide or storm events. Once the existing seawall/bulkhead is repaired/reinforced per the report's recommendations, flooding, wave runup, and erosion will not significantly impact this property over the proposed life of the development. A waterproofing curb is proposed be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.05 feet (NAVD88). Flood shields (sand bags and other methods) can be deployed across the openings to protect and prevent flooding to the structure. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the reinforced/capped bulkhead and a flood protection curb. Therefore, the project has been conditioned to raise or cap the bulkhead and include a curb structure up to 10.05 feet (NAVD88). This analysis used estimates for sea level rise from The State of California, Sea Level Rise Guidance: 2018 Update estimates.
5. The finished floor elevation of the proposed condominiums is 9.0 feet (NAVD 88), which complies with the minimum 9.00 feet (NAVD88) elevation standard. The Coastal Hazard Report concludes that the bay water elevation (currently 7.2 feet NAVD88) will not exceed the proposed flood protection curb around the two-unit condominium at 10.05 feet (NAVD88 datum) for the anticipated 75-year life of the structure.

6. Pursuant to [NBMC Section 21.30.030 \(Natural Landform and Shoreline Protection\) \(C\)\(3\)\(i\)\(iv\)](#), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC [Section 21.30.015 \(General Site Planning and Development Standards\) \(D\)\(3\)\(c\)](#). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction.
7. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
8. The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution of runoff derived by construction chemicals and materials.
9. The project design includes a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.
10. The property fronts the Rivo Also waterway of Newport Bay. Pursuant to NBMC [Section 21.35.030 \(Construction Pollution Prevention Plan\)](#), a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. A CPPP has been prepared for review and approval prior to the issuance of construction permits. Construction plans and activities will be required to adhere to the approved CPPP.
11. Pursuant to NBMC [Section 21.35.050 \(Water Quality and Hydrology Plan\)](#), because of the site's proximity to the water and because the development contains more than 75 percent of impervious surface area, a Water Quality and Hydrology Plan (WQHP/WQMP) was prepared by John Dinh Tran of JT Consulting Engineers, dated May 8, 2018. The final WQHP/WQMP will be required to be reviewed and approved by the City's Engineer Geologist prior to building permit issuance. The WQHP/WQMP includes a polluted runoff and hydrologic site characterization, treatment control BMPs, use of a low-impact development approach and bioretention system to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be required to comply with the approved WQHP/WQMP prior to the issuance of building permits.

12. New landscaping will be verified for compliance with NBMC [Section 21.30.075 \(Landscaping\)](#). A condition of approval is included to require drought-tolerant, and prohibits invasive, species. Prior to issuance of the building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
13. The Tentative Parcel Map is for condominium purposes and meets all of the requirements of the Local Coastal Program, including [Section 21.30.025 \(Coastal Subdivisions\)](#).

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site and Tentative Parcel Map is located between the nearest public road and the sea or shoreline; however, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities.
2. The residential lot does not currently provide nor does it inhibit public coastal access, and the proposed development does not alter or affect existing access conditions. Coastal access is provided along the public streets and street ends throughout the neighborhood. Vertical access to the Rivo Alto is available approximately 60 feet east of the site at the street end along 34th Street and 80 feet west at the street end along 35th Street with access to the water. Vertical access to the beach is also available approximately 1,000 feet southwest of the site at the street ends along 34th Street and 35th Street. The public beach to the southwest also includes a 12-foot-wide public sidewalk along West Ocean Front, providing lateral access and views of the beach.
3. Implementation Plan [Section 21.30A.040 \(Determination of Public Access/Recreation Impacts\)](#) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing duplex with a new residential two-unit condominium in an R-2 zoning district. Therefore, the project does not involve a change in land use, density or intensity that will result in significant increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities.
4. The closest Public Viewpoint is located at Newport Island Park, approximately 820 feet northwest from the property. The proposed two-unit condominium is not located near Coastal View Roads, as designated in the Coastal Land Use Plan. Due to the distance of the proposed development from the Public Viewpoint and the project's compliance with height, setbacks, and floor area limits, the project will not impact coastal views.

The Zoning Administrator determined in this case that the Tentative Parcel Map is consistent with the legislative intent of Title 20 (Planning and Zoning) of the Newport Beach Municipal

Code and is approved based on the following findings per Section 19.12.070 (Required Findings for Action on Tentative Maps) of Title 19:

Finding:

- C. *That the proposed map and the design or improvements of the subdivision are consistent with the General Plan and any applicable specific plan, and with applicable provisions of the Subdivision Map Act and this Subdivision Code.*

Facts in Support of Finding:

1. The Tentative Parcel Map is to consolidate underlying legal lots and for two-unit residential condominium purposes. An existing duplex will be demolished and replaced with a new two-unit condominium. The proposed subdivision and improvements are consistent with the density of the R-2 Zoning District and the current RT General Plan Land Use Designation.
2. The Tentative Parcel Map does not apply to any specific plan area.

Finding:

- D. *That the site is physically suitable for the type and density of development.*

Facts in Support of Finding:

1. The lot is physically suitable for two-unit development because it is regular in shape and is relatively flat.
2. The subject property is accessible from Marcus Avenue, and is adequately served by existing utilities.

Finding:

- E. *That the design of the subdivision or the proposed improvements, are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. However, notwithstanding the foregoing, the decision making body may nevertheless approve such a subdivision if an environmental impact report was prepared for the project and a finding was made pursuant to Section 21081 of the California Environmental Quality Act that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.*

Facts in Support of Finding:

1. The existing duplex will be demolished and replaced with a new two-unit condominium. A duplex has existing on this site since 1950. The proposed project will replace the existing structure with a new two-unit residential condominium that is compliant with all current code requirements.

2. The property is located in an urbanized area that does not contain any sensitive vegetation or habitat.
3. The subdivision is categorically exempt under Section 15315 (Article 19 of Chapter 3), of the California Environmental Quality Act (CEQA) Guidelines – Class 15 (Minor Land Alterations).

Finding:

- F. That the design of the subdivision or the type of improvements is not likely to cause serious public health problems.*

Facts in Support of Finding:

1. The Tentative Parcel Map is to consolidate underlying legal lot lines and for residential condominium purposes. All improvements associated with the project will comply with all Building, Public Works, and Fire Codes, which are in place to prevent serious public health problems. All ordinances of the City and all Conditions of Approval will be complied with.
2. Public improvements will be required of the developer per Section 19.28.010 (General Improvement Requirements) of the Municipal Code and Section 66411 (Local agencies to regulate and control design of subdivisions) of the Subdivision Map Act.

Finding:

- G. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the decision making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within a subdivision.*

Fact in Support of Finding:

1. The design of the development will not conflict with easements acquired by the public at large, for access through, or use of property within the proposed development, because there are no public easements located on the property.

Finding:

- H. That, subject to the detailed provisions of Section 66474.4 of the Subdivision Map Act, if the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act), the resulting parcels following a subdivision*

of the land would not be too small to sustain their agricultural use or the subdivision will result in residential development incidental to the commercial agricultural use of the land.

Facts in Support of Finding:

1. The property is not subject to the Williamson Act because the subject property is not designated as an agricultural preserve and is less than 100 acres in area.
2. The site, developed for residential use, lies in a zoning district that permits residential uses.

Finding:

- I. *That, in the case of a “land project” as defined in Section 11000.5 of the California Business and Professions Code: (1) there is an adopted specific plan for the area to be included within the land project; and (2) the decision making body finds that the proposed land project is consistent with the specific plan for the area.*

Facts in Support of Finding:

1. California Business and Professions Code Section 11000.5 has been repealed by the Legislature. However, this Project site is not considered a “land project” as previously defined in Section 11000.5 of the California Business and Professions Code because the Project site does not contain 50 or more parcels of land.
2. The project is not located within a specific plan area.

Finding:

- J. *That solar access and passive heating and cooling design requirements have been satisfied in accordance with Sections 66473.1 and 66475.3 of the Subdivision Map Act.*

Fact in Support of Finding:

1. The Tentative Parcel Map and any future improvements are subject to Title 24 of the California Building Code that requires new construction to meet minimum heating and cooling efficiency standards depending on location and climate. The Newport Beach Building Division enforces Title 24 compliance through the plan check and inspection process.

Finding:

- K. *That the subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City’s share of the regional housing need and that it balances the housing needs of the region against the public service needs of the City’s residents and available fiscal and environmental resources.*

Fact in Support of Finding:

1. The proposed two-unit duplex is consistent with the R-2 Zoning District, which allows two (2) residential units on the property. Therefore, the Tentative Parcel Map for condominium purposes will not affect the City in meeting its regional housing need.

Finding:

- L. That the discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.*

Fact in Support of Finding:

1. The new two-unit duplex will be designed so that wastewater discharge into the existing sewer system complies with the Regional Water Quality Control Board (RWQCB) requirements.

Finding:

- M. For subdivisions lying partly or wholly within the Coastal Zone, that the subdivision conforms with the certified Local Coastal Program and, where applicable, with public access and recreation policies of Chapter Three of the Coastal Act.*

Fact in Support of Finding:

1. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RT-E (Two-Unit Residential) and the property is located within the R-2 (Two-Unit Residential) Coastal Zone District. The Facts in Support of Findings A and B for Section 21.52.015 (Coastal Development Permits, Findings and Decision) found above are hereby incorporated for reference.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2018-061 and Tentative Parcel Map No. NP2018-018, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. The subject property is bisected by the coastal permit jurisdiction boundary resulting in a portion of the two-unit condominium, front patio accessory improvements, and the bulkhead improvements within Coastal Commission's permit jurisdiction. This coastal development permit is intended to cover portions of the project within the City's permit authority under the Local Coastal Program.

3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with [Section 21.64.035 \(Appeal to the Coastal Commission\)](#) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.
4. This Coastal Development Permit shall take effect upon the effective date of approval of the California Coastal Commission's action on a Coastal Development Permit for portions of the project within their permit authority.

PASSED, APPROVED, AND ADOPTED THIS 29TH DAY OF NOVEMBER, 2018.

Patrick J. Alford, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *Prior to issuance of building permits, the project plans shall be updated to reflect that a minimum waterproofing curb will be constructed around the proposed residence as an adaptive flood protection device up to 10.05 feet (NAVD88). Flood shields (sand bags and other methods) can be deployed across the openings to protect prevent flooding to the structure.*
3. *Prior to final of building permits for the new home, the existing bulkhead or similar flood protection improvement shall be raised or replaced to provide a minimum elevation of 10.05 feet NAVD88 datum or a height elevation to the satisfaction of the Public Works Department. All improvements shall occur landward of the existing bulkhead.*
4. *Waiver of Future Protection for Properties with Approved Bulkheads – 21.30.030.C.3(i)*

Prior to the issuance of a building permit, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.
5. *Acknowledgement of Hazards for Waterfront Development - 21.30.015.D.3(c)*

Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.
6. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.

7. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
8. This Coastal Development Permit does not authorize any development seaward of the private property.
9. Best Management Practices (BMP's) and Good Housekeeping Practices (GHP's) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).
10. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
11. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
12. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
13. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
14. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
15. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
16. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
17. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
18. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and

growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

19. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

Building Conditions

20. *Combustible decking shall not be permitted within 3 feet of the side property lines adjacent to the residential units.*
21. *The trash enclosure shall be isolated from the building envelope as it relates to energy and drainage (washout).*
22. *The building shall be 1-hour construction for floors and walls when horizontal and vertical 1 hour assembly overlap.*
23. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
24. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
25. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
26. Prior to issuance of a building permits, the approved CPPP and WQHP/WQMP shall be submitted with the Building Permit plans. Implementation shall be in compliance with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.

Parcel Map Conditions

27. *A parcel map shall be recorded. The Map shall be prepared on the California coordinate system (NAD83). Prior to recordation of the Map, the surveyor/engineer preparing the Map shall submit to the County Surveyor and the City of Newport Beach, a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. The Map to be submitted to the City of Newport Beach shall comply with the City's CADD standards. Scanned images will not be accepted.*
28. *Prior to recordation of the parcel map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County*

Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (one inch iron pipe with tag) shall be set on each lot corner unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of the construction project.

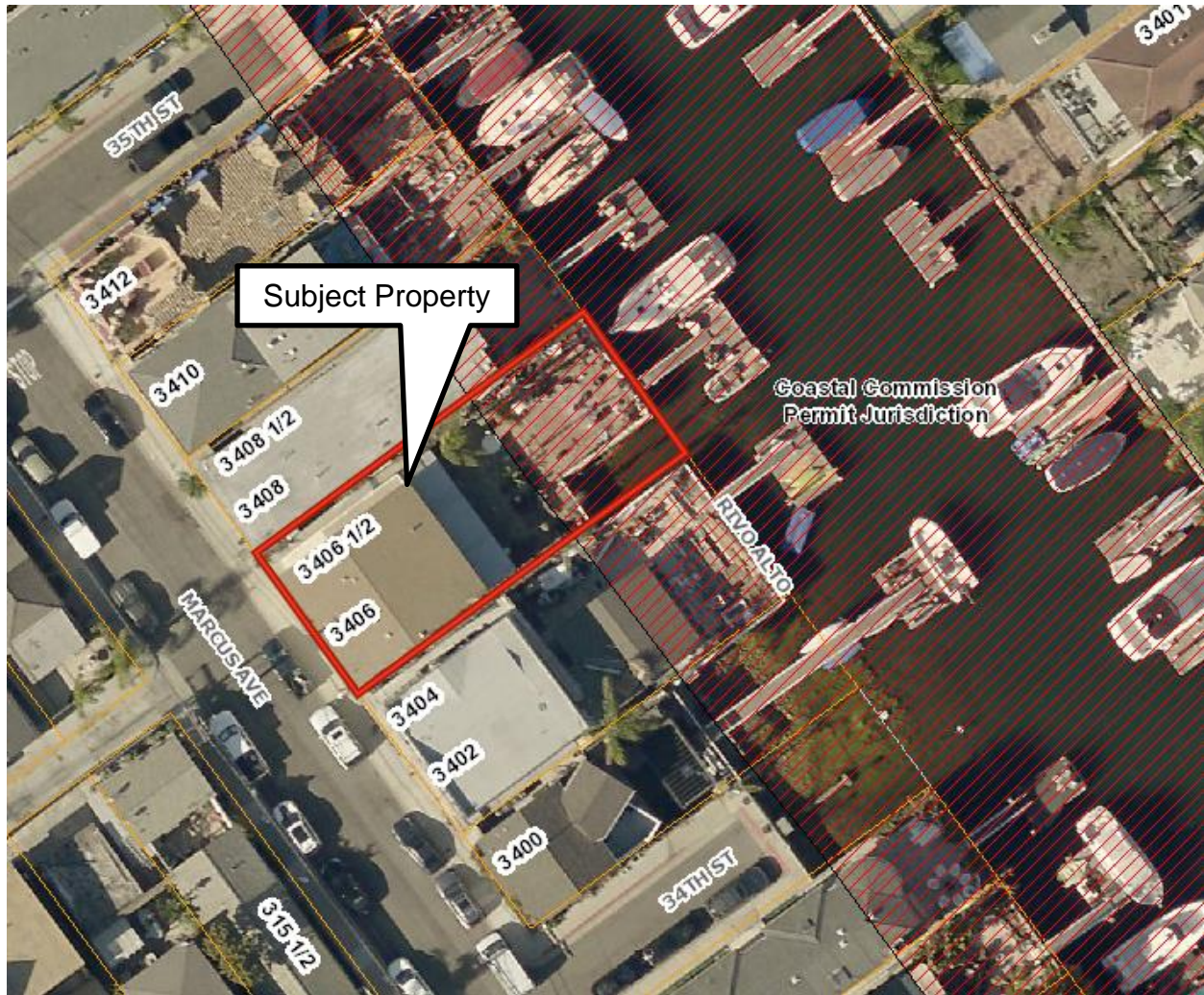
29. *All improvements shall be constructed as required by Ordinance and the Public Works Department.*
30. *Reconstruct all damaged sidewalk panels, curb, gutter, and street along the Marcus Avenue property frontage as determined by the Public Works Department.*
31. *All existing overhead utilities shall be undergrounded.*
32. *Each unit shall be served by its individual water meter and sewer lateral and cleanout. Each water meter and sewer cleanout shall be installed with a traffic grade box and cover.*
33. *Each unit shall provide fire sprinkler service with a separate and independent fire riser.*
34. *An encroachment permit is required for all work activities within the public right-of-way.*
35. *All improvements shall comply with the City's sight distance requirement. See City Standard 110-L.*
36. *In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.*
37. *The driveway shall be designed per City Standard STD-163-L with the maximum width of the approach bottom is 25 feet or less. The garage finish floor elevation at the garage door shall be a minimum of 6-inches above the gutter flow line. The driveway design shall accommodate a minimum 4-foot landing between neighboring driveways.*
38. *The unused portion of the existing driveway approach shall be plugged per City Standard STD-165-L.*
39. *Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.*
40. *This Coastal Development Permit No. CD2018-061 and Tentative Parcel Map No. NP2018-018 shall expire unless exercised within 24 months from the date of approval as specified in Title 19 (Subdivisions) and Title 21 (Implementation Plan) of the Newport Beach Municipal Code, unless an extension is otherwise granted.*
41. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including*

without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Naehring Residential Condominiums including, but not limited to, Coastal Development Permit No. CD2018-061 and Tentative Parcel Map No. NP2018-018 (PA2018-143). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. CD2018-061 and
Tentative Parcel Map No. NP2018-018
(PA2018-143)

3406 and 3406 ½ Marcus Avenue

Attachment No. ZA 3

Project Plans

Project Contacts

OWNER:	PENINSULA REAL ESTATE INVESTMENTS, LLC 2015 SHIPWAY LANE, NEWPORT BEACH, CA 92660 CONTACT: MATT NAEHRING TEL. (949) 689-7905
ARCHITECT:	GB ARCHITECTURE 3300 IRVINE AVENUE, SUITE 135 NEWPORT BEACH, CA 92660 CONTACT: RICK GUINA ARCHITECT TEL. (949) 338-6420
CIVIL ENGINEER:	J.T. CONSULTING ENGINEERS 14371 EUCLID STREET, #2F GARDEN GROVE, CA 92843 CONTACT: JOHN TRAN P.E. TEL. (714) 815-2366
SURVEYOR:	APEX LAND SURVEYING 8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646 CONTACT: PAUL CRAFT TEL. (714) 488-5006
GEOTECH ENGINEER:	COAST GEOTECHNICAL 1200 W COMMONWEALTH AVENUE, FULLERTON, CA 92683 CONTACT: DAN HERC TEL. (714) 870-1211
LANDSCAPE ARCHITECT:	JIM PEKARSKE LANDSCAPE ARCHITECT 1219 GANADO, SAN CLEMENTE, CA 92673 CONTACT: JIM PEKARSKE TEL. (949) 433-6558

Public Works Requirements

1. A PARCEL MAP SHALL BE RECORDED. THE MAP SHALL BE PREPARED ON THE CALIFORNIA COORDINATE SYSTEM (NAD83). PRIOR TO RECORDATION OF THE MAP, THE SURVEYOR/ENGINEER PREPARING THE MAP SHALL SUBMIT TO THE COUNTY SURVEYOR AND THE CITY OF NEWPORT BEACH A DIGITAL-GRAPHIC FILE OF SAID MAP IN A MANNER DESCRIBED IN SECTION 7-9-330 AND 7-9-337 OF THE ORANGE COUNTY SUBDIVISION CODE AND ORANGE COUNTY SUBDIVISION MANUAL, SUBARTICLE 18. THE MAP TO BE S UBMITTED TO THE CITY OF NEWPORT BEACH SHALL COMPLY WITH THE CITY'S CADD STANDARDS. SCANNED IMAGES WILL NOT BE ACCEPTED.
2. PRIOR TO RECORDATION OF THE PARCEL MAP, THE SURVEYOR/ ENGINEER PREPARING THE MAP SHALL TIE THE BOUNDARY OF THE MAP INTO THE HORIZONTAL CONTROL SYSTEM ESTABLISHED BY THE COUNTY SURVEYOR IN A MANNER DESCRIBED IN SECTION 7-9-330 AND 7-9-337 OF THE ORANGE COUNTY SUBDIVISION CODE AND ORANGE COUNTY SUBDIVISION MANUAL, SUBARTICLE 18. MONUMENTS (ONE INCH IRON PIPE WITH TAG) SHALL BE SET ON EACH LOT CORNER UNLESS OTHERWISE APPROVED BY THE SUBDIVISION ENGINEER. MONUMENTS SHALL BE PROTECTED IN PLACE IF INSTALLED PRIOR TO COMPLETION OF CONSTRUCTION OF THE PROJECT.
3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AS REQUIRED BY ORDINANCE AND THE PUBLIC WORKS DEPARTMENT.
4. RECONSTRUCT ALL DAMAGED SIDEWALK PANELS, CURB, GUTTER AND STREET ALONG THE MARCUS AVENUE PROPERTY FRONTAGE AS DETERMINED BY THE PUBLIC WORKS DEPARTMENT.
5. ALL EXISTING OVERHEAD UTILITIES SHALL BE UNDERGROUNDED.
6. EACH UNIT SHALL BE SERVED BY ITS INDIVIDUAL WATER METER AND SEWER LATERAL AND CLEANOUT. EACH WATER METER AND SEWER CLEANOUT SHALL BE INSTALLED WITH A TRAFFIC-GRADE BOX AND COVER.
7. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
8. ALL IMPROVEMENTS SHALL COMPLY WITH THE CITY'S SIGHT DISTANCE REQUIREMENT. SEE CITY STANDARD 110-L.
9. IN CASE OF DAMAGE DONE TO PUBLIC IMPROVEMENTS SURROUNDING THE DEVELOPMENT SITE BY THE PRIVATE CONSTRUCTION, ADDITIONAL RECONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY COULD BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
10. DRIVEWAY SHALL BE DESIGNED PER CITY STANDARD STD-163-L WITH THE MAXIMUM WIDTH OF THE APPROACH BOTTOM IS 25 FEET OR LESS. THE GARAGE FINISH FLOOR ELEVATION AT THE GARAGE DOOR SHALL BE A MINIMUM OF 6-INCHES ABOVE THE GUTTER FLOW LINE. THE DRIVEWAY DESIGN SHALL ACCOMMODATE A MINIMUM 4-FOOT LANDING BETWEEN NEIGHBORING DRIVEWAYS.
11. THE UNUSED PORTION OF THE EXISTING DRIVEWAY APPROACH SHALL BE PLUGGED PER CITY STANDARD STD-165-L.

