



CITY OF NEWPORT BEACH ADMINISTRATIVE HEARING STAFF REPORT

January 26, 2023
Agenda Item No. 1

SUBJECT: Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

PERMITS: Under plan check 2601-2018: XR2022-2525, XR2022-2504, XR2022-2503, X2018-3347

Under Plan Check 1114-2021: X2021-1276

SITE LOCATION: 112 Kings Place

APPLICANT: Anthony Ferro

PROPERTY OWNER: Joseph Del Signore

BUILDING INSPECTOR: Chad Shelton

PREPARED BY: Tonee Thai, Chief Building Official - 949-718-1867, tthai@newportbeachca.gov

PROJECT SUMMARY

A single-family dwelling addition of 277 square feet (sf). to the living area and 42 sf. of the garage with interior alterations of 7600 sf. Construct a new detached 390 sf. patio covered with gas and electricity for the barbeque. Construct an 8' high entry gate.

BUILDING PERMIT HISTORY

This project started with Permit X2007-3157 issued on 03/11/2008 with subsequent permits that had since expired. Currently, only referenced permits above are subject to Newport Beach Municipal Code 15.02.095 with an initial three-year construction limit expiration date of June 1, 2022.

Permit XR2022-2503 is a supplement permit to X2018-3347 to document a change of contractor for the permit.

Permit XR2022-2504 is a supplement permit to X2021-1276 to document a change of contractor for the permit.

All major inspection items are documented under the initial permits.

Permit X2018-3347 was issued on April 1, 2019.

The first inspection was on April 10, 2019.

The last inspection was on September 20, 2021.

Please refer to Attachment No. 1 for detailed permit history.

Notice of pending 3-Year Construction Limit expiration was sent on March 30, 2022

Please refer to Attachment No. 2 for detailed notice.

BUILDING OFFICIAL EXTENSION

The chief building official granted an extension for a three-year construction time limit on May 20, 2022, and September 29, 2022, with an expiration date of December 31, 2022. (Attachment No. 3)

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

PUBLIC NOTICE

Notice of this Hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code.

Attachments:

- Attachment No.1 – Building Inspection History
- Attachment No. 2 – Notices of Pending Permit Expiration
- Attachment No. 3 – Building Official Extension

Attachment No. 1

Building Inspection History



City of Newport Beach

Community Development Department - Building Division
100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone: (949) 644-3288
Inspection Requests Phone: (949) 644-3255
newportbeachca.gov/inspections
Combination Type - SFP
Work Class - Addition/Alteration



COMB Permit : **XR2022-2503**

Plan Check No :
Issued Date : 04/01/2019
Inspection Area : 3

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

Job Address : 112 KINGS PL

Description : SFR - ADD 277 SF, 42 SF GARAGE. INTERIOR ALTERATIONS 7600 SF *CHG OF CONTRACTOR*

Owner : JOSEPH DELSIGNORE

Address : 112 KINGS PL
NEWPORT BEACH, CA 92663

Phone :

Applicant : BALDWIN BUILDERS

Address : 482 W ARROW HWY #M
SAN DIMAS, CA 91773

Phone : (909) 599-0033

Owner/Builder :

Address :

Phone :

Code Edition : 2019

Type of Construction : V-B

Occupancy Groups : U,R-3

Bldg Height :

Building Setbacks : Front: 10, Side: 4, Side: 4, Rear: 10

Flood Zone : X

Use Zone : R-1 - Single-Unit Residential

Legal Desc : N 7 R 12 B 19 BLK E LOT 3

Date :

Contractor : BALDWIN BUILDERS

Address : 482 W ARROW HWY #M
SAN DIMAS, CA 91773

Phone : (909) 599-0033

Cal State Lic : 992380

Lic Expire : 04/30/2024

Bus Lic : B 136075-67

Bus Lic Expire : 05/19/2022

Workers' Compensation Insurance
Carrier :

Policy No : 9133923

W. C. Expire : 5/27/2023

Scan plan

(work started)

Fire Sprinklers : NO

Fire Hazard Zone : NO

No of Units : 1

No of Stories : 3

If applicable:

☐ 80% or ☐ 100% refund

Architect : LIGHT CHRISTIAN R

Address : 101 QUAIL ST #120 NEWPORT BEACH,
CA 92660

Phone : (949) 851-8345

State Lic :

Engineer : LARSON HAROLD EUGENE

Address : 1437 GLENNEYRE ST
LAGUNA BEACH, CA 92651

Phone : (949) 497-5203

Discard plan

(no work started)

Construction Valuation : \$0.00

Added/New/TI sq. ft. Bldg : 0

Alteration sq. ft. Bldg : 0

Added/New sq. ft. Garage : 0

INSPECTOR

PROCESSED BY :

SPECIAL CONDITIONS:

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do ☐ all of or ☐ portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

☐ I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: www.leginfo.ca.gov/calaw.html.

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9, commencing with Section 7000 of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class B License No. 9133923-2021 Date 9-31-2024 Contractor Signature [Signature]

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. 9133923-2021

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FARM INS

Policy Number

9133923-2021

Name of Agent HEMERSON INS.

☐ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant [Signature]

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name

Lender's Address

By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf.

I have read this application and the information I have provided is correct.

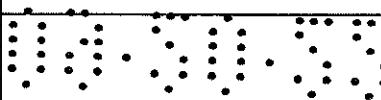
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature]

Print Property Owner's or Authorized Agent's Name Anthony J...

Date 9-20-2022

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1405	FOR OFFICE USE ONLY
PERMIT EXPIRED	1-2-23	[Signature]	<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE:	

130150



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255

Combination Type - SFP ELEC MECH PLUM GRAD



COMB Permit : X2018-3347

Project No : 2601-2018

Issued Date : 04/01/2019

Inspection Area : 2

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION.

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 112 KINGS PL NB

Description: SFR - ADD 277 SF, 42 SF GARAGE. INTERIOR ALTERATIONS 7600 SF

Legal Desc.: N TR 1219 BLK E LOT 3

Owner: DEL SIGNORE JOSEPH A
Address: 112 KINGS PL
NEWPORT BEACH, CA 92663

Phone:

Applicant: SAMSAMI ALI
Address: 1401 QUAIL ST STE 120
NEWPORT BEACH CA 92660
Phone: 949-851-8345

Code Edit : 2016
Type of Construction: V-B
Occupancy Group: R3/U
Added /New sq.ft. Bldg: 277
Added /New sq. ft. Garage: 42
No of Stories: 3
No of Units : 1
Bldg Height: 29
Bldg Sprinklers:
Flood Zone:

Contractor: K M K DEVELOPMENT
Address: 220 NEWPORT CENTER DR #11-350
NEWPORT BEACH CA 92660
Phone: 949-322-5179

Date: 9-20-2018
Con State Lic: 866080
Lic Expire: 10/31/2019
Bus Lic: BT30017909
Lic Exp Date: 11/30/2019

Architect: LIGHT CHRISTIAN R
Address: 1401 QUAIL ST #120
NEWPORT BEACH CA 92660
Phone: 949-851-8345 State Lic: C022334

Engineer: LARSON HAROLD EUGENE
Address: 1437 GLENNEYRE ST
LAGUNA BEACH CA 92651
Phone: 949-497-5203 State Lic: C-033222

Designer:
Address:
Phone:

Special Conditions:

Worker's Compensation Insurance

Carrier: W/C EXEMPT
Policy No: (NO EMPLOYEES)
Expire:

Building Setbacks: Rear: 10
Front: 10
Left: 4
Right: 4

Use Zone: R-1 Parking Spaces: 3

Construction Valuation: \$1,350,000.00

Building Permit Fee: \$7,332.00
Plan Check Fee: \$6,197.99
Overtime Plan Ck: \$4,768.49
Investigation Fee: \$0.00
Record Management: \$86.00
Energy Compliance: \$268.00
CA Seismic Safety: \$175.50
Disabled Access: \$0.00
Hazardous Mat: \$0.00
Building Green Fee: \$54.00

Excise Tax: \$0.00
Additional Fee: \$882.00
Grading Bonds Fee: \$0.00
Grading PC Consultant: \$774.08
Grading Permit Fee: \$875.00
Grading PC Fee: \$169.92
WQ Insp. Fee: \$0.00
Electrical %: \$513.24
Mechanical %: \$293.28
Plumbing %: \$659.88

Planning Department -

Plan check Fee: \$160.00
Fair Share: \$0.00
SJH Trans: \$0.00
In-lieu Housing Fee: \$0.00

Public Works Department -

Park Dedication: \$0.00
P/W Plan Check: \$0.00
San Dist: \$0.00
NMUSD Fee: \$0.00

Fire Department

Fire Inspection: \$0.00
Fire Plan Rev: \$0.00
Demolition Fee: \$24.00
Building Dept Adm: \$197.00
General Service: \$564.00
Refund Deposit: \$0.00
Grading Bond: \$0.00

TOTAL FEE : \$26,154.38

Plan Check Fee : \$12,984.48

Fee Due at Permit Issuance : \$13,169.90

PROCESSED BY:

ZONING APPROVAL:

GRADING APPROVAL:

PUBLIC WORKS APPROVAL:

PLAN CHECK BY:

APPROVAL TO ISSUE:



City of Newport Beach

Community Development Department - Building Division
100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone: (949) 644-3288
Inspection Requests Phone: (949) 644-3255
newportbeachca.gov/inspections
Combination Type - SFP
Work Class - Other



COMB Permit : **XR2022-2525**

Plan Check No :
Issued Date : 09/20/2022
Inspection Area : 3

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

Job Address : 112 KINGS PL
Description : SFR - 8' HIGH ENTRY GATE

Owner : JOSEPH DELSIGNORE
Address : 112 KINGS PL
NEWPORT BEACH, CA 92663
Phone :

Applicant : BALDWIN BUILDERS
Address : 482 W ARROW HWY #M
SAN DIMAS, CA 91773
Phone : (909) 599-0033

Owner/Builder :
Address :

Phone :

Code Edition : 2019
Type of Construction : V-B
Occupancy Groups : U,R-3
Bldg Height :

Building Setbacks : Front: 10, Side: 4, Side: 4, Rear: 10
Flood Zone : X
Use Zone : R-1 - Single-Unit Residential

PROCESSED BY :

SPECIAL CONDITIONS:

Legal Desc: NTR 1219 BLK E LOT 3

Date: 2/23

Contractor: BALDWIN BUILDERS
Address: 482 W ARROW HWY #M
SAN DIMAS, CA 91773
Phone: (909) 599-0033
Con State Lic: 992380
Lic Expire: 04/30/2024
Bus Lic: B130075267
Bus Lic Expire: 06/31/2023

Workers' Compensation Insurance
Carrier:
Policy No: 9133923
W.C. Expire: 5/27/2023

Fire Sprinklers: NO
Fire Hazard Zone: NO
No of Units: 1
No of Stories: 2

Scan plan (work started)
Discard plan (no work started)

Note:

Inspector: [Signature]

If applicable:

☐ 80% refund ☐ 100% refund
Architect:
Address:

to whom:
Phone:
State Lic:

Engineer:
Address:

Phone:

Designer:
Address:

Phone:

Construction Valuation : \$0.00

Added/New/TI sq. ft. Bldg : 0

Alteration sq. ft. Bldg :

Added/New sq. ft. Garage : 0

Insp. initials:



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - BLDG



COMB Permit : X2021-1276

Project No : 1114-2021

Issued Date : 06/03/2021

Inspection Area : 3

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 06/03/2024 OR PERMIT WILL BE INVALID

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 112 KINGS PL NB
Description: SFR 8' HIGH ENTRY GATE
Legal Desc.: N TR 1219 BLK E LOT 3

Owner: DEL SIGNORE JOSEPH A
Address: 112 KINGS PL
NEWPORT BEACH, CA 92663

Applicant: LIGHT CHRISTIAN R
Address: 1401 QUAIL ST #120
NEWPORT BEACH CA 92660
Phone: 949-851-8345

Code Edit : 2019
Type of Construction:
Occupancy Group: U
Added /New sq. ft. Bldg: 0
Added /New sq. ft. Garage: 0
No of Stories: 0
No of Units : 1
Bldg Height: 0
Bldg Sprinklers:
Flood Zone: X

Construction Valuation: \$10,000.00

Building Permit Fee: \$246.00
Plan Check Fee: \$214.02
Overtime Plan Ck: \$0.00
Investigation Fee: \$0.00
Record Management : \$0.00
Energy Compliance: \$0.00
CA Seismic Safety : \$0.00
Disabled Access : \$0.00
Hazardous Mat : \$0.00
Building Green Fee : \$1.00

TOTAL FEE : \$507.27

Contractor: K M K DEVELOPMENT
Address: 220 NEWPORT CENTER DR #11-350
NEWPORT BEACH CA 92660
Phone: 949-322-5179

State Lic: 889080
Lic Expire: 10/31/2021
Bus Lic: B130017905
Lic Exp Date: 11/30/2021

Worker's Compensation Insurance

Carrier: WCC EMP
Policy No: NO EMPLOYEES

Building Setbacks Rear: 10
Front: 10
Left: 4
Right: 4

Use Zone: Scan plan

Architect: LIGHT CHRISTIAN R
Address: 1401 QUAIL ST #120
NEWPORT BEACH CA 92660
Phone: 949-851-8345 State Lic: C022334

Engineer: LARSON HAROLD EUGENE
Address: 1437 GLENNEYRE ST
LAGUNA BEACH CA 92651
Phone: 949-497-5203 State Lic: C-033222

Designer:
Address:
Phone:

Special Conditions: LIQUEFACTION & LANDSLIDE

Discard plan
(no work started)

Excise Tax (work started)	\$0.00	Planning Department -	Fire Department
Additional Fee :	\$0.00	Plan check Fee :	Fire Inspection:
Grading Bonds Fee:	\$0.00	Fair Share :	Fire Plan Rev:
Grading PC Consultant :	\$0.00	SJH Trans :	Construction Fee:
Grading Permit Fee:	\$0.00	In-lieu Housing Fee :	Building Dept Adm:
Grading PC Fee:	\$0.00	Public Works Department -	General Service
WQ Insp. Fee :	\$0.00	Park Dedication :	Refund Deposit
Electrical %:	\$0.00	P/W Plan Check :	Grading Bond:
Mechanical %:	\$0.00	San Dist :	
Plumbing %:	\$0.00	NMUSD Fee:	

Plan Check Fee : \$214.02

Fee Due at Permit Issuance : \$293.25

PROCESSED BY:

ZONING APPROVAL:

GRADING APPROVAL:

PUBLIC WORKS APPROVAL:

PLAN CHECK BY:

APPROVAL TO ISSUE:

INSPECTOR

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

☐ I am exempt from licensure under the Contractors' State License Law for the following reason: 9-19-22
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Website: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent _____ Date _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 commencing with Section 7000 of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class _____ Date 6/3/21 Contractor Signature [Signature]

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SUBJECTS EMPLOYERS TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, AND INTEREST AND ATTORNEY FEES.

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent self-insurance for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Carrier _____ Policy Number _____
Name of Agent _____ Expiration Date _____
Phone # _____

☒ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant [Signature]

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is no construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature]

Print Property Owner's or Authorized Agent's Name DON BERGERON

Date 6/3/21

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED	9-19-22	[Signature]	<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION	
CERTIFICATE OF OCCUPANCY ISSUED			SIGNATURE: _____	

03057



City of Newport Beach

Community Development Department - Building Division
100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone: (949) 644-3288
Inspection Requests Phone: (949) 644-3255
newportbeachca.gov/inspections
Combination Type - SFP
Work Class - Other



COMB Permit : **XR2022-2504**

Plan Check No : 2601-2018

Issued Date :

Inspection Area : 3

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

Job Address : 112 KINGS PL

Description : SFR DETACHED PATIO COVER 390 SF W/ GAS/ELEC TO BBQ CHG OF CONTRACTOR

Owner : JOSEPH DELSIGNORE
Address : 112 KINGS PL
NEWPORT BEACH, CA 92660

Phone :

Applicant : BALDWIN BUILDERS
Address : 482 W ARROW HWY #111
SAN DIMAS, CA 91773
Phone : (909) 599-0033

Owner/Builder :
Address :

Phone :

Code Edition :
Type of Construction : V-B
Occupancy Groups : U
Bldg Height :

Building Setbacks : Front: 10, Side: 4, Rear: 10
Flood Zone : X
Use Zone : R-1 - Single-Unit Residential

PROCESSED BY : JA

SPECIAL CONDITIONS:

Date: 1-2-23 Legal Desc: NTR 1219 BLK E LOT 3



Contractor : BALDWIN BUILDERS
Address : 482 W ARROW HWY #111
SAN DIMAS, CA 91773
Phone : (909) 599-0033
Con State Lic : 952340
Lic Expire : 04/30/2024
Bus Lic : B-30075207
Bus Lic Expire : 05/31/2023



Workers' Compensation Insurance
Carrier :
Policy No : 0153923
W.C. Expire : 5/27/2023



Scan plan
(work started)



Discard plan
(no work started)

If applicable:

☐ 80% or ☐ 100% refund

to whom:

Architect : LIGHT CHRISTIAN R
Address : 1401 QUAIL ST #120 NEWPORT BEACH,
CA 92660
Phone : (949) 851-8345
State Lic :

Engineer : LARSON HAROLD EUGENE
Address : 1437 GLENNEYRE ST
LAGUNA BEACH, CA 92651
Phone : (949) 497-5203

Designer :
Address :
Phone :

Note:

Fire Sprinklers : NO
Fire Hazard Zone : NO
No of Units : 1
No of Stories :

Construction Valuation : \$0.00
Additional sq. ft. Bldg : 0
Alteration sq. ft. Bldg :
Added/New sq. ft. Garage : 0

INSPECTOR

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within the year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

☐ I am exempt from licensure under the Contractors' State License Law for the following reason:
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted at the following Web site: <http://www.info.ca.gov/calwinform>.

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class B License No. 992350 Date 12-31-2021 Contractor Signature [Signature]

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 7700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declaration:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STAK FMI Policy Number 33423-2081 (no work started) Expiration Date 5/20/22
Name of Agent [Signature] (work started) Phone # 909-599-0035

☐ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant [Signature] Note: Insp. initials [Signature] Date 9-20-2022

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature] Print Property Owner's or Authorized Agent's Name Anthony Juw Date _____

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED	1-2-23	[Signature]	<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	<div>00 00 00</div> <div>12 00 00</div>
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE:	



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660

Permit Counter Phone (949)644-3288

Inspection Requests Phone (949)644-3255

Combination Type - SFP ELEC PLUM



COMB Permit : X2021-1275

Project No : 1114-2021

Issued Date : 06/03/2021

Inspection Area : 3

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 06/03/2024 OR PERMIT WILL BE INVALID
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 112 KINGS PL NB

Description: SFR DETACHED PATIO COVER 390 SF W/ GAS/ELEC TO BBQ

Legal Desc.: N TR 1219 BLK E LOT 3

Owner: DEL SIGNORE JOSEPH A
Address: 112 KINGS PL
NEWPORT BEACH, CA 92663
Phone:

Applicant: LIGHT CHRISTIAN R
Address: 1401 QUAIL ST #120
NEWPORT BEACH CA 92660
Phone: 949-851-8345

Code Edit : 2019
Type of Construction: VB
Occupancy Group: U
Added /New sq.ft. Bldg: 0
Added /New sq. ft. Garage: 0
No of Stories: 0
No of Units : 0
Bldg Height: 0
Bldg Sprinklers:
Flood Zone: X

Contractor: K M K DEVELOPMENT
Address: 220 NEWPORT CENTER DR #11-350
NEWPORT BEACH CA 92660
Phone: 949-322-5179
Con State Lic: 866080
Lic Expire: 10/31/2021
Bus Lic: BT30077009
Lic Exp Date: 11/30/2021

Architect: LIGHT CHRISTIAN R
Address: 1401 QUAIL ST #120
NEWPORT BEACH CA 92660
Phone: 949-851-8345
State Lic: C022334
Engineer: LARSON HAROLD EUGENE
Address: 1437 GLENNEYRE ST
LAGUNA BEACH CA 92651
Phone: 949-497-5203
State Lic: C-033222

Worker's Compensation Insurance
Carrier: W/C EXEMPT
Policy No: (NO EMPLOYEES)
Expire:

Designer:
Address:
Phone:

Building Setback: Front: 0
Left: 4
Right: 4
Use Zone: Parking Spaces: 0

Special Conditions: LANDSLIDE & LIQUEFACTION

Construction Valuation: \$20,000.00

Building Permit Fee: \$381.00
Plan Check Fee: \$266.75
Overtime Plan Ck: \$0.00
Investigation Fee: \$0.00
Record Management: \$20.00
Energy Compliance: \$0.00
CA Seismic Safety: \$2.60
Disabled Access: \$0.00
Hazardous Mat: \$0.00
Building Green Fee: \$1.00

Excise Tax: \$0.00
Additional Fee: \$0.00
Grading Bonds Fee: \$0.00
Grading PC Consultant: \$0.00
Grading Permit Fee: \$0.00
Grading PC Fee: \$0.00
WQ Insp Fee: \$0.00
Electrical %: \$26.67
Mechanical %: \$0.00
Plumbing %: \$34.29

Planning Department -
Plan check Fee: \$46.25
Fair Share: \$0.00
SJH Trans: \$0.00
In-lieu Housing Fee: \$0.00
Public Works Department -
Park Dedication: \$0.00
P/W Plan Check: \$43.00
San Dist: \$0.00
NMUSD Fee: \$0.00

Fire Department
Fire Inspection: \$0.00
Fire Plan Rev: \$0.00
Demolition Fee: \$0.00
Building Dept Adm: \$0.00
General Service: \$0.00
Refund Deposit: \$0.00
Grading Bond: \$0.00

TOTAL FEE : \$821.56

Plan Check Fee : \$313.00

Fee Due at Permit Issuance : \$508.56

PROCESSED BY:

ZONING APPROVAL:

GRADING APPROVAL:

PUBLIC WORKS APPROVAL:

PLAN CHECK BY:

APPROVAL TO ISSUE:

INSPECTOR

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do ☐ all of or ☐ portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

☐ I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.reginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent _____

Date _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class _____ License No. _____

Contractor Signature _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Carrier _____ Policy Number _____

Name of Agent _____

Expiration Date _____

Phone # _____

☒ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant _____

Date 6/3/21

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____

Lender's Address _____

Insp. Initials _____

By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf.

I have read this application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent _____

Print Property Owner's or Authorized Agent's Name _____

Date 6/3/21

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED	5-2-22	GB	<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO: <input type="checkbox"/> EPA <input type="checkbox"/> AQMD	
PERMIT CANCELLED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION	
PERMIT EXTENDED			SIGNATURE: _____	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED				



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288



FIRE Permit : F2020-0322

Project No : 1386-2020

Inspection Requests Phone (949)644-3255

Job Address: 112 KINGS PL NB

Description: SFR FIRE SPRINKLERS (X2018-3347) 74 HEADS

Inspector Area: 2

Legal Description: N TR 1219 BLK E LOT 3

Owner: DEL SIGNORE JOSEPH A
Address: 112 KINGS PL
NEWPORT BEACH, CA 92663

Phone:

Applicant: SIRIGNANO KEITH
Address: 22672 LAMBERT ST #619
LAKE FOREST CA 92630
Phone: 949-521-2460

Code Edit : 2019
Type of Construction: V-B-SPR
Occupancy Group: R3/U
Added /New sq. ft. Bldg: 0
Added /New sq. ft. Garage: 0
No of Stories: 3
No of Units : 0
Flood Zone: X
Bldg Sprinklers: Y

Contractor: ALL STAR PLUMBING & FIRE SPRINKLER COMPANY
Address: P O BOX 1416
LAKE FOREST CA 92609
Phone: 949-470-0072

Con State Lic: 715589
Lic Expire: 08/31/2021
Bus Lic: B130069737
Lic Exp Date: 07/31/2021

Worker's Compensation Insurance

Carrier: BENCHMARK INS CO
Policy No: CS15018458
Expires: 02/05/2021

Issued Date: 10/09/2020

Setback- Front:

Rear:

Left:

Right:

If applicable:

☐ 80% or ☐ 100% refund
to whom:

Phone:

State Lic:

Engineer:

Address:

Phone:

State Lic:

Designer:

Address:

Phone:

SIRIGNANO KEITH

22672 LAMBERT ST #619

LAKE FOREST CA 92630

949-521-2460

Special Conditions:

LINDBLIDE AREA

LIQUFACTION AREA

☐ Discard plan
(no work started)

INSPECTOR

Construction Valuation:

\$13,500.00

Building PC Fee :
Building Overtime PC Fee:
Building Extention Fee :
Building Investigation Fee :
Fire Plan Check Fee:
Fire Permit Fee :
Building Permit Fee :

\$202.00
\$0.00
\$0.00
\$0.00
\$0.00
\$0.00
\$240.00

Fire Residential Alarm PC Fee :

\$0.00

Planning Counter Review :

\$0.00

Planning Zoning PC Fee :

\$0.00

Public Works PC Fee :

\$0.00

Public Works Traffic Plan Check Fee;

\$0.00

Records Management :

\$6.00

\$0.00

\$0.00

TOTAL FEE :

\$448.00

Plan Check Fee :

\$202.00

Fee Due at Permit Issuance :

\$246.00

PROCESSED BY:

ZONING APPROVAL:

FIRE APPROVAL :

OTHER DEPARTMENT:

PLAN CHECKED BY:

APPROVAL TO ISSUE:

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

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By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed Contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.logininfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent _____

Date _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____

License No. _____

Date _____

Contractor Signature _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 406 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of coverage to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Carrier _____

Policy Number _____

Expiration Date _____

Name of Agent _____

Phone # _____

☐ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant _____

Date _____

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____

Lender's Address _____

By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf.

