

CITY OF NEWPORT BEACH ADMINISTRATIVE HEARING STAFF REPORT

| SUBJECT: | Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2 |
|------------------------|--|
| PERMITS: | Under plan check 2601-2018: XR2022-2525, XR2022-2504, XR2022-2503, X2018-3347 |
| | Under Plan Check 1114-2021: X2021-1276 |
| SITE LOCATION: | 112 Kings Place |
| APPLICANT: | Anthony Ferro |
| PROPERTY OWNER: | Joseph Del Signore |
| BUILDING INSPECTOR: | Chad Shelton |
| PREPARED BY: | Tonee Thai, Chief Building Official - 949-718-1867, <u>tthai@newportbeachca.gov</u> |

PROJECT SUMMARY

A single-family dwelling addition of 277 square feet (sf). to the living area and 42 sf. of the garage with interior alterations of 7600 sf. Construct a new detached 390 sf. patio covered with gas and electricity for the barbeque. Construct an 8' high entry gate.

BUILDING PERMIT HISTORY

This project started with Permit X2007-3157 issued on 03/11/2008 with subsequent permits that had since expired. Currently, only referenced permits above are subject to Newport Beach Municipal Code 15.02.095 with an initial three-year construction limit expiration date of June 1, 2022.

Permit XR2022-2503 is a supplement permit to X2018-3347 to document a change of contractor for the permit.

Permit XR2022-2504 is a supplement permit to X2021-1276 to document a change of contractor for the permit.

All major inspection items are documented under the initial permits.

Permit X2018-3347 was issued on April 1, 2019.

The first inspection was on April 10, 2019.

The last inspection was on September 20, 2021.

Please refer to Attachment No. 1 for detailed permit history.

Notice of pending 3-Year Construction Limit expiration was sent on March 30, 2022 Please refer to Attachment No. 2 for detailed notice.

BUILDING OFFICIAL EXTENSION

The chief building official granted an extension for a three-year construction time limit on May 20, 2022, and September 29, 2022, with an expiration date of December 31, 2022. (Attachment No. 3)

RECOMMENDATION

- 1) Conduct a public hearing;
- Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

PUBLIC NOTICE

Notice of this Hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code.

Attachments:

Attachment No.1 – Building Inspection History Attachment No. 2 – Notices of Pending Permit Expiration Attachment No. 3 – Building Official Extension

Attachment No. 1

Building Inspection History

City of Newport Beach





COMB Permit : **XR2022-2503**

Plan Check No : Issued Date : 04/01/2019 Inspection Area : 3

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

| | | Text Sector S |
|---|---|---|
| Job Address : 112 KINGS PL Description : SFR - ADD 277 SF, 42 SF GARAGE. Owner : JOSEPH DELSIGNORE Address : 112 KINGS PL NEWPORT BEACH, CA 92663 | Legal Dest : NTR-1218 BLKE LOT.3 INTERIOR ALTERATIONS 7600 SE CHG OF CONTRACTOR* Date: Contractor : BALDWIN BIOLDERS Ardress 82 V ARROWN-WY #M SAN DUMAS DA9177 | If applicable: B0% or D100% refund Architect: LIGHT CHRISTIAN R Addres WhOM01 QUAIL ST #120 NEWPORT BEACH, CA 92660 |
| Phone : Applicant : BALDWIN BUILDERS Address : 482 W ARROW HWY #M SAN DIMAS, CA 91773 Phone : (909) 599-0033 | Phone : 909/599-0039 Con State Lic : 992380 Lic Expire : 04/30/2024 Box Lic : 5030/7567 Bus Lic Expire: 05/31/2023 Watters' Compensation Insurance Carrier : | Phone : (949) 851-8345 State Lic : Engineer : LARSON HAROLD EUGENE Address : 1437 GLENNEYRE ST LAGUNA BEACH, CA 92651 Phone : (949) 497-5203 |
| Owner/Builder : Address : Phone : Code Edition : 2019 Type of Construction : V-B Occupancy Groups : U,R-3 Bldg Height : | Policy No: 9133923 W. C. Expire: 5/27/2023 Scanplan Fire Sprinklers: NO Fire Hazard Zone: NO No of Units: 1 No No of Stories; 3 | Peliging Card plan Phile Work started) Construction Valuation: \$0.00 Added/New/TI sq. ft. Bldg: 0 Alteration schrittspildgilitials Added/New sq. ft. Garage: 0 |
| Building Setbacks : Front: 10, Side: 4, Side: 4, Ref Flood Zone : X Use Zone : R-1 - Single-Unit Residential PROCESSED BY : X | | INSPECTOR |
| SPECIAL CONDITIONS: | φ δρ. 35 φ 57 72 72 72 15 δ. 55 57 65 65 16 δ. 55 75 φ δρ. 55 65 16 φ δρ. 5 φ δρ. 5 65 17 φ δρ. 5 φ δρ. 5 6 18 φ δρ. 5 φ δρ. 5 6 19 φ δρ. 5 φ δρ. 5 6 19 φ δρ. 5 φ δρ. 5 7 10 φ δρ. | |

OWNER-BUILDER DECLARATION

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| Business and Profession | ns Code: The C | Contractors' Sta | ate License Law does not apply to an owner of propert | (_) portions of the work, and the structure is not intended or offered for sale (Section 7044, y who, through employees' or personal effort, builds or improves the property, provided that the |
| | | red for sale. If, | , nowever, the building or improvement is sold within o | ne year of completion, the Owner-Builder will have the burden of proving that it was not built or |
| improved for the purpose | · · | | attent with the second Constant of the second second second second | and a 2014 Russiana and Reference Cade The Contractor' State License Law door not |
| apply to an owner of pro | perty who build | is or improves | thereon, and who contracts for the projects with a lice | Section 7044, Business and Professions Code: The Contractors' State License Law does not nsed Contractor pursuant for the Contractors' State License Law). |
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| By my signature below i | acknowledge | inal, except for | r my personal residence in which I must have resident | or at least one year prior to completion of the improvements covered by this permit, I cannot legally contractors. I understand that a copy of the applicable law, Section 7044 of the Business and |
| Professione Code lie av | ailabla unon ra | mier-ouncer n | is application is submitted or at the following Web sites | terinacions, i un den terinaciona a copy or ine applicable law, socior, rous or ine positiess and |
| Signature of Property O | wher or Author | ized Agent | | Date |
| LICENSED CONTRA | CTOR'S DEC | LARATION | | to whom. |
| I hereby affirm under pe | nalty of penjury | that I and both | sent underprovisions of chapter 94 commencing with | Section 6907 of Division 3 of the Business and Professions-Code and my license is In full force |
| and effect. License Cla | | 2 | Linse No | Date X 9-3/-7074 Contractor Signature |
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| mat, a i should become | Subject to the | Norkers comp | ensition provisions of Section 3700 of the Labor Code (WOTK STATLEY) | , I shall for a with comply with mose provisions. |
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| | nalty of perjury | that there is a | Construction lending agency for the performance of th | e work for which this permit is a sure (Section 3097, Civil Code) |
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| CERTIFICATE OF | | | ASBESTOS NOTIFICATION IS NOT APPLICABLE TO | |
| OCCUPANCY ISSUED | | | PROPOSED DEMOLITION SIGNATURE: | |
| | , | | 1 MINING MILES | |

| | City of Newport B 100 Civic Center Drive, New Permit Counter Phone (949) Inspection Requests Phone | port Beach, CA 92660 644-3288 (949)644-3255 | ivision | X 2 Ø 1 8 | | Project No : 26 | | 3347 |
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| Owner: DEL S Address: 112 KI NEWP Phone: | IGNORE JOSEPH A NGS PL PORT BEACH, CA 92663 | Contractor Address Phone | 220 NEWPOF MEWPORT B 949-322-5179 | RT CENTER DR #11-350 EACH CA 92660 | 0 Addressinn 149 200 | RISTIAN R RIL ST #120 IT BEACH CA 92660 13451 00 State LIC CO2 | 2334 | |
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AD CONTRACTOR

City of Newport Beach Community Development Department - Building Division

newportbeachca.gov/inspections Combination Type - SFP Work Class - Other

100 Civic Center Drive, Newport Beach, CA 92660 Permit Counter Phone: (949) 644–3288

Inspection Requests Phone: (949) 644-3255



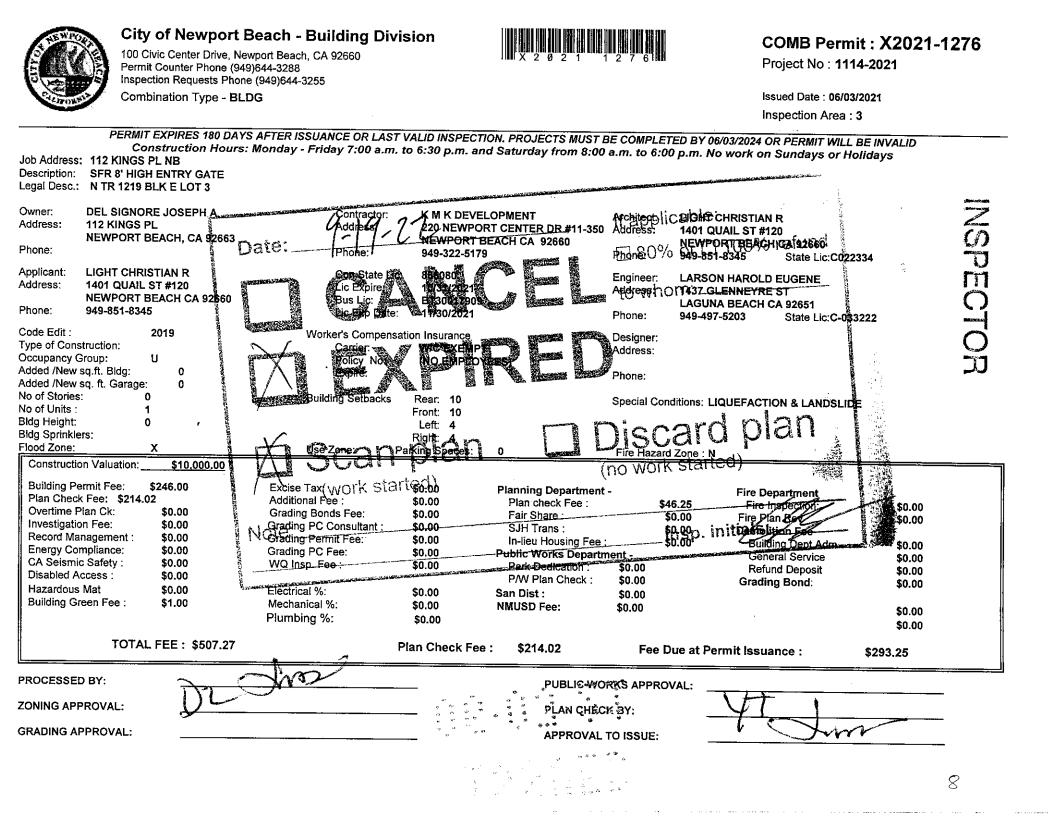
COMB Permit : XR2022-2525

Plan Check No : Issued Date : 09/20/2022 Inspection Area : 3

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

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| SAN DIMAS, CA 91 Phone : (909) 599-0033 | 113 | Workers' Compensa Carrier : | ation Insurance | F | Phone : | · | |
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SPECIAL CONDITIONS:



OWNER-BUILDER DECLARATION

| | I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalt not more than five hundred dollars (\$500). | s and 📗 |
|---|--|--------------|
| | I, as owner of the property, or my employees with wages as their sole compensation, will do (_) all of or (_) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal offert, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built o improved for the purpose of sale). | or |
| 1 | I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Hofessions Code: The Contractors' State License Law does no apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractorsburstant to the Contractors' State License Law). | not |
| | Lam exempt from licensure updening contractors' State Loanse Lawtor the following reason | |
| | By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year on the improvements covered by this permit, I cannot I sell a structure that I have built as an owner beider if it has not been constructed in its entirety by licencedes residences. I understand that a copy of the applicable law, Section 7044 of the Business and | legaliy i |
| | Professions Code is available upon request when this application is submitted or at the following the site http://www.jeginfo.ca.gov/calaw.html | |
| | Signature of Property Owner or Authorized Agent Date Date | |
| | I hereby affirm under penalty of perfury the I am licensed under provision of hereby affirm under penalty of Division 3 of the Business and Protessions Code, and my license is in full fo | orce |
| | WORKERS' COMPENSATION DECLARATION | |
| | WARNING: FAILURE TO SECURE WORKERS' DOMPENSATION COVERAGE IS UNLAWFUL, AND STATE OF LIGHT DY TATO CRIMINAL PURALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND COLLARS (\$100,000), IN ADDITION T ICOST OF COMPENSATION, DAMAGES AS PRAVIDED FOR IN SECTION 3706 CRIMINAL PURALTICE TO THE PURALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND COLLARS (\$100,000), IN ADDITION T | TO THE |
| | I hereby affirm under penalty of perjury one of the following declarations: | |
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| | Signature of Applicant R | |
| | DECLARATION REG/REMG CONSTRUCTION LENDING AGENCY | |
| | Lender's NameLender's Address | |
| | By my signature below, I certify to each of the following: I am the property owner or authorized to act on the property owner's behalf | |
| | I have read this application and the information I have provided is correct. | |
| | I agree to comply with all applicable city and county ordinances and state laws relating to building construction. I authorize representatives of this city or county to enter the above-identified property for inspection purposes. | , |
| | Signature of Property Owner or Authorized Agent Date above-identified property for inspection purposes. | 21 |
| | ACTION DATE BY DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL FOR OFFICE USE ONLY REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE | |
| | a 1/1 1903 | |
| | PERMIT EXPIRED 9-19.22 I I SUBMITTED ASBESTOS NOTIFICATION TO | |
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| | CERTIFICATE OF PROPOSED DEMOLITION | ĺ |
| | OCCUPANCY ISSUED SIGNATURE: | |
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City of Newport Beach

Community Development Department - Building Division 100 Civic Center Drive, Newport Beach, CA 92660 Permit Counter Phone: (949) 644-3288 Inspection Requests Phone: (949) 644-3255 newportbeachca.gov/inspections Combination Type - SFP Work Class - Other



COMB Permit : XR2022-2504

Plan Check No : 2601-2018 Issued Date : Inspection Area : 3

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PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS If applicable: Job Address: 112 KINGS PL Date egal Desc : N TR 1219 BLK E LOT 3 Description : SFR DETACHED PATIO COVER 390 SF W/ GAS/ELEC TO BBO CHEOF CONTRACTOR Owner: JOSEPH DELSIGNOR BARD WIN BUILD to whor Architect : Contractor 🗟 LIGHT CHRISTIAN R Address : 112 KINGS PL WREDWEIMP## 1401 QUAIL ST 欄20 NEWPORT BEACH, Address : NEWPORT BEACH, CA 926 SAN DIMAS, CA 91773 CA 92660 Phone : Phone : (909) 599-0033 (949) 851-8345 Phone : Con State Miles State Lic : Lic Expire Applicant: BALDWIN BUILDERS Engineer : LARSON HAROLD EUGENE 482 W ARROW HWY #N Address : Ever Lic Expire : 0573172023 1437 GLENNEYRE ST Address : SAN DIMAS, CA 91773 LAGUNA BEACH, ICA 92651 Phone : (909) 599-0033 Workers' Compensation Insurance Phone : (949) 497-5203 Carrier : Owner/Builder: Rolley No **WIC** Expire Address : (no work started) (work started) Phone : Phone : Code Edition : Fire Sprinklers : NO Construction Valua Note. Type of Construction: V-B Fire Hazard Zone : NO In Syded Min Alter ft Blat Occupancy Groups : U No of Units : 1 Alteration sq. ft. Bldg.: Bldg Height : No of Stories : Added/New sg. ft. Garage : 0 Building Setbacks : Front: 10, Side: 4, Side: 4, Rear: 10 Flood Zone : х INSPECTOR Use Zone : R-1 - Single-Unit Residential V **PROCESSED BY:** SPECIAL CONDITIONS:

OWNER-BUILDER DECLARATION

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| I hereby affirm under per (Section 7031.5, Business the permit to file a signed s Professions Code) or that I not more than five hundred | and Profession statement that I ne or she is exe | ns Code: Any ne or she is li ampt from lic | city or county censed pursua | that requires a perr ant to the provisions | mit to construct, alte of the Contractors' | r, improve, demo State License La | olish, or repair an aw (Chapter 9 (co | y structure, prior | to its issuance, a Section 7000) of | lso requires the a Division 3 of the E | pplicant for Business and |
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| I am exempt from licen By my signature below I ac | sure under the | Contractor | State License | Law or the following | ng reason: | | 180% | | | | cannot ienally |
| sell a structure that I have i Professions Code, is availa Signature of Property Own | built as an own | en-builder if i si when this | t has not been, | constructed maits a | calibaty by lucensed of | contractors. Mind | lerstand that a co | py of the applic | ble law, Section | 7044 of the Busin | ess and |
| LICENSED CONTRACT I hereby affirm under penal and effect. License Class | TOR'S DECL Ity of perjury th | ARATION at tam light | entrana r prov | Isions of Chapter 9 | (commencing with | Section 7000) cl | Division 3 of the | Business and P | | and my license is | in full force |
| WORKERS' COMPENS | ATION DEC | ARATION | | TESETER VICTOR | | | | (| \mathbf{Y} | | |
| WARNING: FAILURE TO SECURE COST OF COMPENSATION, DAM | AGES AS PROVIDE | D FOR IN SECT | ION V7888 THE | LENGOR CODE INTERES | HOT AN EMPLOYER T | | AND CIVIL FINES | UP TO ONE HUND | THOUSAND DOLI | LARS (\$100,000), IN A | DDITION TO THE |
| I hereby affirm under penal | | 19 74 F | the second se | | nanatina Januari his | the Director of | Induction Traints | | the history of | 700 - 7 16-1 - 6-0- | Code for the |
| performance of the work fo | r which this pe | rmit il issuéc | I, Policy No. | | + | | nicc | aru | ylai | | |
| LI have and will maintein insurance carrier and polic carrier STAK F | y number are: | pensation in | Mice Nimbe | (JO33423 | -557 | Code, for the per | (no wege | (starteg) | 120122 | | compensation |
| Name of Agent _ Unit | | e / | | work starte | .d) | | Phone | # <u>909-6</u> | 599-003 | | - |
| I certify thet, in the perfort that, if I should become sul | ormance of the bject to the wo | work for whit kers' compe | ch this permit à | s issued, I shall not | employ any person | in any manner s <u>I shall forthwith</u> | - All and a state of the second | | | ion-laws of Califo | mia, and agree |
| Signature of Applicant | 11 | | lote. | | | | | nsp. initi | als d | 五十213 | 12 |
| DECLARATION REGARM I hereby affirm under pena | | | | | | | | nation 201 | Chuil Code) | | |
| Lender's Name | | | | | deca Address | | ans permitis iss | | | | |
| By my signature below, I/c | - | | | | | | | | | | |
| I am the property owned | | | | | | | | | | | |
| I have read this applica I agree to comply with | | | | | ina ta buildina const | niction. | | | | | |
| l authorize representat | | | | | v for inspection pur | poses. | | 0 | 10 - | | |
| Signature of Property Own | er or Authorize | d AgentV | / /k | | Print Property | Owner's or Auth | norized Agent's N | iamer 6m/ | hypro | Date | |
| ACTION | DATE | ВУ | | OF COMPLIANCE WIT PART 61 OF TITLE 40 | TH CODE OF FEDERAL | | | -η | 7 | | |
| PERMIT EXPIRED | -2-23 | app | | D ASBESTOS NOTIFIC | ATION TO | | * * * | *** *** | | | · · · · · · · · · · · · · · · · · · · |
| PERMIT CANCELLED | | | D EPA | | | | | • | | | |
| PERMIT EXTENDED | | 1 | | | | •• | * * | | | | |
| PERMIT FINAL | | | | NOTIFICATION IS NOT | APPLICABLE TO | | | | | | |
| CERTIFICATE OF | | | PROPOSED DE | MOLITION | | | | و س ۲۰ | | | |
| OCCUPANCY ISSUED | I | | SIGNATURE: | <u> </u> | | | | <u> </u> | <u></u> | | |
| | | | | | | | | | | | |

City of Newport Beach - Building Division COMB Permit : X2021-1275 100 Civic Center Drive, Newport Beach, CA 92660 Project No : 1114-2021 Permit Counter Phone (949)644-3288 Inspection Requests Phone (949)644-3255 Issued Date : 06/03/2021 Combination Type - SFP ELEC PLUM Inspection Area : 3 PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 06/03/2024 OR PERMIT WILL BE INVALID Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays Job Address: 112 KINGS PL NB Description: SFR DETACHED PATIO COVER 390 SF W/ GAS/ELEC TO BBQ Legal Desc.: N TR 1219 BLK E LOT 3 Owner: DEL SIGNORE JOSEPH A Contractor: K M K DEVELOPMENT Architect: LIGHT CHRISTIAN R 112 KINGS PL Address: Address: 220 NEWPORT CENTER DR #11-350 Address: 1401 QUAIL ST #120 IT ap NEWPORT BEACH CA 92660 **NEWPORT BEACH, CA 92663** NEWPORT BEACH CA 92660 Phone: Phone: 949-322-5179 (949-851-8345 100 State to C022334 Phone: Engineer 8 Applicant: LIGHT CHRISTIAN R Date: Con State Lic: 866080 Address: 1401 QUAIL ST #120 Lic Expire: 10/31/2021 Address: **1437 GLENNEYRE ST NEWPORT BEACH CA 92660** ET300 1909 Bus Light LAGUNA BEACH CA 92651 Phone: 949-851-8345 130/2021 Lic Exp Date Rhone: 10 949-497-5203 State Lic:C-033222 Code Edit : 2019 Wonter's Compensat udin insumanice Designer: Type of Construction: VB. Carrier W/C EXEMPT Address: (NO EMPLOYEES) U **新政府** Occupancy Group: Policy No: Added /New sq.ft. Bldg: n Expire Phone Added /New sq. ft. Garage: n No of Stories: ting Setbacke 0 Special Conditions: LANDSLIDE & LIQUEFACTION No of Units : 0 Ton Bldg Height: 0 Left: 4 seard plan Bldg Sprinklers: Right: 4 Flood Zone: Х Use Zone: Parking Spaces: Construction Valuation: \$20.000.00 (no work started) Building Permit Fee; \$381.00 \$000 Planning Department -Fire Department Plan Check Fee: \$266.75 \$0.00 \$6000(ed) Additional Ree Plan check Fee : \$46.25 Fire Inspection: Grading Boards Fee WOTK Grading PC Consultant : Overtime Plan Ck: \$0.00 Fair Share : \$0.00 Fire Plan.Rev-Investigation Fee: \$0.00 \$0.00 SJH Trans : \$0.02 Demolition Fee Record Management : \$20.00 Grading Permit Fee: \$0.00 Building Spt A In-lieu Housing Fee : \$0.00 Grading PC Fee: insp. Energy Compliance: \$0.00 \$0.00. Public Works Department -0 00 CA Seismic Safety : \$2.60 WQVrSp.\Fee-\$0.00 Park Dedication : \$0:00 Befund Deposit \$0.00 Disabled Access : \$0.00 P/W Plan Check : \$43.00 Grading Bond: \$0.00 Hazardous Mat \$0.00 Electrical %: \$26.67 San Digt \$0.00 Building Green Fee : Mechanical %: \$1.00 \$0:00 NMUSD Fee: \$0.00 \$0.00 Plumbing %. \$34.29 \$0.00 TOTAL FEE: \$821.56 Plan Check Fee : \$313.00 Fee Due at Permit Issuance : \$508.56 PROCESSED BY: PUBLIC WORKS APPROVAL: ZONING APPROVAL: **PLAN CHECK BY:** GRADING APPROVAL: APPROVAL-TO ISSUE:

| OWNER-BUILDE | R DECLARA | TION | | | | | | | |
|---|--|--|---|---|---|--|---|---|--|
| (Section 7031.5, Busine the permit to file a signe Professions Code) or th not more than five hund | ess and Profess ad statement th lat he or she is lred dollars (\$50 | sions Code: An at he or she is exempt from lic 00). | y city or county that red licensed pursuant to th censure and the basis | actors' State License Law for quires a permit to construct, ne provisions of the Contract for the alleged exemption. A | alter, improv ors' State Lie ny violation e | ve, demolish, or repair cense Law (Chapter 9 of Section 7031.5 by a | any structure, prior t (commencing with S ny applicant for a pe | o its issuance, also requ ection 7000) of Division rmit subjects the applica | ires the applicant for 3 of the Business and ant to a civil penalty of |
| Business and Professio improvements are not ir | ons Code: The (Intended or offer | Contractors' Sta | ate License Law does a | ompensation, will do (_) all o not apply to an owner of prop or improvement is sold withi | erty who, th | rough employees' or p | ersonal effort, builds | or improves the propert | ty, provided that the |
| improved for the purpos | | | | | | | and the second secon | , | |
| apply to an owner of pro | operty who build | is or improves | thereon, and who cont | ntractors to construct the pro tracts for the projects with a | ect (Section | 17044 Business and I itractor pursuant to the | Professions Code: The Contractors' State I | ne Contractors' State Lic License Law). | ense Law does not |
| I am exempt from li | censure under | the Contractors | State License Law To | or the following reason: e in which i must have reside | d for at load | Fannticable: | apletion of the improv | upmente anveret hu thie | |
| sell a structure that I ha | ve built as an o | wner-huilder if | it has not been constru | united in its entirety by license | et contracto | re Lundoretand that a | conviction and inst | vertients covered by this le law. Section 7044 of t | bermit, I cannot legally |
| Protessions Code, is av | allaolegupon re | quest when this | s application is submitt | ted or at the following Web s | ite:http://ww | w.leginfo.ce.goy/calav | And Vorenan | | no Buomeso una |
| Signature of Property O | wher of Anner | zeerrgent | | | | | | Date | ···· |
| LICENSED CONTRA | CTOR'S DEC | | | | | (000) - E Division - Cu | - D | | |
| and effect. License Cla | ass. | inal and icen | License No. | on an appar al commencing | In Section 7 | W WHYSIP SOT | Contractor Signature | rescions Code, and my l | icense is in full force |
| WORKERS' COMPE | NSATION DE | | | | | ~~/~~~` | | | |
| WARNING: FAILURE TO SECI | URE WORKERS' C | MPENSATION CO | VERAGE IS UNLAWFUL. AN | ND SHALL SUBJECT AN EMPLOYE | R TO CRIMINAL | PENALTIES AND CIVIL FI | ES UP TO ONE HUNDRE | D THOUSAND DOLLARS (\$10) | |
| COST OF COMPENSATION, D | AMAGES AS PROV | SECTOR IN SECT | TION 3706 OF THE LABOR O | ND SHALL SUBJECT AN EMPLOYE | FERRE | | | | Accel a replaced to the |
| l hereby affirm under pe | | | | だいろう こうり おおし 内田 | | | | | |
| I have and will main performance of the work | intain a cort ific k for which this | and of containt parmit is issued | to velf-insure for wor d. Redicy No. | Sectorification is used | by Barbie | ctor of Industrial Rela | ations as provided for | or by Section 3700 of t | he Labor Code, for the |
| I have and will maini | tain worke s' c | origenzation | surance, as required | by Section 3700 of the Lab | or Code, for | the performance of t | he work for which th | is permit is issued. My | workers' compensation |
| insurance carrier and po | olicy number an | e: | • | • | , | | S | | ····· |
| Carrier | <u>}</u> | | Policy Number | F | | herale | | | |
| Name of Agent | <u></u> | \rightarrow | | lan l | | | one# | | |
| that, if I should become | erformance of t subject to the v | he work für whi worvers oprop | en this permittis issued | d/Is CHript employ any per Section 3700 of the Labor Co | son in any r ode, I shallvi | apper so as to be and the providence of the prov | Subject to the work nose provisions. | erst compensation laws | of California, and agree |
| Signature of Applicant | | M | work starte | :u) | | | | 10 0 2 1 | |
| DECLARATION REGAN | valty of perivery | that there is a | CONSTRUCTION LENGING A | gency for the performance o | f the work fo | r which this normit is i | squed (Section 3007 | Civil Code | |
| Lender's Name | | | construction tollaring a | gency for the performance o | | Insp. | initials. | ALL COURT | |
| By my signature below, | I certify to each | n bilithe followin | 9 | | | | COLUMN TWO IS NOT THE OWNER. | A CONTRACTOR OF | ··· ·· |
| | | | e property owner's bel | | NAME OF TAXABLE PARTY. | a an | | | |
| | | | ave provided is correct | | | | | | , |
| i authorize represer | ntn all applicate | e city and cour | enter the above-ident | te laws relating to building co lified property for inspection | | | . (| ~ | · · · |
| Signature of Property O | | | | Print Prop | erty Owner's | or Authorized Agent's | Nama VDral | BERGERON | _ Date _ 6/3/2) |
| ACTION | DATE | | | IPLIANCE WITH CODE OF FEDE | | OFFICE LISE ONLY | | | _Date |
| | DAIL | | REGULATIONS PART 61 | 1 OF TITLE 40 AND AQMD RULE | AL FUR | UFFICE USE UNLY | 1 | | , |
| | | da | 1403- | | | | | | |
| PERMIT EXPIRED | 5-2-22 | 46 | I SUBMITTED ASBES | STOS NOTIFICATION TO | | | | | |
| PERMIT CANCELLED | - | | EPA | | | | | | |
| PERMIT EXTENDED | | | AQMD | • • • • • | | | | | |
| PERMIT FINAL | | | ASBESTOS NOTIFIC | ATION IS NOT APPLICABLE TO | | • | | | |
| CERTIFICATE OF | | | PROPOSED DEMOLITIC | DN | | | | | |
| OCCUPANCY ISSUED | | | SIGNATURE: | | •• •••• | | | | |
| | | | | | • | | | | |
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| | | | | | | | | | |

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City of Newport Beach - Building Division



