



## **CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT**

July 12, 2018  
Agenda Item No. 2

**SUBJECT:** Elkayam Residence (PA2018-105)  
▪ Coastal Development Permit No. CD2018-047

**SITE LOCATION:** 1801 East Balboa Boulevard

**APPLICANT:** Oldham Architects

**OWNER:** Ami Elkayam

**PLANNER:** David S. Lee, Assistant Planner  
949-644-3225, dlee@newportbeachca.gov

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### **LAND USE AND ZONING**

- **Coastal Land Use Category:** Single-Unit Residential Detached – (10.0 - 19.9 DU/AC) (RSD-C)
- **Coastal Zoning District:** Single-Unit Residential (R-1)
- **General Plan Land Use Category:** Single-Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)

### **PROJECT SUMMARY**

A request for a coastal development permit (CDP) to allow the demolition of an existing single-family residence and the construction of a new 3,489-square-foot single-family residence with an attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_\_\_\_ approving Coastal Development Permit No. CD2018-047 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan Land Use Category and Zoning Code. These designations provide for single-unit residential development. The property is located within the appeal area providing the possibility for a final action to be appealed to the California Coastal Commission. Additionally, a waiver for de minimis development cannot be issued because the site is within the appeal area.
- The property is developed with an existing single-family residence on a lot designated for residential development. The design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
- The proposed single-family residence and accessory structures conform to all applicable development standards including floor area limit, setbacks, height, 9.0 feet (NAVD88) minimum finished floor elevation, and off-street parking as illustrated in Table 1 below:

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front	9'-0"	9'-0"
Sides	3'-0"	3'-0"
Rear	0'	0'
<b>Allowable Floor Area (max.)</b>	3,828 sq. ft.	3,489 sq. ft.
<b>Allowable 3<sup>rd</sup> Floor Area (max.)</b>	287 sq. ft.	286 sq. ft.
<b>Open Space (min.)</b>	287 sq. ft.	328 sq. ft.
<b>Parking (min.)</b>	2-car garage	2-car garage
<b>Height (max.)</b>	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

### *Hazards*

- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

- The development is set back approximately 270 feet from the mean high water line. Due to the large distance from coastal waters, a Water Quality Management Plan (WQMP) and a Construction Pollution Prevention Plan (CPPP) are not required. A post-construction drainage system will be installed that includes drainage and percolation features designed to retain dry weather and minor rain run-off on-site to ensure the project does not impact water quality. Any water not retained on-site is directed to the City's storm drain system.

#### *Public Access*

- The project site is located on the Balboa Peninsula between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence located on an inland lot with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities. Vertical access to the bay front is available near the site on J Street where there is a public beach with access to the water.
- The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas. However, the project is located on an inland lot and will replace an existing single-family home with a new single-family home that complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. The project is designed to be consistent with applicable setbacks and will have the effect of framing and accenting the existing public coastal view corridor as viewed through the street end. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

#### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment. The Class 3 exemption includes the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-1 Coastal Zoning District.

**PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners of property and residential occupants within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting that was posted at City Hall and on the City website.

**APPEAL PERIOD:**

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



David S. Lee, Assistant Planner

JM/dl

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2018-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2018-047 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE WITH ATTACHED GARAGE LOCATED AT 1801 EAST BALBOA BOULEVARD (PA2018-105)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Oldham Architects, with respect to property located at 1801 East Balboa Boulevard, and legally described as Lot 22 of Block L of Tract 518, requesting approval of a coastal development permit.
2. The applicant proposes the demolition of an existing single-family residence and the construction of a new 3,489-square-foot, single-family residence with an attached garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, drainage devices, and landscaping.
3. The subject property is located within the Single-Unit Residential (R-1) Zoning District and the General Plan Land Use Element category is Single-Unit Residential Detached (RS-D).
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single-Unit Residential – (10.0 - 19.9 DU/AC) (RSD-C) and the Coastal Zoning District is Single-Unit Residential (R-1).
5. A public hearing was held on July 12, 2018, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations (Section 15315, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the construction of limited numbers of new, small structures, including one single-family residence. The proposed project is a new single-family residence located in the R-1 Coastal Zoning District.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

*A. Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 3,828 square feet and the proposed floor area is 3,489 square feet.
  - b. The proposed development complies with the required setbacks, which are nine feet along the property line abutting East Balboa Boulevard and three feet along each side property line. There is no required setback abutting the alley.
  - c. The highest guardrail/parapet is 24 feet from established grade and the highest ridge is 29 feet from established grade. The proposed development complies with all height requirements.
  - d. The proposed development provides a two-car garage, meeting the minimum parking requirement for a single-family residence.
  - e. The proposed development exceeds the minimum 9.0 (NAVD88) top of slab elevation requirement for interior living areas of new structures.
2. The neighborhood is predominantly developed with two- and three-story single-family residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
3. The development is set back approximately 270 feet from the nearest bulkhead. Due to the large distance from coastal waters, a Water Quality Management Plan (WQMP) and a Construction Pollution Prevention Plan (CPPP) are not required. A post-construction drainage system will be installed that includes drainage and percolation features designed to retain dry weather and minor rain run-off on-site to ensure the project does not impact water quality. Any water not retained on-site is directed to the City's storm drain system.
4. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation

identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Finding:

*B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located on the Balboa Peninsula between the nearest public road and the sea. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-family residence located on an inland lot with a new single-family residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited so as not to block or impede existing public access opportunities. Vertical access to the bay front is available near the site on J Street where there is a public beach with access to the water.
2. The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view opportunities. The project site may be located within the viewshed of distant public viewing areas. However, the project is located on an inland lot and will replace an existing single-family home with a new single-family home that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2017-087, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section



21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 12<sup>TH</sup> DAY OF JULY, 2018.**

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Patrick J. Alford, Zoning Administrator

**EXHIBIT “A”**

**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.
3. Coastal Development Permit No. CD2018-047 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
5. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
6. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
7. Prior to issuance of the building permits, a copy of the Resolution, including conditions of approval Exhibit “A” shall be incorporated into the Building Division and field sets of plans.
8. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
9. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
10. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.

11. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 21 Planning and Zoning of the Newport Beach Municipal Code.
13. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Elkayam Residence Coastal Development Permit including, but not limited to, Coastal Development Permit No. CD2017-047 (PA2018-105). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

