



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

July 12, 2018
Agenda Item No. 3

SUBJECT: Taormina Mixed-Use (PA2017-217)
Coastal Development Permit No. CD2017-094

SITE LOCATION: 424 31st Street

APPLICANT: Ball Architecture

OWNER: Vincent C. Taormina

PLANNER: Liz Westmoreland, Assistant Planner
(949) 644-3234, westmoreland@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** MU-H4 (Mixed-Use Horizontal)
- **Zoning District:** MU-CV/15th St (Mixed-Use Cannery Village/15th St)
- **Coastal Land Use Category:** MU-H (Mixed Used Horizontal)
- **Coastal Zoning District:** MU-CV/15th Street (Mixed-Use Cannery Village/15th Street)

PROJECT SUMMARY

A coastal development permit (CDP) to demolish an existing single-story office building and construct a three-story, mixed-use development. The proposed structure includes a 745-square-foot commercial space at the ground floor and a 2,378-square-foot, single-family residential dwelling on the second and third floors. The development also includes a 400-square-foot, two-car tandem garage for the residential use and three uncovered parking spaces for the commercial use. The project includes hardscape, landscape, and subsurface drainage facilities. The design complies with all applicable development standards and no deviations are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. CD2017-094 (Attachment No. ZA 1).

BACKGROUND

The Zoning Administrator approved Minor Site Development Review No. SD2016-008 on December 15, 2016, for the project, subject to conditions of approval. Subsequent to the approval of the Minor Site Development Review, the City received permit authority for the issuance of coastal development permits. As a result, the applicant applied for this CDP with the City to allow demolition of the existing office building and construction of a new mixed-use development within the coastal zone. Additional conditions of approval for the CDP are contained within the attached draft resolution.

DISCUSSION

Land Use and Development Standards

- The property is located in the MU-CV/15th Street (Mixed-Use Cannery Village/15th Street) Coastal Zoning District, which provides for mixed-use development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- The property currently consists of one legal lot developed with a single-story office building. The neighborhood is predominantly developed with one- and two-story, commercial and mixed-use structures. There are several structures in the immediate area that are similar in height at two-stories. Additionally, the Cannery Lofts development consisting of three-story mixed-use buildings is located near the project to the southeast. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development in the Cannery Village area.
- The project design includes second- and third-floor decks, which serve to set back the second- and third-floor living areas from the street. These features serve to remove some of the massing, keeping the project at a pedestrian scale, which will help maintain compatibility with the neighborhood.
- The project has been designed such that it will be compatible with the scale of expected future development.
- The proposed mixed-use development and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Requirement	Proposed
Setbacks (min.)		
Front	0 feet	0 feet
Sides	0 feet	0 feet
Rear	10 feet	10 feet
Floor Area Ratio (FAR)		
Nonresidential	696 square feet (min) (0.25 FAR) 1,392.9 square feet (max) (0.5 FAR)	745 square feet (0.27 FAR)
Residential	2,785.8 square feet (max.) (1.0 FAR)	2,778 square feet (1.0 FAR)
Open Space (min.)		
Common	75 square feet per unit	108 square feet
Private	5% of gross area for each unit (139 SF)	1,191 square feet
Parking (min.)		
Residential	2-car garage	2-car garage
Commercial	1/250 of gross commercial floor area (3 spaces)	3 spaces
Height (max.)		
Flat roof/railing	26 feet	~22.5 feet
Sloped roof	31 feet	31 feet

Hazards

- The development is located on an inland property in a developed area more than 500 feet from the bay. The project site is separated from the bay (the nearest body of water) by Villa Way, Lafayette Avenue, and a few blocks of mainly mixed use and commercial uses. The finished floor elevation of the first floor for the proposed structure is 9.00 feet based on the North American Vertical Datum of 1988 (NAVD88), which complies with the minimum 9.00-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazards areas coupled with the 9.00-foot (NAVD88) finish floor elevation, will help to ensure the project is reasonably safe for the economic life of the structure.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

Water Quality

- The project site is located more than 500 feet from the bay. The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access

- The project site is located on the Balboa Peninsula within the Cannery Village area. The project site is not located between the nearest public road and the sea or shoreline. The site is developed with a single-story commercial building and private parking lot. The site does not currently provide any views or access to/along the shoreline. Vertical access to the bay front is available along 31st Street in front of the project site. Lateral access along the bay is available via the Rhine.
- The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view or access opportunities on the site. The project site is not located within the viewshed of distant public viewing areas. The project is located on an inland lot and will replace an existing nonresidential structure with a new mixed-use structure (i.e., nonresidential) that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing and anticipated future neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.
- The project will improve an underutilized property in a predominately mixed-use area, which will in turn help to enhance the visual quality of the Coastal Zone for visitors and residents.
- The entire frontage of the project site is currently utilized for vehicular access to the existing parking lot and no street parking is provided. Therefore, construction of the project would not result in a loss of street parking for public use.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

The Class 3 exemption applies to the construction of apartments, duplexes, and similar structures designed for not more than six dwelling units in urbanized areas. The proposed mixed-use development is consistent with all requirements of the Class 3 exemption, as it contains one commercial tenant space and one residential unit on an existing nonresidential site.

The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Liz Westmoreland, Assistant Planner

JM/law

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2018-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2017-094 TO DEMOLISH AN EXISTING SINGLE-STORY COMMERCIAL OFFICE BUILDING AND CONSTRUCT A NEW THREE-STORY MIXED USE DEVELOPMENT LOCATED AT 424 31st STREET (PA2017-217)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Ball Architecture, with respect to property located at 424 31st Street, requesting approval of a coastal development permit.
2. The lot at 424 31st Street is legally described as Lot 19 of Block 331 of Lancasters Addition.
3. The applicant proposes to demolish an existing single-story office building and construct a three-story, mixed-use development. The proposed structure includes 745 square feet of commercial space at the ground floor and a 2,378-square-foot, single-family residential unit on the second and third floors. The development also includes a 400-square-foot, two-car tandem garage for the residential use and three uncovered parking spaces for the commercial use. The project includes hardscape, landscape, and subsurface drainage facilities. The design complies with all applicable development standards and no deviations are requested.
4. The subject property is designated MU-H4 (Mixed Used Horizontal) by the General Plan Land Use Element and is located within the MU-CV/15th Street (Mixed-Use Cannery Village/15th Street) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is MU-H (Mixed Used Horizontal) and it is located within the MU-CV/15th Street (Mixed-Use Cannery Village/15th Street) Coastal Zone District.
6. At a public hearing on December 15, 2016, the Zoning Administrator approved a Minor Site Development Review No. SD2016-008 for the project.
7. A public hearing was held on July 12, 2018, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. The Class 3 exemption applies to the construction of apartments, duplexes, and similar structures designed for not more than six dwelling units in urbanized areas. The proposed mixed-use development is consistent with all requirements of the Class 3 exemption, as it contains one commercial tenant space and one residential unit on an existing nonresidential site.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation for residential uses is 2,785.8 square feet (i.e. floor area ratio [FAR] of 1.0.) The proposed gross floor area for residential use is 2,778 square feet.
 - b. The minimum gross floor area allowable for nonresidential uses is 696 square feet (i.e. FAR of 0.25). The maximum gross floor area limitation for commercial is 1,393 (0.5 FAR). The proposed gross floor area of the nonresidential use is 745 square feet (0.27 FAR).
 - c. The proposed development provides the minimum required setbacks, which are 0 feet along the front property line abutting 31st Street, 0 feet along each side property line, and 10 feet along the rear property line abutting the alley.

- d. The highest guardrail is less than 26 feet from established grade (9.00 feet NAVD88) and the highest ridge is no more than 31 feet from established grade, which comply with the maximum height requirements.
 - e. The project includes a two-car tandem garage for residential use, and three uncovered guest/commercial parking spaces for the commercial component at a ratio of one space for every 250 square feet of gross floor area. Therefore, the project will comply with the minimum parking requirements.
2. The neighborhood is predominantly developed with one- and two-story, commercial and mixed-use structures. There are several structures in the immediate area that are similar in height at two-stories. Additionally, the Cannery Lofts development consisting of three-story mixed-use buildings is located near the project to the southeast. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development in the Cannery Village area.
 3. The project design includes second- and third-floor decks, which serve to set back the second- and third-floor living areas from the street. This feature serves to remove some of the massing keeping the project at a pedestrian scale, which will help maintain compatibility with the neighborhood.
 4. The project has been designed such that it will be compatible with the scale of expected future development.
 5. The development is located on an inland property in a developed area more than 500 feet from the bay. The project site is separated from the bay (the nearest body of water) by Villa Way, Lafayette Avenue, and a few blocks of mainly mixed use and commercial uses. The finished floor elevation of the first floor for the proposed structure is 9.00 feet based on the North American Vertical Datum of 1988 (NAVD88), which complies with the minimum 9.00-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazards areas coupled with the 9.00-foot (NAVD88) finish floor elevation, will help to ensure the project is reasonably safe for the economic life of the structure.
 6. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
 7. The project site is located more than 500 feet from the bay. The project design addresses water quality with a construction erosion control plan and a post construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

8. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located on the Balboa Peninsula within the Cannery Village area. The project site is not located between the nearest public road and the sea or shoreline. The site is developed with a single-story commercial building and private parking lot. The site does not currently provide any views or access to/along the shoreline. Vertical access to the bay front is available along 31st Street in front of the project site. Lateral access along the bay is available via the Rhine.
2. The project site is not located adjacent to a coastal view road, public viewpoint, public park or beach, or public accessway, as identified in the Coastal Land Use Plan. Furthermore, an investigation of the project site and surrounding area did not identify any other public view or access opportunities on the site. The project site is not located within the viewshed of distant public viewing areas. The project is located on an inland lot and will replace an existing nonresidential structure with a new mixed-use structure (i.e., nonresidential) that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing and anticipated future neighborhood pattern of development. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.
3. The project will improve an underutilized property in a predominately mixed-use area, which will in turn help to enhance the visual quality of the Coastal Zone for visitors and residents.
4. The entire frontage of the project site is currently utilized for vehicular access to the existing parking lot and no street parking is provided. Therefore, construction of the project would not result in a loss of street parking for public use.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2017-217, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. The project site is not located within the appeal area of the coastal zone; therefore, final action by the City may not be appealed to the California Coastal Commission.

PASSED, APPROVED, AND ADOPTED THIS 12TH DAY OF JULY, 2018.

Patrick J. Alford, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
3. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
4. Best Management Practices (BMP's) and Good Housekeeping Practices (GHP's) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Pollution Prevention Plan (CPPP).
5. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
6. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
7. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
8. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
9. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
10. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
11. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious

to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

12. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
13. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
14. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
15. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
16. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
17. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
18. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
19. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
20. This Coastal Development Permit No. CD2017-094 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
21. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents

from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Taormina Mixed Use Development including, but not limited to, Coastal Development Permit No. CD2017-094 (PA2017-217). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. CD2017-094
PA2017-217

424 31st Street

Attachment No. ZA 3

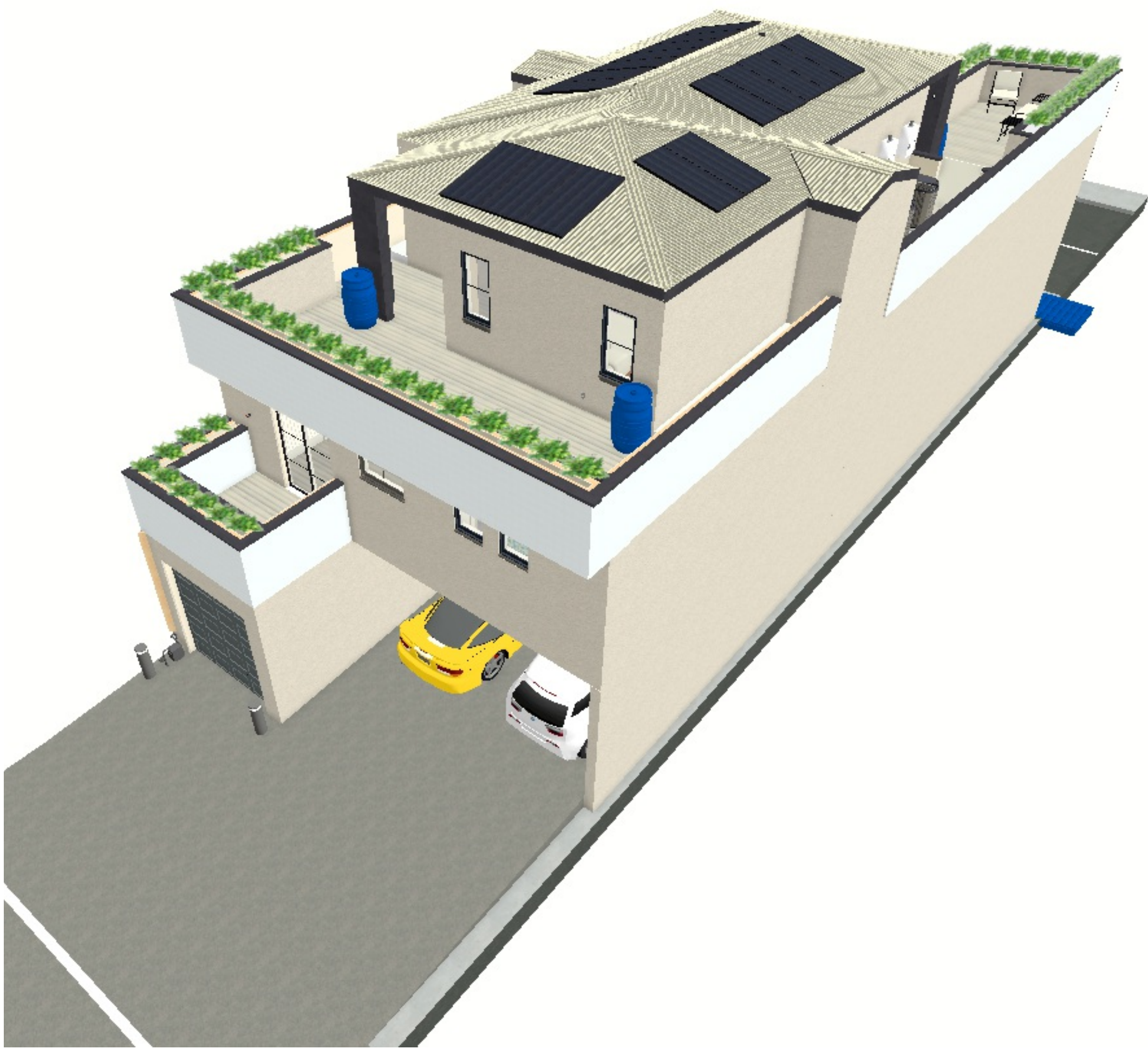
Project Plans

PROJECT DESCRIPTION

A mixed-use development consisted a 745 square-foot commercial space at the ground floor and a 2,778 square-foot single-family residential unit on the second and third floors with a 400 square-foot, two-car tandem garage for the residential use and three uncovered parking spaces for the commercial use.

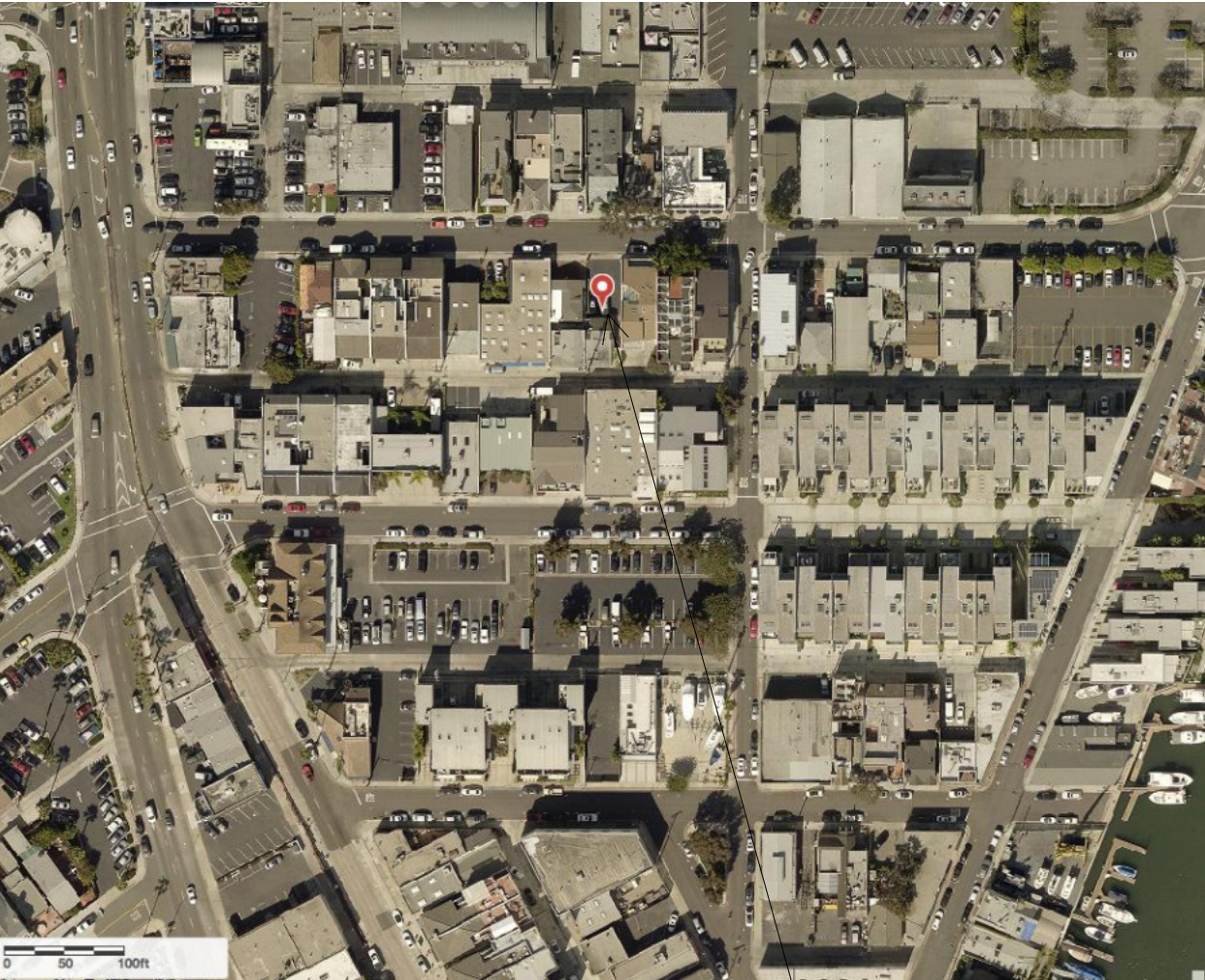
DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY:

- a. residential elevator equipment
- b. fire sprinkler

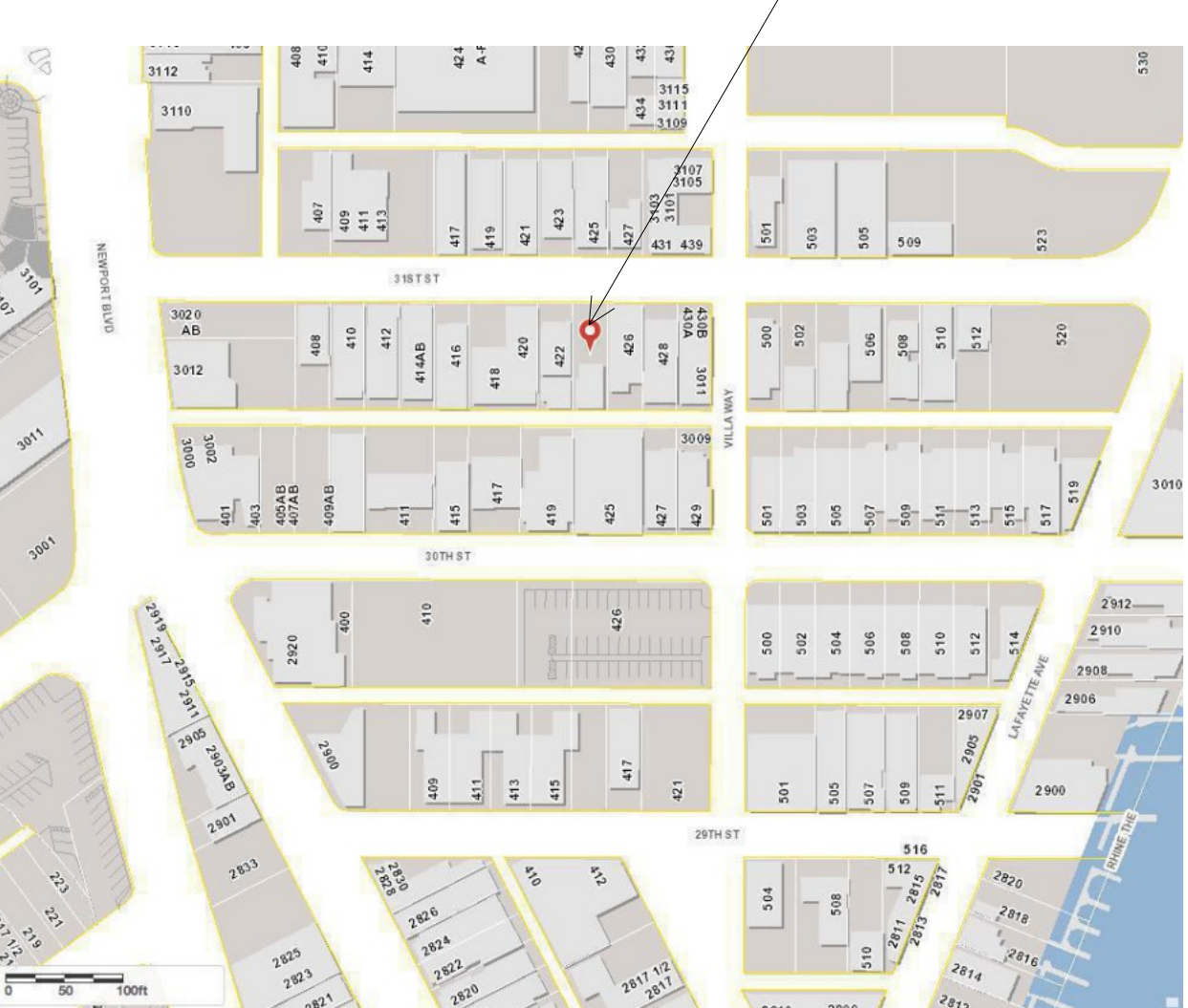


A NEW MIXED-USE PROJECT FOR VINCENT C. TAORMINA
424 31ST STREET, NEWPORT BEACH, CA 92663

VICINITY MAP



ASSESSOR'S MAP



TEAM MEMBER:

- OWNER
Vincent C. Taormina
424 31st Street
Newport Beach, CA 92663
714-743-4608

PROJECT ARCHITECT
Stephen L. Ball AIA Architect
P.O. Box 9156
Laguna Beach, CA 92652
949-338-2679

SURVEYOR / CIVIL ENGINEER
Shree Consultants LLP
3002 N. Cottonwood Street
Orange, CA 92865
949-768-4467

INTERIOR DESIGNER
Nila Trider
P.O. Box 8229
Newport Beach, CA 92658
949-644-9226

BUILDER
TO BE DETERMINED
- STRUCTURAL ENGINEER
JKL Engineering
900 N. Santa Anita ave., #B
Arcadia, CA 91006

TITLE 24
Alliance Energy Partners
5530 Corbin ave., suite 300A
Tarzana, CA 91356
818-921-4757

TOTAL AREA TABULATIONS, LEGAL& CODES

MIXED USE CALCULATIONS:	
GENERAL DATA:	
FRONT SETBACK	0' (none)
REAR SETBACK	10' - 0"
SIDE YARD SETBACK	0' (none)
MINIMUM FLOOR ELEVATION	9.00'
MAXIMUM HEIGHT	26' - 0" (flat roof)
MAXIMUM HEIGHT	31'0" (3:12 min.)
TOTAL NON-RESIDENTIAL	745.00 SQ. FT.
NON RESIDENTIAL ALLOWED	745.00 SQ. FT. MAX.
TOTAL RESIDENTIAL	2,778.00 SQ. FT.
RESIDENTIAL ALLOWED	2,785.80 SQ. FT. MAX.
TOTAL PROPOSED	3,523.00 SQ. FT.
F.A.R.	1.27

SEE A1.00 FOR F.A.R. CALCULATIONS

OCCUPANCY:
Zone MU-CV/15th
1st floor occupancy B / type VB
1st floor occupancy U garage / type VB
1st floor occupancy S2 trash storage / type VB
2nd & 3rd floor occupancy R-3 / type VB

CODE UTILIZED:
2013 California Building (CBC)
Electrical (CBC)
Energy(T-24-6)
Mechanical (CMC)
plumbing (CPC) codes,
with local amendments & California Green Code

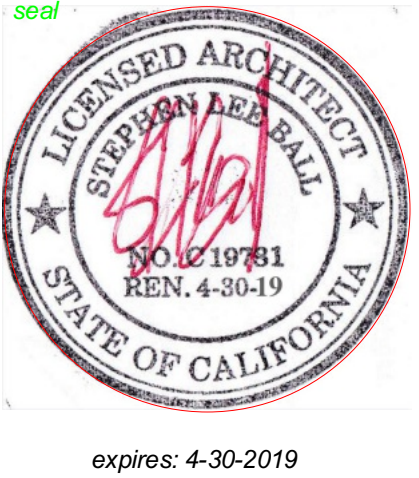
DISTRICT AREA CANNERY VILLAGE; ZONE MU-CV/15TH;
LOT 19, BLOCK 331, LANCASTER ADDITION TO NEWPORT BEACH;
GENERAL PLAN: MU-H4

INDEX

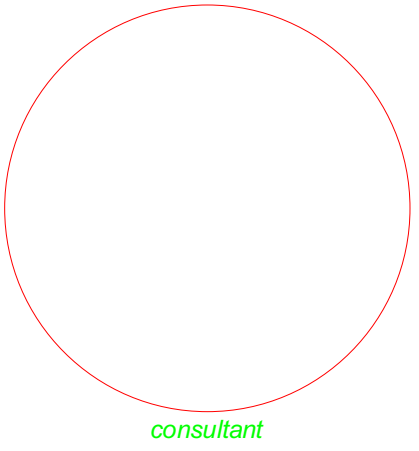
G1.00	TITLE SHEET & MISSION STATEMENT
G1.01	APPROVALS
A1.00	PLOT PLAN / ADA PATH
A1.01	FLOOR AREA CALCULATION / OPEN SPACE AREA
A2.00	GROUND FLOORPLAN
A2.01	2ND & 3RD FLOORPLAN
A2.02	ROOF PLAN
A3.00	NORTH & WEST ELEVATION
A3.01	SOUTH & EAST ELEVATION
A3.02	ARCHITECTURAL FINISHES
A4.00	GENERAL SECTIONS



ISSUE	
SITE DEV. REVIEW	7-31-15
SITE DEV. REVIEW	10-03-16
ZONING APPROVED	12-15-16
PLAN CHECK	12-22-16
PC 2	06-05-18
COASTAL	07-15-18



A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
424 31ST STREET, NEWPORT BEACH, CALIFORNIA 92663
714 743-4608



project
A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
424 31ST STREET
NEWPORT BEACH,
CALIFORNIA 92663
714 743-4608

description

TITLE SHEET
sheet
G1.00
sheet of

© 2018 STEPHEN L. BALL AIA ARCHITECT
This document is a preliminary design and is not to be used for construction without the approval of the architect. The architect is not responsible for the accuracy of the information provided in this document. The architect is not responsible for the accuracy of the information provided in this document. The architect is not responsible for the accuracy of the information provided in this document.