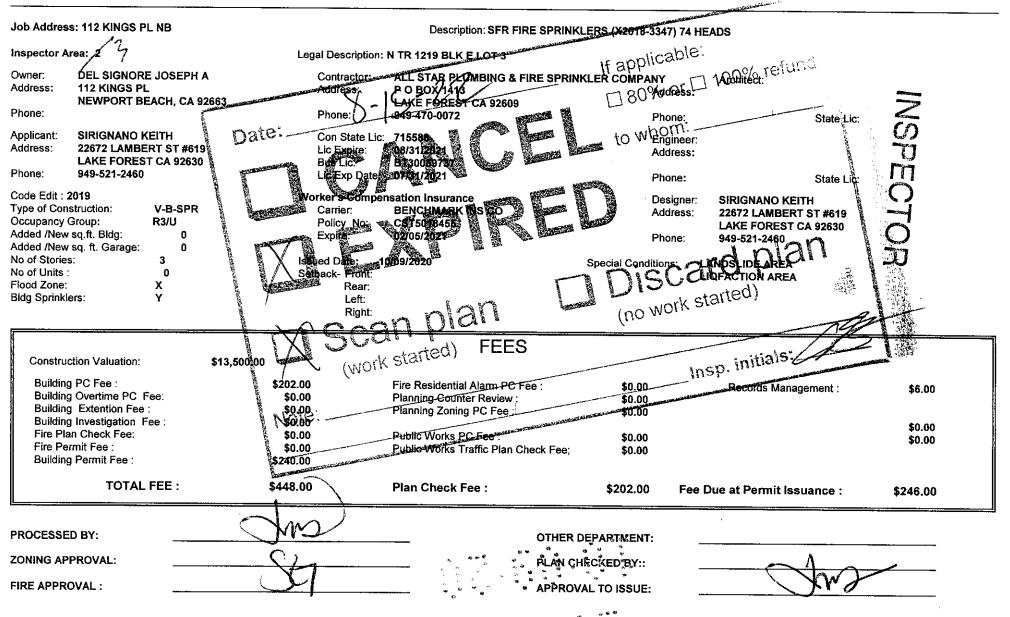
100 Civic Center Drive, Newport Beach, CA 92660 Permit Counter Phone (949)644-3288



FIRE Permit : F2020-0322

Project No : 1386-2020

Inspection Requests Phone (949)644-3255



PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION

OWNER-BUILDER DECLARATION

| | The property of the second sec |
|--|---|
| I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated to (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, of the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Ct Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 703 not more than five hundred dollars (\$500). | or repair any structure, prior to its issuance, also requires the applicant for hapter 9 (commencing with Section 7000) of Division 3 of the Business and 1.5 by any applicant for a permit subjects the applicant to a civil penalty of |
| □ I, as owner of the property, or my employees with wages as their sole compensation, will do (_) all of or (_) portions of the work Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who through employed improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, improved for the purpose of sale). | ees' or personal effort, builds or improves the property, provided that the the Owner-Builder will have the burden of proving that it was not built or MCSDF and the second sec |
| I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Busine apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pureue | ess and Professions Contractors' State License Law does not antito the Contractors' State License Law). |
| □ I am exempt from licensure under the Contractors' State License Law for the following reason: | or to completion of the improvements covered by this permit, I cannot legally |
| License Class | on 3 of the Business and Professions Code, and my license is in full force |
| WORKERS' COMPENSATION DECLARATION WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERESE IS UN AWAUL, AND HALL EUBJECT ALL ENLOYER TO CRIMINAL PENALTIES AND COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION DOS OF THE LABOR CODE INTEREST, AND ATTORNEY'S FEES. I hereby affirm under penalty of perjury one of the following declarations | |
| I have and will maintain a certificate of contractor self-insure for workers' compensation, issued by the Director of Indust | Relations as provided for by Section 370p of the Labor Code, for the |
| All have and will perintain workers' compensation insurance, as required by Section Storight the Labor Code, for the performation insurance carrier | ppopulation Date |
| Lettify that, in the performance of the workers compensation provisions of Section 3700 of the Labor Code, I shall forthwith comp | o become cutect to the workers' compensation Taws of California, and agree |
| Signature of Apolicant | Date 10/9/ 2020 |
| DECLARATION REGARDING CONSTRUCTION LENDING AGENCY I hereby affirm under penalty of perjury that them is a construction lending agency for the performance of the work for which this pullender's Name | ermit is issued (Section 3097, Civil Code). |
| By my signature below, I certify to each of the following: I am the property owner or authorized to act off the property owner's behalf. I have read this application and the information I have provided is correct. | |
| I agree to comply with all applicable city and county ordinances and state laws relating to building construction. I authorize representatives of this city or county to enter the above identified property for inspection purposes. Signature of Property Owner or Authorized Agent Print Property Owner's or Authorized | d Agent's Name + HOLT DOUGHEREN Date 10/9/200 |
| | |
| ACTION DATE BY DECLARATION OF COMPLIANCE WITH COD FEDERAL REGULATIONS PART 61 OF TITLE PERMIT EXPIRED 55-15-27 | 40 AND |
| | V TO: |
| PERMIT CANCELLED | ICABLE TO |
| PERMIT FINAL PROPOSED DEMOLITION. | |
| OCCUPANCYISSUED | |
| | 15 |



PERMIT INSPECTION HISTORY REPORT (X2018-3347) FOR CITY OF NEWPORT BEACH

| Permit Typ | e: Combo l | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DEL | SIGNORE | |
|--------------------------------|----------------------|-------------|-------------|---------------------------|----------|--|--|----------------------------|-------------------|----------|
| Work Class | a: Addition | Alteration | | Issue Date | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BE | | |
| | | | | IVR Numb | er: | 231737 | | | | |
| Scheduled Date | Actual Start Date | Inspectio | on Type | nspection No. | Inspect | tion Status Pri | mary Inspector | | pection uired? | Complete |
| 04/10/2019 04/10/2019 Other Bu | | | - | X2018-3347-A0025 30108 | Арр | proved | | ١ | 10 | Complete |
| | | | Checklist | ltem | сомме | ENTS | | | Appro | ved |
| | | | Other | | Progres | s check for revisi | ons | | Yes | |
| | | | NOTES | Created By | | TEXT | | · · · | Created [| Date |
| | | | | Legacy User | | C000239956 K M K DEVEL | OPMENT | | 07/07/20 | 22 |
| | | | | | | | T CENTER DR #1 [:] EACH CA 92660 | 1-350 | | |
| | | | | Legacy User | | 949-851-8345 | T #120 EACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | NOLAN@CJLI 2 C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | OLD EUGENE YRE ST CH CA 92651 | | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | | 07/07/20 | 22 |
| 06/18/2019 | 06/18/2019 | Soil Pipe | | (2018-3347-A0025 58707 | Арр | roved | | Ν | lo | Complete |
| | | | Checklist I | tem | COMME | NTS | | | Appro | ved |
| | | | Other | | | | | | Yes | |

the second secon

PERMIT INSPECTION HISTORY REPORT (X2018-3347)

| Permit Type: | Combo Residential | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE |
|--------------|---------------------|-------------------|------------|----------|-----------------------------------|
| Work Class: | Addition/Alteration | Issue Date: | 04/01/2019 | Parcel | 049 202 41 |
| Status: | Expired | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA |
| | | IVR Number: | 231737 | | |

| Scheduled Date | Actual Start Date | Inspection | і Туре | Inspection No. | Inspection Status Primary Inspector | Reinspection Required? | Complete |
|-------------------|----------------------|------------|--------|----------------|-------------------------------------|---------------------------|----------|
| | | NOTES | | Created By | TEXT | Created I | Date |
| | | | | Legacy User | DEL SIGNORE JOSEPH A | 07/07/20 | 22 |

| Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2022 |
|-------------|---|------------|
| Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |
| Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |
| Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2022 |

| 06/20/2019 | 06/20/2019 | Footings an Foundation | | | Correction | | Complete |
|------------|------------|---------------------------|----------|-------------|--|---|----------|
| | | | Checklis | st Item | COMMENTS | , | Approved |
| | | | | on Openings | footings ok except gr. bms at garage and entry foyer but must have struc. obs. | | No |

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| Permit Type: | Combo Re | sidential | | Applicat | ion Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|--|---------|--------------|---|-----------------|--|---------------------------|----------|
| Work Class: | Addition/Al | Iteration | | issue Da | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: Expired | | Expiratio | | on Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | | |
| | | | | IVR Num | iber: | 231737 | | | |
| cheduled Date S | Actual itart Date | Inspectior | Type Ir | spection No. | Inspect | tion Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | Created I | Date |
| | | Legacy User C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | | | | 07/07/20 | | | |
| | | | | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | | | 07/07/2022 | |
| | | | | Legacy User | | | OPMENT T CENTER DR #11 EACH CA 92660 | 07/07/20 | 22 |

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SAMSAMI ALI

949-851-8345 ali@cjlight.net

112 KINGS PL

1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660

DEL SIGNORE JOSEPH A

NEWPORT BEACH, CA 92663

Legacy User

Legacy User

| 08/12/2019 | 08/12/2019 08/12/2019 Footings a Foundation | | |)25 Partial Pass | No | Incomplete |
|------------|--|--|---------------------|---|----------|------------|
| | | | Checklist Item | COMMENTS | Approved | |
| | | | Foundation Openings | Remainder of footings and gr. bms ok except need revision as noted. | No | |

07/07/2022

07/07/2022

ļ

| Permit Type: | Combo Res | sidential | | Applicati | ion Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | | |
|--------------------|----------------------|-----------|---------|--|-------------|---|--|-----------------------------------|----------|-----|
| Work Class: | Addition/Alt | teration | | Issue Da | te: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiratio | in Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | | |
| | | | | IVR Num | ber: | 231737 | | | | |
| cheduled Date S | Actual Start Date | nspection | Type Ir | spection No. | Inspect | ion Status Pri | mary Inspector | Reinspection Required? | Complete | |
| | | | NOTES | Created By | | TEXT | | Created | Date | |
| | | | | Legacy User C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11 NEWPORT BEACH CA 92660 949-322-5179 2 | | | 07/07/2 | 022 | | |
| | | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/2 | 022 |
| | | | | Legacy User C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | | | 07/07/2 | 022 | | |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | CH CA 92651 | 07/07/2 | 022 | |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE | T STE 120 ACH CA 92660 | 07/07/2 | 022 | |

| 09/10/2019 | 09/10/2019 09/10/2019 Shear Down | | X2018-3347-A0025 94434 | Partial Pass | No Inco | mplete |
|------------|-------------------------------------|------------------|---------------------------|---|----------------|--------|
| | | <u>Ch</u> Oth | ecklist Item | COMMENTS Ok to dbl side shear as noted | Approved No | |

949-851-8345 ali@cjlight.net

| Anzoiaata anama | | | PECTION | | | RT (X2018- | 3347) | าดการจะสารการเป |
|---------------------|---------------------|-------------------|--------------|-------------------|---------------------------|-----------------|-----------------------------------|-----------------|
| Permit Type: | Combo Residential | Combo Residential | | Application Date: | | Owner: | JOSEPH DELSIGNORE | |
| Work Class: | Addition/Alteration | | Issue Da | ite: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiratio | on Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | IVR Num | ıber: | 231737 | | | |
| Scheduled Date S | Actual Inspectio | n Type Ir | spection No. | Inspect | tion Status Pri | imary Inspector | Reinspection Required? | Complete |
| | | NOTES | Created By | | TEXT | | Created I | Date |
| | | | Legacy User | | C000000296 LIGHT CHRIS | TIAN R | 07/07/20 | 22 |

| Legacy User | LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 0110112022 |
|-------------|---|------------|
| Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |
| Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2022 |
| Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |

| 10/04/2019 10/04/2019 Floor F Sheath | raming & X2018-3347-A0026 ing 05111 | 6 Partial Pass | No Incomplete | |
|---|--|------------------------------|---------------|--|
| | Checklist Item | COMMENTS | Approved | |
| | Other | 2nd floor ok except as noted | No | |

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGN | NORE | | |
|--------------------|----------------------|----------------------------|--------------|-------------------------|--|---|-----------------------|------------------------------|------------|----------|--|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEAC | H, CA | | |
| | | | | IVR Numb | per: | 231737 | | | | | |
| cheduled Date S | Actual Start Date | Inspection | Type Ir | spection No. | Inspecti | on Status Pri | mary Inspector | Reinspec Require | | Complet | |
| | | | NOTES | Created By | | TEXT | | Cre | ated D | ate | |
| | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | | 7/07/202 | 22 | | |
| | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07 | | | | |
| | | | | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | | | 07 | 07/07/2022 | | |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07 | 07/07/2022 | | |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07 | 7/07/202 | 2 | |
| /08/2019 10 |)/08/2019 | Footings and Foundation | | 2018-3347-A0026 6097 | Corre | ction | | No | - | Compiete | |
| | | | Checkiist It | em | COMMEN | ITS | | | Αρριον | ed | |

21 Page 6 of 51

PERMIT INSPECTION HISTORY REPORT (X2018-3347) Combo Residential JOSEPH DELSIGNORE Permit Type: 11/05/2018 Application Date: Owner: Addition/Alteration 04/01/2019 049 202 41 Work Class: Issue Date: Parcel Expired Status: Expiration Date: 09/20/2022 Address: 112 KINGS PL NEWPORT BEACH, CA **IVR Number:** 231737 Reinspection Scheduled Actual

| Date | Start Date | Inspectio | n Type | Inspection No. | Inspection Status Primary Inspector | Required? | Complete |
|------------|------------|---------------------------|-----------|---------------------------|---|-----------|------------|
| | | | NOTES | Created By | ТЕХТ | Created | Date |
| | | | | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/20 | 022 |
| | | | | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/20 | 922 |
| | | | | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/20 | 22 |
| | | | | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/20 | 22 |
| | | | | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/20 | 22 |
| 11/18/2019 | 11/18/2019 | Floor Framin Sheathing | | X2018-3347-A0026 22954 | Partial Pass | No | Incomplete |
| | | | Checklist | ltem | COMMENTS | Appro | ved |
| | | | | | | | |

Other

3rd floor (deck) ok except as noted

1

No

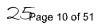
PERMIT INSPECTION HISTORY REPORT (X2018-3347) Combo Residential 11/05/2018 JOSEPH DELSIGNORE Permit Type: Application Date: Owner: Addition/Alteration 04/01/2019 049 202 41 Work Class: Issue Date: Parcel Expired 09/20/2022 Status: Expiration Date: Address: 112 KINGS PL NEWPORT BEACH, CA IVR Number: 231737 Reinspection

| Scheduled Date | Actual Start Date | Inspectio | n Type I | nspection No. | Inspection Status Primary Inspector | Reinspection Required? | Complete |
|-------------------|----------------------|-----------------------------------|-------------|-------------------------|---|---------------------------|----------|
| | | | NOTES | Created By | ТЕХТ | Created i | Date |
| | | | | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/20 | 22 |
| | | | | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/20 | 22 |
| | | | | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/20 | 22 |
| | | | | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/20 | 22 |
| | | | | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/20 | 22 |
| 12/18/2019 | 12/18/2019 | WQ-Best Managemer Practices | | 2018-3347-A0026 7157 | Approved | No | Complete |
| | | | Checklist I | tem | COMMENTS | Appro | ved |
| | | | Other | | BMPS IN PLACE | Yes | |

| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIG | NORE | |
|--------------------|----------------------|---------------------------------------|--------------|-------------------------|----------|---|--|------------------------------|-----------|----------|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEAC | CH, CA | |
| | | | | IVR Numł | per: | 231737 | | | | |
| cheduled Date S | Actual Start Date | Inspection | n Type Ir | spection No. | Inspecti | on Status P | rimary Inspector | Reinspe Requir | | Complete |
| | | | NOTES | Created By | | TEXT | | Cri | eated D | ate |
| | | | | Legacy User | | | LOPMENT RT CENTER DR #1 3EACH CA 92660 | | 17/07/202 | 2 |
| | | | | Legacy User | | C000000296 LIGHT CHRI 1401 QUAIL NEWPORT E 949-851-834 NOLAN@CJ 2 | STIAN R ST #120 BEACH CA 92660 5 | 0 | 7/07/202 | 2 |
| | | | | Legacy User | | 1437 GLENN LAGUNA BE 949-497-520 | ACH CA 92651 | 0 | 7/07/202: | 2 |
| | | | | Legacy User | | 112 KINGS F | RE JOSEPH A L EACH, CA 92663 | 0 | 7/07/2022 | 2 |
| | | | | Legacy User | | SAMSAMI AI 1401 QUAIL NEWPORT E 949-851-834 ali@cjlight.ne 2 | ST STE 120 EACH CA 92660 5 | 0 | 7/07/2022 | 2 |
| /26/2020 02 | /26/2020 | Roof Framin Sheathing, E Height | | 2018-3347-A0026 2554 | Appr | oved | | No | | Complete |
| | | | Checklist It | | COMME | | | | Approve | |

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| Permit Type: | Combo I | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELS | IGNORE | |
|--------------------|----------------------|----------------------------|-----------|--------------------------|----------|--|---|-----------------------------|-------------------|------------|
| Work Class: | Addition | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BE/ | ACH, CA | |
| * | | | | IVR Numb | ber: | 231737 | | | | |
| cheduled Date S | Actual itart Date | Inspection | i Type li | spection No. | Inspecti | on Status Pri | mary Inspector | | bection lired? | Complete |
| | | | NOTES | Created By | | TEXT | | C | Created C |)ate |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | 1-350 | 07/07/202 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | | 07/07/202 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | | 07/07/202 | 22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIST 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI6 2 | T #120 ACH CA 92660 | | 07/07/202 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/202 | 22 |
| 5/04/2020 05/ | /04/2020 | Footings and Foundation | | 2018-3347-A0026 \$909 | Partial | Pass | | No |) | Incomplete |



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PERMIT INSPECTION HISTORY REPORT (X2018-3347) Combo Residential 11/05/2018 JOSEPH DELSIGNORE Permit Type: **Application Date:** Owner: Addition/Alteration 04/01/2019 049 202 41 Work Class: Parcel Issue Date: Expired 09/20/2022 112 KINGS PL Status: **Expiration Date:** Address: NEWPORT BEACH, CA IVR Number: 231737 Reinspection Scheduled Actual Inspection No. Complete Inspection Type **Inspection Status Primary Inspector** Required? Start Date Date

| NOTES | Created By | TEXT | Created Date |
|-------|-------------------------|---|--------------|
| | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2022 |
| | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |
| | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2022 |
| | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |
| | 2018-3347-A0026 9780 | Partial Pass | No Inco |

| Foundation | 89780 | | |
|------------|---------------------|----------------------|----------|
| | Checklist item | COMMENTS | Approved |
| | Foundation Openings | wall steel as marked | No |

05/11/2020 05/11/2020

Footings

1

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| Permit Type: | Combo Reside | ential | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|---------------------|-----------------|---------------------|--|---|-----------------------------------|---------|
| Work Class: | Addition/Altera | ation | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | IVR Number: | 231737 | | | |
| cheduled Date S | Actual tart Date | pection Type In | spection No. Inspec | tion Status Pri | mary Inspector | Reinspection Required? | Complet |
| | | NOTES | Created By | TEXT | | Created | Date |
| | | | Legacy User | DEL SIGNORI 112 KINGS PL NEWPORT BE 1 | | 07/07/20 | 022 |
| | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/20 | |
| | | | Legacy User | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20010 2 | CH CA 92651 | 07/07/20 | 22 |
| | | | Legacy User | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 EACH CA 92660 | 07/07/20 | 22 |
| | | | Legacy User | | OPMENT T CENTER DR #11- EACH CA 92660 | 07/07/20 350 | 22 |

| 05/13/2020 | 05/13/2020 | Shear and H Downs | Hold X2018-3347-Al 91125 | 0026 Partial Pass | No | Incomplete |
|------------|------------|----------------------|-----------------------------|-------------------|--------|------------|
| | | | Checklist Item | COMMENTS | Approv | ed |
| | | | Other | see plans | No | |

| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNOR | E |
|--------------------|----------------------|----------------------|-----------|------------------------|-----------|---|---|-----------------------------------|---------------|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, C/ | Ą |
| | | | | IVR Numb | per: | 231737 | | | |
| cheduled Date S | Actual itart Date | Inspection | n Type Ir | spection No. | Inspectio | on Status Pri | mary Inspector | Reinspectior Required? | n Complete |
| | | | NOTES | Created By | | TEXT | | Created | d Date |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | 07/07/ | 2022 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/ | 2022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | 07/07/: | 2022 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS [®] 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07/07/: | 2022 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001@ 2 | YRE ST CH CA 92651 | 07/07/: | 2022 |
| 5/14/2020 05 | /14/2020 | Shear and H Downs | | 2018-3347-A0026 604 | Partial | Pass | | No | Incomplete |

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| Permit Type: | Combo R | Residential | | Applicati | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | Ξ |
|------------------|----------------------|-------------|---------|--------------|----------|--|--|-----------------------------------|---------|
| Work Class: | Addition/ | Alteration | | Issue Da | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiratio | on Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | A. |
| | | | | IVR Num | ber: | 231737 | | | |
| cheduled Date | Actual Start Date | Inspection | Type Ir | spection No. | Inspect | tion Status Pri | mary Inspector | Reinspection Required? | Complet |
| | | - [| NOTES | Created By | | TEXT | | Created | Date |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/2 | 2022 |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 ACH CA 92660 | 07/07/2 | 2022 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07/2 | 2022 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/2 | 2022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | 07/07/2 | 2022 |

| 34100 | | |
|----------------|---|----------|
| Checklist Item | COMMENTS | Approved |
| Other | Slab pour back as markekd per covid 19 protocol | No |

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| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | | |
|--------------------|-------------------------------|-----------|---------------------|--|--|-----------------------------------|----------|--|
| Work Class: | Addition/Alteration | | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | | |
| | | | IVR Number: | 231737 | | | | |
| cheduled Date S | Actual tart Date Inspectio | n Type Ir | spection No. Inspec | tion Status Pri | mary Inspector | Reinspection Required? | Complete | |
| | | NOTES | Created By | TEXT | | Created [| Date | |
| | | | Legacy User | DEL SIGNORI 112 KINGS PL NEWPORT BE 1 | | 07/07/20 | 22 | |
| | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/2022 | | |
| | | | Legacy User | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20016 2 | CH CA 92651 | 07/07/20 | 22 | |
| | | | Legacy User | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 EACH CA 92660 | 07/07/20 | | |
| | | | Legacy User | | DPMENT T CENTER DR #11 EACH CA 92660 | 07/07/20 -350 | 22 | |

| 06/02/2020 | 06/02/2020 | Slab On Grade | X2018-3347-A0026 98390 | Partial Pass | No | Incomplete |
|------------|------------|------------------|---------------------------|----------------------------------|-----------|------------|
| | | Checkli Other | st Item | COMMENTS Slab infill as noted | Appr N | oved |

| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH D | ELSIGNORE | |
|--------------------|---------------------|-------------|-----------|-------------------------|----------|--|---|----------------------|-------------------------|------------|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS NEWPORT | PL BEACH, CA | |
| | | | | IVR Numb | per: | 231737 | | | | |
| cheduled Date S | Actual tart Date | Inspection | n Type li | spection No. | Inspecti | on Status Pri | mary Inspector | | inspection lequired? | Complete |
| | | | NOTES | Created By | | TEXT | | | Created I | Date |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | 1-350 | 07/07/20 | 22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEAG 949-497-5203 HARLAR20010 2 | YRE ST CH CA 92651 | | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | JOSEPH A ACH, CA 92663 | | 07/07/20 | 22 |
| 9/29/2020 09/ | (29/2020 | ZZZHVAC | | 2018-3347-A0027 1187 | Partia | Pass | | | No | Incomplete |

**doesn't include fireplace inspection*
1. REvise title 24 to add heat pump split systems
2. combustion air requirements for units in attic spaces

| Permit Type: | Combo I | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|-------------------------|---------|-------------------------|-----------|--|---|-----------------------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: (| 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: (|)9/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Numb | per: | 231737 | | | |
| cheduled Date S | Actual Start Date | Inspection | Type Ir | spection No. | Inspectio | n Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | ſ | NOTES | Created By | | ТЕХТ | · · · · · · · · · · · · · · · · · · · | Created I | Date |
| | | | | Legacy User | i t | C00000296 LIGHT CHRIST 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLH 2 | T #120 ACH CA 92660 | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001@ 2 | CH CA 92651 | 07/07/20 | 22 |
| | | | | Legacy User | | | DPMENT I CENTER DR #11 ACH CA 92660 | 07/07/20 -350 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL ST NEWPORT BE 949-851-8345 ali@cjlight.net 2 | Г STE 120 АСН СА 92660 | 07/07/20 | 22 |
| | | | | Legacy User | | | JOSEPH A ACH, CA 92663 | 07/07/20 | 22 |
|)/07/2020 10 | /07/2020 | Gas Pipe Underground | | 2018-3347-A0027 7849 | Approv | red | | No | Complete |

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| Permit Type: | Combo F | Residential | | Applicatio | n Date: | 11/05/2018 | Owner: | JOSEPH D | ELSIGNORE | |
|--------------------|----------------------|-------------|--------------|-------------------------|---------|---|--|----------------------|-----------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Date | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | Date: | 09/20/2022 | Address: | 112 KINGS NEWPORT | | |
| | | | | IVR [´] Numb | er: | 231737 | | | | |
| cheduled Date S | Actual itart Date | Inspection | Type Ir | spection No. | Inspect | ion Status Pri | mary Inspector | | nspection equired? | Complet |
| | | | NOTES | Created By | | TEXT | | | Created [| Date |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | | DPMENT T CENTER DR #1 ACH CA 92660 | 1-350 | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | | 07/07/20 | 22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS ⁻ 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| 10 | /07/2020 | ZZZPlumbin | - | 2018-3347-A0027 '848 | Corr | ection | | | No | Complete |
| | | | Checklist It | em | COMME | NTS | | | Appro | ved |

2. fix condensate drain at tankless WH in mech area

| | i kun sitten kan t | PER | MIT INS | SPECTION I | HISTO | RY REPO | RT (X2018 | -3347) | | a u tan Distanti |
|-------------------|----------------------|----------------------------|-------------|---------------------------|----------------------|--|--|--------------------|---------------------------|------------------|
| Permit Typ | e: Combo l | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH | DELSIGNORE | |
| Work Class | s: Addition | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 4 | 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KING NEWPOF | SS PL RT BEACH, CA | |
| | | | | IVR Num | ber: | 231737 | | | | |
| Scheduled Date | Actual Start Date | Inspectio | n Type | nspection No. | Inspect | tion Status Pri | mary Inspecto | | teinspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | | Created | Date |
| | | | | Legacy User | | | OPMENT T CENTER DR # EACH CA 92660 | | 07/07/20 |)22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | | 07/07/20 |)22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | | 07/07/20 | 122 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | | 07/07/20 | 22 |
| 10/22/2020 | 10/22/2020 | Rough Elect Residential | | (2018-3347-A0027 (4384 | Partia | al Pass | | | No | Incomplete |
| | | | Checklist I | tem | COMME | NTS | | | _ Appro | ved |
| | | | Other | | ok excer switchge | ot at new stairs/lo ear. | ft area. clean out | existing | No | |

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| Permit Type | : Combo F | Residential | | Applicati | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|------------------|----------------------|-------------|---------|---------------|----------|--|--|-----------------------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Dat | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiratio | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Num | ber: | 231737 | | | |
| cheduled Date | Actual Start Date | Inspection | Type li | nspection No. | Inspect | ion Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | ſ | NOTES | Created By | | TEXT | | Created [|)ate |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/20: | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 EACH CA 92660 | 07/07/20 | 22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIST 1401 QUAIL ST NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07/07/202 | 22 |
| | | | | Legacy User | | | DPMENT T CENTER DR #11- ACH CA 92660 | 07/07/202 | 22 |

| Downs | 54386 | | | |
|-------|----------------|--|----------|--|
| | Checklist Item | COMMENTS | Approved | |
| | Other | hardware verified at dbl. shear walls before closing up. | No | |

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| Permit Type: | Combo Residential | | Applicat | ion Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | | |
|---------------------|---------------------|------------|--------------|-----------|---|----------------|-----------------------------------|----------|--|
| Work Class: | Addition/Alteration | | Issue Da | ite: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | Expiratio | on Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | | |
| | | | IVR Num | iber: | 231737 | | | | |
| Scheduled Date S | Actual tart Date | on Type Ir | spection No. | Inspec | tion Status Pri | mary Inspector | Reinspection Required? | Complete | |
| | | NOTES | Created By | | TEXT | | Created I | Date | |
| | | | Legacy User | | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | | 07/07/2022 | | |
| | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | 07/07/20 | 22 | |
| | | | Legacy User | | C000000296 LIGHT CHRIS | TIAN R | 07/07/20 | 22 | |

| | | | 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | | |
|-----------------------|-------------------------|---------------------------|---|-------|------------|
| | | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07 | /2022 |
| | | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07 | /2022 |
| 10/30/2020 10/30/2020 | Shear and Hold Downs | X2018-3347-A0027 57701 | Partial Pass | No | Incomplete |
| | Che | cklist Item | COMMENTS | Ap | proved |

dbl. shear wall sections as noted on plans

Other

No

| Addition/ | | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH | DELSIGNORE | |
|---------------------|------------|---------------------|--------------------------------------|---|--|--|---|---|---|
| Audition | Alteration | | issue Dat | e: | 04/01/2019 | Parcel | 049 202 4 | 1 | |
| Expired | | | Expiratio | n Date: | 09/20/2022 | Address: | 112 KING NEWPOR | S PL T BEACH, CA | |
| | | | IVR Num | ber: | 231737 | | | | |
| Actual tart Date | Inspection | n Type Ir | spection No. | Inspect | ion Status Pri | mary Inspector | | | Complete |
| | | NOTES | Created By | | TEXT | | | Created I | Date |
| | | | Legacy User | | 220 NEWPOR | T CENTER DR #1 | 1-350 | 07/07/20 | 22 |
| | | | Legacy User | | 1401 QUAIL S NEWPORT BE 949-851-8345 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | Legacy User | | 1437 GLENNE LAGUNA BEA 949-497-5203 | YRE ST CH CA 92651 | | 07/07/20 | 22 |
| | | | Legacy User | | | | | 07/07/20 | 22 |
| | | | Legacy User | | 112 KINGS PL | | | 07/07/20: | 22 |
| 30/2020 | ZZZHVAC | | | | | | | Νο | Complete |
| | art Date | art Date Inspection | art Date Inspection Type In NOTES | Actual art Date Inspection Type Inspection No. | Art Date Inspection Type Inspection No. Inspect NOTES Created By Legacy User Legacy User Legacy User Legacy User Legacy User B0/2020 ZZZHVAC X2018-3347-A0027 Not Ref 57700 Inspection No. Inspect | Actual art Date Inspection Type Inspection No. Inspection Status Pri NOTES Created By TEXT Legacy User C000239956 K M K DEVEL0 220 NEWPORT BE 949-322-5179 2 Legacy User C000000296 LIGHT CHRIS 1401 QUAL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 Legacy User C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20010 2 Legacy User SAMSAMI ALI 1401 QUAL S NEWPORT BE 949-851-8345 ali@cjight.net 2 Legacy User DEL SIGNORE 112 KINGS PL NEWPORT BE 949-851-8345 ali@cjight.net 2 Legacy User DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | Actual art Date Inspection Type Inspection No. Inspection Status Primary Inspector NOTES Created By TEXT Legacy User C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #1 NOTES Created By TEXT Legacy User C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT NET 2 Legacy User C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-451-8345 949-451-8345 NOLAN@CJLIGHT NET 2 Legacy User C000115228 Laguny Beach CA 92651 949-491-8345 949-451-8345 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-461-8345 949-451-8345 ali@cjlight.net 2 Legacy User DEL SIGNORE JOSEPH A 112 KINGS PL NetWPORT BEACH, CA 92663 1 NetWPORT BEACH, CA 92663 1 Not Ready for 102020 ZZZHVAC X2018-3347-A0027 Not Ready for | IVR Number: 231737 Actual art Date Inspection Type Inspection No. Inspection Status Primary Inspector NOTES Created By TEXT Legacy User C000239956 K M K DEVELOPMENT 220 NEWPORT BEACH CA 92660 949-322-5179 2 RewPORT BEACH CA 92660 949-322-5179 2 Legacy User C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CLIGHT.NET 2 Legacy User C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-851-8345 ail@glight.net 2 Legacy User SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ail@glight.net 2 Legacy User SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92663 1 1 Legacy User DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 1 | IVR Number: 231737 Actual art Date Inspection Type Inspection No. Inspection Status Primary Inspector Reinspection Required? NOTES Created By TEXT Created II Legacy User C000239956 07/07/20 KM K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 07/07/20 949-322-5179 2 2 Legacy User C00000296 07/07/20 Legacy User C00000296 07/07/20 Legacy User C000015228 07/07/20 Legacy User C000115228 07/07/20 Legacy User C000115228 07/07/20 Lagacy User C000115228 07/07/20 Legacy User SAMSAMI ALI 07/07/20 VARSON HARCID EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92660 VEWPORT BEACH CA 92660 949-851-8345 94/9-851-8345 VEWPORT BEACH CA 92660 94/9-851-8345 07/07/20 Legacy User SAMSAMI ALI 07/07/20 Legacy User DEL SIGNORE JOSEPH A 07/07/20 NEWPORT BEACH, CA 92663 1 NEWPORT BEACH, CA 92663 USU202 ZZZHVAC X2018-3347-A0027 Not Ready for |