I have read this application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent _____

Print Property Owner's or Authorized Agent's Name _____

Date _____

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403.	FOR OFFICE USE ONLY
PERMIT EXPIRED	8-15-22	[Signature]	<input checked="" type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO: <input type="checkbox"/> ERA <input type="checkbox"/> AQMD	
PERMIT CANCELLED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION.	
PERMIT EXTENDED			SIGNATURE: _____	
PERMIT FINAL				
CERTIFICATE OF OCCUPANCY ISSUED				



PERMIT INSPECTION HISTORY REPORT (X2018-3347) FOR CITY OF NEWPORT BEACH

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
04/10/2019	04/10/2019	Other Building	X2018-3347-A0025 30108	Approved		No	Complete

Checklist Item	COMMENTS	Approved
Other	Progress check for revisions	Yes

NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

06/18/2019	06/18/2019	Soil Pipe	X2018-3347-A0025 58707	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
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	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

06/20/2019	06/20/2019	Footings and Foundation	X2018-3347-A0025 60085	Correction	No	Complete
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Checklist Item	COMMENTS	Approved
Foundation Openings	footings ok except gr. bms at garage and entry foyer but must have struc. obs.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

08/12/2019	08/12/2019	Footings and Foundation	X2018-3347-A0025 81853	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	Remainder of footings and gr. bms ok except need revision as noted.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

09/10/2019	09/10/2019	Shear and Hold Downs	X2018-3347-A0025 94434	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	Ok to dbl side shear as noted	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

10/04/2019	10/04/2019	Floor Framing & Sheathing	X2018-3347-A0026 05111	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	2nd floor ok except as noted	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

10/08/2019	10/08/2019	Footings and Foundation	X2018-3347-A0026 06097	Correction	No	Complete
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Checklist Item	COMMENTS	Approved
Foundation Openings	Ok as noted except need pplan approval	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

11/18/2019	11/18/2019	Floor Framing & Sheathing	X2018-3347-A0026 22954	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3rd floor (deck) ok except as noted	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

12/18/2019	12/18/2019	WQ-Best Management Practices	X2018-3347-A0026 37157	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	BMPS IN PLACE	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

02/26/2020	02/26/2020	Roof Framing, Sheathing, Building Height	X2018-3347-A0026 62554	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

05/04/2020	05/04/2020	Footings and Foundation	X2018-3347-A0026 86909	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	Ok as marked for stairs	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

05/11/2020	05/11/2020	Footings and Foundation	X2018-3347-A0026 89780	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	wall steel as marked	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

05/13/2020	05/13/2020	Shear and Hold Downs	X2018-3347-A0026 91125	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	see plans	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

05/14/2020	05/14/2020	Shear and Hold Downs	X2018-3347-A0026 91604	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	shear ok except as noted and no dbl side yet. struc obs rec'd	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022

05/20/2020	05/20/2020	Slab On Grade	X2018-3347-A0026 94160	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	Slab pour back as markekd per covid 19 protocol	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

06/02/2020	06/02/2020	Slab On Grade	X2018-3347-A0026 98390	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	Slab infill as noted	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

09/29/2020	09/29/2020	ZZZHVAC	X2018-3347-A0027 44187	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	<p>**doesn't include fireplace inspection*</p> <p>1. REvise title 24 to add heat pump split systems</p> <p>2. combustion air requirements for units in attic spaces</p>	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

10/07/2020	10/07/2020	Gas Pipe Underground	X2018-3347-A0027 47849	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

10/07/2020	ZZZPlumbing	X2018-3347-A0027 47848	Correction	No	Complete
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Checklist Item	COMMENTS	Approved
Other	1. overflow drains at laundry must go to sanitary drainage 2. fix condensate drain at tankless WH in mech area	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

10/22/2020	10/22/2020	Rough Electric Residential	X2018-3347-A0027 54384	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	ok except at new stairs/loft area. clean out existing switchgear.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

10/22/2020	Shear and Hold Downs	X2018-3347-A0027 54386	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	hardware verified at dbl. shear walls before closing up.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

10/30/2020	10/30/2020	Shear and Hold Downs	X2018-3347-A0027 57701	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	dbl. shear wall sections as noted on plans	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

10/30/2020	ZZZHVAC	X2018-3347-A0027 57700	Not Ready for Inspection	No	Complete
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Checklist Item	COMMENTS	Approved
Other	meant fireplaces. need to address clearance issues.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

10/30/2020	ZZZPlumbing	X2018-3347-A0027 57699	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

11/18/2020	11/18/2020	Insulation/Densglass	X2018-3347-A0027 64472	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Insulation / Densglass	insulation at master bedroom ceiling ok to close up	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

11/18/2020	Shear and Hold Downs	X2018-3347-A0027 64467	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	shear walls #1 next to elec. closet at garage ok. all shear ok except sections noted on plans.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

12/23/2020	12/23/2020	ZZZHVAC	X2018-3347-A0027 77024	Cancelled	No	Complete
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Checklist Item	COMMENTS	Approved
Other		No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

01/07/2021	01/07/2021	ZZZHVAC	X2018-3347-A0027 79622	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

01/11/2021	01/11/2021	Complete Framing	X2018-3347-A0027 80548	Cancelled	No	Complete
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Checklist Item	COMMENTS	Approved
Other	by gc in morning. need to do sprinklers first	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

02/11/2021	02/11/2021	Complete Framing	X2018-3347-A0027 93741	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	Revisions, rf's, and corrections completed	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

02/11/2021	Floor Framing & Sheathing	X2018-3347-A0027 93739	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	Revisions, rf's, and corrections completed	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

02/11/2021	Footings and Foundation	X2018-3347-A0027 93736	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Foundation Openings	Revisions, rfi's, and corrections completed	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

02/11/2021	Rough Electric Residential	X2018-3347-A0027 93738	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	Revisions, rfi's, and corrections completed	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

02/11/2021	Shear and Hold Downs	X2018-3347-A0027 93740	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	Revisions, rfi's, and corrections completed	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

02/11/2021	Slab On Grade	X2018-3347-A0027 93737	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	Revisions, rfi's, and corrections completed	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlght.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

03/03/2021	03/03/2021	Insulation/Densglass	X2018-3347-A0028 02084	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Insulation / Densglass		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

03/23/2021	03/23/2021	Drywall Fire Caulk	X2018-3347-A0028 10085	Cancelled	No	Complete
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Checklist Item	COMMENTS	Approved
Drywall / Fire Caulk	in field by gc	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
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	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

03/23/2021	Other - Plumbing	X2018-3347-A0028 10084	Cancelled	No	Complete
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Checklist Item	COMMENTS	Approved
Other	in field by gc	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

03/24/2021	03/24/2021	Legacy Inspection	X2018-3347-A0028 10915	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Vapor Barrier/ Exterior Lath/ Veneer Lath	upper roof deck and entire left side of house	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

03/24/2021	Other - Plumbing	X2018-3347-A0028 10916	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	all shower pans except master	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
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	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

04/14/2021	04/14/2021	Drywall Fire Caulk	X2018-3347-A0028 18660	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Drywall / Fire Caulk		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

04/14/2021	Legacy Inspection	X2018-3347-A0028 18661	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Vapor Barrier/ Exterior Lath/ Veneer Lath		Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

09/20/2021	09/20/2021	Other Building	X2018-3347-A0028 84931	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	wip	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

03/30/2022	03/30/2022	Other - MISC	X2018-3347-A0029 64811	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3 YEAR DEADLINE LETTER MAILED	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

04/04/2022	04/04/2022	Other - MISC	X2018-3347-A0029 67151	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	don bergeron (KMK development) applied for extension. turned into building official.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

04/04/2022	Other - MISC	X2018-3347-A0029 67282	Partial Pass	Walter Jones	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3-31-22 PUT NOTICE ON SHELF ON JOB SITE. WORKE WILL LET SUPER KNOW WHERE IT IS. TOOK PHOTOS	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlght.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

04/25/2022	04/25/2022	Other - MISC	X2018-3347-A0029 76332	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	spoke to don bergeron, (kmk development) he is trying to get letter from homeowner authorizing him as his agent to process extension paperwork. cannot process extension without owner authorization, gc is aware.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

05/04/2022	05/04/2022	Other - MISC	X2018-3347-A0029 79990	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3 YEAR DEADLINE LETTER RETURNED TO SENDER - OWNER	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
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	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
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	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

05/20/2022	05/20/2022	Other - MISC	X2018-3347-A0029 87818	Approved	Tonee Thai	No	Complete
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Checklist Item	COMMENTS	Approved
Other	PERMIT SHALL EXPIRE ON 10/01/2022 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER.	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
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	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
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	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

05/24/2022	05/24/2022	Other - MISC	X2018-3347-A0029 89203	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	Approved 3-YR extension mailed & emailed 5-24-22	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022

09/07/2022	09/07/2022	Other Building	IBLD-007864-2022	Correction	Chad Shelton	Yes	Complete
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Checklist Item	COMMENTS	Approved
Comment	Spoke to contractor don bergeron of KMK development, claims that they are no longer contractor of record on the job and that he is working with city and owner to obtain change of contractor permit.	No

09/15/2022	09/15/2022	Other Building	IBLD-008900-2022	Not Ready for Inspection	Chad Shelton	Yes	Complete
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Reinspection of IBLD-007864-2022

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
				Checklist Item	COMMENTS	Approved	
				Comment	Met with potential new contractor Anthony from Baldwin builders to discuss what needs to be done to final permit. Missing condensers, stairs in complete interior and exterior missing lighting and lighting controls, missing all fixtures and appliances, missing fire door from garage to house, missing fire rated access in garage for heat pump, etc.	No	
10/03/2022	10/03/2022	Other Building	iBLD-010953-2022	Not Ready for Inspection	Chad Shelton	Yes	Complete
				Reinspection of iBLD-008900-2022			

Checklist Item	COMMENTS	Approved
Comment	Went over requirements for final with Chris and GC. Will be compiling list and emailing to contractor today.	No

NOTES	Created By	TEXT	Created Date
	Anthony Ferro	Field contact name : anthony ferro, phone number: (626) 945-6326. Monday 11-12 meeting with Chad and Chris Sanchez	10/01/2022

112 kings

From: Shelton, Chad CShelton@newportbeachca.gov

To: Thai, Tonee tthai@newportbeachca.gov, Sanchez, Chris
CSanchez@newportbeachca.gov

Date: Thu, Sep 15, 2022, 5:59 PM

Hi Guys,

In my Site walk with Anthony Today over at 112 Kings, I noticed a lot of items that are still incomplete and/or missing in order to final the permit. For example, all appliances and fixtures, lighting controls and lighting panels that are incomplete, condensers missing, stairways incomplete as well as life safety items like guard rails and hand rails, missing garage fire rated door as well as fire rated access panel in the garage lid just to name a few. Apparently there was also a leak on the concrete deck above the pool house at the bottom of the property and now that entire structure has been gutted down to studs. I am unsure if this work has been permitted or not. Not sure where you want to take it from here.

Thanks,
Chad

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X2014-2032

CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

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OWNER-BUILDER ACKNOWLEDGEMENT AND INFORMATION VERIFICATION
(HSC 19825)

NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at 112 Kings place Newport Beach.

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

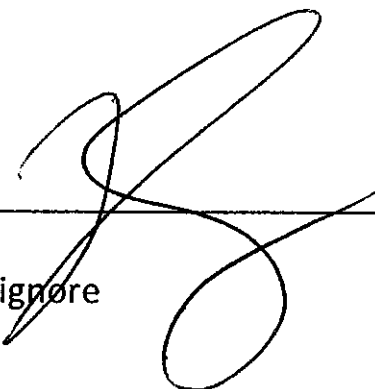
6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

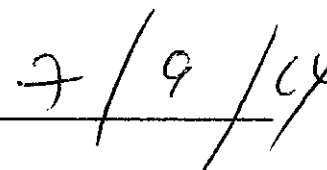
8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

To whom it may concern:

I, Joseph Del Signore, hereby authorize Derek Lamarque to act on my behalf regarding all city and contracting matters relating to 112 Kings Place, Newport Beach CA. Please contact me should you have any questions. 310-779-8849.



Joe Del Signore



Date

COMMUNITY

JAN 08 2015

DEVELOPMENT

STATE OF NEW YORK

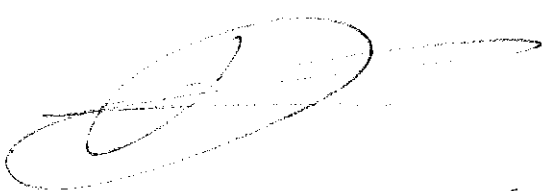
1-8-15

PC 0187-2011

Dear Senator,

My Name is Derek LaMare, I will be the person running the project on 112 Kmss Place. With your permission I would like to request a extension on our permits for 112 Kmss Place. We have not started the project yet due to design changes and funding. We have a definite start date on January 23rd 2015. At your convenience let me know if we can get the extension, should you have any questions please don't hesitate to contact me.

Best Regards,



(714) 697-0093 (C)

DerekLaMare@aol.com (E)

- X2014-2028
- X2014-2031
- F2014-0385
- S2014-0096
- X2014-2030
- X2014-2033
- X2014-2032

01-13-15 OUT TO RENEW ONE →
TIME ONLY PER SS



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

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BUILDING HEIGHT CERTIFICATION

Project Street Address: 112 KINGS ROAD

Building Permit Number(s): _____

As the surveyor of record for the project at the above address, I hereby certify that I have reviewed the City of Newport Beach approved plan and original topographic survey and based the elevations listed below on those plans.

Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on: ☒ NAVD88 ☐ NGVD29 ☐ Assumed

Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.

ADDED 2" THICK ROOF MATERIAL
RIDGES (3:12 slope or greater)

1. Approved elevation point of ridge is 91.14 and actual elevation point is 90.89
2. Approved elevation point of ridge is 91.44 and actual elevation point is 90.68
3. Approved elevation point of ridge is 87.42 and actual elevation point is 86.92

FLAT ROOFS, PARAPETS AND GUARDRAILS

1. Approved elevation point of flat roof or parapet is _____ and actual elevation point is _____
2. Approved elevation point of flat roof or parapet is _____ and actual elevation point is _____
3. Approved elevation point of flat roof or parapet is _____ and actual elevation point is _____

I certify that the above height measurements are correct and the above project:

- ☒ IS in compliance with the City-approved plans.
- ☐ IS NOT in compliance with the City-approved plans (Provide explanation).

Please describe any deviation from the City-approved plans on the back of this form.

Ron Miedema

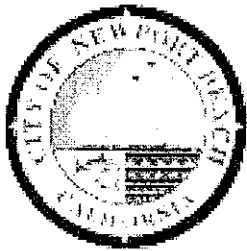
Surveyor or Civil Engineer's* signature and seal
(Wet stamp and signature required)



2-27-20

Date

* License number of 33965 or lower



CITY OF NEWPORT BEACH

P.O. Box 1768, Newport Beach, CA 92658-8915

SETBACKS AND TOP OF SLAB/ FLOOR ELEVATION CERTIFICATE

The purpose of this Certification is to insure that the structure is located properly on site per the approved drawings. This Certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/ floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on buildings sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place.

Engineer/Surveyor's Name: Olav S. Meum License #: 4384

Engineer/Surveyor's Address: 139 Avenida Navarro/ San Clemente, CA 92672

Job Address: 112 Kings Place, Newport Beach, Ca

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page)

- Top of slab/floor elevation: 37.4 (top of forms/ footings)
- If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks ☒ are ☐ are not per City approved plans. Describe any deviations from plans: _____

I certify that top of slab/floor elevation(s) ☒ is ☐ is not per City approved drawings. Describe any deviations from plans: _____

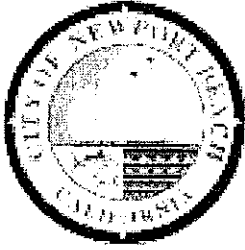
October 12, 2009
Date



Olav S. Meum
Engineer/Surveyor's stamp and signature

OSM/ ch
Ffc13549

3300 Newport Boulevard, Newport Beach



CITY OF NEWPORT BEACH

P.O. Box 1768, Newport Beach, CA 92658-8915

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October 12, 2009
Date



Olav S. Meum
Engineer/Surveyor's stamp and signature

OSM/ ch
Ffc13549

3300 Newport Boulevard, Newport Beach



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

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Structural Observation Report

Project Address: 112 KING'S PLACE	Report Date: 12/1/15	CNB Inspector Name:	CNB Permit #: 1512-2015
Building Owner Name:	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): PAUL ROHRER	SO E-mail Address: PAULROHRER@ENGINEER20AOTMAIL.COM	SO Telephone #: (949) 272-9579	SO License / Reg. #: 54340

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

OBSERVED FLOOR AND ROOF SHEATHING

NO DEFICIENCIES NOTED

OK TO USE 16" TJI/S20 FOR (2) 11 7/8" RFP170 JOISTS

NOTED ON SHEET S2.2


☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.


 SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

12/1/15
 DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

PR
SE

PAUL ROHRER
STRUCTURAL ENGINEERS
1527 E. Autumnridge Ct. Orange CA 92866
(714) 272-9579
PaulRohrer.Engineer@Hotmail.com

DEL SIGNORE RESID

112 KING'S PLACE

REVISED DETAIL 7/SD5

Job No: 14-046

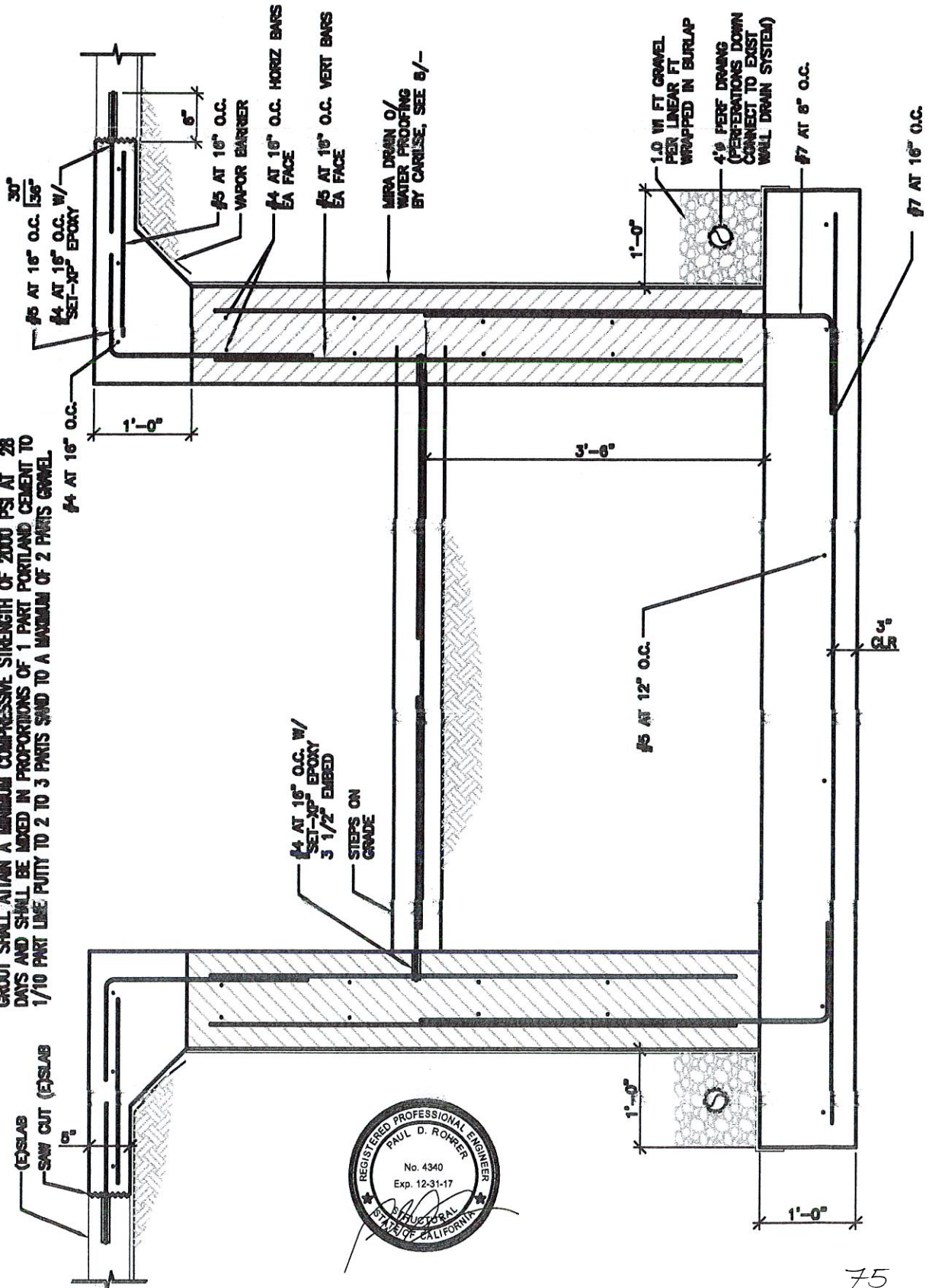
Designed By: pdr

Date: 5/9/2016

Sheet No:

NOTES:
ALL CONCRETE BLOCK SHALL CONFORM TO ASTM C90, GRADE N-1. USE OPEN
END BLOCK AS REQUIRED TO ACCOMMODATE VERTICAL REINFORCING.
MORTAR SHALL BE TYPE "S" AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH AT
28 DAYS OF 1800 PSI AND MIXED IN THE PROPORTIONS OF 1 PART PORTLAND
CEMENT TO 1/2 TO 1/4 PARTS LIME PUTTY TO 2 1/4 TO 3 TIMES THE SUM
OF THE CEMENT PLUS LIME PUTTY PARTS OF SAND.

GROUT SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28
DAYS AND SHALL BE MIXED IN PROPORTIONS OF 1 PART PORTLAND CEMENT TO
1/10 PART LIME PUTTY TO 2 TO 3 PARTS SAND TO A MAXIMUM OF 2 PARTS GROUT.





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Structural Observation Report

Project Address: 112 King's Place	Report Date: 4/18/16	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Joseph Del Signore	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Paul Rohrer	SO E-mail Address: paulrohrer.engineer@hotmail.com	SO Telephone #: (714) 272-9579	SO License / Reg. #: S4340

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	FOUNDATIONS	4/18/16
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

FOUNDATION EXCAVATION + REBAR AT MAIN LEVEL / LOWER LEVEL
NO DEFICIENCIES OBSERVED

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

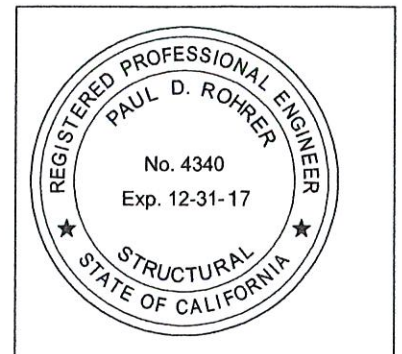
I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

4/18/16
DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

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www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 King's Place	Report Date: 6/13/16	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Joseph Del Signore	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Paul Rohrer	SO E-mail Address: paulrohrer.engineer@hotmail.com	SO Telephone #: (714) 272-9579	SO License / Reg. #: S4340

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input checked="" type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

OBSERVED EXTERIOR SHEAR WALLS
NO DEFICIENCIES NOTED

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

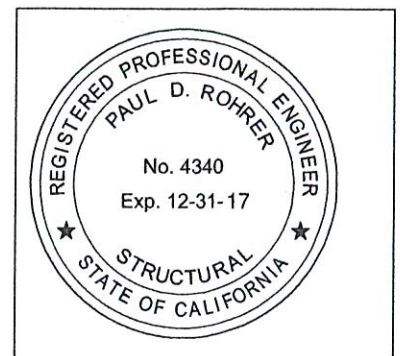
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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

6/13/16
DATE



STAMP OF STRUCTURAL OBSERVER

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CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

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www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 King's Place	Report Date: 9/27/16	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Joseph Del Signore	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Paul Rohrer	SO E-mail Address: paulrohrer.engineer@hotmail.com	SO Telephone #: (714) 272-9579	SO License / Reg. #: S4340

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FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input checked="" type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	STAIR WELL	9/27/16
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

NO DEFICIENCIES OBSERVED

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

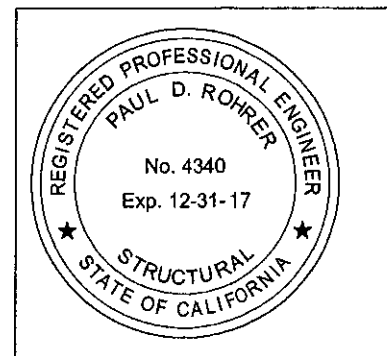
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9/27/16
DATE



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CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

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www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 KINGS PLACE	Report Date: 8/8/19	CNB Inspector Name:	CNB Permit #:
Building Owner Name: DA SIGNORE	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): HAROLD LARSON	SO E-mail Address: HARLARD@AOL.COM	SO Telephone #: (949) 497-6203	SO License / Reg. #: RCE 33222

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other: FRAME	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

REINFORCING @ FRAMES 41/57, 31/56, 35/56 PER PLAN

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

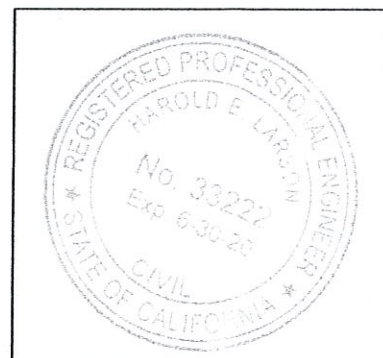
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3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

8/8/19
DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 KINGS PLACE	Report Date:	CNB Inspector Name:	CNB Permit #:
Building Owner Name: DEL SIGNORE	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): HAROLD E. LANSON	SO E-mail Address: HARLAR2001@AOL.COM	SO Telephone #: (949) 497-5203	SO License / Reg. #: RC233222

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input checked="" type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
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<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

ALL CNT PTG, RAD'S, HOLDOWN'S APPROVED (REVISOR PLD TO FOUNDATION BRGS AT ALL FRAME (NO GRADE BEAMS IN PLACE))

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

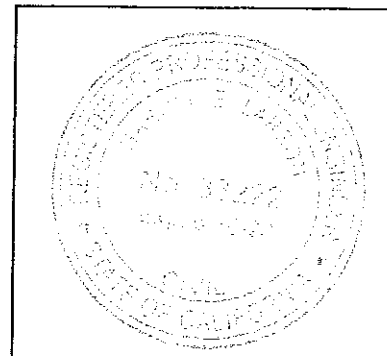
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CITY OF NEWPORT BEACH

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BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915

www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 KINGS PLACE	Report Date: 5-1-2020	CNB Inspector Name:	CNB Permit #:
Building Owner Name: DR SIGNORE	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): HAROLD LARSON	SO E-mail Address: HAROLD2001@AOL.COM	SO Telephone #: (949) 497-5203	SO License / Reg. #: RCF33222