CITY OF NEWPORT BEACH
100 Civic Center Drive
Newport Beach, California 92660
949 644 3300
newportbeachca.gov/communitydevelopment

VIA EMAIL

December 19, 2016

Stephen L. Ball Architect, Inc.
38 N. Stonington
Laguna Beach, CA 92651
Stephen@ballaia.com

Subject: Site Development Review No. SD2016-008
(PA2016-177)
424 31st Street
Taormina Mixed-Use

Dear Mr. Stephen L. Ball Architect, Inc.,

It was a pleasure working with you on the above referenced application. Please be advised that the subject application was approved by the Zoning Administrator on December 15, 2016 and **effective on December 29, 2016**. A copy of the approved resolution with findings and conditions is attached. If you have any questions, please do not hesitate to contact me directly. Thank you and I look forward to working with you again in the future.

Sincerely,

Rosalinh Ung
Associate Planner

JCU

Attachment

Community Development Department

Zoning Administrator Resolution No. 068
Page 6 of 10

EXHIBIT "A"
CONDITIONS OF APPROVAL

(Project-specific conditions are in *italics*)

PLANNING

- The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
- Minor Site Development Review No. SD2016-008 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.91.050 of the Newport Beach Municipal Code, unless an extension is otherwise granted.*
- The development shall consist of a 3-story, single building at 31 feet in height, and a FAR of 1.27 (745 square feet for commercial and 2,378 square feet for residential):*
- A total of five parking spaces which consisted of a two-car tandem garage and three uncovered parking spaces shall be provided and maintained at all time.*
- The applicant shall prepare a written disclosure statement prior to sale, lease, or rental of a residential unit in the proposed mixed-use development consistent with Section 20.48.130.H (Notification to Owners and Tenants) of the Municipal Code.*
- The applicant shall record a deed notification with the County Recorder's Office, the form and content of which shall be satisfactory to the City Attorney for a residential unit in a mixed use project consistent with Section 20.48.130. I (Deed Notification).*
- The finished first floor elevation for interior living areas (commercial area on the ground floor) shall be raised to at least 9.00 (NAVD 88) as the proposed development is located in a low-lying area prone to flooding.*
- The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
- The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
- Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Site Development Review or the processing of a new Site Development Review.
- A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of building permits.

10-02-2015

RESOLUTION NO. ZA2016-008

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MINOR SITE DEVELOPMENT REVIEW NO. SD2016-008 FOR A MIXED-USE DEVELOPMENT LOCATED AT 424 31ST STREET (PA2016-177)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

- An application was filed by Stephen L. Ball Architect, Inc. with respect to property located at 424 31st Street, and legally described as Lot 19 of Block 331 of Lancasters Addition, requesting approval of a Minor Site Development Review.
- The applicant requests a Minor Site Development Review to demolish an existing single-story office building and construct a three-story, mixed-use development. The proposal includes 745 square feet of commercial space at the ground floor and a 2,378 square-foot single-family residential unit on the second and third floors. The development also includes a 400 square-foot, two-car tandem garage for the residential use and three uncovered parking spaces for the commercial use.
- The subject property is located within the MU-CV/15 Street (Mixed-Use Cannery Village and 15 Street) Zoning District and the General Plan Land Use Element category is Mixed Use Horizontal 4 (MU-H4).
- The subject property is located within the coastal zone. The Coastal Land Use Plan category is MU-H (Mixed Use Horizontal).
- A public hearing was held on December 15, 2016, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

- The project is categorically exempt under Section 15303 of the State CEQA (California Environmental Quality Act) Guidelines – Classes 3 (New Construction or Conversion of Small Structures). The Class 3 exemption applies to apartments, duplexes, and similar structures designed for not more than six dwelling units in urbanized areas. The proposed construction of a mixed-use development is consistent with all requirements of the Class 3 exemption.
- The Zoning Administrator finds that judicial challenges to the City's CEQA determinations and approvals of land use projects are costly and time consuming. In addition, project opponents often seek an award of attorneys' fees in such challenges. As project applicants are the primary beneficiaries of such approvals, it is appropriate

10-02-2015

Zoning Administrator Resolution No. 068
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that such applicants should bear the expense of defending against any such judicial challenge, and bear the responsibility for any costs, attorneys' fees, and damages which may be awarded to a successful challenger.

SECTION 3. REQUIRED FINDINGS.

Site Development Review

In accordance with Section 20.52.080.F (Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. Allowed within the subject zoning district.

Facts in Support of Finding:

- The subject property is located within the MU-CV/15 Street Zoning District, which allows multi-unit dwelling units, nonresidential uses and/or mixed-use (commercial/residential) structures; where the ground floor is restricted to nonresidential uses along the street frontage. Residential uses and overnight accommodations are allowed above the ground floor and to the rear of uses along the street frontage. Mixed uses or nonresidential structures are required on lots at street intersections. The proposed development is a mixed-use development with commercial use on the ground floor, residential use on the second and third floors, and is allowed within the subject-zoning district.

Finding:

- B. In compliance with all of the applicable criteria identified subsection [20.52.080](C)(2)(c):

- Compliance with this Section, the General Plan, the Zoning Code, any applicable specific plan, and other applicable criteria and policies related to the use or structure;
- The efficient arrangement of structures on the site and the harmonious relationship of the structures to one another and to other adjacent development; and whether the relationship is based on standards of good design;
- The compatibility in terms of bulk, scale, and aesthetic treatment of structures on the site and adjacent developments and public areas;
- The adequacy, efficiency, and safety of pedestrian and vehicular access, including drive aisles, driveways, and parking and loading spaces;
- The adequacy and efficiency of landscaping and open space areas and the use of water efficient plant and irrigation materials; and
- The protection of significant views from public right(s)-of-way and compliance with Section 20.30.100 (Public View Protections).

10-02-2015

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Zoning Administrator Resolution No. 068
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Facts in Support of Finding:

- The Land Use Element of the General Plan designates the subject property as Mixed Use Horizontal 4 (MU-H4), which is intended to provide for multi-family residential, general or neighborhood commercial, and/or mixed-use structure; where the ground floor shall be restricted to nonresidential uses along the street frontage and the rear and upper floor uses for residential, including senior residential units and overnight accommodations. Mixed-use or commercial buildings shall be required on parcels at street intersections. The mixed-use development shall have floor area to land area (FAR) ratio of 1.5; where a minimum FAR ratio of 0.25 shall be required for the proposed for retail uses and a maximum of 1.0 for residential. The proposed development is consistent with the General Plan designation in that:
 - The proposed development is designed as a mixed-use structure where there is no internal connection or access provided between the nonresidential use on the ground floor and residential use area on floors above.
 - The proposed development has 0.27 FAR for commercial uses; and 1.00 FAR for residential uses totaling 1.27 FAR for a mixed-use development consistent with the MU-H4 land use category.
- The proposed development complies with the MU-CV/15 Street Zoning District development standards of FAR, building setbacks, public and private open spaces, building height, and parking in that:
 - The proposed development has 0.27 floor area ratio (FAR) for commercial use and 1.00 FAR for residential use. The commercial FAR meets the minimum 0.25 FAR and is less than the maximum 0.50 FAR. The residential FAR. Together, the proposed project has 1.27 FAR for mixed-use development.
 - The proposed development complies with the required setbacks of 0 feet for the front, 10 feet for the rear and 0 feet for each side.
 - The proposed development consists of a 3-story building at 31 feet in height which is in compliance with the 26/31 height allowance.
 - The proposed development provides a total of 108 square feet of common open space, where a minimum of 75 square feet is required for each residential unit; and a total of 1,598 square feet of private open space where a minimum of 139 square feet (5% of gross floor area) is required for each residential unit.
 - A total of five parking spaces are provided. Two spaces would be within a 400 square-foot tandem garage accessed from the alley. Three uncovered parking spaces will also be provided, two accessed from the alley and one disabled parking space would be accessed from 31st Street. Parking for the proposed development complies with the parking requirements of two enclosed parking spaces for the single-residential unit and three guest/customer parking spaces

10-02-2015

Zoning Administrator Resolution No. 068
Page 9 of 10

	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
Location	Interior	Exterior	Interior	Exterior
Residential Property	450BA	550BA	400BA	500BA
Residential Property located within 100 feet of a commercial property	450BA	600BA	450BA	500BA
Mixed Use Property	450BA	600BA	450BA	500BA
Commercial Property	N/A	650BA	N/A	600BA

- Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
- Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
- All trash shall be stored within the designated areas as approved by Community Development Department and screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies.
- The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14, including all future amendments (including Water Quality related requirements).
- Storage outside of the building, in the front, side or at the rear of the property shall be prohibited.
- To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Taormina Mixed-Use Development including, but not limited to Site Development Review No. SD2016-008. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

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Fire Department Conditions

- As per California Fire Code Section 903.2.8, an automatic fire sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

Building Division Conditions

- The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Approval from the Orange County Health Department is required prior to the issuance of a building permit.
- The applicant shall employ the following best available control measures ("BACMs") to reduce construction-related air quality impacts:
 - Dust Control
 - Water all active construction areas at least twice daily.
 - Cover all haul trucks or maintain at least two feet of freeboard.
 - Pave or apply water four times daily to all unpaved parking or staging areas.
 - Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
 - Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
 - Suspend all operations on any unpaved surface if winds exceed 25 mph.
 - Emissions
 - Require 90-day low-NOx tune-ups for off road equipment.
 - Limit allowable idling to 30 minutes for trucks and heavy equipment
 - Off-Site Impacts
 - Encourage carpooling for construction workers.
 - Limit lane closures to off-peak travel periods.
 - Park construction vehicles off traveled roadways.
 - Wet down or cover dirt hauled off-site.
 - Sweep access points daily.
 - Encourage receipt of materials during non-peak traffic hours.
 - Sandbag construction sites for erosion control.
 - Fill Placement
 - The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
 - Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.
- Prior to the issuance of grading permits, a Geotechnical Report shall be submitted for the review and approval by the Building Division.

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Zoning Administrator Resolution No. 068
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for the commercial component at a ratio of one space for every 250 square feet of gross floor area.

- The proposed site layout provides efficient vehicular access from 31st Street and an existing alleyway by providing direct vehicular access from the alley and the street. Adequate pedestrian access and path of travel to the building will be provided from the street and alleyway. The existing street driveway will be repositioned slightly with no loss of street parking spaces. The Public Works Department has reviewed and approved the site plan, proposed improvements including the repositioned driveway from 31st Street, and parking configuration subject to the conditions of approval.
- The subject property is not located at or near a public view point or corridor as identified in the General Plan Figure NR3 (Coastal Views); and therefore, is in compliance with Section 20.30.100 (Public View Protections).

Finding:

- C. Not detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed development.

Facts in Support of Finding:

- The proposed development complies with all Building, Public Works, and Fire Codes. The project complies with all City ordinances and conditions of approval. Verification is ensured through the review of construction plans prior to the issuance of building permits and the construction/inspection process.
- The project has been conditioned to ensure that potential conflicts with surrounding land uses are minimized to the extent possible to maintain a healthy environment for both businesses and residents.
- The proposed project includes two enclosed parking spaces for the residential unit and three open parking spaces for the nonresidential use, which comply with the parking requirements for mixed-use, pursuant to the Municipal Code Section 20.40.040 (Off-Street Parking).
- The proposed project design includes more than the minimum required private open spaces for the residential unit as required by the MU-CV/15 Street Zoning District Mixed-Use zoning district.

Zoning Administrator Resolution No. 068
Page 5 of 10

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

10-02-2016 The Zoning Administrator of the City of Newport Beach hereby approves Minor Site Development Review No. SD2016-008, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.

- This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 15th OF DECEMBER 2016.

Patrick Alford, Zoning Administrator

Zoning Administrator Resolution No. 068
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- Prior to issuance of grading permits, the applicant shall prepare and submit a Water Quality Management Plan (WQMP) for the proposed project, subject to the approval of the Building Division, Code and Water Quality Enforcement Division. The WQMP shall provide appropriate Best Management Practices (BMPs) to ensure that no violations of water quality standards or waste discharge requirements occur.
- Prior to the issuance of grading permits, a Hydrology Plan shall be submitted for the review and approval by the Building Division.

Public Works Conditions

- All improvements shall be constructed as required by Ordinance and the Public Works Department.
- An encroachment permit shall be required for all work activities within the public right-of-way.
- The applicant shall be responsible for the reconstruction of the existing broken and/or otherwise damaged concrete curb, gutter and sidewalk along the 31st Street and any existing broken and/or otherwise damaged concrete panels in the alley.
- All existing overhead utilities serving the project site shall be undergrounded.
- The residential unit and commercial component shall be served by separate water services/meters and sewer laterals/cleanouts. Each water meter and sewer cleanout shall be installed with a traffic-grade box and cover.
- Additional reconstruction within the public right-of-way shall be required at the discretion of the Public Works Inspector if it is determined that damage has been done to public improvements surrounding the development site by the private construction.
- The existing driveway shall be removed per City Standard STD-165-L.
- A new driveway approach shall be constructed per City Standard STD-162-L and there shall be no loss of on-street parking spaces.
- The applicant shall provide a 4-foot ADA-compliant pedestrian path around the proposed new driveway approach. This shall require a pedestrian easement within private property to be granted to the City of Newport Beach.
- The proposed project shall be designed to comply with the City sight distance standard STD-110-L.
- The rear alley setback shall be clear of all aboveground improvements.

10-02-2015

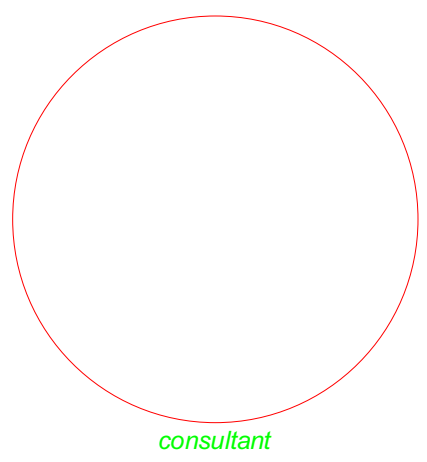


ISSUE	
SITE DEV. REVIEW	7-31-15
SITE DEV. REVIEW	10-03-16
ZONING APPROVED	12-15-16
PLAN CHECK	12-22-16
PC 2	06-05-18
COASTAL	07-15-18



expires: 4-30-2019

A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
424 31ST STREET,
NEWPORT BEACH, CALIFORNIA 92663
714 743-4608



project
A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
424 31ST STREET
NEWPORT BEACH
CALIFORNIA 92663
714 743-4608

description

APPROVALS

sheet
G1.01
sheet of

© 2015 STEPHEN L. BALL, AIA, ARCHITECT
This document is a contract and shall be read in conjunction with the contract documents. It is the responsibility of the client to ensure that all information is accurate and complete. The architect shall not be responsible for the accuracy or completeness of the information provided by the client. The architect shall not be responsible for the accuracy or completeness of the information provided by the client. The architect shall not be responsible for the accuracy or completeness of the information provided by the client.

BUILDING DEPARTMENT COMMENTS:

1. Prior to performing any work in the City right-of-way an encroachment permit must be obtained from the Public Works Department.

PUBLIC WORKS DEPARTMENT COMMENTS:

1. Show the entire driveway approach on the plans. The entire driveway, including the sloped portion of the driveway shall be located within the projection of the side property line.
2. The project shall provide a minimum 4 foot wide ADA compliant pedestrian path around the driveway approach, a pedestrian easement shall also be granted to the City.
3. Each unit shall be served by separate water and sewer services.
4. All improvements shall be constructed as required by Ordinance and the Public Works Department.
5. 31st Street is on the City's Street-cut moratorium list. Trenching/damage to said street will require extensive street repair. Contact Public Works for repair requirements.
6. Reconstruct all broken/damaged panels within the alley along the project alley frontage per City Standard.
7. Plug existing driveway per City Standard STD-165-L. Install new driveway per City Standard STD-162-L. The proposed project shall be designed to comply with the City sight distance standard STD-110-L.

USDO
Advisory 11B-404.2.4.3 Recessed doors and gates. A door can be recessed due to wall thickness or because of the placement of casework and other fixed elements adjacent to the doorway. This provision must be applied wherever doors are recessed.

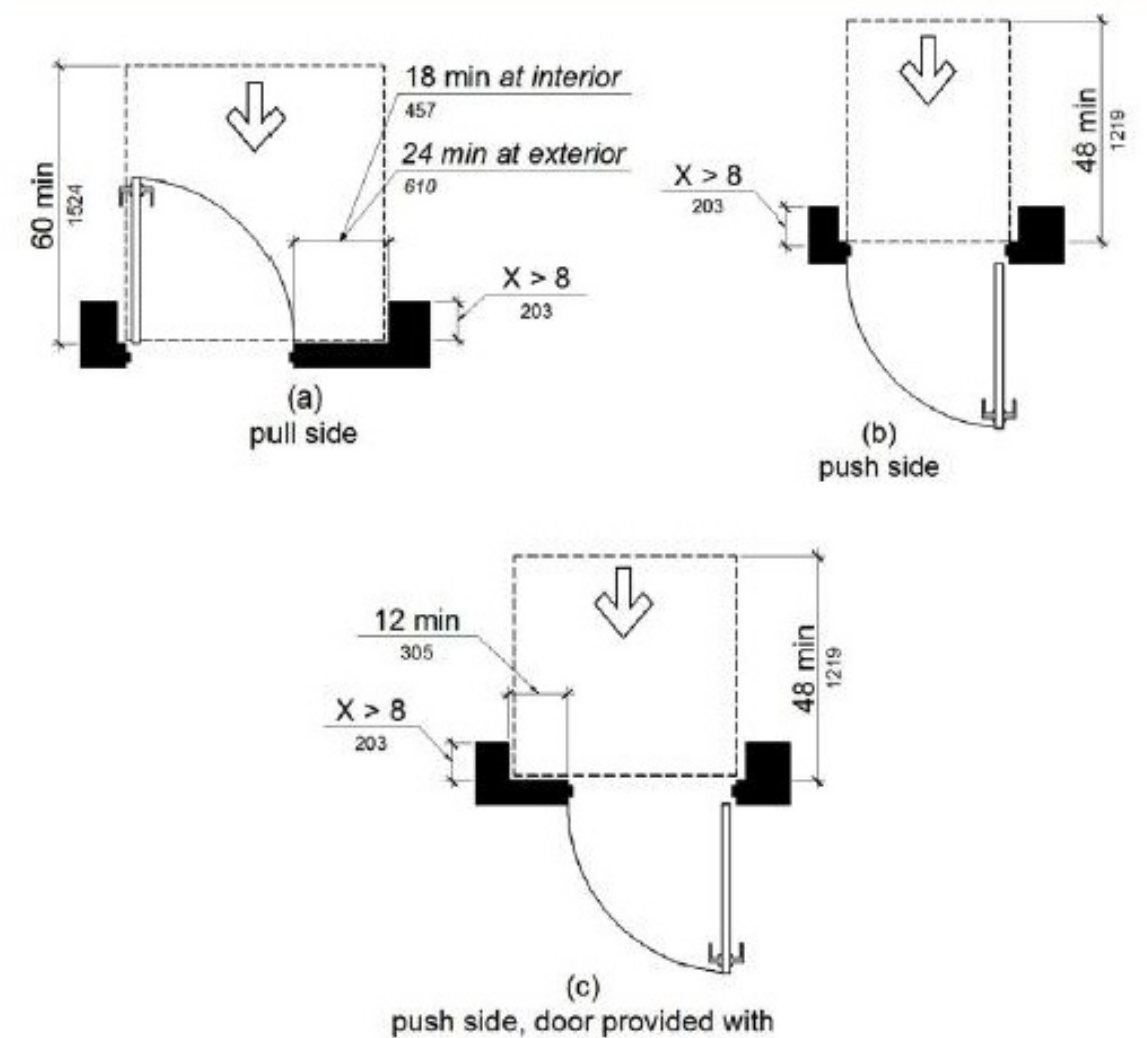


Figure 11B-404.2.4.3
Maneuvering Clearances at Recessed Doors and Gates

11B-404.2.4.4 Floor or ground surface. Floor or ground surface within required maneuvering clearances shall comply with Section 11B-302. Changes in level are not permitted.

Exceptions:

1. Slopes not steeper than 1:48 shall be permitted.
2. Changes in level at thresholds complying with Section 11B-404.2.5 shall be permitted.

11B-404.2.5 Thresholds. Thresholds, if provided at doorways, shall be 1/2 inch (12.7 mm) high maximum. Raised thresholds and changes in level at doorways shall comply with Sections 11B-302 and 11B-303.

11B-502.3.2 Length. Access aisles shall extend the full required length of the parking spaces they serve.