37Page 22 of 51

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH | DELSIGNORE | |
|-------------------|---------------------|-------------|--------|-------------------------|----------|--|--|--------------------|--------------------------|----------|
| Nork Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 4 | 1 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KING NEWPOR | S PL T BEACH, CA | |
| | | | | IVR Numb | er: | 231737 | | | | |
| heduled Date S | Actual tart Date | Inspectior | Type I | spection No. | Inspect | ion Status Pri | mary Inspector | | einspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | | Created | Date |
| | | | | Legacy User | | DEL SIGNORI 112 KINGS PL NEWPORT BE 1 | | | 07/07/20 |)22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | | 07/07/20 |)22 |
| | | | | Legacy User | | | DPMENT T CENTER DR #1 ACH CA 92660 | 1-350 | 07/07/20 | 022 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | | 07/07/20 | 922 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| 10 | /30/2020 | ZZZPlumbin | | 2018-3347-A0027 7699 | Аррі | roved | | | Νο | Complete |

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3&age 23 of 51

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| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|-----------|---------------------|--|---|-----------------------------------|----------|
| Work Class: | Addition/Alteration | | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | IVR Number: | 231737 | | | |
| cheduled Date S | Actual Inspection | n Type Ir | spection No. Inspec | tion Status Pri | imary Inspector | Reinspection Required? | Complete |
| | | NOTES | Created By | TEXT | | Created | Date |
| | | | Legacy User | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001 2 | CH CA 92651 | 07/07/2 | 022 |
| | | | Legacy User | | OPMENT T CENTER DR #1 EACH CA 92660 | 07/07/2 | 022 |
| | | | Legacy User | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 EACH CA 92660 | 07/07/2 | 022 |
| | | | Legacy User | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/2 | 022 |
| | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S | T #120 | 07/07/2 | 022 |

| | | | 1 / Densglass | insulation at master bedroom ceiling ok to close up | | No |
|------------|------------|----------------------|---------------------------|---|----|------------|
| | | Checklis | t Item | COMMENTS | αA | proved |
| 11/18/2020 | 11/18/2020 | Insulation/Densglass | X2018-3347-A0027 64472 | Partial Pass | No | Incomplete |
| | | | | NOLAN@CJLIGHT.NET 2 | | |

NEWPORT BEACH CA 92660

949-851-8345



PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Permit Type: **Combo Residential** 11/05/2018 JOSEPH DELSIGNORE Application Date: Owner: Work Class: Addition/Alteration 04/01/2019 049 202 41 Issue Date: Parcel Expired Status: Expiration Date: 09/20/2022 Address: 112 KINGS PL NEWPORT BEACH, CA 231737 IVR Number: Scheduled Reinspection Actual

| Date | Start Date | Inspection | n Type | Inspection No. | | Required? | Complete |
|------|------------|----------------------|-----------|---------------------------|---|-----------|------------|
| | | | NOTES | Created By | ТЕХТ | Created I | Date |
| | | | | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/20 | 022 |
| | | | | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/20 | 922 |
| | | | | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/20 |)22 |
| | | | | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/20 | 22 |
| | | | | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/20 | 22 |
| | 11/18/2020 | Shear and H Downs | | <2018-3347-A0027 34467 | Partial Pass | No | Incomplete |
| | | | Checklist | ltem | COMMENTS | Appro | ved |
| | | | Other | | shear walls #1 next to elec. closet at garage ok. all shea | ar No | |

shear walls #1 next to elec. closet at garage ok. all shear ok except sections noted on plans.

| Status: cheduled A | Addition/A Expired Actual art Date | Iteration | a Type Ir NOTES | Issue Dat Expiration IVR Numb Ispection No. Created By Legacy User | n Date: ber: | TEXT DEL SIGNORE 112 KINGS PL | | 049 202 41 112 KINGS PL NEWPORT BEACH, CA Reinspection Required? Created 07/07/2 | Complete Date |
|-----------------------|---|------------|--------------------|---|-----------------|--|---|--|------------------|
| cheduled A | Actual | Inspection | r | IVR Num spection No. Created By | ber: | 231737 ion Status Pri TEXT DEL SIGNORE 112 KINGS PL | mary Inspector | NEWPORT BEACH, CA Reinspection Required? Created | Complete Date |
| | | Inspection | r | Spection No. | •• | ion Status Pri TEXT DEL SIGNORE 112 KINGS PL | E JOSEPH A | Required? Created | Date |
| | | Inspection | r | Created By | Inspect | TEXT DEL SIGNORE 112 KINGS PL | E JOSEPH A | Required? Created | Date |
| | | | NOTES | · · · · · | | DEL SIGNORE 112 KINGS PL | | | |
| | | | | Legacy User | | 112 KINGS PL | | 07/07/2 | 022 |
| | | | | | | 1 | EACH, CA 92663 | | |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA4 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07/2 | 022 |
| | | | | Legacy User | | | OPMENT T CENTER DR #11 ACH CA 92660 | 07/07/2 | 022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | 07/07/2 | 022 |
| | | | | Legacy User | | C000000296 LIGHT CHRIST 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI6 2 | T #120 ACH CA 92660 | 07/07/2 | 022 |
| 2/23/2020 12/2 | 23/2020 2 | ZZZHVAC | | 2018-3347-A0027 2024 | Cane | celled | | No | Complete |

No

Other

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| Permit Type: | Combo I | Residential | | Application | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|---------------------|-------------|-----------|-------------------------|----------|--|---|-----------------------------------|----------|
| Work Class: | Addition | Alteration | | Issue Dat | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Num | ber: | 231737 | | | |
| cheduled Date S | Actual tart Date | Inspection | n Type Ir | spection No. | Inspect | ion Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | Created | Date |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07/07/20 |)22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | CH CA 92651 | 07/07/20 | 022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | 07/07/20 |)22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/20 | 022 |
| | | | | Legacy User | | | DPMENT T CENTER DR #11 ACH CA 92660 | -350 | 22 |
| 1/07/2021 01/ | /07/2021 | ZZZHVAC | | 2018-3347-A0027 9622 | Appr | oved | | No | Complete |

| Permit Type: | Combo F | Residential | | Applicatio | on Date: 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|-------------|-----------|-------------------------|---|----------------------------------|-----------------------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Date | e: 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | Date: 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Numb | er: 231737 | | | |
| cheduled Date S | Actual start Date | Inspection | n Type II | spection No. | Inspection Status Pr | imary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | TEXT | | Created | Date |
| | | | | Legacy User | | RT CENTER DR #1 EACH CA 92660 | 07/07/2 | 022 |
| | | | | Legacy User | C000115228 LARSON HAF 1437 GLENNI LAGUNA BEA 949-497-5203 HARLAR2001 2 | CH CA 92651 | 07/07/2 | 022 |
| | | | | Legacy User | DEL SIGNOR 112 KINGS PI NEWPORT BI 1 | | 07/07/2 | 022 |
| | | | | Legacy User | SAMSAMI AL 1401 QUAIL S NEWPORT BI 949-851-8345 ali@cjlight.net 2 | ST STE 120 EACH CA 92660 | 07/07/24 | 022 |
| | | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BI 949-851-8345 NOLAN@CJL 2 | 6T #120 EACH CA 92660 | 07/07/20 | 022 |
| 1/11/2021 01 | /11/2021 | Complete Fi | - | 2018-3347-A0027 0548 | Cancelled | | No | Complete |

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| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | | |
|--------------------|---------------------|-----------|----------------------|--|--|-----------------------------------|----------|--|
| Work Class: | Addition/Alteration | | Issue Date: | 04/01/2019 | 04/01/2019 Parcel 049 | | | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | | |
| | | | IVR Number: | 231737 | | | | |
| cheduled Date S | Actual Inspectio | n Type II | nspection No. Inspec | tion Status Pri | imary Inspector | Reinspection Required? | Complete | |
| | | NOTES | Created By | TEXT | | Created | Date | |
| | | | Legacy User | 1401 QUAIL S NEWPORT BI 949-851-8345 | LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET | | | |
| | | | Legacy User | | OPMENT T CENTER DR #11 EACH CA 92660 | 07/07/20 | 22 | |
| | | - | Legacy User | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001 2 | CH CA 92651 | 07/07/20 | 22 | |
| | | | Legacy User | DEL SIGNORI 112 KINGS PL NEWPORT BE 1 | | 07/07/20 | 22 | |
| | | | Legacy User | SAMSAMI ALI | | 07/07/20 | 22 | |

| 02/11/2021 | 02/11/2021 | Complete Framing | X2018-3347-A0027 93741 | Approved | No | Complete |
|------------|------------|------------------|---------------------------|---|-----|----------|
| | | Checkli | st Item | COMMENTS | Арр | roved |
| | | Other | | Revisions, rfi's, and corrections completed | Y | es |

1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660

949-851-8345 ali@cjlight.net

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: É | 11/05/2018 | Owner: | JÖSEPH | DELSIGNORE | |
|---------------------|---------------------|---------------------------|--------------|-------------------------|---------------------|---|--|---------------------------|--------------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Date | | 04/01/2019 | Parcel | 049 202 4 | 1 | |
| Status: | Expired | | | Expiration | n Date: (|)9/20/2022 | Address: | 112 KING NEWPOR | S PL T BEACH, CA | |
| | | | | IVR Numb | per: | 231737 | | | | |
| icheduled Date S | Actual tart Date | Inspection | Type Ir | spection No. | Inspectio | n Status Pri | mary Inspector | | einspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | | Created [| Date |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 ACH CA 92660 | 1-350 | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | | 07/07/20 | 22 |
| | | | | Legacy User | | C00000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | 1 | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | · · · · · · · · · · · · · | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001 2 | CH CA 92651 | | 07/07/20 | 22 |
| 02/ | /11/2021 | Floor Framir Sheathing | - | 2018-3347-A0027 3739 | Approv | red | | | No | Complete |
| | | | Checklist It | em | COMMENTS | | | | Approved | |

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH | | | |
|--------------------|----------------------|----------------------------|--------------|-------------------------|----------|--|--|---------------------|--------------------------|----------|--|
| Work Class: | Addition/ | Alteration | | Issue Dat | | 04/01/2019 | Parcel | 049 202 4 | | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS NEWPOR | S PL T BEACH, CA | | |
| | | | | IVR Num | per: | 231737 | | | | | |
| cheduled Date S | Actual Start Date | Inspection | Type Ir | spection No. | Inspecti | on Status Pri | mary Inspector | | einspection Required? | Complete | |
| | | · | NOTES | Created By | | TEXT | | | Created I | Date | |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 1111 | 07/07/20 | 22 | |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 ACH CA 92660 | 1-350 | 07/07/20 | 22 | |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 | |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001 2 | YRE ST CH CA 92651 | | 07/07/20 | 22 | |
| | | | | Legacy User | | C000000296 LIGHT CHRIST 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI4 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 | |
| 02 | /11/2021 | Footings and Foundation | | 2018-3347-A0027 1736 | Appro | oved | | | No | Complete | |
| | | | Checklist It | em | COMMEN | COMMENTS | | | Approved | | |

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| cheduled | Actual Inspectio | n Tuna da | spection No. Inspec | tion Status Dri | mary Inspector | Reinspection | Complete | |
|--------------|-------------------------|-----------|---------------------|-----------------|----------------|-----------------------------------|----------|--|
| | | | IVR Number: | 231737 | | | | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | | |
| Work Class: | ss: Addition/Alteration | | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | | |
| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | | |

| | | ali@cjlight.net 2 | | |
|-------------------------------|---------------------------|---|----------|----------|
| | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2 | 022 |
| | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2 | 022 |
| | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2 | 022 |
| | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2 | 022 |
| Rough Electric Residential | X2018-3347-A0027 93738 | Approved | No | Complete |
| Che | cklist Item | COMMENTS | Approved | |

Other

Revisions, rfi's, and corrections completed

02/11/2021

Yes

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| Combo I | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEP | H DELSIGNORË | |
|---------------------|----------------------|---|--|---|--|---|--|--|---|
| Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 | 2 41 | |
| Expired | | | Expiratio | n Date: | 09/20/2022 | Address: | | | |
| | | | IVR Num | ber: | 231737 | | | | |
| Actual tart Date | Inspection | n Type | nspection No. | Inspect | ion Status Pri | mary Inspector | | Reinspection Required? | Complet |
| | | NOTES | Created By | | TEXT | | | Created | Date |
| | | | Legacy User | | | | | 07/07/20 | 022 |
| | | | Legacy User | | 220 NEWPOR | T CENTER DR #1 | 1-350 | 07/07/20 |)22 |
| | | | Legacy User | | 1401 QUAIL S NEWPORT BE 949-851-8345 | T #120 ACH CA 92660 | | 07/07/20 | 022 |
| | | | Legacy User | | 1437 GLENNE LAGUNA BEA 949-497-5203 | YRE ST CH CA 92651 | | 07/07/20 | |
| | | | Legacy User | | 112 KINGS PL | | | 07/07/20 | 22 |
| 11/2021 | Shear and H Downs | | 2018-3347-A0027 3740 | Appr | oved | | | No | Complete |
| | Addition/ Expired | Addition/Alteration Expired Actual Inspection tart Date Inspection | Addition/Alteration Expired Actual Inspection Type In NOTES | Addition/Alteration Issue Dat Expired Expiration IVR Numb Actual tart Date Inspection Type Inspection No. NOTES Created By Legacy User Legacy User Legacy User Legacy User | Addition/Alteration Issue Date: Expired Expiration Date: IVR Number: Actual Inspection Type Inspection No. Inspect NOTES Created By Legacy User Legacy User Legacy User Legacy User Legacy User Inspection Comparison of the second se | Addition/Alteration Later 04/01/2019 Expired Expiration Date: 09/20/2022 IVR Number: 231737 Actual Inspection Type Inspection No. Inspection Status Print NOTES Created By TEXT Legacy User SAMSAMI ALI 1401 QUALS NEWPORT BE 949-851-8345 ali@cjlight.net 2 Legacy User C000023956 K M K DEVEL 220 NEWPORT BE 949-322-5179 2 Legacy User C00000296 LIGHT CHRIS 1401 QUALS NEWPORT BE 949-322-5179 2 Legacy User C00000296 LIGHT CHRIS 1401 QUALS NEWPORT BE 949-351-8345 NOLAN@CJL 2 Legacy User C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA LAGUNA BEA | Addition/Alteration Expired Issue Date: 04/01/2019 Parcel Expired Expired Issue Date: 04/01/2019 Parcel Expiration Date: 09/20/2022 Address: IVR Number: 231737 Actual Inspection Type Inspection No. Inspection Status Primary Inspector Text Legacy User Interpretation Inspection Status Primary Inspector SAMSAMI ALI 1401 QUAL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 Legacy User L | Addition/Alteration Issue Date: 04/01/2019 Parcel 049 202 Expired Expiration Date: 09/20/2022 Address: 112 KIN Expiration Date: 09/20/2022 Address: 112 KIN NEWPO IVR Number: 231737 Actual Inspection Type Inspection No. Inspection Status Primary Inspector NOTES Created By TEXT Legacy User SAMSAMI ALI 1401 QUALL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@c]light.net 2 Legacy User C000023956 K M K DEVELOPMENT 220 NEWPORT DEACH CA 92660 949-322-5179 2 Legacy User C000000296 LIGHT CHRISTIAN R 1401 QUALL ST #120 NEWPORT BEACH CA 92660 949-322-5179 2 Legacy User C000000296 LIGHT CHRISTIAN R 1401 QUALL ST #120 NEWPORT BEACH CA 92660 949-437-3203 HARLAR2001@AOL COM 2 Legacy User C000115228 Legacy User Logung HARCLA 04260 S949-457-5203 HARLAR201@AOL COM 2 Legacy User DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 11/2021 Shear and Hold X2018-3347-A0027 Approved | Addition/Alteration Issue Date: 04/01/2019 Parcel 049 202 41 Expired Expiration Date: 09/20/2022 Address: 112 KINOS PL NEWPORT BEACH, CA IVR Number: 231737 Actual Inspection Type Inspection No. Inspection Status Primary Inspector Required? NOTES Created By TEXT Created Legacy User SAMISAMI ALL 07/07/20 NEWPORT BEACH, CA 32660 949-3425-179 2 Legacy User C000239956 07/07/20 NEWPORT BEACH, CA 32660 949-322-5179 2 Legacy User C00000296 07/07/20 LIGHT CHRISTIAN R 1401 QUAL ST ST 2 Legacy User C00000296 07/07/20 LIGHT CHRISTIAN R 1401 QUAL ST 4720 NEWPORT BEACH CA 32660 949-322-5179 2 Legacy User C00001522 07/07/20 LIGHT CHRISTIAN R 1401 QUAL ST 4720 NEWPORT BEACH CA 32660 949-49-322-5179 2 Legacy User C000115228 07/07/20 LIGHT CHRISTIAN R 1401 QUAL ST 4720 NEWPORT BEACH CA 32660 949-49-5203 112KINS PL NEWPORT BEACH, CA 32660 949-49-5203 112KINS PL NEWPORT BEACH, CA 32660 949-49-5203 112KINS PL NEWPORT BEACH, CA 32660 949-49-7503 112KINS PL NEWPORT BEACH, CA 32660 11 11/2021 Shear and Hold X2018-3347-A0027 Approved No |

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PERMIT INSPECTION HISTORY REPORT (X2018-3347)

| Permit Type: Work Class: | Combo Residential Addition/Alteration | Application Date: Issue Date: | 11/05/2018 04/01/2019 | Owner: Parcel | JOSEPH DELSIGNORE 049 202 41 |
|-----------------------------|--|----------------------------------|--------------------------|------------------|-----------------------------------|
| Status: | Expired | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA |
| | | IVR Number: | 231737 | | |

| Scheduled Date | Actual Start Date | Inspection | Туре | Inspection No. | Inspection Status Primary Inspector | Reinspection Required? | Complete |
|-------------------|----------------------|------------|-------|----------------|-------------------------------------|---------------------------|----------|
| | | | NOTES | S Created By | TEYT | Crosted | Data |

| NOTE | S Created By | TEXT | Created D | ate |
|------------------|---------------------------|---|-----------|--------|
| | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/202 | 22 |
| | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/202 | 2 |
| | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/202 | 2 |
| | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/202 | 2 |
| | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/202 | 2 |
| 21 Slab On Grade | X2018-3347-A0027 93737 | Approved | No | Comple |

| 93731 | | |
|----------------|---|----------|
| Checklist Item | COMMENTS | Approved |
| Other | Revisions, rfi's, and corrections completed | Yes |

| Permit Type: | Combo Residen | tial | Applicati | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNOR | RE |
|--------------------|---------------------|------------------|-------------------------|----------|--|--|----------------------------------|----------|
| Work Class: | Addition/Alteration | on | Issue Dat | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiratio | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, (| CA |
| | | | IVR Num | ber: | 231737 | | | |
| cheduled Date S | Actual tart Date | ection Type II | nspection No. | Inspecti | on Status Pri | mary Inspector | Reinspectic Required? | |
| | | NOTES | Created By | | TEXT | | Create | d Date |
| | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07 | /2022 |
| , | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07 | //2022 |
| | | | Legacy User | | | DPMENT T CENTER DR #1 ACH CA 92660 | | /2022 |
| | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | 07/07 | /2022 |
| | | | Legacy User | | C000000296 LIGHT CHRIST 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI0 2 | F #120 ACH CA 92660 | 07/07 | /2022 |
| 3/03/2021 03/ | /03/2021 Insulat | ion/Densglass X; | 2018-3347-A0028 2084 | Appro | oved | | No | Complete |

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| Permit Type:- | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|---------------|---------------------|----------------|---------|-----------------------|----------|---|---|-----------------------------------|----------|
| Work Class: | Addition/. | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Numb | per: | 231737 | | | |
| | Actual tart Date | Inspection | Type In | spection No. | Inspecti | on Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | ТЕХТ | | Created | Date |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 EACH CA 92660 | 07/07/2 | 022 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07/2 | 022 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS' 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07/07/2 | 022 |
| | | | | Legacy User | <u> </u> | | DPMENT T CENTER DR #11 ACH CA 92660 | -350 | 022 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/20 | 022 |
| 3/23/2021 03/ | 23/2021 | Drywall Fire (| | 018-3347-A0028 085 | Canc | elled | | No | Complete |

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PERMIT INSPECTION HISTORY REPORT (X2018-3347)

Combo Residential Permit Type: 11/05/2018 JOSEPH DELSIGNORE Application Date: Owner: Work Class: Addition/Alteration 04/01/2019 049 202 41 Issue Date: Parcel Expired 09/20/2022 Status: Expiration Date: Address: 112 KINGS PL NEWPORT BEACH, CA IVR Number: 231737 Scheduled Actual Reinspection Inspection Status Primary Inspector Inspection Type Inspection No. Complete Start Date **Required?** Date

| ite | Start Date | | | | | Required? | and the second state of th |
|-----|------------|--------------|--------------|-------------------------|---|-----------|--|
| | | | NOTES | Created By | ТЕХТ | Created | Date |
| | | | | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2 | 2022 |
| | | | | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2 | 2022 |
| | | | | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2 | :022 |
| | | | | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2 | .022 |
| | | | | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2 | 022 |
| 0 | 3/23/2021 | Other - Plur | - | 2018-3347-A0028 0084 | Cancelled | No | Complet |
| | | | Checklist It | em | COMMENTS | Appr | oved |
| | | | | | | | |

No

in field by gc

Other

| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|-----------|----------------------|--|--|-----------------------------------|----------|
| Work Class: | Addition/Alteration | | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | IVR Number: | 231737 | | | |
| cheduled Date S | Actual Inspection | n Type Ir | espection No. Inspec | tion Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | NOTES | Created By | TEXT | | Created | Date |
| | | | Legacy User | | OPMENT T CENTER DR #11 EACH CA 92660 | 07/07/20 |)22 |
| | | | Legacy User | DEL SIGNORI 112 KINGS PL NEWPORT BE 1 | | 07/07/20 |)22 |
| | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/20 |)22 |
| | | | Legacy User | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | 07/07/20 | 122 |

| | | | | HARLAR2001@AOL.COM 2 | | |
|------------|------------|-------------------|------------------------------------|---|----|------------|
| 03/24/2021 | 03/24/2021 | Legacy Inspection | X2018-3347-A0028 109 1 5 | Partial Pass | No | Incomplete |
| | | Checkl | ist Item | COMMENTS | Ap | proved |
| | | Vapor E Veneer | Barrier/ Exterior Lath/ Lath | upper roof deck and entire left side of house | | No |

C000115228

949-497-5203

LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651

Legacy User

.

07/07/2022

| | re so cor | PER | MIT INS | PECTION | HISTO | RY REPO | RT (X2018- | 3347) | N DE LA CAR |
|-------------------|----------------------|--------------|--------------|-------------------------|----------|--|--|-----------------------------------|-------------|
| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
| Work Class: | Addition/ | Alteration | | Issue Dat | | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Num | ber: | 231737 | | | |
| Scheduled Date | Actual Start Date | Inspection | ו Type Ir | spection No. | Inspect | ion Status Pri | imary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | Created | Date |
| | | | | Legacy User | | 112 KINGS PL | SIGNORE JOSEPH A 07/07/2022 KINGS PL /PORT BEACH, CA 92663 | | |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20010 2 | CH CA 92651 | 07/07/2 | 022 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/2 | 022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | 07/07/2 | 022 |
| | | | | Legacy User | | C000239956 K M K DEVEL0 220 NEWPOR | OPMENT T CENTER DR #11 ACH CA 92660 | 07/07/2 | 022 |
| 0 | 3/24/2021 | Other - Plum | - | 2018-3347-A0028 1916 | Partia | ll Pass | | No | Incomplete |
| | | | Checklist It | em | сомме | NTS | | Appr | bved |
| | | | Other | | all show | er pans except m | naster | No |) |

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|---------------------|----------------------|--------------|---------------|-----------------------|----------|--|--|-----------------------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Numb | ber: | 231737 | | | |
| Scheduled Date S | Actual Start Date | Inspection | Type In | spection No. | Inspecti | on Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | ТЕХТ | | Created | Date |
| | | | | Legacy User | | | OPMENT T CENTER DR #17 EACH CA 92660 | 07/07/20 |)22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/20 |)22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07/07/20 |)22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001 2 | YRE ST CH CA 92651 | 07/07/20 | 122 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | Г STE 120 АСН СА 92660 | 07/07/20 | 22 |
|)4/14/2021 04 | /14/2021 | Drywall Fire | | 018-3347-A0028 660 | Appr | oved | | No | Complete |
| | | | Checklist Ite | em | COMME | NTS | | Appro | ved |

55Page 40 of 51

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| Permit Type: | Combo Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|--------------------------------|-------------|---------------|----------|---|---|-----------------------------------|---------|
| Work Class: | Addition/Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | IVR Numb | er: | 231737 | | | |
| cheduled Date S | Actual tart Date Inspectior | n Type – li | nspection No. | Inspect | ion Status Pri | mary Inspector | Reinspection Required? | Complet |
| | | NOTES | Created By | | TEXT | | Created | Date |
| | | | Legacy User | | DEL SIGNORI 112 KINGS PL NEWPORT BE 1 | | 07/07/20 | 022 |
| | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | 07/07/20 | 22 |
| | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20010 2 | CH CA 92651 | 07/07/20 | 22 |
| | | | Legacy User | | | DPMENT T CENTER DR #11 ACH CA 92660 | .350 | 22 |
| | | | Legacy User | | C000000296 LIGHT CHRIS ⁻ 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | 07/07/20 | 22 |

| 04/14/2021 | Legacy Inspection | X2018-3347-A0028 18661 | Approved | No | Complete |
|------------|----------------------|--------------------------------|---------------|-----|----------|
| | Checklis | st Item | Item COMMENTS | | ved |
| | Vapor Ba Veneer L | arrier/ Exterior Lath/ _ath | | Yes | |

| | Addition// Expired Actual tart Date | Alteration Inspection | Type In | Issue Dat Expiration IVR Numi | n Date: | 04/01/2019 09/20/2022 231737 | Parcel Address: | 049 202 41 112 KINGS P NEWPORT B | | |
|----------|--|--------------------------|---------|-------------------------------------|---------|--|--|--|---------------------|---------|
| cheduled | Actual | Inspection | Type In | IVR Numi | | | Address: | | | |
| | | Inspection | Type In | | ber: | 231737 | | | EACH, CA | |
| | | Inspection | Type In | 11 Z | | 201101 | | | | |
| | | | | spection No. | Inspect | ion Status Pri | mary Inspector | | spection quired? | Complet |
| | | | NOTES | Created By | | TEXT | | | Created (| Date |
| | | | | Legacy User | | | OPMENT T CENTER DR #17 EACH CA 92660 | 1-350 | 22 | |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | E JOSEPH A ACH, CA 92663 | | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001@ 2 | YRE ST CH CA 92651 | | 07/07/20: | 22 |

| Checklist Item | COMMENTS | |
|----------------|----------|--|
| Other | wip | |

Approved

Yes

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| Permit Type: | Combo Re | sidential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIG | NORE | |
|--------------------|---------------------|--------------|-----------|------------------------|----------|--|---|------------------------------|-----------|------------|
| Work Class: | Addition/Al | teration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEAG | СН, СА | |
| | | | | IVR Numb | per: | 231737 | | | | |
| cheduled Date S | Actual tart Date | nspectior | n Type Ir | spection No. | Inspect | ion Status Pri | mary Inspector | Reinspe Requir | | Complet |
| | | | NOTES | Created By | | TEXT | | Cr | eated D |)ate |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | | 07/07/20: | 22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | (|)7/07/20; | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | (| 07/07/202 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | (|)7/07/202 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | (| 07/07/202 | 22 |
| /30/2022 03/ | 30/2022 C | other - MISC | | 2018-3347-A0029 811 | Partia | l Pass | | No | | Incomplete |

5&age 43 of 51

| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH | DELSIGNORE | |
|--------------------|----------------------|-------------|--------------|------------------------|----------|---|--|--------------------|--------------------------|------------|
| Work Class: | Addition/. | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 4 | 1 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KING NEWPOR | S PL T BEACH, CA | |
| | | | | IVR Numb | per: | 231737 | | | | |
| cheduled Date S | Actual start Date | Inspection | n Type Ir | spection No. | Inspecti | on Status Pri | mary Inspector | | einspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | · | Created | Date |
| | | | | Legacy User | | | DPMENT T CENTER DR #1 ACH CA 92660 | 1-350 | 07/07/20 | 122 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA4 949-497-5203 HARLAR20010 2 | YRE ST CH CA 92651 | | 07/07/20 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | C000000296 LIGHT CHRIST 1401 QUAIL ST NEWPORT BE 949-851-8345 NOLAN@CJLI6 2 | T #120 ACH CA 92660 | | 07/07/20 | 22 |
| 4/04/2022 04 | /04/2022 | Other - MIS | | 2018-3347-A0029 151 | Partial | Pass | | | No | Incomplete |
| | | | Checklist It | em | COMMEN | ITS | | | Appro | ved |