## **Attachment No. ZA 2**

Vicinity Map

## VICINITY MAP



Coastal Development No. CD2018-047  
PA2018-105

**1801 East Balboa Boulevard**

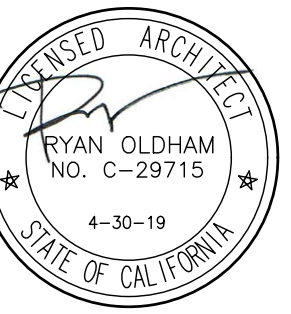
# **Attachment No. ZA 3**

Project Plans



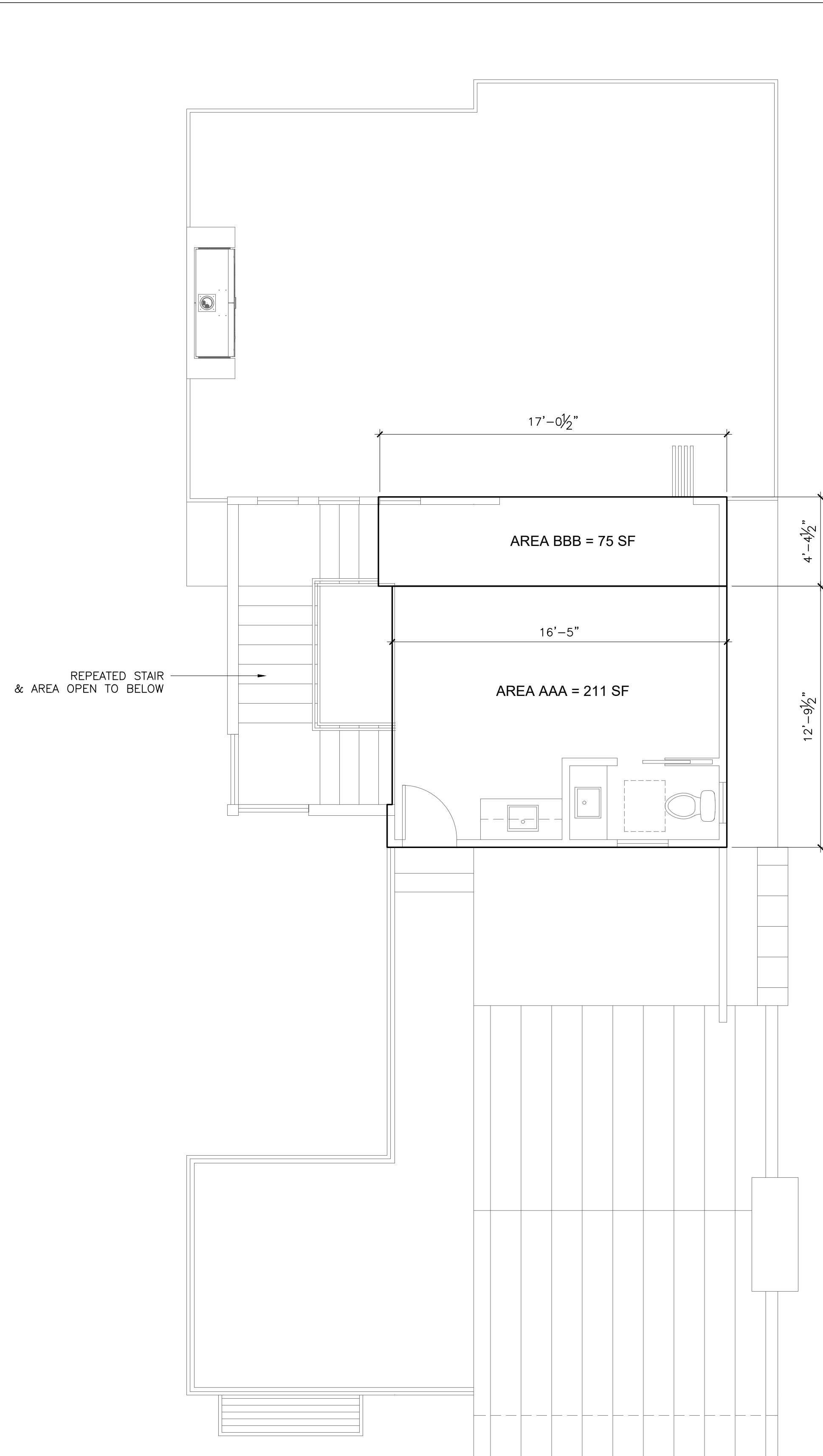






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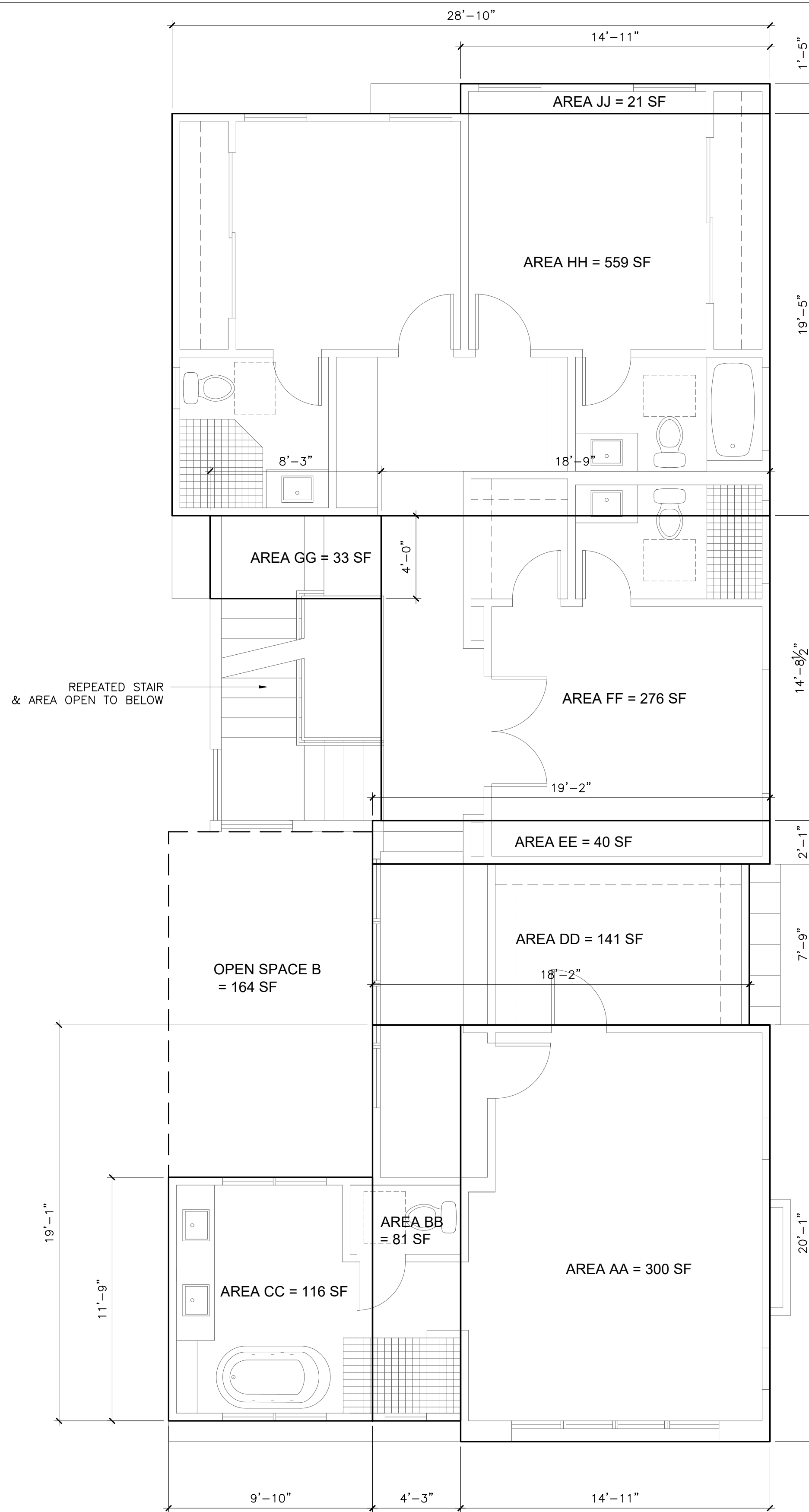
<b>Max Allowed Areas</b>			
LOT SIZE =	2,610 SF		
BUILDABLE FOOTPRINT =	1,914 SF		
BUILDABLE AREA (BUILDABLE FOOTPRINT X 2) =	3,828 SF		
3RD FLOOR (BUILDABLE FOOTPRINT X .15) =	287.10 SF		
OPEN SPACE (BUILDABLE FOOTPRINT X .15) =	287.10 SF		
<b>Calculated Areas</b>			
AREA A =	84 SF	1ST FLOOR = 1,636 SF	
AREA B =	225 SF		
AREA C =	984 SF		
AREA D =	85 SF		
AREA E =	230 SF		
AREA F =	28 SF		
AREA AA =	300 SF	2ND FLOOR = 1,567 SF	
AREA BB =	81 SF		
AREA CC =	116 SF		
AREA DD =	141 SF		
AREA EE =	40 SF		
AREA FF =	276 SF		
AREA GG =	33 SF		
AREA HH =	559 SF		
AREA JJ =	21 SF		
AREA AAA =	211 SF	3RD FLOOR = 286 SF	
AREA BBB =	75 SF		
GROSS FLOOR AREA =	3,489 SF		
PERCENTAGE OF MAX =	91.14 %		
OPEN SPACE A =	164 SF		
OPEN SPACE B =	164 SF		
TOTAL OPEN SPACE =	328 SF		