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A2	FIRST AND SECOND FLOOR PLANS
A3	THIRD FLOOR PLAN AND ROOF PLAN
A4	PROPOSED ELEVATIONS
A5	FIRST AND SECOND FLOOR AREA EXHIBIT PLAN
A6	THIRD FLOOR AREA EXHIBIT PLAN
1	TOPOGRAPHIC MAP
CPPP	CONSTRUCTION POLLUTION PREVENTION PLAN
C-1	CIVIL TITLE PAGE AND NOTES
C-2	PRELIMINARY GRADING PLAN
L-1	PRELIMINARY LANDSCAPE PLAN
SW-0	SEAWALL / BULKHEAD STRUCTURAL GENERAL NOTES
SW-1	SEAWALL / BULKHEAD SITE PLAN
SW-2	SEAWALL / BULKHEAD DETAILS

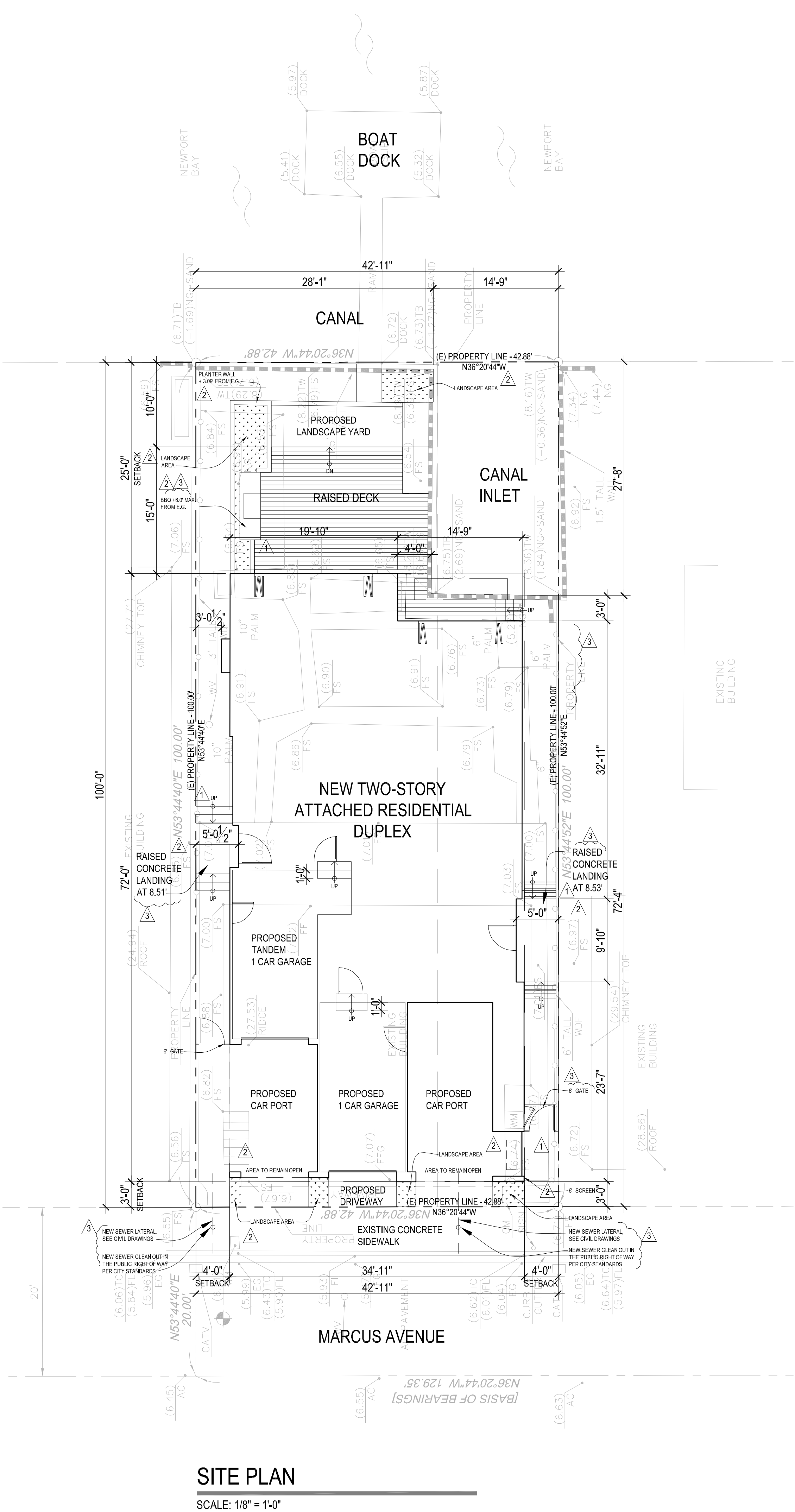
Zoning Requirements

POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA(S).

ATTIC SPACE WITH CEILING HEIGHTS GREATER THAN 6 FEET; NOT TO CONTAIN ANY AIR REGISTERS, ELECTRICAL OUTLETS, OR LIGHTING OTHER THAN IS REQUIRED BY CODE. NOT TO CONTAIN INSULATION, DRYWALL, OR SIMILAR INTERIOR WALL FINISHING MATERIAL.

NOTE: THE CONDOMINIUM NOTICE SHALL BE INCLUDED IN THE PROJECT PLANS AT PLAN CHECK.



SITE PLAN

SCALE: 1/8" = 1'-0"

Project Information

PROJECT ADDRESS:	3406 MARCUS AVENUE, NEWPORT BEACH, CA 92660
COASTAL DEVELOPMENT PERMIT NO.:	CD 2018-061 PA 2018-143
PROJECT DESCRIPTION:	DEMOLISH EXISTING MULTI-FAMILY RESIDENTIAL BUILDING PROPOSED NEW CONSTRUCTION RESIDENTIAL DUPLEX WITH 2 OFF STREET PARKING FOR EACH UNIT
ZONING:	R-2, S-2A
APN:	423-373-04
LEGAL DESCRIPTION:	LOT 4 AND THE NORTHWESTERLY ONE-HALF OF LOT 3 OF BLOCK 334 OF THE CANAL SECTION, NEWPORT BEACH, AS PER MAP RECORDED IN BOOK 4, PAGES 98, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Area Calculations

LOT SIZE	4,288 SQ. FT.
BUILDABLE AREA (PROPERTY LINE MINUS SETBACKS)	2,511.4 SQ. FT.
MAX ALLOWED BUILDING SIZE (BUILDABLE AREA x 2, DOES NOT INCLUDE CARPORTS)	5,022.8 SQ. FT.
THIRD FLOOR MAX AREA (15% OF BUILDABLE AREA 2511.4 x 0.15% = 376.7 SQ. FT.)	376.7 SQ. FT. > 375.3 SQ.FT. PROVIDED
OPEN SPACE MINIMUM REQUIREMENT (BUILDABLE AREA x .15% 2511.4 x 0.15% = 376.7 SQ. FT.)	376.7 SQ. FT. < 391.2 SQ. FT. PROVIDED
LANDSCAPED AREA:	180 SQ. FT.

UNIT A - PENTHOUSE

NEW FIRST FLOOR LIVING	284.0 SQ. FT.
NEW SECOND FLOOR LIVING	1,328.9 SQ. FT.
NEW THIRD FLOOR LIVING	375.3 SQ. FT.
NEW TOTAL LIVING SQ. FT.	1,988.2 SQ. FT.

NEW COVERED VERANDA (3RD FLOOR)	284.2 SQ. FT.
NEW OUTDOOR ROOF DECK (3RD FLOOR)	478.6 SQ. FT.

NEW 1 CAR GARAGE	243.0 SQ. FT.
NEW 1 CARPORT (TANDEM)	165.7 SQ. FT.

UNIT B - MARINA

NEW FIRST FLOOR LIVING	1,268.3 SQ. FT.
NEW SECOND FLOOR LIVING	978.1 SQ. FT.
NEW TOTAL LIVING SQ. FT.	2,246.1 SQ. FT.

NEW 1 CAR GARAGE	218.3 SQ. FT.
NEW 1 CARPORT	210.0 SQ. FT.

TOTAL GARAGES	461.3 SQ. FT.
TOTAL CARPORTS	375.7 SQ. FT.

TOTAL BUILDING SIZE W/ GARAGES	4,675.6 SQ. FT.
(4,675.6 SQ. FT. < 5022.8 SQ. FT.)	

Vicinity Map



CD 2018-061 | PA 2018-143

No.	Description	Date
1	CDP Resubmittal - 1st Comments	JUL. 11, 2018
2	CDP Resubmittal - 2nd Comments	SEP. 10, 2018
3	CDP Resubmittal - 3rd Comments	OCT. 24, 2018

A-1

PROJECT # 180202



JULY 27, 2018

PENINSULA REAL ESTATE INVESTMENTS, INC.

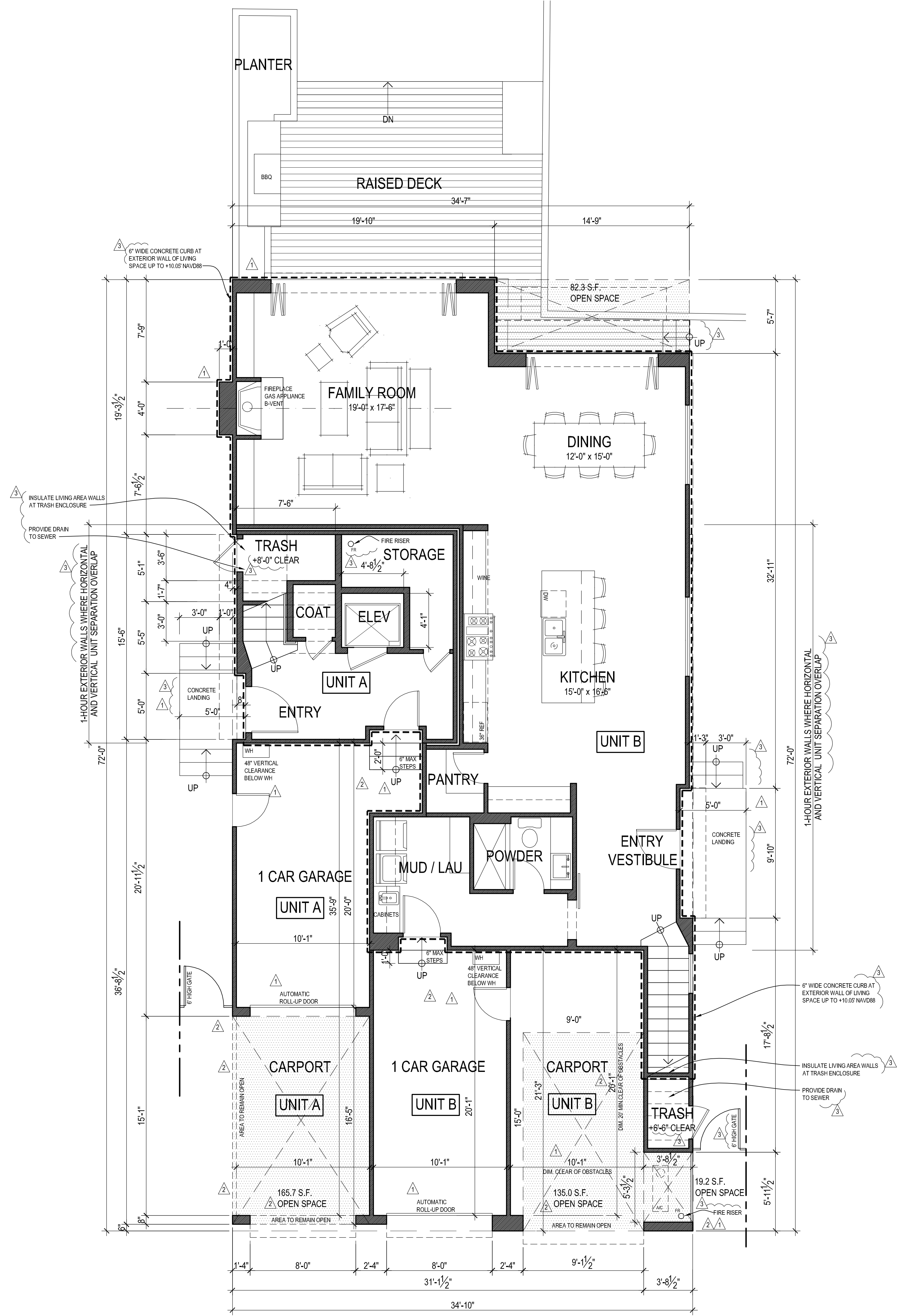
3406 Marcus Avenue . Newport Beach . California . 92663



3300 Irvine Avenue, Suite 135
Newport Beach, California 92660
T 714 486 3318 . M 949 338 6420



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



TYPICAL THROUGH FIRST FLOOR, INSTALL 12" TALL CONCRETE CURB AT ALL EXTERIOR WALLS.
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

CD 2018-061 | PA 2018-143

No.	Description	Date
1	1st CDP Submittal	JUL. 11, 2018
2	CDP Resubmittal - 1st Comments	JUL. 31, 2018
3	CDP Resubmittal - 2nd Comments	SEP. 10, 2018
4	CDP Resubmittal - 3rd Comments	OCT. 24, 2018

A-2
PROJECT # 180202



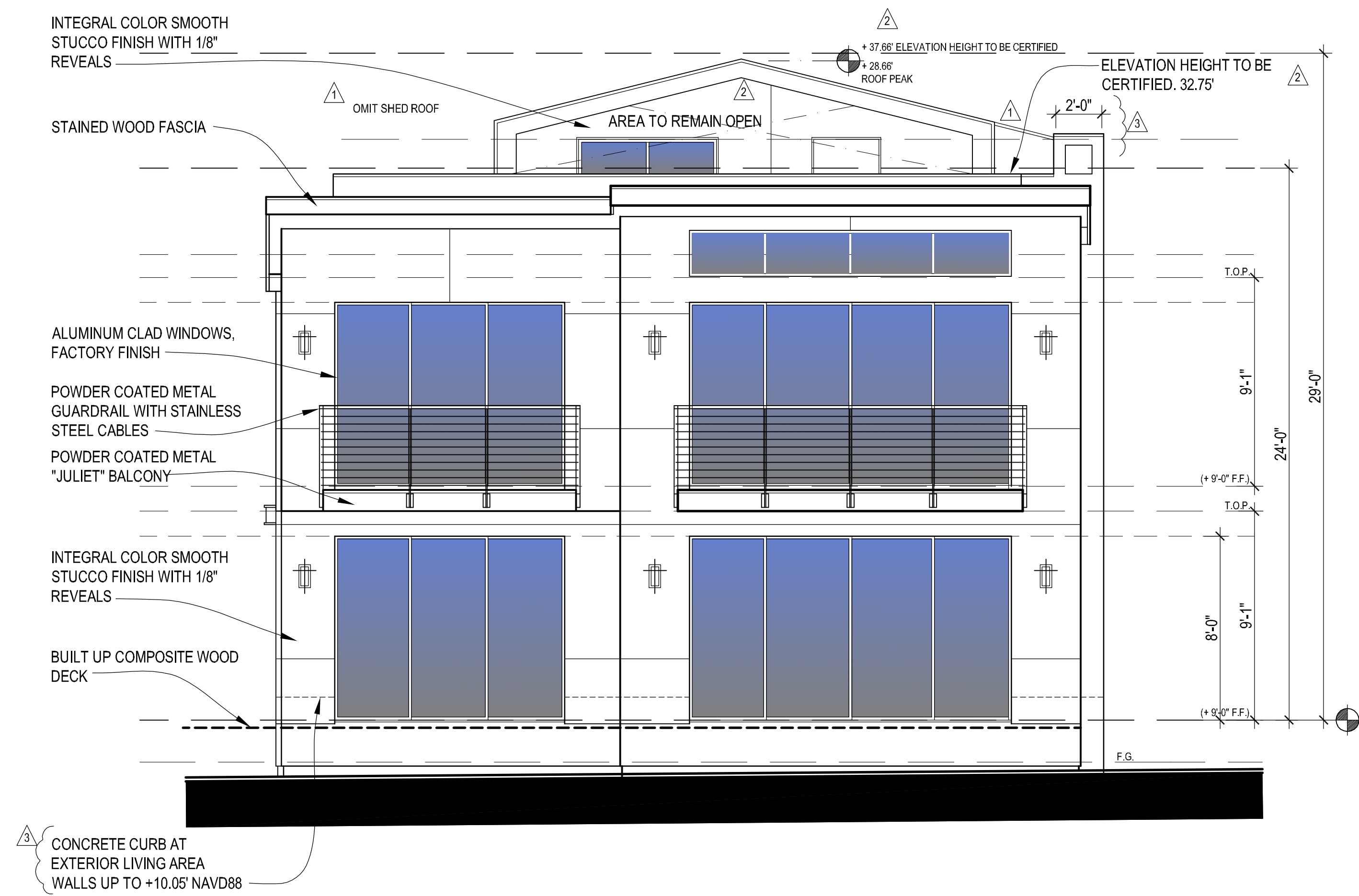
JULY 27, 2018

A New Residential Duplex for: PENINSULA REAL ESTATE INVESTMENTS, INC.