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PERMIT INSPECTION HISTORY REPORT (X2018-3347) Combo Residential Permit Type: Application Date: 11/05/2018 JOSEPH DELSIGNORE Owner: Work Class: Addition/Alteration 04/01/2019 049 202 41 Issue Date: Parcel Expired 09/20/2022 Status: **Expiration Date:** Address: 112 KINGS PL NEWPORT BEACH, CA 231737 **IVR Number:**

Scheduled Date

Actual Start Date Ins

Inspection Type

Inspection No. Inspection Status Primary Inspector

Reinspection Required? Complete

| NOTES | Created By | TEXT | Created Date |
|-------|-------------|---|--------------|
| | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2022 |
| | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2022 |
| | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |
| | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |

| 67282 | | |
|----------------|--|----------|
| Checklist Item | COMMENTS | Approved |
| Other | 3-31-22 PUT NOTICE ON SHELF ON JOB SITE. WORKE WILL LET SUPER KNOW WHERE IT IS. TOOK PHOTOS | No |

| Permit Type: | Combo R | esidential | | Applicat | tion Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|---------------------|----------------------|------------|------------------|--------------|------------|--|-------------------------|-----------------------------------|---------|
| Work Class: | Addition/A | Alteration | | Issue Da | ate: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration Date: | | on Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Nun | nber: | 231737 | | | |
| Scheduled Date S | Actual Start Date | Inspection | n Type Ir | spection No. | Inspect | tion Status Pri | mary Inspector | Reinspection Required? | Complet |
| | | | NOTES | Created By | | TEXT | | Created [| Date |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 | | 07/07/20 | 22 |

SAMSAMI ALI

949-851-8345 ali@cjlight.net

112 KINGS PL

C000239956

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1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660

DEL SIGNORE JOSEPH A

K M K DEVELOPMENT

NEWPORT BEACH, CA 92663

220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660

Legacy User

Legacy User

Legacy User

| | | | | 949-322-5179 2 | | |
|------------|------------|--------------|---------------------------|---|----|------------|
| 04/25/2022 | 04/25/2022 | Other - MISC | X2018-3347-A0029 76332 | Partial Pass | No | Incomplete |
| | | Che | cklist Item | COMMENTS | | Approved |
| | | Othe | r | spoke to don bergeron, (kmk development) he is trying to get letter from homeowner authorizing him as his agent to process extension paperwork. cannot process extension without owner authorization, gc is aware. | | No |

07/07/2022

07/07/2022

07/07/2022

| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|---------|--------------------|---|---|-----------------------------------|----------|
| Work Class: | Addition/Alteration | | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | IVR Number: | 231737 | | | |
| cheduled Date S | Actual Start Date | Type Ir | spection No. Inspe | ction Status Pr | imary Inspector | Reinspection Required? | Complete |
| | | NOTES | Created By | TEXT | | Created | Date |
| | | | Legacy User | SAMSAMI AL 1401 QUAIL S NEWPORT BI 949-851-8345 ali@cjlight.net 2 | ST STE 120 EACH CA 92660 | 07/07/20 | |
| | | | Legacy User | | RT CENTER DR #1 [.] EACH CA 92660 | 07/07/20 | 22 |
| | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BI 949-851-8345 NOLAN@CJL 2 | T #120 EACH CA 92660 | 07/07/20 | 22 |
| | | | Legacy User | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001 2 | CH CA 92651 | 07/07/20 | 22 |
| | | | Legacy User | DEL SIGNORI 112 KINGS PL NEWPORT BE | | 07/07/20 | 22 |

| 05/04/2022 | 05/04/2022 | Other - MIS | C X2018-3347-A0029 79990 | Partial Pass | No | Incomplete |
|------------|------------|-------------|-----------------------------|--|----|------------|
| | | | Checklist Item | COMMENTS | A | pproved |
| | | | Other | 3 YEAR DEADLINE LETTER RETURNED TO SENDER - OWNER | | No |

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| Permit Type: | Combo F | Residential | | Applicat | ion Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
|--------------------|----------------------|-------------|-------------|--------------|--|---|--|-----------------------------------|----------|
| Work Class: | Addition/ | Alteration | | Issue Da | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiratio | on Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Num | ber: | 231737 | | | |
| cheduled Date S | Actual Start Date | Inspectior | n Type Ir | spection No. | Inspect | ion Status P | rimary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | Created | Date |
| | | | Legacy User | | C000000296 LIGHT CHR 1401 QUAIL NEWPORT I 949-851-834 NOLAN@CJ 2 | STIAN R ST #120 BEACH CA 92660 5 | 07/07/20 |)22 | |
| | | | Legacy User | | SAMSAMI A 1401 QUAIL NEWPORT I 949-851-834 ali@cjlight.ne 2 | ST STE 120 BEACH CA 92660 5 | 07/07/20 |)22 | |
| | | | | Legacy User | | 1437 GLENN LAGUNA BE 949-497-520 | ROLD EUGENE IEYRE ST ACH CA 92651 | 07/07/20 |)22 |
| | | | | Legacy User | | 112 KINGS F | RE JOSEPH A PL BEACH, CA 92663 | 07/07/20 | 022 |
| | | | | Legacy User | | | LOPMENT RT CENTER DR #1 3EACH CA 92660 | 07/07/20 | 22 |

| Checklist Item | COMMENTS | Approved |
|----------------|---|----------|
| Other | PERMIT SHALL EXPIRE ON 10/01/2022 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER. | Yes |

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| Permit Type: | Combo Residential | | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNOR | |
|--------------------|----------------------|-----------|----------------------|--|--|-----------------------------------|----------|
| Work Class: | Addition/Alteration | | Issue Date: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | N |
| | | | IVR Number: | 231737 | | | |
| cheduled Date S | Actual Inspection | n Type li | nspection No. Inspec | tion Status Pri | mary Inspector | Reinspection Required? | Complete |
| | | NOTES | Created By | TEXT | | Created | Date |
| | | | Legacy User | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07/2 | |
| | | | Legacy User | | OPMENT T CENTER DR #11 EACH CA 92660 | 07/07/2 | 2022 |
| | | | Legacy User | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20016 2 | CH CA 92651 | 07/07/2 | 022 |
| | | | Legacy User | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | 07/07/2 | 022 |
| | | | Legacy User | DEL SIGNORE | E JOSEPH A | 07/07/2 | 022 |

| 05/24/2022 | 05/24/2022 | Other - MISC | X2018-3347-A0029 89203 | Partial Pass | No | Incomplete |
|------------|------------|--------------|---------------------------|--|-------|------------|
| | | c | hecklist Item | COMMENTS | Appro | oved |
| | | C | ther | Approved 3-YR extension mailed & emailed 5-24-22 | No | , , |

NEWPORT BEACH, CA 92663

112 KINGS PL

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| | s an in the state of the | PERI | NIT INS | PECTION | HISTO | RY REPO | RT (X2018- | 3347) | |
|-------------------|--------------------------|-------------|---------|--------------|----------|---|-----------------|-----------------------------------|----------|
| Permit Type | : Combo F | Residential | | Applicati | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE | |
| Work Class: | Addition/ | Alteration | | Issue Dat | te: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiratio | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA | |
| | | | | IVR Num | ber: | 231737 | | | |
| Scheduled Date | Actual Start Date | Inspection | Type Ir | spection No. | Inspect | ion Status Pr | imary Inspector | Reinspection Required? | Complete |
| | | | NOTES | Created By | | TEXT | | Created [| Date |
| | | | | Legacy User | | DEL SIGNOR 112 KINGS PI NEWPORT B | | 07/07/20 | 22 |

| | 112 KINGS PL NEWPORT BEACH, CA 92663 1 | |
|-------------|---|------------|
| Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |
| Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2022 |
| Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |

| 09/07/2022 | 09/07/2022 | Other Building | iBLD-007864-2022 | Correction | Chad Shelton | Yes | Complete |
|------------|------------|----------------|------------------|-----------------------------|--|------------|----------|
| | | Chec | klist Item | COMMENTS | | | Approved |
| | | Comn | nent | claims that they an | r don bergeron of KMK deve e no longer contractor of rec vorking with city and owner t or permit. | ord on the | No |
| 09/15/2022 | 09/15/2022 | Other Building | iBLD-008900-2022 | Not Ready for Inspection | Chad Shelton | Yes | Complete |

| Permit Typ | e: Combo R | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DI | ELSIGNORE | |
|-------------------|----------------------|--------------|----------------|--|---|--|--|---|------------------------|----------|
| Work Class | : Addition// | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiratio | n Date: | 09/20/2022 | Address: | 112 KINGS NEWPORT | PL BEACH, CA | |
| | | | | IVR Numb | ber: | 231737 | | | | |
| Scheduled Date | Actual Start Date | Inspectio | n Type | nspection No. | Inspect | ion Status P | rimary Inspector | | inspection equired? | Complete |
| | | | Checklist | ltem | СОММЕ | ENTS | | | Appro | ved |
| | | | | | | | | o final permit. | | |
| | | | | | Missing exterior fixtures | condensers, sl missing lighting and appliances missing fire rate | airs in complete inter g and lighting controls , missing fire door fro d access in garage f | for and s, missing all om garage to | | |
| 10/03/2022 | 10/03/2022 | Other Buildi | 0 | BLD-010953-2022 einspection of iBLi | Missing exterior fixtures house, r pump, e Not Re Insp | condensers, st missing lighting and appliances nissing fire rate tc. eady for C ection | airs in complete inter g and lighting controls , missing fire door fro | for and s, missing all om garage to | Yes | Complete |
| 10/03/2022 | 10/03/2022 | Other Buildi | 0 | einspection of iBL | Missing exterior fixtures house, r pump, e Not Re Insp | condensers, st missing lighting and appliances nissing fire rate tc. eady for C ection 2022 | airs in complete inter g and lighting controls s, missing fire door fro ed access in garage f | for and s, missing all om garage to | | |
| 10/03/2022 | 10/03/2022 | Other Buildi | R | einspection of iBL | Missing exterior fixtures : house, r pump, e Not Re Insp D-008900- COMME Went ov | condensers, st missing lighting and appliances nissing fire rate tc. eady for C ection 2022 ENTS er requirement | airs in complete inter g and lighting controls s, missing fire door fro ed access in garage f | rior and s, missing all om garage to or heat and GC. Will | Yes | · |
| 10/03/2022 | 10/03/2022 | Other Buildi | R Checklist | einspection of iBL | Missing exterior fixtures : house, r pump, e Not Re Insp D-008900- COMME Went ov | condensers, st missing lighting and appliances nissing fire rate tc. eady for C ection 2022 ENTS er requirement | airs in complete inter g and lighting controls , missing fire door fro ed access in garage f had Shelton s for final with Chris a | rior and s, missing all om garage to or heat and GC. Will | Yes Appro | ved |

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From: Shelton, Chad CShelton@newportbeachca.gov

To: Thai, Tonee tthai@newportbeachca.gov, Sanchez, Chris CSanchez@newportbeachca.gov

Date: Thu, Sep 15, 2022, 5:59 PM

Hi Guys,

In my Site walk with Anthony Today over at 112 Kings, I noticed a lot of items that are still incomplete and/or missing in order to final the permit. For example, all appliances and fixtures, lighting controls and lighting panels that are incomplete, condensers missing, stairways incomplete as well as life safety items like guard rails and hand rails, missing garage fire rated door as well as fire rated access panel in the garage lid just to name a few. Apparently there was also a leak on the concrete deck above the pool house at the bottom of the property and now that entire structure has been gutted down to studs. I am unsure if this work has been permitted or not. Not sure where you want to take it from here.

Thanks, Chad

Get Outlook for iOS

67



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION 100 Civic Center Drive | P.O. Box 1766 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

OWNER-BUILDER ACKNOWLEDGEMENT AND INFORMATION VERIFICATION (HSC 19825)

NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at <u>//2 Kmss place Upwport</u>. We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

1/1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and Waying the permit filed in his or her name instead of my own.

4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

 $\frac{1}{25}$. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

 $\frac{\sqrt{7}}{7}$. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

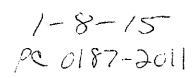
 $\frac{1}{100}$ 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

To whom it may concern:

I, Joseph Del Signore, hereby authorize Derek Lamarque to act on my behalf regarding all city and contracting matters relating to 112 Kings Place, Newport Beach CA. Please contact me should you have any questions. 310-779-8849.

Joe Del Signore

Date







COWNERDA.

My Name is Devek a Margue, I bill be the person running the prosection 112 kinss place, with your permission I bould Like to request a extension on our permits for 112 kinss place. We have not started the prosect yet due to desish chansed and funding. We have a definate start date on sinuary 23rd 2015. At your concentance let me know is we can get the extension, should you have any auestions please dont he situate to contact me.

Best Reserveds,

(714) 697-0093 (C) Deveklan Manyeve @ Gol. Com (E) Manual State Manua

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CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

00 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

| | W W | W.newportbeachca.go | ov (949) 644-3200 | |
|----------------|---|---|--|---|
| | <u>BUIL</u> | DING HEIGHT | | l |
| Projec | ct Street Address:112 | E'N65 | PORD | |
| Buildi | ng Permit Number(s): | | | <u>, </u> |
| | e surveyor of record for the f Newport Beach approved on those plans. | project at the above a plan and original top | address, I hereby certif oographic survey and b | y that I have reviewed the based the elevations listed |
| Use | vations shall include an allo h critical ridge and flat roof the format below on the lanation is needed. Provide | , or roof deck railing back of this form | elevations indicated (if additional space is | on the approved plans. s necessary or further |
| All ele | vation points are based on: | NAVD88 | NGVD29 | Assumed |
| | Please provide the following | g elevation informatio | on for the highest roof r | idges, flat roofs, or |
| i | parapets/guardrails. Additio | nal elevation points a | now ha requested by the | o Building Inconstan |
| | | RIDGES (3:12 slope | e or greater) | HICE POF MARY A |
| 1. 2. 3. | Approved elevation point of Approved elevation point of Approved elevation point of | of ridge is of ridge is of ridge is | and actual elevation and actual elevation and actual elevation | point is <u>90.89</u> point is <u>90.66</u> point is <u>86.92</u> |
| | FLA | T ROOFS, PARAPETS | AND GUARDRAILS | |
| 1. | Approved elevation point o | f flat roof or parapet | is and actual e | levation point is |
| | Approved elevation point o | | | |
| 3. | Approved elevation point o | f flat roof or parapet | is and actual e | levation point is |
| certify | that the above height meas | urements are correc | t and the above projec | t: SUPC |
| | IS in compliance with | th the City-approved | plans. | O MIEDEM |
| | IS NOT in compliance | ce with the City-appr | oved plans (Provide ex | 1/2/3 G.O. 1 |
| 'lease d | lescribe any deviation from | the City-approved pl | ans on the back of this | form. |
| | | Pm K | rela | 2-27-20 SHIEGE |
| | Surveyor or Civil Enginee | - | eal | Date |
| | (Wet stamp and sign | nature required) | | |

71____

* License number of 33965 or lower

Forms Building Height Certification 11/02/16

CITY OF NEWPORT BEACH

P.O. Box 1768, Newport Beach, CA 92658-8915

SETBACKS AND TOP OF SLAB/ FLOOR ELEVATION CERTIFICATE

The purpose of this Certification is to insure that the structure is located properly on site per the approved drawings. This Certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/ floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on buildings sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place.

| Engineer/Surveyor's Name:_ | Olav S. Meum | License #: | 4384 |
|---|--------------|------------|------|
| Engineer/Surveyor's Address: <u>139 Avenida Navarro/ San Clemente, CA 92672</u> | | | |
| Job Address:112 Kings Place, Newport Beach, Ca | | | |
| Setbacks: Sketch a site plan and specify surveyed setbacks (use back page) | | | |

• Top of slab/floor elevation: <u>37.4 (top of forms/ footings)</u>

• If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks 🗹 are 🗖 are not per City approved plans. Describe any deviations from plans:_____

I certify that top of slab/floor elevation(s) \square is \square is not per City approved drawings. Describe any deviations from plans:______

October 12, 2009 Date



Engineer/Surveyor's stamp and signature

OSM/ch Ffc13549 ≠

3300 Newport Boulevard, Newport Beach



P.O. Box 1768, Newport Beach, CA 92658-8915

SETBACKS AND TOP OF SLAB/ FLOOR ELEVATION CERTIFICATE

The purpose of this Certification is to insure that the structure is located properly on site per the approved drawings. This Certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/ floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on buildings sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place.

| Engineer/Surveyor's 1 | Name: <u>Olav</u> | <u>S. Meum</u> | License #: | 4384 |
|-----------------------|-------------------|-----------------|---------------------|---------------|
| Engineer/Surveyor's | Address: | 139 Avenida N | Javarro/ San Clemer | nte, CA 92672 |
| Job Address: | 112 Kings Pl | ace, Newport Be | ach, Ca | · |

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page)

- Top of slab/floor elevation: <u>37.4 (top of forms/ footings)</u>
- If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks 🗹 are 🗆 are not per City approved plans. Describe any deviations from plans:______

I certify that top of slab/floor elevation(s) \square is \square is not per City approved drawings. Describe any deviations from plans:______



Engineer/Surveyor's stamp and signature

OSM/ ch Ffc13549

3300 Newport Boulevard, Newport Beach Z:\Certication\setbackNB



COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

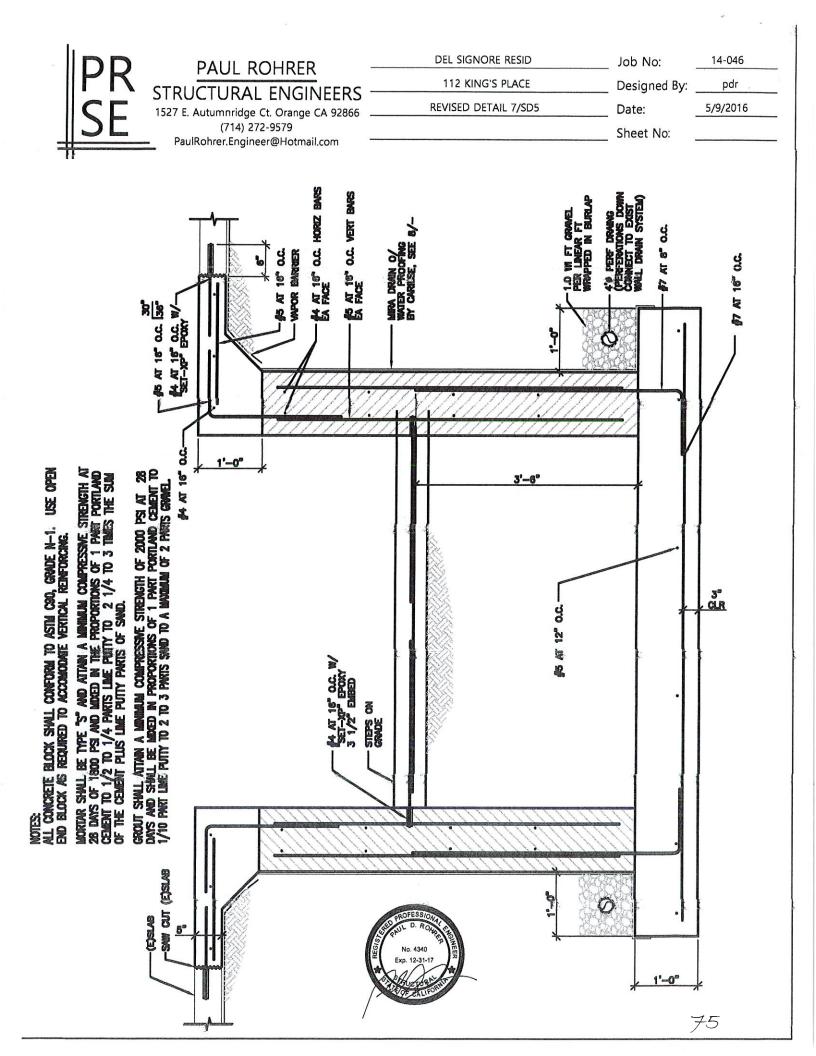
100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: 1 12 KINGS PLACE | Report Date: (2/1/15 | CNB Inspector Name: | CNB Permit #: 1512-2015 |
|--|---|----------------------------------|-------------------------------|
| Building Owner Name: | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): PSUL ROHRSE PLULROHRSE | SO E-mail Address: L. ENGINSSLO AUTMAILICUM | SO Telephone #: (114)272-9579 | SO License / Reg. #: S4340 |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|--|--|-------------------------|----------------------------|---|------------------|
| Conventional Footings & Slab | Concrete | Steel | | | |
| Mat Foundation, Prestressed Concrete | Masonry | Concrete | Steel Deck | | |
| Caissons, Piles, Grade Beams | Wood or Manuf. Shear Panels | Masonry | Wood | | |
| □ Other: | □ Other: | □ Other: | □ Other: | | |
| | □ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES. | | | | |
| | ENCIES AND COMMEN | TS: | 8 | | |
| OBSERVED | OBSERVED FLOOR AND ROOF STEATHING | | | | |
| | | | | | |
| ok to use | = 16" TUI/ | STO FOR | @ 117/8" F | ZFPITO JOISTS | * |
| NOTED D | N SHEET | 52.2 | | REPORT CONTINUED ON ATT, | |
| □ FINAL STRUCTURA The structure generally | | | documents, and all ol | bserved deficiencies were corre | ected. |
| | | | | | |
| I declare that the following | ig statements are true to | the best of my knowle | edge: | [| |
| 1 I am the licensed | design professional reta | ained by the owner | ta ha in roonanaihla | CESICIA | |
| charge of the struct | | silled by the owner | to be in responsible | | S |
| 2. I, or another license | d design professional wh | nom I have designate | d above and is under | All Standing Standing | 1 |
| my responsible cha | arge, have performed th | ne required site visite | s at each significant | 15/5 1040 2 | 11 11 |
| construction stage approved constructi | to verify that the struct | ture is in general co | onformance with the | Exc. 12-31-15 | |
| | I deficiencies which I hav | ve documented must | be corrected, prior to | NEL . | 8/1 |
| final acceptance of | the structural systems | | | The Demour Call | 1 |
| Division. | | | | Contraction of the second s | |
| IA | | | 112 | A CONTRACTOR OF CONTRACTOR | |
| 120 | | 1 | 2/1/15 | STAMP OF STRUCTURAL O | BSERVER |
| SIGNATURE OF STRUCTL | JRAL OBSERVER OF RECO | ORD C | DATE | | |





COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: 112 King's Place | Report Date: 4 18/16 | CNB Inspector Name: | CNB Permit #: |
|---|---|-----------------------------------|-------------------------------|
| Building Owner Name: Joseph Del Signore | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): Paul Rohrer | SO E-mail Address: paulrohrer.engineer@hotmail.com | SO Telephone #: (714) 272-9579 | SO License / Reg. #: S4340 |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|--|--|-----------------------|----------------------------|----------------------------------|------------------|
| Conventional Footings & Slab | | □ Steel | Concrete | Faundations | 4/18/14 |
| Mat Foundation, Prestressed Concrete | Masonry | Concrete | Steel Deck | | ,,, |
| Caissons, Piles, Grade Beams | Wood or Manuf. Shear Panels | Masonry | Wood | | |
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| ☐ FINAL STRUCTURA The structure generally | | | documents, and all o | bserved deficiencies were corr | ected. |
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| I declare that the following | ng statements are true to | the best of my knowle | edge: | No. 4340 Exp. 12-31-17 |] |
| | design professional reta | ained by the owner | to be in responsible | PROFESSION | |
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| | ed design professional wh arge, have performed th | | | LS SI | GINE |
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COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: 112 King's Place | Report Date: 6/13/16 | CNB Inspector Name: | CNB Permit #: |
|---|---|-----------------------------------|-------------------------------|
| Building Owner Name: Joseph Del Signore | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): Paul Rohrer | SO E-mail Address: paulrohrer.engineer@hotmail.com | SO Telephone #: (714) 272-9579 | SO License / Reg. #: S4340 |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|--|--|--|----------------------------|----------------------------------|------------------|
| Conventional Footings & Slab | | Steel | Concrete | | |
| Mat Foundation, Prestressed Concrete | Masonry | Concrete | Steel Deck | | |
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| I declare that the followir | ng statements are true to | the best of my knowle | edge: | | |
| 1. I am the licensed | design professional reta | ained by the owner | to be in responsible | EP PROFESSIONAL | |
| charge of the struct | ural observation; ed design professional wh | om I have designated | d above and is under | LEE PRO D. ROHAL EL | |
| my responsible cha | arge, have performed th | ne required site visits | s at each significant | () () () No. 4340 | AIGINEER |
| construction stage approved constructi | to verify that the struc | ture is in general co | onformance with the | No. 4340 Exp. 12-31-17 | 8 |
| 3. I understand that al | I deficiencies which I have | e documented must | be corrected, prior to | | ★// |
| final acceptance of Division. | the structural systems | by the City of New | port Beach, Building | OF ATRUCTURAL OF CALIFORNIA | |
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COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

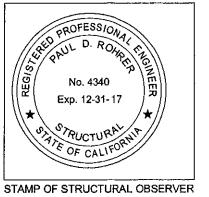
| Project Address: 112 King's Place | Report Date: 7 27/1(a | CNB Inspector Name: | CNB Permit #: |
|---|---|-----------------------------------|-------------------------------|
| Building Owner Name: Joseph Del Signore | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): Paul Rohrer | SO E-mail Address: paulrohrer.engineer@hotmail.com | SO Telephone #: (714) 272-9579 | SO License / Reg. #: S4340 |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|--|--|----------------------|----------------------------|----------------------------------|------------------|
| Conventional Footings & Slab | | D Steel | Concrete | | |
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| i declare that the following | ng statements are true to | the best of my knowl | edge: | | |
| charge of the struct | design professional ret ural observation; ed design professional w | - | | SUPPROFESSIONAL C | i loi |

- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- 3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD





COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: 112 KINGS PLACE | Report Date: BBI9 | CNB Inspector Name: | CNB Permit #: |
|--|---|----------------------|----------------------|
| Building Owner Name: DAL 51-6NDME | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): | SO E-mail Address: | SO Telephone #: | SO License / Reg. #: |
| HANCED LARSON | HARLAR2001@AUL.COM | (949)497 5203 | BCE 33222 |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|---|--------------------------------|-----------------|----------------------------|----------------------------------|------------------|
| Conventional Footings & Slab | | Steel | Concrete | | |
| Mat Foundation, Prestressed Concrete | Masonry | | Steel Deck | 4 | |
| Caissons, Piles, Grade Beams | Wood or Manuf. Shear Panels | □ Masonry | Wood | | |
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| ☐ FINAL STRUCTURA The structure generally | | | documents, and all of | oserved deficiencies were corr | ected. |
| | | | | | |
| I declare that the following statements are true to the best of my knowledge: 1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation; 2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents; 3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division. B/B/IG | | | | | |
| SIGNATURE OF STRUCTU | IRAL OBSERVER OF RECO | | AJTE / | |] |

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COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: | Report Date: | CNB Inspector Name: | CNB Permit #: |
|--|---|----------------------------------|-----------------------------------|
| Building Owner Name: DEL SIGNORE | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): | SO E-mail Address: HARLAR2001 @ Address | SO Telephone #: (949)497-52#3 | SO License / Reg. #: RE 33222- |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE |
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| Conventional Footings & Slab | | C Steel | | | |
| Mat Foundation, Prestressed Concrete | Masonry | Concrete | Steel Deck | | |
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| FINAL STRUCTURA The structure generally | | | documents and all ob | served deficiencies were corr | |
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| I declare that the followin | g statements are true to | the best of my know | ledge: | | |
| I am the licensed design professional retained by the owner to be in responsible charge of the structural observation; I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents; I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division. | | | | | |
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CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: | | | | -p | |
|---|---|---|----------------------------|-------------------------------|----------------------|
| 12 KINGS | PLACE | Report Date: | 7670 | CNB Inspector Name: | CNB Permit #: |
| Building Owner Name: | | Owner's Mailing Address (if different from site); | | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Ob | Berver (SÓ). | SO E-mail Address: | | | |
| tanous Lo | MSJal | | | SO Telephone #: | SO License / Reg. #: |
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| 1. I am the licensed charge of the structu | rai operation. | ained by the owner | to be in responsible | PROFESS | ONI |
| 2. I, or another license | design professional w | hom I have dealers | od ob our set to st | ROLD E. L | 10.101 |
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| miner accoption too of | the structural systems | by the City of New | woort Beach. Building | 1/*/ | 1st |
| Division. | / | | a search searching | CIVI | LEOF |
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COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION 100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915

www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: 2 KINGS PLACES | Report Date: 5-1 - 2020 | CNB Inspector Name: | CNB Permit #: |
|---|---|-----------------------------------|-----------------------------------|
| Building Owner Name: | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): HAROLD LARS | SO E-mail Address: HARLAR 2001 @ AOL COM | SO Telephone #: 949) 497 -5203 | SO License / Reg. #: ROE-33222 |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE |
|--|--------------------------------|---------------------|----------------------------|----------------------------------|--------------|
| Conventional Footings & Slab | | C Steel | | | |
| Mat Foundation, Prestressed Concrete | Masonry | Concrete | Steel Deck | | |
| Caissons, Piles, Grade Beams | Wood or Manuf. Shear Panels | Masonry | U Wood | | |
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| FINAL STRUCTURAL OBSERVATION REPORT: The structure generally complies with the approved construction documents, and all observed deficiencies were corrected. | | | | | |
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COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

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| Toject Address: | | | | | |
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| 12 VINUS | Die | Report Date: | | port | |
| kuilding Owner Name: | Purce | 5-12-2020 | | CNB Inspector Name: | CNB Permit #: |
| | | Owner's Mailing Adda | 0.2.5 | | Civio Permit #: |
| Ul Name of Structural Ob | | - maning Addre | ss (if different from site); | Owner's Telephone #: | |
| HANNIN L | | SO E-mail Address: | | | CNB Plan Check #: |
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| Prestressed Concrete | Masonry | Concrete | | | |
| Caissons, Piles | Wood | | Steel Deck | | |
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| charge of the st | d design professional i ctural observation; | retained by the own | er to be in reasonally | DBOF | FSC |
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COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: | Report Date: | CNB Inspector Name: | CNB Permit #: |
|--|---|----------------------------------|---------------------|
| Building Owner Name: DEL SIGNORE | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): HARELO E. LANSON | SO E-mail Address: HARLAR2001 @ ADLCOM | SO Telephone #: (949)497-52=3 | SO License / Reg. # |