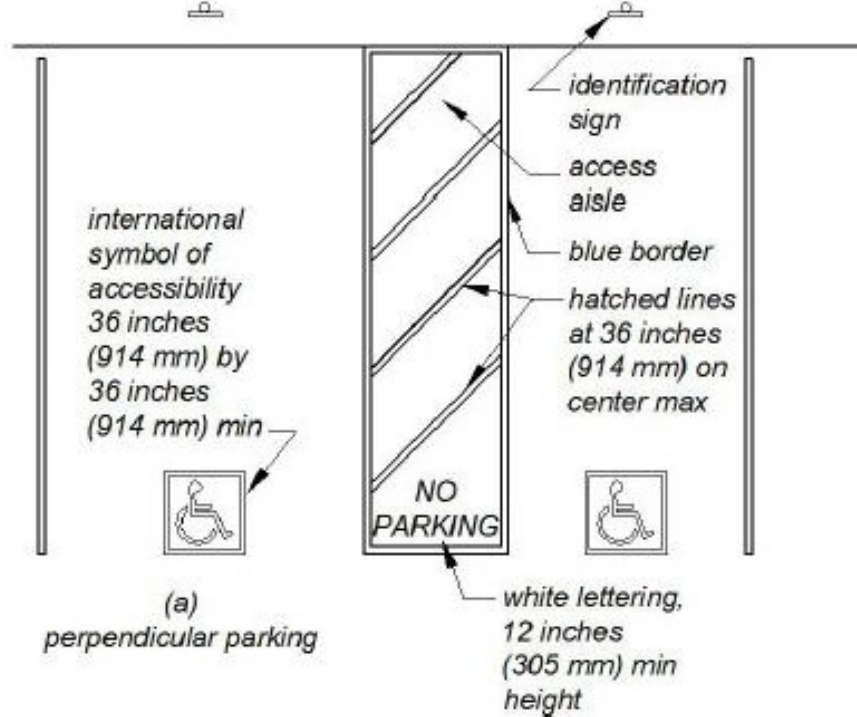
11B-502.3.3 Marking. Access aisles shall be marked with a blue painted borderline around their perimeter. The area within the blue borderlines shall be marked with hatched lines a maximum of 36 inches (914 mm) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (305 mm) in height and located to be visible from the adjacent vehicular way. Access aisle markings may extend beyond the minimum required length.

DSA

Advisory 11B-502.3.3 Marking. The requirement that the hatching at the loading and unloading access aisle be a suitable contrasting color to the parking space is intended to ensure that the hatching is visually distinct from the background to which it is applied, and thus can be more easily seen. As hatching is generally recognized as a no-parking area, this difference in contrast assists drivers by providing a conspicuous visual deterrent to parking in the loading and unloading access aisle.

Asphalt is often the parking surface material used at accessible parking spaces. Asphalt is generally considered to be fairly dark in appearance. In order to provide a suitable contrasting color at the hatched area of the loading and unloading access aisle, a light color hatching should be used at locations where asphalt is the parking surface material. Although white paint is preferred (and traditionally the color most often used), its use is not mandatory under the California Building Code (CBC).

In order to provide a suitable contrast at the hatched area of the loading and unloading access aisle in locations where light concrete is used as the parking surface material (such as at concrete parking garages), a dark color hatching should be used. Although blue paint is preferred, its use is not mandatory under the California Building Code (CBC).



ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE



As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

Signs & Identifications

1. When signs identify permanent rooms and spaces of a building or site, they shall comply with CBC 11B-703.1; 11B-703.2; 11B-703.3 and 11B-703.5. Where pictograms are provided, it shall comply with section 11B-703.6 and shall have text descriptions complying with sections 11B-703.2 & 11B-703.5. (11B-216.2)
2. All building entrances that are accessible to and usable by persons with disabilities and at every major junction along or leading to an accessible route of travel shall be identified with a sign displaying the International Symbol of Accessibility complying with section 11B-703.7.2.1 and with additional directional signs complying with section 11B-703.5, as required, at junction when the accessible route diverges from the regular circular path. (11B-216.6)
3. Provide tactile exit signage and identify locations on floor plan. Include sign elevation and typical signage text per CBC 1011.4 at doors to exit passageways, exit discharge and exit stairways shall comply with sections 11B-703.1; 11B-703.2; 11B-703.3 and 11B-703.5. (11B-216.4.1)
4. Signs required by section 1007.10 to provide directions to accessible means of egress shall comply with section 11B-703.5. (11B-216.4.3)

Accessibility Ramp

5. Ramp surfaces shall be stable, firm & slip resistant and shall comply with section 11B-302.
6. The maximum slope of a ramp that serves any exit way, provides access for persons with disabilities, or is in the path of travel shall be 1" rise in 12" of horizontal run. Cross slope of ramp runs shall not be steeper than 1:48. (11B-405.2 & 11B405.5)
7. Intermediate landings shall be provided at intervals not exceeding 30" of vertical rise and at each change of direction in excess of 30 degrees. (11B-405.6 & 11B-405.7.4)
8. Ramp runs shall have handrails complying with section 11B-505. Handrails are required on ramps that provide access if the ramp slope exceeds 1" rise in 20" of horizontal run, except that at exterior door landings, handrails are not required on ramps less than 6" rise or 72" in length. (11B-402.2 & 11B405.8)
9. Handrails shall be placed on each side of each ramp and shall be continuous the full length of the ramp, shall be 34" to 38" above the ramp surface, shall extend horizontally above the landing for 12" min beyond the top and the bottom of ramp run. Extensions shall return to a wall, guard or the landing surface or shall be continuous to the handrail of an adjacent ramp run (11B-505.10.1 & figure 11B-505.10.1)
10. Handrail gripping surfaces with a circular cross section shall have an outside diameter of 1 1/4" minimum and 2" maximum. Non-circular cross sections shall have a perimeter dimensions of 4" minimum and 6 1/4" maximum, and a cross section of 2 1/4" maximum. (11B-505.7 & figure 11B-505.7.2). Gripping surfaces (top and sides) shall be continuous along their length and shall be uninterrupted by newel posts, other construction elements, or obstructions. Bottom of gripping surfaces shall not be obstructed for more than 20% of their length. Any wall or other surface adjacent to the handrail; shall be free of sharp or abrasive elements and shall have rounded edges (11B-505.8).
11. Handrail projecting from a wall shall have a space of 1 1/2" between the wall and the handrail. (11B-505.8/)
12. Edge protection shall be provided on each side of the ramp run and at each side of the ramp landing. Where the ramp surface is not bounded by a wall, the ramp shall have a curb at minimum of 2" in height or a barrier that prevents the passage of a 4" diameter sphere within 4" of the finish floor (11B-405.9.2).

Toilet rooms:

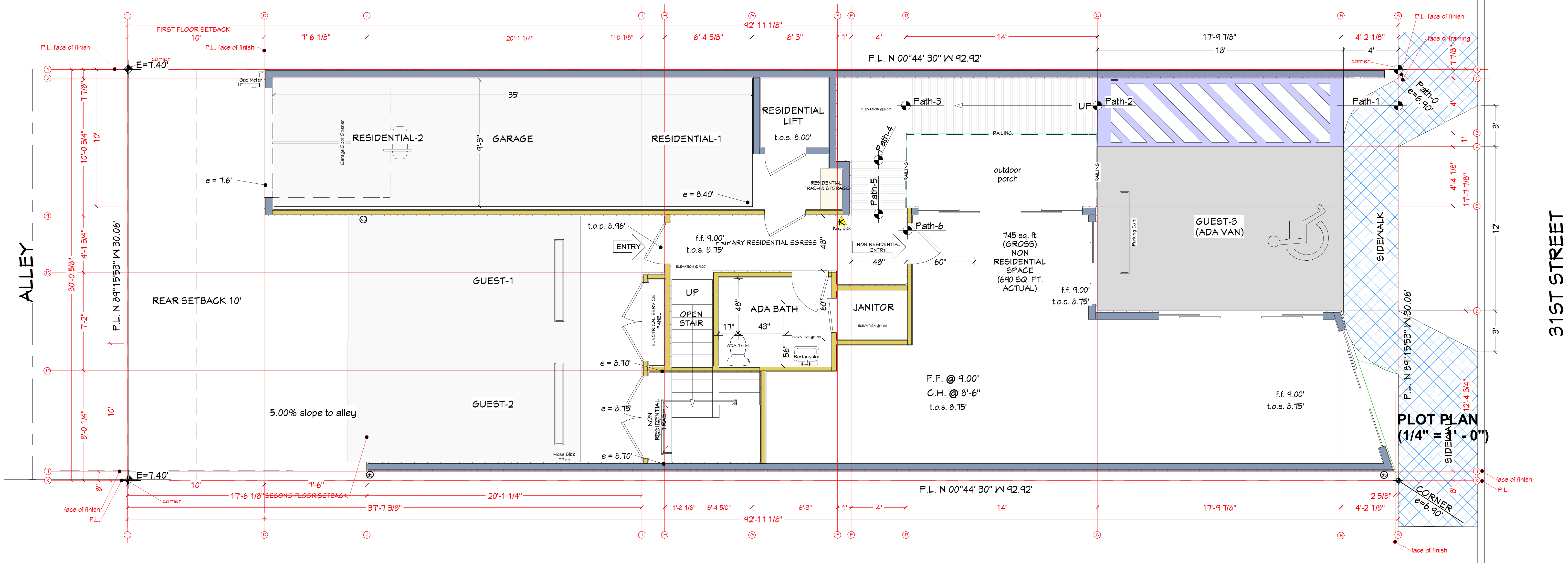
13. Unisex toilet and bathing facilities shall be identified by a circle 1/4" thick, 12" in diameter, with a 1/4" thick triangle with vertex pointing upward superimposed on the circle and within the 12" diameter. The triangle symbol shall contrast with the circle symbol, either light on a dark background or dark on a light background. The circle symbol shall contrast with the door, either light on a dark background or dark on a light background (11B-703.7.2.6.3).
14. Toilet rooms shall comply with section 11B-603. (11B-213.2). Turning space of 60" min shall be provided within the room (11B-603.2.1). Turning space shall be permitted to include knee & toe clearance complying with section 11B-306. Door shall not swing into the 30"x48" clear floor space or clearance required for any fixture.

PATH-0	CORNER ELEV.	ELEV.	DIST. (')	SLOPE
PATH-1	PROPERTY LINE	6.90	2.63	2.08%
PATH-2	START OF FIRST RAMP	6.95	22.00	2.08%
PATH-3	TOP OF FIRST RAMP	7.41	14.00	8.33%
PATH-4	START OF SECOND RAMP	8.58	4.46	2.08%
PATH-5	TOP OF SECOND RAMP	8.67	3.94	8.33%
PATH-6	ENTRY	9.00	2.00	0.00%

ADA PATH CALCULATION

Table 11B-208.2 Parking Spaces

Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1

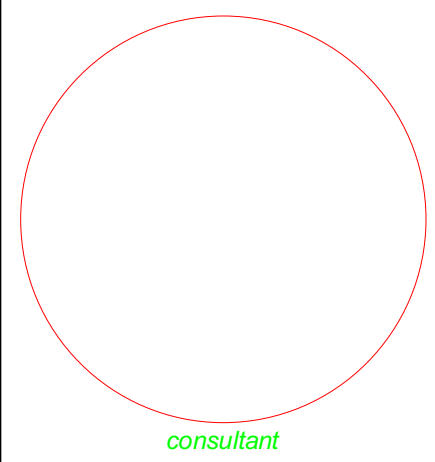


ISSUE	DATE
SITE DEV. REVIEW	7-31-15
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COASTAL	07-15-18



expires: 4-30-2019

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project
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FOR
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NEWPORT BEACH, CALIFORNIA 92663
714 743-4608

description

PLOT PLAN / ADA PATH
(1/4" = 1' - 0")
sheet
A1.00
sheet of

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MIXED USE CALCULATIONS:

GENERAL DATA:	
FRONT SETBACK	0' (none)
REAR SETBACK	10' - 0"
SIDE YARD SETBACK	0' (none)
MINIMUM FLOOR ELEVATION	9.00'
MAXIMUM HEIGHT	26' - 0" (flat roof)
MAXIMUM HEIGHT	31'0" (3:12 min.)

SITE SPECIFIC DATA FOR THIS PROPOSAL:	
PARCEL AREA	2,785.80 SQ. FT.
F.A.R. (1.5 X PA)=	4,178.70 SQ. FT.
PARKING PROVIDED	5
garaged required	2
garaged provided	2
non-residential	3
ADA van required	1
ADA van provided	1

GROUND (FIRST) FLOOR DATA	
garage	400.00 SQ. FT.
gross floor area	745.00 SQ. FT.
net floor area	656.63 SQ.FT.
vertical circulation	104.65 SQ.FT.
common open space	108.00 SQ.FT.

SECOND (RESIDENTIAL) FLOOR DATA	
floor area	1,635.00 SQ. FT.
balcony	418.00 SQ. FT.
private open space	418.00 SQ.FT.

THIRD (RESIDENTIAL) FLOOR DATA	
floor area	743.00 SQ. FT.
balcony and mech.	882.00 SQ. FT.
private open space	773.00 SQ.FT.
mechanical space	109.00 SQ.FT.

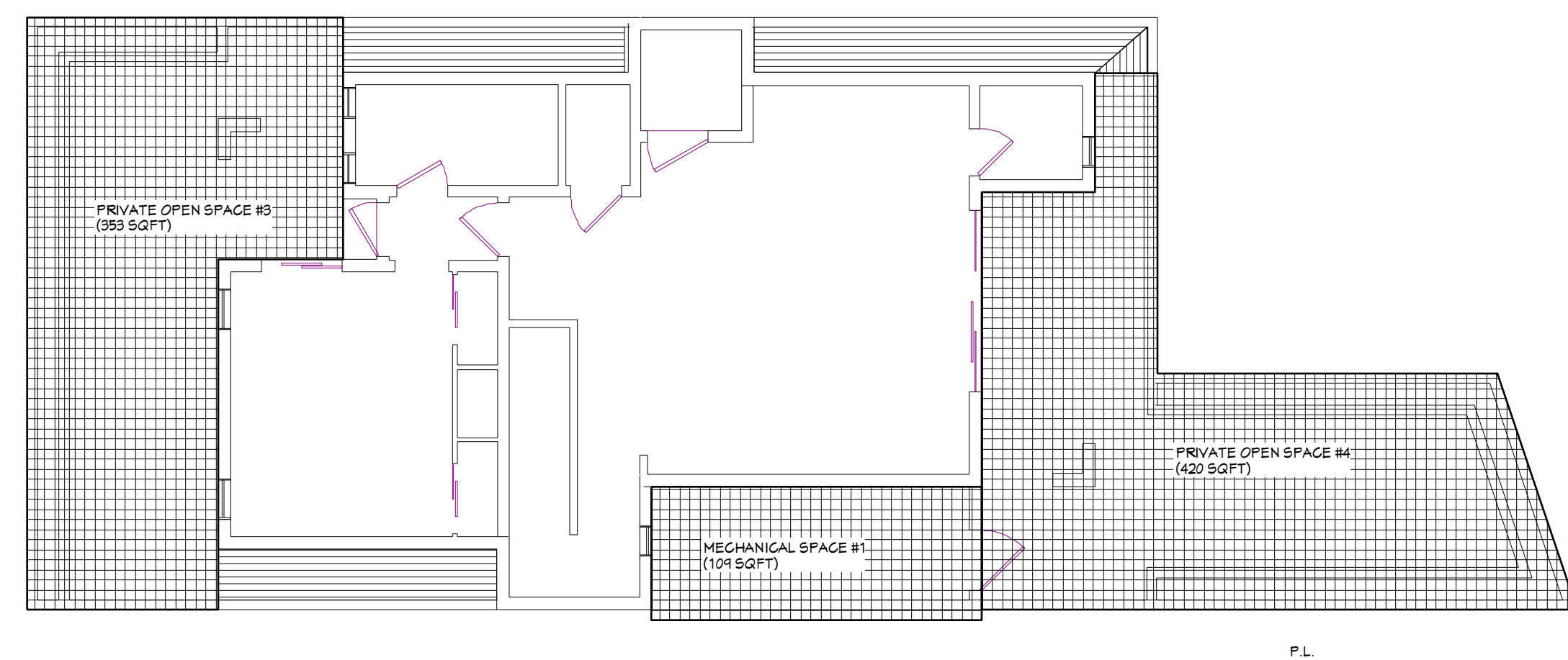
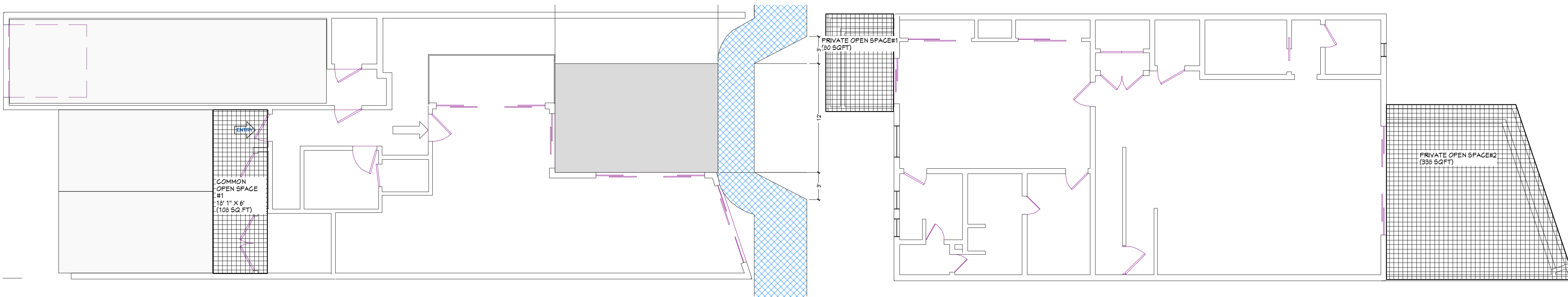
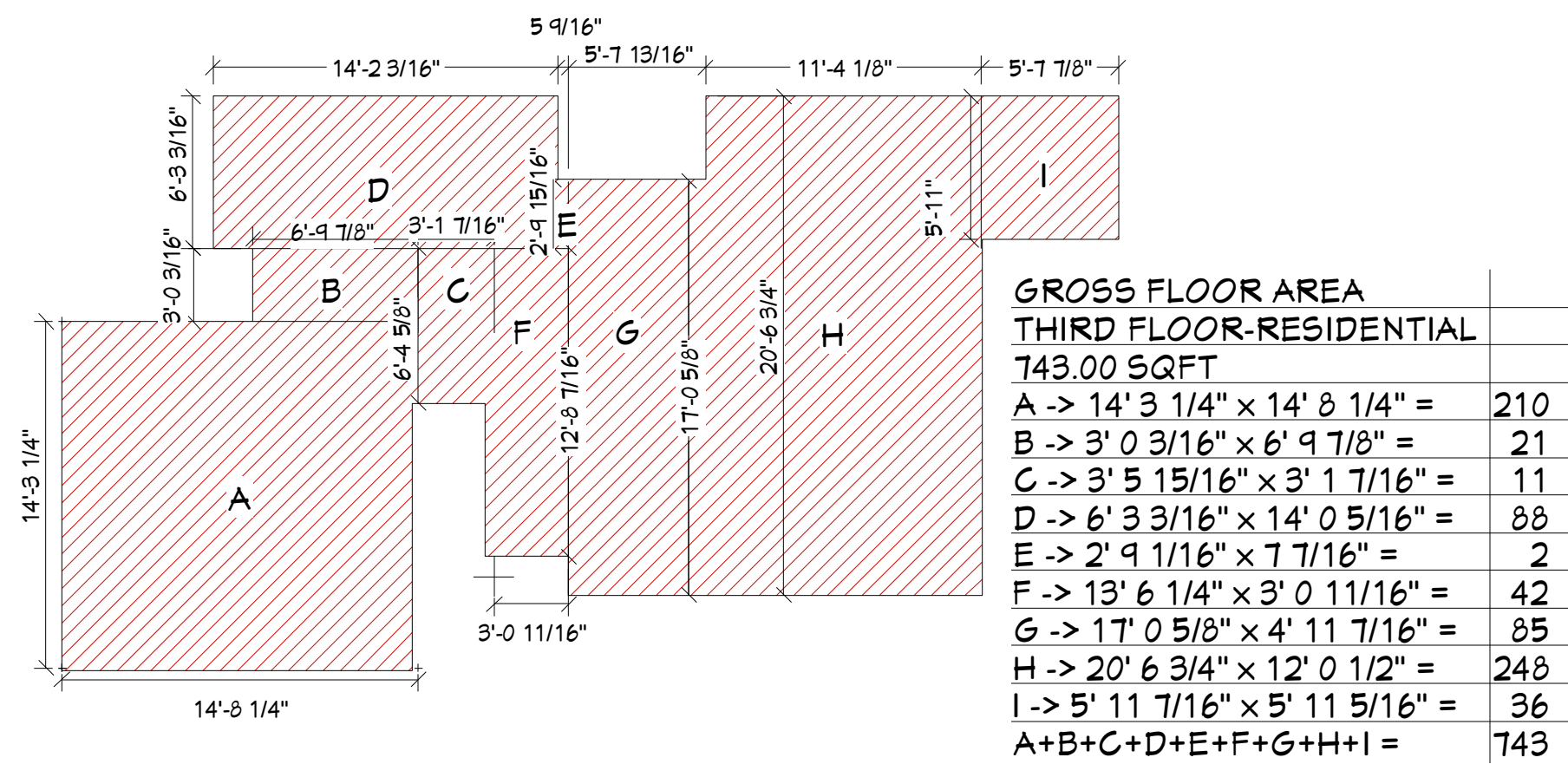
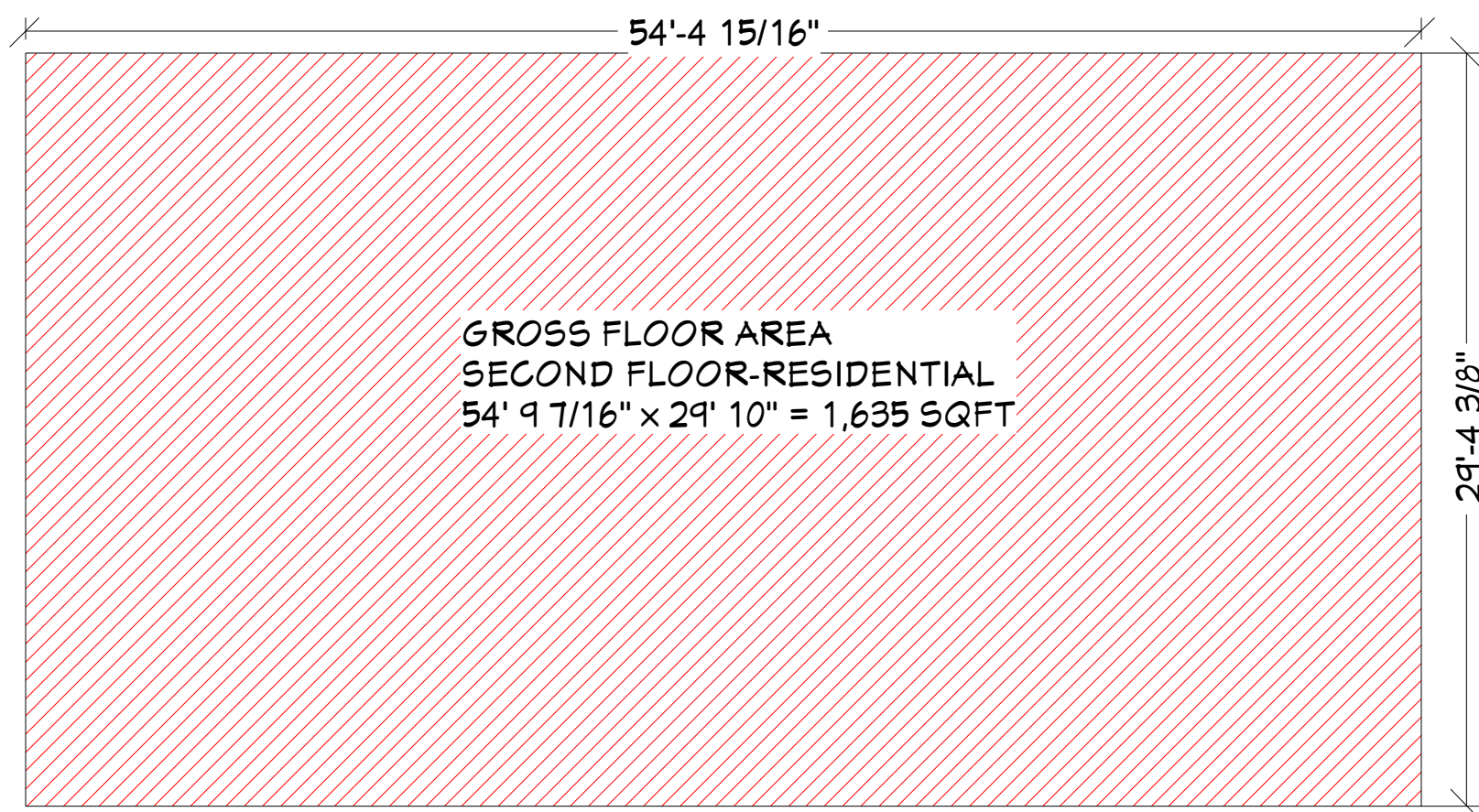
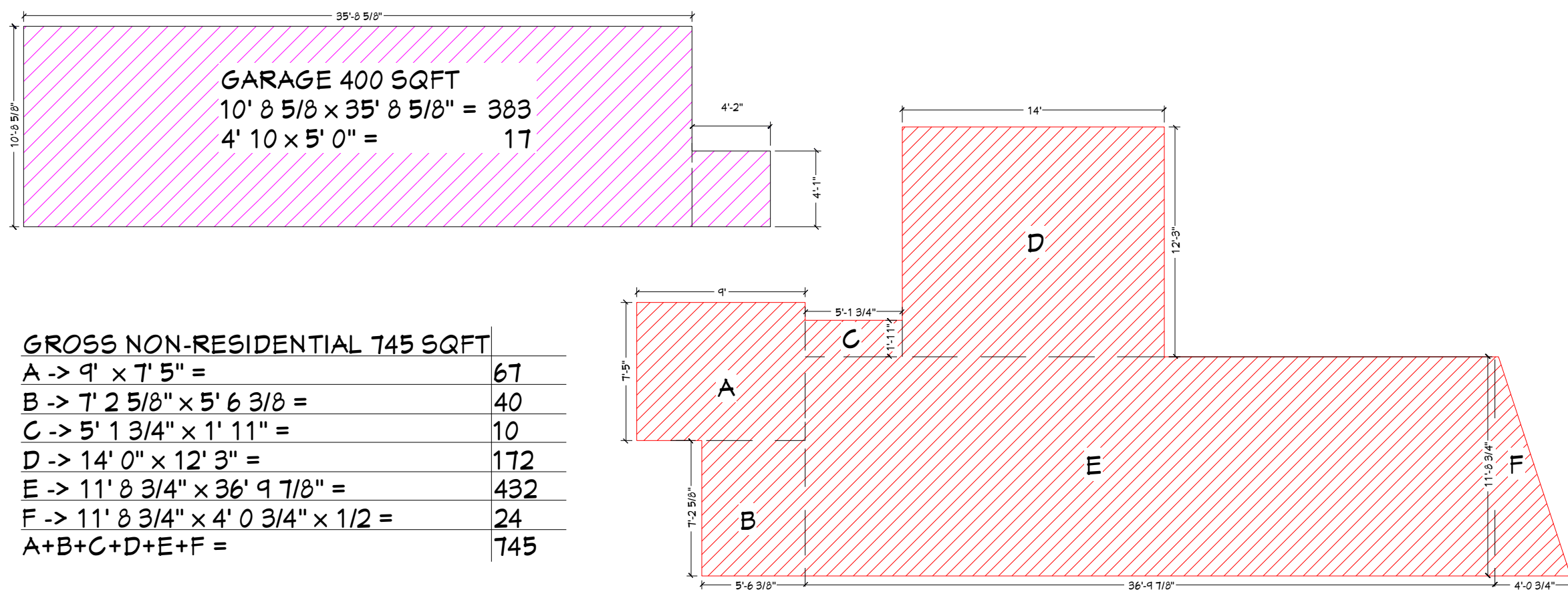
TOTAL NON-RESIDENTIAL	745.00 SQ. FT.
NON RESIDENTIAL ALLOWED	745.00 SQ. FT. MAX.