3406 Marcus Avenue . Newport Beach . California . 92663

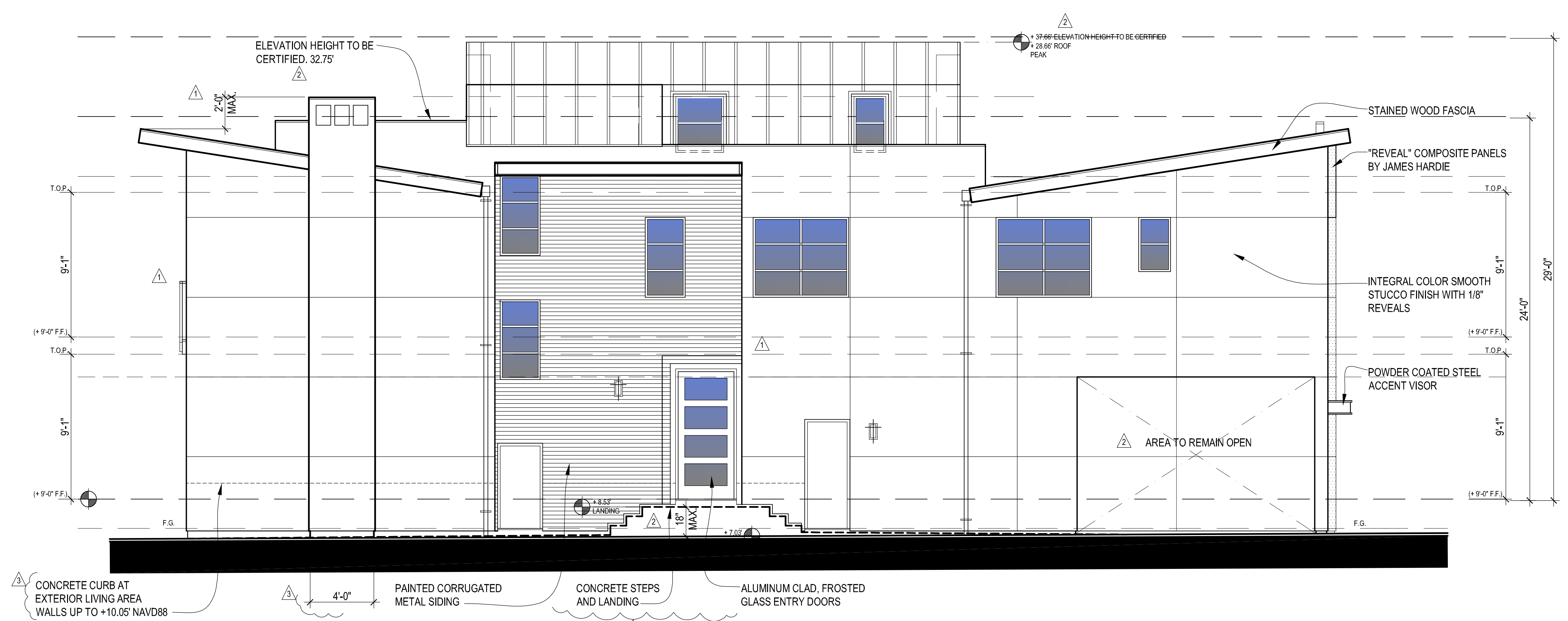


3300 Irvine Avenue, Suite 135
Newport Beach, California 92660
T 714 486 3318 M 949 338 6420



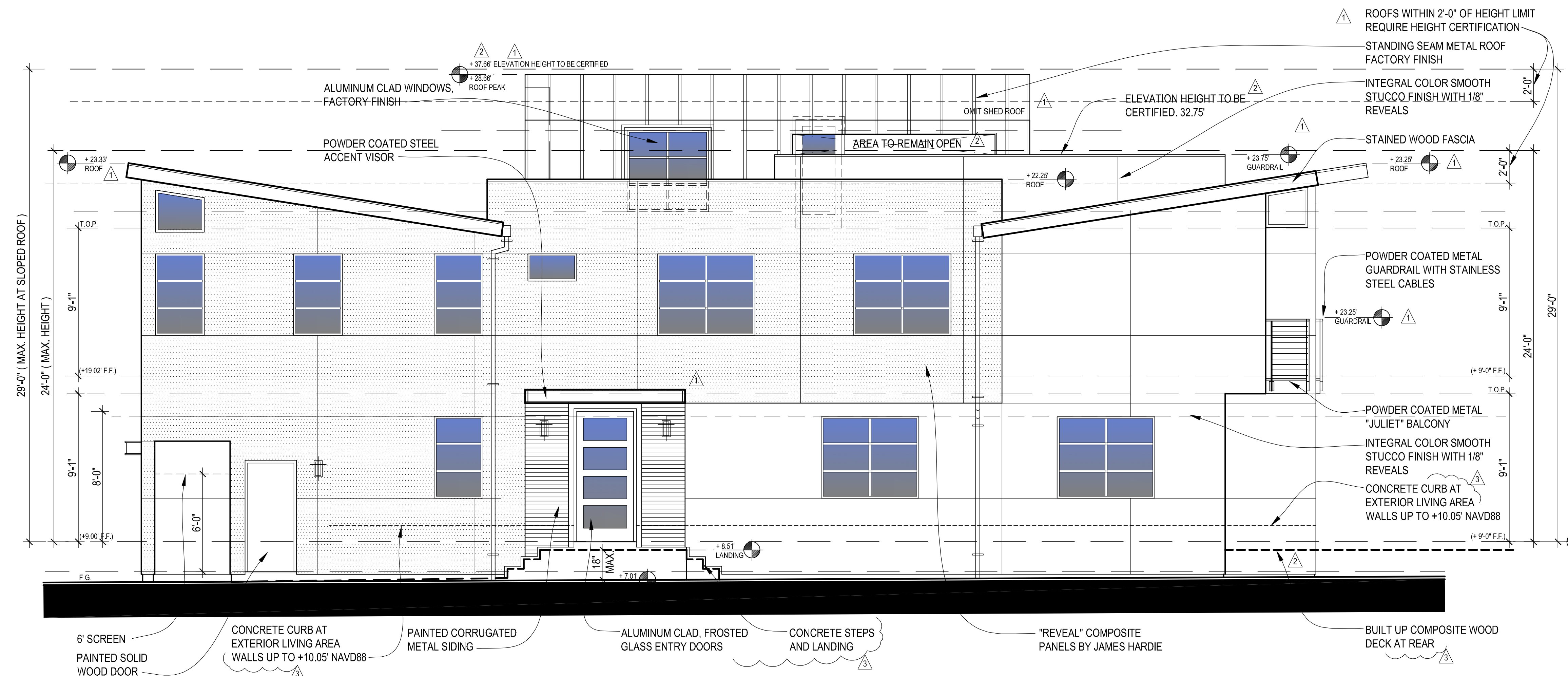
REAR ELEVATION

SCALE: 1/4" = 1'-0"



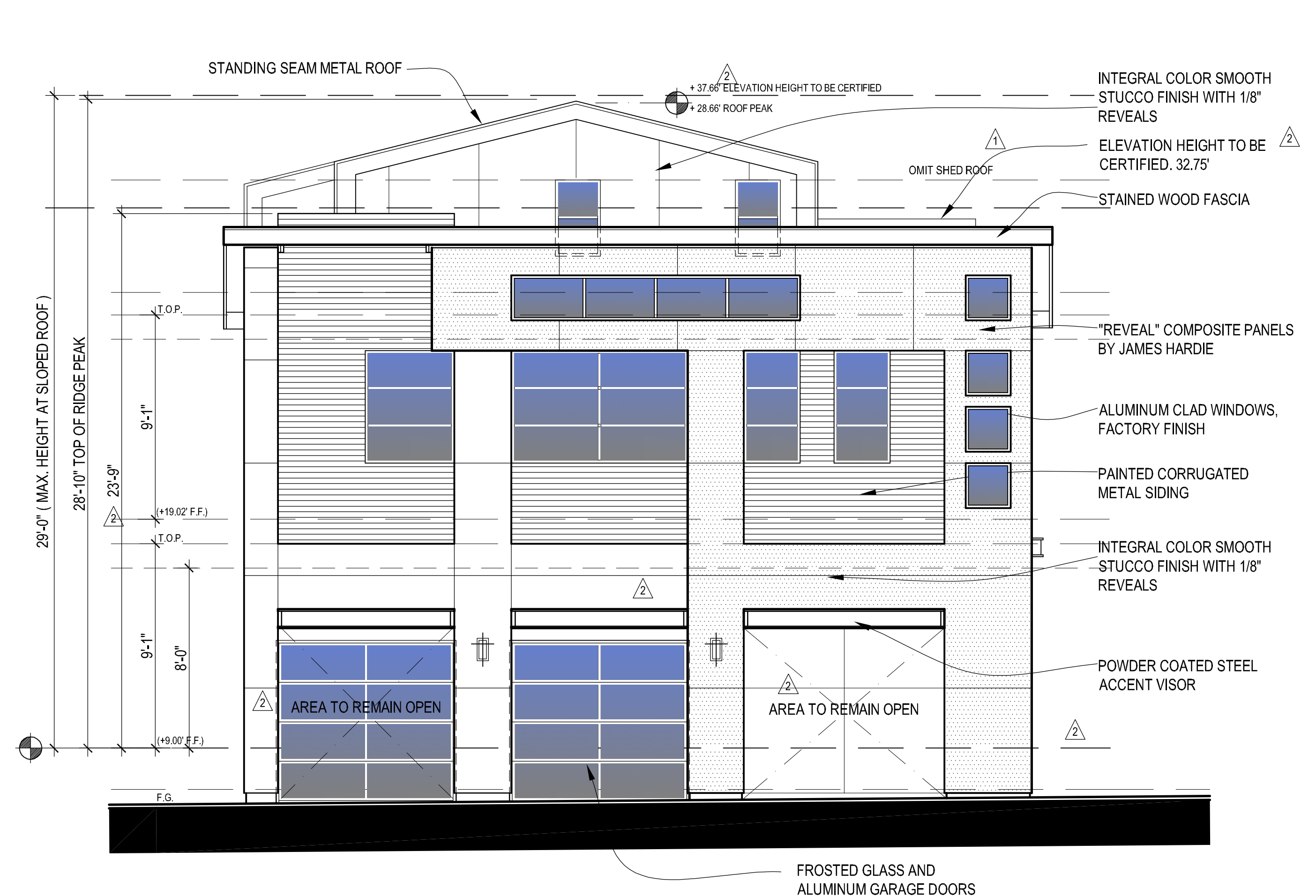
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A New Residential Duplex for:

PENINSULA REAL ESTATE INVESTMENTS, INC.

3406 Marcus Avenue . Newport Beach . California . 92663

CD 2018-061 | PA 2018-143

No.	Description	Date
1	CDP Submittal	JUL 11, 2018
2	CDP Resubmittal - 1st Comments	JUL 31, 2018
3	CDP Resubmittal - 2nd Comments	SEP 10, 2018
4	CDP Resubmittal - 3rd Comments	OCT 24, 2018

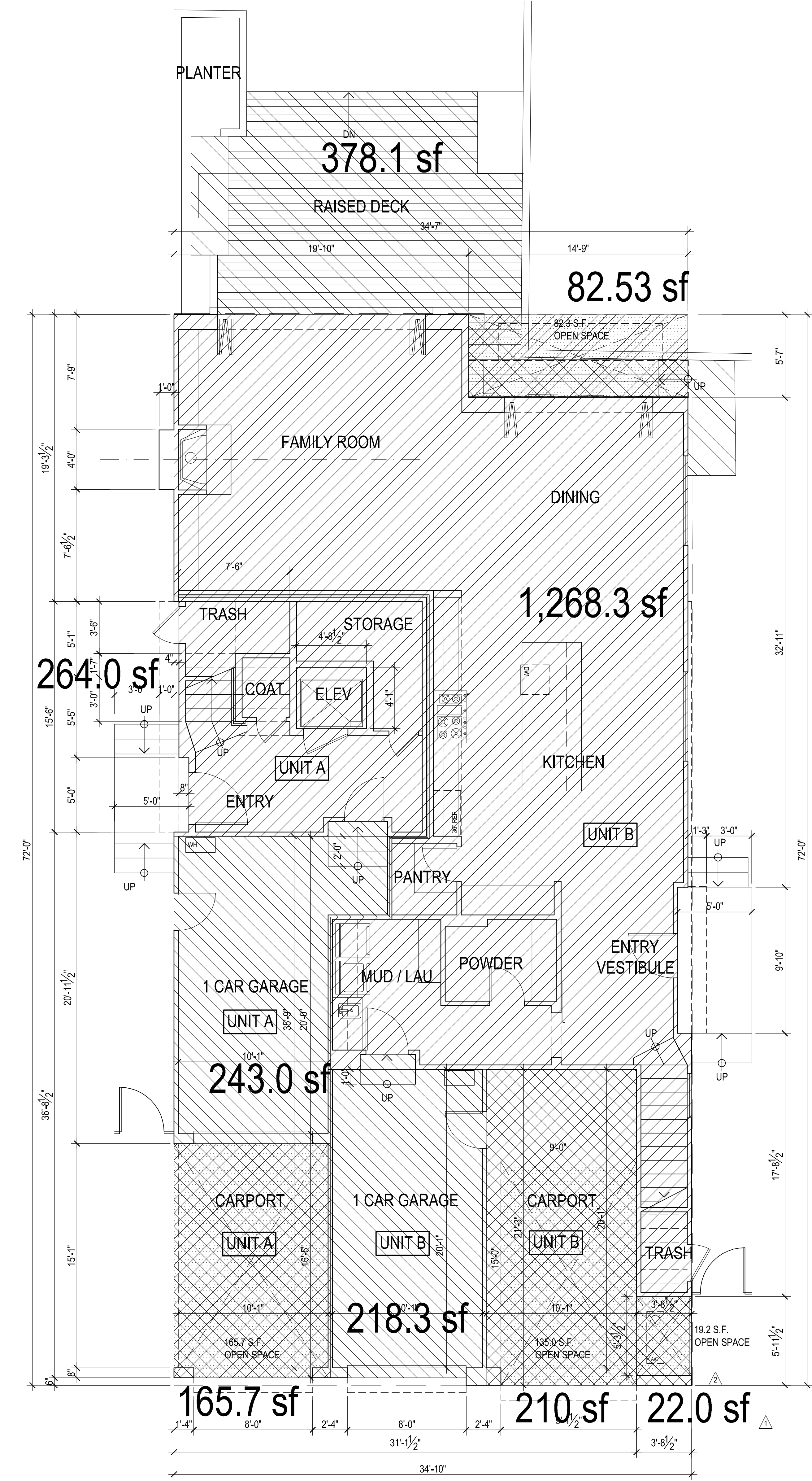
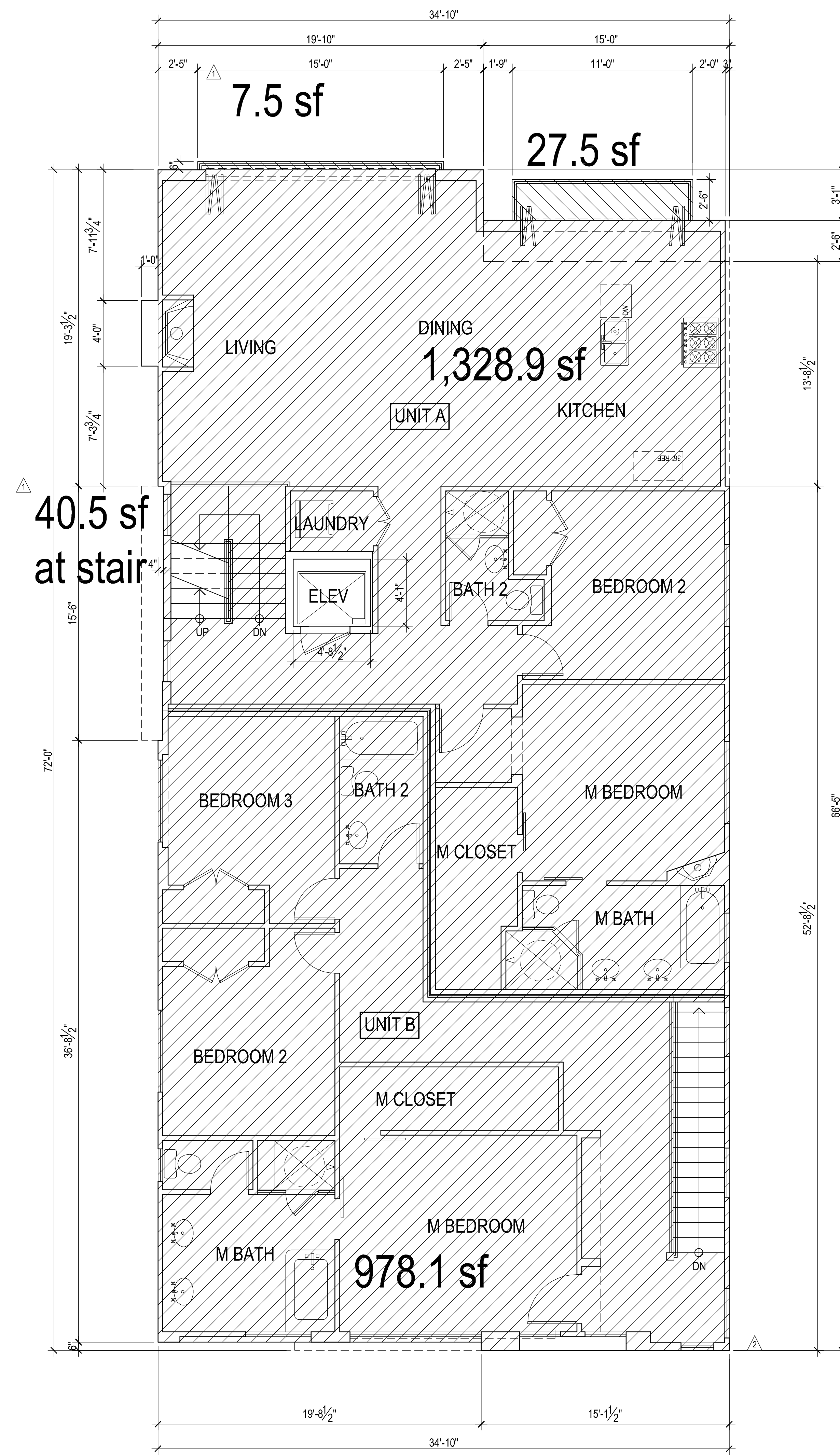
A-4

PROJECT # 180202



3300 Irvine Avenue, Suite 135
Newport Beach, California 92660
T 714 486 3318 M 949 338 6420

JULY 27, 2018



CD 2018-061 | PA 2018-143

No.	Description	Date
1	1st CDP Submittal	JUL. 11, 2018
2	CDP Resubmittal - 1st Comments	JUL. 31, 2018
3	CDP Resubmittal - 2nd Comments	SEP. 10, 2018
4	CDP Resubmittal - 3rd Comments	OCT. 24, 2018

A-5
PROJECT # 180202



3300 Irvine Avenue, Suite 135
Newport Beach, California 92660
T 714 486 3318 M 949 338 6420

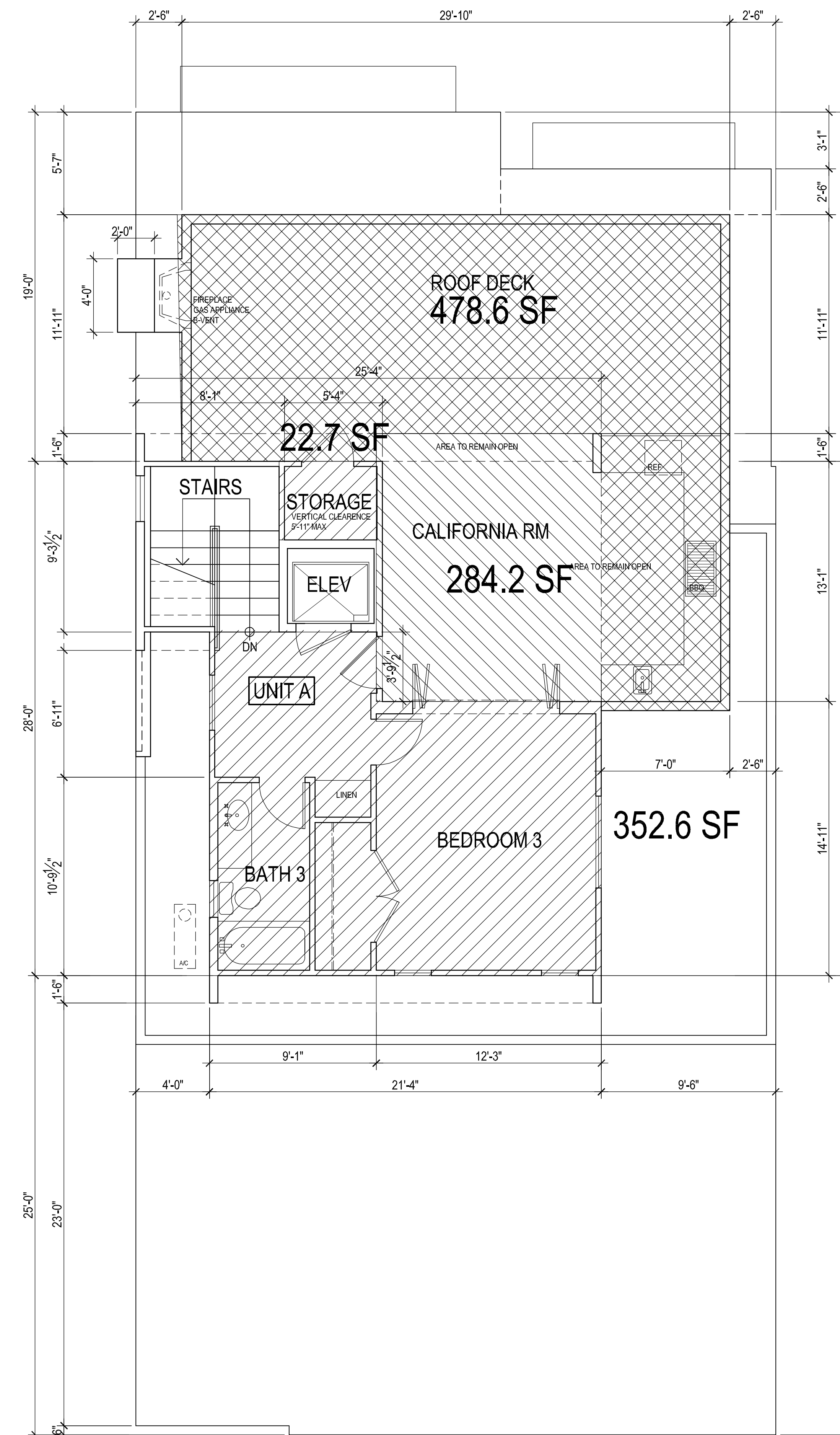
A New Residential Duplex for:

PENINSULA REAL ESTATE INVESTMENTS, INC.