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
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<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

REINFORCEMENT & SPIRAL STAIN FISHING

APPROVED

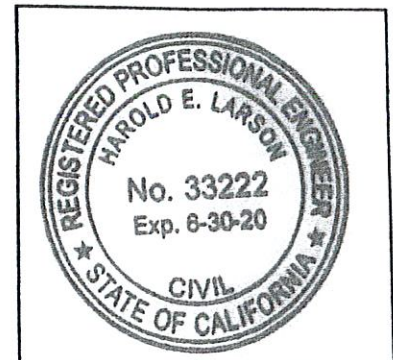
☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

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STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

5-1-2020

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 KINGS PLACES	Report Date: 5-11-2020	CNB Inspector Name:	CNB Permit #:
Building Owner Name: DEL SIGNORE	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): HAROLD LARSON	SO E-mail Address: HARLAR2001@AOL.COM	SO Telephone #: (949) 492-5203	SO License / Reg. #: RCE33222

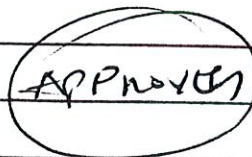
PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
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<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

MAIN FIRM WALL REINFORCING



☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

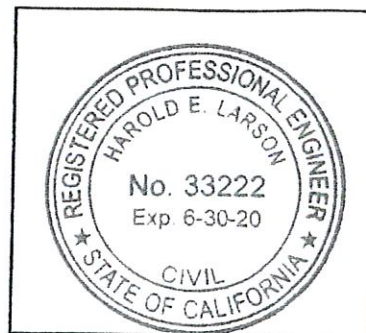
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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

5-11-2020



STAMP OF STRUCTURAL OBSERVER

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CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 KINGS PLACE	Report Date: 5-12-2020	CNB Inspector Name:	CNB Permit #:
Building Owner Name:	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): HAROLD LARSON	SO E-mail Address: HLARSON@CITYOFNB.CA	SO Telephone #: (949) 442-5233	SO License / Reg. #: RCE33222

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
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☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

MAILING ALL WALLS (EXCEPT DBL STUD) ALL LEVELS

☐ FINAL STRUCTURAL OBSERVATION REPORT:

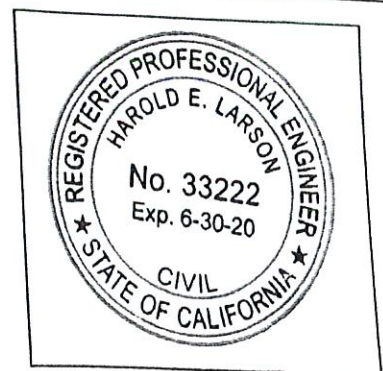
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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE **5/12/2020**



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www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 KINGS PLACE	Report Date:	CNB Inspector Name:	CNB Permit #:
Building Owner Name: DEL SIGNORE	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): HAROLD E. LARSON	SO E-mail Address: HARLAR2001@AOL.COM	SO Telephone #: (949) 497-5203	SO License / Reg. # RE 33222

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
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<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

**ALL CONT. PTG., PARS, THUSOWN APPROVED (REVIS PLAN TO FLOW)
EXCEPT PARS AT ALL FRAMES (NO GRADE BEAMS IN PARS)**

☐ REPORT CONTINUED ON ATTACHED PAGES

☐ FINAL STRUCTURAL OBSERVATION REPORT:

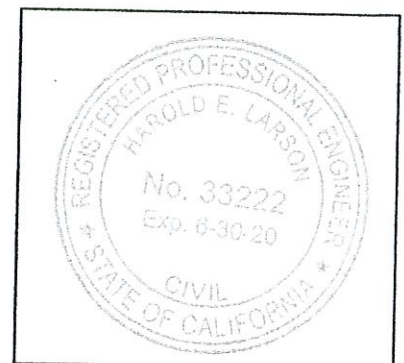
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CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 112 King's Place	Report Date: 8/1/17	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Joseph Del Signore	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Paul Rohrer	SO E-mail Address: paulrohrer.engineer@hotmail.com	SO Telephone #: (714) 272-9579	SO License / Reg. #: S4340

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	100% FRAMING	8/1/17
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☐ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

OBSERVED FRAMING, SHEAR + HARDWARE
 NO DEFICIENCIES OBSERVED.

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

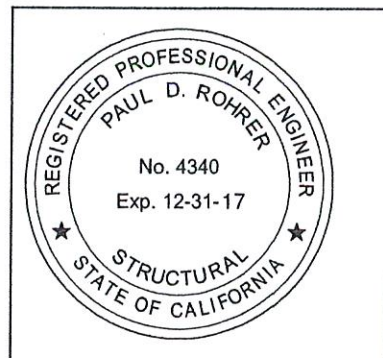
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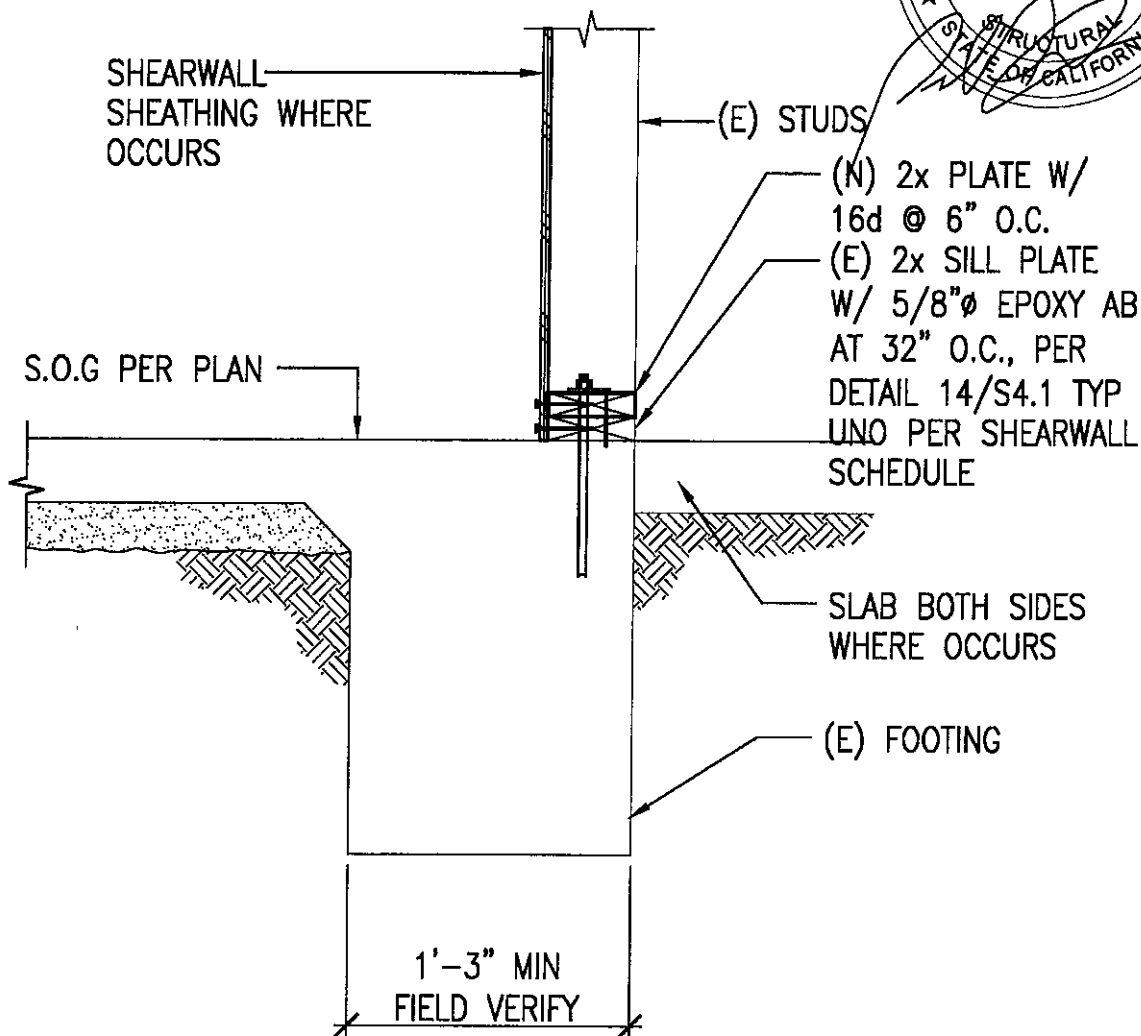
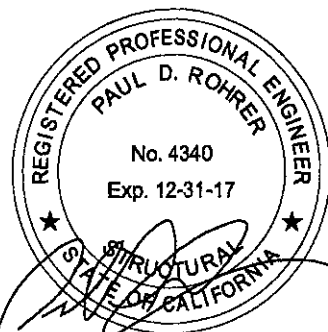
STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



PAUL ROHRER
STRUCTURAL ENGINEERS
17291 Irvine Blvd. Suite #152 Tustin CA 92780
Office: (714) 486-2537 Cell: (714) 272-9579
Paul@PRSEInc.com

121 KING'S PLACE
NEWPORT BEACH CA

Job No: 14-046
Designed By: pdr
Date: 8/8/2017
Sheet No:



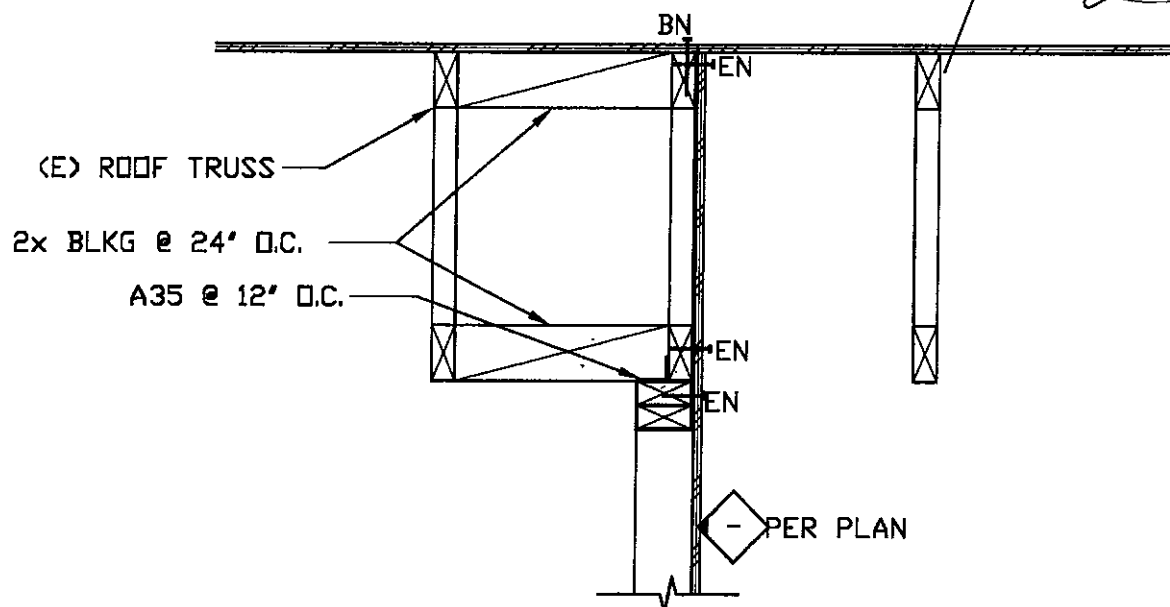
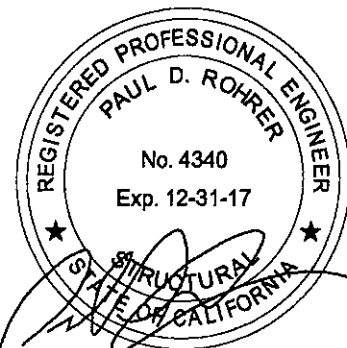
SHEAR WALL AT EXISTING FOOTING



PAUL ROHRER
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Office: (714) 486-2537 Cell: (714) 272-9579
Paul@PRSEInc.com

121 KING'S PLACE
NEWPORT BEACH CA

Job No: 14-046
Designed By: pdr
Date: 8/8/2017
Sheet No:

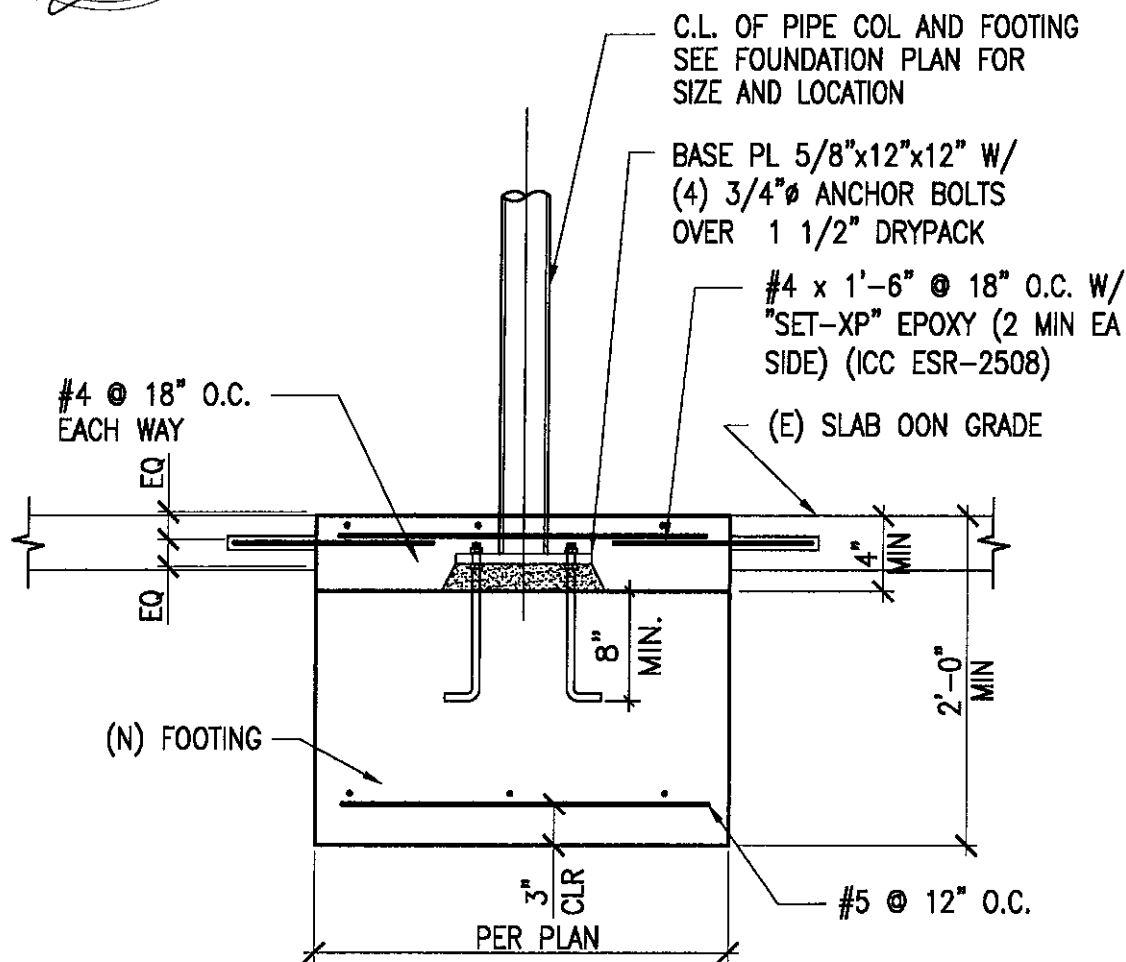
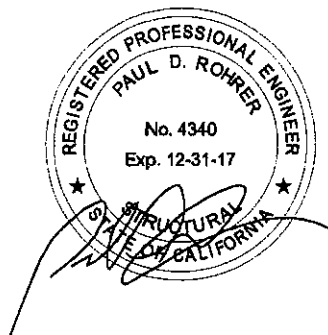


SHEAR WALL AT EXISTING ROOF TRUSS



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Office: (714) 486-2537 Cell: (714) 272-9579
Paul@PRSEInc.com

DEL SIGNORE RESID	Job No:	14-046
112 KING'S PLACE	Designed By:	pdr
DETAIL 20/SD5	Date:	8/9/2017
NEW COLUMN TO NEW FOOTING	Sheet No:	



(N) COL TO (N) FOOTING



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

1-800-DEPUTY WMIL
Gen Contr: 949-644-3200
Sub Contr: 949-644-3200

SPECIAL INSPECTION REPORT

Project Address: Del Signore Residence @ 112 Kings PL
Permit Number: X2018-3347
Inspection Type (s): RC - slab
Inspection Date (s): 5/20/20 () Periodic (X) Continuous

Describe Inspection, including Location(s):

Observed the placement and consolidation of 3000 PSI concrete @ basement level slab around newly poured wall @ spiral stair column - approx 2.5 yards. Consolidation by vibration. Concrete placed per plan page

List Tests Made:

(X) 4XB Concrete
Cam Rate mix 6B 300038 test 3/300M

Total Inspection Time Each Day:

Date: 5/20/20
Hours: pm

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

N/A

Comments:

SI and corresponding general notes for compressive strength requirements. Monitored concrete placement for water and quality control clearances maintained by 3" rod spacers. Steel checked and approved prior to pour.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature: <u>[Signature]</u>	Date: <u>5/20/20</u>
Print Full Name: <u>Shawn Ward</u>	Newport Beach Registration No.: <u>NB-0743</u>



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY INSPECTOR

1-800-DEPUTY1

Gen Contr: LMK

Sub Contr: Redal

SPECIAL INSPECTION REPORT

Project Address: Del Signore Residence @ 112 Kings Place

Permit Number: X2018-3347

Inspection Type (s): EC-Epoxy

Inspection Date (s): 3/31/20 () Periodic (✓) Continuous

Describe Inspection, Including Location(s):

Observed the placement of Simpson XP high strength epoxy @ First floor anchor bolts and holdowns per plan page S1 and associated details on 4/55, 8/55 (14) anchor bolts w/ 5/8" threaded rod 7" embedment

List Tests Made:

Epoxy Observation

Total Inspection Time Each Day:

Date: 3/31/20

Hours: PM

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Simpson XP22N1000065341
exp. 12/15/21

Comments:

cont'd) at sill plates (1) HDU1 @ NW corner of Butlers kitchen w/ 10.5' embedment (1) HDU2 6' embedment 5/8" rod. All holes were bushed and blown per manufacture specifications. Rod without defect or deleterious coating.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:

Date:

3/31/20

Print Full Name:

Newport Beach Registration No.:

Shawn Ward

NB-0743



DEPUTY INSPECTION

1-800-DEPUTY

Gen Contr: RIVK

Sub-Contr: Ekedal

Report of Special InspectionProject Name & Address Del Signore Residence/112 Kings Pl, Newport BeachProject Number X2018-3347Inspection Type(s) Reinforced ConcreteInspection Date(s) 5/20/2020 [] Periodic [☒] Continuous

Describe Inspection Made, including Locations:

Observed epoxy installation of ~~111~~ #5 dowels embedded a minimum of 7" into (15) existing concrete for new to existing slab connections at basement level per S-1 of the structural plans. Size and embedment of dowels in strict accordance with details 10/11 on S5.

List Tests Made:

Verified placement of reinforcement of slab at basement level per callouts on S-1-
#5 reinforcing bars are 12" on center.

Total Inspection Time Each Day:

Date	5/20/20						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Holes drilled oversize to allow for full coating of dowels.

Holes brushed and blown clean prior to insertion of dowels.

Simpson set xp-2508/exp 2021

Reinforcement clearances achieved and maintained throughout.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: Thomas GeorgeDate 5/20/20Print Full Name: Thomas GeorgeRegistration No. NB-0617

FORM SI-02, 90



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION

1-800-DEPUTY1

Gen Contr: LMK

Sub Contr: Evedal

SPECIAL INSPECTION REPORT

Project Address: Del Signore Residence @ 112 Kings Place
Permit Number: X2018-3347
Inspection Type (s): RC-EPOXY
Inspection Date (s): 3/31/20 () Periodic (☒) Continuous

Describe Inspection, Including Location(s):

Observed the placement of Simpson XP high strength epoxy @ First floor anchor bolts and holdowns per plan page S1 and associated details on 4/55, 8/55 (14) anchor bolts w/ 5/8" threaded rod 7" embedment

List Tests Made:

Epoxy Observation

Total Inspection Time Each Day:

Date: 3/31/20

Hours: PM

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Simpson XP22N10000 65341
exp. 12/15/21

Comments:

(cont'd) at sill plates (1) HDU1 @ NW corner of Butlers kitchen w/ 10.5" embedment (1) HDU2 6" embedment 5/8" rod. All holes were bused and blown per manufacture specifications. Rod without defect or deleterious coating.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:

Date:

3/31/20

Print Full Name:

Newport Beach Registration No.:

Shawn Ward

NB-0743



DEPUTY INSPECTION

1-800-DEPUTY

Gen Contr: RMR

Sub-Contr: Ekedal

Report of Special Inspection

Project Name & Address Del Signore Residence/112 Kings Pl, Newport BeachTransit Number Y2018-3347Inspection Type(s) Reinforced ConcreteInspection Date(s) 5/20/2020 [] Periodic [☒] Continuous

Describe Inspection Made, including Locations:

Observed epoxy installation of (11) #5 dowels embedded a minimum of 7" into (16) existing concrete for new to existing slab connections at basement level per S-1 of the structural plans. Size and embedment of dowels in strict accordance with details 10/11 on S5.

List Tests Made:

Verified placement of reinforcement of slab at basement level per callouts on S-1-
#5 reinforcing bars are 12" on center.

Total Inspection Time Each Day:

Date	5/20/20						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Holes drilled oversize to allow for full coating of dowels.

Holes brushed and blown clean prior to insertion of dowels.

Simpson set xp-2508/exp 2021

Reinforcement clearances achieved and maintained throughout.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: Thomas GeorgeDate 5/20/20Print Full Name: Thomas GeorgeRegistration No. NB-0617

FORM SI-02/90



Report of Special Inspection

Project Name & Address DEL SIGNORE
112 KINGS PL.

Permit Number X2016-0403

Inspection Type(s) EPOXY

Inspection Date(s) 9-28-16 [] Periodic [☒] Continuous

Describe Inspection Made, including Locations: I OBSERVED THE DRILLING OF HOLES
AT A MIN OF 6' THE HOLES WERE CLEANED OUT WITH WIRE BRUSH
AND AIR COMPRESSOR #4 REBAR WERE USED PER PLANS SDH UNLESS
SIMPSON SET-XP WAS THE EPOXY USED. COMPLIES WITH THE PLANS AND
SPECIFICATIONS PROVIDED BY THE EIOR.

List Tests Made:

Total Inspection Time Each Day:

Date	9-28-16						
Hours	8						

List Items Requiring Correction. Include uncorrected items previously listed

Comments: SIMPSON SET
USED AS PER PLANS

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the I.B.C. except as noted above.

Signed: Richard Davison

Date 9-28-16

Print Full Name: Richard Davison

Registration No. NB-0555

Report of Special Inspection



Project Name & Address SIGNOR
112 KINGS PL. NEWPORT BEACH CA.

Permit # X2014-7028

Inspection Type(s) EPOXY

Inspection Date(s) 8-8-17 ☐ Periodic ☒ Continuous

Describe Inspection Made Including Location, OBSERVATION AND INSPECTION OF
8) 5/8 ALL THREADS ANCHOR BOLTS 6" EMBEDDED WITH
SIMPSON STRONGTIE XP EPOXY FOR NEW SHEAR AT
EXISTING WALLS AS PER SHEAR SCHEDULE AND
DETAIL #2 PAGE 502.

List Test Made; _____

Total Inspection Time Each Day

Date:	8-8-17						
Hours:	3						

List Items Requiring Correction, Include uncorrected items previously listed

N/A

Comments: SIMPSON STRONGTIE XP EPOXY USED.

To the best of my knowledge; the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as notated above.

Signed: Richard Davison

Date: 8-8-17

Print Full Name: RICHARD DAVISON

Registration #: NB-0555



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION

1-800-DEPUTY1

Gen Contr: KMIL

Sub Contr: Ekdal

SPECIAL INSPECTION REPORT

Project Address: Del Signore Residence @ 112 Kings PL

Permit Number: X2018-3347

Inspection Type (s): RC - Chemical Anchors

Inspection Date (s): 4/30/20 () Periodic (4) Continuous

Describe Inspection, Including Location(s):

Observed the placement of Simpson set-XP high strength epoxy @ basement level spiral stair column footing foundation and inspected rebar placement at same location per plan page 51 and associated detail on #111/S9 including

List Tests Made:

Footing reinforcement verification and epoxy installation observation. Simpson set-XP22N1000073873 exp 2/16/22

Total Inspection Time Each Day:

Date: 4/30/20

Hours: pm

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

N/A

Comments:

adjacent retaining wall dowels. (57) total dowels into existing footing, slab and retaining wall for the structural connection. Dowels #4 rebar w/ 7" embedment. Rebar placed per plan with 3" clearances. Holes brushed and blown per manufacturer specifications. Rebar without defect or deleterious coating.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:

Date:

Print Full Name:

Newport Beach Registration No.:

Shaun Ward

NB-0743



Report of Special Inspection

Project Name & Address DEL SIGNORE
112 KINGS PL

Permit Number X2016-0403

Inspection Type(s) EPOXY

Inspection Date(s) 11-3-16 [] Periodic [☒] Continuous

Describe Inspection Made, including Location: OBSERVATION ON 19 #4
REBARS ARE SET STRAIGHT AT 6" EMBEDMENT
AT DESIGNATED DEPTH AS PER PLANS AT THE ADDRESS
ON 11-3-16. OBSERVED BRUSHING AND CLEANING OF HOLES.
SIMPSON XP.

List Tests Made: _____

Total Inspection Time Each Day:

Date	11-3-16							
Hours	4							

List Items Requiring Correction, include uncorrected items previously listed

Comments: 19-#4 REBARS 6" EMBEDMENT
SIMPSON XP USED AS PER PLANS

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the I.B.C. except as noted above.