TOTAL RESIDENTIAL	2,778.00 SQ. FT.
RESIDENTIAL ALLOWED	2,785.80 SQ. FT. MAX.

TOTAL PROPOSED	3,523.00 SQ. FT.
F.A.R.	1.27

COMMON OPEN SPACE	
minimum required	75.00 SQ.FT.
proposed	108.00 SQ.FT.

PRIVATE OPEN SPACE	
5% of gross floor area	138.90 SQ.FT. MIN.
proposed	1,191.00 SQ.FT.

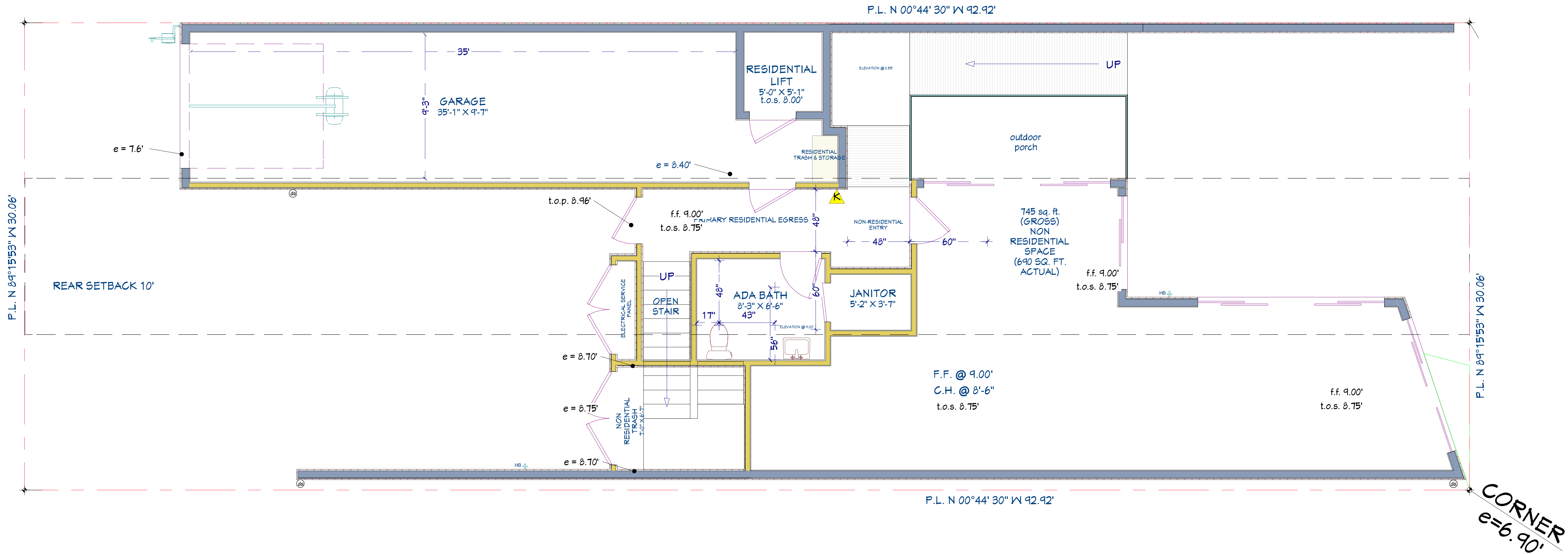


NOTES:
PLANNING DEPARTMENT
1. Height certification is required.

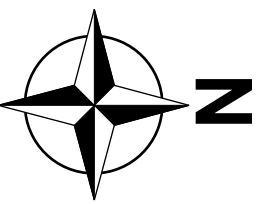
- BUILDING DEPARTMENT
- Building shall be built as Type-VA for one hour construction. Exterior walls of dwellings, guesthouses, garages, carports closer than 3' and 10'; for commercial to the property line shall be 1-hour fire resistance-rated construction. Table R302.1(1) and R302.1(2).
 - fire sprinklers are required and must comply with NFPA 13.
 - Occupancy separation is required between elevator, garage, and hallway.
 - Occupancy separation is required between R & B occupancies. This includes exit path of travel for R occupancy to a yard, court, or public way.
 - Occupancy separation is required between R path of travel and carport.
 - Roof overhangs shall be 5' from the property line.
 - Roofing shall be class A.
 - A geotechnical report is required for permit.
 - Fire rated wall adjacent to property lines are required.
 - Parapets adjacent to property lines are required.
 - Open trash bin beneath stair shall be of minimum 1 hour construction and fire sprinkler equipped.
 - Surfaces shall be level with a slope not steeper than 1:48. Changes in level are not permitted except at thresholds. Opening floor shall not allow passage of sphere more than 1/2" diameter. (11B302.2) (11B-404.2.4.4).
 - Deck covering shall be class A.

- FIRE DEPARTMENT
- Conditions ;
- As per California Fire Code Section 903.2.8 an automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area. Where a different occupancy is located in a building with a residential occupancy, the provisions of this section still apply and the entire building is required to be provided with an automatic sprinkler system regardless of the type of mixed-use condition considered. This is consistent with the mixed-use provisions in Chapter 5. (As per the IBC Code and Commentary).
 - The structure will need to meet Fire Flow requirements which can be determined and referenced through the NBFDD Guideline B.OI Determination of Required Fire Flow. C.F.C. Sec. 507.1.
 - A fire hydrant must be located with 400 feet of all portions of the structure measured by an approved route around the exterior of the structure. C.F.C. Sec. 507.5.1.
 - Smoke alarms will be required in the R occupancy and must be installed as per California Fire Code Section 907.2.11.2 outside of each separate sleeping area in the immediate vicinity of bedrooms and in each room used for sleeping purposes.
 - Required vertical and horizontal occupancy separations must be met as per C.B.C. Sec. 508.4.4.
 - Open dumpster beneath enclosed stair shall be provided with minimum 1 hour fire rated construction and provided with fire sprinkler protection.
 - Newly constructed Group R occupancies located in a building consisting a fuel burning appliance or attached garage shall be equipped with single station carbon monoxide alarms. The carbon monoxide alarms shall be listed as complying with UL 2034 and shall be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions.

ALLEY



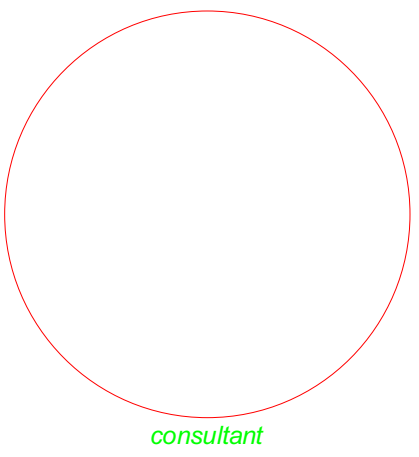
GROUND FLOOR PLAN (1/4" = 1'-0") NON-RESIDENTIAL



ISSUE	
SITE DEV. REVIEW	7-31-15
SITE DEV. REVIEW	10-03-16
ZONING APPROVED	12-15-16
PLAN CHECK	12-22-16
PC 2	06-05-18
COASTAL	07-15-18



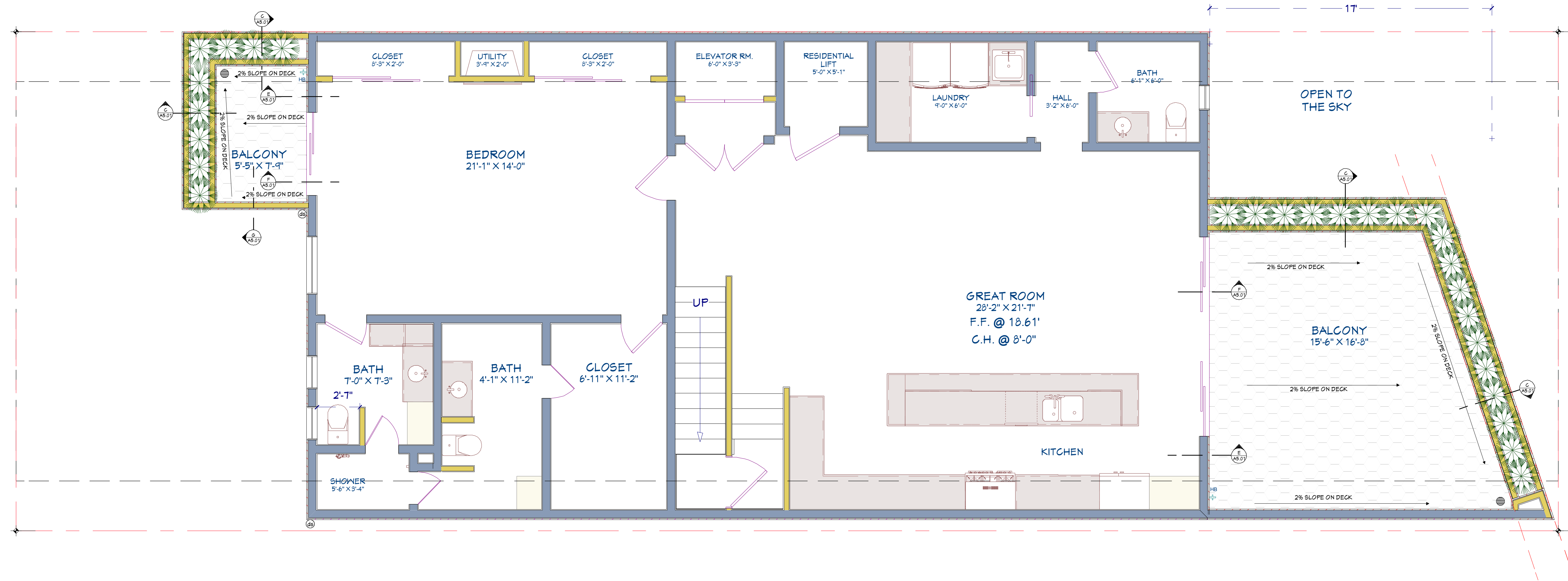
A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
424 31ST STREET, NEWPORT BEACH, CALIFORNIA 92663
714 743-4608



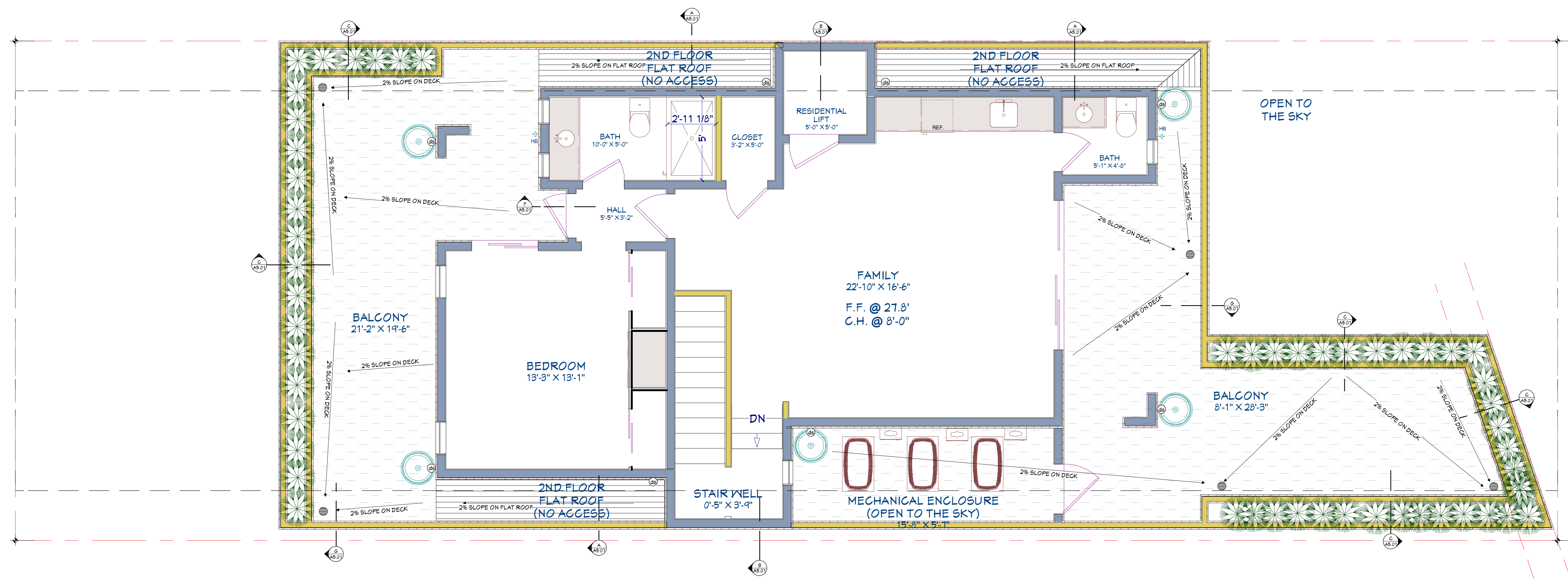
project
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description
GROUND FLOOR AND
SECOND FLOOR PLAN
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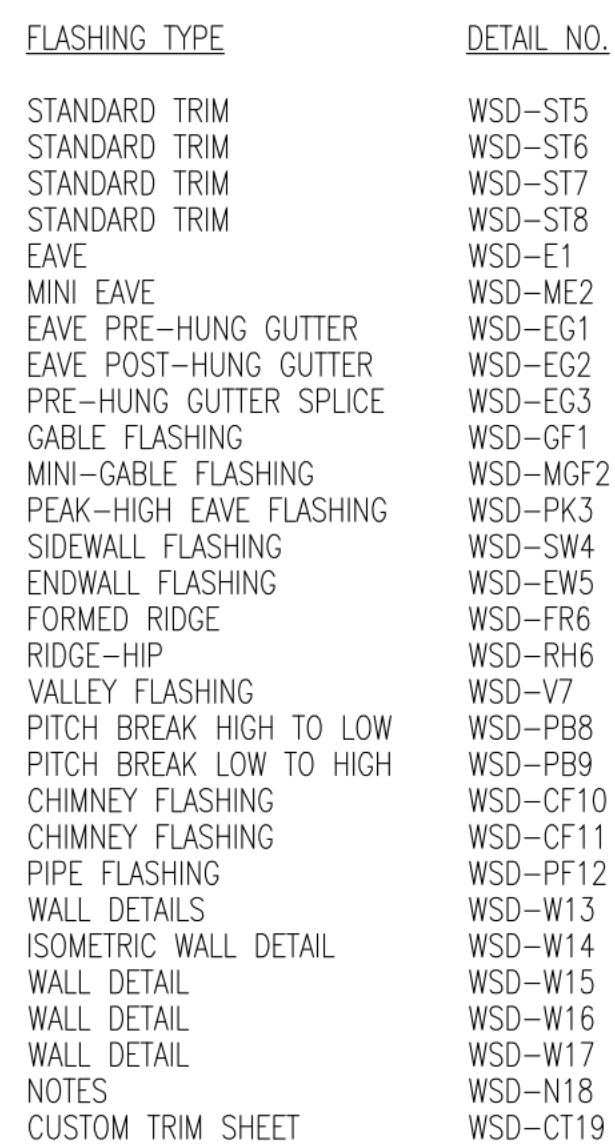


SECOND FLOOR PLAN (1/4" = 1'-0") RESIDENTIAL

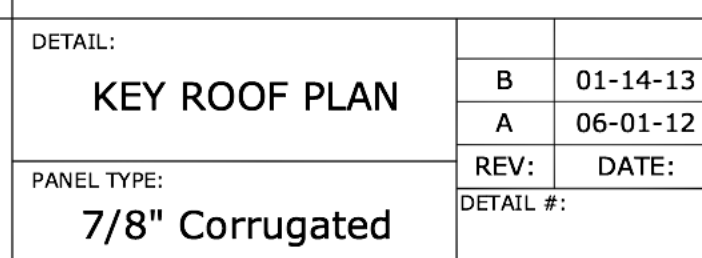


THIRD FLOOR PLAN (1/4" = 1'-0") RESIDENTIAL





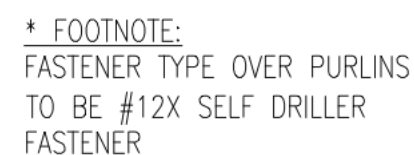
901 W. Watkins St. Phone: (602) 495-0048
Phoenix, AZ 85007 Fax: (602) 261-7726
www.MetalForRoofing.com 877-PURLINS (787-5467)
www.RustedRoofing.com
www.MetalDeck.com



GAUGE: _____	COLOR: _____
BREAKS: _____	FINISH: _____
LENGTH: _____	STRETCH OUT: _____
MATERIAL: _____	

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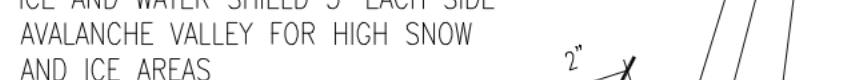
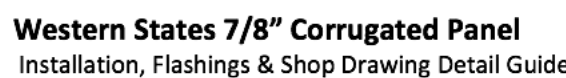
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- Fastener Selection will vary depending on type and thickness of substrate.
- Space panel lap screws 12" minimum - 18" O.C. maximum. Consult with design engineer
- Spacing of fastener rows to be engineered by others.
- Lap panels away from prevailing winds whenever possible.
- The use of Butyl tape mastic is always recommended on the panel lap when used for roof panels.
- Panels and flashings should never be installed in contact with dissimilar metals.
- Use only those flashings and accessories designed for use with this panel.
- Panel attachment screws must be long enough to fully penetrate through roof deck substrate or penetrate solid lumber at least one inch.

- Exposed Fasteners should have sealing washers and be coated to provide protection against corrosion.
- Screws must be properly driven to ensure holding strength and proper seal. (see diagram)
- Recommended drill speed is 2000rpm. Improper setting of drill speed can lead to snapping of screw heads.
- Pre drilling of screw holes may be necessary with heavy gauge metals.