3406 Marcus Avenue . Newport Beach . California . 92663



JULY 27, 2018



A New Residential Duplex for:

PENINSULA REAL ESTATE INVESTMENTS, INC.

3406 Marcus Avenue . Newport Beach . California . 92663

CD 2018-061 | PA 2018-143

Revision Log		
No.	Description	Date
	1st CDP Submittal	JUL. 11, 2018
1	CDP Resubmittal - 1st Comments	JUL. 31, 2018
2	CDP Resubmittal - 2nd Comments	SEP. 10, 2018
3	CDP Resubmittal - 3rd Comments	OCT. 24, 2018

A-6

PROJECT # 180202



JULY 27, 2018



3300 Irvine Avenue, Suite 135
Newport Beach, California 92660
T 714 486 3318 . M 949 338 6420

Project Contacts

OWNER: TRIMAR PROPERTIES
2015 SHIPWAY LANE,
NEWPORT BEACH, CA 92660
CONTACT: MATT NAEHRING
TEL. (949) 889-7905

ARCHITECT: GB ARCHITECTURE
3300 IRVINE AVENUE, SUITE 135
NEWPORT BEACH, CA 92660
CONTACT: RICK GUINA ARCHITECT
TEL. (949) 338-8420

CIVIL ENGINEER: J.T. CONSULTING ENGINEERS
14371 EUCLID STREET, #2F
GARDEN GROVE, CA 92843
CONTACT: JOHN TRAN P.E.
TEL. (714) 815-2356

SURVEYOR: APEX LAND SURVEYING
8512 OXLEY CIRCLE,
HUNTINGTON BEACH, CA 92646
CONTACT: PAUL CRAFT
TEL. (714) 488-5006

GEOTECH ENGINEER: COAST GEOTECHNICAL
1200 W COMMONWEALTH AVENUE,
FULLERTON, CA 92883
CONTACT: DAN HERC
TEL. (714) 870-1211

LANDSCAPE ARCHITECT: JAMES PEKARSKE
1219 GANADO
SAN CLEMENTE, CA 92673
CONTACT: JAMES PEKARSKE
TEL. (949) 433-8558

Project Information

PROJECT ADDRESS: 3406 MARCUS AVENUE,
NEWPORT BEACH, CA 92660

COASTAL DEVELOPMENT
PERMIT NO.: CD 2018-061
PA 2018-143

PROJECT DESCRIPTION: DEMOLISH EXISTING MULTI-FAMILY
RESIDENTIAL BUILDING

PROPOSED NEW CONSTRUCTION
RESIDENTIAL DUPLEX WITH 2 OFF STREET
PARKING FOR EACH UNIT

ZONING: R-2, S-2A

APN: 423-373-04

LEGAL DESCRIPTION: LOT 4 AND THE NORTHWESTERLY ONE-HALF
OF LOT 3 OF BLOCK 334 OF THE CANAL
SECTION, NEWPORT BEACH, AS PER MAP
RECORDED IN BOOK 4, PAGES 98, OF
MISCELLANEOUS MAPS IN THE OFFICE OF
THE COUNTY RECORDER OF SAID COUNTY.

Area Calculations

LOT SIZE 4,288 SQ. FT.

(SEE ARCHITECT'S AREA CALCULATIONS ON PROJECT DATA SHEET)

AREA CALCULATIONS

Front Yard Area Only
(28'-1" x 25'-0") = 702 S.F. (100%)

- Hardscape (Impervious) = 297 S.F. (42.3%)
(Paving, BBQ, Fire Pit & Walls)
- Wood Deck (Pervious) = 270 S.F. (38.5%)
- Synthetic Lawn (Pervious) = 66 S.F. (9.4%)
- Planting Area (Pervious) = 69 S.F. (9.8%)

(100.0%)

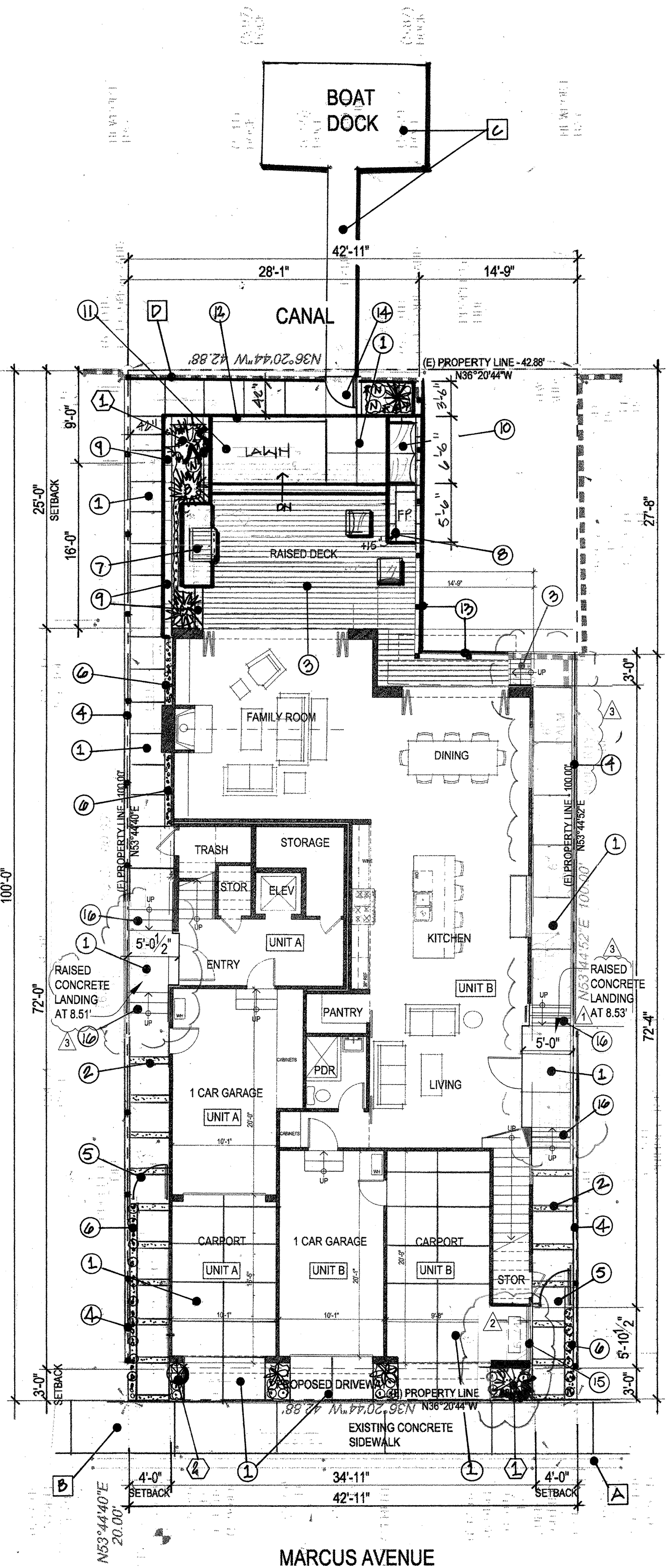
Lot Size (Total) = 4,288 S.F.

- Total Site Landscape Area = 180 S.F.
(Irrigated)

Index

L-1 PRELIMINARY LANDSCAPE PLAN

Vicinity Map



SITE PLAN

SCALE: 1/8" = 1'-0"

A New Residential Duplex for:

TRIMAR PROPERTIES, INC.

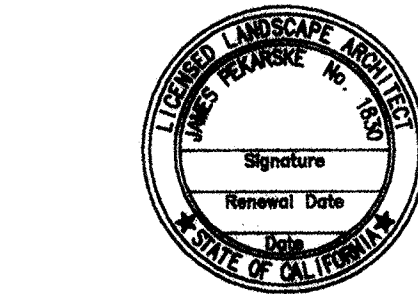
3406 Marcus Avenue . Newport Beach . California . 92663

L-1

PROJECT # 180202
218-012



3300 Irvine Avenue, Suite 135
Newport Beach, California 92660
T 714 486 3319 M 949 338 6420



LANDSCAPE ARCHITECT
JAMES PEKARSKE
1219 Ganado
San Clemente, Ca. 92673
Ph/Fax: (949) 366-8865 Cal.
Lic.# 1830 Nev. Lic. #497

5-29-2018
10-24-2018

3



- LEGEND
- BLOCK WALL
 - WOOD FENCE (WDF)
 - AC ASPHALT PAVEMENT
 - CATV CABLE TV BOX
 - C CENTERLINE
 - EG EDGE OF GUTTER
 - FF FINISHED FLOOR
 - FFG FINISHED FLOOR GARAGE
 - FL FLOWLINE
 - FS FINISHED SURFACE
 - GM GAS METER
 - NG NATURAL GROUND
 - TB TOP OF BULKHEAD
 - TC TOP OF CURB
 - WDF WOOD FENCE
 - WH WATER HEATER
 - WM WATER METER
 - WV WATER VALVE
 - () EXISTING ELEVATION
 - O SEARCHED, FOUND NOTHING; SET NOTHING
 - T.B.M. TEMPORARY BENCHMARK SET ON A WATER METER (WM) ELEVATION = 6.51 FEET
 - BRICK SURFACE
 - CONCRETE SURFACE

TITLE REPORT/EASEMENT NOTES

3406 MARCUS AVENUE
NEWPORT BEACH, CA 92663
(APN: 423-373-04)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 4 AND THE NORTHWESTERLY ONE-HALF OF LOT 3 OF BLOCK 334 OF THE CANAL SECTION, NEWPORT BEACH, AS PER MAP RECORDED IN BOOK 4, PAGES 98, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK INFORMATION

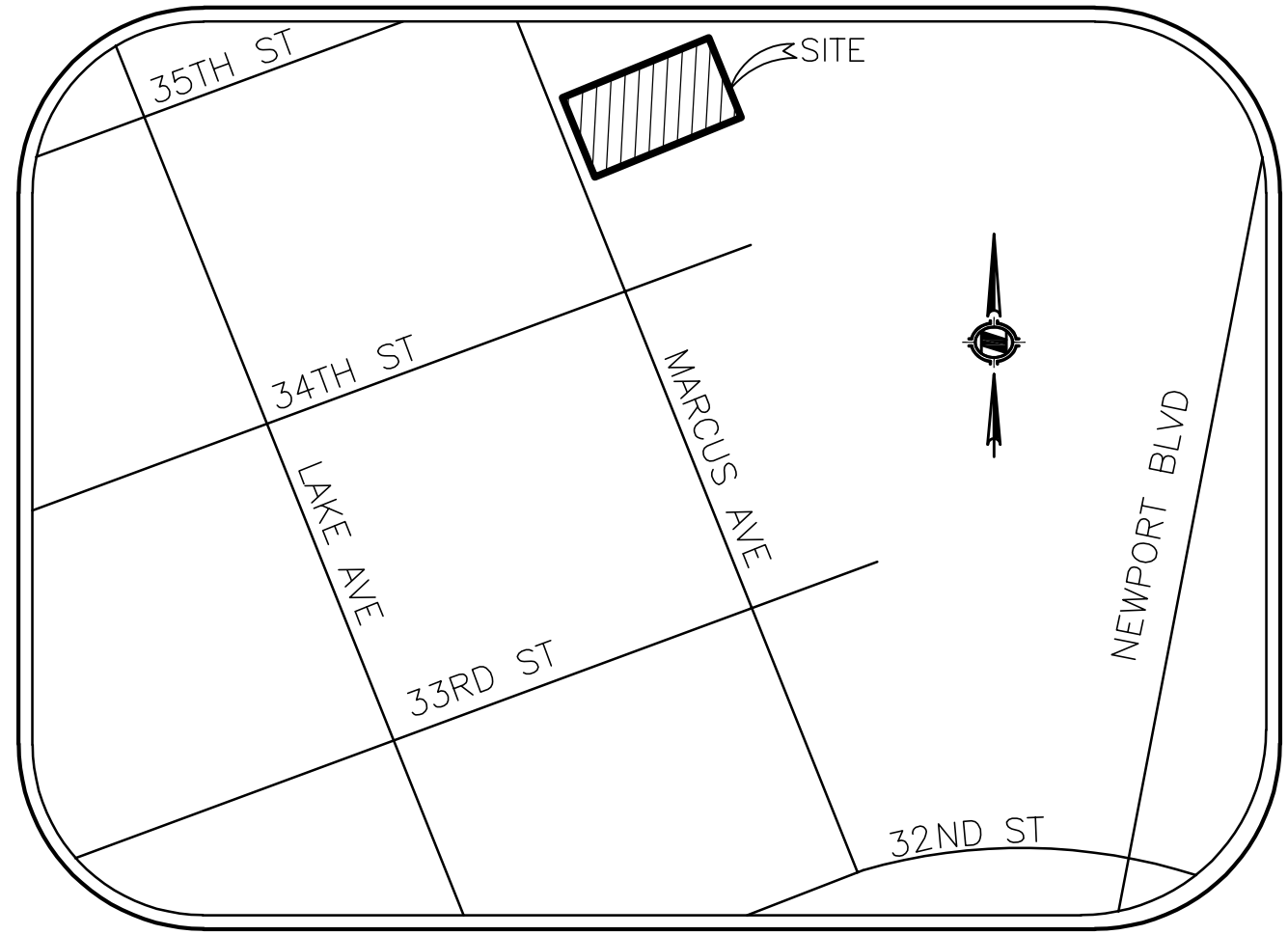
BENCHMARK NO: J-782

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "J 782 1946", SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF 29TH STREET AND NORTHBOUND NEWPORT BOULEVARD, 24.3 FT. EASTERLY OF THE CENTERLINE OF THE NORTHBOUND LANES ALONG NEWPORT BOULEVARD AND 23.3 FT. NORTHERLY OF THE CENTERLINE OF 29TH STREET. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

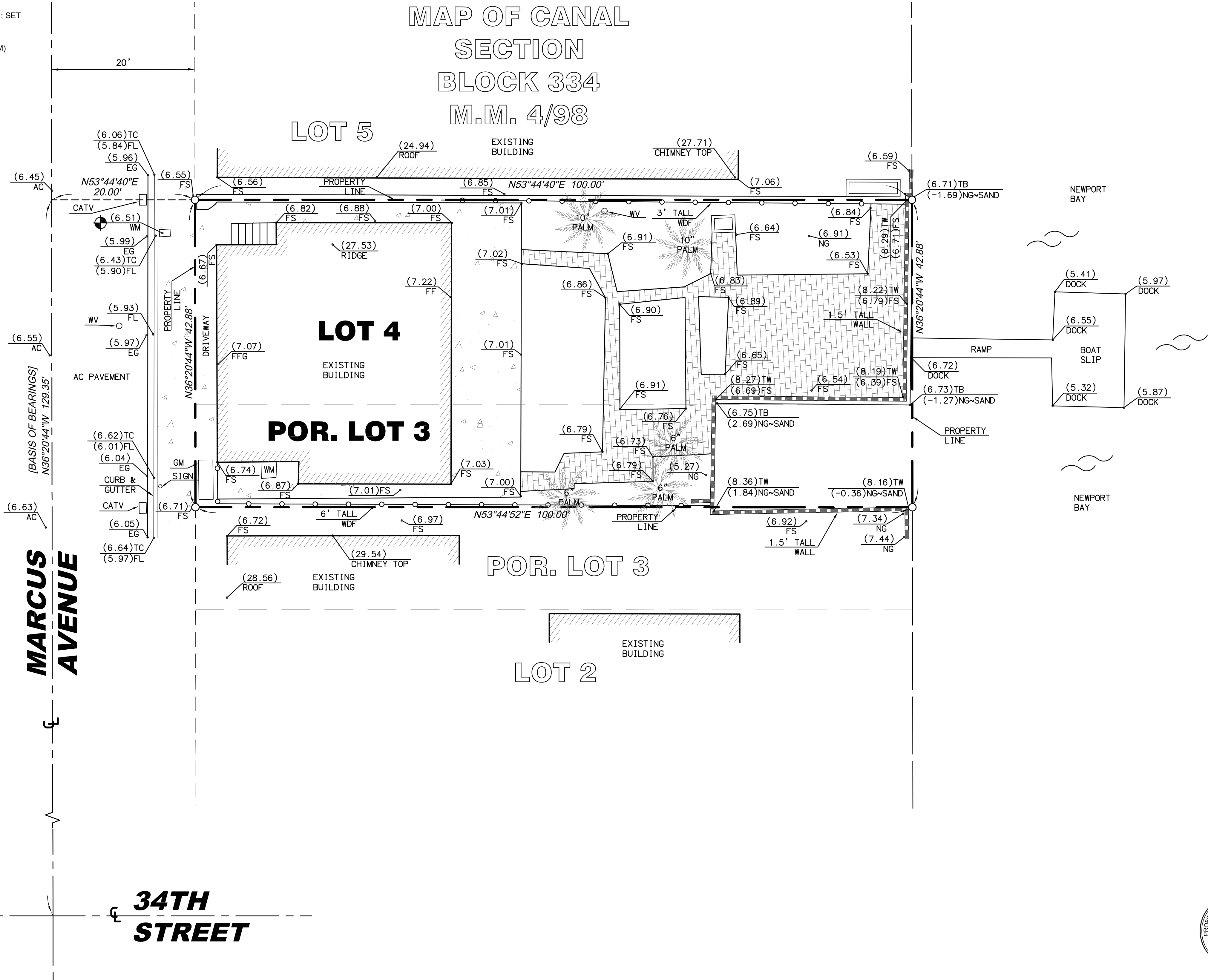
ELEVATION: 6.978 FEET (NAVD88), YEAR LEVELED 2015

BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF VIA LIDO NORD HAVING A BEARING OF N61°00'00"W PER TRACT NO. 907, M.M. 28/25-36.



VICINITY MAP
NO SCALE



SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.



PAUL D. CRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/18
DATE 3/7/2018
NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

APEX LAND SURVEYING INC.
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 488-5006 FAX: (714) 333-4440
APEXLSINC@GMAIL.COM

PROJECT SURVEYOR

DATE 3/6/2018
SCALE 1" = 8'
DRAWN J. A. H.
CHECKED P. D. C.

TOPOGRAPHIC MAP
3406 MARCUS AVENUE
NEWPORT BEACH, CA 92663
(APN: 423-373-04)

SHEET TITLE TOPOGRAPHIC MAP
PROJECT 3406 MARCUS AVENUE
SHEET NO. 1 OF 1

PROJECT NO. 18027

GRADING GENERAL NOTES

GRADING

1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC). THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
2. DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE.
3. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
4. WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10–28 OF THE NBMC.
5. NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10–28 OF THE NBMC.
6. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
7. PERMITTEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.

APPROVED DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.

CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.

10. HAUL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
11. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPE AREAS.
12. FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON–SITE AT THE APPROPRIATE TIMES SHALL RESULT IN FORFEITURE OF THE CONSTRUCTION SITE CLEANUP DEPOSIT.
13. ALL PLASTIC DRAINAGE PIPE SHALL CONSIST OF PVC OR ASS PLASTIC AND EITHER ASTM 2751, ASTM 01527, ASTM D3034 OR ASTM D1785.
14. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE BE REMOVED FROM THE SITE. NBMC 17.32.020

GRADING FILLS AND CUTS

GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.

FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.

ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.

AREA TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.

FILLS SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.

ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.

ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.

THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.

THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.

10. ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CURING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
11. THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY GRADING ENGINEER.
12. LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBMC.
13. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE CITY GRADING ENGINEER FOR APPROVAL.
14. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE CITY GRADING ENGINEER PRIOR TO CONSTRUCTION.
15. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
16. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
17. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
18. NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE CITY GRADING ENGINEER. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE CITY GRADING ENGINEER FOR APPROVAL.