Signed: Richard Davison

Date 11-3-16

Print Full Name: Richard Davison

Registration No. NB-0555

COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 ■ Ph: (714) 870-1211 ■ Fax: (714) 870-1222 ■ Email: coastgeotec@sbcglobal.net

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 8-22-19

Name JOEY LOMAS

Client THE S/S CORP

Address 112 PINE ST. #B

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
1	1' DEEP AT CORNER OF EXISTING FOUNDATION		18.5%	110.0 p.c.f.	95.0%	PROCTOR	CLAY
2	1' DEEP AT CORNER OF EXISTING FOUNDATION		18.5%	110.0 p.c.f.	95.0%	PROCTOR	CLAY

Job Progress and Activity: _____

Comments: _____

Received By: _____

☐ Acceptable

☐ Unacceptable

Page _____ of _____

By: _____



TO: File, City of Lamar

Engineering Technical Operations	DAY	THURSDAY	DATE	SEPT-29-2010
	PROJECT NAME	41 Signature Res.	PROJECT NO.	
	LOCATION	112 KINGS PLAZA	CITY	NEWPORT BEACH
	SUPERINTENDENT/FOREPERSON	DERRICK LA MARQUE, Sergio Avila		
	CONTRACTOR(S)	AVERX BUILDERS		
	ENGINEER	PAUL ROHRER		
	EQUIPMENT ON SITE	VARIOUS HAND TOOLS		
PERSONNEL ON SITE	J.P. DUFANT			

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Soils	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Drainage	<input type="checkbox"/> Epoxy
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other



SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: On site to observe/Check footings on pool level. Reference plans by Paul Rohrer dated 9/7/2016. Observed footings to conform to project design specifications & All bottoms are founded in competent material; Native rock or previously existing concrete. Approved from Geotechnical standpoint & Good to pour concrete.

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS:

PERSONNEL ON SITE	ARRIVAL	DEPARTURE	TIME ON SITE	TRAVEL TIME	SUBTOTAL
J-P Duvaland					
					TOTAL HRS (4 HR. MIN.)

SIGNATURE, TITLE (POSITION)

 SIGNATURE OF SUPERINTENDENT, TITLE (POSITION)


4

EGA CONSULTANTS
 375-C Monte Vista Avenue
 Costa Mesa, CA 92626
 (949) 642-9301
 FAX (949) 642-1200

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290



PAUL ROHRER
STRUCTURAL ENGINEERS

17291 Irvine Blvd #152 Tustin CA 92780

O: (714)486-2537 C: (714) 272-9579

Paul@PRSEinc.com

Responses to Basement Wall Backfill Corrections

October 7, 2016

Joe del Signore
C.O. Derek La Marque
112 Kings Place
Newport Beach CA 92663
P: (714) 697-0093
E: dereklamarque@aol.com

Project Name: Kings Place
Location: 112 Kings Pl.
Newport Beach CA 92663
PRSE Job #: 14-046

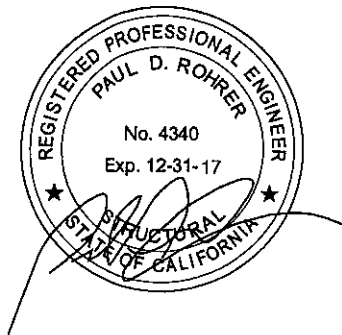
Per recommendations by David Worthington the new CMU Basement Wall shall be backfilled with 5'-0" of gravel at the bottom and the remainder of the wall backfilled with sand.

The perforated pipe at the bottom of the wall shall have vertical stand pipes at 5'-0" o.c.. The stand pipes shall be of perforated pipe with a solid cap on top and wrapped in burlap or other permeable geotextile membrane. The stand pipe shall extend up from the base a maximum of 5'-0" and remain covered in gravel. See the approved drawing for additional information.*

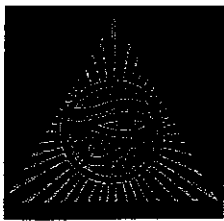
Sincerely,

Paul Rohrer P.E.

PRSE Inc.



112 Kings Pl - Docs only
no permits



A1 Construction Inspection, Inc.

421 N. Brookhurst St., Ste 130, Anaheim, CA 92801

O: (714) 833-5619 F: (714) 833-5457

dispatch@a1constructioninspection.com

Date 10-12-2016

Project No.

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Structural Steel	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Prestressed Concrete	<input type="checkbox"/> Fire Proofing	<input type="checkbox"/> Drilled In Anchors
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Shotcrete	<input type="checkbox"/> Other _____
Project Address 112 Kings Pl.		City Newport Beach	
Project Name 112 Kings Pl.		Permit No. X2014-2028	Issued By Newport Beach
Type of Structure Residential		Architect	
Material Description (type, grade, source, etc.)		Engineer Paul Rohrer Structural Engineers	
		Contractor	
Inspector's Name Alfredo Rodriguez		Subcontractor	

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLES

INSPECTION SUMMARY-

Observed then welding of tube steel columns to cap plate. Observed the welding of cap plate to W beam flange.

Observed the welding of connection plates to W beam web on both sides

Observed the welding of HSS beams to angles and continuity plate per detail (2/SD4) and per engineer request.

Observed the welding of HSS columns to cap plate. Observed the welding of cap plate to W beam flange.

Observed the welding of #7 dowel to W beam flange per detail (19/SD4) and WPS.

SMAW E8018 used.

Welder on file.

Observed the certified welder for welding procedures and proper welding techniques.

Observed that joint connections meet the requirements of AWS D1.1-2010.

All work was performed and inspected to the best of my knowledge.

All work was performed per approved plans and per engineer specifications.

QUALITY CONTROL CHECKLIST

- ☐ CHECKED IN WITH CITY
☐ ON TIME TO JOB
☐ CHECKED PERMIT

- ☐ REVIEWED APPROVED PLAN
☐ REVIEWED SPECIFICATIONS
☐ REVIEWED PREVIOUS REPORTS

- ☐ TEST PERFORMED PER SPECS.
☐ CORRECT NO. OF SAMPLES
☐ SAMPLES STORED SAFELY

- ☐ CALLED IN SAMPLES FOR PICKUP
☐ ALL DEFICIENCIES NOTED
☐ OTHER _____

CERTIFICATION OF COMPLIANCE

ALL WORK LISTED ABOVE WAS INSPECTED AS REQUIRED BY THE APPROVED PLAN, SPECIFICATIONS, AND GOVERNING CODE

- ☒ WORK COMPLIES WITH APPROVED DOCUMENTS ☐ WORK DOES NOT COMPLY

SIGNATURE OF REGISTERED INSPECTOR

Steel

NB-0686

SPECIALTY

NO

AGENCY

CONTINUED ON NEXT PAGE ☐

PAGE ____ OF ____

TIME IN	TIME OUT	REG. HOURS	O.T. HOURS	SAMPLES
7am	3pm	8		

All inspections based on a minimum of 4 hours and over 4 hours - 8 hours minimum. If the inspector is called to a project and no work is performed the minimum will apply.

Approved by

Project Superintendent



A1 Construction Inspection, Inc.

421 N. Brookhurst St., Ste 130, Anaheim, CA 92801

O: (714) 833-5619 F: (714) 833-5457

dispatch@a1constructioninspection.com

Date 10-13-2016

Project No.

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Structural Steel	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Prestressed Concrete	<input type="checkbox"/> Fire Proofing	<input type="checkbox"/> Drilled In Anchors
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Shotcrete	<input type="checkbox"/> Other
Project Address 112 Kings Pl.		City Newport Beach	
Project Name 112 Kings Pl.		Permit No. X2014-2028	Issued By Newport Beach
Type of Structure Residential		Architect	
Material Description (type, grade, source, etc.)		Engineer Paul Rohrer Structural Engineers	
		Contractor	
Inspector's Name Alfredo Rodriguez		Subcontractor	

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLES

INSPECTION SUMMARY-

Observed then welding of tube steel columns to cap plate. Observed the welding of cap plate to W beam flange.
Observed the welding of connection plates to W beam web on both sides.
Observed the welding of HSS beams to angles and continuity plate per detail (2/SD4) and per engineer request.
Observed the welding of HSS columns to cap plate. Observed the welding of cap plate to W beam flange.
Observed the welding of #7 dowel to W beam flange per detail (19/SD4) and WPS.
SMAW E8018 used.
Welder on file.
Observed the certified welder for welding procedures and proper welding techniques.
Observed that joint connections meet the requirements of AWS D1.1-2010.
All work was performed and inspected to the best of my knowledge.
All work was performed per approved plans and per engineer specifications.

QUALITY CONTROL CHECKLIST	<input type="checkbox"/> CHECKED IN WITH CITY	<input type="checkbox"/> REVIEWED APPROVED PLAN	<input type="checkbox"/> TEST PERFORMED PER SPECS.	<input type="checkbox"/> CALLED IN SAMPLES FOR PICKUP
	<input type="checkbox"/> ON TIME TO JOB	<input type="checkbox"/> REVIEWED SPECIFICATIONS	<input type="checkbox"/> CORRECT NO. OF SAMPLES	<input type="checkbox"/> ALL DEFICIENCIES NOTED
	<input type="checkbox"/> CHECKED PERMIT	<input type="checkbox"/> REVIEWED PREVIOUS REPORTS	<input type="checkbox"/> SAMPLES STORED SAFELY	<input type="checkbox"/> OTHER

CERTIFICATION OF COMPLIANCE

ALL WORK LISTED ABOVE WAS INSPECTED AS REQUIRED BY THE APPROVED PLAN, SPECIFICATIONS, AND GOVERNING CODE

☒ WORK COMPLIES WITH APPROVED DOCUMENTS ☐ WORK DOES NOT COMPLY

SIGNATURE OF REGISTERED INSPECTOR

Steel NB-0686

SPECIALTY

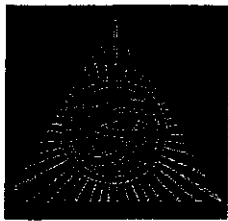
NO

AGENCY

CONTINUED ON NEXT PAGE ☐

PAGE OF

TIME IN	TIME OUT	REG. HOURS	O.T. HOURS	SAMPLES
7am	3pm	8		
All inspections based on a minimum of 4 hours and over 4 hours - 8 hours minimum. If the inspector is called to a project and no work is performed the minimum will apply.				
Approved by		Project Superintendent		



A1 Construction Inspection, Inc.

421 N. Brookhurst St., Ste 130, Anaheim, CA 92801

O: (714) 833-5619 F: (714) 833-5457

dispatch@a1constructioninspection.com

Date 10-14-2016

Project No.

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Structural Steel	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Prestressed Concrete	<input type="checkbox"/> Fire Proofing	<input type="checkbox"/> Drilled In Anchors
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Shotcrete	<input type="checkbox"/> Other
Project Address 112 Kings Pl.		City Newport Beach	
Project Name 112 Kings Pl.		Permit No X2014-2028	Issued By Newport Beach
Type of Structure Residential		Architect	
Material Description (type, grade, source, etc.)		Engineer Paul Rohrer Structural Engineers	
		Contractor	
Inspector's Name Alfredo Rodriguez		Subcontractor	

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLES

INSPECTION SUMMARY-

Observed then welding of tube steel columns to cap plate. Observed the welding of cap plate to W beam flange.
Observed the welding of connection plates to W beam web on both sides.
Observed the welding of HSS beams to angles and continuity plate per detail (2/SD4) and per engineer request.
Observed the welding of HSS columns to cap plate. Observed the welding of cap plate to W beam flange.
Observed the welding of #7 dowel to W beam flange per detail (19/SD4) and WPS.
SMAW E8018 used.
Welder on file.
Observed the certified welder for welding procedures and proper welding techniques.
Observed that joint connections meet the requirements of AWS D1.1-2010.
All work was performed and inspected to the best of my knowledge.
All work was performed per approved plans and per engineer specifications

QUALITY CONTROL CHECKLIST

- | | | | |
|---|--|--|---|
| <input type="checkbox"/> CHECKED IN WITH CITY | <input type="checkbox"/> REVIEWED APPROVED PLAN | <input type="checkbox"/> TEST PERFORMED PER SPECS. | <input type="checkbox"/> CALLED IN SAMPLES FOR PICKUP |
| <input type="checkbox"/> ON TIME TO JOB | <input type="checkbox"/> REVIEWED SPECIFICATIONS | <input type="checkbox"/> CORRECT NO. OF SAMPLES | <input type="checkbox"/> ALL DEFICIENCIES NOTED |
| <input type="checkbox"/> CHECKED PERMIT | <input type="checkbox"/> REVIEWED PREVIOUS REPORTS | <input type="checkbox"/> SAMPLES STORED SAFELY | <input type="checkbox"/> OTHER |

CERTIFICATION OF COMPLIANCE

ALL WORK LISTED ABOVE WAS INSPECTED AS REQUIRED BY THE APPROVED PLAN, SPECIFICATIONS, AND GOVERNING CODE

- ☒ WORK COMPLIES WITH APPROVED DOCUMENTS ☐ WORK DOES NOT COMPLY

SIGNATURE OF REGISTERED INSPECTOR

Steel

NB-0686

SPECIALTY

NO

AGENCY

CONTINUED ON NEXT PAGE ☐

PAGE ____ OF ____

TIME IN	TIME OUT	REG. HOURS	O.T. HOURS	SAMPLES
7am	3pm	8		

All inspections based on a minimum of 4 hours and over 4 hours - 8 hours minimum. If the inspector is called to a project and no work is performed the minimum will apply.

Approved by

Project Superintendent



engineering
geotechnical
applications

FIELD REPORT

TO: File Chickadee

Engineering Technical Operations	DAY	Monday	DATE	22. 12. 2011
	PROJECT NAME		PROJECT NO.	
	LOCATION		CITY	
	SUPERINTENDENT/FOREPERSON			
	CONTRACTOR(S)			
	ENGINEER			
	EQUIPMENT ON SITE			
	PERSONNEL ON SITE			

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Soils	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Drainage	<input type="checkbox"/> Epoxy
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: In Site 1, observed large fill of "stray fill" retaining wall. Observed a small sand dune to backfill in approx. 3 ft. Sand placed in 2" lifts, ranging 2' additional to 4' in compacted by tamping. Jack completed lift to top of wall, from 4' to 5' 11" high. Completed wall is approx. 4' 6" to 4' 8" high.

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS:

PERSONNEL ON SITE	ARRIVAL	DEPARTURE	TIME ON SITE	TRAVEL TIME	SUBTOTAL	SIGNATURE, TITLE (POSITION)
J.P. Poreand						<i>[Signature]</i> Superintendent
						SIGNATURE OF SUPERINTENDENT, TITLE (POSITION) <i>[Signature]</i> Superintendent
						EGA CONSULTANTS 375-C Monte Vista Avenue Costa Mesa, CA 92627 (949) 642-9309 FAX (949) 642-1290
					TOTAL HRS (4 HR. MIN.)	

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290



engineering
geotechnical
applications

FIELD REPORT

TO: File, LA MARQUE GRP.
CITY

DAY	SAT	DATE	10-8-16
PROJECT NAME	DEL SIGNORE RES		
LOCATION	112 KINGS PL.	CITY	NB
SUPERINTENDENT/FOREPERSON	Derrick La Marque, Sergio A.		
CONTRACTOR(S)	AVEX Bldgs		
ENGINEER	PAUL ROTHER		
EQUIPMENT ON SITE	HAND TOOLS		
PERSONNEL ON SITE			

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Soils	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Drainage	<input type="checkbox"/> Epoxy
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS:

ON-SITE TO VERIFY PLACEMENT OF SELF-COMPACTING 3/4" CRUSHED ROCK ABOVE PERFORATED 4" DIA PIPE (SPARK-WELL RET. WALLS).

THE ROCK WAS OVERLAIN BY APPROVED GEOFABRIC.

APPROVED FROM A GEOTECHNICAL STANDPOINT.

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS:

* CALL FOR INSPECTION/TESTING OF FILL CAP ABOVE THE FABRIC

PERSONNEL ON SITE	ARRIVAL	DEPARTURE	TIME ON SITE	TRAVEL TIME	SUBTOTAL

SIGNATURE, TITLE (POSITION)

SIGNATURE OF SUPERINTENDENT, TITLE (POSITION)

TOTAL HRS
(4 HR. MIN.)

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290



engineering
geotechnical
applications

FIELD REPORT

TO: File

DAY

DATE

PROJECT NAME

PROJECT NO.

LOCATION

CITY

SUPERINTENDENT/FOREPERSON

CONTRACTOR(S)

ENGINEER

EQUIPMENT ON SITE

PERSONNEL ON SITE

TYPE OF
INSPECTION
REQUIRED

☐ Soils

☐ Reinforced Concrete

☐ Reinforced Masonry

☐ Structural Steel Assembly

☐ Drainage

☐ Asphalt

☐ Quality Control

☐ Epoxy

☐ Other

SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS:

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS:

SIGNATURE, TITLE (POSITION)

PERSONNEL ON SITE

ARRIVAL

DEPARTURE

TIME ON
SITE

TRAVEL
TIME

SUBTOTAL

SIGNATURE OF SUPERINTENDENT, TITLE (POSITION)

TOTAL HRS
(4 HR. MIN.)

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290



Report of Special Inspection

Project Name & Address DEL SIGNORE
112 KINGS PL

Permit Number X2016-0402

Inspection Type(s) EPOXY

Inspection Date(s) 10-10-16 [] Periodic [x] Continuous

Describe Inspection Made, including Locations: OBSERVATION OF #4 REBARS
ARE SET STRAIGHT AT 16 OC EACH WAY 6" EMBEDMENT
AND SD3#8 AT DESIGNATED DEPTH AS PER PLANS
AT THE ADDRESS ON 10-10-16.

List Tests Made: _____

Total Inspection Time Each Day:

Date	10-10-16						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments: # 4 REBAR 6" EMBEDMENT
USED AS PER PLANS

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: Richard Davison

Date 10-10-16

Print Full Name: Richard Davison

Registration No. NB-0555

Taylor, Don

From: Derek La Marque <DerekLaMarque@aol.com>
Sent: Tuesday, January 06, 2015 12:16 PM
To: Taylor, Don
Cc: Joe Del Signore; Brett Detmers
Subject: 112 Kings Place Newport Beach Permit Extension Request

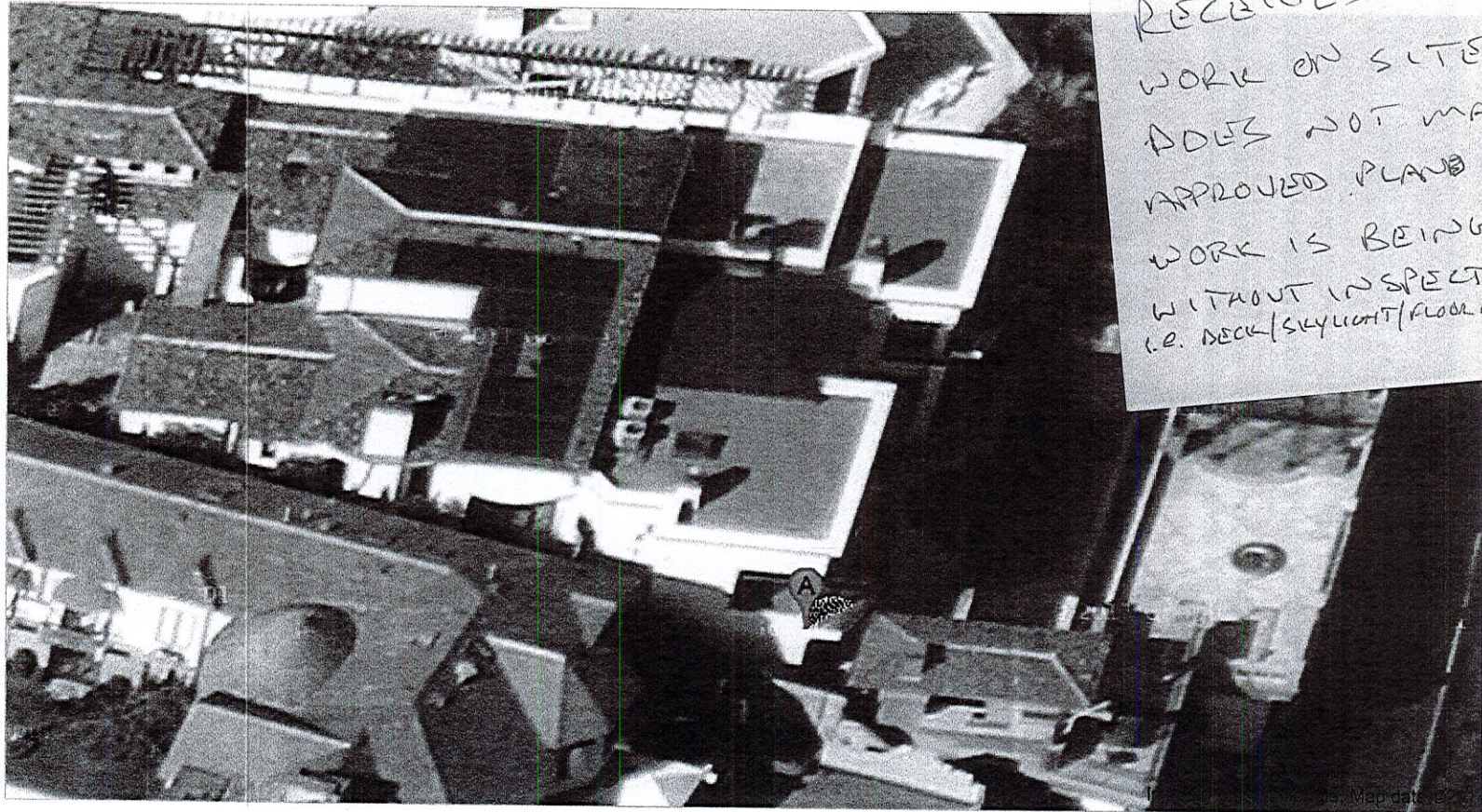
Good afternoon Don,

My name is Derek La Marque, I will be the person running the project on 112 kings place. With your permission I would like to request a extension on our permits for 112 Kings place. We have not started the project yet due to design changes and funding. We have a definite start date on January 23, 2015. At your convenience let me know if we can get the extension, should you have any questions please don't hesitate to contact me anytime, my contact info is below.

Best regards,

Derek La Marque
La Marque Group, LLC
(714) 697-0093 (C)
DerekLaMarque@aol.com

Google



To: 112 KINGS PL 02-20-15
COMPLAINT
RECEIVED THAT
WORK ON SITE
DOES NOT MATCH
APPROVED PLANS AND
WORK IS BEING DONE
WITHOUT INSPECTIONS.
I.E. DECK/SKYLIGHT/FLOOR PLAN/BEAMS

Google

To see all the details that are visible on the screen, use the "Print" link next to the map.



Print Form

Worksheet for Building Combo Permit Application

City of Newport Beach - Building Department

Please print 3 copies

NO LHM

2668-2007



☐ Building ☐ Grading ☐ Drainage ☐ Elec ☐ Mech ☐ Plum

1. Project Address (Not mailing address)

112 KINGS RD Floor Suite No

Tenant Name(if Applicable) # Units (if Residential)

2. Description of Work Torchdown Underlay

9.6 PSF

Use RFD

Valuation \$ 20,000.00

Exist House SF Demo House SF Add/Reconstruct House SF

Exist Gar SF Demo Garage SF Add/Reconstruct Garage SF

Stories

☐ New ☐ Add ☐ Alter ☐ Demo

TOTAL HOUSE SF

Cu Yd Cut

TOTAL GARAGE SF

Cu Yd Fill

Check Appropriate Box for Applicant

3. Owner's Name

Last DEL SIGNORE First JOSEPH

Owner's Address

Owner's E-mail Address

112 KINGS RD

City NEWPORT BEACH State CA Zip Telephone 949 290 5891

4. Architect/Designer's Name

Last First Lic. No.

Architect/Designer's Address

Architect/Designer's E-mail Address

City State Zip Telephone

5. Engineer's Name

Last First Lic. No.

Engineer's Address

Engineer's E-mail Address

City State Zip Telephone

6. Contractor's Name

Last VALVANO First DOMENIC Lic. No. 865713 Class C39

Contractor's Address

Contractor's E-mail Address

1100 INVINE BLVD # 701

City TUSTIN State CA Zip 92780 Telephone 866 783 4400

OFFICE USE ONLY ENERGY P/C FEE \$

GRADING P/C FEE \$

ELEC/MECH/PLUM P/C

PERMIT NO.

PLAN CHECK NO.

PLAN CHECK FEE \$

10-31-09

State 1030552 10-1-0K

111

112 Kings Road

Proposed Construction Sequence

- 1. Rough grade cuts & Laybacks (pool pad) to be graded at contour of pool bottom.**
- 2. Drill & cast caissons.**
- 3. Construct west PL wall & west retaining stepped footing.**
- 4. Construct west retaining wall.**
- 5. Construct exercise room footings.**
- 6. Construct exercise room CIP walls**
- 7. Waterproof, sub drain, backfill & compact back wall of exercise room to contour of pool bottom.**
- 8. Construct east retaining wall & PL wall waterproof, sub drain, backfill & compact.**
- 9. Construct footing and CIP sport court wall.**
- 10. Waterproof, sub drain, backfill & compact sports court wall.**
- 11. Construct south slope wall waterproof, backfill & compact**

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

1

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date _____

Name _____

Client _____

Address _____

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type

Job Progress and Activity: _____

Comments: _____

☐ Acceptable ☐ Unacceptable

Received By: _____

Page _____ of _____

By: _____

113

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

(2)

INV. _____

HRS. _____

W.O. _____

Date 7/6/09

Name Scott Davis

Client Delaware

Address 112 King Rd - A13

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type

Job Progress and Activity: _____

Observed southern property line
clearing retaining wall and portion
of base course and retaining wall

Comments: Footings and keyway are

Good also completed bedrock

Amplified to place steel & concrete

☒ Acceptable

☐ Unacceptable

Page _____ of _____

Received By: Scott Davis

By: 114

COAST GEOTECHNICAL INC.

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Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 10/5/09

Name Dan

Client Design

Address 112 Kuyper Pl - N.B.