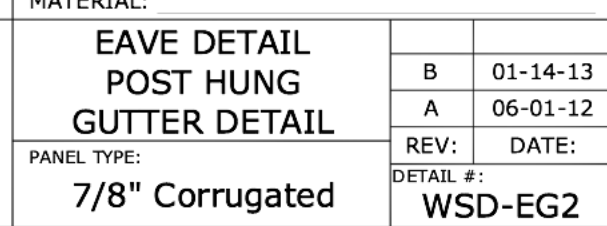


* FOOTNOTE:
FASTENER TYPE OVER PURLINS TO BE
#12X SELF DRILLER FASTENER

GAUGE: _____	COLOR: _____
BREAKS: _____	FINISH: _____
LENGTH: _____	STRETCH OUT: _____
MATERIAL: _____	

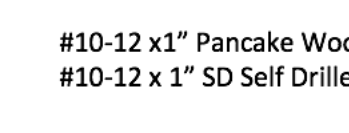
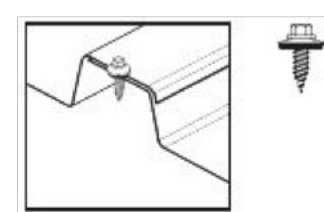
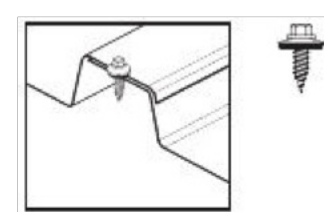
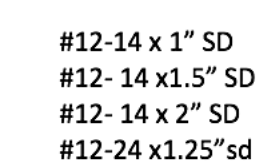
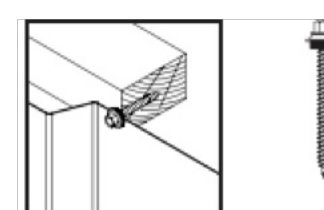
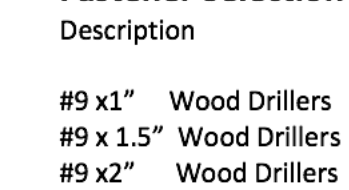
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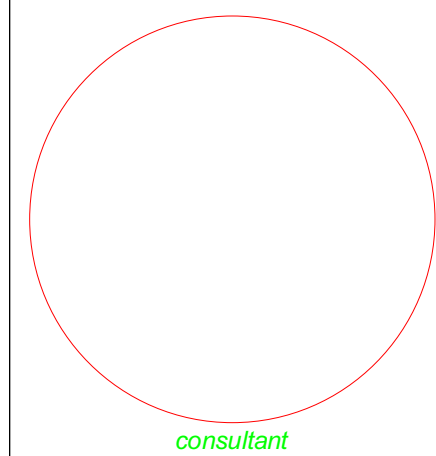


- The table above shows the panel Fasteners provided by WSD. Special order screws are available



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project

A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
424 31ST STREET
NEWPORT BEACH,
CALIFORNIA 92663
714 743-4608

description

ROOF PLAN

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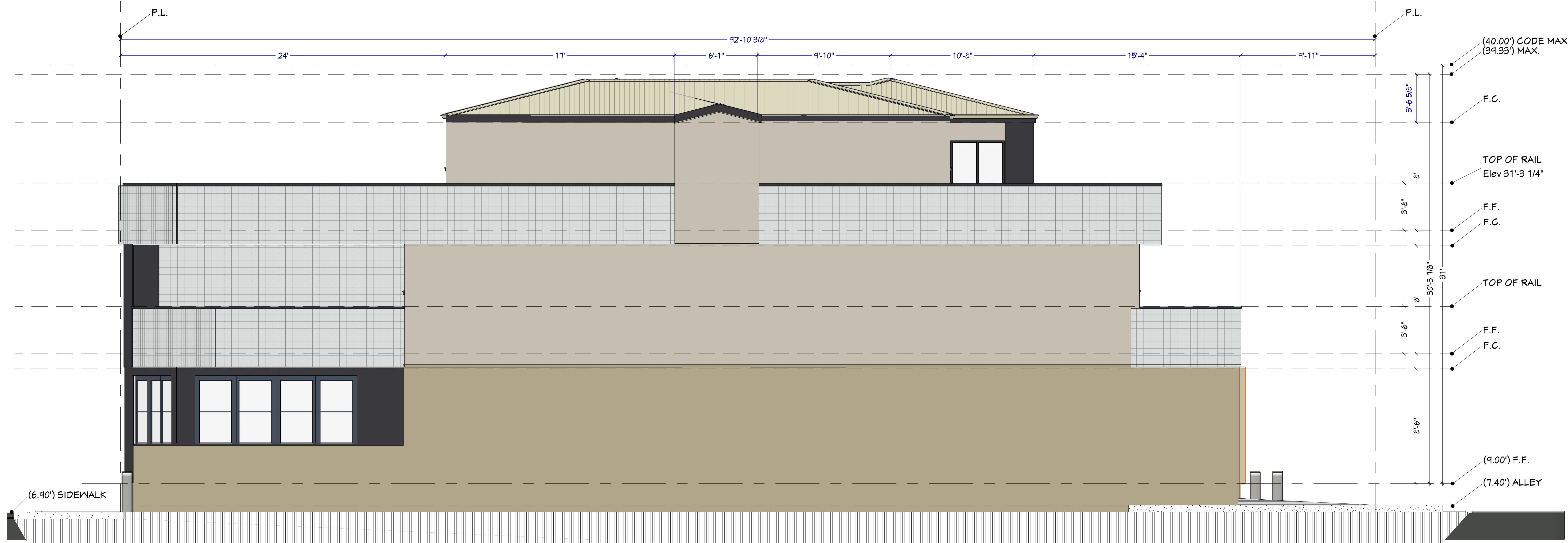
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FRONT IMAGE



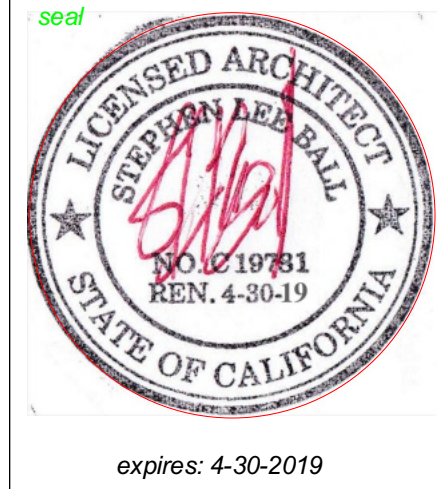
NORTH ELEVATION (STREET FRONT)



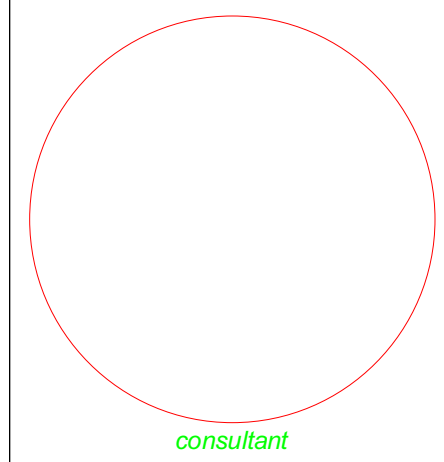
WEST ELEVATION



ISSUE	
SITE DEV. REVIEW	7-31-15
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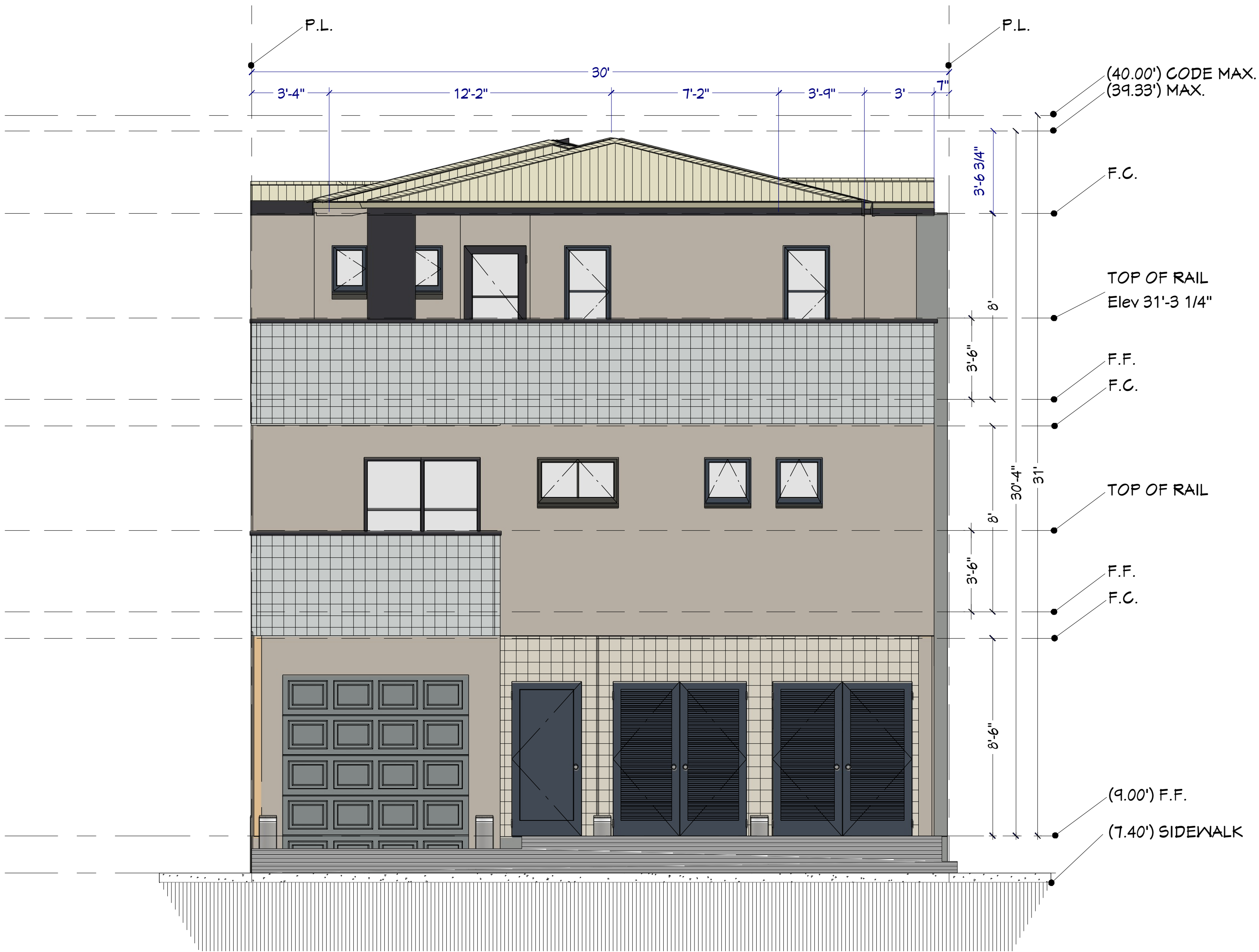
A NEW MIXED-USE PROJECT
FOR
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714 743-4608

description
NORTH AND WEST ELEVATION
(1/4" = 1'-0")
sheet
A3.00
sheet of

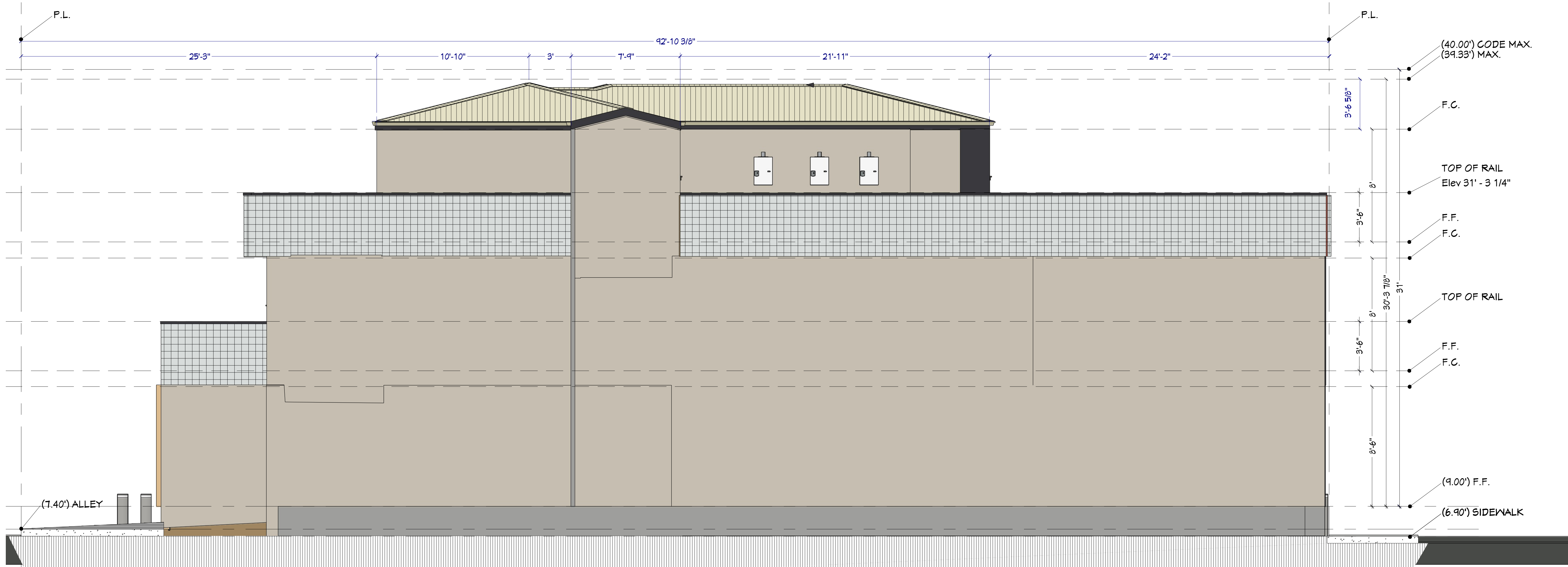
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REAR IMAGE



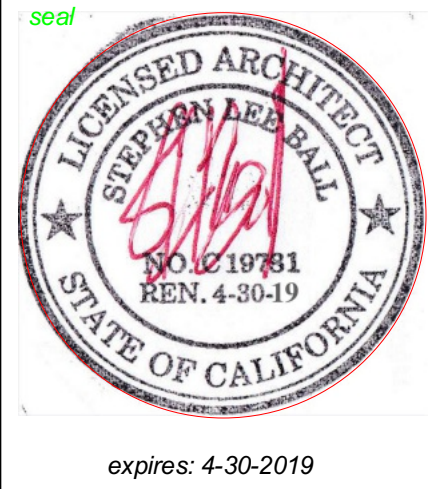
SOUTH ELEVATION
(REAR ALLEY)



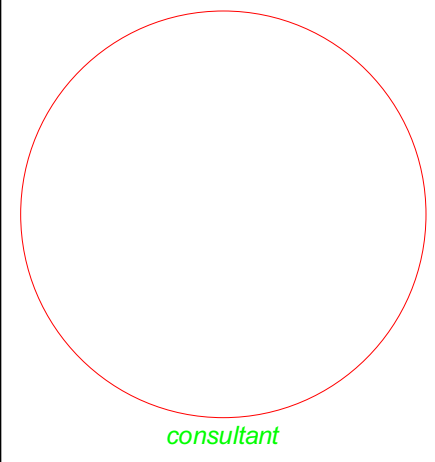
EAST ELEVATION



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SOUTH AND EAST ELEVATION
(1/4" = 1'-0")

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MARVIN
SLIDING PATIO
DOOR

DOOR & WINDOW

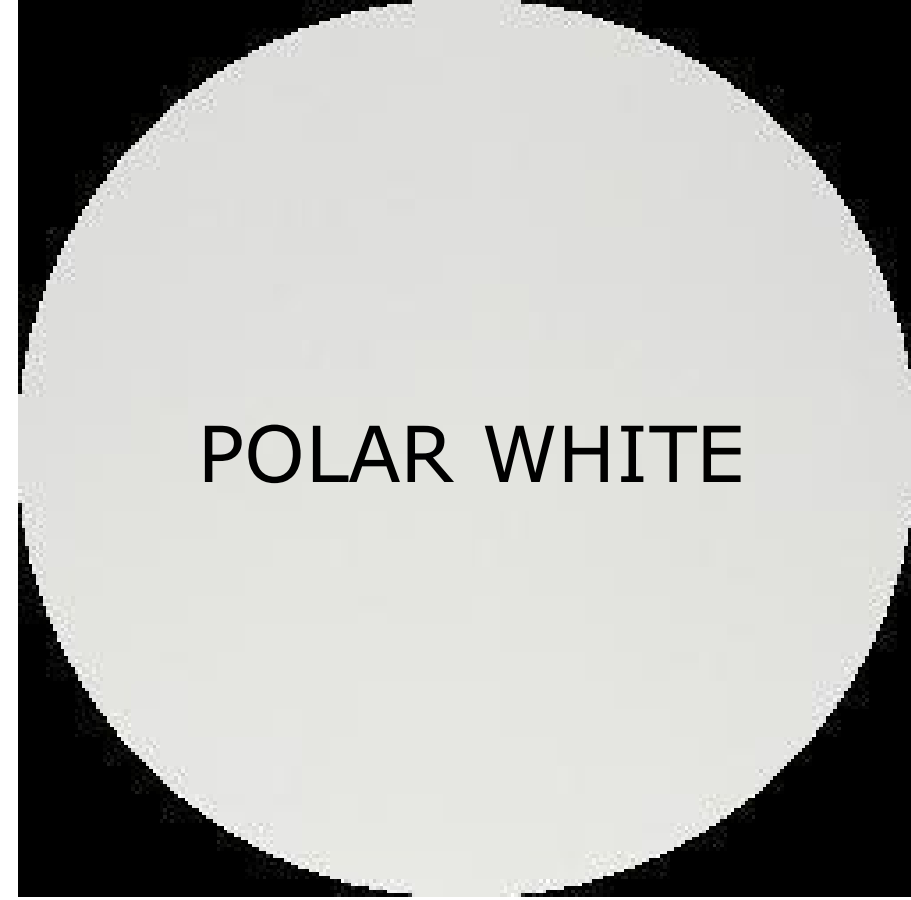


MARVIN
CONTEMPORARY
CASEMENT



GUN METAL

ROOF



POLAR WHITE



WESTERN RIB®
ROOFING,
VINTAGE



FRONT
31ST STREET



NORTH WEST
ELEVATION



SOUTH EAST
ELEVATION

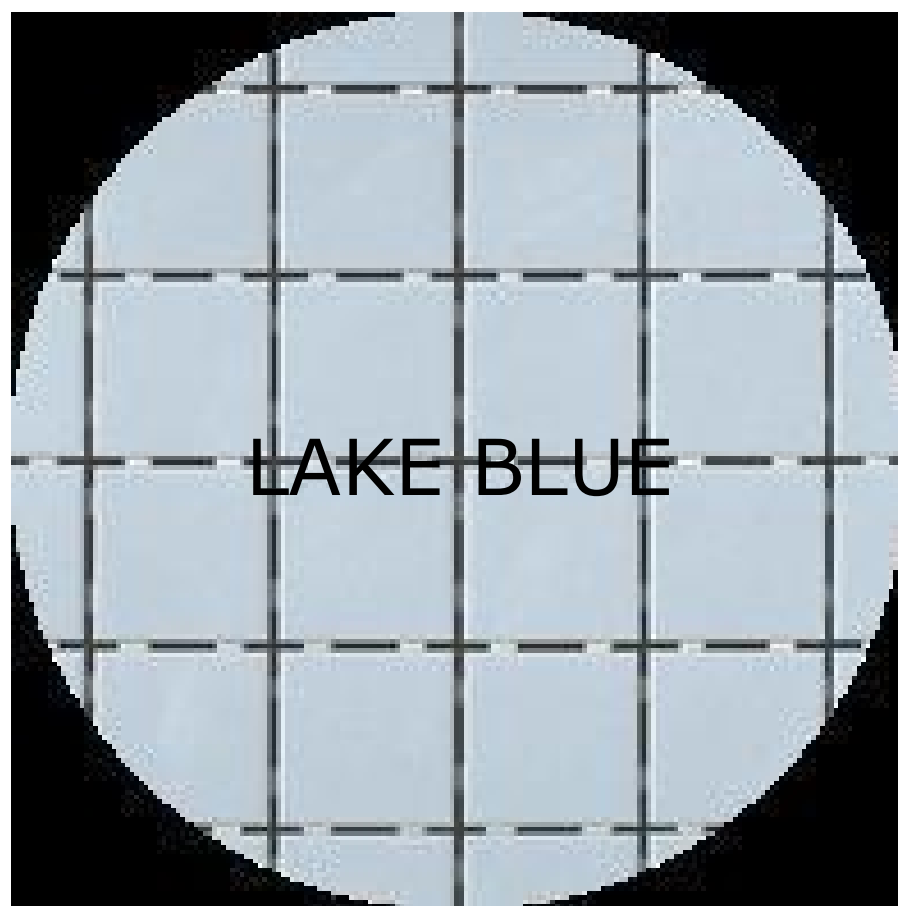


REAR
ALLEY

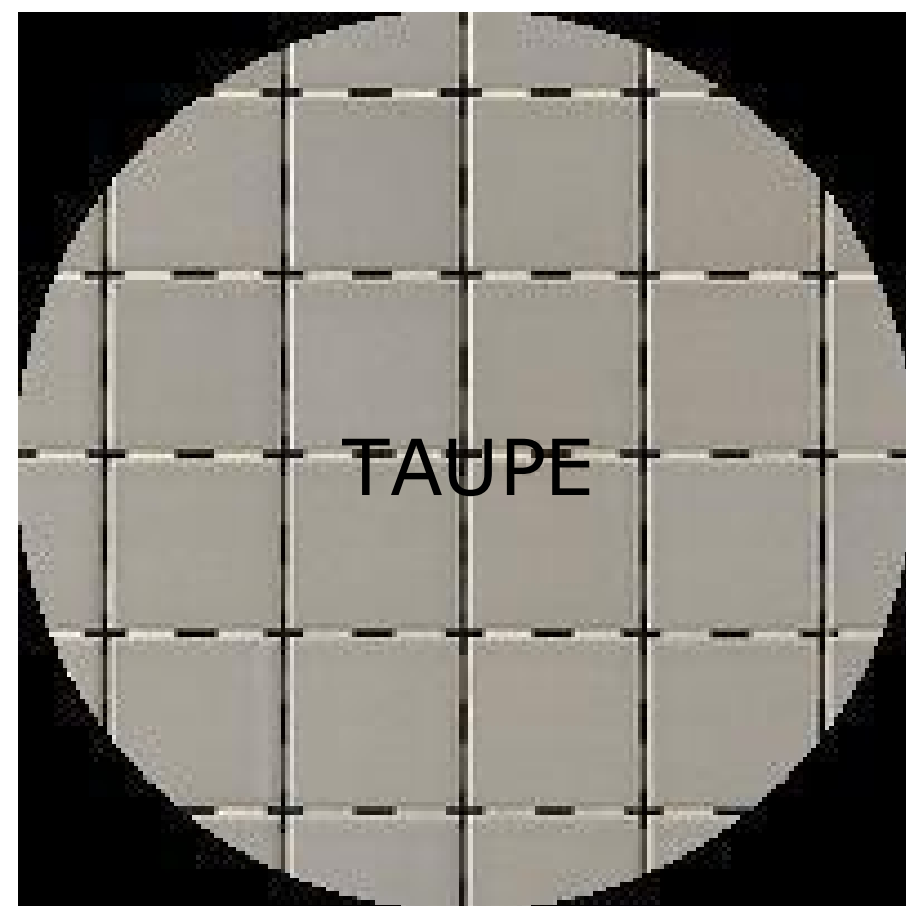
BEHR PAINT COLORS



TILE



LAKE BLUE



TAUPE

CONCRETE



GRAY

Note:

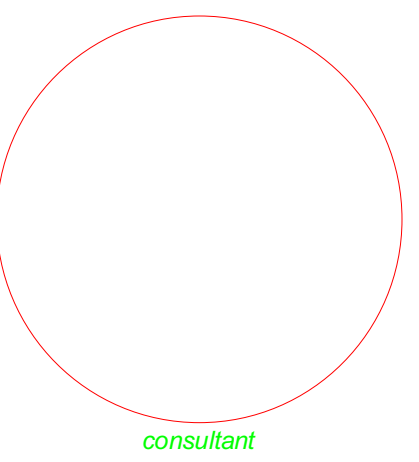
1. Exterior stone in seismic design category D (D2) shall not exceed the limits of Table 703.7(2) and shall not exceed 4" thick.
2. Masonry veneer up to 5" thick, installed over backing of wood or cold formed steel according to Table R703.7 and Figure R703.7, shall be limited to first tory above grade (R703.7)