### 3rd Floor

Scale:  $\frac{3}{16}" = 1'-0"$  3

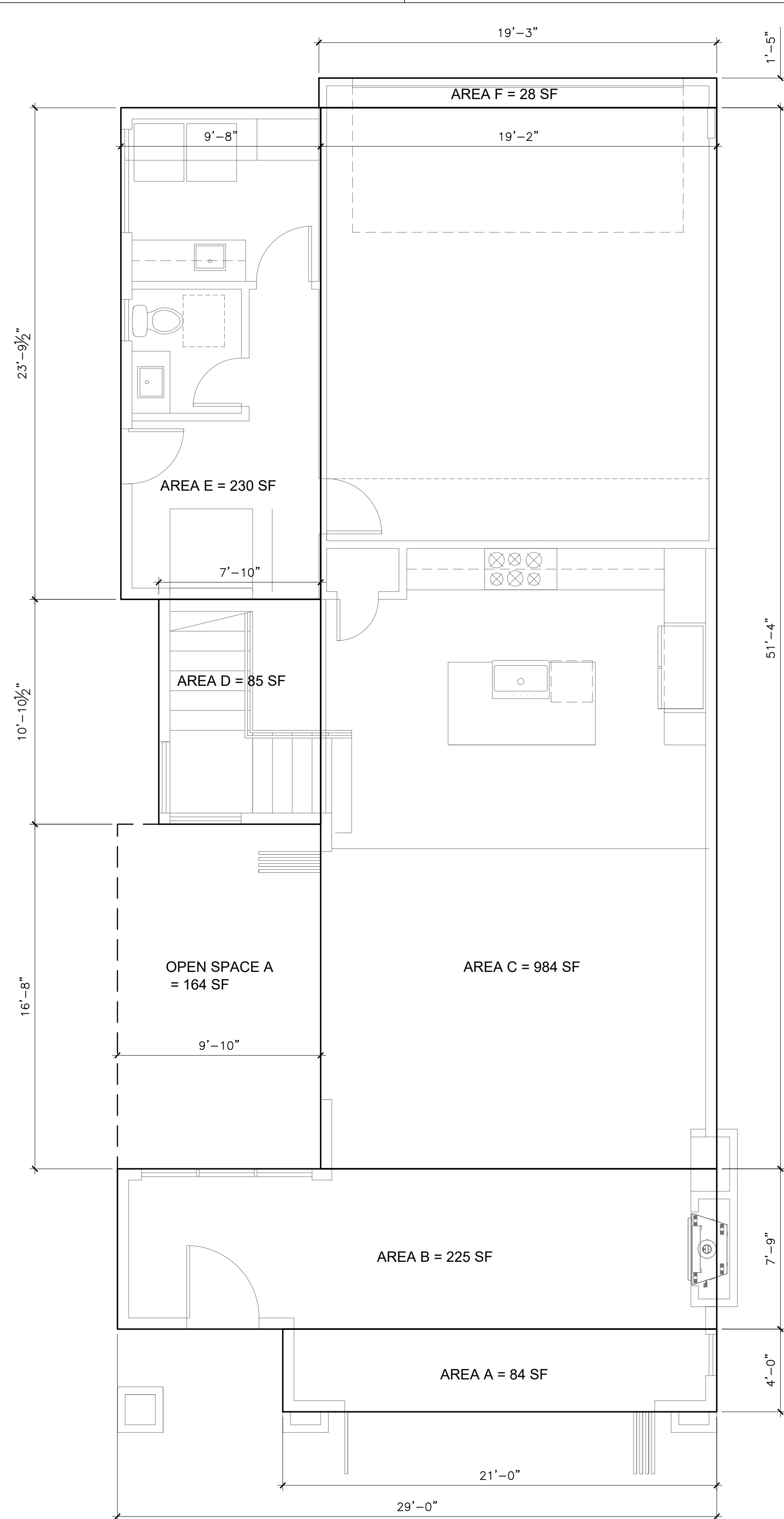
3



## 2nd Floor

Scale:  $\frac{3}{16}" = 1'-0"$

2















### 1st Floor

Scale:  $\frac{3}{16}" = 1'-0"$

1

New Single Family Home  
1801 Balboa

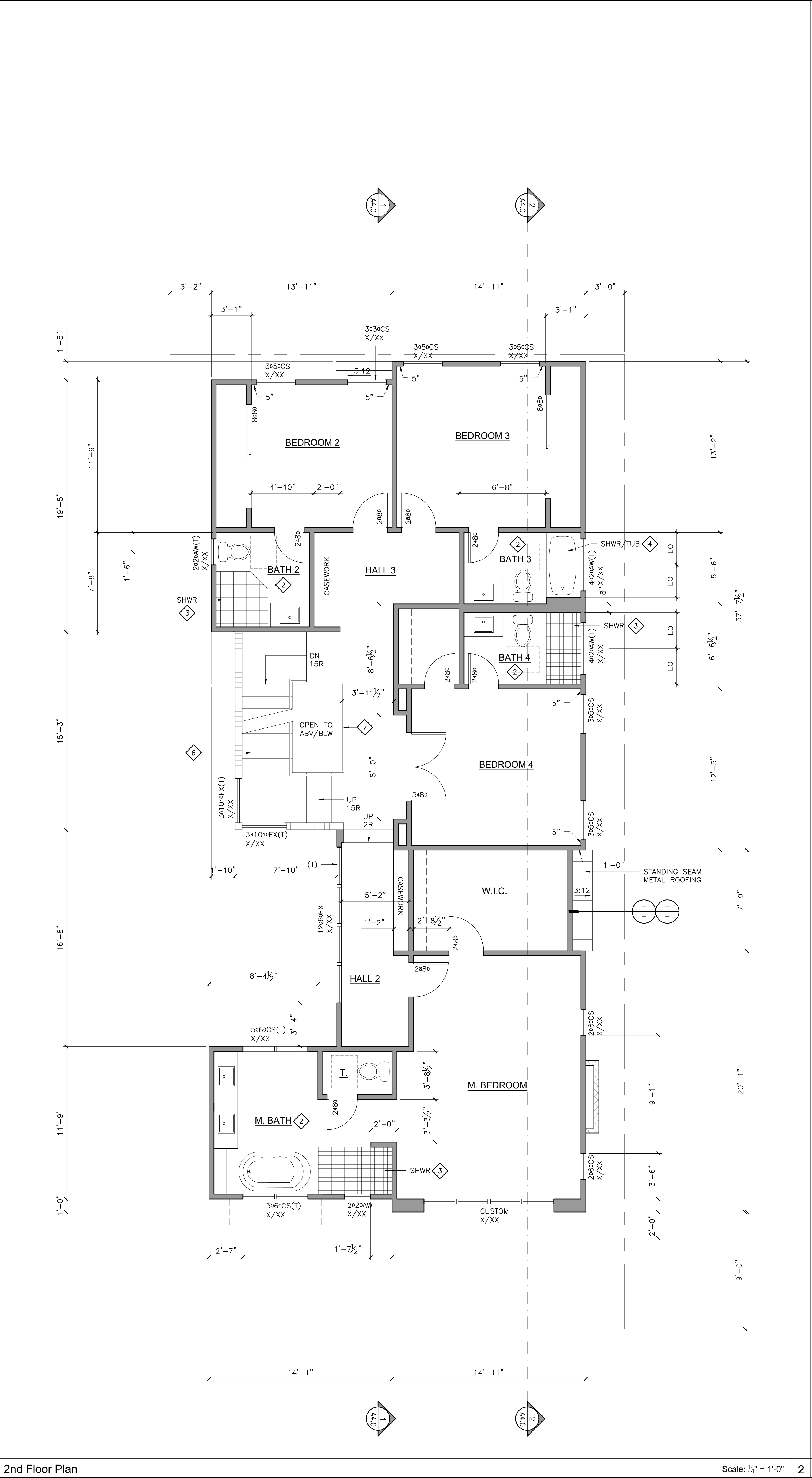
1801 E. Balboa Boulevard, Newport Beach, California 92661

PROJECT No.:	1816
DRAWN:	rbo
CHECK:	rbo
ISSUE:	
	04.30.18 CDP SUBMITTAL #1
	05.22.19 CDP SUBMITTAL #2
	
	
	
	
	
	
	
	
	
	