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE |
|---|--|--|--|--|-------------|
| Conventional Footings & Slab | | C Steel | | COCLATE | OBSERVE |
| A Mat Foundation, Prestressed Concrete | Masonry | Concrete | Steel Deck | | |
| Caissons, Piles, Grade Beams | Wood or Manuf. Shear Panels | Masonry | Wood | | |
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| I declare that the following | | | | served deficiencies were corre | cted. |
| I am the licensed of charge of the structure I, or another licensed my responsible characteristic construction stage to approved construction I understand that all structure | lesign professional retain ral observation; I design professional who rge, have performed the o verify that the structure n documents; deficiencies which I have the structural systems I | ined by the owner to om I have designated a required site visits ure is in general cor a documented must b by the City of Newpo | b be in responsible above and is under at each significant normance with the | No. 33222 STAMP OF STRUCTURAL OB | ENGINE 29 * |



COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

| Project Address: 112 King's Place | Report Date: 83/1/17 | CNB Inspector Name: | CNB Permit #: |
|---|---|-----------------------------------|-------------------------------|
| Building Owner Name: Joseph Del Signore | Owner's Mailing Address (if different from site); | Owner's Telephone #: | CNB Plan Check #: |
| Full Name of Structural Observer (SO): Paul Rohrer | SO E-mail Address: paulrohrer.engineer@hotmail.com | SO Telephone #: (714) 272-9579 | SO License / Reg. #: S4340 |

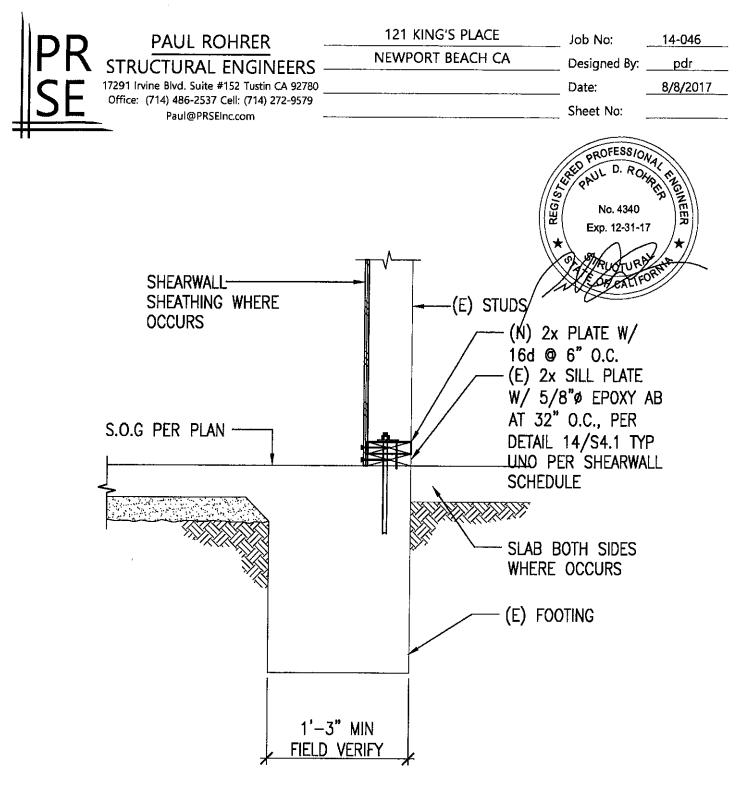
PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

| FOUNDATIONS | SHEAR WALLS | FRAMES | DIAPHRAGMS (Floor/Roof) | INDICATE LOCATION(S) OBSERVED | DATE OBSERVED |
|--|--|-------------------------|----------------------------|---|------------------|
| Conventional Footings & Slab | | □ Steel | | 100% FRAMING | 8/1/17 |
| Mat Foundation, Prestressed Concrete | Masonry | Concrete | □ Steel Deck | | |
| Caissons, Piles, Grade Beams | Wood or Manuf. Shear Panels | Masonry | Wood | | |
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| | | | | | |
| I declare that the followi | ng statements are true to | the best of my knowle | edge: | | |
| 1. I am the licensed charge of the struc | design professional reta | ained by the owner | to be in responsible | No. 4340 Exp. 12-31-17 | |
| | ed design professional wh | hom I have designate | d above and is under | LURE PAUL D. ROHAT | š |
| my responsible ch | harge, have performed th | he required site visits | s at each significant | $\left \left \left \frac{S}{S} \right \right \right $ No. 4340 | MOINEEF |
| approved construct | to verify that the struction documents: | ture is in general co | onformance with the | Exp. 12-31-17 |)\$\$] |
| 3. I understand that a | Il deficiencies which I have | ve documented must | be corrected, prior to | | /★// |
| final acceptance o Division. | of the structural systems | by the City of New | port Beach, Building | WA WIRUCTURAL NA | ·// |
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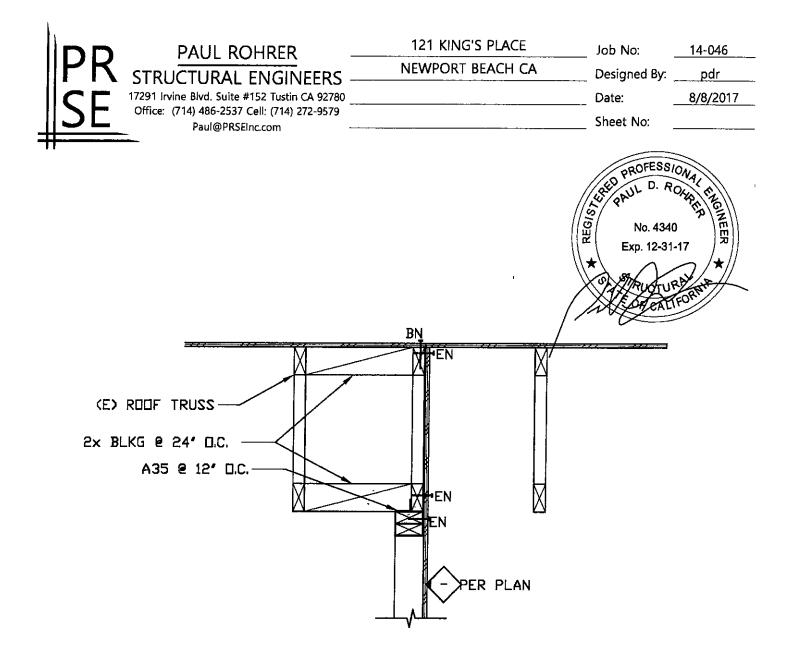
SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

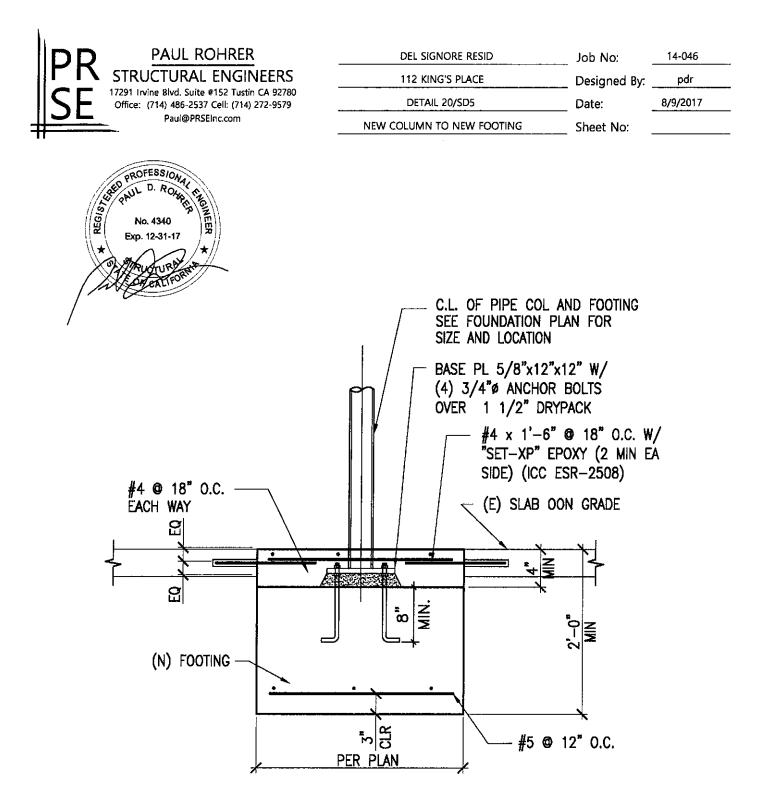
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| CITY OF NEWPORT BEACH | Gen Contr: Critica L |
| COMMUNITY DEVELOPMENT DEPARTMENT | |
| BUILDING DIVISION | |
| 100 Civic Center Drive P.O. Box 1768 Newport Beach, CA 9265 www.newportbeachca.gov (949) 644-3200 | 8 |
| SPECIAL INSPECTION REPORT | |
| | Kings PL |
| Permit Number: 12018-3347 | |
| Inspection Type (s): $KC - \leq 196$ | and the second se |
| Inspection Date (s): $\frac{3}{20}/20$ () Periodic (| TContinuous |
| Describe Inspection, Including Location(s): | |
| Observed the placement and opsolidat | or 0-3000 |
| ASI concrete @ basement love. | Slad |
| around newly poured wall a spiral s rolumn - approx 2.5 vards (onsolidat | Haik Jan |
| Vibrabor. (oncret. placed per plan | DELL |
| List Tests Made: | |
| UNVS (oncrete | |
| | 3004 |
| Total Inspection Time Each Day: | |
| Date: 5/20/20 Hours: VW | |
| Hours: VY List All Items Requiring Correction (Include Previously Listed Uncorrected Items): | · · · · · · · · · · · · · · · · · · · |
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| Comments: | (Amples S) 9 |
| Stand corresponding greperal heres for | and a start of the |
| placement for water and suglishing (ontr | |
| I dearances maintained by 3' robbe 5 | PACEY 5 |
| steel clucked and approved prior to pi | Olun |
| ·· · | |

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

| Special Inspector Signature: | Date: |
|------------------------------|---------------------------------|
| | 5/20/20 |
| Print Full Name: | Newport Beach Registration No.: |
| Sharp Albert | NB-0743 |

SpecialInspectionReport 8-24-15

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| CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION 100 Civic Center Drive P.O. Box 1768 Newport Beach, CA 9265 WWW.newportbeachca.gov (949) 644-3200 | |
|---|-------------------------------|
| SPECIAL INSPECTION REPORT | |
| Project Address: <u>J. Signore Residence @ 112 Lin</u> Permit Number: <u>2018-3347</u> Inspection Type (s): <u>LC- Eporty</u> Inspection Date (s): <u>3/31 20</u> () Periodic | AS PLACE |
| Describe Inspection, Including Location(s): | |
| Observed The placement of Simpson high strength poory & First flo anchor bolts and holddowns per, pla SI and associated details on 415 (14) ancher bolts w/ 518 threaded no 7"e | T Page 5, 8955 mbedment |
| List Tests Made: | |
| grony Observation | |
| Total Inspection Time Each Day: | |
| Date: 3/3/20 Hours: PM | ÷ |
| List All Items Requiring Correction (Include Previously Listed Uncorrected Items) | : |
| Simpson XP22N1000065341 240. 12/15/21 | |
| Comments: | ^ |
| control at sill plates () HDUIL & NW Corner Putlerskitchen w 10.5 embedment () HDU2 embedment 5/8" root. All heles wire bushed blown per manutacture specifications, Rod withart defect or deleterious roating. | of l'and |
| To the best of my knowledge, the work inspected was in accordance with the Building Division approve specifications and applicable workmanship provisions of the U.B.C. except as noted above. | d design drawings, |

| Special Inspector Signature: | Date: |
|------------------------------|---------------------------------|
| | 3/31/20 |
| Print Full Name: | Newport Beach Registration No.: |
| Sham Ward | NB-0743 |

SpecialInspectionReport 8-24-15



| | | ION |
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| DEPUTY | LINSPECT | 10/11 |
| 1-800-DE | PITTY | |
| Gen Coutr: | | |
| Cule Contr | Ekedal | |

Report of Special Inspection

Project Name & Address Del Signore Residence/112 Kings PI, Newport Beach

| Teamie In | ¥2 | 18-3347 | | | | | |
|-----------------------|---|--|--|--|--------------------|---|---|
| | n Type(s) | Reinforced Concre 5/20/2020 | ete | | | | |
| Inspectio | | 572072020 | [] Pe | riodic [| x |] Continue | ous |
| • | | ade, including Locations: | In the second second second second second | 14(3+5/W)+0(FC/)(10-0 | len Wynen anno | | TIEN |
| Observe | d enory inst | ade, including Locations: allation of (44) #5 dow | els embedo | led a minir | num | of 7" into | (13) |
| existing | concrete for | allation of GH1 #5 dow new to existing slab co | onnections | at baseme | ent le | ver per 5- | otails |
| he struc | tural plans. | new to existing slab consistent of the second secon | of dowels in | strict acco | orda | ice with u | etano |
| 10/11 on | S 5 | | | | | | |
| List Tests | Made: | reinforcement of slab | at baseme | nt level pe | r cal | louts on S | -1- |
| /erified p | lacement of | e 12" un center. | un care compression de la maise de la m | Constant area of a long to a l | | \$ | |
| -5 TENHU | city bars a | | | ٣٣٩، ٢٠٠٠، ٢٤، ٢٤، ٣٣٩، ٣٢، ٣٢، ٣٢، ٣٢، ٣٢، ٣٢، ٣٢، ٣٢، ٣٢، ٣٢ | Chille Constraints | angen verschalter all der eine bil der gestenden. | |
| fotal Inso | ection Time I | Each Day: | | | | | |
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| Date | 5/20/20 | and the second sec | and the second sector of the s | | - | n di la putan in a part managan di mang | ann agus ann an ann an ann an ann an an an an an |
| Hours | | | - | | | | |
| | | rrection, include uncorre | • •••••• | | | | |
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| Reinforce | ement cleara | ances achieved and n | naintained | inrougnou | ĩ. | | |
| oprovea a | of my knowle esign drawing ted above. | edge, the work inspected gs, specifications and a M | pplicable wo | ordance wit orkmanship | рго | visions of | Departmenthe U.B.C |
| gned: | | Japp 1 | Da Da | te | | 5/20/20 | |
| int Full N | ame: | Themas George | | gistration N | | NB-06 | 17 |

FORM \$1-02,90

DEPUTY 1 INSPECTION 1-800-DEPU NEWPO Gen Contr: **CITY OF NEWPORT BEACH** Sub Contr: ? eda COMMUNITY DEVELOPMENT DEPARTMENT **BUILDING DIVISION** 100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200 SPECIAL INSPECTION REPORT Signore Residence @ 112 Kings Place **Project Address: Permit Number:** Inspection Type (s): Inspection Date (s): З () Periodic () Continuous Describe Inspection, Including Location(s): acem 001 emb List Tests Made: Mosena DONU **Total Inspection Time Each Day:** 3/31/20 Date: PW Hours: List All Items Requiring Correction (Include Previously Listed Uncorrected Items): 0000 US34 1 psor 1512 Comments: 01 To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the 0, B.C. except as noted above. Special Uspector Signature: Pate: 3 **Print Full Name: Newport Beach Registration No.:** 743 SpecialInspectionReport 8-24-15



DEPUTY LINSPECTION 1-800-DEPUTY Gen Contr. NVIN Sub-Contr. Ekedal

Report of Special Inspection

Project Name & Address Del Signore Residence/112 Kings Pl, Newport Beach

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| Termit In | | 18-3347 | | | | | |
| Inspection | n Type(s) | Reinford | ed Concre | te | | | |
| Inspection | n Date(s) | 5/20/20 | | [] Per | riodic [| X] Conti | nuous |
| Describe | Inspection Ma | ide, including | g Locations: | | | | |
| | d epoxy insta | | | els embedd | led a minim | um of 7" in | to (15) |
| existing of | concrete for | new to exis | ting slab co | nnections | at basemer | t level per | S-1 of |
| the struc | tural plans. S | Size and en | nbedment o | f dowels in | strict acco | rdance with | details |
| 10/11 on | S5. | | 5 | Not Marillanian of some grant interior you | ************************************** | **** | |
| List Tests | | | | and the second secon | an in the second se | | |
| | placement of | | | at baseme | nt level per | callouts on | S-1- |
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| Date | 5/20/20 | | | | | in the second | |
| riours | 4 | | | | | | an na ann an Airtean an |
| List Items | Requiring Co | prrection, inc | lude uncorre | cted items p | reviously list | ed | |
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| approved | t of my know design drawin hoted above. | ledge, the wo | ork inspected | was in acco pplicable wo | rdance with orkmanship | the Building provisions of | Department f the U.B.C. |

| Signed: | 5/20/20 | |
|--------------------------------|------------------------|--------|
| Print Full Name: Thomas George | Registration NoNB-0617 | ugi et |

FORM \$1-02;90



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Report of Special Inspection

| Project Name d | k Addres: | | | SIEN | | | | |
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| Permit Number_ | <u> X 201</u> | 6-040 | 03 | | | | | |
| Inspection Type | | <u> </u> | | | | | | |
| Inspection Date | (s) | 9-2; | 8-16 | - [|] Periodi | c í | ≻]Con | tinuous |
| Describe Inspec | tion Mad | le, includir | ng Locatio | | BERRYED | | - | DE HOL |
| <u>ALA MIN</u> | -0 + -6 | 1/16 | TOLES 1 | 12005 1 | CANON | | | VIRE BRIST |
| AND AIR | COMPR | SSOR # | 4 ReB | AR LEN | 17 (1980) 1 | - PER | | SDH and |
| SPECIMICATI | - SK W | IS THE | EPOXY | (5ED) (| MPHES | W/TH | THE PLAN | <u>. Ai</u> vd |
| List Tests Made | | provids | D 64 | THEE | ion | | | |
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| Hours 8 | \$ | | 1 | | | | | |
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| o the best of my | / KHOWICE | the the wa | | | <u>}</u> | | | 1 |
| o the best of my pproved design accept as noted a | drawing | , specifice | tions and | l applicabl | accordance workma | ie with I Inchinger | the Building | Department |
| Acopt as noter a | 0040 | $V \downarrow$ | | J. | | | () A 4 (914) (19 - C | 13 - 5759 - Mala APellus |
| igned: <u>flow</u> | 104/ | 1120 | uce | | Date _ | 9-28- | 16 | |
| 7 4-4 7 .01 M | C | | | 4-24 - 212 - 21 2 | | | | 111 |
| fint Full Name: | isicha | ind Ua | VISON | | Registrat | tion No. | NB- | 7993 |

Report of Special Inspection

| C WPOA |
|---|
| Project Name & Address 516NOR 12 KINGS PL NEW PORT REACH (A. |
| Permit # X2014 - 2028 |
| Inspection Type(s) <u>FROXY</u> |
| Inspection Date(s) 8-8-17 [] Periodic 🕅 Continuous |
| Describe Inspection Made Including Location, OBSERVATION AND INSPECTION OF 8) 7/8 ALL THREADS ANCHOR BOLTS & EMBEDDED WITH SIMPSON STRONGTIE XP EPOXY FOR NEW SHEAR AT EXISTING WALLS AS PER SHEAR SCHEDULE AND DETAIL # 2 PAGE 502. |
| List Test Made; |
| Total Inspection Time Each Day |
| Date: 8-8-17 Hours: 3 |
| List Items Requiring Correction, Include uncorrected items previously listed |
| To the best of my knowledge; the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as notated above. Signed: X and X building Department approved design Date: $B - B - I T$ |
| Signed: The And Davison Date: 8-8-17 Print Full Name: <u>Registration #: NB-0.555</u> |

| CULTFORNING 100 Civic Center Drive P.O. Box | VPORT BEACH OPMENT DEPARTMENT G DIVISION x 1768 Newport Beach, CA 926 ca.gov (949) 644-3200 | ſ | | | | | |
|--|---|---|--|--|--|--|--|
| SPECIAL INSPE | ECTION REPORT | | | | | | |
| Project Address: Del Signore Lecio Permit Number: X2018-334 Inspection Type (s): RC - Chemica Inspection Date (s): 43028 | Dence C112-Kin | g S PL (GContinuous | | | | | |
| Describe Inspection | , Including Location(s): | | | | | | |
| high strengthe placeme | a basement 1. | set Xp evel that per plan Sq including | | | | | |
| | sts Made: | | | | | | |
| observation. Simpson set | tication and 200 1922N10000738 | | | | | | |
| | n Time Each Day: | | | | | | |
| Date: 7136726 Hours: PM | | | | | | | |
| List All Items Requiring Correction (Inclu | de Previously Listed Uncorrected Hor | | | | | | |
| NA | | | | | | | |
| | | | | | | | |
| adjacent retaining well dowels (ST) total dowels into existing too ting stab and retaining wall for the Structural connection Dowels #4 rebay w/ 7" ambedment | | | | | | | |
| Rebar placed per plan with 3" clearances thes bushed and blann per montperver specifications Rebar | | | | | | | |
| To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above. | | | | | | | |
| Special Inspector Signature: | Date: | | | | | | |
| | 4/22/2- | | | | | | |
| Print Full Name: | * 00/20 | | | | | | |
| Shown Ward | Newport Beach Regis | itration No.: | | | | | |

SpecialInspectionReport 8-24-15



Report of Special Inspection

| Project Name & Addr | DE | L SIG | NORE | | |
|---|--------------------|----------------|--------------|--|-----------------|
| | | INGS P | ٤. | | |
| Formit Number X20 | 216-0463 | 3 | r | هديورد بذنباهم الألل فالعا | |
| Inspection Type(s) | EPOXY | | | | |
| aspection Date(s) | 11-3-16 | (|] Periodie | . [×] | Coalisyous |
| Describe Inspection M | adt, including L | Scationer () P | SERIMAN | | |
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| AT DESIGNAM | DO DOTH | AS P.P.2 | PLANS | | APPERSS |
| on 11-2-16. 01 SIMPSON X | BSERVED | BRUSH | NG AND | CLEAN | ING OF HOL |
| ist Tests Made; | · (- | | | •. | |
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| otal Inspection Time | Each Dave | | • • | يسيد عمل المراجعة ا | |
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| Date 11-3-14 | | | 1 | • | |
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| ist lisens Requiring Co | orrection, include | uncorrected i | COS previous | v listed | |
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| o the best of my known poroved desten fremie stept as noted above | Streilestian | ser bataque | a accordance | with the Build | ling Department |
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| ines: <u>ILANN</u> | 1 1 ca | m | - I) | -2-11 | |
| ines: <u>fl. 4/14/</u> Int Full Name: <u>Rich</u> | | | Date | | |
| int Full Name: <u>KiCl</u> | rand Uavia | on | Registracio | n No. NB- | 0555 |
| • | | | - | | |

COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 = Ph: (714) 870-1211 = Fax: (714) 870-1222 = Email: coastgeotec@sbcglobal.net

Daily Observation Report

| Daily | Observ | vation Report | INV HRS |
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| EGA consultants | | DAY THUNSDAY DATE SAME PROJECT NAME SAME SAME RE LOCATION UPERINTENDENT/FOREPERSON UPERINTENDENT/FOREPERSON | PROJECT NO. CITY NOTIFICATION |
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| TYPE OF INSPECTION REQUIRED | Soils Reinforced Concrete Reinforced Masonry | Structural Steel Assembly Drainage Asphalt | Quality Control Epoxy Other |
| SUMMARY OF OBS | SERVATIONS AND/OR DISCUS | | Vel Cheik-Fostin |
| EXISTICS CON Concrete. | ciete. Approved from | Gestechnical stantfort | tock or freytous + Goed to pour |
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| TESTS PERFORME RECOMMENDATION | | CYLINDERS: | |
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| | | SIGNATURE, TITLE | 1 -01 |



PAUL ROHRER STRUCTURAL ENGINEERS 17291 Irvine Blvd #152 Tustin CA 92780 O: (714)486-2537 C: (714) 272-9579 Paul@PRSEinc.com

Responses to Basement Wall Backfill Corrections

October 7, 2016

wes to

Joe del Signore C.O. Derek La Marque 112 Kings Place Newport Beach CA 92663 P: (714) 697-0093 E: dereklamarque@aol.com Project Name: Kings Place Location: 112 Kings Pl. Newport Beach CA 92663 PRSE Job #: 14-046

Per recommendations by David Worthington the new CMU Basement Wall shall be backfilled with 5'-0" of gravel at the bottom and the remainder of the wall backfilled with sand. The perforated pipe at the bottom of the wall shall have vertical stand pipes at 5'-0" o.c.. The stand pipes shall be of perforated pipe with a solid cap on top and wrapped in burlap or other permeable

pipes shall be of perforated pipe with a solid cap on top and wrapped in burlap or other permeable geotextile membrane. The stand pipe shall extend up from the base a maximum of 5'-0" and remain covered in gravel. See the approved drawing for additional information.*

Sincerely, Paul Rohrer S.E.

PRSE Inc.





A1 Construction Inspection, Inc.

421 N. Brookhurst St., Ste 130, Anaheim, CA 92801 O: (714) 833-5619 F: (714) 833-5457 dispatch@a1constructioninspection.com

| Date 10-12-2016 | | | | | |
|--|------------------|--|--------------------------------|--|--|
| REGISTERED INS | SPECTOR'S | S DAILY REPORT | | Project No. | |
| TYPE OF | | rced Concrete | Structural Steel | Quality Control | |
| INSPECTION REQUIRED | | essed Concrete rced Masonry | Fire Proofing Shotcrete | Drilled In Anchors | |
| Project Address | | | | Cíty | |
| 112 Kings I | 기, | ······ | Permit No | Newport Beach | |
| Project Name 112 Kings Pl. | | | X2014-2028 | Newport Beach | |
| Type of Structure Residential | | | Architect | | |
| Material Description (type, grade | e, source, etc.) | | Engineer Paul Rohrer Struct | ural Engineers | |
| | | | Contractor | | |
| Inspector's Name | | ······ | Subcontractor | | |
| Alfredo Rodrig | uez | | | | |
| | | | | | |
| TYPE OF SAMPLE | SLUMP | QUANTITY IN SET | ADDITIO | NAL REMARKS ON SAMPLES | |
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| INSPECTION SUMMARY- | 1 | | | | |
| INSPECTION SUMMART- | | | | | |
| | | | - Observed the useldi | ng of con plate to M beam | |
| | ing of tube si | teel columns to cap plat | e. Observed the weidi | ng of cap plate to W beam | |
| flange. Observed the weldin | a of connecti | on plates to W beam w | eb on both sides | | |
| Observed the welding | n of HSS bea | ams to angles and conti | nuity plate per detail (2 | 2/SD4 (and per engineer request) | |
| Observed the weldin | g of HSS col | umns to cap plate. Obs | erved the welding of ca | ap plate to W beam flange. | |
| | g of #7 dowe | I to W beam flange per | detail (19/SD4) and W | P5. | |
| SMAW E8018 used. Welder on file. | | | | | |
| Observed the certifie | d welder for | welding procedures and | d proper welding techn | iques. | |
| Observed that joint c | onnections n | neet the requirements o | f AWS D1.1-2010. | | |
| All work was perform | ed and inspe | ected to the best of my. | (nowledge, | | |
| All work was performed per approved plans and per engineer specifications. | | | | | |
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| ····· | CHECKED IN WITH | | | MED PER SPECS. CALLED IN SAMPLES FOR PICKUP | |
| QUALITY CONTROL | ON TIME TO JOB | REVIEWED SPEC | <u> </u> | | |
| CHECKLIST | CHECKED PERMI | r REVIEWED PREV | | | |
| CERTIFICATION OF COMPLIAN ALL WORK LISTED ABOVE WAS INS | | ED BY | CONTINUED ON NEXT PAGE | | |
| THE APPROVED PLAN, SPECIFICAT | IONS, AND GOVERN | ING CODE | | | |
| WORK COMPLIES WITH | | | 7 am 3pm | imum of 4 hours and over 4 hours - 8 hours minimum. If | |
| | \square | | | ject and no work is performed the minimum will apply. | |
| w | 1 | | | | |
| SIGNATURE OF REGISTERED INSPE Steel | NB-068 | R | Approved by | Project Superintendent | |
| SPECIALTY | NO | AGENCY | | | |

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| Date 10-13-201 | | | | |
|---|---|--------------------------------|--|--------------------------|
| REGISTERED INS | PECTOR | S DAILY REPORT | | Project No. |
| TYPE OF | | rced Concrete | Structural Steel | Quality Control |
| INSPECTION REQUIRED | | essed Concrete rced Masonry | Fire Proofing Shotcrete | Other |
| Project Address 112 Kings P | 1 | | City | ort Beach |
| Project Name | <u>. </u> | | Permit No Lis | sued By Newport Beach |
| 112 Kings Pl. | | | Architect | |
| Residential Material Description (type, grade, source, etc.) | | | Engineer Daul Dobros Structural Eng | incoro |
| | | | Paul Rohrer Structural Eng Contractor | IIIeers |
| Inspector's Name | | | Subcontractor | |
| Alfredo Rodrigu | Iez | | <u> </u> | |
| TYPE OF SAMPLE | SLUMP | QUANTITY IN SET | ADDITIONAL REMA | ARKS ON SAMPLES |
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| INSPECTION SUMMARY- | | | | |
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| Observed then welding of tube steel columns to cap plate. Observed the welding of cap plate to W beam flange. Observed the welding of connection plates to W beam web on both sides. Observed the welding of HSS beams to angles and continuity plate per detail (2/SD4) and per engineer request. Observed the welding of HSS columns to cap plate. Observed the welding of cap plate to W beam flange. Observed the welding of #7 dowel to W beam flange per detail (19/SD4) and WPS. SMAW E8018 used. Welder on file. Observed the certified welder for welding procedures and proper welding techniques. Observed that joint connections meet the requirements of AWS D1.1-2010. All work was performed and inspected to the best of my knowledge. All work was performed per approved plans and per engineer specifications. | | | | |
| QUALITY CONTROL CHECKED IN WITH CITY REVIEWED APPROVED PLAN TEST PERFORMED PER SPECS. CALLED IN SAMPLES FOR PICKUP ON TIME TO JOB REVIEWED SPECIFICATIONS CORRECT NO. OF SAMPLES ALL DEFICIENCIES NOTED CHECKLD PERMIT REVIEWED PREVIOUS REPORTS SAMPLES STORED SAFELY OTHER | | | | |
| CERTIFICATION OF COMPLIANC ALL WORK LISTED ABOVE WAS INSPE THE APPROVED PLAN, SPECIFICATIO WORK COMPLIES WITH APPROVED DOCUMENTS | ECTED AS REQUIR NS, AND GOVERNI WORK DOES N | NG CODE | CONTINUED ON NEXT PAGE | |
| Steel | NB-0686 | AGENCY | | roject Superintendent |