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
	Observed Deepened N.E. End of RW Lot						
	Lot has been deepened to Corral below						
	ext. of 8-11 feet below lot Bottom						

Job Progress and Activity: Res

Deepened Section of footing may be bracket with 3 Sack Cement Grout

Comments: to bottom of Deepened

Plunge provided when keyways of footing have been excavated to verify C. Plans

☒ Acceptable

☐ Unacceptable

Page 1 of 1

Received By: [Signature]

By: [Signature]



CITY OF NEWPORT BEACH

BUILDING DEPARTMENT

P.O. BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE: _____

Date: 11/04/09 Plan Check No. 11222008 Permit No. 11222008 Received by: _____

<u>James F. Lee</u> Received from	<u>11222008 FL</u> Job Address
--------------------------------------	-----------------------------------

Building Plan Check.....	2900-5002	\$ <u>62.75</u>
Harbor Resource Plan Check (Building)	2900-4627	\$ _____
Zoning Plan Check	2700-5003	\$ _____
Grading Plan Check	2900-5004	\$ _____
Fire Plan Check	2330-5055	\$ _____
Electrical Plan Check	2900-4612	\$ _____
Plumbing Plan Check	2900-4616	\$ _____
Mechanical Plan Check	2900-4618	\$ _____
Harbor Resources Plan Check	2370-4654	\$ _____
Overtime Plan Check - Building	2900-5023	\$ _____
Overtime Plan Check - Grading	2900-5004	\$ _____
Overtime Plan Check - Planning	2700-5003	\$ _____
Preliminary Code Compliance Review	2900-5002	\$ _____
Reinspection B E M P/Special Inspection	2900-5008	\$ _____
Reinspection Fire	2330-5050	\$ _____
Temporary Certificate of Occupancy	2900-5008	\$ _____
Underground Utilities Waiver	010-2225	\$ _____
Energy Compliance	2900-5017	\$ _____
Planning Department Fees	2700-5000	\$ _____
Sale of Maps & Publications (Planning)	2700-5812	\$ _____
Determination of Unreasonable Hardship	2900-5018	\$ _____
Public Works Plan Check	5200-5002	\$ _____
Surety Deposits (Refundable)	020-2201	\$ _____
Records Management Fee (Copies).....	010-2263	\$ <u>2.00</u>
Subpoena Fees	2900-5001	\$ _____
Other (Specify)		\$ _____

TOTAL FEES \$ 64.75

For Plan Check status log on to:
www.city.newport-beach.ca.us/building,
select On-Line Services or call (949) 644-3255

Fee Receipt No. 11222008

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.

116

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 11/5/09

Name [Signature]

Client Diamond

Address 112 E. 1st St - MC

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☒ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type

Job Progress and Activity: _____

Accepted by [Signature]

Comments: 11/5/09

☒ Acceptable

☐ Unacceptable

Page 1 of 1

Received By: [Signature] By: [Signature]

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COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 11/17/09

Name Dan Hone

Client Dalsgaard

Address 112 Kings St - NB

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
	Observed Front Wall by Examination of						
	Excavation Structure						
	Exposure 3 to 4.5 feet below grade and						
	10' rounded with exposed bedrock						

Job Progress and Activity: 

Acceptable 2 Phase Soil & Concrete 

Comments: 

☒ Acceptable ☐ Unacceptable

Received By: H. E. B. J.

Page _____ of _____

By: _____

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. 7.5

W.O. _____

Date 4/10/69

Name S. L. A.

Client Del. S. Jones

Address 112 King Pl. - A.B.

☐ Footings ☐ Key Way ☒ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
1	4/6 G.M.H.	7 < 500	65.67	11.01	83.77	1.0	1/10 3/4
2	4/6 R. 1st	7 < 500	10.7	10.7	7.1		1/10 3/4
3		7 < 500	12.1	10.66	10.2		1/10 3/4
4		7 < 500	10.8	10.0	10.8		1/10 3/4

Job Progress and Activity: _____

Observed retaining wall built. 4/10

Comments: _____

3-4% - 1/10 3/4

☒ Acceptable

☐ Unacceptable

Page _____ of _____

Received By: by Del. S. Jones

By: _____

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INV. _____

HRS. _____

W.O. _____

Date 12/4/09

Name S. A.

Client Del Snyman

Address 113 King Pl - A.B.

☐ Footings ☐ Key Way ☒ Grading ☐ Swim Pool ☐ Trench ☐ Other

Job Progress and Activity: _____

Observed all subjects of
low ...

Comments: not suitable material

Aug 11/12	End. 13
Aug 12/12	60.

☒ Acceptable ☐ Unacceptable Page _____ of _____

Received By: C. L. 500

☐ Unacceptable

Page _____ of _____

By: _____

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. 4.5

W.O. _____

Date 5/12/10

Name Smith

Client Del Signore

Address 112 Kings Road - A.P.

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Pile Test No.	Location	Elev. or Depth	Moisture Content % <i>embedment</i>	Dry Density p.c.f. <i>Min. Embed</i>	% Relative Compaction	Test Type	Soil Type
4421	Per Plan	30'	21'	20'			
4422	" "	39'	23'	20'			

Job Progress and Activity: _____

P.C. Drilling Inc. drilling piles for
structural support of water feature
adjacent to the side of exercise
room.

Comments: _____

Piles indicated reach minimum required
embedment into bedrock.

Acceptable to place steel + concrete in all completed piles.

☒ Acceptable ☐ Unacceptable Page _____ of _____

Received By: _____ By: 121

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INV. _____

HRS. _____

W.O. _____

Date 3/29/0

Name David Lee

Client LEONARD

Address 12 King St. N. W.

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
1	Per. Plum Plot (6.5')	6.5'	Excess water	Per. Plotting			2.5'
2	" "	22.5'	11.5	Excess water	Per. Plotting		10'
3	Plot (24)	16.5	10.5	"	"	"	4'
4	Plot (A2.1)	16.5	10.5	"	"	"	1'
5	Plot (D1.1)	23.0	11.5	"	"	"	1'
6	Plot (A6.8)	25.0	14.0	"	"	"	10'
7	Plot (A2.5.1)	22.0	15.0	"	"	"	1.5'
8	Plot (A2.4.1)	Incremental	Incremental	Incremental	"	"	2.5'

Job Progress and Activity: Completed 50% of the work on the project

D. A. R. Co., P.O. Box 104, N.Y.C.

#1) Tabern School Pioneer Pl	Barbara Ann	7	00
------------------------------	-------------	---	----

Subscribed and sworn to before me this 1st day of June 1901

Comments: to General P.H. King, Boston

CONFIDENTIAL

4-2 Apr 77 (cont'd) Re Phn 10) 34

Apple in Pine Shrub - 1000

☐ Acceptable☐ Unacceptable

Page _____ of _____

Received By: _____

By: _____

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 3/9/10

Name D. Thompson

Client Del signore

Address 112 Kemp Rd. Uk.

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
	Observed 2nd section of Poplar Ave Rd.						
	wall for foundation to concrete slab						
	over about 18" Standard. This was 1st of 2nd						
	Removal of 1st section of Poplar Ave Rd.						

Job Progress and Activity: 1st section of Poplar Ave Rd. wall for foundation to concrete slab

over about 18" Standard. This was 1st of 2nd

Removal of 1st section of Poplar Ave Rd.

of 1st section of Poplar Ave Rd.

Removal of 1st section of Poplar Ave Rd.

Comments: _____

☒ Acceptable

☐ Unacceptable

Page _____ of _____

Received By: [Signature]

By: [Signature]

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. 5

W.O. _____

Date 3/10/10

Name Samuel H.

Client Dalymore

Address 112 Kings Road - 1B

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
Ba 8	Per Plan	24'	15'	14.5			
Da 8		29'	20'	18.6			
E4.1		19'	12'	11'			
1		6' →	To retaining wall footing. R. Side of pool.				

Job Progress and Activity: _____

RC Drilling Inc. drilling caissons for pool support.

- Drilling caissons in place A4.1.

Comments: _____

Recommendation: pit at 1' in deck area has been excavated down to the adjacent retaining wall footing. This pit shall remain open from the footing. Pit has been cleared out, exposing base of footing. - Available to plan sheet & provide in completed plan.

☒ Acceptable ☐ Unacceptable

Received By: _____

Page _____ of _____

By: _____ 124

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

7-8
10:30-11:30
11:30-1:00
INV. _____
HRS. 4.5

W.O. _____

Date 7/11/10

Name Shahid Khan

Client Del Sigrano

Address 112 Kings Road - A.B.

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Pile Test No.	Location	Elev. or Depth	Moisture Content % Emb.	Dry Density p.c.f. Min. Emb.	% Relative Compaction	Test Type	Soil Type
F7	Per Plan	42'	33'	29'6"			
A4.1	" "	17'	12'	9'6"			
E4.1	" "	20'	13'	13'			

Job Progress and Activity: _____

R.C. Drilling Inc. drilling piles
for pool support

Comments: -Pile A4.1 was relocated per the
structural engineers request, due to refusal
caused by an underlying existing pile. Pile E4.1 was also
requested to be deepened 2'.

-Acceptable to place steel & concrete in all completed pool piles.

☒ Acceptable ☐ Unacceptable Page _____ of _____

Received By: [Signature] By: _____

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 2/25/11

Name Dan

Client Del Squire

Address 112 King Rd. N/A

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
	Observed Loh excavation of Popish house						
	along wall along foundation 17' wide brick						
	walling 18' stone down.						
	Backfill of empty stone above is soft.						

Job Progress and Activity: _____

Comments: Backfill shall be compacted to 95% in place & be

as replaced with cement slurry to compact

Loose fill.

☐ Acceptable

☒ Unacceptable

Received By: Copy to SCC

Page 1 of 1

By: Dan

126

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 3/2/10

Name D. J. [Signature]

Client Datsigian & Co.

Address 112 Kings Rd. - [Signature]

☒ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
	Lower Portion of Piping has been removed and stream has been excavated around it as shown to Paving Area Below.						
	Bottom of Excavation has been stopped and located.						

Job Progress and Activity: It is right at bottom!!

Acceptable to Place 2" Soil around stream

In Excavation pipe and suggest design for it

Comments: Returning small per plan

Have Road built where pipe portion has been

excavated and Ex. 1.111 removed.

☒ Acceptable portion

☐ Unacceptable

Page _____ of _____

Received By: _____

By: _____

127

**365 Mainsail Road,
Oceanside, CA 92054**



Fax: (760) 757-1064

FORM SI-02,01

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____
HRS. _____

W.O. _____

Date 2/30/10

Name D. J.

Client Dabigmore

Address 112 Kings Rd. NB

☒ Footings ^{RW} ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
	Observed Extension of Retaining Wall L.S.						
	Footings have been deepened into compacted material						
	10' approx. 4' below 2' to 3' slab						
	Strong wall has been installed 1/2' from 1' Post Area						
	to provide support of Retaining Wall						

Job Progress and Activity: _____

Accepted in Place Shot
and concrete with Retaining

Comments: Wall L.S.

☒ Acceptable

☐ Unacceptable

Received By: _____

Page _____ of _____

By: D. J.

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____
HRS. _____

W.O. _____

Date 2/31/19

Name Dougherty

Client Delsign

Address 112 King Rd - U.S.

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content <i>or % water</i>	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
1	Wall Pile	28'	21'	< Elev. 30 ft. - 10'	30		
2	"	27'	20'	< Elev. 30 " - 10'	30		
3	"	25'	18'	60' - 10' @ 24'	24		
* 4		40'	Excess Air of 12'				
* 5		17.5'	17.5'	10' - 11'			
* 6		18'	18'	Below 10'			
* 7		18'	18'	Below 10'			
* 8		18.5'	18.5'	Below 10'			
* 9		18'	18'	Below 10'			
* 10		18'	18'	Below 10'			
* 11		18'	18'	Below 10'			
12		28.5'	13.5'	Below 33' below 11'			

Job Progress and Activity: _____

P-1 * Area of Comp. 10' below 17 ft.
P-1A # 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Comments: 12 piles completed

☒ Acceptable ☐ Unacceptable

Received By: _____

Page 1 of 1

By: _____



CITY OF NEWPORT BEACH

BUILDING DEPARTMENT

P.O. BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE: _____

Date 4/9/08 Plan Check No. 1927-5002 Permit No. X200-1521 Received by: [Signature]

<u>DAVID FELCH</u>	<u>112. E. LINDEN AVE.</u>
Received from	Job Address

Building Plan Check.....	2900-5002	\$ <u>140.00</u>
Harbor Resource Plan Check (Building).....	2900-4627	\$ _____
Zoning Plan Check.....	2700-5003	\$ <u>50.00</u>
Grading Plan Check.....	2900-5004	\$ _____
Fire Plan Check.....	2330-5055	\$ _____
Electrical Plan Check.....	2900-4612	\$ _____
Plumbing Plan Check.....	2900-4616	\$ _____
Mechanical Plan Check.....	2900-4618	\$ _____
Harbor Resources Plan Check.....	2370-4654	\$ _____
Overtime Plan Check - Building.....	2900-5023	\$ _____
Overtime Plan Check - Grading.....	2900-5004	\$ _____
Overtime Plan Check - Planning.....	2700-5003	\$ _____
Preliminary Code Compliance Review.....	2900-5002	\$ _____
Reinspection B E M P/Special Inspection.....	2900-5008	\$ _____
Reinspection Fire.....	2330-5050	\$ _____
Temporary Certificate of Occupancy.....	2900-5008	\$ _____
Underground Utilities Waiver.....	010-2225	\$ _____
Energy Compliance.....	2900-5017	\$ _____
Planning Department Fees.....	2700-5000	\$ _____
Sale of Maps & Publications (Planning).....	2700-5812	\$ _____
Determination of Unreasonable Hardship.....	2900-5018	\$ _____
Public Works Plan Check.....	2900-5002	\$ _____
Surety Deposits (Refundable).....	010-2201	\$ _____
Records Management Fee (Copies).....	010-2263	\$ <u>20.00</u>
Subpoena Fees.....	2900-5001	\$ _____
Other (Specify).....		\$ _____

TOTAL FEES \$ 320.00

For Plan Check status log on to:
www.city.newport-beach.ca.us/building,
 select On-Line Services or call (949) 644-3255

Fee Receipt No. 1927-5002

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.



CITY OF NEWPORT BEACH

BUILDING DEPARTMENT

P.O. BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE: _____

Date: 4/17/10 Plan Check No. 112-709 Permit No. 500-001 Received by: [Signature]

<u>DAVID FLECK</u> Received from	<u>112 KINGS PL</u> Job Address
-------------------------------------	------------------------------------

Building Plan Check <u>1 CIVIL</u> <u>3 LANDSCAPE</u>	2900-5002	\$ <u>70.00</u>
Harbor Resource Plan Check (Building)	2900-4627	\$ _____
Zoning Plan Check <u>2 CIVIL</u> <u>3 LANDSCAPE</u>	2700-5003	\$ <u>60.00</u>
Grading Plan Check	2900-5004	\$ _____
Fire Plan Check	2330-5055	\$ _____
Electrical Plan Check	2900-4612	\$ _____
Plumbing Plan Check	2900-4616	\$ _____
Mechanical Plan Check	2900-4618	\$ _____
Harbor Resources Plan Check	2370-4654	\$ _____
Overtime Plan Check - Building	2900-5023	\$ _____
Overtime Plan Check - Grading	2900-5004	\$ _____
Overtime Plan Check - Planning	2700-5003	\$ _____
Preliminary Code Compliance Review	2900-5002	\$ _____
Reinspection B E M P/Special Inspection	2900-5008	\$ _____
Reinspection Fire	2330-5050	\$ _____
Temporary Certificate of Occupancy	2900-5008	\$ _____
Underground Utilities Waiver	010-2225	\$ _____
Energy Compliance	2900-5017	\$ _____
Planning Department Fees	2700-5000	\$ _____
Sale of Maps & Publications (Planning)	2700-5812	\$ _____
Determination of Unreasonable Hardship	2900-5018	\$ _____
Public Works Plan Check	5200-5002	\$ _____
Surety Deposits (Refundable)	010-2201	\$ _____
Records Management Fee (Copies)	010-2263	\$ <u>1.25</u>
Subpoena Fees	2900-5001	\$ _____
Other (Specify)		\$ _____

TOTAL FEES \$ 140.25

For Plan Check status log on to:
www.city.newport-beach.ca.us/building,
select On-Line Services or call (949) 644-3255

Fee Receipt No. 2-18600

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.

COAST GEOTECHNICAL INC.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 5/13/10

Name Sam Hsu

Client Del Siguero

Address 112 Kings Road Newport Beach

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type

Job Progress and Activity: _____

I.C.D. removing base soil from trench backfill for new old storm drain lines.

Comments: Old concrete storm line should be exposed and all loose soils should be removed.

Reinforced backfilling with cement sleep over old storm drain bottom observation has been approved.

☐ Acceptable

☐ Unacceptable

Received By: [Signature]

Page _____ of _____

By: _____



CITY OF NEWPORT BEACH

BUILDING DEPARTMENT

P.O. BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE: _____

Date _____ Plan Check No. _____ Permit No. _____ Received by: _____

Received from	Job Address
---------------	-------------

Building Plan Check.....	2900-5002	\$ 70
Harbor Resource Plan Check (Building)	2900-4627	\$
Zoning Plan Check	2700-5003	\$
Grading Plan Check	2900-5004	\$
Fire Plan Check	2330-5055	\$
Electrical Plan Check	2900-4612	\$
Plumbing Plan Check.....	2900-4616	\$
Mechanical Plan Check	2900-4618	\$
Harbor Resources Plan Check	2370-4654	\$
Overtime Plan Check - Building	2900-5023	\$
Overtime Plan Check - Grading	2900-5004	\$
Overtime Plan Check - Planning	2700-5003	\$
Preliminary Code Compliance Review.....	2900-5002	\$
Reinspection B E M P/Special Inspection.....	2900-5008	\$
Reinspection Fire	2330-5050	\$
Temporary Certificate of Occupancy	2900-5008	\$
Underground Utilities Waiver	010-2225	\$
Energy Compliance	2900-5017	\$
Planning Department Fees	2700-5000	\$
Sale of Maps & Publications (Planning).....	2700-5812	\$
Determination of Unreasonable Hardship.....	2900-5018	\$
Public Works Plan Check.....	5200-5002	\$
Surety Deposits (Refundable).....	020-2201	\$
Records Management Fee (Copies).....	010-2263	\$
Subpoena Fees.....	2900-5001	\$
Other (Specify).....		\$

PAID

JUL 30 2009

CITY OF NEWPORT BEACH

TOTAL FEES \$ 140

For Plan Check status log on to:

www.city.newport-beach.ca.us/building,

select On-Line Services or call (949) 644-3255

Fee Receipt No. _____

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.



CITY OF NEWPORT BEACH
BUILDING DEPARTMENT
P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE: _____

Date _____ Plan Check No. 1140-009 Permit No. _____ Received by: [Signature]

Received from _____	Job Address _____
---------------------	-------------------

Building Plan Check.....	2900-5002	\$ <u>700.00</u>
Harbor Resource Plan Check (Building)	2900-4627	\$ _____
Zoning Plan Check	2700-5003	\$ _____
Grading Plan Check	2900-5004	\$ _____
Fire Plan Check	2330-5055	\$ _____
Electrical Plan Check	2900-4612	\$ _____
Plumbing Plan Check.....	2900-4616	\$ _____
Mechanical Plan Check	2900-4618	\$ _____
Harbor Resources Plan Check	2370-4654	\$ _____
Overtime Plan Check - Building	2900-5023	\$ _____
Overtime Plan Check - Grading	2900-5004	\$ _____
Overtime Plan Check - Planning	2700-5003	\$ _____
Preliminary Code Compliance Review	2900-5002	\$ _____
Reinspection B E M P/Special Inspection	2900-5008	\$ _____
Reinspection Fire	2330-5050	\$ _____
Temporary Certificate of Occupancy	2900-5008	\$ _____
Underground Utilities Waiver	010-2225	\$ _____
Energy Compliance	2900-5017	\$ _____
Planning Department Fees	2700-5000	\$ _____
Sale of Maps & Publications (Planning)	2700-5812	\$ _____
Determination of Unreasonable Hardship	2900-5018	\$ _____
Public Works Plan Check.....	5200-5002	\$ _____
Surety Deposits (Refundable)	020-2201	\$ _____
Records Management Fee (Copies)	010-2263	\$ _____
Subpoena Fees.....	2900-5001	\$ _____
Other (Specify)		\$ _____
TOTAL FEES		\$ <u>700.00</u>

For Plan Check status log on to:
www.city.newport-beach.ca.us/building,
select On-Line Services or call (949) 644-3255

Fee Receipt No. 1140-009

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.



CITY OF NEWPORT BEACH

BUILDING DEPARTMENT

P.O. BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

Attn: Pike Claire

FEE RECEIPT

TARGET DATE: _____

Date _____ Plan Check No. 1426 Permit No. 200-10 Received by: _____

<u>Super. Fee</u> Received from	<u>1426</u> Job Address
------------------------------------	----------------------------

Building Plan Check.....	2900-5002	\$ <u>100.00</u>
Harbor Resource Plan Check (Building)	2900-4627	\$ _____
Zoning Plan Check	2700-5003	\$ <u>150.00</u>
Grading Plan Check	2900-5004	\$ _____
Fire Plan Check	2330-5055	\$ _____
Electrical Plan Check	2900-4612	\$ _____
Plumbing Plan Check.....	2900-4616	\$ _____
Mechanical Plan Check	2900-4618	\$ _____
Harbor Resources Plan Check	2370-4654	\$ _____
Overtime Plan Check - Building	2900-5023	\$ _____
Overtime Plan Check - Grading	2900-5004	\$ _____
Overtime Plan Check - Planning	2700-5003	\$ _____
Preliminary Code Compliance Review.....	2900-5002	\$ _____
Reinspection B E M P/Special Inspection.....	2900-5008	\$ _____
Reinspection Fire	2330-5050	\$ _____
Temporary Certificate of Occupancy	2900-5008	\$ _____
Underground Utilities Waiver	010-2225	\$ _____
Energy Compliance	2900-5017	\$ _____
Planning Department Fees	2700-5000	\$ _____
Sale of Maps & Publications (Planning).....	2700-5812	\$ _____
Determination of Unreasonable Hardship.....	2900-5018	\$ _____
Public Works Plan Check.....	5200-5002	\$ _____
Surety Deposits (Refundable)	020-2201	\$ _____
Records Management Fee (Copies).....	010-2263	\$ <u>10.00</u>
Subpoena Fees.....	2900-5001	\$ _____
Other (Specify)		\$ _____

PAID

SEP 01 2010

PAID

SEP 01 2010

TOTAL FEES \$ 440.00

For Plan Check status log on to:

www.city.newport-beach.ca.us/building

select On-Line Services or call (949) 644-3255

CITY OF NEWPORT BEACH

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.



January 5, 2011

City of Newport Beach
Building Department
Contact: Paul Leclaire (City Inspector)
949-644-3264
330 Newport Blvd
Newport Beach, CA 92658

Property: 112 Kings Place, Newport Beach
Subject: Electrical Power Agreement to not turn on power at residence until approval from city.


To Whom It May Concern

This is an agreement that Way To Go Construction, acting as General Contractor of 112 Kings Place, Newport Beach will not turn on power to the main front building either by ourselves or by electrical contractor Warren Julian Electrical or by low voltage contractor Creative Concept Solutions, until approval is issued by the City of Newport Beach.

Note: Upon meeting with Paul Leclaire (City of Newport Beach Building Inspector) it was discussed that power to the pool sub panel will be re-energized. Please provide written authorization approving the re-energizing of the pool panel. *Please include in subject. The City of Newport Beach has given Southern California Edison authorization to reenergize 600 amp service panel and electrical contractor authorization to re-energize POOL SUB PANEL only. Thank you in advance for your assistance in this matter.

 1-5-11

David Fleck (General Contractor) 1-5-11

 1-5-2011

Warren Julian (Electrician) 1-5-11

 1-5-11

Martin Seelos (Creative Concepts) 1-5-11



PAUL ROHRER
STRUCTURAL ENGINEERS
1527 E. Autumnridge Ct. Orange CA 92866
(714) 272-9579
PaulRohrer.Engineer@hotmail.com

Responses to Inspection Corrections Dated 12/8/2015

December 8, 2015

Joe del Signore
C.O. Derek La Marque
112 Kings Place
Newport Beach CA 92663
P: (714) 697-0093
E: dereklamarque@aol.com

Project Name: Kings Place
Location: 112 Kings Pl.
Newport Beach CA 92663
PRSE Job #: 14-046

Comment 1: Provide RFI for placement and size of MST straps on roof (S2.2)

Response: S2 denotes holdown straps per detail 8/SD2

Comment 2: Provide boundary nailing at roof sheathing.

Response: Provide 10d nails @ 6" o.c. boundary nailing per detail 3/SD2

Comment 3: Provide detail for change of size for 2/SD2.2

Response: Key note 2 sheet S2.2 revised to: 16" TJI/560 @ 16" o.c.