EROSION CONTROL

1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON SITE BETWEEN OCTOBER 15 AND MAY 15.
3. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE–DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
4. LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND A CERTIFICATE OF CONFORMANCE RECEIVED BY THE CITY GRADING ENGINEER PRIOR TO CLOSURE OF PERMIT, UNLESS WAIVED BY THE CITY GRADING ENGINEER.
5. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

REQUIRED INSPECTIONS

1. A PRE–GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
2. A PRE–PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB–GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

UNDERGROUND UTILITY NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL POTHOLE ALL UTILITY CROSSINGS AND CONNECTIONS, AND VERIFY THE LOCATION AND ELEVATION OF ALL AFFECTED UTILITIES. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
2. LOCATIONS OF SUBSTRUCTURES ON PLANS ARE SHOWN FROM THE BEST AVAILABLE INFORMATION HOWEVER, SUCH LOCATIONS AS SHOWN, OR FAILURE TO SHOW EXISTING SUBSTRUCTURES SHALL NOT RELIEVE THE PROTECTING FROM THE RESPONSIBILITY OF VERIFYING THE LOCATIONS AND PROTECTING ALL SUBSTRUCTURES FROM DAMAGE.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND MAKE NECESSARY ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST TWO DAYS PRIOR TO BEGINNING CONSTRUCTION, TELEPHONE: 1–800–227–2600

DOCUMENTATION

1. AN AS–BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS–GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUB–SURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
2. A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS. SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
3. A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

UNAUTHORIZED CHANGES AND USES:

1. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPORT DISCREPANCIES IN PLANS OR FIELD CONDITIONS IMMEDIATELY TO THE DESIGN ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION.

PERMITTING NOTE:

SEPARATE REVIEW AND APPROVAL IS REQUIRED FOR FENCING, BLOCK WALLS, SITE LIGHTING, TRASH ENCLOSURES, IRRIGATION AND LANDSCAPE, SIGNS AND ACCESSORY STRUCTURES.

ENCROACHMENT PERMIT NOTE:

ALL WORK ON STREET RIGHT–OF–WAY SHALL NOT COMMENCE UNTIL AND ENCROACHMENT PERMIT HAS BEEN ISSUED.

STREET/ALLEY IMPROVEMENT NOTE:

NEW CONCRETE SIDEWALK , CURB AND GUTTER, AND ALLEY/ STREET PAVEMENT MAY BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. SAID DETERMINATION SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

UTILITY NOTE:

ALL UTILITY SERVICE CONNECTIONS SERVING THE DEVELOPMENT, INCLUDING THE TELEPHONE, ELECTRICITY, AND CABLE, SHALL BE MADE UNDERGROUND TO THE NEAREST POWER POLE.

NOTE TO CONTRACTOR:

1. REFER TO ARCHITECTURAL PLANS FOR HORIZONTAL CONTROL DIMENSIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL POSITION OF ALL POINTS OF CONNECTION TO EXISTING STRUCTURES. THIS SHALL INCLUDE BOTH ABOVE GROUND AND BELOW GROUND POINTS OF CONNECTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE BEGINNING OF CONSTRUCTION.

EARTHWORK

- I. QUANTITIES SHOWN HEREON ARE FOR PERMIT FEE ESTABLISHMENT PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING OR CONTRACT PURPOSES. CONTRACTOR IS REQUIRED TO VERIFY ALL QUANTITIES PRIOR TO COMMENCEMENT OF WORK.
- II. SEE SOIL REPORT No. 20151003–1, PREPARED BY R MCCARTHY CONSULTING INC, DATED APRIL 24, 2018, FOR ADDITIONAL INFORMATION AND/OR REQUIREMENTS.
- III. VALUES PRESENTED FOR BULKING ARE AN ESTIMATES ONLY. VALUES SHOULD BE REEVALUATED DURING THE EARLY STAGES OF SITE GRADING TO INSURE THE BALANCE OF CUT AND FILL QUANTITIES. (BULKING AND SHRINKAGE ARE NOT ANTICIPATED AT THIS TIME)
- IV. VALUES SHOWN DO NOT ADDRESS OVER–EXCAVATION REQUIRED IN CUT/FILL TRANSITION PADS PURSUIT TO THE CURRENT REQUIREMENTS OF THE COUNTY OF ORANGE. SITE SPOILS SUCH AS, FOUNDATIONS, RETAINING WALLS, UTILITY TRENCHING, ETC. ARE NOT ACCOUNTED FOR IN THE ABOVE VOLUMES.

Yardage Calculations:

Gross Yardage Volumes: Cut = 6 c.y. Fill = 150 c.y. Import = 144 c.y.
Overexcavation = –c.y.

SITE SQUARE FOOTAGE= 4,278 S.F.

BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF VIA LIDO NORD HAVING A BEARING OF N61°00'00"W PER TRACT NO. 907, M.M. 28/25–36.

BENCH MARK

BENCHMARK NO: J–782

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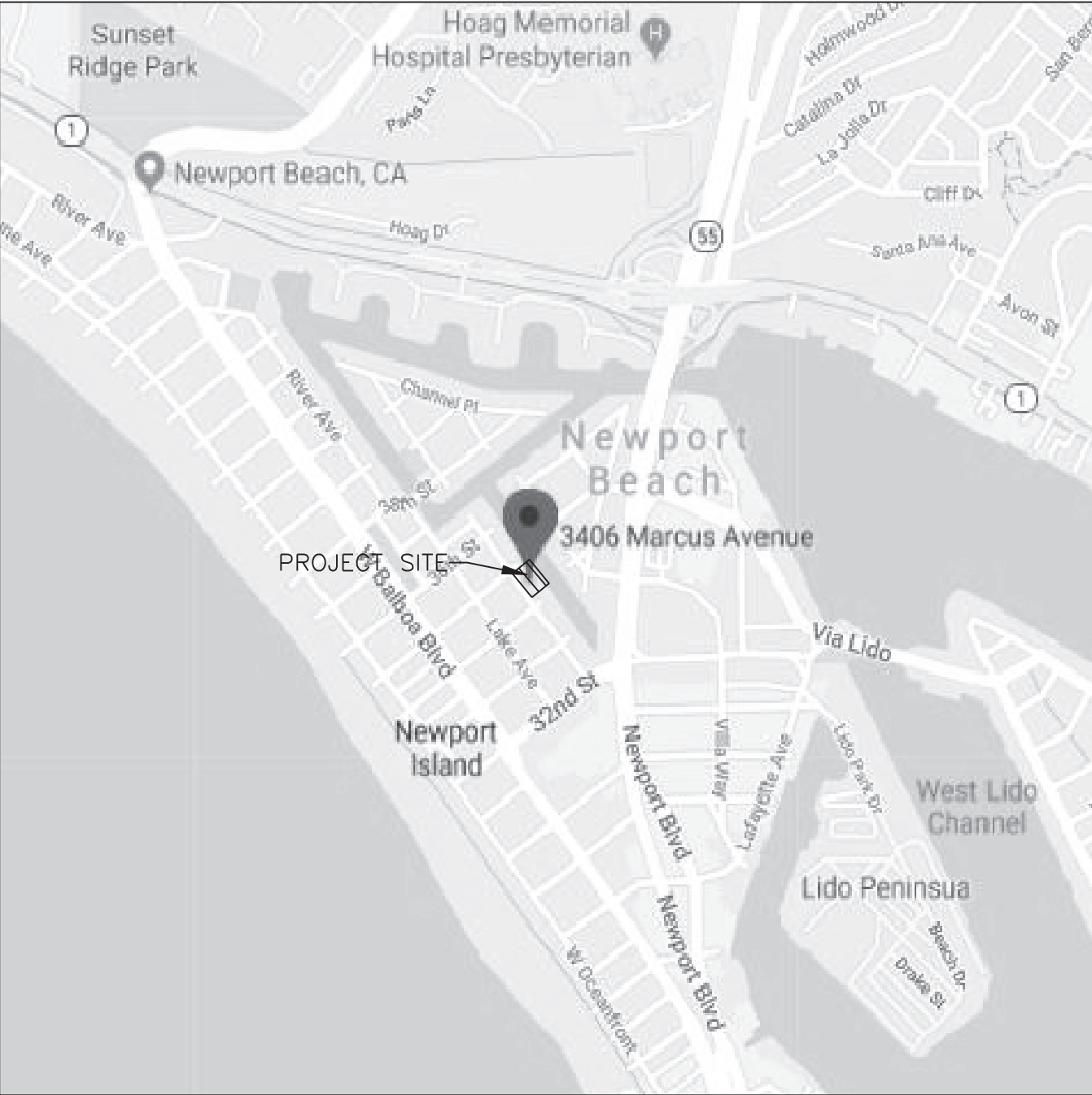
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APN: 423–373–04



VICINITY MAP
NTS

ABBREVIATIONS

A.B.	AGGREGATE BASE	FL	FLOW LINE	PVMT	PAVEMENT
A.C.	ASPHALT CONCRETE	FS	FINISHED SURFACE	RCP	REINFORCED CONCRETE PIPE
BCR	BEGIN OF CURB RETURN	FT	FEET	R/W	RIGHT OF WAY
BM	BENCH MARK	G	GAS	SF	SQUARE FEET
BW	BACK OF WALK	GB	GRADE BREAK	SL	SLOPE
CB	CATCH BASIN	GFF	GARAGE FINISH FLOOR	SPFPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
CF	CURB FACE	HL	HOUSE LATERAL	SFD	SINGLE FAMILY DWELLING
C&G	CURB AND GUTTER	HP	HIGH POINT	SPPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
CIP	CAST IRON PIPE	INV	INVERT ELEVATION	SQ	SQUARE
CL	CENTER LINE	LF	LINEAR FEET	S	SEWER
CLB	CITY OF LONG BEACH	LS	LANDSCAPE	TC	TOP OF CURB
CMU	CONCRETE MORTAR UNIT	MH	MAINTENANCE HOLE	TG	TOP OF GRATE INLET
CO	CLEAN OUT	MIN	MINIMUM	TRW	TOP OF RETAINING WALL
CY	CUBIC YARD	(N)	NEW	TSW	TOP OF STEM WALL
DIA	DIAMETER	NDS	DRAINAGE/FITTINGS MANUF.	TW	TOP OF WALL
EA	EACH	NG	NATURAL GROUND	TYP	TYPICAL
(E)	EXISTING	NTS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
ECR	END OF CURB RETURN	PA	PLANTER AREA	VCP	VITRIFIED CLAY PIPE
ELEV	ELEVATION	PCC	PORTLAND CEMENT CONCRETE	W	WATER
EP	EDGE OF PAVEMENT	PE	PAD ELEVATION	W/	WITH
FFE	FINISH FLOOR ELEVATION	PL	PROPERTY LINE	WM	WATER METER
FG	FINISH GRADE	POC	POINT OF CONNECTION	WV	WATER VALVE
		PP	POWER POLE	WWM	WELDED WIRE MESH
		PVC	POLYVINYL CHLORIDE		

OWNER

MATT NAEHRING
3406 MARCUS AVE
NEWPORT BEACH, CA
949.689.7905

CIVIL ENGINEER

JT CONSULTING ENGINEERS
14371 EUCLID ST. #2F
GARDEN GROVE, CA 92843
CONTACT: JOHN TRAN
© 714.265.1200

ARCHITECT

RICK GUINA
GB ARCHITECTURE
3300 IRVINE AVE. #135
NEWPORT BEACH CA . 92660
T 714 486–3318

SOIL ENGINEER

EGA CONSULTANT,LLC
375–C MONTE VISTA AVE
COSTA MESA, CA 92627
949.642.9309



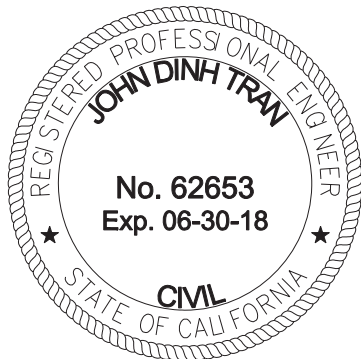
Call Toll Free
1–800–227–2600
2 Working Days Before You Dig
Underground Service Alert
of Southern California

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'V'D

JT CONSULTING ENGINEERS

14371 EUCLID ST., #2F
GARDEN GROVE, CA 92843
PHONE: (714) 815-2356



ENGINEERING SCALE:

PREPARED UNDER THE SUPERVISION OF:

JOHN TRAN

DRAWN: K.C.

CHECKED: J.T.

RECOMMENDED:

APPROVED:

DATE:

5-05-18

5-05-18

PLANS REVIEWED BY:

CITY OF NEWPORT BEACH, BUILDING DEPARTMENT

100 CIVIC CENTER DRIVE
NEWPORT BEACH, CA 92660

APPROVED SIGNATURE

DATE

GRADING PERMIT NUMBER: _____

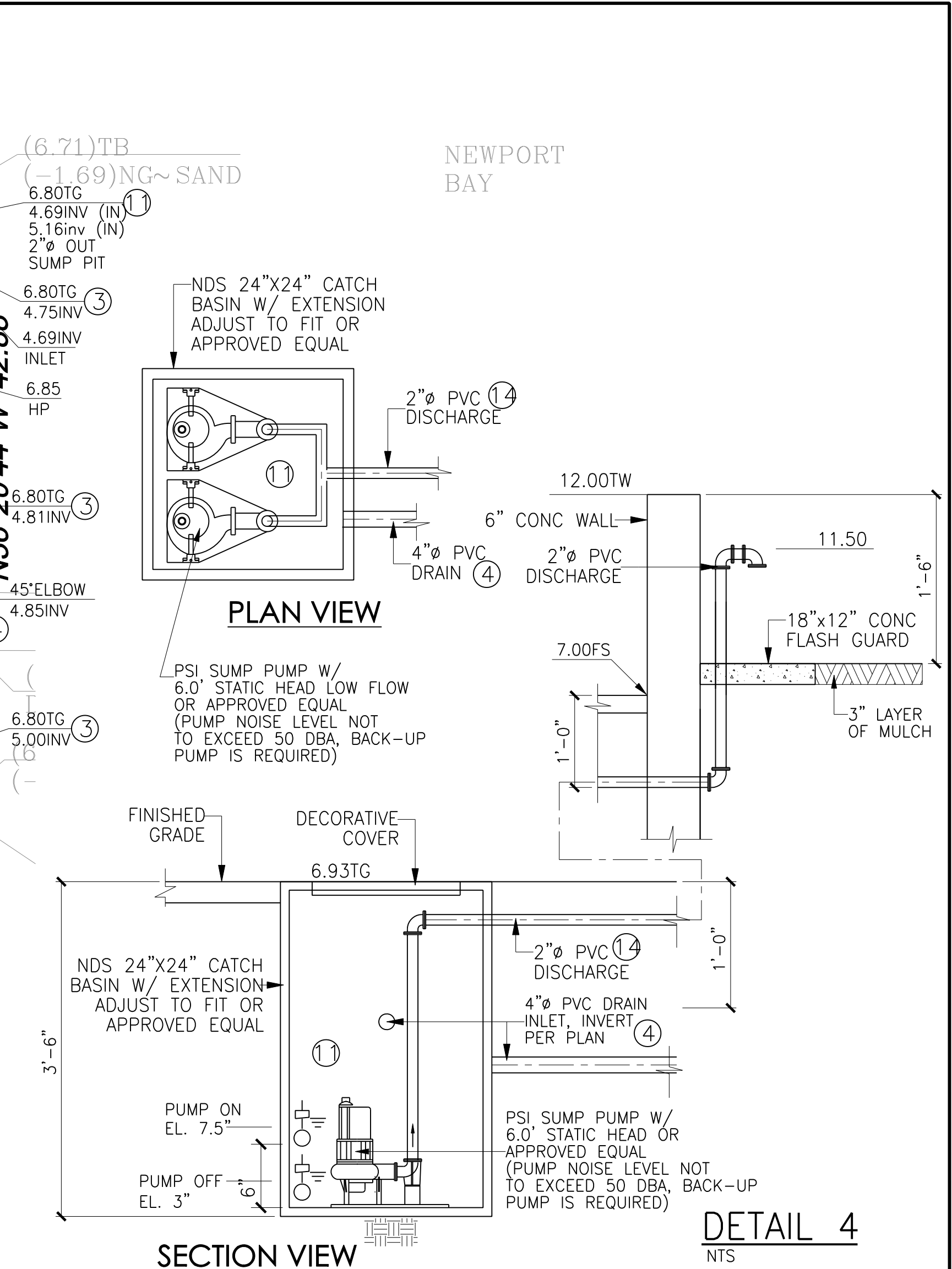
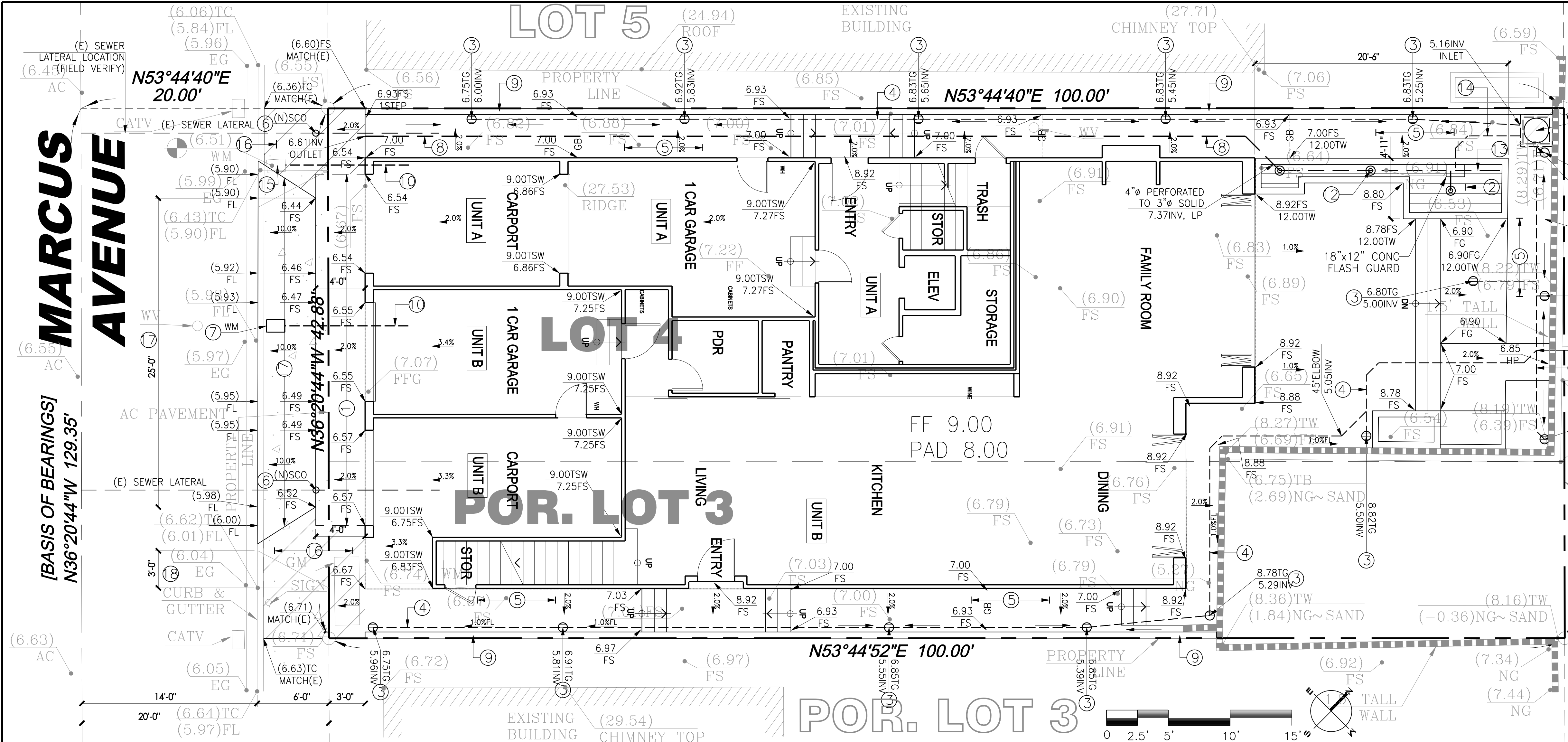
TITLE SHEET & NOTES

3406 MARCUS AVE
NEWPORT BEACH, CA 92662
TEL 949.689.7905

DRAWING NUMBER:

C-1

SHEET 1 OF 5



CONSTRUCTION NOTES

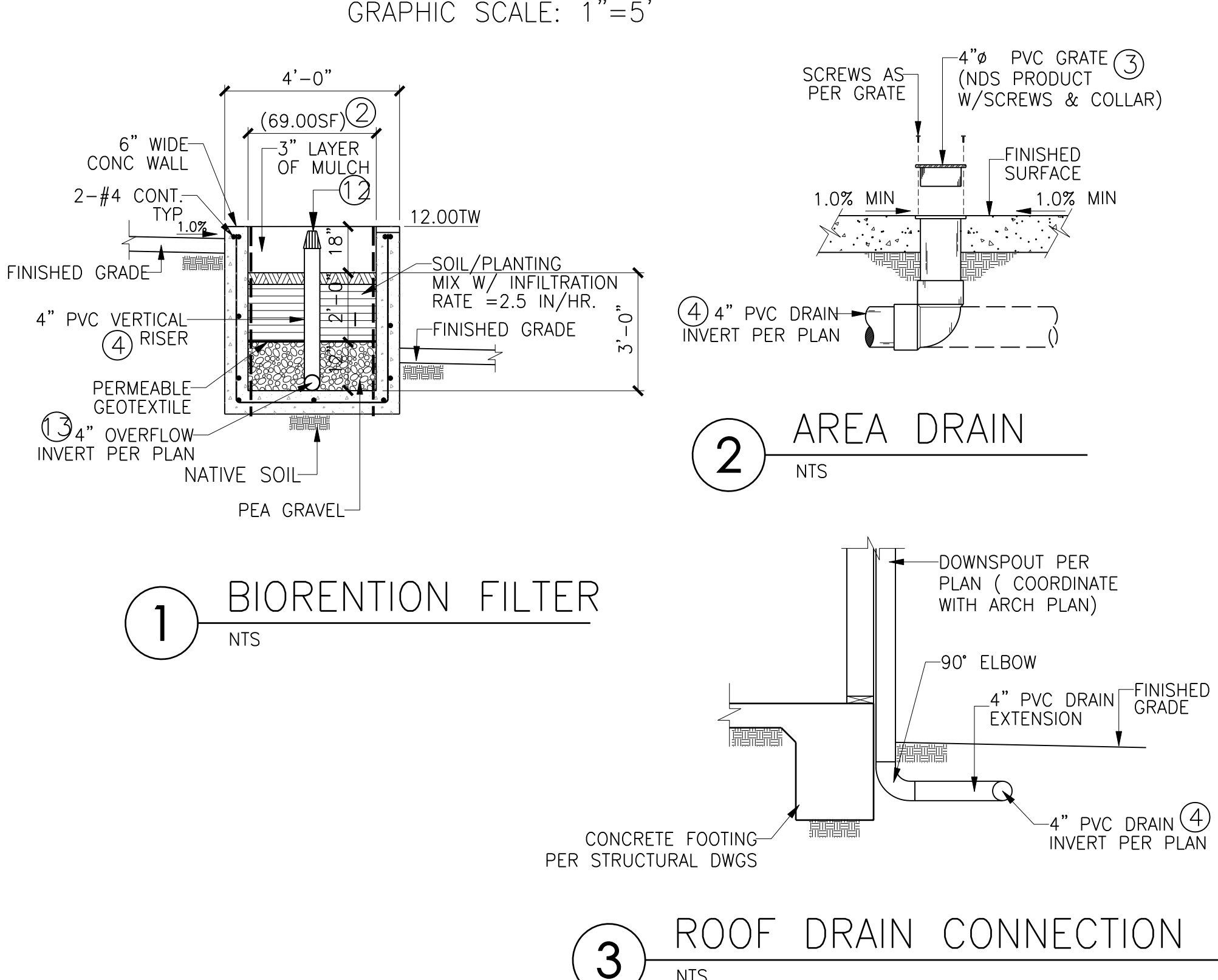
- CONSTRUCT 5" CONCRETE (3000 PSI) RESIDENTIAL DRIVEWAY W/ #4 @ 18" O.C. EA WAY OVER COMPACTED GRADE
- CONSTRUCT BIORETENTION WITH UNDERDRAIN PER DETAIL 1 OF SHEET C.2.
- INSTALL 4" AREA DRAIN PER DETAIL 2 OF SHEET C.2
- INSTALL 4" PVC DRAIN PIPE SDR 35
- CONSTRUCT CONCRETE OR PAVER HARDSCAPE AS SELECTED BY OWNER
- INSTALL 6" PVC SDR-35 SEWER SERVICE LINE W/ MIN. 36" COVER W/ NEW CLEANOUT PER CITY STD. 406-L ON EXISTING SEWER LATERAL W/ TRAFFIC RATED COVER.
- INSTALL NEW WATER SERVICE AND METER PER CITY STD-502-L W/ TRAFFIC GRADE BOX AND COVER.
- INSTALL 3" PVC OVERFLOW PIPE SDR 35
- CONSTRUCT 6.0' HIGH MAX WALL UNDER SEPARATE PERMIT
- INSTALL 1" WATER SERVICE LINE (COPPER TUBE, 200 PSI MAX, AWWA STD No. C901-78, ASTM D-2737) W/ MIN. 24" COVER
- INSTALL SUMP PUMP WITH A SUMP PIT PER DETAIL 4 OF SHEET C.2.
- INSTALL 4" AREA DRAIN WITH ATRIUM GRATE
- INSTALL 4" PVC PERFORATED PIPE OVERFLOW WITH A MINIMUM 1.0% SLOPE.
- INSTALL 2" SCHEDULE 40 DISCHARGE PIPE
- (E) WATER METER TO BE PROTECTED IN PLACE & PROVIDE TRAFFIC RATED BOX AND COVER.
- CONSTRUCT CONCRETE SIDEWALK ALONG THE ENTIRE MARCUS AVENUE PROPERTY FRONTAGE PER CITY STANDARD 180-L.
- CONSTRUCT DRIVEWAY APPROACH TYPE 1 PER CITY STD-162-L, W=25.0', X=3.0'
- PLUG (E) DRIVEWAY APPROACH AND REPLACE FULL HEIGHT CURB & GUTTER PER CITY STANDARD STD-165-L

QUANTITIES

114	SF
69	SF
14	EA
224	LF
-	SF
20	LF
1	EA
75	LF
165	LF
20	LF
1	EA
3	EA
19	LF
10	LF
1	EA
122	SF
131	SF
3	LF

LEGEND

---	4" PVC SDR 35 DRAIN PIPE UNO, SEE NOTE
---	4" AREA DRAIN, SEE NOTE
---	CENTER LINE
---	PROPERTY LINE
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	TOP OF FENCE
---	PROPOSED DOWN SPOUT LOCATION, SEE DETAIL 3 HEREON FOR CONNECTION
---	PLANTER AREA
---	HIGH POINT
---	EXISTING
---	NEW
---	SEWER CLEAN OUT
---	3" OVERFLOW PVC SDR 35 PIPE UNO, SEE NOTE
---	BIORETENTION, SEE NOTE
---	PROPOSED RETAINING WALL, SEE STRUCTURAL PLANS
---	TOP OF WALL
---	TOP OF STEM WALL
---	TOP OF FOOTING
---	EXPOSED WALL HEIGHT
---	TOP OF CURB
---	NEW SIDEWALK, SEE NOTE



PUBLIC WORKS DEPARTMENT NOTES

- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNICIPAL CODES 14.24.020 AND 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6 AND L-18.
- ALL EXISTING OVERHEAD UTILITIES SHALL BE UNDERGROUNDED.
- IN CASE OF DAMAGE DONE TO PUBLIC IMPROVEMENTS SURROUNDING THE DEVELOPMENT SITE BY THE PRIVATE CONSTRUCTION, ADDITIONAL RECONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY COULD BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

BUILDING DIVISION NOTES

- SURVEYOR TO FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
- ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

PLAN NOTES

- ALL ROOF DRAINAGE SHALL COLLECTED BY RAIN GUTTERS VIA DOWNSPOUT AND UNDERDRAIN PIPES.
- CONCRETE FLOOR SLABS SHALL BE UNDERLAIN WITH 4" CAPILLARY BREAK-4" OF GRADE GRAVEL OR CRUSHED STONE.

Call Toll Free
1-800-227-2600
2 Working Days Before You Dig
Underground Service Alert
of Southern California

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'V'D

JT CONSULTING ENGINEERS

14371 EUCLID ST., #2F
GARDEN GROVE, CA 92843
PHONE: (714) 815-2356

ENGINEERING SCALE:
PREPARED UNDER THE SUPERVISION OF:
JOHN TRAN

DRAWN: K.C.
CHECKED: J.T.
RECOMMENDED:
APPROVED:

DATE:
5-05-18
5-05-18

PLANS REVIEWED BY:
CITY OF NEWPORT BEACH, BUILDING DEPARTMENT
100 CIVIC CENTER DRIVE
NEWPORT BEACH, CA 92660

APPROVED SIGNATURE _____ DATE _____

GRADING PERMIT NUMBER: _____

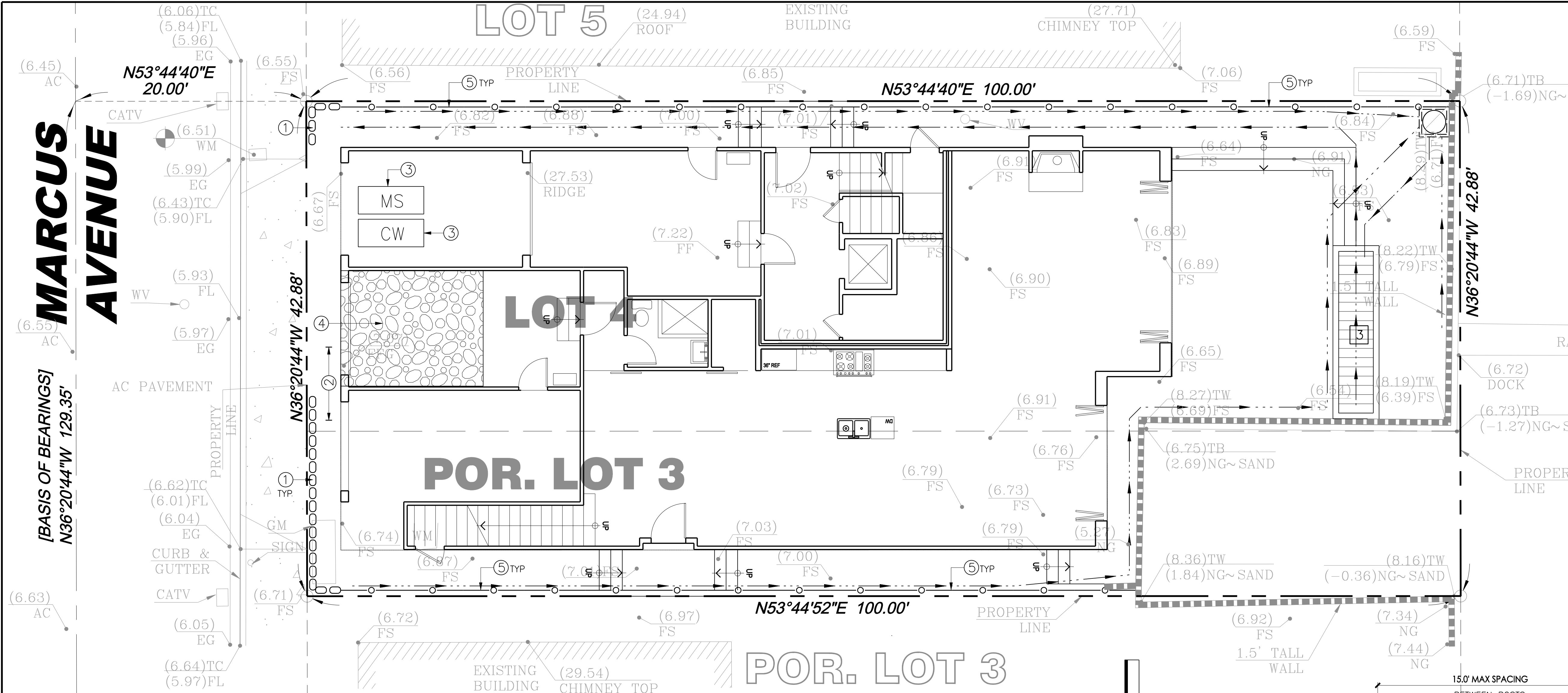
PRELIMINARY GRADING PLAN

3406 MARCUS AVE
NEWPORT BEACH, CA 92662
TEL 949.689.7905

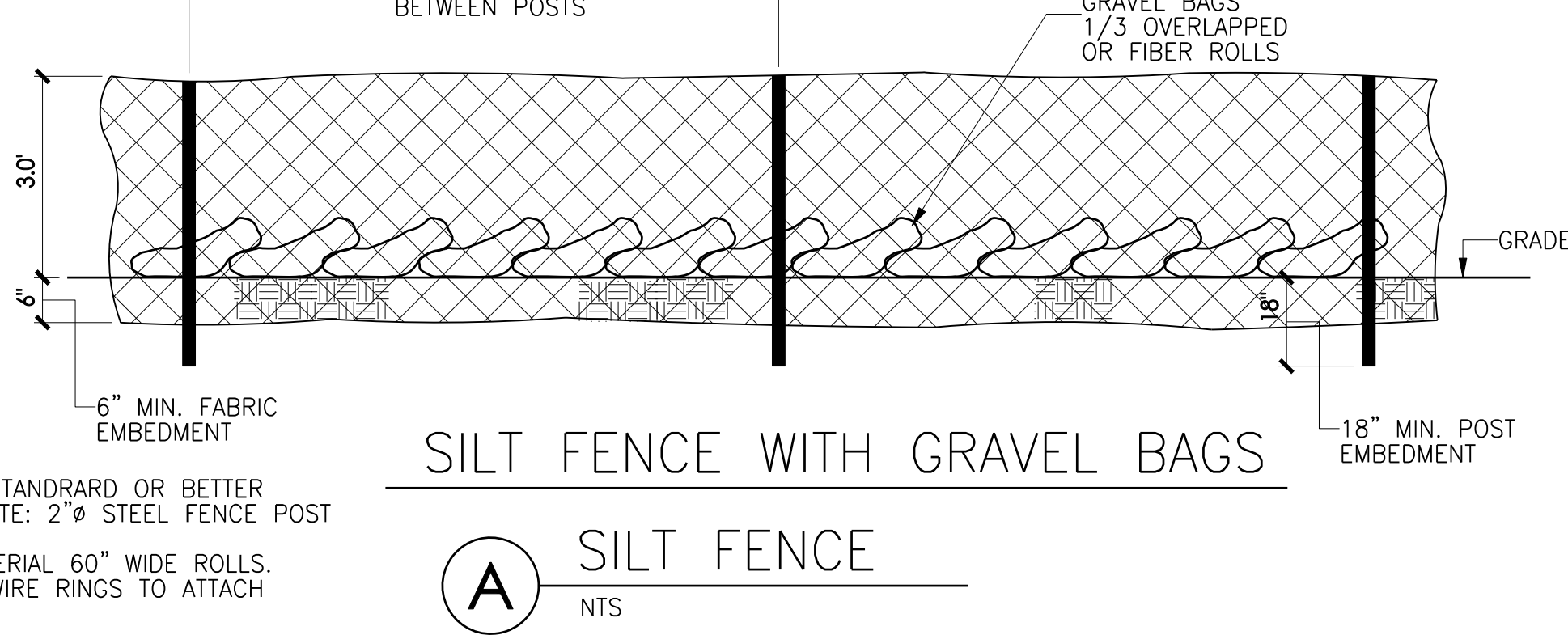
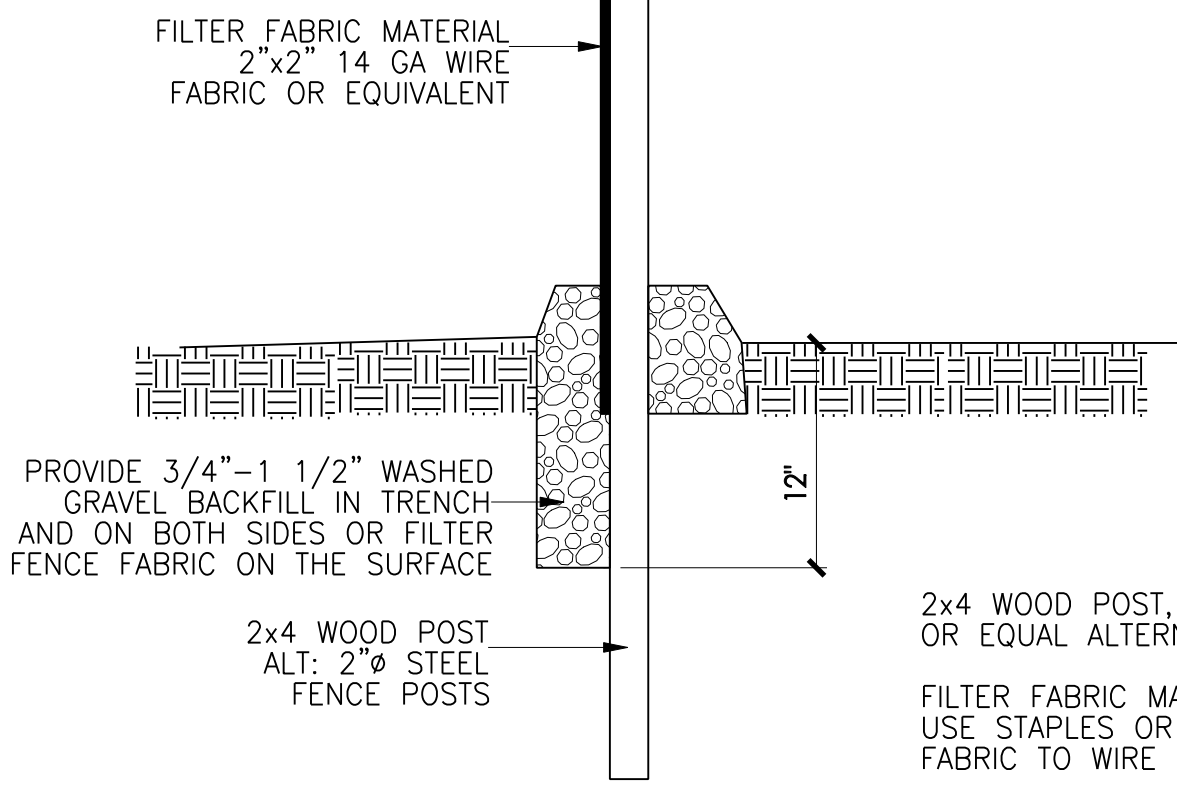
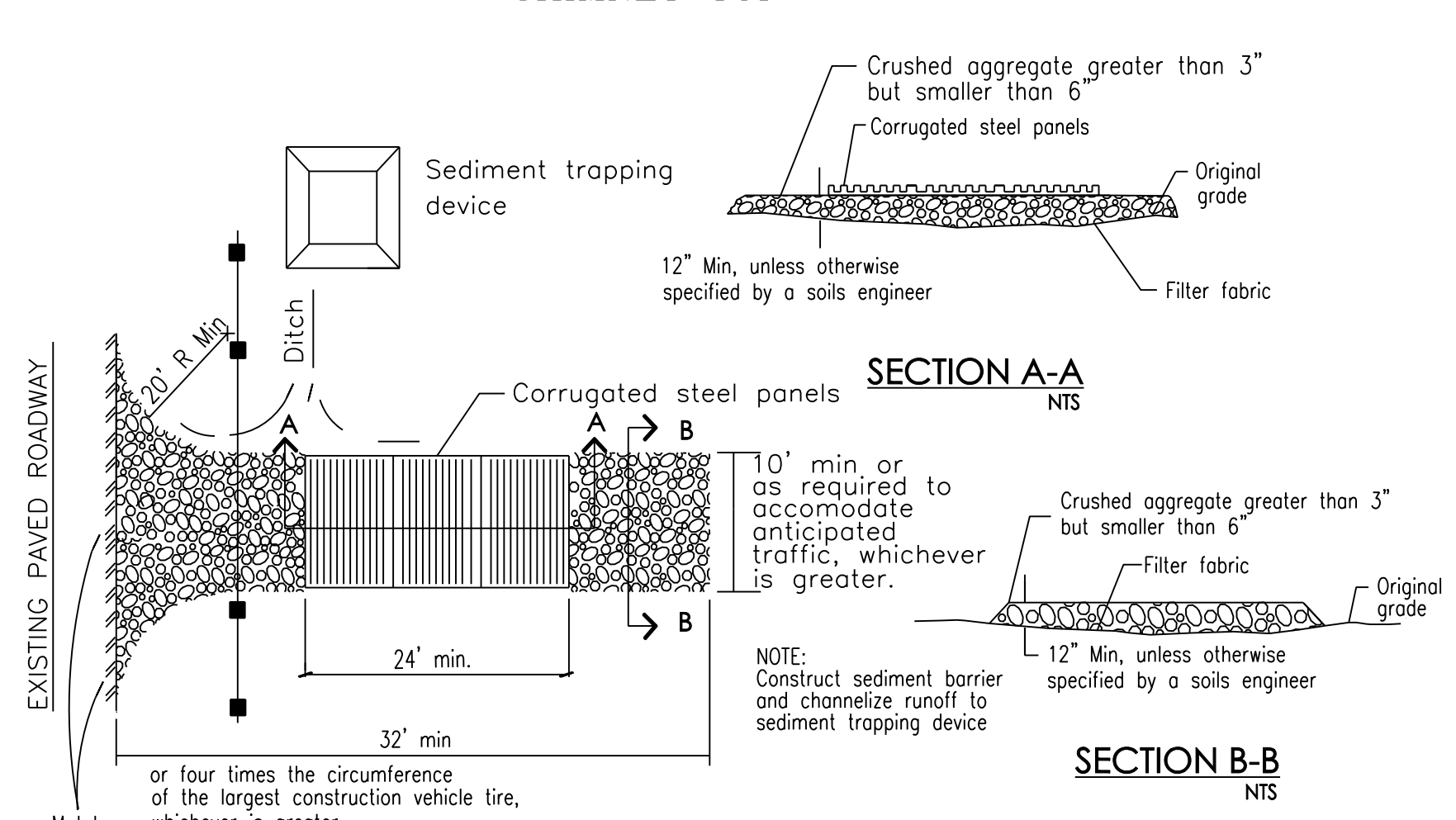
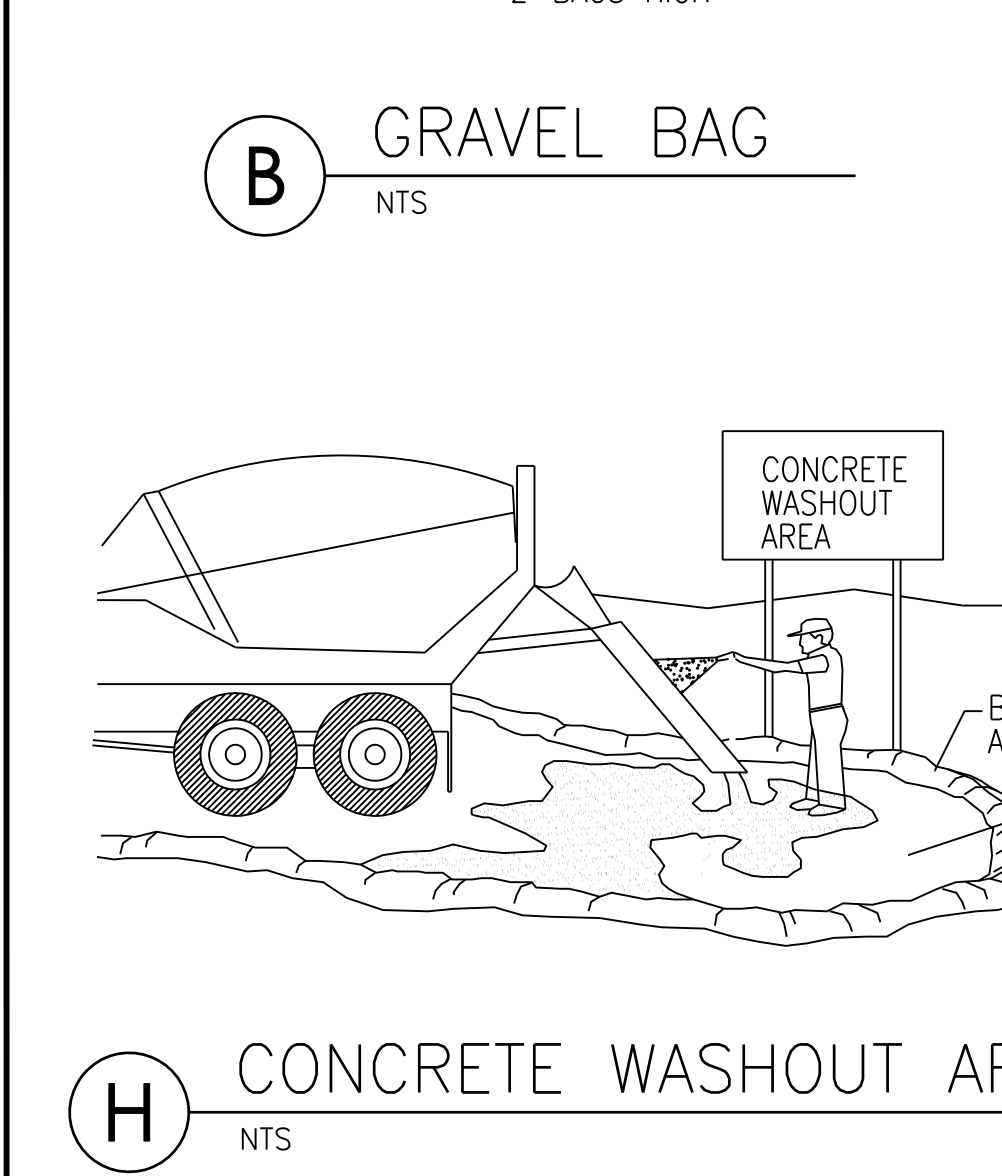
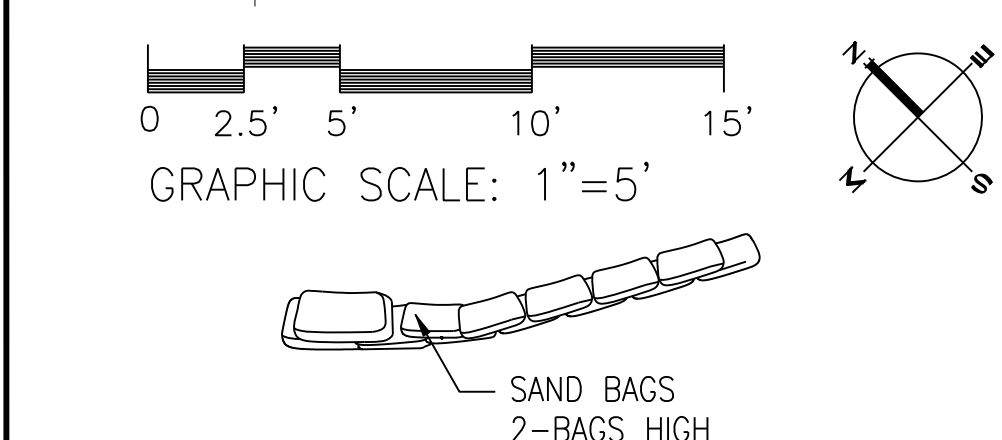
DRAWING NUMBER:

C.2

SHEET 2 OF 5



CONSTRUCTION PHASE BMP'S		
INDEX	BMP	FREQUENCY
(A)	SILT FENCE	INSPECT AND MAINTAIN BEFORE EVERY RAIN EVENT
(B)	SAND BAG BARRIERS	
(C)	DRAIN INLET PROTECTION	
(D)	STREET SWEEPING	MAINTAIN WEEKLY OR AS OFTEN AS NEEDED
(E)	WASTE MANAGEMENT	
(F)	MATERIAL STORAGE	
(G)	STABILIZED CONSTR'N ENTRANCE/EXIT	ONLY ON PREPARE PAD
(H)	EQUIPMENT CLEANING & FUELING	
(I)	CONCRETE WASTE MANAGEMENT	
(J)	SANITARY WASTE MANAGEMENT	CLEAN PORTABLE TOILET AT LEAST WEEKLY
(K)	FIBER ROLLS	MAINTAIN WEEKLY



LEGEND

- CONSTRUCTION ENTRANCE/EXIT (TC-1 AND (G))
- PROPERTY LINE/PROJECT BOUNDARY
- SAND BAG LINEAR BARRIER-(SE-6 AND (B))
- FLOW DIRECTION
- MATERIAL STORAGE (WM-1) TO BE FIELD LOCATED BY CONTRACTOR, SEE NOTE (3)
- CONCRETE WASHOUT (WM-8) AND DETAIL "C" TO BE FIELD LOCATED BY CONTRACTOR, SEE NOTE (3)
- SILT FENCE WITH SAND BAGS-(SE-1 AND (A))

SILT FENCE WITH GRAVEL BAGS

(A) SILT FENCE NTS

CONTROL POLLUTION CONTROL NOTES

- INSTALL SAND BAG LINEAR BARRIER PER CASQA BMP SE-6 AND (B)
- IMPLEMENT SEDIMENT SWEEPING AND VACUUMING PER CASQA BMP SE-7
- IMPLEMENT MATERIALS STORAGE AND CONCRETE WASTE MANAGEMENT. (H)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER CASQA BMP TC-1 AND (G)
- INSTALL SILT FENCE WITH SAND BAGS PER CASQA BMP SE-1 AND (A)

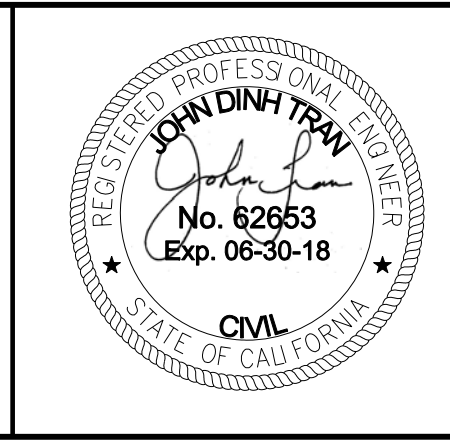
POST-CONSTRUCTION BMPS

- SITE DESIGN AND LANDSCAPE PLANNING (SD-10)
- EFFICIENT IRRIGATION (SD-12)
- BIORETENTION (TC-32)



REVISIONS				
REV.	DATE	BY	DESCRIPTION	APP'V'D

JT CONSULTING ENGINEERS
14371 EUCLID ST., #2F
GARDEN GROVE, CA 92843
PHONE: (714) 815-2356



ENGINEERING SCALE: PREPARED UNDER THE SUPERVISION OF: JOHN TRAN	DATE:
DRAWN: K.C.	5-05-18
CHECKED: J.T.	5-05-18
RECOMMENDED:	
APPROVED:	

PLANS REVIEWED BY:
CITY OF NEWPORT BEACH, BUILDING DEPARTMENT
100 CIVIC CENTER DRIVE
NEWPORT BEACH, CA 92660

APPROVED SIGNATURE _____ DATE _____

GRADING PERMIT NUMBER: _____

CONSTRUCTION POLLUTION PREVENTION PLAN

3406 MARCUS AVE
NEWPORT BEACH, CA 92662
TEL 949.689.7905

DRAWING NUMBER:
CPPP

SHEET OF 5

STRUCTURAL GENERAL NOTES

GENERAL REQUIREMENTS

- CONSTRUCTION SHALL BE IN CONFORMITY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
- SITE INSPECTION: THE CONTRACTOR SHALL EXAMINE THE PROJECT SITE & SHALL VERIFY ALL DIMENSIONS, LOCATIONS & ELEVATIONS OF THE EXISTING CONSTRUCTION. THE CONTRACTOR SHALL ALSO DILIGENTLY INVESTIGATE THE SITE FOR THE POSSIBLE EXISTENCE OF UNDERGROUND UTILITIES, PRIOR TO ORDERING ANY MATERIAL AND/OR COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO "WILLIAM SIMPSON & ASSOCIATES, INC." HEREINAFTER CALLED "THE ENGINEER".
- CONTRACTOR SHALL PROVIDE BARRICADES AND PEDESTRIAN PROTECTION AS REQUIRED BY STATE AND LOCAL CODES.
- CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF CITY AND UTILITY COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING TO SEWER, PIPING OR WIRING, ETC., AND REPORT ANY PROBLEMS TO THE ENGINEER.
- CONTRACTOR SHALL FULLY PROTECT ALL ADJACENT PROPERTIES BEFORE COMMENCING ANY WORK.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL INSTALL TEMPORARY TOILETS BEFORE START OF JOB.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- TYPICAL DETAILS SHOWN SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN. WHERE A DETAIL, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS. DETAILED DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER GENERAL DRAWINGS AND SPECIFICATIONS.
- WRITTEN DIMENSIONS (NOT SCALED DIMENSIONS) SHALL BE USED.
- TEMPORARY ERECTION BRACING AND SHORING SHALL BE PROVIDED AS REQUIRED ON ALL STRUCTURES. ADEQUATE TO PROVIDE FULL STRUCTURAL STABILITY AND SAFETY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENTS ARE FULLY CONNECTED AND ARE CAPABLE OF SUPPORTING THE DESIGN LOADING.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO UNDERMINE ANY ADJACENT STRUCTURE DURING THE COURSE OF CONSTRUCTION.
- CLEAN UP: NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER THE BAY, STREETS, GUTTERS OR STORM DRAINS. ALL MATERIALS & WASTE SHALL BE REMOVED FROM THE SITE, NBWC 17.32.020.
- DEMOLITION: ALL MATERIAL FROM THE EXISTING BULKHEAD THAT IS NOT USED AS FILL SHALL BE REMOVED FROM THE SITE & DISPOSED OF IN AN OFFICIAL DUMP SITE.
- SEE THE LATEST "GENERAL GRADING SPECIFICATIONS" OF THE BUILDING DEPARTMENT FOR THE CITY'S: GENERAL NOTES, EROSION CONTROLS, REQUIRED INSPECTIONS, GRADING FILLS/CUTS & ALL NECESSARY DOCUMENTATION.
- POOLS, SPAS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
- ALL A.S.T.M. SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE A.S.T.M.
- OBSERVATION VISITS TO THE PROJECT SITE BY THE ENGINEER SHALL NOT BE CONSTRUED AS ANY INSPECTION AS REQUIRED BY CODE.

FOUNDATIONS

- THE CONTRACTOR SHALL ESTABLISH ALL CONSTRUCTION LINES AND PROCEED WITH THE EXCAVATIONS OF THE FOOTINGS ON THE DRAWINGS.
- FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED UNIFORM EARTH OR ENGINEERED COMPACTED FILL.
- NO REINFORCING STEEL AND NO CONCRETE SHALL BE PLACED IN ANY EXCAVATION PRIOR TO THE BUILDING DEPARTMENT'S APPROVAL OF THE DRAWINGS.
- THE TOP OF ALL EXCAVATIONS SHALL BE PROTECTED AGAINST HEAVY SURCHARGE LOADS AND FROM EROSION DUE TO RAINFALL OR SURFACE RUN-OFF DURING THE ENTIRE CONSTRUCTION PERIOD.
- THE SOILS REPORT DESCRIBED UNDER ITEMS No.7 BELOW SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN THE SOILS REPORT AND COMPLY WITH ALL RECOMMENDATIONS THEREIN.
- PAD PREPARATION SHALL BE IN ACCORDANCE WITH THE SOILS REPORT. THE PAD SHALL BE INSPECTED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING ANY CONCRETE. THE PAD SHALL BE KEPT MOIST PRIOR TO THE PLACING OF CONCRETE.
- FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT ON FILE WITH THE BUILDING DEPARTMENT.

SOILS REPORT PREPARED BY COAST GEOTECHNICAL, INC.

PHONE NUMBER: (714)870-12119

SOILS REPORT DATE: APRIL 24,2018

SOILS REPORT NUMBER: W.O. 550918-01

EMAIL: COASTGEOTE@SBGLOBAL.NET

GRADING NOTES

THE ANTICIPATED TOTAL VOLUME OF CUT AND FILL FOR SEAWALL CONSTRUCTION ON THIS PROJECT IS MORE THAN 50 CUBIC YARDS. THUS, GRADING PERMIT IS REQUIRED - SEE ITEM 2 BELOW.

- WHEN A GRADING PERMIT & PLANS ARE REQUIRED, IF NO GRADING IS ADDRESSED ON THE PLANS - SEE THE CIVIL & ARCHITECTURAL PLANS FOR THE FINISH GRADING ON THE SHORE SIDE OF THE BULKHEAD.
- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT & APPROVE ALL AREAS PRIOR THE PLACEMENT OF ANY FILL.
- ALL FILLS SHALL BE INSPECTED, TESTED & APPROVED BY THE GEOTECHNICAL ENGINEER VERIFYING MINIMUM OF 90% REQUIRED RELATIVE COMPACTION AS WELL AS STABILITY.
- ALL EXCAVATIONS FOR ANCHORS SHALL BE INSPECTED & APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT. SEE DETAILS L & R ON SHEET S-2.
- LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND A CERTIFICATE OF CONFORMANCE RECEIVED BY THE CITY GRADING ENGINEER PRIOR TO CLOSURE OF PERMIT, UNLESS WAIVED BY THE CITY GRADING ENGINEER.
- TEMPORARY SLOTTED DRAIN BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- DATUM: ALL ELEVATIONS ARE BASED ON MLW DATUM.
-
-

BACKFILLING & COMPACTION NOTES

- ALL BACKFILL SHALL CONFORM TO THE SOILS ENGINEER'S REPORT AND RECOMMENDATIONS.
- UTILITY TRENCH BACKFILL AND ANY OTHER BACKFILL MUST BE MECHANICALLY COMPACTED. JETTING AND FLOODING SHALL NOT BE PERMITTED.
- WHERE WALLS ARE BACKFILLED ON ONE SIDE ONLY, PROVIDE SHORING OR OTHER APPROVED MEANS OF LATERAL SUPPORT UNTIL RESISTING ELEMENTS ARE ALL IN PLACE AND HAVE ATTAINED THEIR REQUIRED STRENGTHS. RESISTING ELEMENTS SHALL BE CONCRETE SLABS OR OTHER PERMANENT BUILDING COMPONENTS.
- UNLESS NOTED OTHERWISE IN THE SOILS REPORT, ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE REQUIREMENTS OF THE CBC APPENDIX SECTION 3313.
- FILTER CLOTH SHALL BE MIRAFI 140N-SERIES NONWOVEN POLYPROPYLENE GEOTEXTILE AS MANUFACTURED BY "TC MIRAFI COMPANY" AND SHALL BE MINIMUM 2.0' WIDE AND BE PLACED ON THE INSIDE FACE OF THE BULKHEAD EXTENDED EQUALLY FROM THE JOINT TO (2.0') BELOW THE FINAL MDLINE FOR THE ENTIRE HEIGHT OF THE BULKHEAD.
- COMPACTION REPORT MUST BE SUBMITTED TO AND BE APPROVED BY THE BUILDING DEPARTMENT BEFORE FOUNDATION INSPECTION.
- A FINAL SOIL REPORT OF COMPACTION & APPROVAL SHALL BE PREPARED BY THE PROJECT GEOTECHNICAL ENGINEER & SUBMITTED FOR BUILDING DEPARTMENT REVIEW AT THE COMPLETION OF THE PROJECT.
- COMPACT SOIL TO THE REQUIRED RELATIVE DENSITIES PER ASTM 155-91. DO NOT USE HEAVY COMPACTION EQUIPMENT WITHIN 20 FEET OF THE BULKHEAD.
- ON SITE BROKEN CONCRETE & AC PAVING MAY BE USED AS FILL PROVIDED IT DOES NOT EXCEED 6 INCHES IN SIZE & IS NOT STACKED, LAYERED OR PLACED ABOVE ELEVATION +7.0' & IS APPROVED BY THE GEOTECHNICAL ENGINEER.

CONCLUSIONS AND RECOMMENDATIONS - PER SOILS REPORT.

FROM A SOILS ENGINEERING AND ENGINEERING GEOLOGIC POINT OF VIEW, THE SUBJECT PROPERTY IS CONSIDERED SUITABLE FOR THE PROPOSED CONSTRUCTION PROVIDED THE CONCLUSIONS AND RECOMMENDATIONS IN THE SUPPLEMENTAL GEOTECHNICAL PRINTED ON SHEET (S-0A) ARE INCORPORATED INTO THE DESIGN AND PROJECT SPECIFICATIONS.