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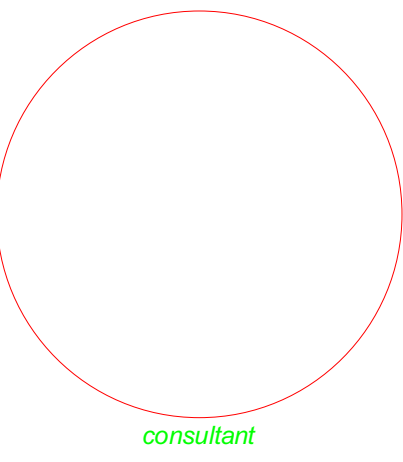
project
A NEW MIXED-USE PROJECT
FOR
VINCENT C. TAORMINA
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description
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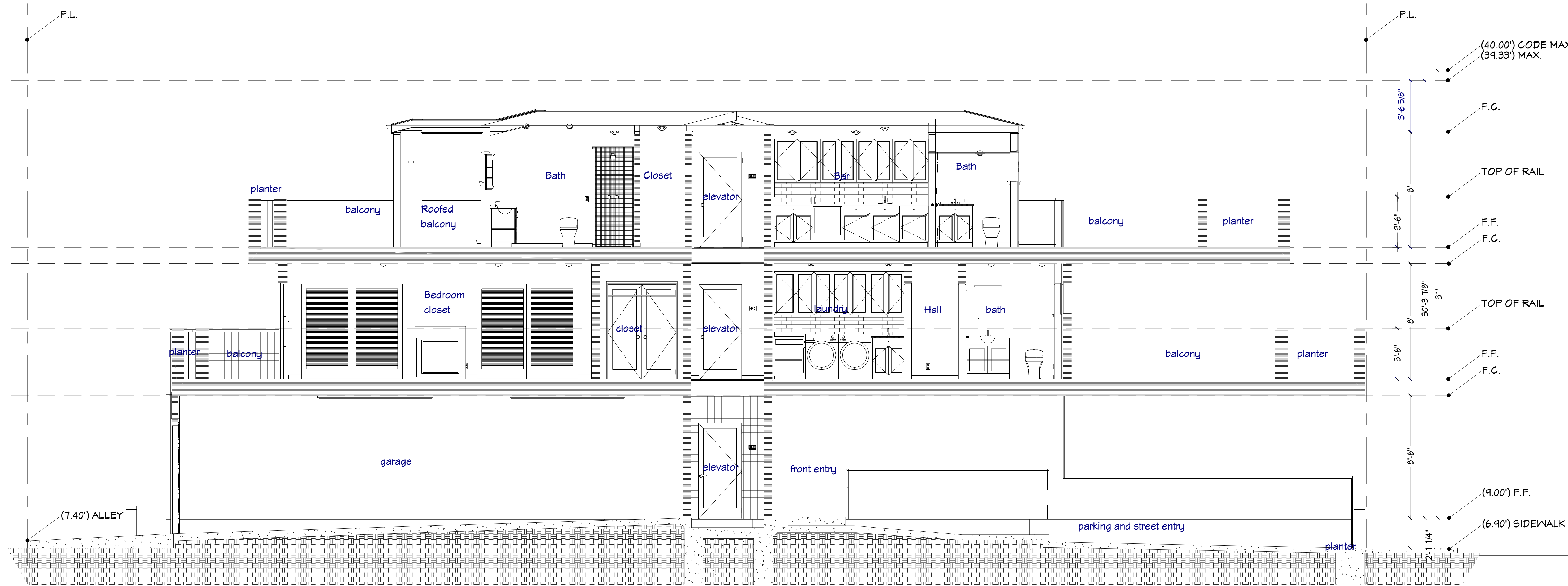
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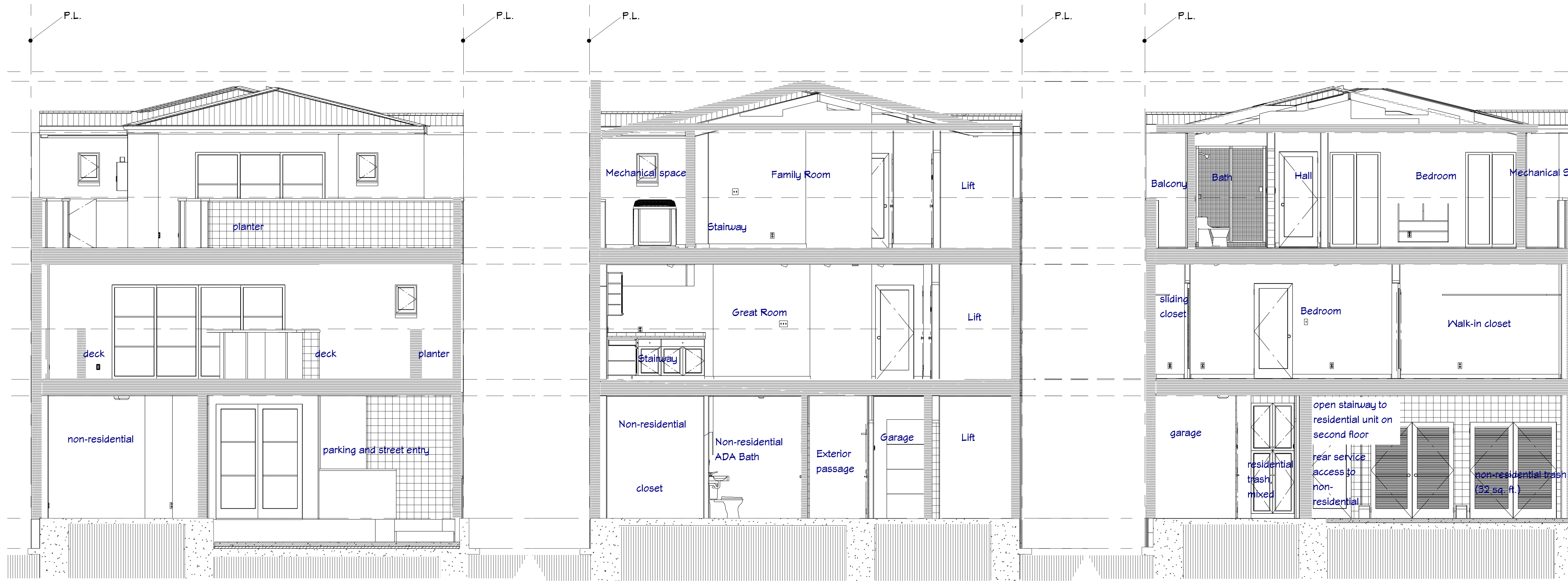
**A NEW MIXED-USE PROJECT
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description
**GENERAL SECTIONS
(1/4"=1')**
A4.00
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SECTION A-A



SECTION B-B

SECTION C-C

SECTION D-D

REQUIRED INSPECTIONS

1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR TO THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OBTAINED AT THE MEETING.
2. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO THE START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR TO THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OBTAINED IN THE MEETING.
- GRADING: FILLS/CUTS**
1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
2. FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
3. ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD, 157, AND APPROVED BY THE SOILS ENGINEER. COMPACTION SHALL BE VERIFIED BY FIELD TESTING USING AN INDEPENDENT VERTICAL HEFERT UNIFORM STRIKEPOINT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
4. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
5. FILLS SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.
6. ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
7. ANY EXISTING IRRIGATION LINES, AND CISTERS SHALL BE REMOVED OR CURSED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
8. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING, AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE, EROSION DUE TO, SUBSIDENCE, SLIDING OR SPRING SLOWLY. IF MODIFIED, THEY SHALL BE RECONSTRUCTED AND BACKFILLED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
9. THE EXACT LOCATION OF THE SIDEBANKS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
10. ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CORNER OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
11. THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
12. LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBCB.
13. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE, AND EXPOSURE OF BEDROCK OR NATURAL GEOLGICAL FEATURES, THE ENGINEERING GEOLOGIST SHALL RECOMMEND APPROPRIATE STUDIES, NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
14. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION & CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
15. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON INSTRUCTION.
16. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FALTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, AND COMPACTED FILL BLANKET WILL BE PLACED.
17. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
18. NOTIFICATION OF NONCOMPLIANCE, IF IN THE COURSE OF FILL PILING, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK, AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

ABBREVIATIONS:

- | | | |
|----|-----------------------------|----|
| AB | AGGREGATE BASE | |
| AC | ASPHALT CONCRETE | |
| AD | BACK FLOW PREVENTER DEVICE | |
| AE | BOTTOM OF WALL ELEVATION | |
| AF | CENTER LINE | |
| AG | CORNER PIPE | |
| AH | CORNER | |
| AI | DECK DRAIN | |
| AJ | DUCTILE IRON PIPE | |
| AK | ROOF DOWN SPOUT | |
| AL | DOMESTIC WATER LINE | |
| AM | DRIVEWAY | |
| AN | EXISTING | |
| AO | EXISTING GRADE | |
| AP | ELECTRICAL | |
| AQ | ELECTRICAL METER | |
| AR | EDGE OF PAVEMENT | |
| AS | END OF PAVEMENT | |
| AT | FORCE MAIN LINE | |
| AV | FINISHED SURFACE ELEVATION | |
| AW | FINISHED PAVEMENT ELEVATION | |
| AX | GRADE BREAK | |
| AY | GAS METER | |
| AZ | GRADE ELEVATION | |
| BA | HIGH VALVE | |
| BB | HIGH POINT | |
| BC | INVERT ELEVATION | |
| BD | JOINT TRENCH | |
| BE | JOINT SPOT | |
| BF | LINEAR FEET | |
| BG | LOW POINT | |
| BH | NEW | |
| BI | PARKING | |
| BJ | POINT OF CONNECTION | |
| BK | RETAINING WALL | |
| BL | | |
| BM | | |
| BN | | |
| BO | | |
| BP | | |
| BQ | | |
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WMALE

- OWNER:**
VINCENT C. TAORMINA
424 31ST STREET
NEWPORT BEACH, CA 92663

- Sam

- GEO TECHNICAL
R.G.E. No. 00705

REG.
S.
NO. 29619
EXP.

STATE OF CALIFORNIA

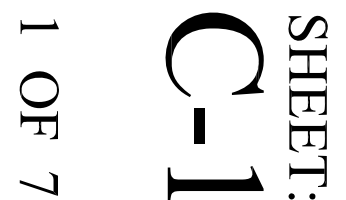
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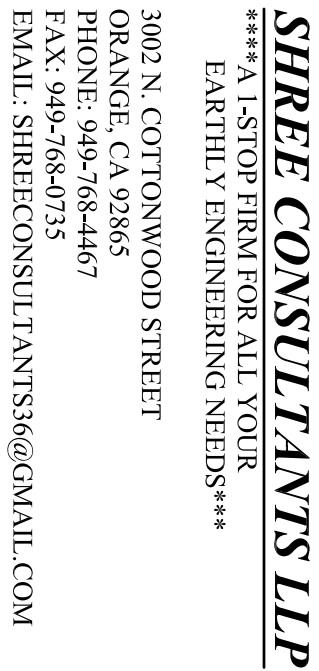
⑤: long words

- SAMPATH V. RAGHAVAN**
PRINCIPAL ENGINEER
R.C.E. No. 29619
DATE:
(EXP: 03-31-2019)

SHEET:

I





BOUNDARY, TOPOGRAPHIC AND SITE SURVEY

TAORMINA MIXED-USE PROJECT

424 31ST STREET, NEWPORT COAST, CA 92663

REV	DESCRIPTION	DATE	DRAWN BY: MAC 11/10/17	APPROVED BY: SVR 11/10/17
			CHECKED BY: SVR 11/10/17	PROJECT NUMBER 30-20135

SHEET:
C-2

2 OF 7

SITE INFORMATION:

424 31ST STREET
NEWPORT BEACH, CA 92663
A.P.N.: 047-042-020

BASIS OF BEARING:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF 31ST STREET AS SHOWN ON RECORD OF SURVEY 2009-1064 BEING A RECORD OF SURVEY, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, RECORDED IN BOOK 234 PAGE 19, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

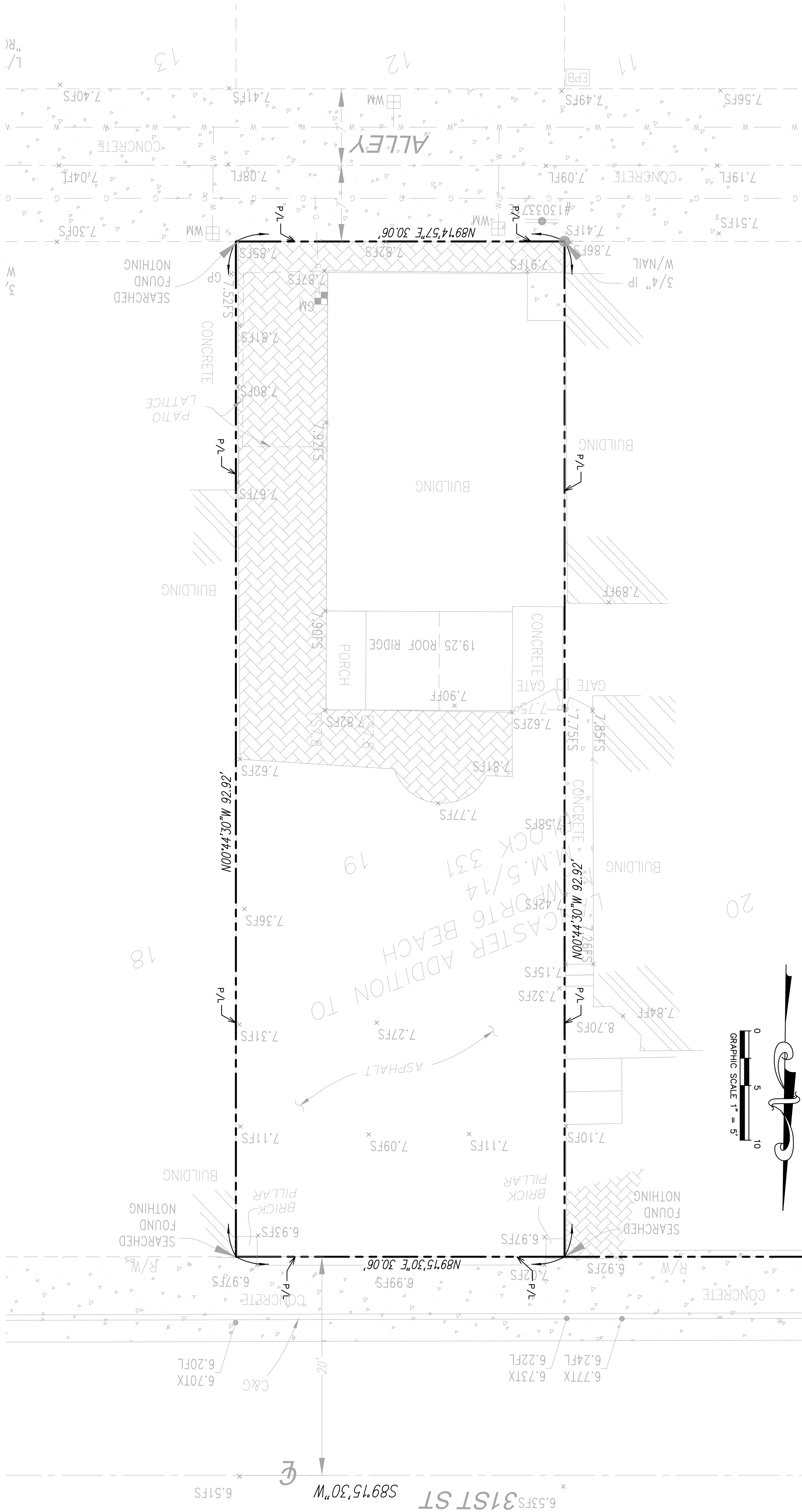
BEING SOUTH 89° 15' 30" WEST

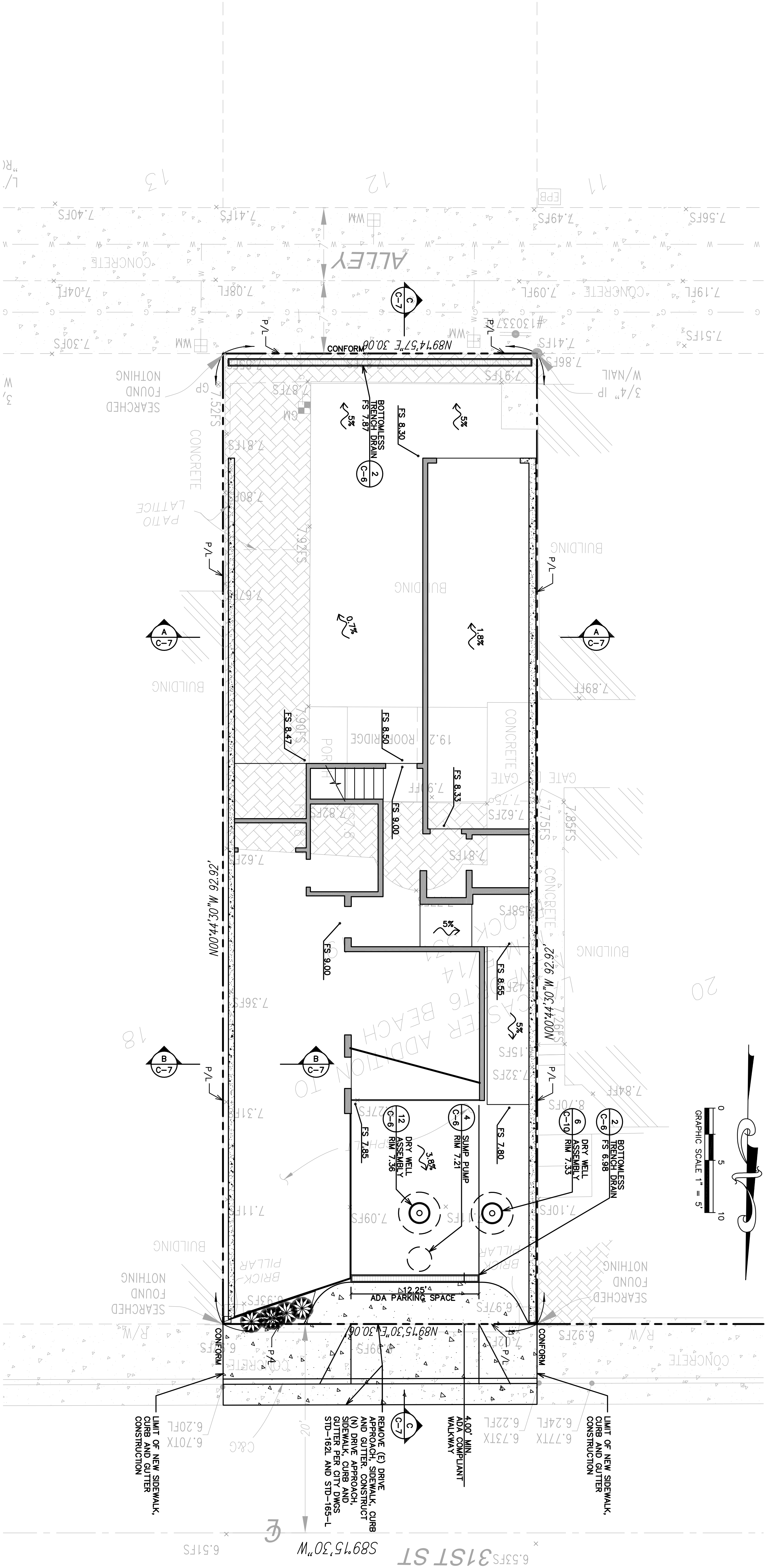
BENCHMARK:

THE ELEVATION SHOWN HEREON ARE BASED UPON THE COUNTY OF ORANGE BENCHMARK NO. J-782 (NAVD 88, 1995) 3.3/4" OCS ALUMINUM DISK STAMPED "J 782 1946".
ELEVATION: 7.14

NOTE:

**SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT
PROPERTY CORNERS OR OFFSETS PRIOR TO START OF GRADING.**

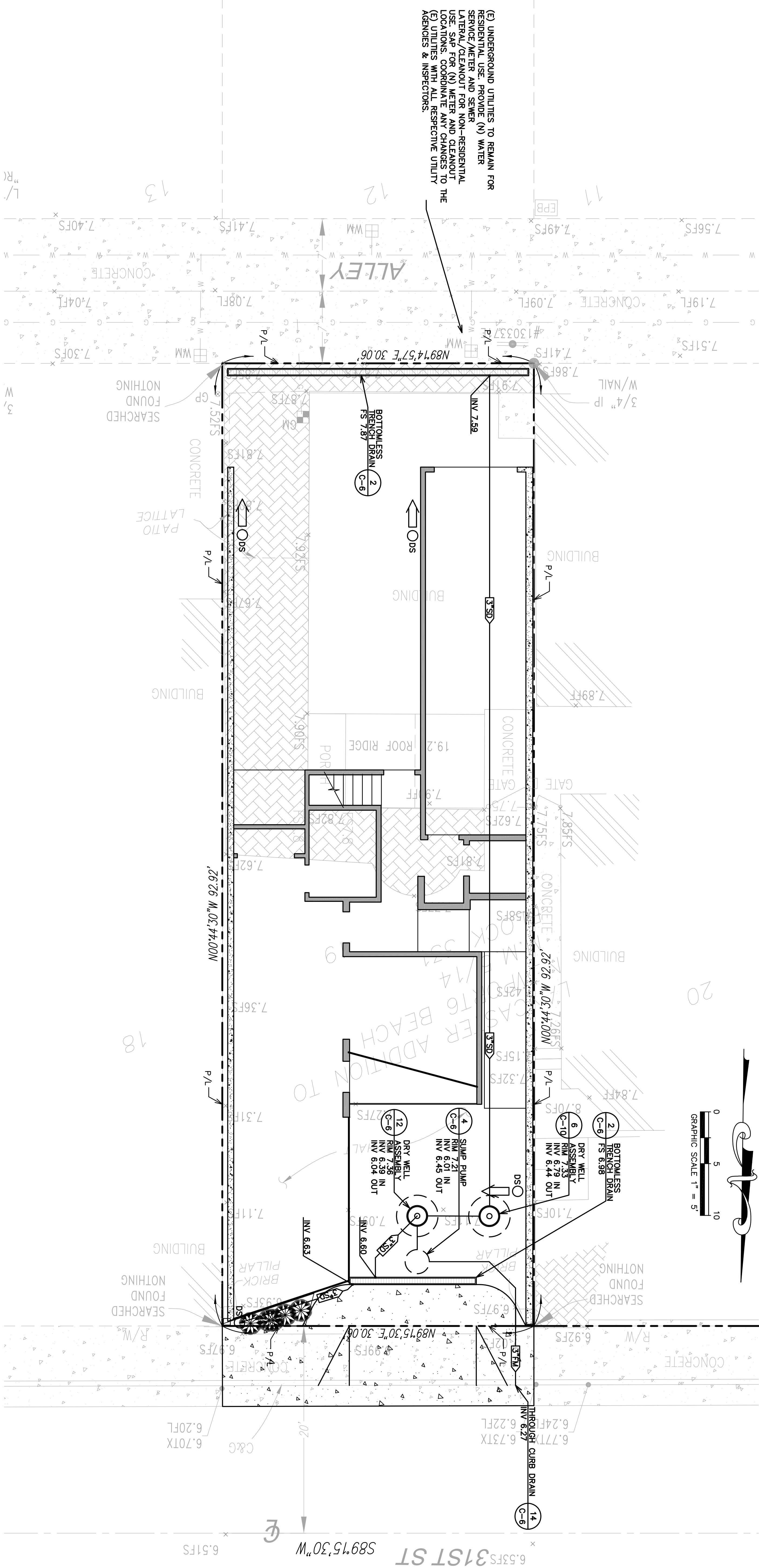




PUBLIC WORKS DEPARTMENT NOTES

1. A PUBLIC WORKS DEPARTMENT ENFORCEMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.*
2. CURB DRAINS SHALL BE INSTALLED PERPENDICULAR TO THE CURB FACE AND FOR THE PURPOSE OF DISCHARGING STORM OVERFLOWS ONLY. IF CURB DRAINS ARE PROPOSED, PLEASE PROVIDE DETAILS SHOWING HOW THIS OVERFLOW-ONLY REQUIREMENT WILL BE SATISFIED. ONE METHOD TO SATISFY THIS STORM OVERFLOW ONLY REQUIREMENT WOULD BE TO ADD A BOTTOMLESS AREA DRAIN TO THE SUBRAIN PIPE AT THE PROPERTY LINE PRIOR TO DISCHARGE THROUGH THE CURB DRAIN. THE APPLICANT MAY PROPOSE OTHER ALTERNATIVES FOR CITY REVIEW. THE PORTION OF THE PRIVATE SUBRAIN SYSTEM TO BE INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED WITH SOLID PIPING.
3. A NEW SEWER CLEANOUT WITH A TRAFFIC-GRADE BOX AND COVER SHALL BE INSTALLED ON THE EXISTING SEWER LATERAL PER CITY STANDARD #406-1
4. NOTE ON THE PLANS THAT AN APPROVED ENFORCEMENT PERMIT IS REQUIRED FOR ALLWORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

REV	DESCRIPTION	DATE	DRAWN BY:	APPROVED BY:	PROJECT NUMBER
			MAC 11/10/17	SVR 11/10/17	30-20135
			CHECKED BY:		
			SVR 11/10/17		