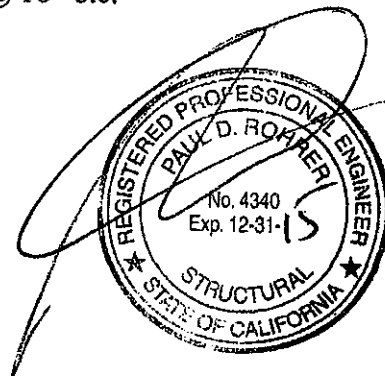
Comment 4: Provide detail for top deck stair changes

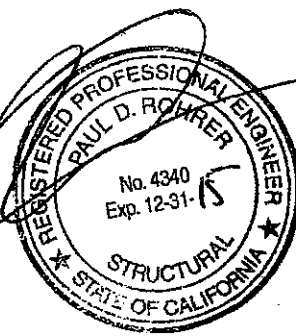
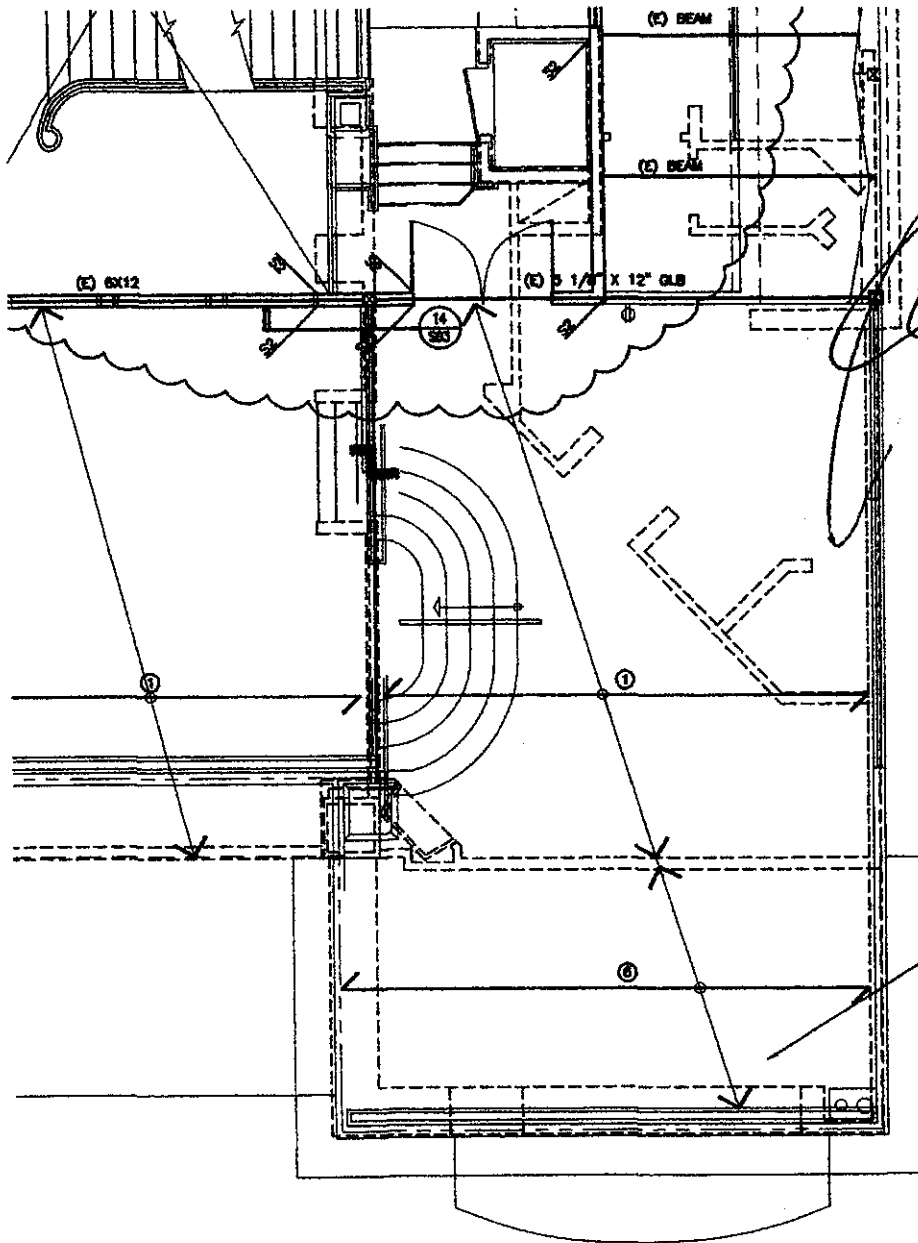
Response: See revised steps at deck.

Sincerely,

Paul Rohrer P.E.

PRSE Inc.





LEGEND

- DESIGNATES SPAN DIRECTION OF FRAMING.
- DESIGNATES SPAN DIRECTION OF CANTILEVERED FRAMING. (CANTILEVERED PORTION)
- DESIGNATES COLUMN OR POST BELOW PLAN LEVEL.
- DESIGNATES SIZE OF COLUMN OR POST ABOVE
- DESIGNATES HOLDOWN STRAP PER DETAIL 8/302
- PROVIDE (2)NAILS OF BH
- DESIGNATES DRAG STRAP PER PLAN
- DESIGNATES BEAM SIZE AND FRAMING
- DENOTES NEW OR EXISTING WALL BELOW

- ① (E) FLOOR TRUSS
- ② 11 7/8" RFP70 AT 16" O.C. ALT: 16" T4/360 @ 16" O.C.
- ③ (N) 5 1/4"x14" PSL BEAM
- ④ (N) ROOF TRUSS BY OTHERS
- ⑤ (E) ROOF RAFTER
- ⑥ (N) FLOOR TRUSSES

TYPICAL DECK SHEATHING

3/4" APA RATED T&G CDX SHEATHING W/ EXP 1 GLUE (INDEX 48/24)
W/ 10d NAILS @ 6" O.C. BOUNDARY NAILING (BN)
W/ 10d NAILS @ 6" O.C. EDGE NAILING (EN)
W/ 10d NAILS @ 12" O.C. FIELD NAILING (FN)
SEE 3/SD2 FOR LAYOUT. BLOCKING NOT REQUIRED.

DOF FRAMING PLAN

PR

PAUL ROHRER
STRUCTURAL ENGINEERS

112 KINGS PLACE
PARTIAL S2.2

PR
SE

PAUL ROHRER
STRUCTURAL ENGINEERS
1527 E. Autumnridge Ct. Orange CA 92866
(714) 272-9579
PaulRohrer.Engineer@Hotmail.com

112 King's Place

Job No: _____

Designed By: _____

Date: _____

Sheet No: _____

S212
ROOF FRAMING NOTES



ROOF FRAMING NOTES

1. REFER TO SHEETS SO AND SD SERIES SHEETS FOR GENERAL NOTES AND TYPICAL DETAILS.

2. ROOF DESIGN LOADS:

ROOFING MATERIAL SHALL NOT EXCEED 12.0 PSF
(REROOFING SHALL NOT BE PERMITTED)

DEAD LOAD	24.0 PSF
LIVE LOAD	20.0 PSF

ROOF SHEATHING

15/32" APA RATED CDX SHEATHING W/ EXP 1 GLUE (INDEX 24/0)

W/ 10d NAILS @ 6" O.C. BOUNDARY NAILING (BN)

W/ 10d NAILS @ 6" O.C. EDGE NAILING (EN)

W/ 10d NAILS @ 12" O.C. FIELD NAILING (FN)

SEE 3/SD2 FOR LAYOUT. BLOCKING NOT REQUIRED.

3. TYPICAL AT EXTERIOR WALLS:

PROVIDE 2x4 MIN DFL #1 OR BETTER STUDS AT 16" O.C. TYPICAL UNO.
SEE ARCH'L DRAWINGS FOR ADD'L INFORMATION.

4. PROVIDE SIMPSON "LU" HANGER AT ALL JOIST TO BEAM CONNECTIONS UNLESS SPECIFICALLY DETAILED OTHERWISE.
5. PROVIDE SIMPSON "HU" HANGER AT ALL BEAM TO BEAM CONNECTIONS UNLESS SPECIFICALLY DETAILED OTHERWISE.
6. PROVIDE (2) ROWS OF B.N. TO ALL MEMBERS INDICATED AS "STRUT".
7. REFER TO ARCH'L FOR SIZE AND LOCATIONS OF OPENINGS.
8. PROVIDE MULTIPLE 2x STUDS OR POSTS UNDER ALL BEAMS FOR FULL BEARING WIDTH UNLESS SPECIFIC POST SIZE IS DESIGNATED.
9. PRIOR TO INSTALLATION OF CEILING JOISTS, ROOF RAFTERS, AND OR FLOOR JOISTS, FRAMING CONTRACTOR TO VERIFY LOCATION OF RECESSED LIGHTING, HEATING REGISTERS, ETC. AND BLOCK OUT FRAMING ACCORDINGLY TO ACCOMMODATE THE EXACT LAYOUT INDICATED ON ELECTRICAL AND HVAC PLANS.
10. PROVIDE FULL LENGTH STUDS (BALLOON FRAMING) AT EXTERIOR WALLS OF ROOMS W/ VAULTED CEILINGS AND/OR STAIR WAYS INTERRUPTING FLOOR FRAMING

PR
SE

PAUL ROHRER
STRUCTURAL ENGINEERS
1527 E. Autumnridge Ct. Orange CA 92866
(714) 272-9579
PaulRohrer.Engineer@Hotmail.com

112 KING'S PLACES

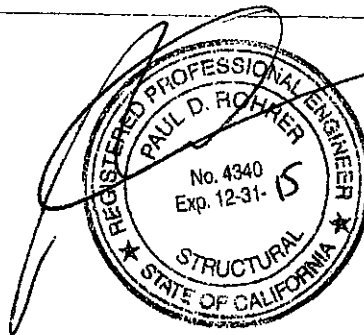
S2.2 LEGEND

Job No: _____

Designed By: _____

Date: _____

Sheet No: _____



LEGEND

 DESIGNATES SPAN DIRECTION OF FRAMING.

 DESIGNATES SPAN DIRECTION OF CANTILEVERED FRAMING.
(CANTILEVERED PORTION)

 DESIGNATES COLUMN OR POST BELOW PLAN LEVEL.

 DESIGNATES SIZE OF COLUMN OR POST ABOVE

 DESIGNATES HOLDOWN STRAP PER DETAIL 8/SD2

 STRUT
PROVIDE (2) ROWS OF BN

 MSTA30
6x DESIGNATES DRAG STRAP PER PLAN
DESIGNATES BEAM SIZE AND FRAMING

 DENOTES NEW OR EXISTING WALL BELOW

① (E) FLOOR TRUSS

② 11 7/8" RFP170 AT 16" O.C.
ALT: 16" TJI/580 @ 16" O.C.

③ (N) 5 1/4"x14" PSL BEAM

④ (N) ROOF TRUSS BY OTHERS

⑤ (E) ROOF RAFTER

⑥ (N) FLOOR TRUSSES



CITY OF NEWPORT BEACH
BUILDING DEPARTMENT

PO Box 1788 Newport Beach, CA 92658-8915
Inspection Request - (949) 644-3255

Permit Number X2015-1909

Address 112 KINGS PL NB
Type COMB
Inspector ATHOMPSON AT
Inspection Item 2510 ROOF FRAMING, SHEATHING & HT
Disposition CO

Date 12-08-2015

Inspector Signature

MAKE ALL CORRECTIONS PRIOR TO REINSPECTION

ALL WORK SHALL BE SUBJECT TO INSPECTION AND SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL INSPECTED AND APPROVED

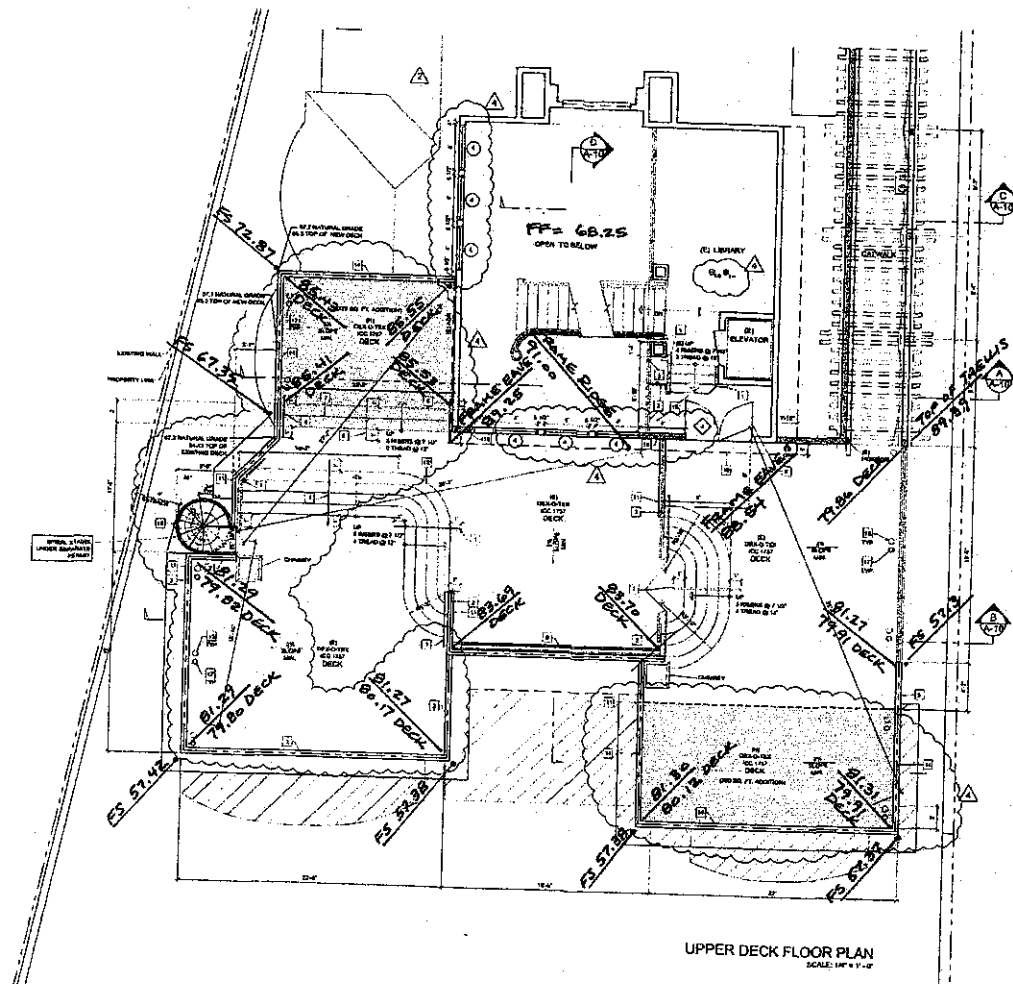
CALL FOR REINSPECTION - (949) 644-3255

Inspector's A.M. office hours are 07:00 A.M. To 08:30 A.M.

Inspector's P.M. office hours are 03:30 P.M. To 04:30 P.M.

Correction Required

- 1 PROVIDE RFI FOR PLACEMENT AND SIZE OF MST STRAPS ON ROOF
- 2 PROVIDE BOUNDARY NAILING AT ROOF SHEATHING (RFI IF NECESSARY)
- 3 PROVIDE DETAIL FOR CHANGE OF SIZE FOR 2" SD2.2
- 4 PROVIDE DETAIL FOR TOP DECK STAIR CHANGES
- 5 PROVIDE ROOF HEIGHT CERT AS NECESSARY
- 6 SCHEDULE A COMPLETE ROOF FRAMING INSPECTION



FIELD SURVEY 11/24/15
WILSON ASSOCIATES NORTH

GENERAL NOTES

1. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.
2. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.
3. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.
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14. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.
15. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.
16. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.
17. MANUFACTURED DECKING AND TRIMMING TO BE INSTALLED PER 2015 IRC.

SEE SHEET A-4 FOR DOOR
AND WINDOW SCHEDULES

ELECTRICAL LEGEND

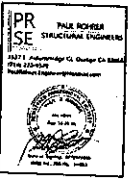
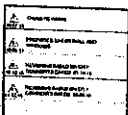
1. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.
2. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.
3. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.
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17. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.
18. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.
19. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.
20. CIRCULAR SYMBOL WITH DIAGONAL LINE: 120V AC POWER OUTLET.

KEY NOTES

1. EXISTING 12\"/>

DECK DRAIN NOTES

1. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
2. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
3. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
4. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
5. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
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15. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
16. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
17. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
18. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
19. DECK DRAIN TO BE INSTALLED PER 2015 IRC.
20. DECK DRAIN TO BE INSTALLED PER 2015 IRC.



DEL SIGNORE RESIDENCE
112 KING'S PLACE
NEWPORT BEACH, CA

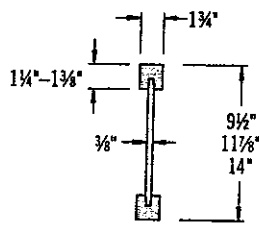
UPPER DECK FLOOR PLAN

DESIGNED BY
PROJECT NO.
FILE NAME
DATE

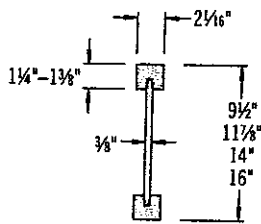
SHEET NO.
A-5
11.16.2015

DESIGN PROPERTIES

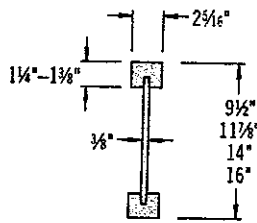
AS-BUILT JOIST



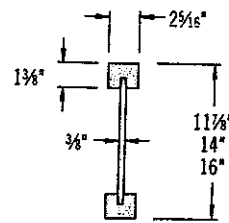
TJI® 110 Joists



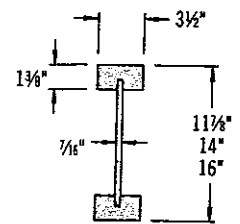
TJI® 210 Joists



TJI® 230 Joists



TJI® 360 Joists



TJI® 560 Joists

Design Properties (100% Load Duration)

Depth	TJI®	Basic Properties				Reaction Properties					
		Joist Weight (lbs/ft)	Maximum Resistive Moment ⁽¹⁾ (ft-lbs)	Joist Only EI x 10 ⁶ (in. ² -lbs)	Maximum Vertical Shear (lbs)	1 1/4" End Reaction (lbs)	3 1/2" End Reaction (lbs)	3 1/2" Intermediate Reaction (lbs)		5 1/2" Intermediate Reaction (lbs)	
								No Web Stiffeners	With Web Stiffeners ⁽²⁾	No Web Stiffeners	With Web Stiffeners ⁽²⁾
9 1/2"	110	2.3	2,500	157	1,220	910	1,220	1,935	N.A.	2,350	N.A.
	210	2.6	3,000	186	1,330	1,005	1,330	2,145	N.A.	2,565	N.A.
	230	2.7	3,330	206	1,330	1,060	1,330	2,410	N.A.	2,790	N.A.
11 1/8"	110	2.5	3,160	267	1,560	910	1,375	1,935	2,295	2,350	2,705
	210	2.8	3,795	315	1,655	1,005	1,460	2,145	2,505	2,565	2,925
	230	3.0	4,215	347	1,655	1,060	1,485	2,410	2,765	2,790	3,150
	360	3.0	6,180	419	1,705	1,080	1,505	2,460	2,815	3,000	3,360
	560	4.0	9,500	636	2,050	1,265	1,725	3,000	3,475	3,455	3,930
14"	110	2.8	3,740	392	1,860	910	1,375	1,935	2,295	2,350	2,705
	210	3.1	4,490	462	1,945	1,005	1,460	2,145	2,505	2,565	2,925
	230	3.3	4,990	509	1,945	1,060	1,485	2,410	2,765	2,790	3,150
	360	3.3	7,335	612	1,955	1,080	1,505	2,460	2,815	3,000	3,360
	560	4.2	11,275	926	2,390	1,265	1,725	3,000	3,475	3,455	3,930
16"	210	3.3	5,140	629	2,190	1,005	1,460	2,145	2,505	2,565	2,925
	230	3.5	5,710	691	2,190	1,060	1,485	2,410	2,765	2,790	3,150
	360	3.5	8,405	830	2,190	1,080	1,505	2,460	2,815	3,000	3,360
	560	4.5	12,925	1,252	2,710	1,265	1,725	3,000	3,475	3,455	3,930

(1) Caution: Do not increase joist moment design properties by a repetitive member use factor.

(2) See detail W on page 6 for web stiffener requirements and nailing information.

General Notes

- Design reaction includes all loads on the joist. Design shear is computed at the inside face of supports and includes all loads on the span(s). Allowable shear may sometimes be increased at interior supports in accordance with ICC ESR-1153, and these increases are reflected in span tables.

- The following formulas approximate the uniform load deflection of Δ (inches):

For TJI® 110, 210, 230, and 360 Joists

$$\Delta = \frac{22.5 wL^4}{EI} + \frac{2.67 wL^2}{d \times 10^5}$$

For TJI® 560 Joists

$$\Delta = \frac{22.5 wL^4}{EI} + \frac{2.29 wL^2}{d \times 10^5}$$

w = uniform load in pounds per linear foot

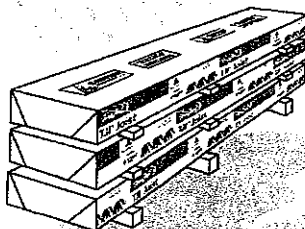
L = span in feet

d = out-to-out depth of the joist in inches

EI = value from table above

PRODUCT STORAGE

TJI® joists are intended for dry-use applications



Protect product from sun and water

CAUTION:
Wrap is slippery when wet or icy

Align stickers (2x3 or larger) directly over support blocks

Use support blocks (6x6 or larger) at 10' on-center to keep bundles out of mud and water

RFPI®-Joist Design Properties

I-JOIST DIMENSIONS LVL FLANGE

DESIGN JOIST

RFPI® 20	RFPI® 400	RFPI® 40	RFPI® 70	RFPI® 90
1-3/4" wide x 1-3/8" LVL Flange 3/8" OSB Web	2-1/16" wide x 1-3/8" LVL Flange 3/8" OSB Web	2-5/16" wide x 1-3/8" LVL Flange 3/8" OSB Web	2-5/16" wide x 1-1/2" LVL Flange 3/8" OSB Web	3-1/2" wide x 1-1/2" LVL Flange 7/16" OSB Web

SOLID SAWN FLANGE

RFPI® 40S	RFPI® 60S	RFPI® 80S
2-1/2" wide x 1-1/2" Solid Sawn Flange 3/8" OSB Web	2-1/2" wide x 1-1/2" Solid Sawn Flange 3/8" OSB Web	3-1/2" wide x 1-1/2" Solid Sawn Flange 3/8" OSB Web

DESIGN PROPERTIES FOR RFPI-JOISTS⁽¹⁾

Roseburg Designation	APA Designation	EI ⁽²⁾ x10 ⁶ lb-in. ²	M ⁽³⁾ lb-ft	V ⁽⁴⁾ lbs	VLC ⁽⁵⁾ lbs/ft.	K ⁽⁶⁾ x10 ⁴ lb	Weight plf
9 1/2" RFPI 20 ⁽⁷⁾	9 1/2" PRI 20	165	2,820	1,220	2,000	4.94	1.99
9 1/2" RFPI 40S ⁽⁷⁾	9 1/2" PRI 40	193	2,735	1,120	2,000	4.94	2.56
9 1/2" RFPI 400	Not Applicable	193	3,345	1,220	2,000	4.94	2.29
9 1/2" RFPI 40 ⁽⁷⁾	9 1/2" PRI 40	215	3,760	1,330	2,000	4.94	2.37
9 1/2" RFPI 60S ⁽⁷⁾	9 1/2" PRI 60	231	3,780	1,120	2,000	4.94	2.56
9 1/2" RFPI 70	Not Applicable	266	5,130	1,330	2,000	4.94	2.57
11 7/8" RFPI 20 ⁽⁷⁾	11 7/8" PRI 20	283	3,640	1,420	2,000	6.18	2.30
11 7/8" RFPI 40S ⁽⁷⁾	11 7/8" PRI 40	330	3,545	1,420	2,000	6.18	2.83
11 7/8" RFPI 400	Not Applicable	330	4,315	1,480	2,000	6.18	2.60
11 7/8" RFPI 40 ⁽⁷⁾	11 7/8" PRI 40	366	4,855	1,550	2,000	6.18	2.69
11 7/8" RFPI 60S ⁽⁷⁾	11 7/8" PRI 60	396	4,900	1,420	2,000	6.18	2.83
11 7/8" RFPI 70 ⁽⁷⁾	11 7/8" PRI 70	455	6,645	1,550	2,000	6.18	2.91
11 7/8" RFPI 80S ⁽⁷⁾	11 7/8" PRI 80	547	6,970	1,590	2,000	6.18	3.79
11 7/8" RFPI 90 ⁽⁷⁾	11 7/8" PRI 90	676	10,145	2,050	2,000	6.18	3.84
14" RFPI 20	Not Applicable	420	4,330	1,610	2,000	7.28	2.51
14" RFPI 40S ⁽⁷⁾	14" PRI 40	482	4,270	1,710	2,000	7.28	3.07
14" RFPI 400	Not Applicable	486	5,140	1,710	2,000	7.28	2.79
14" RFPI 40 ⁽⁷⁾	14" PRI 40	540	5,785	1,770	2,000	7.28	2.95
14" RFPI 60S ⁽⁷⁾	14" PRI 60	584	5,895	1,710	2,000	7.28	3.07
14" RFPI 70 ⁽⁷⁾	14" PRI 70	672	7,925	1,770	2,000	7.28	3.13
14" RFPI 80S ⁽⁷⁾	14" PRI 80	802	8,390	1,835	2,000	7.28	4.03
14" RFPI 90 ⁽⁷⁾	14" PRI 90	992	12,100	2,195	2,000	7.28	4.19
16" RFPI 40S ⁽⁷⁾	16" PRI 40	657	4,950	1,970	2,000	8.32	3.31
16" RFPI 400	Not Applicable	665	5,880	1,970	2,000	8.32	3.01
16" RFPI 40 ⁽⁷⁾	16" PRI 40	737	6,615	1,970	2,000	8.32	3.14
16" RFPI 60S ⁽⁷⁾	16" PRI 60	799	6,835	1,970	2,000	8.32	3.31
16" RFPI 70 ⁽⁷⁾	16" PRI 70	918	9,080	1,970	2,000	8.32	3.35
16" RFPI 80S ⁽⁷⁾	16" PRI 80	1,092	9,730	2,070	2,000	8.32	4.26
16" RFPI 90 ⁽⁷⁾	16" PRI 90	1,350	13,865	2,330	2,000	8.32	4.42

(1) The tabulated values are design values for 100% duration of load. All values except for EI and K are permitted to be adjusted for other load durations as permitted by code, with the further exception that VLC shall not be increased for shorter durations of load. Design values listed are applicable for Allowable Stress Design (ASD).

(2) Bending stiffness (EI) of the I-joist.

(3) Moment capacity (M) of a single I-joist. **Moment capacity of the I-joist shall not be increased by any repetitive member use factor.**

(4) Shear capacity (V) with a minimum bearing length of 4 inches.

(5) Vertical Load Capacity when continuously supported.

(6) Coefficient of shear deflection (K), used to calculate deflections for I-joist applications. Equations 1 and 2 below are provided for uniform load and center point load conditions for simple spans.

Uniform Load:

$$[1] \delta = \frac{5\omega\ell^4}{384EI} + \frac{\omega\ell^2}{K}$$

Center-Point Load:

$$[2] \delta = \frac{Pl^3}{48EI} + \frac{2Pl}{K}$$

where:

δ = calculated deflection (in.)