CONCRETE

- ALL CONCRETE MIX DESIGNS, CONFORMING TO CBC SECTIONS 1904 & 1905, SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE ANY CONCRETE IS PLACED. ALL CONCRETE MIXES SHALL HAVE A MINIMUM CEMENT CONTENT OF 6.0 SACKS OF CEMENT PER CUBIC YARD OF MIX. ALL CONCRETE MIXES SHALL BE CERTIFIED BY A CONCRETE TESTING LABORATORY AND SIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
- CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI AND A 0.40 WATER-TO-CEMENT RATIO.
- CONCRETE GROUT SHALL HAVE THE SAME COMPRESSIVE STRENGTH AS THE OTHER CONCRETE AND SHALL BE A SUITABLE MIX CONSISTING OF PEA GRAVEL, SAND, CEMENT AND WATER. MAXIMUM SLUMP SHALL BE 5 INCHES. AN APPROVED SUPERPLASTICIZER ADMIXTURE MAY BE ADDED TO INCREASE THE SLUMP TO MAXIMUM 7.5 INCHES. GROUT UNDER STEEL COLUMN BASE PLATES SHALL BE "RAPID-CET" OR "FIVE STAR GROUT" OR APPROVED EQUAL.
- CONCRETE SHALL BE DESIGNED FOR PERMEABILITY, STRENGTH, CHEMICAL STABILITY AND ABRASION RESISTANCE, APPROPRIATE FOR ITS APPLICATION. PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 TYPE I OR TYPE II MODIFIED, AND LOW ALKALI CHEMICAL ADMIXTURES SHALL CONFORM TO ASTM C 494. CHEMICALS DESIGNED TO LIMIT CORROSION OF INTERNAL REINFORCING MAY BE USED. AIR ENTRAINMENT ADMIXTURES SHALL CONFORM TO ASTM C 260. COARSE AND FINE AGGREGATE SHALL CONFORM TO ASTM C 33, AND ASTM C 330 WHERE LIGHTWEIGHT AGGREGATES ARE USED. LIGHTWEIGHT AGGREGATE, IF USED, SHALL CONSIST OF EXPANDED AND COATED SHALE OR EQUIVALENT MATERIAL OF SUFFICIENT STRENGTH AND DURABILITY TO PROVIDE CONCRETE OF THE REQUIRED STRENGTH.
- CONCRETE TEST SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH A.S.T.M. AND CBC STANDARDS. RESULTS OF THE 7 & 28 DAY TESTS SHALL BE SUBMITTED TO THE ENGINEER FOR HIS RECORDS. SLUMP TESTS ARE REQUIRED FOR ALL TEST SAMPLES AND MUST ALSO BE REPORTED. ADDITIONALLY, ALL LIGHT WEIGHT CONCRETE SAMPLES MUST HAVE THEIR IN-PLACE DENSITIES DETERMINED AND REPORTED.
- SIDES OF FOOTING PADS MAY BE POURED AGAINST STABLE EARTH.
- SLURRY CONCRETE, WHERE SPECIFIED OR USED, SHALL HAVE A MINIMUM CEMENT CONTENT OF 1.5 SACKS OF CEMENT PER CUBIC YARD OF MIX.
- SEE ARCHITECTURAL NOTES FOR COLORED OR TEXTURED CONCRETE.
- CONCRETE FORM WORK TOLERANCES SHALL BE IN ACCORDANCE WITH CBC AND A.C.I. STANDARDS.
- ALL STEEL REINFORCING, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR, PRIOR TO THE PLACING OF ANY CONCRETE.
- ALL NECESSARY BRACES, STRONGBACKS, PICK-UP INSERTS, BOLTS, ETC., FOR PRECAST CONCRETE PANELS SHALL BE DESIGNED BY OTHERS FOR SAFE ERECTION OF THE PANELS.
- NO CALCIUM CHLORIDE SHALL NOT BE USED IN ANY CONCRETE.
- ALL CONCRETE TO BE CURED FOR A MINIMUM OF 3 DAYS BY A METHOD ACCEPTABLE TO THE ENGINEER. FORMS MAY BE STRIPPED ONLY AFTER THE CONCRETE HAS ATTAINED MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- CHAMFER EXPOSED CORNERS ¾" U.N.O.

REINFORCING STEEL

- FOR STRUCTURES EXPOSED TO SALT WATER SPLASH OR IMMERSION, REBAR REINFORCEMENT SHALL CONFORM TO ASTM A 706, UNLESS NOTED OTHERWISE ON DETAILS, AND SHALL BE EPOXY COATED PER ASTM A 934, AFTER BENDING OF THE REBARS. WELDED WIRE MESH SHALL CONFORM TO ASTM A 185. ANY SHALL BE EPOXY COATED CONFORMING TO ASTM A 884, WITH ALL VISIBLE DEFECTS AND CUT ENDS REPAIR COATED. WIRES USED TO TIE REINFORCING STEEL SHALL BE EITHER EPOXY COATED STEEL, OR A 316 STAINLESS STEEL.
- REINFORCEMENT MARKED CONTINUOUS MAY BE SPLICED BY LAPPING 42 BAR DIAMETERS IN CONCRETE, AND 48 BAR DIAMETERS IN MASONRY WITH 24 INCH LAP. IN ALL CASES, UNLESS NOTED OTHERWISE ON PLANS. ALL SPLICES WHEN DETAILED SHALL BE LOCATED WHERE SHOWN ON PLANS.
- REINFORCING STEEL SHALL BE ACCURATELY PLACED AND SECURED IN POSITION WITH METAL OR CONCRETE BLOCKS, CHAIRS, SPACERS, ETC., AND WIRE TIES BEFORE PLACING ANY CONCRETE.
- ADDITIONAL REINFORCING REQUIRED FOR ERECTION OF PRECAST CONCRETE PANELS SHALL BE ADDED PER THE CONTRACTOR'S DETAILS.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE.
A) CONCRETE BELOW GRADE OR IN CONTACT WITH SOIL: WHEN CAST AGAINST EARTH 3", WHEN FORMED 2".
B) WALLS ABOVE GRADE: EXTERIOR FACE 1½", INTERIOR FACE 1".
C) PRECAST CONCRETE ELEMENTS: AS DETAILED.
D) CONCRETE SLAB ON GRADE: REINFORCING STEEL AT CENTER OF SLAB, UNLESS NOTED OTHERWISE.
- REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH CBC SECTION 1907.
- ALL TIE WIRES SHALL BE MINIMUM 16 GAUGE, BLACK ANNEALED, CONFORMING TO A.S.T.M. A82.
- ALL REINFORCING BARS SHALL BE FREE OF RUST, GREASE OR OTHER MATERIAL LIKELY TO IMPAIR BONDING.
- ALL BENDS IN REINFORCING SHALL BE COLD BENDS.

FASTENERS

WHERE MECHANICAL OR ADHESIVE ANCHORS/DOWELS ARE INDICATED ON DRAWINGS:

- MECHANICAL ANCHORS SHALL BE HILTI KWIK BOLT KB-TZ AND BE INSTALLED IN ACCORDANCE WITH ICC ESR-1917
- ADHESIVE ANCHORS SHALL BE HILTI "HIT-HY 150 MAX-SD" ADHESIVE INSTALLED IN ACCORDANCE WITH ICC ESR-3013 OR SIMPSON STRONG-TIE "SET-XP EPOXY" ADHESIVE INSTALLED IN ACCORDANCE WITH ICC ESR-2508.
- HOLES SHALL BE DRILLED WITH NON-REBAR-CUTTING DRILL BITS.
- CONTINUOUS INSPECTION IS REQUIRED FOR THE INSTALLATION OF THE ALL ANCHORS/DOWELS BY A REGISTERED SPECIAL INSPECTOR APPROVED BY THE BUILDING DEPARTMENT. THE INSPECTOR SHALL VERIFY THE INSTALLATION OF ANCHORS/DOWELS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS INCLUDING CLEANLINESS OF DRILL HOLES AND PROPER EMBEDMENT.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, USE MINIMUM ¾" DIAMETER AT 24" ON CENTER WITH A MINIMUM OF 5" EMBEDMENT.

ABBREVIATIONS

A.B. ANCHOR BOLT
A.C. ASPHALT CONCRETE
A/C.P. AIR CONDITIONING
A.C.P. ASPHALT CONCRETE PAVING
ADDL ADDITIONAL
A.F.F. ABOVE FINISH FLOOR
ALUM ALUMINUM
ALT ALTERNATE
ANDD ANODIZED
ARCHT ARCHITECTURAL
B.B. BOTTOM OF BEAM
BET BETWEEN
BLDG BUILDING
BLKG BLOCKING
BM BEAM
B.N. BOUNDARY NAILING
BOT BOTTOM
B.W. BOTTOM OF WALL
C CHANNEL
CANT CANTILEVER
C.G. CENTER OF GRAVITY
C.J. CONSTRUCTION JOINT OR CEILING JOIST
CL CENTER LINE
CLG CEILING
CLR CLEAR
C.M.U. CONCRETE MASONRY UNIT
COL COLUMN
COMPO COMPOSITION
CONC CONCRETE
CONN CONNECTION
CONT CONTINUOUS
CONST CONSTRUCTION
CORR CORRIDOR
CTR CENTER
DBL DOUBLE
DET DETAIL
DF DOUGLAS FIR
D.F. DRINKING FOUNTAIN
DIAPH DIAGONAL
DIAPH DIAPHRAGM
DIA DIAMETER
DIM DIMENSION

DN DOWN
DP DEEP
D.S. DOWNSPOUT
DWGS DRAWINGS
E EACH
E.A. EACH
E.F. EACH FACE
ELEC ELECTRICAL
ELEV ELEVATION
EMBED EMBEDMENT, EMBEDDED
EN. EDGE NAILING
EQ EQUAL
EXP EXPANSION
E.W. EACH WAY
EXIST EXISTING
EXP EXPANSION
EXT EXTERIOR
F.D. FLOOR DRAIN
FDN FOUNDATION
F.F. FINISH FLOOR
F.G. FINISH GRADE
FIN FINISH
F.J. FLOOR JOIST
FLG FLANGE
FLR FLOOR
F.O.C. FACE OF CONCRETE
F.O.M. FACE OF MASONRY
F.O.S. FACE OF STUD
F.N. FIELD NAILING
F.S. FAR SIDE
FT FEET OR FOOT
FTO FOOTING
CORR GALVANIZED
GA GAUGE
GL GALVANIZED IRON
GLB GLU-LAM BEAM
GLP GLU-LAM PURLIN
GYP BD GYPSUM BOARD
HDR HEADER
HGR HANGER
HK HOOK
HORIZ HORIZONTAL
H.P. HIGH POINT

HT HEIGHT
H.S. HIGH STRENGTH
HVAC HEATING/VENTILATING & AIR CONDITIONING
IN INCH
INFO INFORMATION
INT INTERIOR
J.B. JOIST BEARING
J.G. JOIST GIRDER
JST JOIST
JT JOINT
K.O. KNOCK OUT
R.D. ROOF DRAIN
LAT LATERAL
LDR LEDGER
LG LONG
LH LONG LEG HORIZONTAL
LLV LONG LEG VERTICAL
LONGIT LONGITUDINAL
L.P. LOW POINT
LT LIGHT
MATL MATERIAL
MAX MAXIMUM
M.B. MACHINE BOLT
MATL MATERIAL
MAX MAXIMUM
M.B. MACHINE BOLT
MECH MECHANICAL
MEZZ MEZZANINE
MFD MANUFACTURED
MFR MANUFACTURER
MIN MINIMUM
MISC MISCELLANEOUS
M.F.O. METAL FRAMED OPENING
MTL METAL
M.P.H. MILES PER HOUR
(N) NEW
N.I.C. NOT IN CONTRACT
NO. NUMBER
N.S. NELSON STUD OR NEAR SIDE
N.T.S. NOT TO SCALE
O.C. ON CENTER

OFF OFFICE
OPENING OPENING
OPP HD OPPOSITE HAND
O.S.F. OUTSIDE FACE
P.C. PIPE COLUMN
PEN PENETRATION
PL PLATE OR PROPERTY LINE
PLAS PILASTER
PLYMD PLYWOOD
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
P.T. PRESERVATIVE TREATED
R.O. ROOF RAKE
REBAR REINFORCING BAR
R.B. ROOF BEAM
REQD REQUIRED
REINF REINFORCING
REF REFERENCE
REV REVISION
R.J. ROOF JOIST
RM ROOM
R.O. ROUGH OPENING
SCH SCHEDULE
SECT SECTION
SHTG SHEATHING
SHT SHEET
SIR SILL
S.J. SAVOUT JOINT
S.P. SPLICE POINT
SPA SPACING
SPEC SPECIFICATIONS
SQ SQUARE
STAGG STAGGERED
STD STANDARD
STIFF STIFFENER
STL STEEL
S.S. SELECT STRUCTURAL
STRCT STRUCTURAL
SYM SYMMETRICAL
T & B TOP & BOTTOM
T & G TONGUE & GROVE
TEMP TEMPERED

T.F. TOP OF FOOTING
T.B. TOP OF BEAM
TO TAPERED GIRDER
T.G. TOP OF GIRDER
THK THICK
THR THROUGH
TL TOP OF LEDGER
T.N. TOP OF NAILER
T.O. TOP OF
T.O.P. TOP OF PARAPET/PANEL
T.O.S. TOP OF STEEL
TOT TOTAL
TRANSF TRANSFER
TRANSV TRANSVERSE
TS TUBE STEEL
T.S. TOP OF SLAB
T.W. TOP OF WALL
TYP TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
VERT VERTICAL
V.I.F. VERIFY IN FIELD
W/ WITH
WO WITHOUT
W/O WORK POINT
W.R. WATER RESISTANT
WT WEIGHT
W.W.F. WELDED WIRE FABRIC
X EXTRA STRONG
XX DOUBLE EXTRA STRONG

SYMBOLS

..... AT
..... CENTER LINE
..... DIAMETER
..... PLATE OR PROPERTY LINE
..... STEP IN FOOTING

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.



VICINITY MAP

SCOPE OF WORK.

- TO REINFORCE THE EXISTING SEAWALL/BULKHEAD BY UTILIZING DYWDAG TIE-BACKS CONNECTING THE EXISTING CONCRETE COPING TO NEW CONTINUOUS CONCRETE DEADMEN.

NOTE TO THE BIDDERS.

AFTER THOROUGHLY EXAMINING THE CONSTRUCTION DOCUMENTS AND THE SITE:

- NOTIFY THE ARCHITECT AND/OR THE ENGINEER IN WRITING, REGARDING ALL DISCREPANCIES REQUIRING CLARIFICATION, PRIOR TO THE "BID SUBMITTAL".
- IF THE ARCHITECT AND/OR THE ENGINEER IS NOT NOTIFIED, AS REQUIRED PER ITEM #1 ABOVE, IT SHALL MEAN THAT THE CONTRACTOR HAS CONSIDERED ADEQUATE CONTINGENCY IN HIS BID TO COVER ALL COSTS TO COMPLY WITH THE MOST STRINGENT CONDITIONS.
- THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY DISCREPANCY DISCOVERED AFTER THE "CLOSE OF THE BID".

OWNER / APPLICANT
TRIMAR PROPERTIES
2015 SHIPWAY LANE
NEWPORT BEACH, CA 92660

REINFORCING THE EXISTING SEAWALL/BULKHEAD LOCATED AT:
3406 MARCUS AVENUE
NEWPORT BEACH, CA 92663

STRUCTURAL GENERAL NOTES & VICINITY MAP

WILLIAM SIMPSON & ASSOCIATES, INC.
CONSULTING STRUCTURAL ENGINEERS
23 ORCHARD, SUITE 250
LAKE FOREST, CA 92650
P (949) 208-9929
F (949) 208-9955
mail@wsaie.com
www.wsaie.com

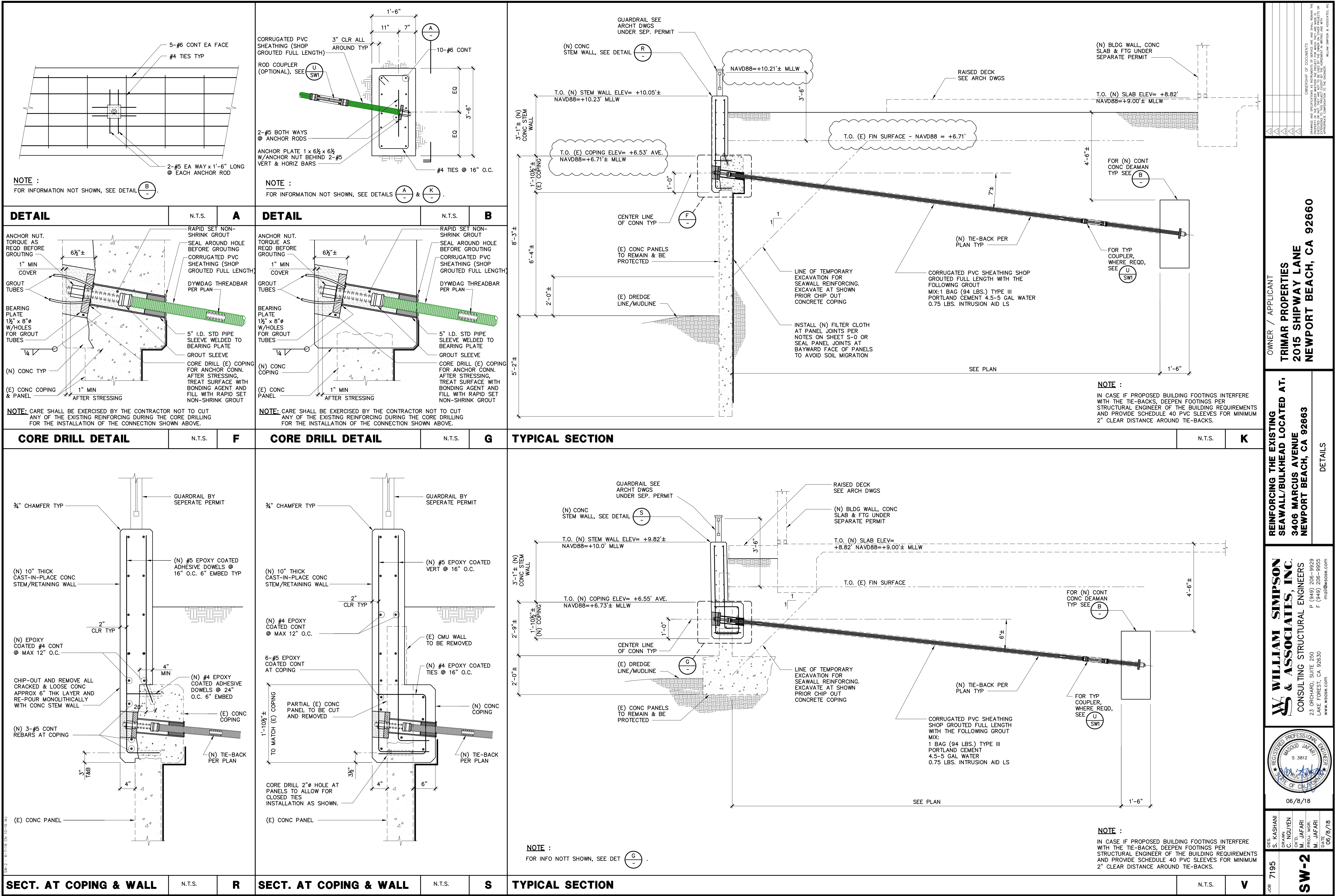
REGISTERED PROFESSIONAL ENGINEER
S 3812
JASOUD JAFARI
STATE OF CALIFORNIA

06/8/18

JOB 7195

DES. S. KASHANI
DRAWN C. NGUYEN
CHECKED M. JAFARI
PROJECT MGR M. JAFARI
DATE 06/8/18

SW-O



OWNER / APPLICANT TRIMAR PROPERTIES 2015 SHIPWAY LANE NEWPORT BEACH, CA 92660	
REINFORCING THE EXISTING SEAWALL/BULKHEAD LOCATED AT: 3406 MARCUS AVENUE NEWPORT BEACH, CA 92663	
DETAILS	
DES. S. KASHANI	DATE 06/8/18
DRAWN C. NGUYEN	
CHECKED M. JAFARI	
PROJ. MGR. M. JAFARI	
DATE 06/8/18	
SW-2	

Attachment No. ZA 4

Tentative Parcel Map No. NP2018-018
(County Tentative Parcel Map No. 2018-171)

WATERWAY**THE RIVO ALTO****TENTATIVE PARCEL****MAP NO. 2018-**

AUGUST 2018

SITE ADDRESS

3406 MARCUS AVENUE

NEWPORT BEACH, CA 92663

(APN: 423-373-04)

THE LAND REFERRED TO HEREIN BELOW IS
SITUATED IN THE COUNTY OF ORANGE, STATE
OF CALIFORNIA, AND DESCRIBED AS
FOLLOWS:

PARCEL 1:

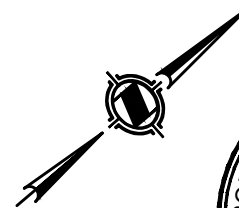
LOT FOUR (4) OF BLOCK THREE HUNDRED
THIRTY FOUR (334) OF CANAL SECTION,
NEWPORT BEACH, AS SHOWN ON A MAP
RECORDED IN BOOK 4, PAGE 98 OF
MISCELLANEOUS MAPS, RECORDS OF
ORANGE COUNTY, CALIFORNIA.

PARCEL 2:

THE NORTHWESTERLY ONE-HALF OF LOT
THREE (3) OF BLOCK THREE HUNDRED
THIRTY FOUR (334) OF CANAL SECTION, NEWPORT
BEACH, AS SHOWN ON A MAP RECORDED IN
BOOK 4, PAGE 98 OF MISCELLANEOUS MAPS,
RECORDS OF ORANGE COUNTY, CALIFORNIA.

OWNER/DEVELOPER:

**PENINSULA REAL ESTATE
INVESTMENTS LLC, A CALIFORNIA
LIMITED LIABILITY COMPANY**



SCALE = 1" = 16'



PREPARED BY: P.D.C.

PAUL D. CRAFT, P.L.S. 8516
LICENSE EXPIRES 12/31/18
JN: 18027

DATE

**APEX LAND SURVEYING
INC.**

HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 488-5006 FAX: (714) 333-4440
APEXLSINC@GMAIL.COM

M.M. 4/98

LOT 5

POR. LOT 3

POR. LOT 3

LOT 4

**MARCUS
AVENUE**

N36°20'44"W 129.35'
[BASIS OF BEARINGS]