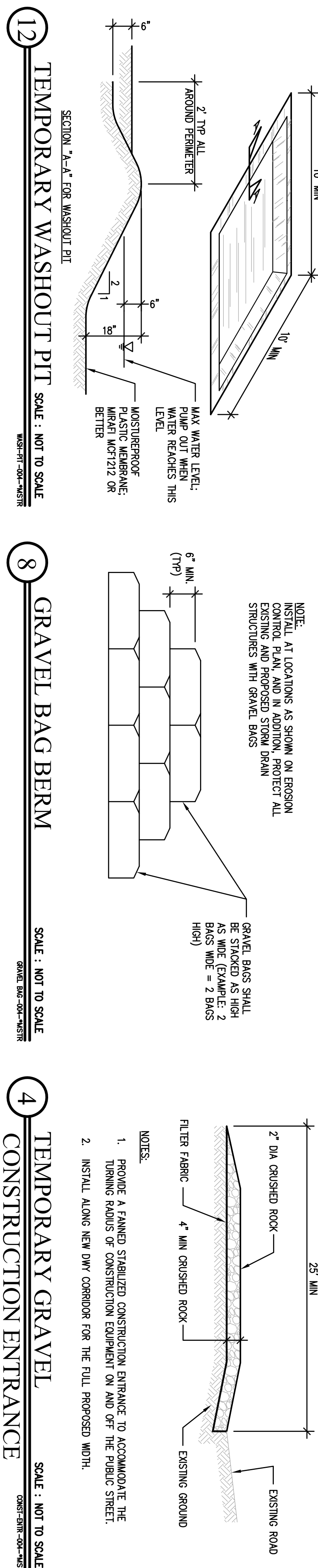
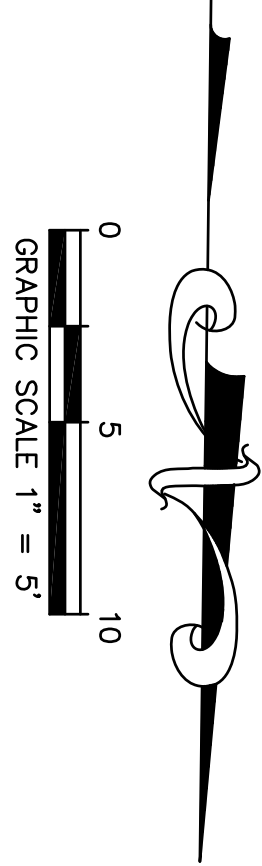
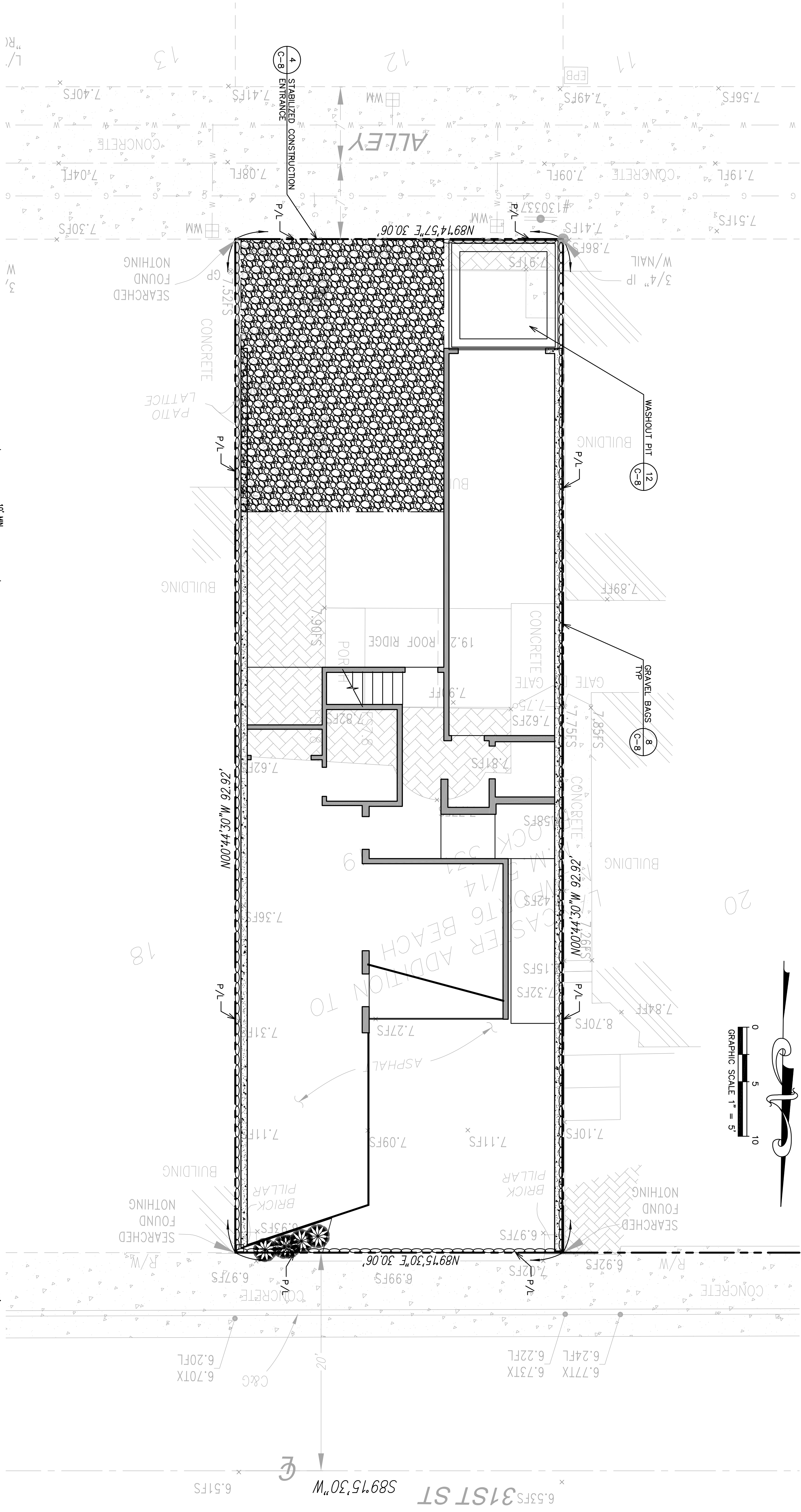


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***A-I-STOP FIRM FOR ALL YOUR
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302 N. COTTONWOOD STREET
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FAX: 714.964.0735
EMAIL: SHREECONSULTANTS@GMAIL.COM


PRELIMINARY DRAINAGE PLAN
TAORMINA MIXED-USE PROJECT
424 31ST STREET, NEWPORT COAST, CA 92663

REV	DESCRIPTION	DATE	DRAWN BY:	APPROVED BY:	CHECKED BY:	PROJECT NUMBER
			MAC 11/10/17	SVR 11/10/17	SVR 11/10/17	30-20135

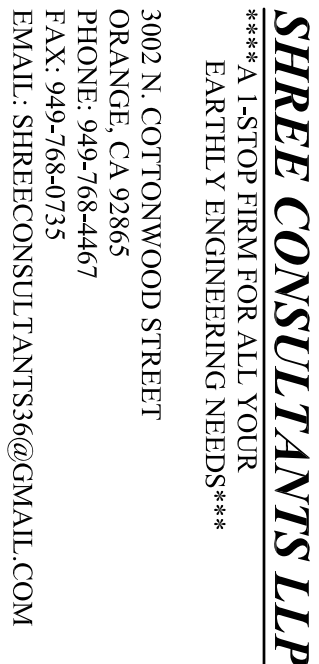
SHEET:
C-4
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EROSION CONTROL PLAN		TAORMINA MIXED-USE PROJECT	
424 31ST STREET, NEWPORT COAST, CA 92663		SHEET: C-5	
REV		DATE	
		DRAWN BY: MAC 11/10/17	
		APPROVED BY: SVR 11/10/17	
		CHECKED BY: SVR 11/10/17	
		PROJECT NUMBER: 30-20135	



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...A \$100 FIRM FOR ALL YOUR
EARTHLY ENGINEERING NEEDS****

3002 N. COTTONWOOD STREET
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FAX: 949-768-0735
EMAIL: SHRECONSULTANTS36@GMAIL.COM

DETAILS

TAORMINA MIXED-USE PROJECT

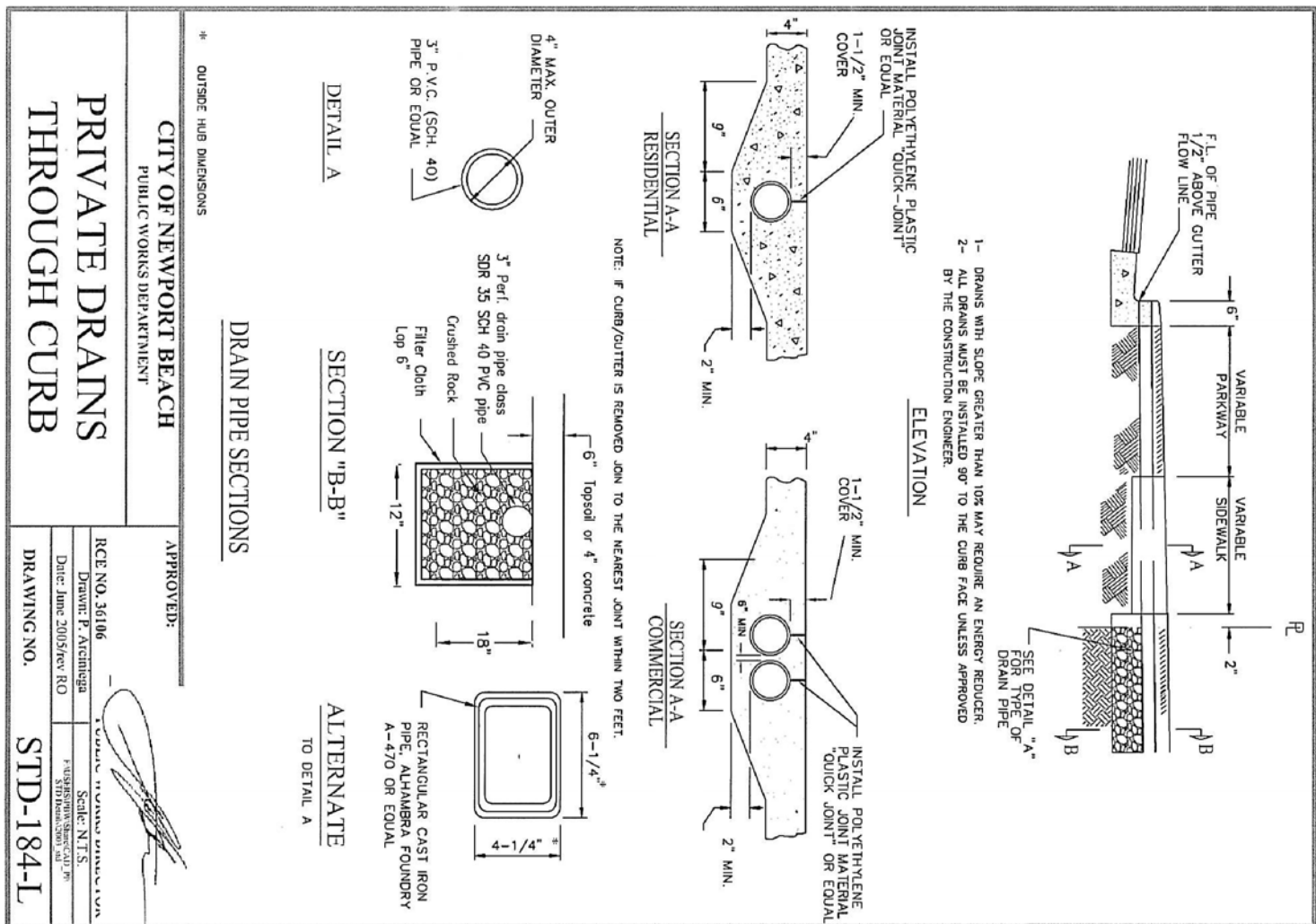
424 31ST STREET, NEWPORT COAST, CA 92663

REV	DESCRIPTION	DATE

DRAWN BY: MAC 11/10/17	APPROVED BY: SVR 11/10/17
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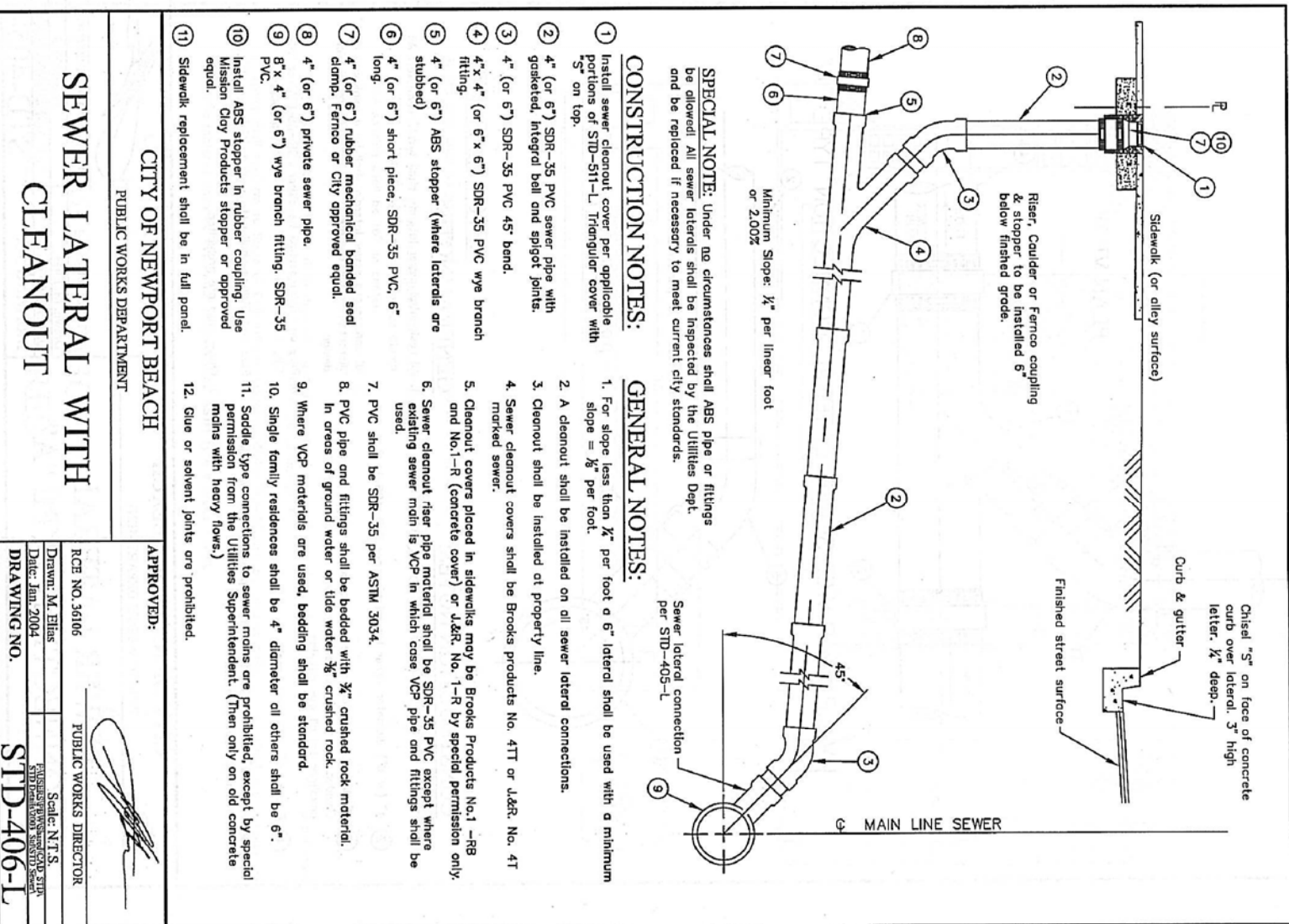
SHEET:
C-6
6 OF 7

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14 THROUGH CURB DRAIN

SCALE : NONE



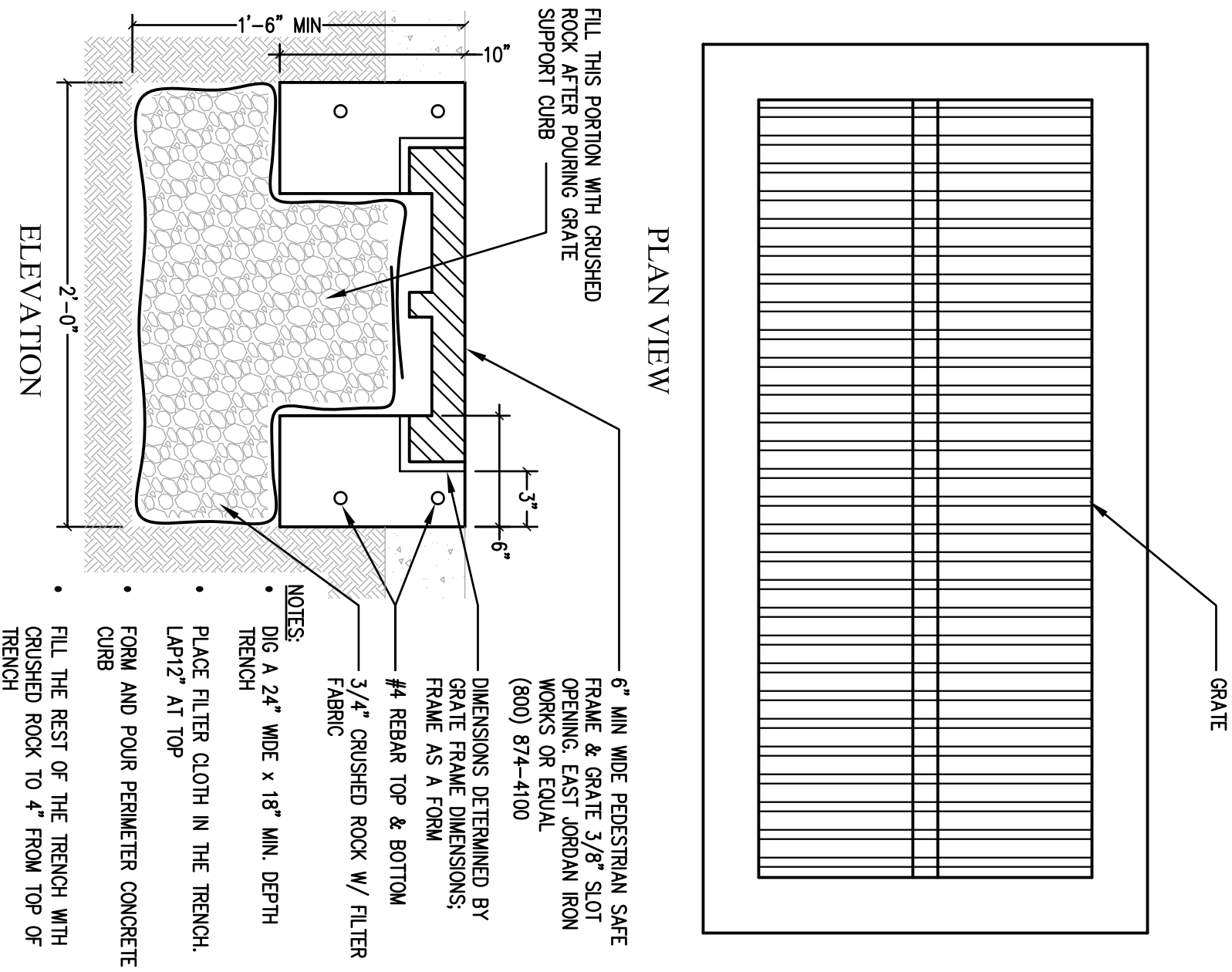
10
SANITARY SEWER
CLEANOUT

SCALE : NONE



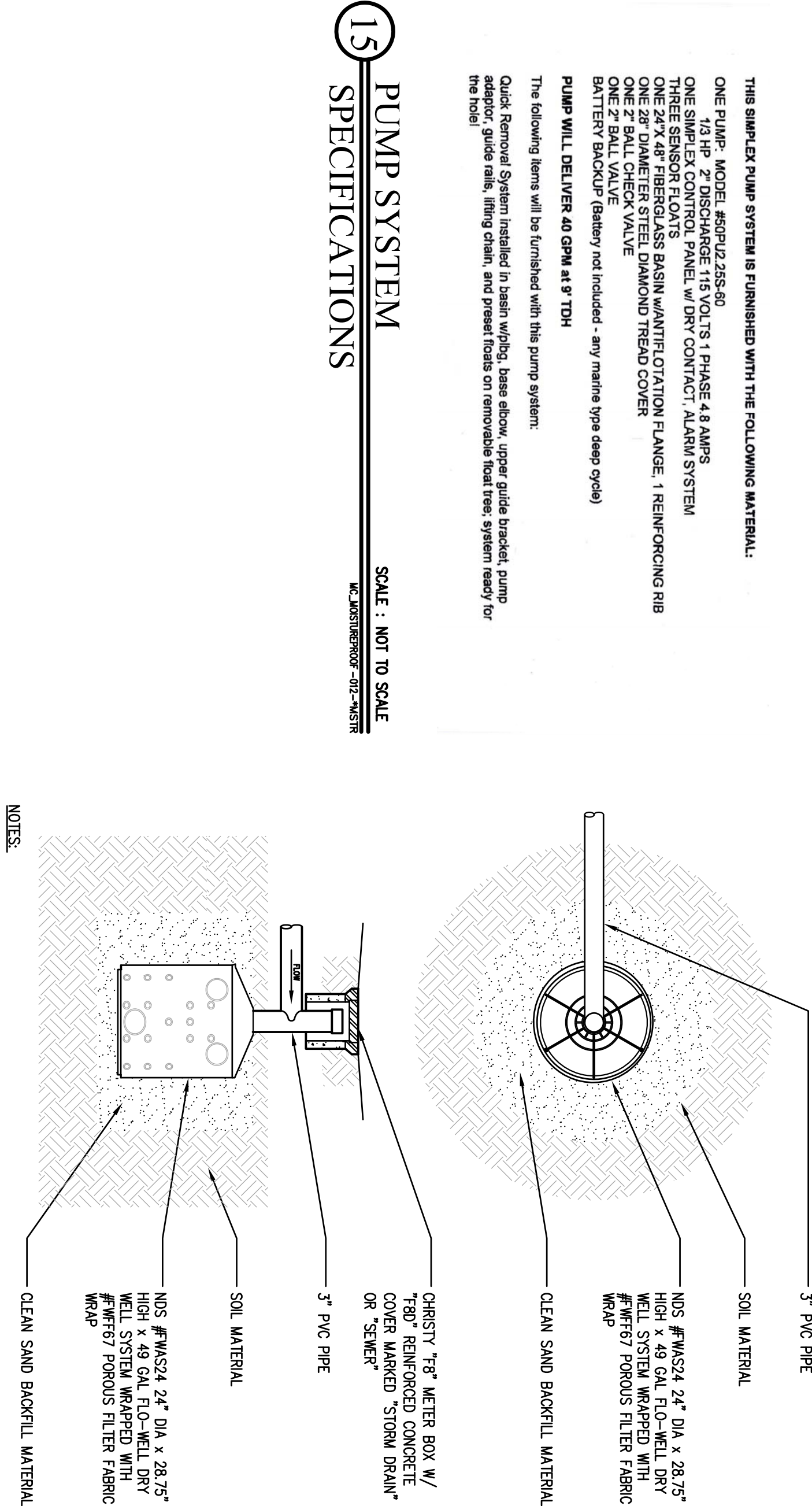
12 VOLT BACKUP SUMP PUMP
SYSTEM - SHEET 1