ω = uniform load (lb/in.)

ℓ = design span (in.)

P = concentrated load (lb)

EI = bending stiffness of the I-joist (lb-in.²)

K = coefficient of shear deflection (lb)

(7) Design properties meet or exceed the requirements of the PRI-400 Performance Standard for APA EWS I-Joists for the corresponding I-joist series and depth.



TO: File, City, Owner

DAY	Friday	DATE	12-4-2015
PROJECT NAME	Del Signore Kes		PROJECT NO.
LOCATION	112 Kings Pl.	CITY	Newport Beach
SUPERINTENDENT/FOREPERSON	Derek Le Marque		
CONTRACTOR(S)	Owner / Builder		
ENGINEER	PRSE		
EQUIPMENT ON SITE	Various Handtools		
PERSONNEL ON SITE	J.P. Durand		

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Soils	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Drainage	<input type="checkbox"/> Epoxy
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: On site to observe & check footings for "N Bedroom 3" on Main floor adjacent to garage. Includes footings for Laundry room. Ref plans by Paul Rohrer dated 10-26-15 Sheets A-6, S2.1, SD3. Observed footings meet or slightly exceed (3") project design specifications & bottoms are founded in Competant Material; Tight, Firm & unyielding. *Approved from Geotechnical Standpoint. Good to place /Tie rebar & pour concrete*

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS: Clean trenches of loose soil/debris & premoisten prior to pour.

[illegible]

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290

147



Report of Special Inspection

Project Name & Address

DEL SIGNORE

112 KINGS PL.

Permit Number

#X 2015-1909

Inspection Type(s)

EPOXY

Inspection Date(s)

1-13-16

[] Periodic

[X] Continuous

Describe Inspection Made, including Locations:

OBSERVATION OF #4 BARS
ARE SET STRAIGHT AND AT DESIGNATED DEPTH, AS PER
PLANS, AT THE ABOVE ADDRESS ON 1-13-16

List Tests Made:

#4 BARS 18"OC 6" Embedment FOR MASTER BATH
SLAB + FOOTING PER PAGE SD3 #8 + #16

#4 BARS 18"OC 6" Embedment FOR CLOSET PER PAGE SD3 #3

#4 BARS 18"OC 6" Embedment FOR EXTRA BATH (SLAB)

Total Inspection Time Each Day:

Date	1-13-16						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

SIMPSON XP
used as per Plans

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed:

Richard Davison

Date

1-13-16

Print Full Name:

RICHARD DAVISON

Registration No.

NB-0555



Report of Special Inspection

Project Name & Address DEL SIGNORE
112 KINGS PL

Permit Number #X2016-0403

Inspection Type(s) EPOXY

Inspection Date(s) 4-11-16 [] Periodic [X] Continuous

Describe Inspection Made, including Locations: OBSERVED #4 + #7 BARS
ARE SET STRAIGHT AND AT DESIGNATED DEPTH, AS PER
PLANS AT THE ABOVE ADDRESS ON 4-11-16

List Tests Made: 14-#4 BARS 8" Embedment } FOR STAIR WELL
6-#4 BARS 8" Embedment }
6-#4 BARS 6" Embedment FOR JACK+JILL BATH
18-#4 BARS 6" Embedment FOR Powder Room
(ALL WORK PER PLANS)

Total Inspection Time Each Day:

Date	4-11-16						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments: SIMPSON XP
used as per Plans

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the C.B.C. except as noted above.

Signed: Richard Davison

Date

4-11-16

Print Full Name: Richard Davison

Registration No.

NB-0555



TO: File 15-1244

DAY	DATE
PROJECT NAME	PROJECT NO.
LOCATION	CITY
SUPERINTENDENT/FOREPERSON	
CONTRACTOR(S)	
ENGINEER	
EQUIPMENT ON SITE	
PERSONNEL ON SITE	

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Soils	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Drainage	<input type="checkbox"/> Epoxy
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: On site to observe block
footings in basement area. Observed footings to be founded in
compact material. Tight, firm & unyielding in all areas.
Footings located on 1st wall adjacent to interior existing wall &
overlapping for stairwell. Block is "Approved" from geotechnical
standpoint; good to place the applicable repair & pour concrete.

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS:

						SIGNATURE, TITLE (POSITION)
PERSONNEL ON SITE	ARRIVAL	DEPARTURE	TIME ON SITE	TRAVEL TIME	SUBTOTAL	
A.P. Ricard	/	/	/	/	/	SIGNATURE OF SUPERINTENDENT, TITLE (POSITION)
/	/	/	/	/	/	
/	/	/	/	/	/	
/	/	/	/	/	/	
/	/	/	/	/	/	
/	/	/	/	/	/	
/	/	/	/	/	/	
						TOTAL HRS (4 HR. MIN.)

EGA CONSULTANTS
 375-C Monte Vista Avenue
 Costa Mesa, CA 92627
 (949) 642-9305
 FAX (949) 642-1296

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290



TO: File

Engineering Technical Inspections	DAY	DATE
	PROJECT NAME	PROJECT NO.
	LOCATION	CITY
	SUPERINTENDENT/FOREPERSON	
	CONTRACTOR(S)	
	ENGINEER	
	EQUIPMENT ON SITE	
	PERSONNEL ON SITE	

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Soils	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Drainage	<input type="checkbox"/> Epoxy
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: On site to observe / check excavation for West Stage Wall. (Block / native soil side walls to be stable. Recommended bracing to be installed for additional stabilization. Whilst work being conducted due to tight ground condition & ability to support adjacent Stage Walls, a wall should be used for bracing.

TESTS PERFORMED:

CYLINDERS:

RECOMMENDATIONS: Call FBI & LA on 10/26/89.

[illegible]

EGA CONSULTANTS
375-C Monte Vista Avenue
Costa Mesa, CA 92627
(949) 642-9309
FAX (949) 642-1290

COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 ■ Ph: (714) 870-1211 ■ Fax: (714) 870-1222 ■ Email: coastgeotec@sbcglobal.net

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 8/9/19

Name J. J. [Signature]

Client Delmarva

Address 112 Kings Rd - 11B

☐ Footings ☐ Key Way ☒ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
1	Site	Subgrade	9.0	115.8	92.6	SW	CL

Job Progress and Activity: Kings Rd - 11B

Thousand 40's Area noted

Subgrade has been completed

Adjoining & heavily watered

Comments: Handwritten notes

Handwritten notes

Handwritten notes

☒ Acceptable

☐ Unacceptable

Received By: [Signature]

Page 1 of 1

By: [Signature]



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: Del Signore Residence-112 Kings Pl.
 Permit Number: X2018-3347
 Inspection Type (s): Epoxy
 Inspection Date (s): 6/19/2019 (X) Periodic () Continuous

Describe Inspection, Including Location(s):
-Observed epoxy placement for #4 rebar dowels with 6" embedment length into existing slab for new footings (CF-2) and pad footings (PF-1, PF-2 and PF-3) between grid lines H and E.8 per plan page S1 detail 11/S5.

List Tests Made:

Total Inspection Time Each Day:					
Date:	6/19/2019				
Hours:	4				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:
-Rebar free from rust and deleterious materials.
-All holes brushed and blown clean prior to epoxy placement.
Simpson Set XP-22N: 1000033379 Exp: 02/24/21

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature: 	Date: 6/19/2019
Print Full Name: Charles Beardslee	Newport Beach Registration No.: NB-0692

Special Inspection Report 08/25/2015

**DEPUTY INSPECTION**

1-800-DEPUTY

Gen Contr:

Sub-Contr:

KMK

Ekedal

Report of Special InspectionProject Name & Address Del Signore Residence/112 Kings Pl, Newport BeachPermit Number X2018-3347Inspection Type(s) Reinforced ConcreteInspection Date(s) 6/21/2019 [] Periodic [☒] Continuous

Describe Inspection Made, including Locations:

Observed placement of concrete (3000 PSI) for the following at the foundation per S-1 of the structural plans. A). Footings, pier pads, grade beam, and slab repair between grid lines F and H. B). Erection/pier pads between grid lines A and F. Size and reinforcement of above items per structural details and corresponding schedules.

List Tests Made:

(4)4X8 cylinders castGary Bale ready mix#GB300038. Ticket#294170

Total Inspection Time Each Day:

Date	6/21/2019						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

- Reinforcement clean and free from deleterious materials.
- Reinforcement clearances achieved and maintained.
- Forms clean and free from water and other debris.
- All concrete was placed and consolidated per specs and codes.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: Date 6/21/2019Print Full Name: Thomas GeorgeRegistration No. NB-0617

FORM SI-02/90



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION
 1-800-DEPUTY1
 Gen Contr: KKK
 Sub Contr: ...

SPECIAL INSPECTION REPORT

Project Address: 112 Kings Place Newport Beach Del Sur 92625
 Permit Number: X2018-3347
 Inspection Type (s): Spoxy
 Inspection Date (s): 6-26-19 () Periodic (✓) Continuous

Describe Inspection, Including Location(s):
Observed drilling & bonding in the sub. Drilled and completed AIR PRESSURE TESTING in the sub. per S-1 building plan details S-5 and S-6 and using Simpson Strong-Tie Epoxy. See comments.

List Tests Made:

Total Inspection Time Each Day:	
Date: <u>6-26-19</u>	
Hours: <u>3</u>	

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:
per S-1 building plan details S-5 and S-6 and using Simpson Strong-Tie Epoxy. S-5 and S-6 112 Kings Place

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:	Date:
<u>[Signature]</u>	<u>6-26-19</u>
Print Full Name:	Newport Beach Registration No.:
<u>Leo Schurup</u>	<u>403884</u>

COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 ■ Ph: (714) 870-1211 ■ Fax: (714) 870-1222 ■ Email: coastgeotec@sbcglobal.net

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 6-1-20

Name ROBERT HANCOCK

Client CLARK HANCOCK

Address 42 W. 10th St. N.B.

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type
1	W. 10th St.	1.6	10.4	117.0	92.1	MC	12.7

Job Progress and Activity: _____

RESERVED W. 10th St.

W. 10th St. Grades

Comments: TABLE 1 - COMPACTION RES

W. 10th St. Grades

W. 10th St. Grades

W. 10th St. Grades

W. 10th St. Grades

W. 10th St. Grades

☒ Acceptable

☐ Unacceptable

Page _____ of _____

Received By:

By:

Attachment No. 2

Notices of Pending Permit Expiration



PERMIT ACTIVITY REPORT (X2018-3347) FOR CITY OF NEWPORT BEACH

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
--------------	---------------	---------------	-----------------	-------------------	------------

10/05/2022

Generic Activity	3-YEAR EXTENSION	ACT-000123-2022	MAILED AND EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank
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12/20/2022

Generic Activity	Call and Email	ACT-000354-2022	Called Anthony (Contractor, 909-599-0033) and emailed Anthony (anthony@baldwin-builders.com) to inform him that he needs to come in permit on 12/20/2022 to submit Hearing application to City Clerk.	Tonee Thai
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12/21/2022

Generic Activity	HEARING APPLICATION	ACT-000357-2022	ANTHONY (CONTRACTOR) SUBMITTED HEARING APPLICATION TO CITY CLERK ON 12/21/2022. APPLICATION UPLOADED TO FILES TAB. HEARING DATE SCHEDULED FOR 01/26/2023.	Tonee Thai
------------------	---------------------	-----------------	---	------------

12/22/2022

Generic Activity	EMAIL NOTIFICATION	ACT-000360-2022	APPLICANT NOTIFIED OF HEARING DATE AND LOCATION ON 12/22/2022 BY EMAIL BY OMAR (REVENUE). NOTIFICATION WILL BE MAIL OUT ON 12/23/2022.	Tonee Thai
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09/29/2022

Generic Activity	Extension Approved	ACT-000118-2022	3-YEAR CONSTRUCTION TIME LIMIT EXTENSION BY BUILDING OFFICIAL GRANTED. PERMIT SHALL EXPIRE ON 12/31/2022 UNLESS AN ADDITIONAL EXTENSION IS GRANTED. TOTAL EXTENDED TIME LESS THAN ONE YEAR MAX PERMITTED BY NBMC 15.02.095.	Tonee Thai
Generic Activity	Application Submitted	ACT-000117-2022	2nd Extension Request submitted on 09/28/2022.	Tonee Thai

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022

03/30/2022	03/30/2022	Other - MISC	X2018-3347-A0029 64811	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3 YEAR DEADLINE LETTER MAILED	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022

04/04/2022	04/04/2022	Other - MISC	X2018-3347-A0029 67151	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	don bergeron (KMK development) applied for extension. turned into building official.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjligh.net 2	07/07/2022

04/04/2022	Other - MISC	X2018-3347-A0029 67282	Partial Pass	Walter Jones	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3-31-22 PUT NOTICE ON SHELF ON JOB SITE. WORKE WILL LET SUPER KNOW WHERE IT IS. TOOK PHOTOS	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

04/25/2022	04/25/2022	Other - MISC	X2018-3347-A0029 76332	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	spoke to don bergeron, (krm development) he is trying to get letter from homeowner authorizing him as his agent to process extension paperwork. cannot process extension without owner authorization, qc is aware.	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

05/04/2022	05/04/2022	Other - MISC	X2018-3347-A0029 79990	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	3 YEAR DEADLINE LETTER RETURNED TO SENDER - OWNER	No

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type:	Combo Residential	Application Date:	11/05/2018	Owner:	JOSEPH DELSIGNORE
Work Class:	Addition/Alteration	Issue Date:	04/01/2019	Parcel	049 202 41
Status:	Expired	Expiration Date:	09/20/2022	Address:	112 KINGS PL NEWPORT BEACH, CA
		IVR Number:	231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022

05/20/2022	05/20/2022	Other - MISC	X2018-3347-A0029 87818	Approved	Tonee Thai	No	Complete
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Checklist Item	COMMENTS	Approved
Other	PERMIT SHALL EXPIRE ON 10/01/2022 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER.	Yes

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: Combo Residential	Application Date: 11/05/2018	Owner: JOSEPH DELSIGNORE
Work Class: Addition/Alteration	Issue Date: 04/01/2019	Parcel: 049 202 41
Status: Expired	Expiration Date: 09/20/2022	Address: 112 KINGS PL NEWPORT BEACH, CA
IVR Number: 231737		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2	07/07/2022
	Legacy User	C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2	07/07/2022
	Legacy User	C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2	07/07/2022
	Legacy User	SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2	07/07/2022
	Legacy User	DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1	07/07/2022

05/24/2022	05/24/2022	Other - MISC	X2018-3347-A0029 89203	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	Approved 3-YR extension mailed & emailed 5-24-22	No



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH
112 KINGS PL
NEWPORT BEACH CA 92660

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit E2010-0648, issued on 10/15/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit E2010-0677, issued on 10/28/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Very truly yours,

By: Paul B. LeClaire
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit P2010-0420, issued on 10/15/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
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Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH, CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2011-2265, issued on 09/28/2011 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:


- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Very truly yours,


By: _____
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH, CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2011-0260, issued on 05/16/2011 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Very truly yours,

By:

Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0201, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0200, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

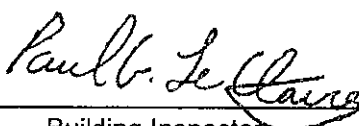
- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
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Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0198, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

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Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0199, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
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Very truly yours,

By: Paul B. LeClaire
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2008-2447, issued on 11/19/2008 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:


- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
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Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2009-1256, issued on 07/14/2009 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: _____

Handwritten signature of Paul LeClaire in cursive script.

Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2008-1373, issued on 06/30/2008 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:


- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2008-1528, issued on 07/14/2009 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

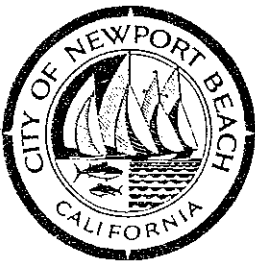
If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2007-3157, issued on 03/11/2008 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

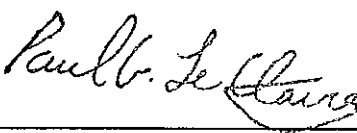
- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,


By: _____
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DELSIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2007-2738, issued on 11/01/2007 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: Paul B. LeClaire
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DELSIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2007-2222, issued on 09/20/2007 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: 
Building Inspector
Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH & MICHAELA
112 KINGS PL
NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit S2009-0061, issued on 09/18/2009 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

By: Paul B. LeClaire
Building Inspector
Paul LeClaire



City of Newport Beach

Community Development

LIGHT CHRISTIAN R
1401 QUAIL ST #120
NEWPORT BEACH, CA 92660
Subject: Notice of Expired Permit

Address: 112 KINGS PL NEWPORT BEACH, CA

Our records indicate that your permit **X2021-1276** issued on **06/03/2021** including any related permits, is expired based on limitations set forth in Newport Beach Municipal Code Section 15.02.100. A notice of pending permit expiration was previously mailed to your address.

Since work is in progress, you are currently in violation of Section 105.5 of the Newport Beach Administrative Code. A new permit will be required prior to resuming work to complete the project. Please obtain a new permit within 14 days as set forth from the above date. Otherwise code enforcement action by the Community Development Department Building Division may be necessary. This may include administrative citations until this matter is resolved.

Please contact the Building Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. if you have questions or to inform us of your intentions.

Regards,

Chad Shelton

Chad Shelton, Building Inspector
CSHELTON@newportbeachca.gov
Phone: 949-644-3295

Attachment No. 3

Building Official Extension



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Three Year Construction Time Limit Extension
Building Official Application

Project Address:		112 Kings Place Newport Beach, CA		Receipt No.: 12456-0002	
Permit No.: x 2018-3347 XR2022-2503		Original Permit Issued Date: April 1, 2019		Extension Fee: \$208 Date Fee Paid: 9/18/22	
PETITIONER/PROPERTY OWNER INFORMATION					
Name (Must be payor of fees): Anthony Ferro			Company Name: Baldwin Builders		
Street Address: 5135 N. Valley Center Avenue			City: Covina		State: CA Zip Code: 91724
Email: Anthony@Baldwin-Builders.com			Phone: O: 909-599-0033 C: 626-945-6326		
PROJECT INFORMATION					
Length of extension requested: Till End of January 2023					
New end date if request is approved: October 1, 2022					
Previous Extension(s) Granted? (Y/N): YES If Yes, How Many?: 1					
Description of Work Under Permit:		finish work to get permit for occupancy. Original is Remodel of 10K custom home			
Reason for Extension Request		(Attach Supporting Documents as Needed) KMK development was removed by owner for failure to complete the project on time Law suit case # 30-2021-01185766-CU-OR-CJC			
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.					
Petitioner's Signature: Anthony Ferro		Relationship to Property Owner: NEW Contractor for Owner		Date: 9/14/22	
FOR STAFF USE ONLY					
Department Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied					
Conditions of Approval or Comments:		PERMITS X2018-3347 AND XR2022-2503 SHALL EXPIRE ON 12/31/2022 UNLESS ADDITIONAL EXTENSION IS GRANTED			
Building Inspector Reviewed:		Name:		Signature: [Signature] Date: 1/1	
Building Official Approval:		Name: TONEE HAT		Signature: [Signature] Date: 09/29/22	



September 24, 2022

City of Newport Beach
Community Development Department
Building Division
100 Civic Center Drive
Newport Beach, CA 92658-8915

RE: PERMIT EXTENTION FOR PERMIT X-2018-3347 112 KINGS PLACE

Gentlemen,

Baldwin Builders is the new contractor of record recorded on Tuesday Sept 20, 2022. For the owner of 112 Kings Place, Joe Del Signore. We have been hired by the owner to complete the remaining work associated with the project listed above consistent with obtaining the final sign off for occupancy.

Baldwin Builders ("Baldwin") have been hired to complete the associated work with the minimal standards to achieve building final, we will be utilizing local distributor and suppliers for the necessary materials. We will only be using licensed contractor, with city business license to accomplish our goal.

We respectfully request the necessary extension to bring this project to a closure with the City of Newport Beach and the owner Joe Del Signore.

Attached is the civil case that was pivotal in delaying this project beyond the previous approved extension. Mr. Del Signore has counsel representing his case, and we diligently working with your approval to complete this project within the allotted time extension permitted by your department.

Thank you for your consideration in this matter.

Respectfully submitted

Anthony Ferro
BALDWIN BUILDERS

To the City of Newport Beach


September 28, 2022

I am the owner of 112 Kings Place Joe Del Segnori. I am informing the city that **Baldwin Builders** has been retained on my behalf to bring the above property to final with the achievement of occupancy.

Anthony Ferro with **Baldwin Builders** will be working with the city of Newport Beach to finalize the permit. All permits extension have been paid, and the contractor of record has been changed to Baldwin Builders.

Thank you

Respectfully submitted

DocuSigned by:

22699E1530F44F9... Sep-29-2022 | 8:13 AM PDT

Joe Del Signore

Thai, Tonee

From: Sanchez, Chris
Sent: September 29, 2022 12:49 PM
To: Thai, Tonee
Subject: Fwd: 112 Kings Place

Here is timeline letter

Get [Outlook for iOS](#)


From: Sanchez, Chris <CSanchez@newportbeachca.gov>
Sent: Thursday, September 29, 2022 12:46:55 PM
To: Anthony Ferro <anthony@baldwin-builders.com>
Subject: Re: 112 Kings Place

I will forward to Tonee.

Thanks,
Chris Sanchez

Get [Outlook for iOS](#)

From: Anthony Ferro <anthony@baldwin-builders.com>
Sent: Thursday, September 29, 2022 11:20:26 AM
To: Sanchez, Chris <CSanchez@newportbeachca.gov>
Subject: Fwd: 112 Kings Place

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe. 

Thank you,

Begin forwarded message:

From: Matt Eschenburg <meschenburg@mvjllp.com>
Date: September 28, 2022 at 1:57:14 PM PDT
To: aferro1028@gmail.com
Subject: 112 Kings Place

In 2007, Joseph and Michaela Del Signore purchased the property at 112 Kings Place, Newport Beach, CA, 92663 ("Subject Property"). Following their purchase of the Subject Property, the Del Signores hired David Fleck of Pacific Coast Construction ("PCC") as their general contractor to completely remodel the Subject Property. After several years of reconstruction, in January of 2011, construction was completed, and the Del Signore family moved in their new home. On their first night in their new home, January 1, 2011, the Del Signore family hosted a house-warming party, where Mr. Fleck and his wife were invited guests.

At some point during the night, Mr. Fleck placed what has been described as a gobels (a fire starter) into the fireplace to ignite the fire. At approximately 8:00 a.m. the next morning, Ms. Del Signore smelled smoke within the home but did not observe any flames in the fireplace. The family consequently evacuated the house and called the Newport Beach Fire Department to investigate the source of the smoke. The responding firefighters first noticed that there appeared to be heat within the walls and proceeded to open the walls near the fireplace. Upon doing so, flames were observed within the wall cavities and on the framing members within the walls. As a result of the fire, the Del Signore family home was significantly damaged. A subsequent investigation revealed that the fireplace was improperly constructed, as it was placed too close to the framing members. The investigation also revealed that the firebox was installed in an improper elevation and that the fire starter that Mr. Fleck placed in the fireplace were may have been improperly treated.

As a result of the fire, the Del Signores made a first party insurance claim to their homeowner's insurance carrier but that carrier issued payment in an amount which was significantly less than the amount required to reconstruct their home. Additionally, Mr. Fleck's commercial general liability carrier denied coverage on the grounds that he had allegedly hired improperly/uninsured subcontractors to perform the construction of the Subject Property. As a result, litigation ensued against Mr. Fleck's general liability insurance carrier. This litigation took several years and impacted the construction timeline for that same period.

From January of 2011 to 2014, the Del Signore family saved money in order to fund the reconstruction of the Subject Property. In 2015, the Del Signores retained a second general contractor, Derek La Marque of Avex Builders, Inc. ("Avex") to reconstruct their home. Upon his retention, he immediately began the demolition process of the damaged portion of the Subject Property. Throughout the following two years, Avex removed and replaced framing, concrete, stucco and waterproofing from the Subject Property which had been damaged as a result of the fire. The Del Signores subsequently learned that in order to avoid the permit requirements with the City of Newport Beach, Avex retained a structural engineer to submit design plans for each individual room instead of submitting general plans for the house as a whole. As a result, these piecemeal submissions led to the construction of a structurally unstable house, as it was not designed and built as one collective system. On or about September 2018, the Del Signores fired Avex. The Del Signores learned that Mr. La Marque was employing unlicensed and uninsured laborers and substantially marked up low-end subcontractor's work. It was only after the termination of Avex that the Del Signores learned of the improper actions relative to the submission of the structural plans/improper conduct

In December 2016, the Del Signores hired KMK Development to take over the reconstruction of the Subject Property. Mr. Bergeron advised that when he went to the City of Newport Beach Building & Safety Department before commencing work, he learned that there were still nine outstanding permits on the house dating back to 2007. Many aspects of the construction of the Subject Property had never been inspected or signed off on/approved. Mr. Bergeron also performed an extensive investigation into the construction activities of the two prior contractors and found that their work in almost all areas of the home was well below the standard of care and defective. As a result, Mr. Bergeron fired the prior structural engineer and subcontractors and retained a new structural engineer who determined that the former structural engineer, Paul Rohrer, had failed to structurally tie in the framing system to the foundation of the home and that the framing, as constructed, was unstable and needed to be repaired/redone.

Due to the defective design and construction of the Subject Property, much of the framing, plaster, concrete and structural components of the Subject Property needed to be

removed and reconstructed, to meet the new structural design codes. Additionally, new steel joists needed to be installed in order ensure the structural integrity of the Subject Property. Almost 40% of the Subject Property was found to be in violation of building violations. The Del Signore were required to remove most of the work installed by Avex so that it could be reconstructed properly and according to code. As a result, KMK Development's construction timeline to complete reconstruction of the Subject Property has expanded from 12-18 months to a minimum of 36 months.

Since that time, KMK Development appears to have had difficulties in getting the project to the Certificate of Occupancy stage due to staffing and material shortages related to the Covid-19 pandemic, among other construction related issues. Additionally, the Del Signore believe that the delays in completion of the project by KMK Development may also have been caused by the actions of KMK Development but that issue is still being investigated. As a result of these construction delays and inability to complete the project as promised, the Del Signore have replaced KMK Development with Baldwin Builders (Anthony Ferro) which has submitted documents to the City of Newport Beach to obtain an extension of the construction permit beyond the October 1, 2022, expiration date.