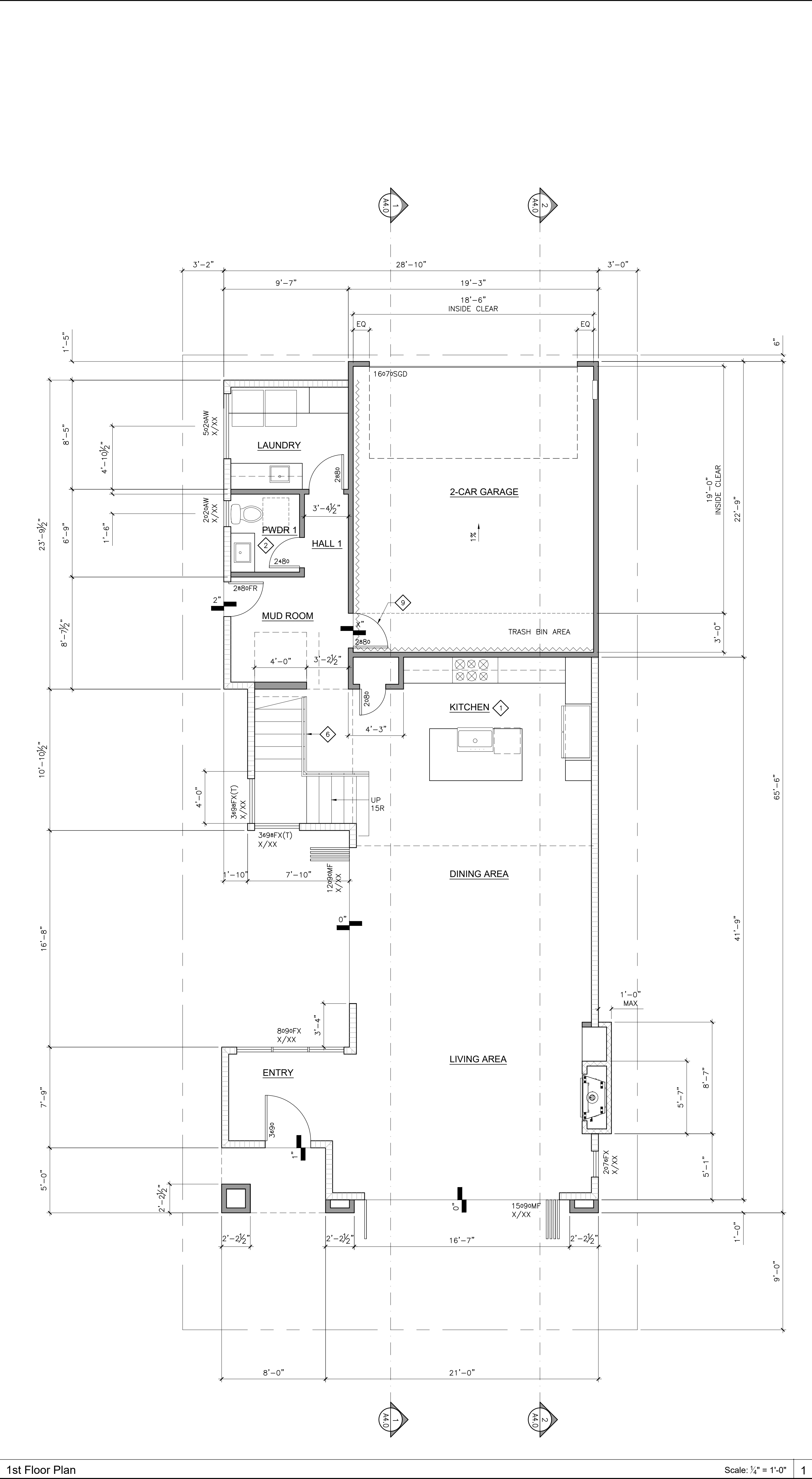
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## Area Analysis Plan





2nd Floor Plan Scale: 1/4" = 1'-0" 2



1st Floor Plan Scale: 1/4" = 1'-0" 1

**Keynotes**

1

NEW KITCHEN; ALL CABINETS, COUNTERTOPS, FINISHES, & FIXTURES TO BE SPECIFIED BY OTHERS. FIELD VERIFY MEASUREMENTS REQUIRED.

2

NEW BATHROOM; ALL CABINETS, COUNTERTOPS, FINISHES, & FIXTURES TO BE SPECIFIED BY OTHERS. FIELD VERIFY MEASUREMENTS REQUIRED.