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| 112 Kings PI. Newport Beach Several Residential Several Residential Residential Administration of the state | 1997 / // 1997 NY 20234 | | | | Date 10-14-2016 | | |
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| INSPECTION Implementation of marked Matorial REQUIRED Implementation of marked Matorial Problem Address Other Problem Address Other Problem Address Interview Matorial Problem Address Namport Beach Problem Name Interview Matorial It2 Kings P: Namport Beach Name Padd Rohrer Structural Engineers Contraction Padd Rohrer Structural Engineers Address Structural Engineers Contraction Structural Engineers Address Structural Engineers Contraction Structural Engineers Contraction Structural Engineers Contraction Numma Structural Engineers TYPE OF SAMPLE SLUMP Quantity in Structural Engineers Contraction Structural Engineers Observed then welding of tubb steel columns to cap plate. Observed the welding of cap plate to W beam Banges Observed the welding of #18 S boams to cap plate. Observed the welding of cap plate to W beam flange. Observed the welding of #17 dowel to W beam flange per detail (19:SD4) and WPS. SMAW E8018 uses Structures and proper welding tachingues. | REGISTERED INS | SPECTOR'S | S DAILY REPORT | | Project No. | | |
| Operation City Newport Beach Prevent Name Permit No Newport Beach The distribution Permit No Newport Beach Residential Permit No Newport Beach The discription Subconnectors Newport Beach Minedo Rodriguez Subconnectors Newport Beach TYPE of SAMPLE Subconnectors Subconnectors Minedo Rodriguez Subconnectors Subconnectors Target Or Sample Subconnectors Subconnectors Observed the welding of tube steel columns to cap plate. Observed the welding of cap plate to W beam Newport Beach Observed the welding of XS bearms to angles and continuity plate per detail (2/SD4) and per engineer request Observed the welding of XT dowel to W beam flange per detail (19/SD4) and WPS. Observed the welding of XT dowel to W beam flange per detail (19/SD4) and WPS. SMAY EB018 used. Observed the welding of the certified welder for welding procedures and proper welding taconniques. Observed the certified welder for w | INSPECTION | Prestre | ssed Concrete | Fire Proofing | Drilled In Anchors | | |
| Note: Part No. Part No. Stand By. Vitro 3 Structure Residential Anohean Nowport Beach Nowport Beach Vitro 3 Structure Residential Anohean Structure Paul Rohner Structural Engineers Nowport Beach Inspectors Name Alfredo Rodriguez Structure Structural Engineers ADDITIONAL REMARKS ON SAMPLES TYPE OF SAMPLE SLUMP QUANTITY IN SET ADDITIONAL REMARKS ON SAMPLES TYPE OF SAMPLE SLUMP QUANTITY IN SET ADDITIONAL REMARKS ON SAMPLES Observed then welding of tube steel columns to cap plate. Observed the welding of cap plate to W beam flange. Observed the welding of FSS columns to cap plate. Observed the welding of cap plate to W beam flange per detail (2/SD4) and VPS. Observed the welding of HSS columns to cap plate. Observed the welding of applate to W beam flange. Observed the welding of HS dowel to W beam flange per detail (19/SD4) and VPS. SMAW EBOTA seed. Welder on file. Observed the welding of the welding of romeotions meet the requirements of AWS D 1:1-2010. All work was performed and inspected to the best of my knowledge. All work was performed and inspected to the best of my knowledge. All work was performed and inspected to the best of my knowledge. All work was performed and inspected to the best of my knowledge. All work was performed an | Project Address | | | City | wood Reach | | |
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DAY DATE engineering 10. -8-16 EGA geotechnical PROJECT NAME PROJECT NO. 15 a ho applications LOCATION CITY P consultants SUPERINTENDENT/FOREPERSON a FIELD REPORT)erric CONTRACTOR(S ENGINEER TO: File, LA MARQUE GRP, 0 EQUIPMENT ON SITE Tours PERSONNEL ON SITE Soils TYPE OF Structural Steel Assembly Quality Control INSPECTION Reinforced Concrete Drainage С Ероху REQUIRED Reinforced Masonry Asphalt Other SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: PLACEMEN OF NA. B OVERLAN A GEOTECHMOA **TESTS PERFORMED:** CYLINDERS: **RECOMMENDATIONS:** 2 CAU WSPE OF OR ON "N ARAI -111 11/18 SIGNATURE, TITLE (POSITION) 12 PERSONNEL ON SITE TIME ON SITE ARRIVAL DEPARTURE TRAVEL SUBTOTAL SIGNATURE OF SUPERINTENDENT, TITLE (POSITION) at. EGA CONSULTANTS 375-C Monte Vista Avenue Costa Mesa, CA 92627 1 0. (949) 642-9309 TOTAL HRS (4 HR. MIN.) FAX (949) 642-1290

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Report of Special Inspection

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Taylor, Don

| From: | Derek La Marque <dereklamarque@aol.com></dereklamarque@aol.com> |
|----------|---|
| Sent: | Tuesday, January 06, 2015 12:16 PM |
| То: | Taylor, Don |
| Cc: | Joe Del Signore; Brett Detmers |
| Subject: | 112 Kings Place Newport Beach Permit Extension Request |

Good afternoon Don,

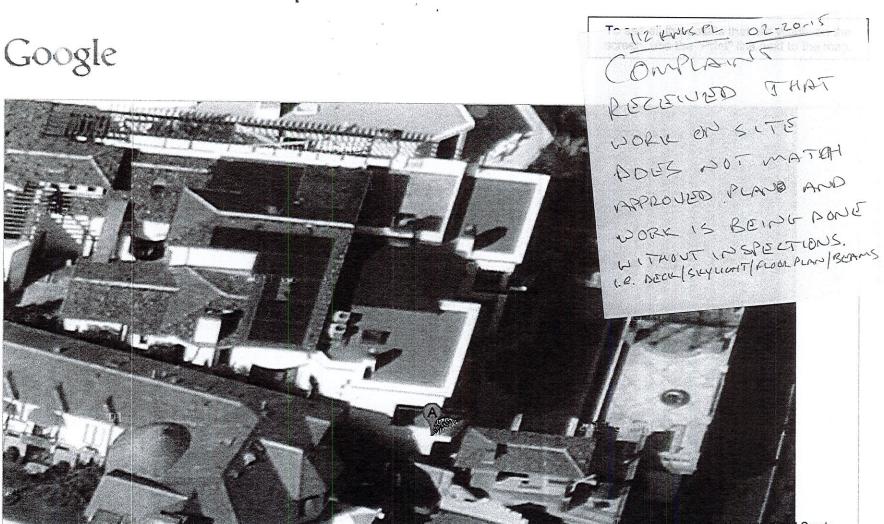
My name is Derek La Marque, I will be the person running the project on 112 kings place. With your permission I would like to request a extension on our permits for 112 Kings place. We have not started the project yet due to design changes and funding. We have a definite start date on January 23, 2015. At your convenience let me know if we can get the extension, should you have any questions please don't hesitate to contact me anytime, my contact info is below.

Best regards,

Derek La Marque La Marque Group, LLC (714) 697-0093 (C) DerekLaMarque@aol.com 112 Kings Place, Newport Beach, CA - Google Maps

k

Page 1 of 2



https://www.google.com/maphp

16/09/2014

112 Kings Place, Newport Beach, CA - Google Maps

To see all the details that are visible on the screen, use the "Print" link next to the map.

Google



| Print Form Please print 3 copies | | Building Combo P Newport Beach - Building D NO LHN | | 8/11/0 |
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| Engineer's Address | ł | Engineer's E-m | ail Address | |
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| 6. Contractor's Name | Last VALVANO | First DOM | ENIC Lic. No. 865 | 713Class C-39 |
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112 Kings Road Proposed Construction Sequence

1. Rough grade cuts & Laybacks (pool pad) to be graded at contour of pool bottom.

2. Drill & cast caissons.

3. Construct west PL wall & west retaining stepped footing.

4. Construct west retaining wall.

5. Construct exercise room footings.

6. Construct exercise room CIP walls

7. Waterproof, sub drain, backfill & compact back wall of exercise room to contour of pool bottom.

8. Construct east retaining wall & PL wall waterproof, sub drain, backfill & compact.

9. Construct footing and CIP sport court wall.

10. Waterproof, sub drain, backfill & compact sports court wall.

11. Construct south slope wall waterproof, backfill & compact

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Coast Geotechnical Inc.

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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BUILDING DEPARTMENT

P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

RECEIPT FEE

TARGET DATE:

286 NOV 0 4 2009 CITY OF NEWPORT BEACH Date Plan Check No. 2007 Permit No. A Standard Received by:

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| Received from | Job Address | |
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| Grading Plan Check | | \$ |
| Fire Plan Check | | \$ |
| Electrical Plan Check | | \$ |
| Plumbing Plan Check | | \$ |
| Mechanical Plan Check | | \$ |
| Harbor Resources Plan Check | | \$ |
| Overtime Plan Check - Building | | \$ |
| Overtime Plan Check - Grading | | \$ |
| Overtime Plan Check - Planning | | \$ |
| Preliminary Code Compliance Review | | \$ |
| Reinspection B E M P/Special Inspection | | \$ |
| Reinspection Fire | | \$ |
| Temporary Certificate of Occupancy | | \$ |
| Underground Utilities Waiver | 010-2225 | \$ |
| Energy Compliance | | \$ |
| Planning Department Fees | | \$ |
| Sale of Maps & Publications (Planning) | 2700-5812 | \$ |
| Determination of Unreasonable Hardship | | \$ |
| Public Works Plan Check | | \$ |
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| | TOTAL FEES | <u>\$ 66 - 1 : 2</u> |

For Plan Check status log on to: www.city.newport-beach.ca.us/building, select On-Line Services or call (949) 644-3255

Fee Receipt No.

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.

P. L. Comercia

e and f 14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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COAST GEOTECHNICAL INC. 14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179 INV **Daily Observation Report** HRS.____ W.O._ Date_ Name. Del Signard Client 29 1115 Address _ Л. C Key Way Swim Pool Grading Trench Other Elev. Moisture Dry % Test Test Soil Density Content Relative or Location No. Туре Type Depth % p.c.f. Compaction g k É 1. 1 Ç., Job Progress and Activity: 11 ، ونکر Køsn. Comments: ... Acceptable Unacceptable Page_ By: __ Received By: _ 123

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

COAST GEOTECHNICAL INC.

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179 -----

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MIDGET

A Professional Inspection Service

365 Mainsail Road, Oceanside, CA 92054



Office: (760) 757-0556 Cell: (949) 370-7922 Fax: (760) 757-1064

Report of Special Inspection

| Project Name & Address Det Sunder Rosidence |
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| 112 Khart PL Numper BRANN Ch. |
| Permit Number <u>52009-9661</u> X200-0198 |
| Inspection Type(s) Reacher toxinette |
| Inspection Date(s) <u>3-18-10</u> [] Periodic [>>] Continuous |
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Total Inspection Time Each Day:

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List Items Requiring Correction, include uncorrected items previously listed

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Comments: 5.7

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above. All inspections based on four hour minimum. Inspections exceeding four hours will be billed at eight hours. Any inspections beginning before 12:00 noon and end after 12:00 noon will be billed as eight hours

| Signed: | and the floor of the | Date8 | <u>. 10</u> |
|------------------|----------------------|------------------|-------------|
| Print Full Name: | NAME BARY | Registration No. | M270422 |

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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

| Dail | y Observa | ation Re | port | | | | |
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14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

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| Daily | / Observ | ation Re | eport | | | ·// 0 | |
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BUILDING DEPARTMENT P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE:_____

| <u>Philo Pice CP</u> Received from | Job Address | |
|---|---------------------------------------|------------------|
| Building Plan Check | APTH 2900-5002 | \$ 146 61 |
| Harbor Resource Plan Check (Building) | | \$ |
| Zoning Plan Check | | \$ <u> </u> |
| Grading Plan Check | | \$ |
| Fire Plan Check | | \$ |
| Electrical Plan Check | | \$ |
| Plumbing Plan Check | | \$ |
| Mechanical Plan Check | | \$ |
| Harbor Resources Plan Check | | <u>\$</u> |
| Overtime Plan Check - Building | | \$ |
| Overtime Plan Check - Grading | | \$ |
| Overtime Plan Check - Planning | | \$ |
| Preliminary Code Compliance Review | | \$ |
| Reinspection B E M P/Special Inspection | | \$ |
| Reinspection Fire | | \$ |
| Temporary Certificate of Occupancy | | \$ |
| Underground Utilities Waiver | 010-2225 | \$ |
| Energy Compliance | | \$ |
| Planning Department Fees | | \$ |
| Sale of Maps & Publications (Planning) | | \$ |
| Sale of Maps & Publications (Planning) | 2900-5018 | \$ |
| Public Works Plan Check | | \$ |
| Surety Deposits (Refundable) | ····································· | ∩ ,\$ |
| Surety Deposits (Refundable) Records Management Fee (Copies) | 010-2263 | \$ <u></u> |
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| or Plan Check status log on to: | TOTAL FEES | \$ |

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NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.





BUILDING DEPARTMENT P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

P. Le Olaine

TARGET DATE:___

Date: 4 (7 K Plan Check No. 1199 - 2019) Permit No. 2019 - CUReceived by: 4 (1)

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| Received from | Job Address | |
| Building Plan Check | <u>1222 (a /V</u> | \$ <u>10 or</u> |
| Harbor Resource Plan Check (Building) | | \$ |
| Zoning Plan Check | LAN 551 | <u>\$ 1.00 62</u> |
| Grading Plan Check | | \$ |
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| Overtime Plan Check - Grading | | \$ |
| Overtime Plan Check - Planning | | \$ |
| Preliminary Code Compliance Review | | \$ |
| Reinspection B E M P/Special Inspection | | \$ |
| Reinspection Fire | | \$ |
| Temporary Certificate of Occupancy | | \$ |
| Underground Utilities Waiver | 010-2225 | \$ |
| Energy Compliance | | \$ |
| Planning Department Fees | | \$ |
| Sale of Maps & Publications (Planning) | | \$ |
| Determination of Unreasonable Hardship | | \$ |
| Public Works Plan Check | 3 1VB200 5002 | \$ |
| Surety Deposits (Refundable) | NPR 010-2201 | \$ |
| Surety Deposits (Refundable) Records Management Fee (Copies) | CIENEWICO 010-2263 | \$ |
| Subpoena Fees | | \$ |
| Other (Specify) | ۰ . ۱۰۰۰ . | \$ |
| | TOTAL FEES | \$ 1111 |
| For Plan Check status log on to: <u>www.city.newport-beach.ca.us/building,</u> select On-Line Services or call (949) 644-3255 | Fee Receipt No. | <u>Bis co</u> |

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.

14747 Artesia Blvd., Suite 1-D, La Mirada, CA, 90638 Ph: (714) 521-0169 or (714) 521-2827 Fax: (714) 521-0179

Daily Observation Report

🛛 Key Way

Location

☐ Footings

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Grading

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BUILDING DEPARTMENT

P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

| Date Plan Check No Permit | No Received b | у; <u>, <u>ка</u> <u>И</u> (</u> |
|---|---------------|----------------------------------|
| | | |
| Received from | Job Address | |
| Building Plan Check | | 5 <u>77</u> |
| Harbor Resource Plan Check (Building) | | \$ |
| Zoning Plan Check | | S |
| Grading Plan Check | | S |
| Fire Plan Check | | 5 |
| Electrical Plan Check | | S |
| Plumbing Plan Check | | 5 |
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| Dvertime Plan Check - Building | | 5 |
| Dvertime Plan Check - Grading | | 5 |
| Overtime Plan Check - Planning | | j |
| Preliminary Code Compliance Review | | 5 |
| Reinspection B E M P/Special Inspection | | j |
| Reinspection Fire | | 5 |
| emporary Certificate of Occupancy | | |
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| other (Specify) | Wpap* \$ | |

www.city.newport-beach.ca.us/building, select On-Line Services or call (949) 644-3255

Fee Receipt No. _

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.



BUILDING DEPARTMENT

P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE:_____

| Date Plan Check No. | Permit No | Receiv | ed by: |
|--|---|-------------|------------|
| | | | |
| Received from | | Job Address | |
| Building Plan Check | | | \$ |
| Harbor Resource Plan Check (Building | | | \$ |
| Zoning Plan Check | | | \$ |
| Grading Plan Check | | | \$ |
| Fire Plan Check | | | \$ |
| Electrical Plan Check | | | \$ |
| Plumbing Plan Check | | | \$ |
| Mechanical Plan Check | | 2900-4618 | \$ <u></u> |
| Mechanical Plan Check Harbor Resources Plan Check Overtime Plan Check - Building | 5000. 2. B. Bran. | 2370-4654 | \$ |
| Overtime Plan Check - Building | PAID | | \$ |
| Overtime Plan Check - Grading | 111 3 0 201 | 0 2900-5004 | \$ |
| Overtime Plan Check - Planning Preliminary Code Compliance Review. | | 2700-5003 | \$ |
| Preliminary Code Compliance Review | | BEACH | \$ |
| Reinspection B E M P/Special Inspection | | | \$ |
| Reinspection Fire | | | \$ |
| Temporary Certificate of Occupancy | | | \$ |
| Underground Utilities Waiver | | 010-2225 | \$ |
| Energy Compliance | | | \$ |
| Planning Department Fees | | | \$ |
| Sale of Maps & Publications (Planning) | | 2700-5812 | \$ |
| Determination of Unreasonable Hardshi | ip | | \$ |
| Public Works Plan Check | | | \$ |
| Surety Deposits (Refundable) | | 020-2201 | \$ |
| Records Management Fee (Copies) | | 010-2263 | \$ |
| Subpoena Fees | ••••••••••••••••••••••••••••••••••••••• | | <u>\$</u> |
| Other (Specify) | | | \$ |
| | | TOTAL FEES | \$ |

For Plan Check status log on to: www.city.newport-beach.ca.us/building, select On-Line Services or call (949) 644-3255 Fee Receipt No.

NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.

(Neercpt. 4/15/2009)

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BUILDING DEPARTMENT P.O.BOX 1768, NEWPORT BEACH, CA 92658, (949) 644-3288

FEE RECEIPT

TARGET DATE:_____

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| Building Plan Check | | \$ |
| Harbor Resource Plan Check (Building) | | \$ |
| Zoning Plan Check, | | \$ <u>////////////////////////////////////</u> |
| Grading Plan Check | | \$ |
| Fire Plan Check | 2330-5055 | \$ |
| Electrical Plan Check | | \$ |
| Plumbing Plan Check | | \$ |
| Mechanical Plan Check | | \$ |
| Harbor Resources Plan Check | | <u>\$</u> |
| Overtime Plan Check - Building | | \$ |
| Overtime Plan Check - Grading | | \$ |
| Overtime Plan Check - Planning | | \$ |
| Preliminary Code Compliance Review | | \$ |
| Reinspection B E M P/Special Inspection | | \$ |
| Reinspection Fire | 2330-5050 | \$ |
| Temporary Certificate of Occupancy | | \$ |
| Underground Utilities Waiver | 010-2225 | \$ |
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NOTICE: PLAN CHECK EXPIRES 180 DAYS FROM DATE OF SUBMITTAL.

Fleek Construction, Inc. D.B.A. Way-to-Go CONSTRUCTION

January 5, 2011

City of Newport Beach Building Department Contact: Paul Leclaire (City Inspector) 949-644-3264 330 Newport Blvd Newport Beach, CA 92658

Property: 112 Kings Place, Newport Beach Subject: Electrical Power Agreement to not turn on power at residence until approval from city.

To Whom It May Concern

This is an agreement that Way To Go Construction, acting as General Contractor of 112 Kings Place, Newport Beach will not turn on power to the main front building either by ourselves or by electrical contractor Warren Julian Electrical or by low voltage contractor Creative Concept Solutions, until approval is issued by the City of Newport Beach.

Note: Upon meeting with Paul Leclaire (City of Newport Beach Building Inspector) it was discussed that power to the pool sub panel will be re-energized. Please provide written authorization approving the re-energizing of the pool panel. *Please include in subject. The City of Newport Beach has given Southern California Edison authorization to reenergize 600 amp service panel and electrical contractor authorization to re-energize POOL SUB PANEL only. Thank you in advance for your assistance in this matter.

1.5 11 David Fleck (General Contractor) 1-5-11

1.5.2011

Warren Julian (Electrician) 1-5-11

1.5.11 1-5-11 Martin Séelos (Creative Concepts)



PAUL ROHRER STRUCTURAL ENGINEERS 1527 E. Autumnridge Ct. Orange CA 92866 (714) 272-9579 PaulRohrer.Engineer@hotmail.com

Responses to Inspection Corrections Dated 12/8/2015

December 8, 2015

Joe del Signore C.O. Derek La Marque 112 Kings Place Newport Beach CA 92663 P: (714) 697-0093 E: dereklamarque@aol.com

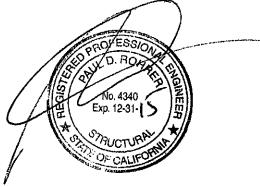
Project Name: Kings Place Location: 112 Kings Pl. Newport Beach CA 92663 PRSE Job #: 14-046

Comment 1: Provide RFI for placement and size of MST straps on roof (S2.2) Response: S2 denotes holdown straps per detail 8/SD2

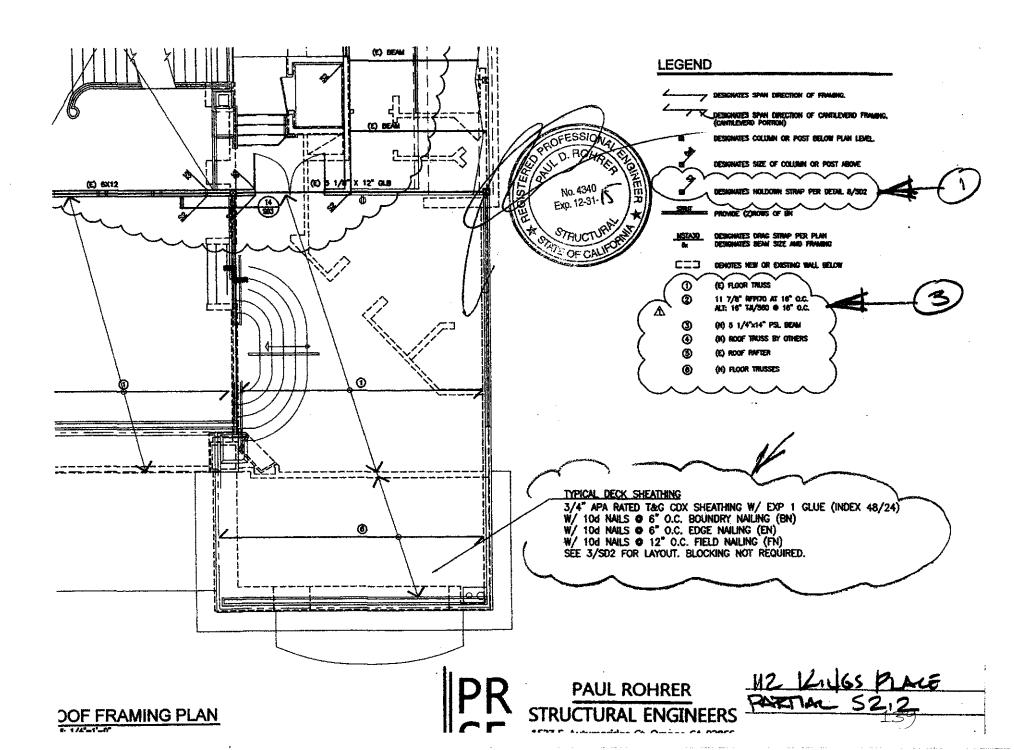
Comment 2: Provide boundary nailing at roof sheathing. Response: Provide 10d nails @ 6" o.c. boundary nailing per detail 3/SD2

<u>Comment 3: Provide detail for change of size for 2/SD2.2</u> Response: Key note 2 sheet S2.2 revised to: 16" TJI/560 @ 16" o.c.

<u>Comment 4: Provide detail for top deck stair changes</u> Response: See revised steps at deck.



Sincerely, <u>Paul Rohrer S.E.</u> PRSE Inc.

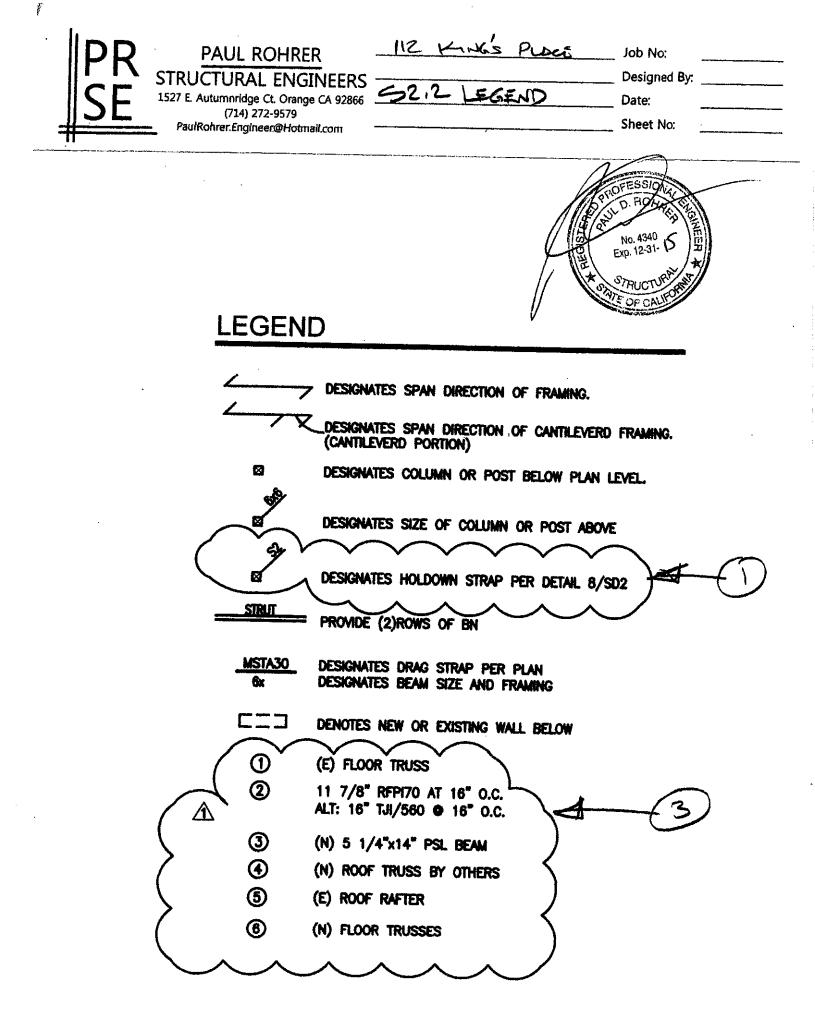


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|----------|----|--|--------------------------|----------------------------------|
| × | PR | PAUL ROHRER STRUCTURAL ENGINEERS 1527 E. Autumnridge Ct. Orange CA 92866 | 112 Kink's PLOCE 5212 | Job No: Designed By: Date: |
| | | (714) 272-9579 PaulRohrer.Engineer@Hotmail.com | ROOF FRAMING NOTES | Sheet No: |

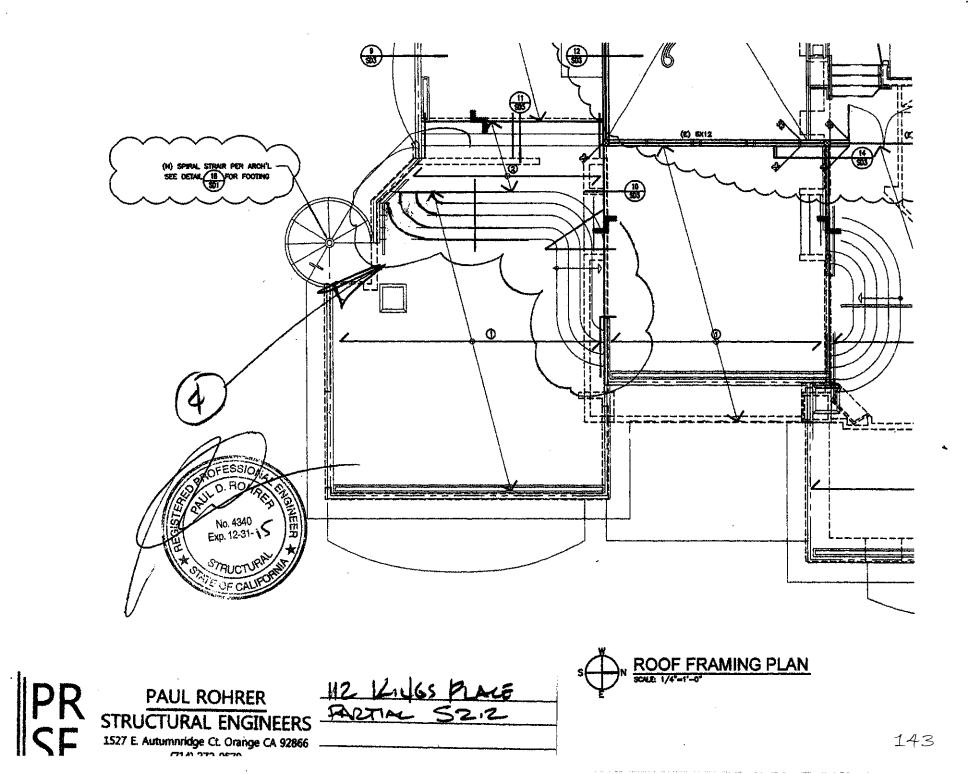
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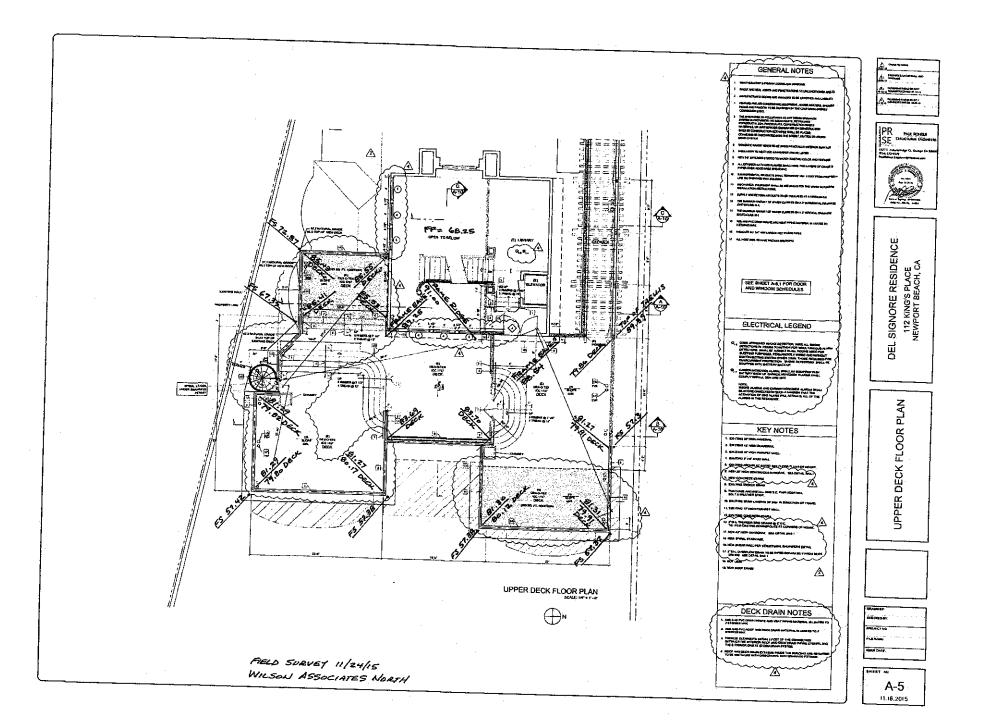
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| F | No. 4340 Exp. 12-31- 15 OF CALIFORNIA ROOF FRAMING NOTES |
|-----|---|
| 1. | REFER TO SHEETS SO AND SD SERIES SHEETS FOR GENERAL NOTES AND TYPICAL DETAILS. |
| 2. | ROOF DESIGN LOADS: ROOFING MATERIAL SHALL NOT EXCEED 12.0 PSF (REROOFING SHALL NOT BE PERMITTED) DEAD LOAD 24.0 PSF LME LOAD 20.0 PSF |
| 3. | ROOF SHEATHING 15/32" APA RATED CDX SHEATHING W/ EXP 1 GLUE (INDEX 24/0) W/ 10d NAILS @ 6" O.C. BOUNDRY NAILING (BN) W/ 10d NAILS @ 6" O.C. EDGE NAILING (EN) W/ 10d NAILS @ 12" O.C. FIELD NAILING (FN) SEE 3/SD2 FOR LAYOUT. BLOCKING NOT REQUIRED. <u>TYPICAL AT EXTERIOR WALLS:</u> |
| | PROVIDE 2x4 MIN DFL #1 OR BETTER STUDS AT 16" O.C. TYPICAL UNO. SEE ARCH'L DRAWINGS FOR ADD'L INFORMATION. |
| 4. | PROVIDE SIMPSON "LU" HANGER AT ALL JOIST TO BEAM CONNECTIONS UNLESS SPECIFICALLY DETAILED OTHERWISE. |
| 5. | PROVIDE SIMPSON "HU" HANGER AT ALL BEAM TO BEAM CONNECTIONS UNLESS SPECIFICALLY DETAILED OTHERWISE. |
| 6. | PROVIDE (2)ROWS OF B.N. TO ALL MEMBERS INDICATED AS "STRUT". |
| 7. | REFER TO ARCH'L FOR SIZE AND LOCATIONS OF OPENINGS. |
| 8. | PROVIDE MULTIPLE 2x STUDS OR POSTS UNDER ALL BEAMS FOR FULL BEARING WIDTH UNLESS SPECIFIC POST SIZE IS DESIGNATED. |
| 9. | PRIOR TO INSTALLATION OF CEILING JOISTS, ROOF RAFTERS, AND OR FLOOR JOISTS, FRAMING CONTRACTOR TO VERIFY LOCATION OF RECESSED LIGHTING, HEATING REGISTERS, ETC. AND BLOCK OUT FRAMING ACCORDINGLY TO ACCOMMODATE THE EXACT LAYOUT INDICATED ON ELECTRICAL AND HVAC PLANS. |
| 10. | PROVIDE FULL LENGTH STUDS (BALLOON FRAMING) AT EXTERIOR WALLS OF ROOMS W/ VAULTED CEILINGS AND/OR STAIR WAYS INTERRUPTING FLOOR FRAMING |