As a result of the above, the neighbors which live/own 108 Kings Place, have filed a trespass and nuisance complaint against the Del Signore and the City of Newport Beach. The Lallys complain about the construction, dust and noise arising from the construction at the Del Signore property. The Del Signore have sued Avex and KMK Development as a result of the Lally's complaint. The Del Signore have not sued the City of Newport Beach. Since the filing of the complaint, the Del Signore have made attempt to reach a settlement with the Lallys. A term requested by counsel for the Lallys during those settlement efforts included the Del Signore ceasing ongoing construction activities at the site while those settlement talks were progressing. As a result, construction activities at the site were halted for several weeks. That being said, construction activities have resumed in an effort to reach the Certificate of Occupancy threshold.

Matthew J. Eschenburg, Esq.
Partner

Mokri Vanis & Jones, LLP

4100 Newport Place Drive, Suite 840

Newport Beach, CA 92660

Main 949.226.7040 | Fax 949.226.7150

meschenburg@mvjllp.com

www.mvjllp.com

Richard W. Vanis, Jr. (Bar No. 186302)
rvanis@mvjllp.com
Matthew J. Eschenburg (Bar No. 198279)
meschenburg@mvjllp.com
MOKRI VANIS & JONES LLP
4100 Newport Place Drive, Suite 840
Newport Beach, CA 92660
Telephone: 949.226.7040
Facsimile: 949.226.7150

Attorneys for Defendants/Cross-Complainants,
Joseph A. Del Signore aka Joseph Del Signore and
Michaela O. Del Signore aka Michaela Del Signore

SUPERIOR COURT OF THE STATE OF CALIFORNIA

FOR THE COUNTY OF ORANGE

CENTRAL JUSTICE CENTER

JAYNE LALLY, an individual, MARSHALL
J. LALLY, an individual, and MELISSA
LALLY MILLARD, an individual,

Plaintiffs,

v.

JOSEPH A. DEL SIGNORE aka JOSEPH
DEL SIGNORE, an individual; MICHAELA
O. DEL SIGNORE aka MICHAELA DEL
SIGNORE, an individual; CITY OF
NEWPORT BEACH, a government entity,
and DOES 1-50, inclusive,

Defendants.

CASE NO. 30-2021-01185766-CU-OR-CJC

[Hon. Linda S. Marks; Dept. C25]

AMENDMENT TO CROSS-COMPLAINT

Complaint filed: 2/23/2021
Trial date: 1/9/2023

TO ALL PARTIES AND TO THEIR RESPECTIVE ATTORNEYS OF RECORD:

Upon the filing of its Cross-Complaint in the above-entitled action, Defendant/Cross-Complainant Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del Signore aka Michaela Del Signore ("Cross-Complainant"), being ignorant of the true name of all Cross-Defendants named therein and having designated unknown Cross-Defendants in its Cross-Complaint by the fictitious name of ZOES, has discovered the true name of the Cross-Defendant to be as follows:

ZOE 1: KMK DEVELOPMENT, INC.

1 Cross-Complainant amends its Cross-Complaint by substituting the true names for the fictitious
2 names wherever they appear in said Cross-Complaint.

3
4 Dated: September 16, 2022

MOKRI VANIS & JONES, LLP

5
6 By: /s/ Matthew J. Eschenburg
7 Richard W. Vanis, Jr.
8 Matthew J. Eschenburg
9 Attorneys for Defendants/Cross-
10 Complainants, Joseph A. Del Signore aka
11 Joseph Del Signore and Michaela O. Del
12 Signore aka Michaela Del Signore
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PROOF OF SERVICE

SUPERIOR COURT FOR THE STATE OF CALIFORNIA, COUNTY OF ORANGE

CASE NAME: JAYNE LALLY VS. JOSEPH A. DEL SIGNORE, et al.

CASE NUMBER: 30-2021-01185766-CU-OR-CJC

I am employed in the County of Orange, State of California. I am over the age of 18 and not a party to the within action; my business address is 4100 Newport Place Drive, Suite 840, Newport Beach, California 92660.

On September 16, 2022, I served the foregoing document described as: **XXX** in this action as follows:

Daniel T. Rudderow (Bar No. 174258)
Chris C. Chapman (Bar No. 234738)
Shadee R. Duarte (Bar No. 291550)
Rudderow Law Group
1301 Dove Street, Suite 800
Newport Beach, CA 92660
(949) 565-1344
(714) 677-4004 Fax

*Attorneys for Plaintiffs, JAYNE LALLY,
MARSHALL J. LALLY and MELISSA LALLY
MILLARD*

E : chris@rudderowlaw.com
shadee@rudderowlaw.com

Keith E. Rodenhuis, Esq.
Amber C. McCall, Esq.
Ker Legal Group
2601 Main Street, Ste. 560
Irvine, CA 92660
(949) 252-9937
(949) 292-4576 Fax

*Attorneys for Defendant CITY OF NEWPORT
BEACH*

E: Amber@kerlegallgroup.com
keith@kerlegallgroup.com

[X] BY EMAIL SERVICE

[X] VIA ONE LEGAL: Pursuant to California Rules of Court, rule 2.251(b)(2), I caused the document(s) described above to be transmitted electronically via ONE LEGAL to the persons at the e-mail address(es) listed above.

[X] STATE: I declare under penalty of perjury under the laws of the State of California that the above is true and correct.

Executed on September 16, 2022, at Newport Beach, California.

/s/ Brenda Newkirk

BRENDA NEWKIRK

Richard W. Vanis, Jr. (Bar No. 186302)
rvanis@mvjllp.com
Matthew J. Eschenburg (Bar No. 198279)
meschenburg@mvjllp.com
MOKRI VANIS & JONES LLP
4100 Newport Place Drive, Suite 840
Newport Beach, CA 92660
Telephone: 949.226.7040
Facsimile: 949.226.7150

Attorneys for Defendants/Cross-Complainants,
Joseph A. Del Signore aka Joseph Del Signore and
Michaela O. Del Signore aka Michaela Del Signore

SUPERIOR COURT OF THE STATE OF CALIFORNIA
FOR THE COUNTY OF ORANGE
CENTRAL JUSTICE CENTER

JAYNE LALLY, an individual, MARSHALL
J. LALLY, an individual, and MELISSA
LALLY MILLARD, an individual,

Plaintiffs,

v.

JOSEPH A. DEL SIGNORE aka JOSEPH
DEL SIGNORE, an individual; MICHAELA
O. DEL SIGNORE aka MICHAELA DEL
SIGNORE, an individual; CITY OF
NEWPORT BEACH, a government entity,
and DOES 1-50, inclusive,

Defendants.

CASE NO. 30-2021-01185766-CU-OR-CJC

[Hon. Linda S. Marks; Dept. C25]

AMENDMENT TO CROSS-COMPLAINT

Complaint filed: 2/23/2021
Trial date: 1/9/2023

TO ALL PARTIES AND TO THEIR RESPECTIVE ATTORNEYS OF RECORD:

Upon the filing of its Cross-Complaint in the above-entitled action, Defendant/Cross-Complainant Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del Signore aka Michaela Del Signore ("Cross-Complainant"), being ignorant of the true name of all Cross-Defendants named therein and having designated unknown Cross-Defendants in its Cross-Complaint by the fictitious name of ZOES, has discovered the true name of the Cross-Defendant to be as follows:

ZOE 1: KMK DEVELOPMENT, INC.

1 Cross-Complainant amends its Cross-Complaint by substituting the true names for the fictitious
2 names wherever they appear in said Cross-Complaint.

3
4 Dated: September 16, 2022

MOKRI VANIS & JONES, LLP

5
6 By: /s/ Matthew J. Eschenburg
7 Richard W. Vanis, Jr.
8 Matthew J. Eschenburg
9 Attorneys for Defendants/Cross-
10 Complainants, Joseph A. Del Signore aka
11 Joseph Del Signore and Michaela O. Del
12 Signore aka Michaela Del Signore
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CASE NUMBER: 30-2021-01185766-CU-OR-CJC

On September 16, 2022, I served the foregoing document described as: **XXX** in this action as follows:

E : chris@rudderowlaw.com
shadee@rudderowlaw.com

E: Amber@kerlegalgroup.com
keith@kerlegalgroup.com

[X] STATE: I declare under penalty of perjury under the laws of the State of California that the above is true and correct.

Executed on September 16, 2022, at Newport Beach, California.

/s/ Brenda Newkirk
BRENDA NEWKIRK

Richard W. Vanis, Jr. (Bar No. 186302)
rvanis@mvjllp.com
Matthew J. Eschenburg (Bar No. 198279)
meschenburg@mvjllp.com
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4100 Newport Place Drive, Suite 840
Newport Beach, CA 92660
Telephone: 949.226.7040
Facsimile: 949.226.7150

Attorneys for Defendants/Cross-Complainants,
Joseph A. Del Signore aka Joseph Del Signore and
Michaela O. Del Signore aka Michaela Del Signore

SUPERIOR COURT OF THE STATE OF CALIFORNIA

FOR THE COUNTY OF ORANGE

CENTRAL JUSTICE CENTER

JAYNE LALLY, an individual, MARSHALL J.
LALLY, an individual, and MELISSA LALLY
MILLARD, an individual,

Plaintiffs,

v.

JOSEPH A. DEL SIGNORE aka JOSEPH DEL
SIGNORE, an individual; MICHAELA O. DEL
SIGNORE aka MICHAELA DEL SIGNORE, an
individual; CITY OF NEWPORT BEACH, a
government entity, and DOES 1-50, inclusive,

Defendants.

JOSEPH A. DEL SIGNORE aka JOSEPH DEL
SIGNORE, an individual; MICHAELA O. DEL
SIGNORE aka MICHAELA DEL SIGNORE, an
individual,

Cross-Complainants,

v.

AVEX BUILDERS, INC., DEREK DANIEL LA
MARQUE and ZOES 1-100, inclusive,

Cross-Defendants.

CASE NO. 30-2021-01185766-CU-OR-CJC

[Hon. Linda S. Marks; Dept. C25]

**CROSS-COMPLAINT OF JOSEPH A. DEL
SIGNORE and MICHAELA DEL SIGNORE
FOR:**

**1. NEGLIGENCE;
2. BREACH OF EXPRESS WARRANTIES;
3. BREACH OF IMPLIED WARRANTIES;
4. INTENTIONAL
MISREPRESENTATIONS;
5. NEGLIGENT MISREPRESENTATIONS;
6. CONCEALMENT;
7. VIOLATION OF BUSINESS &
PROFESSION'S CODE SECTION 17200;
8. IMPLIED INDEMNITY;
9. EQUITABLE INDEMNITY;
10. CONTRIBUTION AND EQUITABLE
APPORTIONMENT; AND
11. DECLARATORY RELIEF**

Complaint filed: 02/23/2021

Trial date: 01/09/2023

///

///

Richard W. Vanis, Jr. (Bar No. 186302)
rvanis@mvjllp.com
Matthew J. Eschenburg (Bar No. 198279)
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Attorneys for Defendants, Joseph A. Del Signore
aka Joseph Del Signore and Michaela O. Del
Signore aka Michaela Del Signore

SUPERIOR COURT OF THE STATE OF CALIFORNIA

FOR THE COUNTY OF ORANGE

CENTRAL JUSTICE CENTER

JAYNE LALLY, an individual, MARSHALL
J. LALLY, an individual, and MELISSA
LALLY MILLARD, an individual,

Plaintiffs,

v.

JOSEPH A. DEL SIGNORE aka JOSEPH
DEL SIGNORE, an individual; MICHAELA
O. DEL SIGNORE aka MICHAELA DEL
SIGNORE, an individual; CITY OF
NEWPORT BEACH, a government entity,
and DOES 1-50, inclusive,

Defendants.

CASE NO. 30-2021-01185766-CU-OR-CJC

[Hon. Linda S. Marks; Dept. C25]

**DEFENDANT MICHAELA O. DEL
SIGNORE aka MICHAEL DEL SIGNORE'S
VERIFIED ANSWER TO PLAINTIFFS'
VERIFIED COMPLAINT**

Complaint filed: 2/23/2021
Trial date: 1/9/2023

Defendants, Michaela O. Del Signore aka Michaela Del Signore ("Answering Defendant") hereby
answers the Verified Complaint ("Complaint") of Plaintiffs Jayne Lally, Marshall J. Lally and Melissa
Lally Millard (collectively referred to as "Plaintiffs"), and admits, denies, or otherwise avers as follows:

THE PARTIES

1. Answering paragraph 1, Answering Defendant lacks sufficient information to form a belief
as to the truth of the allegations contained in this paragraph.

RUDDEROW LAW GROUP
A Professional Law Corporation
Daniel T. Rudderow (Bar No. 174258)
Chris C. Chapman (Bar No. 234738)
Shadee R. Duarte (Bar No. 291550)
1301 Dove Street, Suite 800
Newport Beach, California 92660
(949) 565-1344
E-mail: shadee@rudderowlaw.com

Attorneys for Plaintiffs,
JAYNE LALLY, MARSHALL J. LALLY, and
MELISSA LALLY MILLARD

SUPERIOR COURT OF THE STATE OF CALIFORNIA

IN AND FOR THE COUNTY OF ORANGE

Assigned for All Purposes

Judge Glenn Salter

JAYNE LALLY, an individual, MARSHALL)
J. LALLY, an individual, and MELISSA)
LALLY MILLARD, an individual,)
Plaintiffs,)

vs.)

JOSEPH A. DEL SIGNORE aka JOSEPH)
DEL SIGNORE, an individual; MICHAELA)
O. DEL SIGNORE aka MICHAELA DEL)
SIGNORE, an individual; CITY OF)
NEWPORT BEACH, a government entity;)
and DOES 1 - 50, inclusive,)

Defendants.)

Case No.: 30-2021-01185766-CU-OR-CJC

Unlimited Civil Case

[JURY TRIAL DEMANDED]

**VERIFIED COMPLAINT FOR
DAMAGES FOR:**

1. PRIVATE NUISANCE;
2. PUBLIC NUISANCE;
3. TRESPASS;
4. NEGLIGENCE;
5. INTENTIONAL INFLICTION
OF EMOTIONAL DISTRESS;
6. VIOLATIONS OF CITY OF
NEWPORT BEACH
MUNICIPAL CODE
7. DECLARATORY RELIEF.

Plaintiffs JAYNE LALLY ("Jayne"), MARSHALL J. LALLY ("Marshall") and MELISSA
LALLY MILLARD ("Melissa") (together, "Plaintiffs") complain against defendants, JOSEPH A.
DEL SIGNORE aka JOSEPH DEL SIGNORE and MICHAELA O. DEL SIGNORE aka

Richard W. Vanis, Jr. (Bar No. 186302)
rvanis@mvjllp.com
Matthew J. Eschenburg (Bar No. 198279)
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Attorneys for Defendants, Joseph A. Del Signore
aka Joseph Del Signore and Michaela O. Del
Signore aka Michaela Del Signore

SUPERIOR COURT OF THE STATE OF CALIFORNIA

FOR THE COUNTY OF ORANGE

CENTRAL JUSTICE CENTER

JAYNE LALLY, an individual, MARSHALL
J. LALLY, an individual, and MELISSA
LALLY MILLARD, an individual,

Plaintiffs,

v.

JOSEPH A. DEL SIGNORE aka JOSEPH
DEL SIGNORE, an individual; MICHAELA
O. DEL SIGNORE aka MICHAELA DEL
SIGNORE, an individual; CITY OF
NEWPORT BEACH, a government entity,
and DOES 1-50, inclusive,

Defendants.

CASE NO. 30-2021-01185766-CU-OR-CJC

[Hon. Linda S. Marks; Dept. C25]

**DEFENDANT JOSEPH A. DEL SIGNORE
aka JOSEPH DEL SIGNORE'S VERIFIED
ANSWER TO PLAINTIFFS' VERIFIED
COMPLAINT**

Complaint filed: 2/23/2021
Trial date: 1/9/2023

Defendants, Joseph A. Del Signore aka Joseph Del Signore ("Answering Defendant") hereby
answers the Verified Complaint ("Complaint") of Plaintiffs Jayne Lally, Marshall J. Lally and Melissa
Lally Millard (collectively referred to as "Plaintiffs"), and admits, denies, or otherwise avers as follows:

THE PARTIES

1. Answering paragraph 1, Answering Defendant lacks sufficient information to form a belief
as to the truth of the allegations contained in this paragraph.

Richard W. Vanis, Jr. (Bar No. 186302)
rvanis@mvjllp.com
Matthew J. Eschenburg (Bar No. 198279)
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Attorneys for Defendants, Joseph A. Del Signore
aka Joseph Del Signore and Michaela O. Del
Signore aka Michaela Del Signore

SUPERIOR COURT OF THE STATE OF CALIFORNIA

FOR THE COUNTY OF ORANGE

CENTRAL JUSTICE CENTER

JAYNE LALLY, an individual, MARSHALL
J. LALLY, an individual, and MELISSA
LALLY MILLARD, an individual,

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JOSEPH A. DEL SIGNORE aka JOSEPH
DEL SIGNORE, an individual; MICHAELA
O. DEL SIGNORE aka MICHAELA DEL
SIGNORE, an individual; CITY OF
NEWPORT BEACH, a government entity,
and DOES 1-50, inclusive,

Defendants.

CASE NO. 30-2021-01185766-CU-OR-CJC

[Hon. Linda S. Marks; Dept. C25]

**DEFENDANT JOSEPH A. DEL SIGNORE
aka JOSEPH DEL SIGNORE'S VERIFIED
ANSWER TO PLAINTIFFS' VERIFIED
COMPLAINT**

Complaint filed: 2/23/2021
Trial date: 1/9/2023

Defendants, Joseph A. Del Signore aka Joseph Del Signore ("Answering Defendant") hereby
answers the Verified Complaint ("Complaint") of Plaintiffs Jayne Lally, Marshall J. Lally and Melissa
Lally Millard (collectively referred to as "Plaintiffs"), and admits, denies, or otherwise avers as follows:

THE PARTIES

1. Answering paragraph 1, Answering Defendant lacks sufficient information to form a belief
as to the truth of the allegations contained in this paragraph.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

RECEIVED BY
COMMUNITY
DEVELOPMENT

APR 05 2022

CITY OF

NEWPORT BEACH

Three Year Construction Time Limit Extension
Building Official Application

Project Address: 112 KINGS PLACE, N.B.		Receipt No.:	
Permit No.: X 2018-3347	Original Permit Issued Date: 04/01/2019	Extension Fee: \$	Date Fee Paid: / /
PETITIONER/PROPERTY OWNER INFORMATION			
Name (Must be payor of fees): DON BERGERON		Company Name: KMK DEVELOPMENT INC.	
Street Address: 220 NEWPORT CENTER DR. #11-350		City: NEWPORT BEACH	State: CA
Email: DON@KMKDEVELOPMENT.COM		Zip Code: 92660	Phone: 949. 322. 5179
PROJECT INFORMATION			
Length of extension requested: 3 MONTHS POSSIBLY 4 MONTHS.			
New end date if request is approved: 09/01/2022 OR 10/01/22			
Previous Extension(s) Granted? (Y/N): If Yes, How Many?:			
Description of Work Under Permit: REMODEL OF 10K SQ FT CUSTOM HOME			
Reason for Extension Request (Attach Supporting Documents as Needed) SEE ATTACHED DOCUMENT DATED, PROJECT DELAYS, PRODUCT SHIPPING DELAYS, COVID 19 PANDEMIC SHUT DOWN C, BACKLOGGED SHIPPING AND LABOR DELAYS.			
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.			
Petitioner's Signature: [Signature]		Relationship to Property Owner: CONTRACTOR / OWNERS Rep.	Date: 3 / 30 / 22
FOR STAFF USE ONLY			
Department Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied			
Conditions of Approval or Comments: PERMIT SHALL EXPIRE ON 10-01-2022 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER.			
Building Inspector Reviewed:	Name: Chad Shelton	Signature: [Signature]	Date: 4 / 5 / 22
Building Official Approval:	Name: TONGEE HAI	Signature: [Signature]	Date: 05 / 20 / 22



March 30, 2022

To: Tonee Thai @ The City of Newport Beach Building Department

Regarding: Application for extension of existing building permit
#X2018-3347 for 112 Kings Place, Newport Beach CA 92660

Dear Mr. Thai,

The following document represents a portion of the supporting documentation and information that is being requested per the letter received by the office of KMK Development Incorporated for the above-mentioned permit and address for the requested extension of the existing building permit.

Over the course of the time, as the General Contractor and Owners representative on the project, we have faced many challenges. As if the building of a new custom 10K sq.ft. home did not come with its own set of challenges. From inception of the takeover of this custom build, when it was shown that there were 9 open, differing permits within the City permit system to the unknown (at the time) fire related damages that required removal and reframing of existing areas of the home, to the new design requests from the Designer, Owner and Structural engineering changes. We have been met with numerous adversities.

With the appearance of the current pandemic, and supply chain breakdowns, things shifted on multiple fronts and many new and differing challenges have been created that no one was prepared for. Below are just a few of the examples of the effect that the pandemic has had and even to this day has continued to have on the

project, its critical path and all the people involved with it from suppliers, workers, Contractors and Owners.

We are attaching our current schedule that showed the project having its final inspections on 4/18/22. We are not going to be able to meet this schedule based on the situation we have found ourselves in.

We believe that a physical site meeting with Chad Shelton and yourself would show the progress currently being made on attaining our C of O, and also what the scope of work left to complete looks like. We also believe a site meeting will show the detail and complexity of the work that is being described below.

MATERIALS-

- Steel staircases and Iron railings-
 - We have 3 spiral staircases on this project. One is on the exterior right side of the house. This staircase was delayed 4-1/2 months during the course of the pandemic for material shortages as well as an inability for Cresco Manufacturing to be able to sufficiently man the project due to the pandemic. It was finally installed 4-1/2 months behind schedule. The two other spiral staircases are on the interior. The steel for the main staircase (8' radius staircase) was unavailable for the first 6 months that the staircase was scheduled to be started. This staircase still needed to be painted and have the custom wood treads templated and installed prior to the custom radius iron railings being fabricated. There is another smaller spiral staircase that leads up into the guest house that was also delayed in its production.
 - Iron railings: the iron railings are on three floors of this main spiral staircase. All are custom fabricated to

match the 8' radius noted above. There are only 2 small sections of straight railings on this staircase.

- Tile & Stone-

- This is a very large and extremely custom home. The tile and stone for this project is almost one million dollars in total. The delays from the suppliers were numerous and the critical path was devastated due to the pandemic. Tile and stone in some of the auxiliary bathrooms was done long ago. Almost all of the custom tile materials and stone slabs for the kitchen, pantry, kids' room, master bedroom & bath, laundry and entry level decks and courtyard have been delayed on average of 3-5 months. In fact, we just received the kitchen and pantry backsplash on 2/25/22. The master bathroom and great room fireplace slabs were received on 3/18/22, 4 months behind our schedule.

- Lighting control-

- This project has a whole house lighting system that is controlled by a Lutron lighting system. The guts for the system were installed long ago during the rough phase portion of the project. The trims, controllers, keypads and touch screens have been on backorder for 5 months. We are now being told that we can expect delivery of these devices on May 16, or possibly sooner. This is a significant delay in our finish schedule. These keypads and controllers are the backbone of the lighting system. Without these we don't have lights or control of the house systems.

- Miscellaneous-
 - Concrete-It took 4 weeks to get 2 loads of concrete for AM delivery from Gary Bale concrete. This delayed our driveway and courtyard subbase by almost a month.
 - Waterproofing- The quantity required of Gaco Western LM-60 epoxy waterproofing was unavailable for us until 2/7/22 for our main deck waterproofing as well as our pool deck.
 - Sheetmetal-Deck sheet metal was delayed due to supply chain hold ups with supplier.

LABOR-

- All trades associated with the project took on significant labor shortage issues due to the pandemic and supply chain availability. Our stone mason, Young Ideas Construction lost one of their employees to Covid. At the height of the pandemic, we had almost no workers on the project while the mask mandates and OSHA requirements were being slowly understood and put into effect. This really hurt our critical path for our projected schedule (see attached).

OWNER RELATED ISSUES-

- The Owner of the property had numerous issues with their business that slowed down their ability to pay on invoices for the project due to the pandemic and their own businesses being affected. To date, all invoices are now paid and at the time of the writing of this letter the project is back online and moving at a much smoother pace.

WHAT WE ARE ASKING OF THE CITY-

- KMK Development is asking for an onsite meeting with yourself (Tonnee Thai) and Chad Shelton our building inspector. At that meeting we would like to walk the project and show the progress we are making in our attempt to complete the project in a timely manner, as well as request an extension of 3-4 months to get our certificate of occupancy. As stated above, we are beginning to come back online with full crews and materials being installed on a daily basis. On average, we now have between 10-25 workers on site daily pressing towards our completion. We anticipate no further delays.
- We would ask that the City also forward this letter and our "time limit extension application to the administration hearing officer for their review and approval. If necessary, we would also ask that the AHO be present at the coordinated site meeting.

KMK Development has been working in the City of Newport Beach for 30 years. We pride ourselves in our craftsmanship and communication on difficult projects. Although this project has been a challenge, we would ask that the city grant an extension too our permit so we can provide our Client with the custom home they deserve without any further delay or hindrance.

Please confirm receipt of this letter and application upon its receipt to our office at the address/email listed below

To schedule the onsite meeting, please contact Don Bergeron at 949.322.5179

Thank you for your time and for your consideration to this extension request.

K.C. Shepherd
Director of Operations
KMK Development Incorporated
220 Newport Center Drive, Suite 11-350
Newport Beach, CA 92660
949.709.2902 O
949.709.2904 F

CC:
Chad Shelton
Matt Eschenburg ESQ.
Don Bergeron

Attachments:
Time limit extension application dated 03/30/2022
112 Kings Place existing project schedule dated 04/07/2021

KMK DEVELOPMENT INC.

May 3, 2022

To: Tonee Thai @ The City of Newport Beach Building Department

From: KMK Development (General Contractor/Michaela Del Signore
(Owner)

Mr. Thai,

I approve of the request from KMK Development Incorporated (Don Bergeron) for the permit extension as detailed in his written letter to you dated March 30, 2022.

Michaela Del Signore

Date:

5/17/22