3

CUSTOM SHOWER TO BE CONSTRUCTED AS FOLLOWS:

- 4" HIGH TILED CURB
- HOT MOP FLOOR & WALL TO 12" A.F.F.
- PROVIDE LATH & SCRATCH COAT OVER FRAMING TO CEILING.
- TILE FINISH PER OWNER TO MINIMUM HEIGHT OF 72" ABOVE FLOOR.
- SET CONTROLS AT 42" A.F.F., SET SHOWER HEAD AT 84" A.F.F.
- PROVIDE 7" HIGH TEMPERED SHOWER GLASS SURROUND WITH MIN. 24" WIDE DOOR.

4

BATHTUB & SHOWER SURROUND. PROVIDE HARDI-BACKER AT SHOWER WALLS TO CEILING WITH NEW TILE FINISH. CONTROLS PER SHOWER REQUIREMENTS IN KEYNOTE #2.

5

LOCATION OF ATTIC ACCESS DOOR WITH MINIMUM 22" X 30" CLEAR OPENING WIDTH & 30" HEADROOM.

6

STAIRS, FOR STANDARD STAIR/HANDRAIL REQUIREMENTS SEE DETAIL.  
RISER HEIGHT = EQUAL NUMBER PER PLAN; MAX 7 3/4"  
TREAD = 11" EXPOSED

7

CUSTOM INTERIOR 42"H GUARD RAILING SYSTEM. FOR STANDARD REQUIREMENTS SEE DETAIL. SEE STRUCTURAL PLANS FOR CONNECTION DETAILS.

8

CUSTOM EXTERIOR GUARDRAIL SYSTEM. FOR STANDARD REQUIREMENTS SEE DETAIL. SEE STRUCTURAL PLANS FOR CONNECTION DETAILS.  
GUARDRAIL SPEC: C.R. LAURENCE COMPANY GRS GUARDRAIL SYSTEM (OR SIMILAR). (ICC ERS-3269)

9

GARAGE DOOR TO BE 20 MIN. RATED OR SOLID CORE WOOD. PROVIDE SELF-CLOSING MECHANISM.

10

DECK TO BE CLASS 'A' ELASTOMERIC DECK COATING OVER 2 LAYERS 30# PAPER, SLOPE 2% TO DRAINS.  
SPEC: GACO CLASS 'A' (ICC ESR-1284) OR APPROVED EQUAL.

11

ROOF DRAIN WITH OVERFLOW. FOR REQUIREMENTS SEE DETAIL. MAIN OUTLET TO TIE INTO AREA DRAIN PIPE. OVERFLOW TO DAYLIGHT.

12

SCUPPER THROUGH WALL/CURB TO DOWNSPOUT. DOWNSPOUT TO TIE INTO AREA DRAIN PIPING.

13

GUTTER WITH DOWNSPOUT. DOWNSPOUT TO TIE INTO AREA DRAIN PIPING.

**Floor Plan Notes**

1.

ROOM TITLE DESIGNATIONS ON PLAN ARE AS FOLLOWS:  
(E) = EXISTING SPACE TO REMAIN / NOT IN SCOPE  
(R) = EXISTING SPACE TO BE RENOVATED  
(N) = NEW ROOM TO BE CREATED

2.

ALL 2X4 WALLS ARE GRAPHICALLY DRAWN 4 1/2" WIDE, 2X6 WALLS AT 6 1/2" WIDE. ALL DIMENSIONS ARE SHOWN TO FACE OF DRYWALL/SHEATHING UNLESS NOTED OTHERWISE.

3.

ALL FIXTURES, FINISH MATERIALS, AND EQUIPMENT TO BE SPECIFIED BY OTHERS.

4.

ALL BUILT-IN CASEWORK TO BE DESIGNED BY OTHERS. CASEWORK SHOWN ON PLAN ARE DIAGRAMMATIC.

5.

ALL BATHROOM WALLS/CEILINGS SHALL BE PAINTED WITH EGGSHELL SHEEN PAINT OR HAVE A TILE FINISH. ALL SHOWER & TUB WALLS SHALL HAVE A TILE FINISH TO MINIMUM 72" ABOVE FLOOR. ALL DRYWALL IN BATHROOM AREAS TO BE MOISTURE RESISTANT 'GREENBOARD'.

6.

ALL DOOR FRAMING OFFSETS FROM WALL CORNERS TO BE 4 1/2" UNLESS DIMENSIONED OTHERWISE.

7.

AT ALL CASEMENT EGRESS WINDOWS, THE CRANK MECHANISM SHALL NOT REDUCE THE REQUIRED HEIGHT/WIDTH OF EGRESS AREA AS REQUIRED BY CODE.

**Plan Legend**

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EXISTING WALL OR ITEM TO BE REMOVED

=====

EXISTING WOOD FRAMED WALL TO REMAIN

=====

NEW 2X4 WOOD FRAMED WALL:

- 2X4 WOOD STUDS PER STRUCTURAL DWGS
- R15 BATT INSULATION AT EXTERIOR WALLS
- EXTERIOR: SHEATHING PER STRUCTURAL, FINISH PER ELEVATIONS
- INTERIOR: 1/2" DRYWALL

=====

NEW 2X6 WOOD FRAMED WALL:

- 2X6 WOOD STUDS PER STRUCTURAL DWGS
- R19 BATT INSULATION
- EXTERIOR: SHEATHING PER STRUCTURAL, FINISH PER ELEVATIONS
- INTERIOR: 5/8" TYPE 'X' DRYWALL

=====

1-HR 2X EXTERIOR WOOD FRAMED WALL:

- 2X WOOD STUDS PER STRUCTURAL DWGS
- R13 BATT INSULATION
- EXTERIOR: 3/4" MIN. THICK STUCCO
- INTERIOR: 5/8" TYPE 'X' DRYWALL

=====

FRAMED OVERHEAD SOFFIT; HEIGHT PER PLAN

=====

5/8" TYPE 'X' DRYWALL (CONTINUOUS FROM FLOOR TO CLG OR ROOF STRUCTURE)

**DOOR & WINDOW CALL-OUTS:**

WINDOW & DOOR SIZES ARE IN WIDTH X HEIGHT: XXXX = FT. & INCHES X FT. & INCHES. EXAMPLE: 3646 = 3'-0"W X 4'-6"H

SIZE (WxH)

OPENING TYPE

3644CS(T) — ADDITIONAL INFO

.32/.28 — U-VALUE/SHGC

(R) = REPLACEMENT

(E) = EXISTING

FX = FIXED

SH = SINGLE HUNG

DH = DOUBLE HUNG

SL = SLIDER

CS = CASEMENT

DGS = DOUBLE CASEMENT

AW = AWNING

MF = MULTI-FOLDING

SC = SOLID CORE

OG = OBSCURE GLAZING

(T) = TEMPERED SAFETY GLAZING

X/X = U-VALUE / SHGC (FROM T24 CALCS)

(EW) = EGRESS WINDOW (PROVIDES 20"W X 24"H CLEAR OPENING)

oldham  
architects

oldham architects  
2651 east chapman avenue, unit 110  
fullerton, california 92831  
714.462.8256 | www.oldham-architects.com