SCALE : NONE



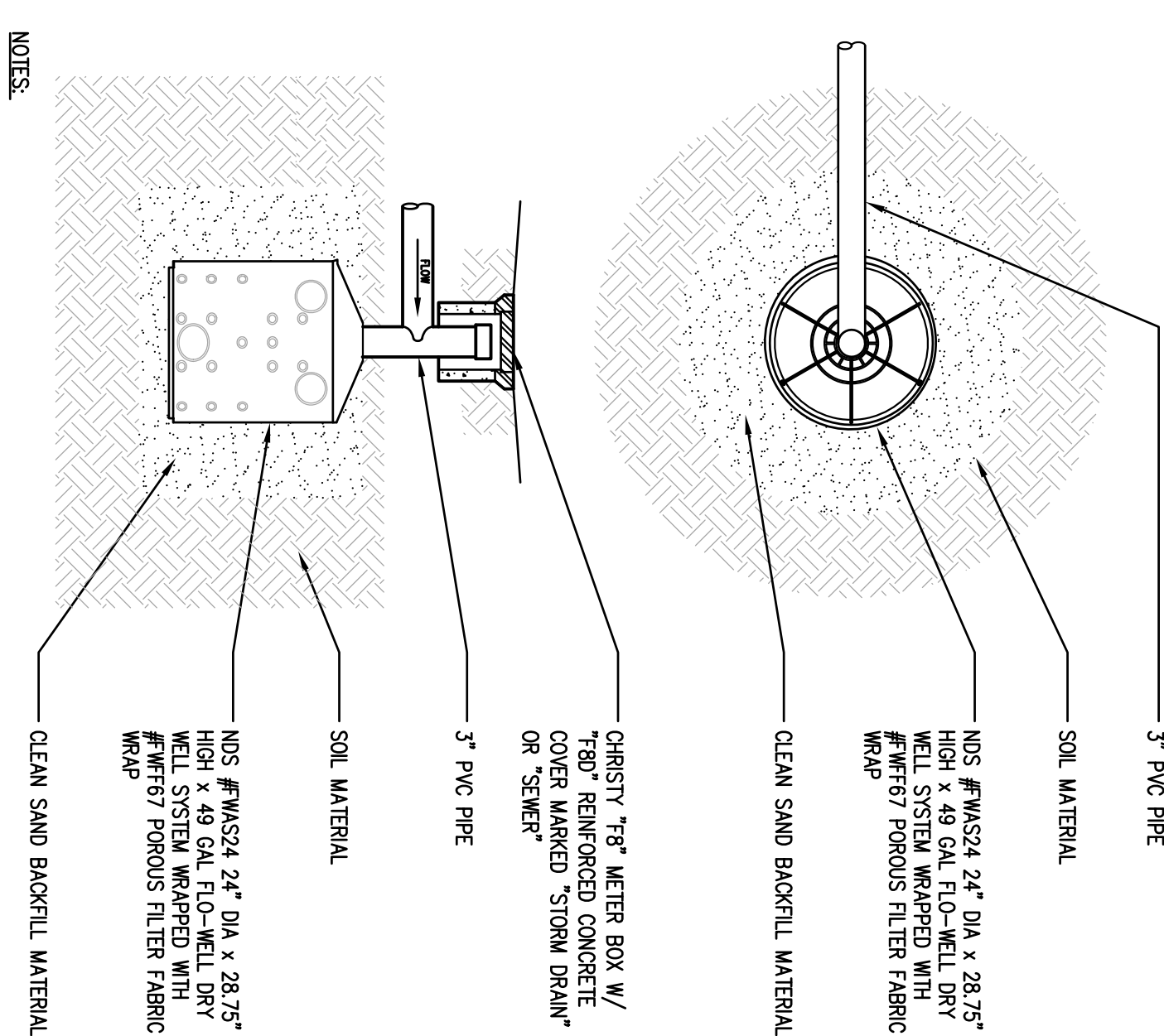
2 BOTTOMLESS TRENCH DRAIN

SCALE : NOT TO SCALE



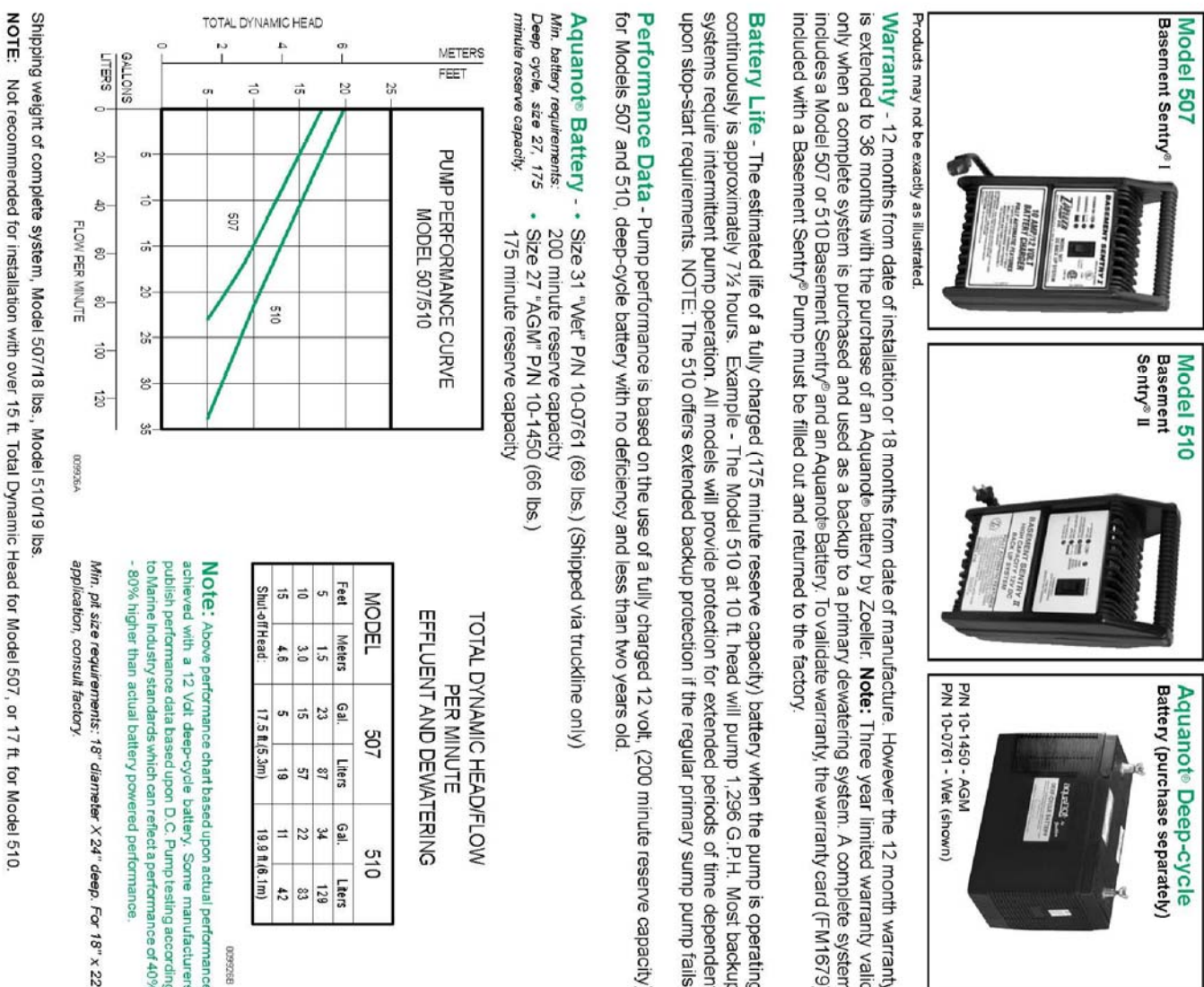
15 PUMP SYSTEM SPECIFICATIONS

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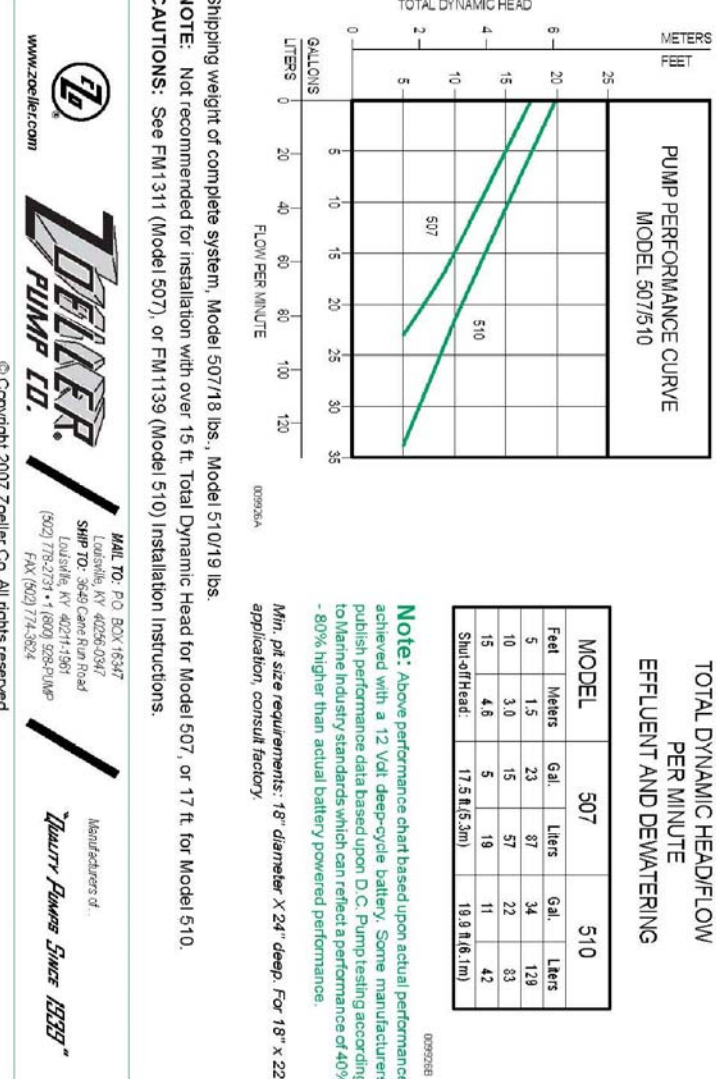
12 DRY WELL

SCALE : NOT TO SCALE



12 VOLT BACKUP SUMP PUMP
SYSTEM - SHEET 2

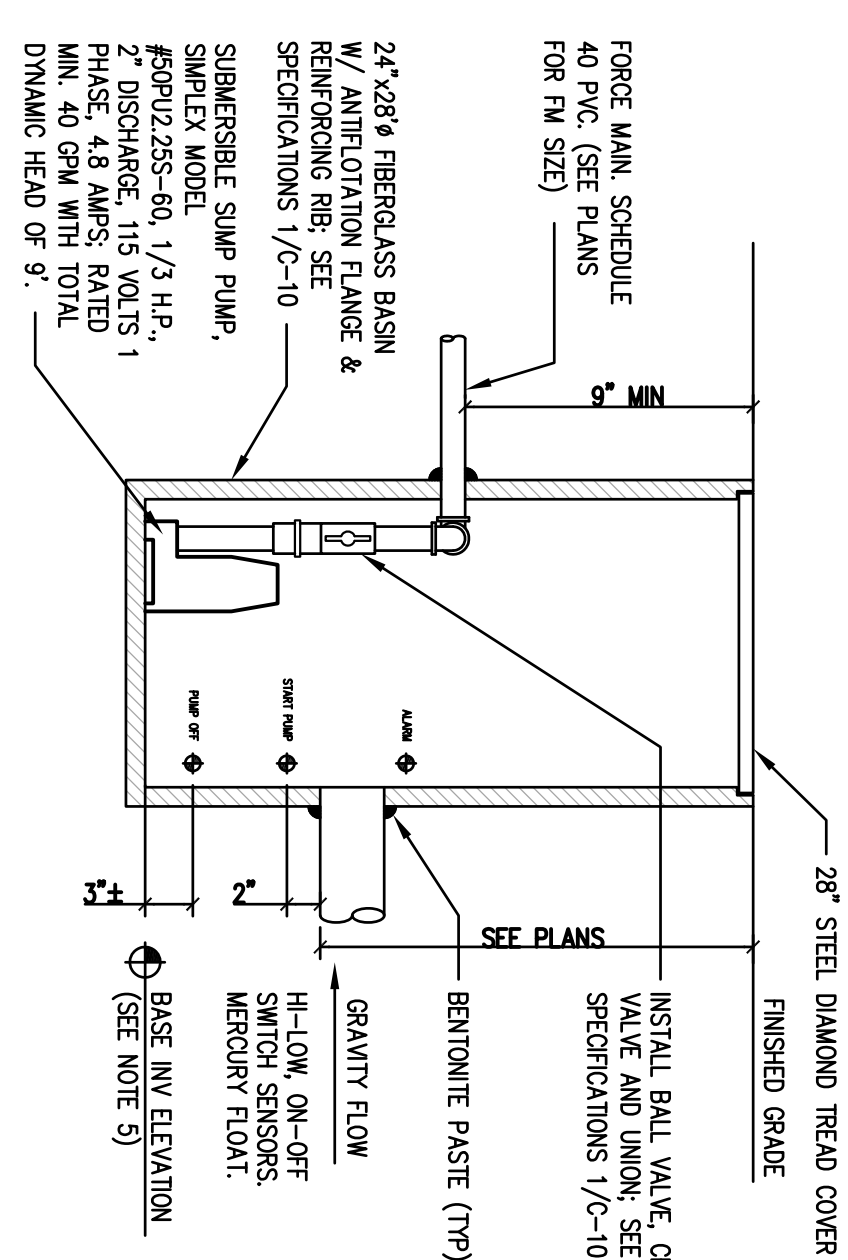
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4 STORM DRAIN SUMP PUMP

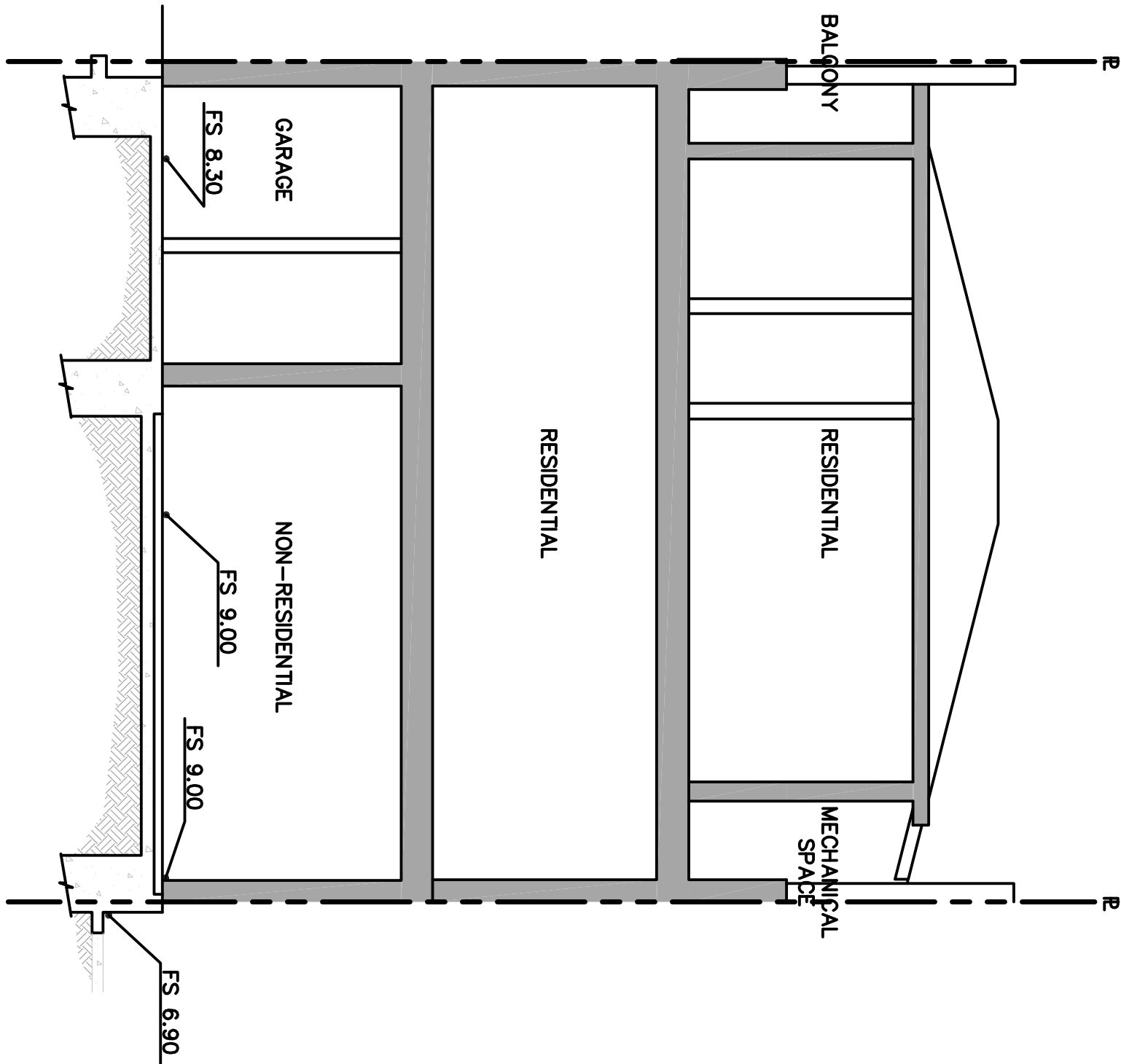
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1. INSTALL PUMP(S) PER MANUFACTURER'S RECOMMENDATIONS; SEE SPECIFICATIONS 15/-6
2. CONTRACTOR SHALL SUPPLY A COMPLETE SELF-CONTAINED SUPPLY MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMP.
3. PROVIDE HIGH-WATER ALARM SYSTEM.
4. PROVIDE FOSSIL FILTER AT PUMP DISCHARGE.
5. PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN.
6. CONTRACTOR SHALL FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.
7. SEE PUMP MANUFACTURER'S RECOMMENDATIONS FOR PUMP MAINTENANCE REQUIREMENTS.
8. PROVIDE BACK-UP BATTERIES OR GENERATOR FOR PUMP. CONTACT PUMP MANUFACTURER FOR RECOMMENDED UNIT.
9. PROVIDE 12 VOL. BACKUP PUMP PUMP AND BATTERY SYSTEM, RECOMMENDED: ZELLER MODE 507 BATTERY MODEL 507 BASEMENT SENARY BATTERY CHARGER, AND ADVANTAGE DEEP CYCLE PUMP SYSTEM #100-450-A0K. SEE DETAIL 5/-6 AND 10/-6-8 FOR FURTHER INFORMATION.

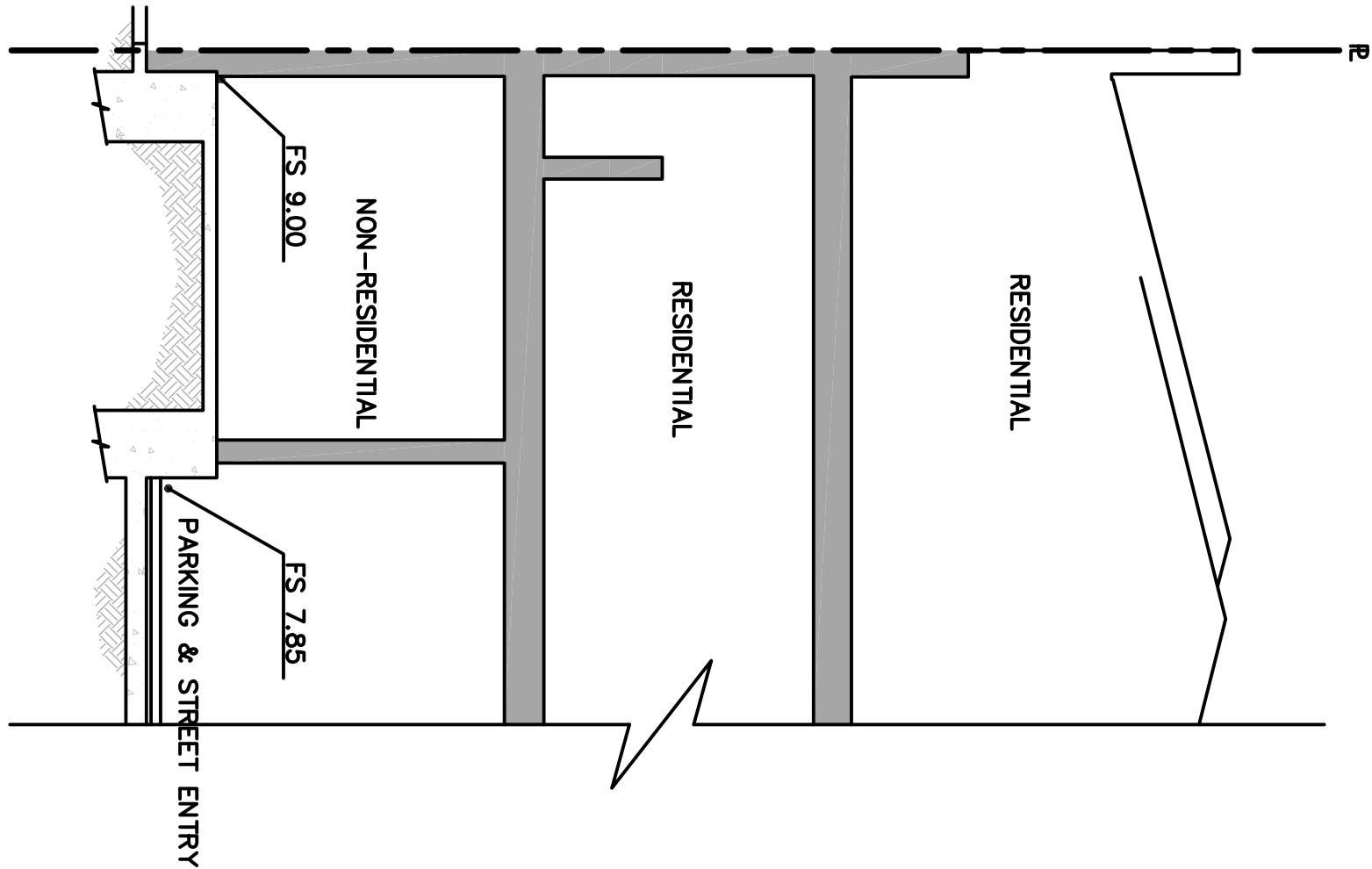


4 STORM DRAIN SUMP PUMP

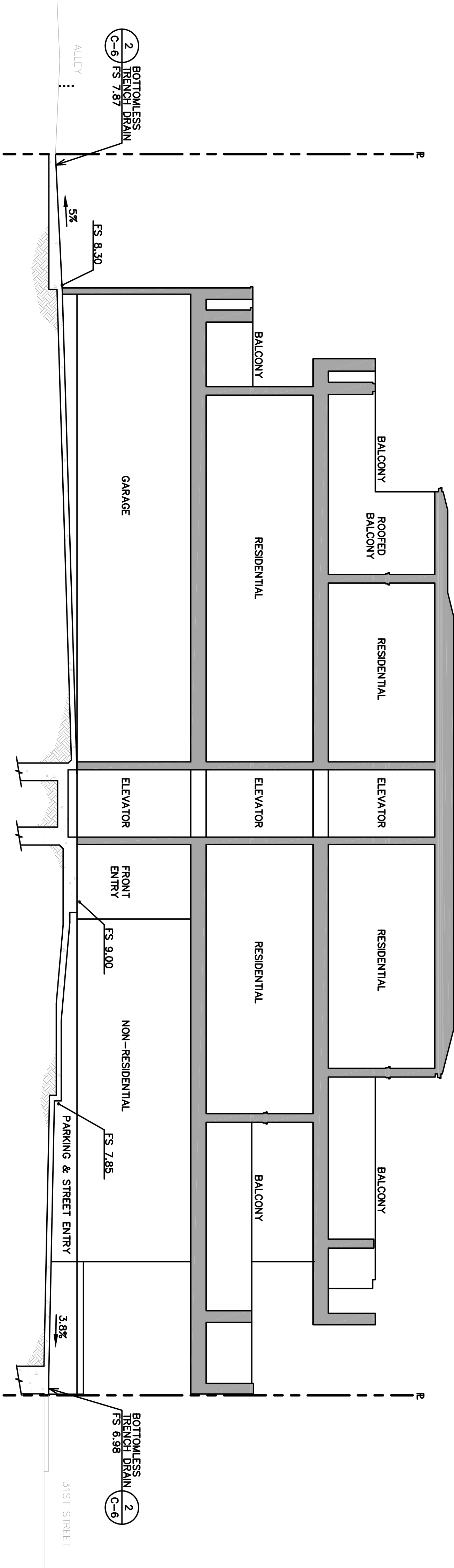
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SECTION A-A
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SECTION B-B
SCALE: 1" = 5'-0"



SECTION C-C
SCALE: 1" = 5'-0"

NOTE

PROPOSED LIMIT OF REMEDIAL GRADING TO EXTEND TO BUT NOT EXCEED NORTH, SOUTH, EAST AND EST PROPERTY LINES.



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SECTIONS

TAORMINA MIXED-USE PROJECT

424 31ST STREET, NEWPORT COAST, CA 92663

REV	DESCRIPTION	DATE	DRAWN BY: MAC 11/10/17	CHECKED BY: SVR 11/10/17

APPROVED BY: SVR 11/10/17	PROJECT NUMBER 30-20135
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SHEET:
C-7
7 OF 7