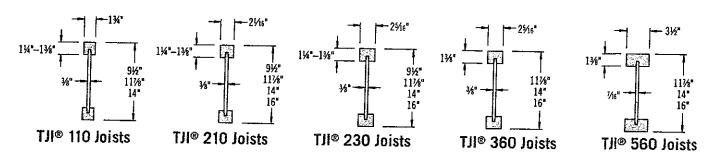


CITY OF NEWPORT BEACH **BUILDING DEPARTMENT** PO Box 1789 Newport Beach, CA 92658-8915 Inspection Request - (949) 644-3255 Permit Number :X2015-1909 Address 112 KINGS PL NB Date : 12-08-2015 Type : Inspector COMB ATHOMPSON AT Inspection Item 2510 ROOF FRAMING, SHEATHING & HT Disposition . ĊÔ Inspector Signature A BRIDE HERE MAKE ALL CORRECTIONS PRIOR TO REINSPECTION ALL WORK SHALL BE SUBJECT TO INSPECTION AND SHALL REMAIN AGGESSIBLE AND EXPOSED UNTIL INSPECTED AND APPROVED NUNCES LANGERS A COMPANY AND A CALL GALL FOR REINSPECTION (949) 644 Inspector's A.M. office hours are 070 inspector's P.M. office hours are 030 Connection 1 PROVIDE RFI FOR PLACEMENT AND SIZE OF MST STRAPS ON ROOF 2 PROVIDE BOUNDARY NAILING AT ROOF SHEATHING (RFI IF. NEGESSARY) SPROVIDE DETAIL FOR CHANGE OF SIZE FOR PROVIDE DETAIL FOR TOP DECK STAIR CHANCE PROVIDE ROOF HEIGHT CERT AS NECESSARY A COMPLETE ROOF PRAMING INSPECTION





DESIGN PROPERTIES AS BULLT JOIS



Design Properties (100% Load Duration)

| Depth | Ì | Basic Properties | | | Reaction Properties | | | | | | |
|-------|------|------------------|---|--------------------|---------------------|----------------------|------------------------------|------------------------------------|--|---|---------------------------------------|
| | Tjl® | Joist Weight | Maximum Resistive Noment ⁽¹⁾ | sistive Joist Unly | Maximum Vertical | 134" End Reaction | 3½" End Reaction (Ibs) | 3½" Intermediate Reaction (Ibs) | | 5¼" Intermediate Reaction (lbs) | |
| | | (lbs/ft) | (ft-lbs) | (in.²-lbs) | Shear (lbs) | (lbs) | | No Web Stiffeners | With Web Stiffeners ⁽²⁾ | No Web Stiffeners | With Web Stiffeners ⁽²⁾ |
| | 110 | 2.3 | 2,500 | 157 | 1,220 | 910 | 1,220 | 1,935 | N.A. | 2,350 | N.A. |
| 9½" | 210 | 2.6 | 3,000 | 186 | 1,330 | 1,005 | 1,330 | 2,145 | N.A. | 2,565 | N.A. |
| | 230 | 2.7 | 3,330 | 206 | 1,330 | 1,060 | 1,330 | 2,410 | N.A. | 2,790 | N.A. |
| | 110 | 2.5 | 3,160 | 267 | 1,560 | 910 | 1,375 | 1,935 | 2,295 | 2,350 | |
| | 210 | 2.8 | 3,795 | 315 | 1.655 | 1,005 | 1.460 | 2,145 | 2,505 | 2,565 | 2,705 |
| 11% | 230 | 3.0 | 4,215 | 347 | 1.655 | 1.060 | 1,485 | 2,410 | 2,765 | 2,365 | |
| L | 360 | 3.0 | 6,180 | 419 | 1,705 | 1,080 | 1,505 | 2,460 | 2,815 | 3,000 | 3,150 3,360 |
| i | 560 | 4.0 | 9,500 | 636 | 2,050 | 1,265 | 1,725 | 3,000 | 3,475 | 3,455 | 24 . 4. 4 . 4 |
| | 110 | 2.8 | 3,740 | 392 | 1,860 | 910 | 1,375 | 1,935 | 2,295 | | 3,930 |
| | 210 | 3.1 | 4,490 | 462 | 1,945 | 1,005 | 1,460 | 2,145 | 2,505 | 2,350 | 2,705 |
| 14" | 230 | 3.3 | 4,990 | 509 | 1,945 | 1,060 | 1,485 | 2,410 | 2,765 | 2,565 | 2,925 |
| Ĺ | 360 | 3.3 | 7,335 | 612 | 1,955 | 1.080 | 1,505 | 2,460 | 2,765 | www.www.com.com.com.com.com.com.com.com.com.com | 3,150 |
| | 560 | 4.2 | 11,275 | 926 | 2,390 | 1,265 | 1,725 | 3,000 | 3,475 | 3,000 | 3,360 |
| | 210 | 3.3 | 5,140 | 629 | 2,190 | 1,005 | 1,460 | 2,145 | 2,505 | 3,455 | 3,930 |
| 16" | 230 | 3.5 | 5,710 | 691 | 2,190 | 1.060 | 1,485 | 2,145 | the state of the second se | 2,565 | 2,925 |
| 10 | 360 | 3.5 | 8,405 | 830 | 2,190 | 1.080 | 1,485 | 2,410 | 2,765 | 2,790 | 3,150 |
| Γ | 560 | 4.5 r | 12,925 | 1,252 | 2,710 | 1,265 | 1,305 | 3,000 | 2,815 3,475 | 3,000 3,455 | 3,360 3,930 |

Caution: Do not increase joist moment design properties by a repetitive member use factor.
 See detail W on page 6 for web stiffener requirements and nailing information.

General Notes

 Design reaction includes all loads on the joist. Design shear is computed at the inside face of supports and includes all loads on the span(s). Allowable shear may sometimes be increased at interior supports in accordance with ICC ES ESR-1153, and these increases are reflected in span tables.

> PRODUCT STORAGE

• The following formulas approximate the uniform load deflection of Δ (inches):

For TJI® 110, 210, 230, and 360 Joists $\Delta = \frac{22.5 \text{ wL}^4}{\text{El}} + \frac{2.67 \text{ wL}^2}{\text{d} \times 10^5} \qquad \Delta = \frac{22.5 \text{ wL}^4}{\text{El}} + \frac{2.29 \text{ wL}^2}{\text{d} \times 10^5}$

w = uniform load in pounds per linear foot

L = span in feet

- d = out-to-out depth of the joist in inches
- EI = value from table above

Protect product from sun and water

CAUTION: Wrap is slippery when wet or icy

Align stickers (2x3 or larger) directly over support blocks

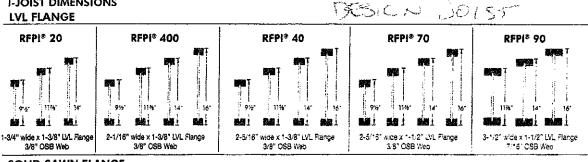
Use support blocks (6x6 or larger) at 10' on-center to keep bundles out of mud and water

TJI® joists are intended for dry-use applications

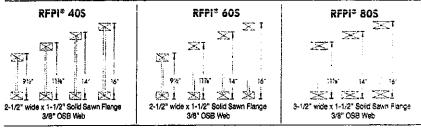


RFPI®-Joist Design Properties





SOLID SAWN FLANGE



DESIGN PROPERTIES FOR RFPI-JOISTS⁽¹⁾

| Roseburg | APA | EI ⁽²⁾ | M ⁽³⁾ | V ⁽⁴⁾ | VLC ⁽⁵⁾ | K ⁽⁶⁾ | Weight |
|--------------------------------|----------------|--------------------------------------|------------------|------------------|---------------------------|------------------|--------|
| Designation | Designotion | x10 ⁶ lb-in. ² | lb-ft | lbs | lbs/ft. | x10º lb | plf |
| 91/2" RFPI 20 (7) | 91/2" PRI 20 | 165 | 2,820 | 1,220 | 2,000 | 4.94 | 1.99 |
| 91/2" RFPI 405 17) | 91⁄2" PRI 40 | 193 | 2,735 | 1,120 | 2,000 | 4.94 | 2.56 |
| 9½" RFPI 400 | Not Applicable | 193 | 3,345 | 1,220 | 2,000 | 4.94 | 2.29 |
| 91/2" RFPI 40 (7) | 91/2" PRI 40 | 215 | 3,760 | 1,330 | 2,000 | 4.94 | 2.37 |
| 91/2" RFPI 60S (7) | 91⁄2" PRI 60 | 231 | 3,780 | 1,120 | 2,000 | 4.94 | 2.56 |
| 91⁄2" RFPI 70 | Not Applicable | 266 | 5,130 | 1,330 | 2,000 | 4.94 | 2.57 |
| 117/8" RFPI 20 (7) | 117/s" PRI 20 | 283 | 3,640 | 1,420 | 2,000 | 6.18 | 2.30 |
| 117/8" RFPI 40507 | 117/8" PRI 40 | 330 | 3,545 | 1,420 | 2,000 | 6.18 | 2.83 |
| 117/s" RFPI 400 | Not Applicable | 330 | 4,315 | 1,480 | 2,000 | 6.18 | 2.60 |
| 117/s" RFPI 40 7 | 117/s" PRI 40 | 366 | 4,855 | 1,550 | 2,000 | 6.18 | 2.69 |
| 117/8" RFP1 60S ⁽⁷⁾ | 117/3" PRI 60 | 396 | 4,900 | 1,420 | 2,000 | 6.18 | 2.83 |
| 117/s" RFPI 70 57 | 117/a" PRI 70 | 455 | 6,645 | 1,550 | 2,000 | 6.18 | 2.91 |
| 117/8" RFPI 80S ⁽⁷⁾ | 117/3" PRI 80 | 547 | 6,970 | 1,590 | 2,000 | 6.18 | 3.79 |
| 117/s" RFP1 90 ⁽⁷⁾ | 117/6" PRI 90 | 676 | 10,145 | 2,050 | 2,000 | 6.18 | 3.84 |
| 14" RFPI 20 | Not Applicable | 420 | 4,330 | 1,610 | 2,000 | 7.28 | 2.51 |
| 14" RFPI 40S (7) | 14" PRI 40 | 482 | 4,270 | 1,710 | 2,000 | 7.28 | 3.07 |
| 14" RFPI 400 | Not Applicable | 486 | 5,140 | 1,710 | 2,000 | 7.28 | 2.79 |
| 14" RFPI 40 ⁽⁷⁾ | 14" PRI 40 | 540 | 5,785 | 1,770 | 2,000 | 7.28 | 2.95 |
| 14" RFPI 60S ⁽⁷⁾ | 14" PRI 60 | 584 | 5,895 | 1,710 | 2,000 | 7.28 | 3.07 |
| 14" RFPI 70 (7) | 14" PRI 70 | 672 | 7,925 | 1,770 | 2,000 | 7.28 | 3.13 |
| 14" RFPI 805 (7) | 14" PRI 80 | 802 | 8,390 | 1,835 | 2,000 | 7.28 | 4.03 |
| 4" RFPI 90 (7) | 14" PRI 90 | 992 | 12,100 | 2,195 | 2,000 | 7.28 | 4.19 |
| 16" RFPI 40S (7) | 16" PRI 40 | 657 | 4,950 | 1,970 | 2,000 | 8.32 | 3.31 |
| 16" RFPI 400 | Not Applicable | 665 | 5,880 | 1,970 | 2,000 | 8.32 | 3.01 |
| 16" RFPI 40 ⁽²⁾ | 16" PRI 40 | 737 | 6,615 | 1,970 | 2,000 | 8.32 | 3.14 |
| 16" RFP1 60S (7) | 16" PRI 60 | 799 | 6,835 | 1,970 | 2,000 | 8.32 | 3.31 |
| 16" RFPI 70 ⁽⁷⁾ | 16" PRI 70 | 918 | 9,080 | 1,970 | 2,000 | 8.32 | 3.35 |
| 16" RFPI 805 17 | 16" PRI 80 | 1,092 | 9,730 | 2,070 | 2,000 | 8.32 | 4.26 |
| 16" RFPI 90 ⁽⁷⁾ | 16" PRI 90 | 1,350 | 13,865 | 2,330 | 2,000 | 8.32 | 4.42 |

(1) The tabulated values are design values for 100% duration of load. All values except for El and K are permitted to be adjusted for other load durations as permitted by code, with the further exception that VLC shall not be increased for shorter durations of load. Design values listed are applicable for Allowable Stress Design (ASD).

(2) Bending stiffness (EI) of the I-joist.

(3) Moment capacity (M) of a single l-joist. Moment capacity of the I-Joist shall not be increased by any repetitive member use factor.

(4) Shear capacity (V) with a minimum bearing length of 4 inches.

(5) Vertical Load Capacity when continuously supported.

(6) Coefficient of shear deflection (K), used to calculate deflections for 1-joist applications. Equations 1 and 2 below are provided for uniform load and center point load conditions for simple spans.

Uniform Lond:

8

| Unitorm Loca: | Center-roint Load: |
|---|---|
| $[1] \delta = \frac{5\omega\ell^4}{384\text{EI}} + \frac{\omega\ell^2}{K}$ | $[2] \delta = \frac{P\ell^3}{48EI} + \frac{2P\ell}{K}$ |

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where: $\delta = \text{calculated deflection (in.)}$ $\omega =$ uniform lood (lb/in.) $\ell = \text{design span} (\text{in.})$ P = concentrated load (lb)

El = bending stiffness of the l-joist (lb-in²)

K = coefficient of shear deflection (lb)

(7) Design properties meet or exceed the requirements of the PRI-400 Performance Standard for APA EWS I-Joists for the corresponding I-joist series and depth.

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DATE DAY Frida engineering -4-2015 12 EGA geotechnical PROJECT NO. PROJECT NAME applications LOCATION CITY Port Beac Ne consultants SUPERINTENDENT/F Dere FIELD REPORT CONTRACTOR(S Ouni ENGINEER TO: File, City, Ordnest EQUIPMENT ON SITI /snows PERSONNEL ON SITE JYDIN B Q**Y**/Soils TYPE OF Structural Steel Assembly Quality Control INSPECTION C Reinforced Concrete Drainage Epoxy REQUIRED Reinforced Masonry C Asphalt C Other SUMMARY OF OBSERVATIONS AND/OR DISCUSSIONS: N. Huss edimin 3" on MA ۵ 0 On CYLINDERS: **TESTS PERFORMED:** otlosse Soil /debris + **RECOMMENDATIONS:** premoister lean Trenches Pour SIGNATURE, TITLE (POSITION) m. Faut PERSONNEL ON SITE ARRIVAL DEPARTURE TIME ON SITE TRAVEL TIME SUBTOTAL đ, SIGNATURE OF SUPERINTENDENT, TITLE (POSITION) Varana EGA CONSULTANTS 375-C Monte Vista Avenue Costa Mesa, CA 92627 (949)642-9309 TOTAL HRS (4 H8, MIN.) FAX (949) 642-1290 147

Report of Special Inspection DEL SIGNORE Project Name & Address . KINGS PI. Permit Number # X 2015-1909 Inspection Type(s) POXL Inspection Date(s) [🗡] Continuous.] Periodic Describe Inspection Made, including Locations: OBSERVATION" OF #4 BARS ARE SET STRAIGHT AND AT DESIGNATED DEPTH, AS ABOVE ADDRESS ON: #4. BARS 18'00 6'Embedient FOR MASTER BATH List Tests Made: . SLAB + FOOTING PER PAGE SD3 # 8 + #16 ť #4 BARS 18'00 6" Embednust FOR closet PERPACE SD3#3 #4 BARS 18'00 6" Embedit FOR EXTRA BATH Total Inspection Time Each Day: (SLAB) Date 3-16 " Hours List items Requiring Correction, include uncorrected items previously listed 4. TIMPSON Comments: as Der ens To the best of my knowledge: the work inspected was in accordance with the Building Department except as notes above where the state and applicable workmanship provisions of the U.B.C. Signed: . 1-13-16 Daie RICHARD Frint Full Name: Doursonde Registration No. NB-0555 148

4 2



| · · | Report of Spec | ial Inspectio | n | |
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| rint Full Name: Richar | d Davison | Date Registrat | ion No. NB- | 0555 |

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| / | | | EGA CONSULTANTS 375-C Monte Vista Avenue |
| | | | Costa Mesa, CA 92627 |
| 7 | | | (949)642-9309 |
| 1 | 1 1 1 | / (4 HR. MIN.) | FAX (949) 642-1290 |
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| Consultants FIELD REPORT SUPERINTERCENT/FOREPERSON CONTRACTOR DEPARTURE SUPERINTERCENT/FOREPERSON CONTRACTOR DISCUSSIONS SUPERINTERCENT/FOREPERSON SUPERINTERCENT/FOREPERSON CONTRACTOR DISCUSSIONS SUPERINTERCENT/FOREPERSON SUPERINTERCENT | EGA | geotechnical PROJECT NAME PROJECT NO. |
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COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 = Ph: (714) 870-1211 = Fax: (714) 870-1222 = Email: coastgeotec@sbcglobal.net

| Daily | / Observa | tion Re | port | W.o | HRS | · | |
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City of Newport Beach Special Inspector Manual

Contractor: Ekedal Sub-contractor: KMK Development



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

| Proje | ct Address:Del | Signore Residence-11 | 2 Kings PI. |
|-----------------|---|--|--|
| Perm | it Number: X20 |)18-3347 | |
| Inspe | ction Type (s): <u>E</u> | poxy | |
| Inspe | ction Date (s): <u>6/</u> | 19/2019 | (x) Periodic () Continuous |
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| <u> </u> | j between gi | | per plan page of detail 11/00. |
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| 1.000 | | Total Inspec | tion Time Each Day: |
| Date: | 6/19/2019 | | |
| Hours: | 4 | | |
| | List | All Items Requiring Correction (Ir | nclude Previously Listed Uncorrected Items): |
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| | | Cc | omments: |
| Reba | ar free from ru | ist and deleterious m | aterials. |
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| -All h | oles brushed | <u>d and blown clean p</u> | prior to epoxy placement. |
| | | | |
| Simp | son Set XP-2 | 2N: 1000033379 Exp | o: 02/24/21 |
| To the specific | best of my knowledg ations and applicable | e, the work inspected was in ac workmanship provisions of the l | cordance with the Building Division approved design drawings, U.B.C. except as noted above. |
| | and the second | pector Signature: | Date: |
| | hall | | 6/19/2019 |
| ~ ~ / | Print | Full Name: | Newport Beach Registration No.: |
| | | | |

SpecialInspectionReport 08/25/2015

Charles Beardslee

NB-0692



| DEPUTY | 1INSPECTION |
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| Sub-Contr | Ekedal |

Report of Special Inspection

Project Name & Address Del Signore Residence/112 Kings PI, Newport Beach

| Permit Number | X2018-3347 | | | | | ander and an and a second s |
|--------------------|--------------------------------|-----|--------------------------------------|--|-----|---|
| Inspection Type(s) | Reinforced Concre 6/21/2019 | ete | ۲۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰۰ | an a | 599 | nn Andright stadyn fyn Maniferen wat a'r gallan awr my ynw yn gyn a mae'r yn drwy a gwler yw yn yw gallan yw g |
| Inspection Date(s) | | L | J Periodic | tend | х |] Continuous |

Describe Inspection Made, including Locations: _

Observed placement of concrete (3000 PSI) for the following at the foundation per S-1 of the structural plans. A). Footings, pier pads, grade beam, and slab repair between grid lines F and H. B). Erection/pier pads between grid lines A and F. Size and reinforcement of above items per structural details and corresponding schedules. List Tests Made:

(4)4X8 cylinders cast Gary Bale ready mix#GB300038. Ticket#294170

Total Inspection Time Each Day:

| Date | 6/21/2019 | en <mark>n herenen så mⁱn en sociale stander s</mark> øde stær det me | and the beneficial to the weight as the second as | termponetall, specer wear noncompa- | an a | |
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List Items Requiring Correction, include uncorrected items previously listed

Comments: __

•Reinforcement clean and free from deleterious materials.

Reinforcement clearances achieved and maintained.

·Forms clean and free from water and other debris.

•All concrete was placed and consolidated per specs and codes.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

| Signed: Aller | Date | 6/21/2019 |
|-------------------------------|------------------|-----------|
| Print Full Name:Thomas George | Registration No. | NB-0617 |

FORM S1-02;90

| CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION 100 Civic Center Drive P.O. Box 1768 Newport Beach, CA 9265 WWW.newportbeachca.gov (949) 644-3200 | |
|---|--|
| SPECIAL INSPECTION REPORT | |
| Project Address: 112 K. 1145 Lange The Dat Street Permit Number: Inspection Type (s): E-party Inspection Date (s): S-10-13 () Periodic (| |
| Describe Inspection, Including Location(s): | |
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| Total inspection Time Each Day: Date: 5 · · · · · · · · · · · · · · · · · · · | |
| List All Items Requiring Correction (Include Previously Listed Uncorrected Items) | |
| Comments | |
| To the best of my knowledge, the work inspected was in accordance with the Building Division approve specifications and applicable workmanship provisions of the U.B.C. except as noted above. | d design drawings, |

| Special Inspector Signature: | Date: |
|---------------------------------|---------------------------------|
| Long X Annon | 8-10-14 |
| Print Full Name: | Newport Beach Registration No.: |
| | |
| SpecialInspectionReport 8-24-15 | |

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DEPUTY 1 INSPECTION 1-800-DEPUTY1 Gen Contr:

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

| roject Address: \underline{X} | 8-3347 | | i | |
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| Carlo San Ja Manager | |
| Print Full Name: | Newport Beach Registration No.: |
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SpecialInspectionReport 8-24-15

COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 = Ph: (714) 870-1211 = Fax: (714) 870-1222 = Email: coastgeotec@sbcglobal.net

Daily Observation Report

| INV | |
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| HRS. | |

W.O._____ Date_____

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Attachment No. 2

Notices of Pending Permit Expiration



PERMIT ACTIVITY REPORT (X2018-3347) FOR CITY OF NEWPORT BEACH

| Created Date | Activity Type | Activity Name | Activity Number | Activity Comments | Created By |
|--------------|------------------|-----------------------|-----------------|--|-------------|
| 10/05/2022 | Generic Activity | 3-YEAR EXTENSION | ACT-000123-2022 | MAILED AND EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER | Debi Schank |
| 12/20/2022 | Generic Activity | Call and Email | ACT-000354-2022 | Called Anthony (Contractor, 909-599-0033) and emailed Anthony (anthony@baldwin-builders. com) to inform him that he needs to come in permit on 12/20/2022 to submit Hearing application to City Clerk. | Tonee Thai |
| 12/21/2022 | Generic Activity | HEARING APPLICATON | ACT-000357-2022 | ANTHONY (CONTRACTOR) SUBMITTED HEARING APPLICATION TO CITY CLERK ON 12/21/2022. APPLICATION UPLOADED T FILES TAB. HEARING DATE SCHEDULED FOR 01/26/2023. | Tonee Thai |
| 127222022 | Generic Activity | EMAIL NOTIFICATION | ACT-000360-2022 | APPLICANT NOTIFIED OF HEARING DATE AND LOCATION ON 12/22/2022 BY EMAIL BY OMAR (REVENUE). NOTIFICATION WILL BE MAIL OUT ON 12/23/2022. | Tonee Thai |
| 09/29/2022 | Generic Activity | Extension Approved | ACT-000118-2022 | 3-YEAR CONSTRUCTION TIME LIMIT EXTENSION BY BUILDING OFFICIAL GRANTED. PERMIT SHALL EXPIRE ON 12/31/2022 UNLESS AN ADDITIONAL EXTENSION IS GRANTED. TOTAL EXTENEDED TIME LESS THAN ONE YEAR MAX PERMITTED BY NBMC 15.02.095. | Tonee Thai |
| | Generic Activity | Application Submitted | ACT-000117-2022 | 2nd Extension Request submitted on 09/28/2022. | Tonee Thai |

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNOR | E |
| Work Class: | Addition/ | Alteration | | Issue Date | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | i Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, C | A |
| | | | | IVR Numb | ber: | 231737 | | | |
| Scheduled Date S | Actual Start Date | Inspection | n Type II | nspection No. | Inspecti | on Status Pri | mary Inspector | Reinspection Required? | n Complete |
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| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/ | 2022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 ACH CA 92660 | 07/07/ | 2022 |
| | | | | Legacy User | | C000115228 LARSON HAR(1437 GLENNE LAGUNA BEA(949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07/ | 2022 |
| 03/30/2022 03 | 3/30/2022 | Other - MISC | | 2018-3347-A0029 4811 | Partial | Pass | | No | Incomplete |
| | | | Checklist It | | COMMEN | | | Арр | |

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIG | NORE | |
|--------------------|----------------------|--------------|---------|------------------------|------------|---|--|------------------------------|-----------|------------|
| Work Class: | Addition/ | Alteration | | Issue Date | ə: (| 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: (|)9/20/2022 | Address: | 112 KINGS PL NEWPORT BEAG | CH, CA | |
| | | | | IVR Numb | er: | 231737 | | | | |
| cheduled Date S | Actual Start Date | Inspection | Type Ir | spection No. | Inspectio | n Status Pri | mary Inspector | Reinspe Requir | | Complete |
| | | | NOTES | Created By | | TEXT | · · · · · · · · · · · · · · · · · · · | Cr | eated D |)ate |
| | | | | Legacy User | | | DPMENT T CENTER DR #1 ACH CA 92660 | | 07/07/202 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001@ 2 | CH CA 92651 | C |)7/07/202 | 22 |
| | | | | Legacy User | I | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | E JOSEPH A ACH, CA 92663 | C |)7/07/202 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | F STE 120 ACH CA 92660 | C | 07/07/202 | 22 |
| | | | | Legacy User | - | 949-851-8345 NOLAN@CJLI | ୮ #120 ACH CA 92660 | C | 07/07/202 | 22 |
| 4/04/2022 04 | /04/2022 | Other - MISC | | 2018-3347-A0029 151 | Partial F | ass | | No | | Incomplete |

don bergeron (KMK development) applied for extension. No turned into building official.