REGISTERED ARCHITECT  
RYAN OLDHAM  
NO. C-29715  
4-30-19  
STATE OF CALIFORNIA

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New Single Family Home  
1801 Balboa

1801 E. Balboa Boulevard, Newport Beach, California 92661

PROJECT No.: 1816

DRAWN: reo

CHECK: reo

ISSUE:

04.30.19 CDP SUBMITTAL #1

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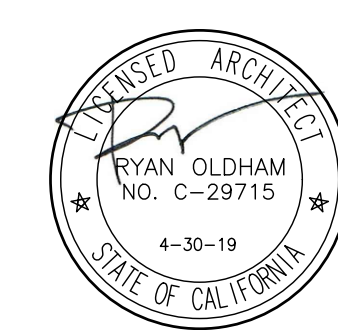
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A2.0

1st & 2nd Floor Plan

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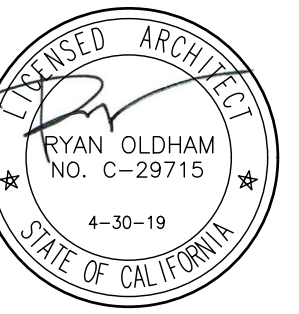
1801 E. Balboa Boulevard, Newport Beach, California 92661

## A2.1

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
















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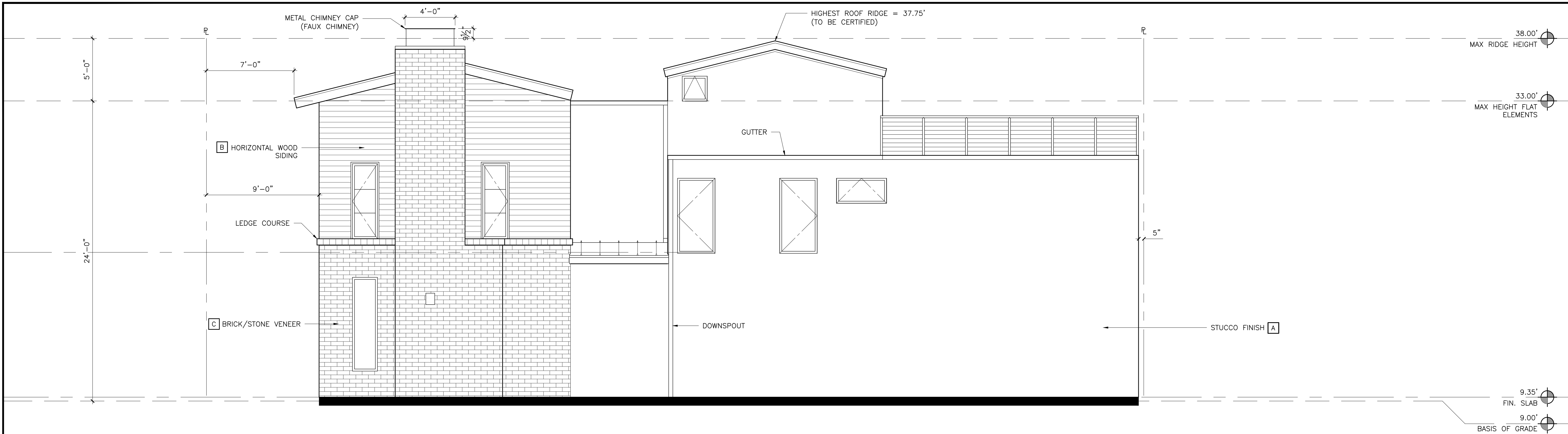
New Single Family Home  
1801 Balboa  
1801 E. Balboa Boulevard, Newport Beach, California 92661

PROJECT No.:		1816
DRAWN:		reo
CHECK:		reo
ISSUE:		
	04.30.18 CDP SUBMITTAL #1	
	05.22.18 CDP SUBMITTAL #2	
		
		
		
		
		
		
		
		
		
		
		

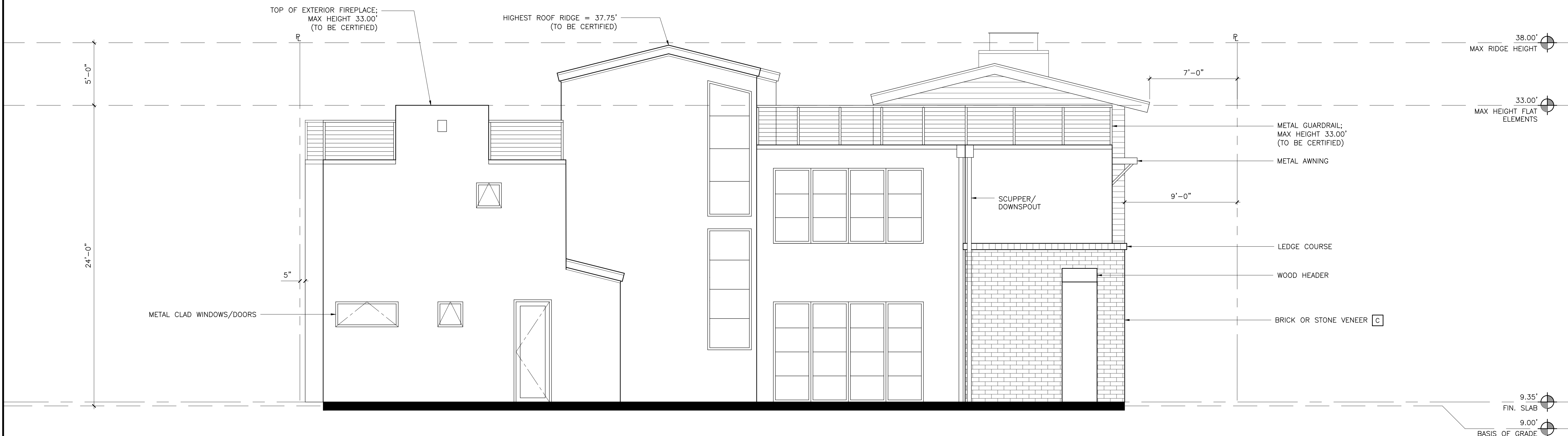
## A3.0

## Exterior Elevations

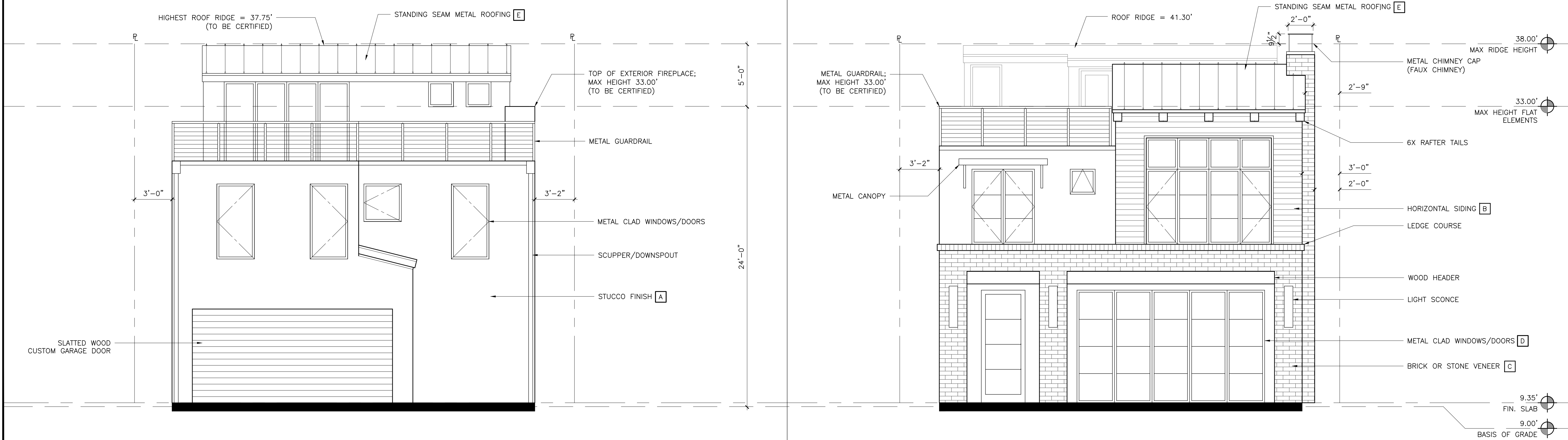
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Right Side Elevation	Scale: $\frac{1}{4}" = 1'-0"$	4
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Left Side Elevation Scale:  $\frac{1}{4}" = 1'-0"$  **3**



Rear Exterior Elevation	Scale: $\frac{1}{4}" = 1'-0"$	2	Front Exterior Elevation	Scale: $\frac{1}{4}" = 1'-0"$	1
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Elevation Notes

1. ALL NEW WINDOWS AND DOOR GLAZING SHALL BE DUAL GLAZED WITH MINIMUM ONE PANE BEING TEMPORARY SAFETY GLAZING. WINDOWS REQUIRED TO BE FULLY TEMPORARILY GLAZED FOR THE RESIDENTIAL BUILDING CODE SHALL HAVE BOTH PANES TEMPERED.
2. ALL PENETRATION TO MEET REQUIREMENTS LISTED IN THE TITLE 24 ENERGY CALCS. PENETRATION MUST HAVE A TEMPORARY AND PERMANENT LABEL.
3. TYPICAL WINDOW HEAD HEIGHTS AS FOLLOWS:  
  
CEILINGING 9'-0" OR GREATER = 8'-0" HEAD HEIGHT  
CEILING LESS THAN 9'-0" = 7'-0" HEAD HEIGHT  
  
SOME CUSTOM WINDOWS MAY VARY.

Material Legend
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- A** EXTERIOR PLASTER  
LA HABRA STUCCO  
TYPE: 3/8" 3-COAT  
FINISH: —  
COLOR: —

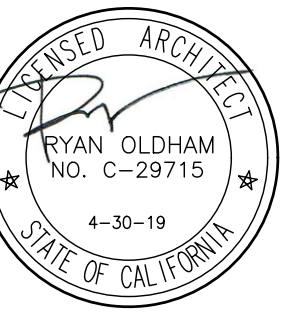
**B** HORIZONTAL SIDING  
BORAL  
STYLE: TRUEX/EXTERIOR NICKELGAP 1X4  
COLOR: PRIMED

**C** SYNTHETIC STONE VENEER  
ELDORADO STONE  
STYLE: —  
COLOR: —  
GROUT: —  
CERTIFICATION: (ICC ES ESR-1215)

**D** ALUMINUM GLAD WINDOWS  
MARVIN (OR SIMILAR)  
COLOR: —  
GLAZING: DUAL LOW-E

**E** STANDING SEAM METAL ROOFING  
AEP SPAN  
STYLE: DESIGN SPAN HP 16"  
COLOR: —  
CERTIFICATION: (IAMPO UES ER-0309)  
UNDERLAYMENT: GAF "VERSASHIELD" (ICC ESR-2063)

**F** CERAMIC WALL TILE  
TBD  
STYLE: —  
COLOR: —  
GROUT: —  
CERTIFICATION: N/A



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New Single Family Home  
1801 Balboa

1801 E. Balboa Boulevard, Newport Beach, California 92661

PROJECT No.: 1816


DRAWN: \_\_\_\_\_ reo

CHECK: 180

ISSUE:

04.30.18 CDP SUBMITTAL #1

A horizontal beam is shown with a fulcrum (represented by a triangle) positioned at the left end. A weight (represented by a triangle) is placed on the beam at a distance of 1 unit from the fulcrum.



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## A10

A4 ()

## RESULTS

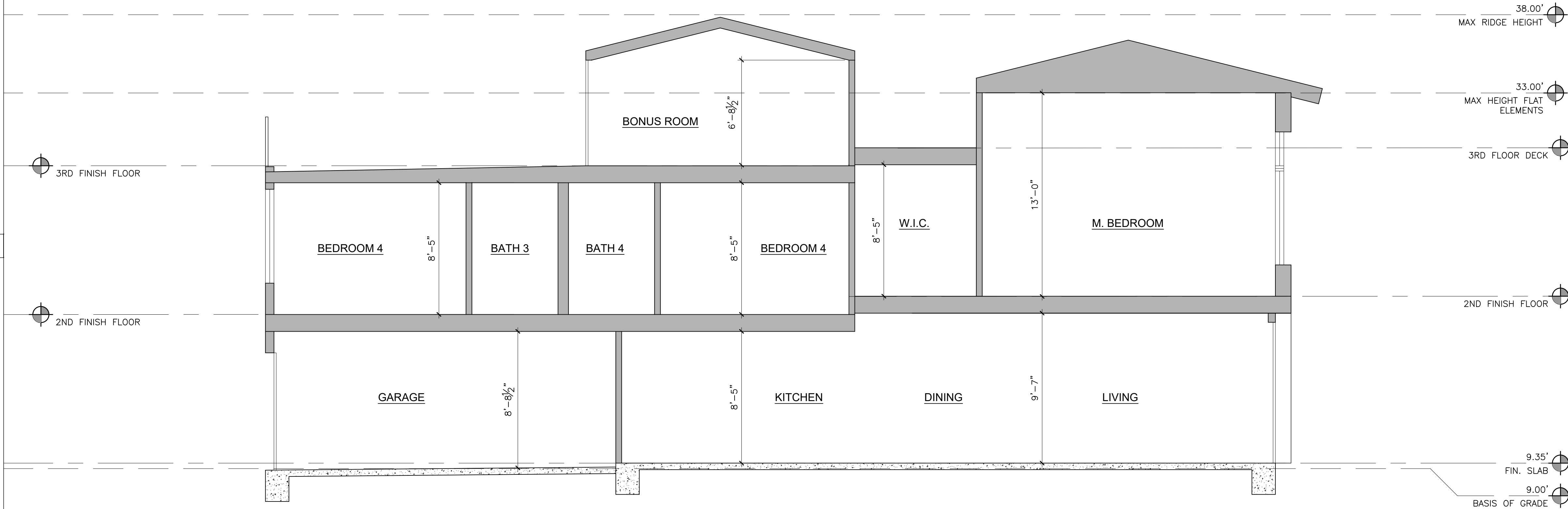
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## Building Sections

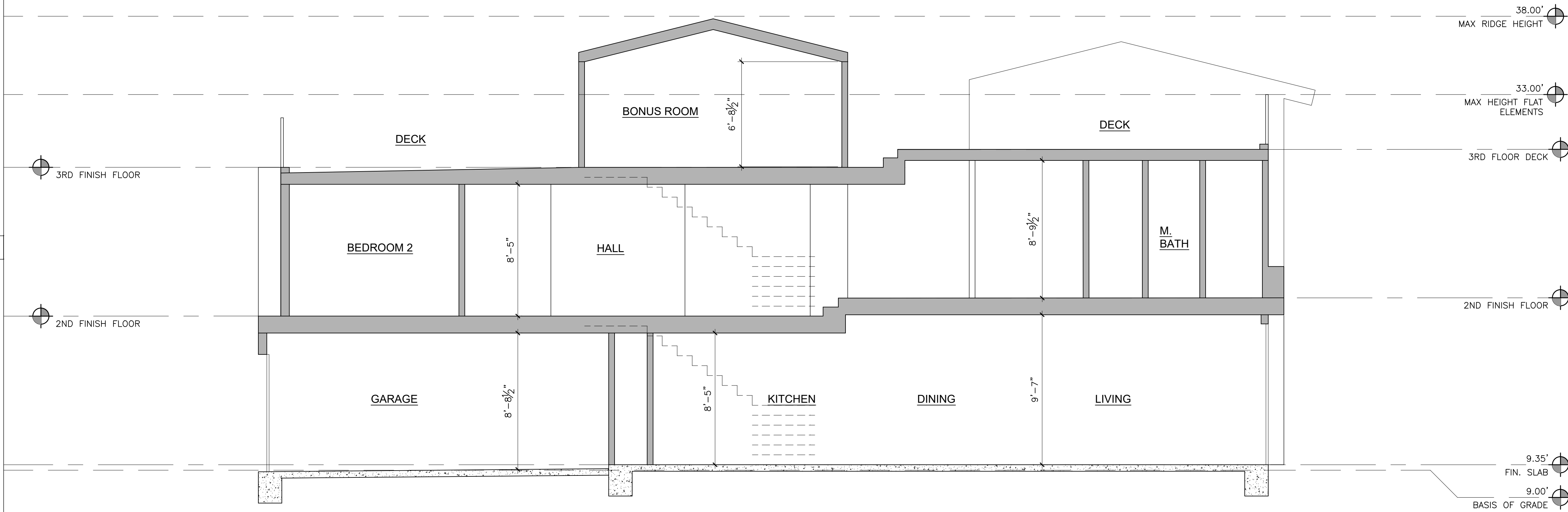
(Vertical Analysis)

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Section \_\_\_\_\_ Scale: 1/4" = 1'-0"



Section \_\_\_\_\_ Scale: 1/4" = 1'-0"



1. IN CASE OF EMERGENCY, CALL OWNER AT \_\_\_\_\_ ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET PILE, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
2. A STAND BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATION TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM SPILLS. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
5. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS ADRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
6. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE FOR RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
7. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
8. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS NO EVIDENCE OF LOSS OF COVER OR MORE OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE. COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST.
9. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
10. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERAL BY WIND.
11. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER EXCEEDS 18 INCHES. DEVICES SHALL NOT BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DRAINAGE OPERATIONS.
12. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRACKS. CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE CLEANED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
13. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND RETAIN POLLUTANTS IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
14. ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
15. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BEFORE NOVEMBER 15TH OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
16. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
17. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REQUIRING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
18. ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY THE INSPECTOR.
19. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
20. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED

**WM-1 MATERIAL DELIVERY AND STORAGE**  
 PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

**WM-2 MATERIAL USE**  
 HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

**WM-4 SPILL PREVENTION AND CONTROL**  
 IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.

**WM-5 SOLID WASTE MANAGEMENT**  
 PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL.  
 PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

**WM-6 HAZARDOUS WASTE MANAGEMENT**  
 HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

**WM-7 CONTAMINATED SOIL MANAGEMENT**  
 PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.

**WM-8 CONCRETE WASTE MANAGEMENT**  
 STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

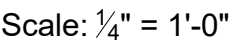
**WM-9 SANITARY/ SEPTIC WASTE MANAGEMENT**  
 UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

**TC-1 STABILIZED CONSTRUCTION ENTRANCE**  
 A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

**SE-1 SILT FENCE**

**SE-3 SEDIMENT TRAP**

**SE-8 GRAVEL BAGS**  
 ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMP'S ARE DEEMED SUFFICIENT.



SITE ADDRESS: 1801 E. BALBOA BLVD.  
NEWPORT BEACH, CA 92661

ASSESSOR'S PARCEL NO.: 048-221-06

TRACT: - BLOCK: - LOT: -

SITE AREA: 2,450 SF

ZONE: R-1

USE: SINGLE FAMILY RESIDENTIAL

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### Keynotes

- 1 TEMPORARY EROSION CONTROL; PROVIDE GRAVEL BAGS STACKED 2 HIGH.
- 2 INSTALL 4" DIAMETER PLANTER DRAIN, NDS 80 OR EQUAL.
- 3 INSTALL 12" SQ DIAMETER DECK DRAIN, NDS 1226 OR EQUAL.
- 4 INSTALL 4" DIAMETER DRAIN PIPE, SDR 35 PVC. MIN. 1% SLOPE
- 5 LOCATION OF 4" DOWNSPOUT FROM GUTTER/SCUPPER ABOVE. CONNECT TO SIDE YARD DRAIN LINE.
- 6 INSTALL 4" DIAMETER PERFORATED DRAIN PIPE (FRENCH DRAIN); SDR 35 PVC

1. CONTRACTOR SHALL PROTECT IN PLACE THE EXISTING WATER METER AND ANY SEWER CLEAN-OUTS.
2. BUILDING PAD AREA SHALL BE EXCAVATED PER GEOTECHNICAL RECOMMENDATIONS BELOW EXISTING GRADE TO A MINIMUM OF ONE FOOT BELOW PROPOSED FOUNDATION. SEE PLAN FOR LIMIT OF OVER-EXCAVATION.
- 3.
4. GRADE SHALL FALL AWAY FROM THE FOUNDATION WALL AT A GRADE OF 5% FOR 10' AT EARTH AREAS AND 2% AT PAVED AREAS.
5. MINIMUM 8" CLEARANCE TO BE MAINTAINED FROM TOP OF SLAB TO EARTH.
6. MINIMUM 4" CLEARANCE TO BE MAINTAINED FROM WEEP SCREED TO EARTH.

1. RAIN GUTTERS SHALL OUTLET TO GRADE THAT FLOWS INTO AREA DRAIN OR BE CONNECTED DIRECTLY TO DRAIN BELOW GRADE.
2. ALL CONCRETE AREAS TO FLOW TOWARDS ALLEY/STREET AND AWAY FROM NEIGHBORING PROPERTIES.

CUT = 0  
FILL = 0  
OVER EXCAVATION = 140.81 CU. YDS  
IMPERVIOUS AREA = 2,235 SF