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| PERMIT IN | NSPECTION | I HISTORY | REPORT | X2018-33 | 347) |
|---|-----------|------------------|--------|----------|------|
| ะ - และ - เมื่องสิ่งสลังเหลืองสลังเสียงสลังเสียงส | | | | | - , |

| Permit Type: | Combo Residential | Application Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORE |
|--------------|-------------------------------|-------------------|--------------------------------------|----------|-----------------------------------|
| Work Class: | Addition/Alteration | Issue Date: | 04/01/2019 | Parcel | 049 202 41 |
| Status: | Expired | Expiration Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, CA |
| | | IVR Number: | 231737 | | |
| | ана (1997) Алариана (1997) | | $(1,1,2,\dots,n) \in \mathbb{R}^{n}$ | | _ |

 Scheduled
 Actual
 Reinspection

 Date
 Start Date
 Inspection Type
 Inspection No.
 Inspection Status Primary Inspector
 Required?

| Type I | nspection No. | Inspection Status Primary Inspector | Reinspection Required? Complete |
|--------|---------------|---|------------------------------------|
| NOTES | Created By | TEXT | Created Date |
| | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2022 |
| | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2022 |
| | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |
| | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |

| 04/04/2022 | Other - MISC | X2018-3347-A0029 67282 | Partial Pass | Walter Jones | No | Incomplete |
|------------|--------------|---------------------------|-----------------------------------|--------------|-------|------------|
| | Check | list Item | COMMENTS | | Appro | oved |
| | Other | | 3-31-22 PUT NOT WILL LET SUPER | - | | |

| Permit Type | Combo R | tesidential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DE | LSIGNORE | |
|------------------|----------------------|--------------|--------------|------------------------|-------------------------|--|---|--------------------------|-----------------------|------------|
| Work Class: | Addition// | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS I NEWPORT I | | |
| | | | | IVR Numb | er: | 231737 | | | | |
| cheduled Date | Actual Start Date | Inspection | Type Ir | spection No. | Inspecti | on Status Pri | mary Inspector | | nspection equired? | Complete |
| | | | NOTES | Created By | | TEXT | | | Created | Date |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | | 07/07/20 | 22 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | CH CA 92651 | | 07/07/20 | 22 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | | 07/07/20 | 22 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | | 07/07/20 | 22 |
| | | | | Legacy User | | | OPMENT T CENTER DR #17 ACH CA 92660 | -350 | 07/07/20 | 22 |
| 4/25/2022 (|)4/25/2022 | Other - MISC | 74 | 2018-3347-A0029 332 | Partial | Pass | | | No | Incomplete |
| | | | Checklist It | em | COMMEN | ITS | | | Аррго | ved |
| | | | Other | | get letter process e | from homeowne xtension paperv | kmk development) er authorizing him a work. cannot proce: authorization, gc is | s his agent to ss | No | |

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| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNOF | RE |
|---------------------|----------------------|--------------|---------|-------------------------|----------|--|---|----------------------------------|------------|
| Work Class: | Addition/ | Alteration | | Issue Date | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | 1 Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, C | CA |
| | | | | IVR Numb | er: | 231737 | | | |
| Scheduled Date S | Actual start Date | Inspection | Type Ir | spection No. | Inspecti | on Status Pri | mary Inspector | Reinspectio Required? | |
| | | | NOTES | Created By | | TEXT | | Create | ed Date |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | T STE 120 EACH CA 92660 | 07/07 | 7/2022 |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | | //2022 |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BE 949-851-8345 NOLAN@CJLI 2 | T #120 EACH CA 92660 | 07/07 | //2022 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR2001(2 | YRE ST CH CA 92651 | 07/07 | /2022 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07 | /2022 |
| 95/04/2022 05 | /04/2022 | Other - MISC | | 2018-3347-A0029 1990 | Partial | Pass | | No | Incomplete |

3 YEAR DEADLINE LETTER RETURNED TO SENDER - OWNER

PERMIT INSPECTION HISTORY REPORT (X2018-3347) JOSEPH DELSIGNORE Combo Residential 11/05/2018 Permit Type: **Application Date:** Owner: 049 202 41 04/01/2019 Addition/Alteration Work Class: Issue Date: Parcel 09/20/2022 Status: Expired **Expiration Date:** Address: 112 KINGS PL NEWPORT BEACH, CA **IVR Number:** 231737 Reinspection Scheduled Actual Complete Inspection Type Inspection No. Inspection Status Primary Inspector **Required?** Date Start Date

| TES | Created By | TEXT | Created Date |
|-----|-------------|---|--------------|
| | Legacy User | C000000296 LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH CA 92660 949-851-8345 NOLAN@CJLIGHT.NET 2 | 07/07/2022 |
| | Legacy User | SAMSAMI ALI 1401 QUAIL ST STE 120 NEWPORT BEACH CA 92660 949-851-8345 ali@cjlight.net 2 | 07/07/2022 |
| | Legacy User | C000115228 LARSON HAROLD EUGENE 1437 GLENNEYRE ST LAGUNA BEACH CA 92651 949-497-5203 HARLAR2001@AOL.COM 2 | 07/07/2022 |
| | Legacy User | DEL SIGNORE JOSEPH A 112 KINGS PL NEWPORT BEACH, CA 92663 1 | 07/07/2022 |
| | Legacy User | C000239956 K M K DEVELOPMENT 220 NEWPORT CENTER DR #11-350 NEWPORT BEACH CA 92660 949-322-5179 2 | 07/07/2022 |

Tonee Thai

| 022 | Other - MISC | X2018-3347-A0029 87818 | Approved | Tonee Thai | No | Complete |
|-----|--------------|---------------------------|----------|---|----|----------|
| | Check | list Item | COMMENTS | | A | pproved |
| | Other | | | EXPIRE ON 10/01/2022 UNLESS AN TENSION IS GRANTED BY HEARING | | Yes |

Approved

05/20/2022 05/20/2022

Other - MISC

Complete

No

| Permit Type: | Combo F | Residential | | Applicatio | on Date: | 11/05/2018 | Owner: | JOSEPH DELSIGNORI | Ξ |
|--------------------|---------------------|--------------|---------|------------------------|----------|---|---|-----------------------------------|------------|
| Work Class: | Addition/ | Alteration | | Issue Dat | e: | 04/01/2019 | Parcel | 049 202 41 | |
| Status: | Expired | | | Expiration | n Date: | 09/20/2022 | Address: | 112 KINGS PL NEWPORT BEACH, C/ | A |
| | | | | IVR Num | ber: | 231737 | | | |
| cheduled Date S | Actual tart Date | Inspection | Type Ir | spection No. | Inspecti | on Status Pri | imary Inspector | Reinspectior Required? | Complete |
| | | | NOTES | Created By | | TEXT | | Created | Date |
| | | | | Legacy User | | C000000296 LIGHT CHRIS 1401 QUAIL S NEWPORT BI 949-851-8345 NOLAN@CJL 2 | T #120 EACH CA 92660 | 07/07/: | 2022 |
| | | | | Legacy User | | | OPMENT T CENTER DR #1 EACH CA 92660 | 07/07/2 | 2022 |
| | | | | Legacy User | | C000115228 LARSON HAR 1437 GLENNE LAGUNA BEA 949-497-5203 HARLAR20016 2 | CH CA 92651 | 07/07/2 | 2022 |
| | | | | Legacy User | | SAMSAMI ALI 1401 QUAIL S NEWPORT BE 949-851-8345 ali@cjlight.net 2 | | 07/07/2 | 2022 |
| | | | | Legacy User | | DEL SIGNORE 112 KINGS PL NEWPORT BE 1 | | 07/07/2 | 022 |
| 5/24/2022 05/ | 24/2022 | Other - MISC | | 2018-3347-A0029 203 | Partial | Pass | | No | Incomplete |

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COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH 112 KINGS PL NEWPORT BEACH CA 92660

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit E2010-0648, issued on 10/15/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Paul & Hang Bv:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit E2010-0677, issued on 10/28/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

ault. Le Claire Bv:

Building Inspector-Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH 112 KINGS PL NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit P2010-0420, issued on 10/15/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Paul b. Le Clairs By:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH. CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2011-2265, issued on 09/28/2011 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

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Pault. Le Claires By:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH. CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2011-0260, issued on 05/16/2011 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Building Inspector----Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0201, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Cault. Le Claires By:

Building Inspector-Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0200, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

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- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Paul & Le Claires By:

Building Inspector-



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0198, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

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You may contact the undersigned inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Paul & Le Claire Bv:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2010-0199, issued on 02/02/2010 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Building Inspector-Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2008-2447, issued on 11/19/2008 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Pault. Le Clarg By:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

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DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2009-1256, issued on 07/14/2009 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Paul G. Le Clairs By:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

DEL SIGNORE JOSEPH 112 KINGS PL NEWPORT BEACH CA 92663 08/29/2012

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2008-1373, issued on 06/30/2008 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

Bv:

Paul b. Je claire

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2008-1528, issued on 07/14/2009 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

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Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Paul b. Le clairs By:

Building Inspector Paul LeClaire



COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOE 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address: 112 KINGS PL

Our records indicate your permit X2007-3157, issued on 03/11/2008 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

Paul & Lairs

By:_

Building Inspector Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DELSIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2007-2738, issued on 11/01/2007 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

Paul b. Le Claira Bv:

Building Inspecto Paul LeClaire



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

DELSIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit X2007-2222, issued on 09/20/2007 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

Paul . Le Clarg By:

Building Inspector Paul LeClaire

08/29/2012



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

08/29/2012

DEL SIGNORE JOSEPH & MICHAELA 112 KINGS PL NEWPORT BEACH CA 92663

Subject: Notice of Pending Permit Expiration

Address : 112 KINGS PL

Our records indicate your permit S2009-0061, issued on 09/18/2009 and any other related permits will expire on 09/24/2012 based on limitations set forth in Newport Beach Municipal Code Section 15.02.120.

If the work authorized by your permit has begun, you have the following options:

- a. Finish all work authorized by this permit and obtain a final inspection or obtain inspection approval on a portion of the work prior to the expiration date above.
- b. If you elect not to proceed with the project and because partially completed construction cannot remain status quo, all improvements must be removed and the property returned to its original condition.

If the work authorized by this permit has not started and it is not later than 180 days after the permit issuance date, you may request in writing, that the permit be cancelled and a partial refund (80%) of the fees be granted or make a written request for a one-time extension of the existing permit prior to its expiration. Please note if an extension is granted, no future refunds will be allowed.

Please be advised that failure to exercise any of the above options before the expiration date shown above will result in permit expiration and having to obtain a new permit, paying additional fees, plan check and permit fees, and may include legal action to bring about compliance if the work has already started.

You may contact the undersigned Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. at 949-644-3264 to inform us of your intentions or if you have questions.

Very truly yours,

Pault. Le Clairs By:

Building Inspector Paul LeClaire

City of Newport Beach



Community Development

LIGHT CHRISTIAN R 1401 QUAIL ST #120 NEWPORT BEACH, CA 92660 Subject: Notice of Expired Permit

Address: 112 KINGS PL NEWPORT BEACH, CA

Our records indicate that your permit **X2021-1276** issued on **06/03/2021** including any related permits, is expired based on limitations set forth in Newport Beach Municipal Code Section 15.02.100. A notice of pending permit expiration was previously mailed to your address.

Since work is in progress, you are currently in violation of Section 105.5 of the Newport Beach Administrative Code. A new permit will be required prior to resuming work to complete the project. Please obtain a new permit within 14 days as set forth from the above date. Otherwise code enforcement action by the Community Development Department Building Division may be necessary. This may include administrative citations until this matter is resolved.

Please contact the Building Inspector between 7:00 a.m. to 8:00 a.m. or 3:30 p.m. to 4:30 p.m. if you have questions or to inform us of your intentions.

Regards,

Chad Shelton

Chad Shelton, Building Inspector CSHELTON@newportbeachca.gov Phone: 949-644-3295

Attachment No. 3

Building Official Extension



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O./Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

Three Year Construction Time Limit Extension Building Official Application

| Project Address: | 112 Kings I | Place Nev | wport Beach, CA | Receipt No.: 12456-0 | 002 |
|---|--|---------------------------------|--------------------------------|---|------------------|
| Permit No.: x 2018 | -3347 | Original Permit Issued Date: | April 1, 2019 | Extension Fee: \$208 | Date Fee Paid: |
| | PETITIC | NER/PROPE | ERTY OWNER INFO | RMATION | |
| Name (Must be | e payor of fees): | | Company Name: | | |
| Anthony Ferr | ro | | Baldwin Builders | | |
| Street Address | | | City: State: | | Zip Code: |
| 5135 N. Valle | ey Center Avenue | | Covina | CA | 91724 |
| Email: | | | Phone: | L | L |
| Anthony@Ba | ldwin-Builders.com | | O: 909-599-0 | 033 C: 626-945-6326 | |
| | | PROJE | CT INFORMATION | A 99.4-09.707.707.707.007.007.100.001.00.00 | |
| Length of exter | nsion requested: Till End | of January 2023 | | | |
| New end date i | f request is approved: Oc | tober 1, 2022 | | | |
| CONTRACTOR OF THE OWNER | sion(s) Granted? (Y/N): | YES | If Yes, How Many?: | 1 | |
| Description of Work Under | finish work to get permit for occupancy. | | | | |
| Permit: | Original is Remodel of 10K custom home | | | | |
| | | | | | |
| Reason for | (Attach Supporting Documents as Needed) | | | | |
| Extension Request | KMK development was removed by owner for failure to complete the project on time | | | | |
| | Law suit case # 30-2021-01185766-CU-OR-CJC | | | | |
| | I HEREBY C | ERTIFY THAT | THE ABOVE STATEME | ENT IS TRUE. | |
| Petitioner's Sign | | | elationship to Property Owner. | | Date: |
| Ani | thony Ferro | | NEW Contractor for Owner | | 9 / 24 / 22 |
| | Contract of Contract of the | FOR ST. | AFF USE ONLY | | ele d'actuales e |
| Department Act | Approved | Denie | d | | |
| | <i>L</i> appioved | | u. | | |
| Conditions of Approval or ESPIRE ON 12/31/2022 NULESS ADDITIONAL | | | | | SIGALL |
| or Comments: | | | | DDITIONAL | |
| Building Inspec | ERTENISION 15 | GRANTE | Signature: | | Data |
| Reviewed: | | | Signature. | | Date: / / |
| Building Officia | I Name: | | Signature: | | Date: |
| Approval: | Ionlet 1. | HAA \$ | -1-1-D | | 09 129/22 |

BuildingOfficial3YearExtension Valid Until 04/22/2025 Ordinance 2022-8 / NBMC 15.02.095 - 6-16-22



September 24, 2022

City of Newport Beach Community Development Department Building Division 100 Civic Center Drive Newport Beach, CA 92658-8915

RE: PERMIT EXTENTION FOR PERMIT X-2018-3347 112 KINGS PLACE

Gentlemen,

Baldwin Builders is the new contractor of record recorded on Tuesday Sept 20, 2022. For the owner of 112 Kings Place, Joe Del Signore. We have been hired by the owner to complete the remaining work associated with the project listed above consistent with obtaining the final sign off for occupancy.

Baldwin Builders ("Baldwin") have been hired to complete the associated work with the minimal standards to achieve building final, we will be utilizing local distributor and suppliers for the necessary materials. We will only be using licensed contractor, with city business license to accomplish our goal.

We respectfully request the necessary extension to bring this project to a closure with the City of Newport Beach and the owner Joe Del Signore.

Attached is the civil case that was pivotal in delaying this project beyond the previous approved extension. Mr. Del Signore has counsel representing his case, and we diligently working with your approval to complete this project within the allotted time extension permitted by your department.

Thank you for your consideration in this matter.

Respectfully submitted

Anthony Ferro BALDWIN BUILDERS

Baldwin Builders CA LIC 992380 DOSH 1016 Office 909-599-0033 Fax 600-6601

To the City of Newport Beach

September 28, 2022

I am the owner of 112 Kings Place Joe Del Segnori. I am informing the city that **<u>Baldwin</u>** <u>**Builders**</u> has been retained on my behalf to bring the above property to final with the achievement of occupancy.

Anthony Ferro with <u>Baldwin Builders</u> will be working with the city of Newport Beach to finalize the permit. All permits extension have been paid, and the contractor of record has been changed to Baldwin Builders.

Thank you

Respectfully submitted

 DocuSigned by:

 Jf
 Sep-29-2022 | 8:13 AM PDT

 22699E1530F44F9...
 Sep-29-2022 | 8:13 AM PDT

Joe Del Signore

Thai, Tonee

From: Sent: To: Subject: Sanchez, Chris September 29, 2022 12:49 PM Thai, Tonee Fwd: 112 Kings Place

Here is timeline letter

Get Outlook for iOS

From: Sanchez, Chris <CSanchez@newportbeachca.gov> Sent: Thursday, September 29, 2022 12:46:55 PM To: Anthony Ferro <anthony@baldwin-builders.com> Subject: Re: 112 Kings Place

I will forward to Tonee.

Thanks, Chris Sanchez

Get Outlook for iOS

From: Anthony Ferro <anthony@baldwin-builders.com> Sent: Thursday, September 29, 2022 11:20:26 AM To: Sanchez, Chris <CSanchez@newportbeachca.gov> Subject: Fwd: 112 Kings Place

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Thank you,

Begin forwarded message:

From: Matt Eschenburg <meschenburg@mvjllp.com> Date: September 28, 2022 at 1:57:14 PM PDT To: aferro1028@gmail.com Subject: 112 Kings Place

In 2007, Joseph and Michaela Del Signore purchased the property at 112 Kings Place, Newport Beach, CA, 92663 ("Subject Property"). Following their purchase of the Subject Property, the Del Signores hired David Fleck of Pacific Coast Construction ("PCC") as their general contractor to completely remodel the Subject Property. After several years of reconstruction, in January of 2011, construction was completed, and the Del Signore family moved in their new home. On their first night in their new home, January 1, 2011, the Del Signore family hosted a house-warming party, where Mr. Fleck and his wife were invited guests. At some point during the night, Mr. Fleck placed what has been described as a gobels (a fire starter) into the fireplace to ignite the fire. At approximately 8:00 a.m. the next morning, Ms. Del Signore smelled smoke within the home but did not observe any flames in the fireplace. The family consequently evacuated the house and called the Newport Beach Fire Department to investigate the source of the smoke. The responding firefighters first noticed that there appeared to be heat within the walls and proceeded to open the walls near the fireplace. Upon doing so, flames were observed within the wall cavities and on the framing members within the walls. As a result of the fire, the Del Signore family home was significantly damaged. A subsequent investigation revealed that the fireplace was improperly constructed, as it was placed too close to the framing members. The investigation also revealed that the fireplace were may have been improperly treated.

As a result of the fire, the Del Signores made a first party insurance claim to their homeowner's insurance carrier but that carrier issued payment in an amount which was significantly less than the amount required to reconstruct their home. Additionally, Mr. Fleck's commercial general liability carrier denied coverage on the grounds that he had allegedly hired improperly/uninsured subcontractors to perform the construction of the Subject Property. As a result, litigation ensued against Mr. Fleck's general liability insurance carrier. This litigation took several years and impacted the construction timeline for that same period.

From January of 2011 to 2014, the Del Signore family saved money in order to fund the reconstruction of the Subject Property. In 2015, the Del Signores retained a second general contractor, Derek La Marque of Avex Builders, Inc. ("Avex") to reconstruct their home. Upon his retention, he immediately began the demolition process of the damaged portion of the Subject Property. Throughout the following two years, Avex removed and replaced framing, concrete, stucco and waterproofing from the Subject Property which had been damaged as a result of the fire. The Del Signores subsequently learned that in order to avoid the permit requirements with the City of Newport Beach, Avex retained a structural engineer to submit design plans for each individual room instead of submitting general plans for the house as a whole. As a result, these piecemeal submissions led to the construction of a structurally unstable house, as it was not designed and built as one collective system. On or about September 2018, the Del Signores fired Avex. The Del Signores learned that Mr. La Marque was employing unlicensed and uninsured laborers and substantially marked up low-end subcontractor's work. It was only after the termination of Avex that the Del Signores learned of the improper actions relative to the submission of the structural plans/improper conduct

In December 2016, the Del Signores hired KMK Development to take over the reconstruction of the Subject Property. Mr. Bergeron advised that when he went to the City of Newport Beach Building & Safety Department before commencing work, he learned that there were still nine outstanding permits on the house dating back to 2007. Many aspects of the construction of the Subject Property had never been inspected or signed off on/approved. Mr. Bergeron also performed an extensive investigation into the construction activities of the two prior contractors and found that their work in almost all areas of the home was well below the standard of care and defective. As a result, Mr. Bergeron fired the prior structural engineer and subcontractors and retained a new structural engineer who determined that the former structural engineer, Paul Rohrer, had failed to structurally tie in the framing system to the foundation of the home and that the framing, as constructed, was unstable and needed to be repaired/redone.

Due to the defective design and construction of the Subject Property, much of the framing, plaster, concrete and structural components of the Subject Property needed to be

removed and reconstructed, to meet the new structural design codes. Additionally, new steel joists needed to be installed in order ensure the structural integrity of the Subject Property. Almost 40% of the Subject Property was found to be in violation of building violations. The Del Signores were required to remove most of the work installed by Avex so that it could be reconstructed properly and according to code. As a result, KMK Development's construction timeline to complete reconstruction of the Subject Property has expanded from 12-18 months to a minimum of 36 months.

Since that time, KMK Development appears to have had difficulties in getting the project to the Certificate of Occupancy stage due to staffing and material shortages related to the Covid-19 pandemic, among other construction related issues. Additionally, the Del Signores believe that the delays in completion of the project by KMK Development may also have been caused by the actions of KMK Development but that issue is still being investigated. As a result of these construction delays and inability to complete the project as promised, the Del Signores have replaced KMK Development with Baldwin Builders (Anthony Ferro) which has submitted documents to the City of Newport Beach to obtain an extension of the construction permit beyond the October 1, 2022, expiration date.

As a result of the above, the neighbors which live/own 108 Kings Place, have filed a trespass and nuisance complaint against the Del Signores and the City of Newport Beach. The Lallys complain about the construction, dust and noise arising from the construction at the Del Signore property. The Del Signores have sued Avex and KMK Development as a result of the Lally's complaint. The Del Signores have not sued the City of Newport Beach. Since the filing of the complaint, the Del Signores have made attempt to reach a settlement with the Lallys. A term requested by counsel for the Lallys during those settlement efforts included the Del Signores ceasing ongoing construction activities at the site while those settlement talks were progressing. As a result, construction activities at the site were halted for several weeks. That being said, construction activities have resumed in an effort to reach the Certificate of Occupancy threshold.

Matthew J. Eschenburg, Esq. Partner **Mokri Vanis & Jones, LLP** 4100 Newport Place Drive, Suite 840 Newport Beach, CA 92660 Main 949.226.7040 | Fax 949.226.7150 <u>meschenburg@mvjllp.com</u> <u>www.mvjllp.com</u>

| 30-20 | Electronically Filed by Superior Court of California, County of Orange, 09/16/2022 09:15:00 AM. 21-01185766-CU-OR-CJC - ROA # 215 - DAVID H. YAMASAKI, Clerk of the Court By R. Baker, Deputy Clerk. | | | | |
|----------------|---|---|--|--|--|
| 1 2 3 | Richard W. Vanis, Jr. (Bar No. 186302) rvanis@mvjllp.com Matthew J. Eschenburg (Bar No. 198279) meschenburg@mvjllp.com MOKRI VANIS & JONES LLP | | | | |
| 4 5 | 4100 Newport Place Drive, Suite 840 Newport Beach, CA 92660 Telephone: 949.226.7040 Facsimile: 949.226.7150 | | | | |
| 6 7 | Attorneys for Defendants/Cross-Complainants, Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del Signore aka Michaela Del Signore | | | | |
| 8 | SUPERIOR COURT OF TH | E STATE OF CALIFORNIA | | | |
| 9 | FOR THE COUN | TY OF ORANGE | | | |
| 10 | CENTRAL JUS | STICE CENTER | | | |
| 11 | JAYNE LALLY, an individual, MARSHALL | CASE NO. 30-2021-01185766-CU-OR-CJC | | | |
| 12 | J. LALLY, an individual, and MELISSA LALLY MILLARD, an individual, | [Hon. Linda S. Marks; Dept. C25] | | | |
| 13 | Plaintiffs, | AMENDMENT TO CROSS-COMPLAINT | | | |
| 14 | v. | Complaint filed: 2/23/2021 Trial date: 1/9/2023 | | | |
| 15 16 17 | JOSEPH A. DEL SIGNORE aka JOSEPH DEL SIGNORE, an individual; MICHAELA O. DEL SIGNORE aka MICHAELA DEL SIGNORE, an individual; CITY OF NEWPORT BEACH, a government entity, | Trial date: 1/9/2023 | | | |
| 18 | and DOES 1-50, inclusive, | | | | |
| 19 | Defendants. | | | | |
| 20 | | | | | |
| 21 | TO ALL PARTIES AND TO THEIR RES | PECTIVE ATTORNEYS OF RECORD: | | | |
| 22 | Upon the filing of its Cross-Complaint in the a | above-entitled action, Defendant/Cross-Complainant | | | |
| 23 | Joseph A. Del Signore aka Joseph Del Signore and l | Michaela O. Del Signore aka Michaela Del Signore | | | |
| 24 | ("Cross-Complainant"), being ignorant of the true nan | ne of all Cross-Defendants named therein and having | | | |
| 25 | designated unknown Cross-Defendants in its Cross-Complaint by the fictitious name of ZOES, has | | | | |
| | discovered the true name of the Cross-Defendant to b | be as follows: | | | |
| 27 28 | ZOE 1: KMK DEVELOPMENT, IN | с. | | | |
| 20 | | | | | |
| | 1 | | | | |
| | AMENDMENT TO CI | | | | |
| 11 | | 192 | | | |

| 1 | | | | y substituting the true names for the | fictitious |
|----|----------|---------------------------|---------------------|---|------------|
| 2 | names wh | erever they appear in sai | id Cross-Complaint. | | |
| 3 | | | | | |
| 4 | Dated: | September 16, 2022 | | MOKRI VANIS & JONES, LLP | |
| 5 | | | Bv | /s/ Matthew J. Eschenburg | |
| 6 | | | 27. | Richard W. Vanis, Jr. Matthew J. Eschenburg | |
| 7 | | | | Attorneys for Defendants/Cross- Complainants, Joseph A. Del Signor Joseph Del Signore and Michaela O. Signore aka Michaela Del Signore | e aka |
| 8 | | | | Joseph Del Signore and Michaela O. Signore aka Michaela Del Signore | Del |
| 9 | | | | Signore and Michaela Der Signore | |
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| | | Al | MENDMENT TO CROSS-C | | |
| | | | | 19 | 3 |

| 1 | PROOF OF SERVICE |
|----------------------|---|
| 2 | SUPERIOR COURT FOR THE STATE OF CALIFORNIA, COUNTY OF ORANGE |
| 3 | CASE NAME: JAYNE LALLY VS. JOSEPH A. DEL SIGNORE, et al. |
| 4 | CASE NUMBER: 30-2021-01185766-CU-OR-CJC |
| 5 6 | I am employed in the County of Orange, State of California. I am over the age of 18 and not a party to the within action; my business address is 4100 Newport Place Drive, Suite 840, Newport Beach, California 92660. |
| 7 8 | On September 16, 2022, I served the foregoing document described as: XXX in this action as follows: |
| 9 10 | Daniel T. Rudderow (Bar No. 174258)Attorneys for Plaintiffs, JAYNE LALLY, MARSHALL J. LALLY and MELISSA LALLY MILLARDChris C. Chapman (Bar No. 234738)MARSHALL J. LALLY and MELISSA LALLY MILLARDShadee R. Duarte (Bar No. 291550)MILLARD |
| 11 12 | 1301 Dove Street, Suite 800E : chris@rudderowlaw.comNewport Beach, CA 92660shadee@rudderowlaw.com(949) 565-1344(714) 677-4004 Fax |
| 13 14 15 16 | Keith E. Rodenhuis, Esq.Attorneys for Defendant CITY OF NEWPORTAmber C. McCall, Esq.BEACHKer Legal GroupE: Amber@kerlegalgroup.com2601 Main Street, Ste. 560E: Amber@kerlegalgroup.comIrvine, CA 92660keith@kerlegalgroup.com(949) 252-9937(949) 292-4576 Fax |
| 17 | [X] <u>BY EMAIL SERVICE</u> |
| 18 19 | [X] VIA ONE LEGAL: Pursuant to California Rules of Court, rule 2.251(b)(2), I caused the document(s) described above to be transmitted electronically via ONE LEGAL to the persons at the e-mail address(es) listed above. |
| 20 | [X] <u>STATE</u> : I declare under penalty of perjury under the laws of the State of California that the above is true and correct. |
| 21 22 | Executed on September 16, 2022, at Newport Beach, California. |
| 23 | <u>/s/ Brenda Newkirk</u> BRENDA NEWKIRK |
| 24 | |
| 25 | |
| 26 | |
| 27 28 | |
| 20 | |
| | 3AMENDMENT TO CROSS-COMPLAINT |
| | AMENDMENT TO CROSS-COMPLAINT |

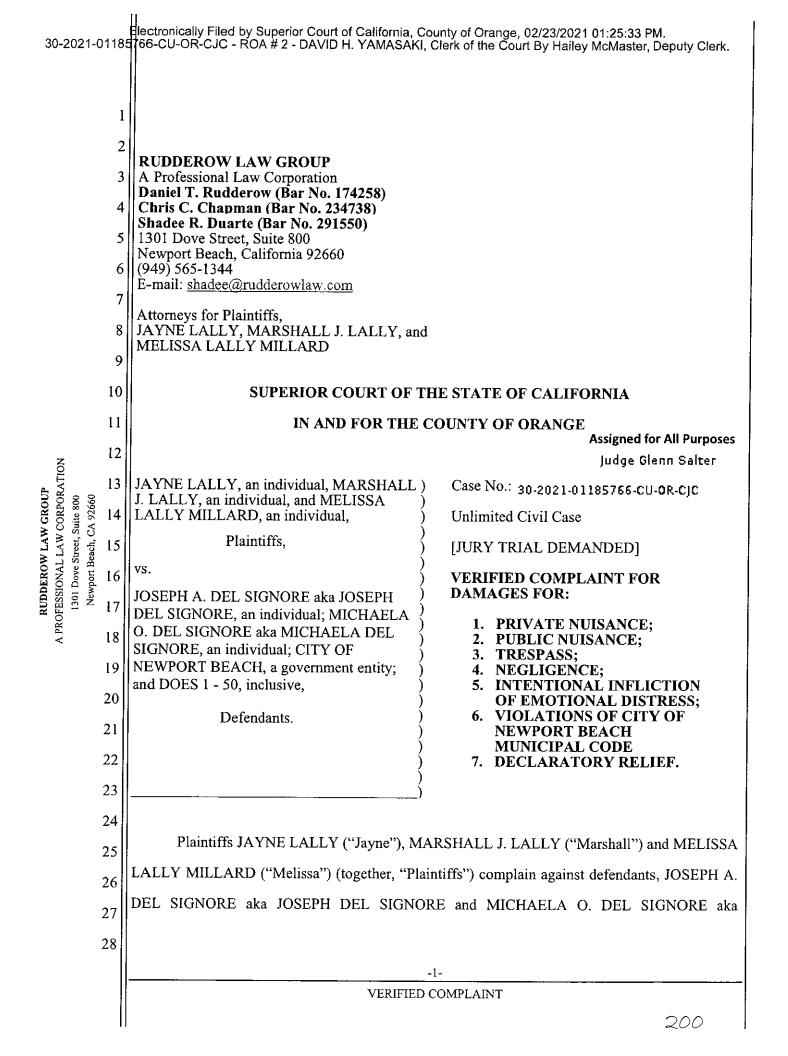
| 30-20 | Electronically Filed by Superior Court of California, County of Orange, 09/16/2022 09:15:00 AM. 21-01185766-CU-OR-CJC - ROA # 215 - DAVID H. YAMASAKI, Clerk of the Court By R. Baker, Deputy Clerk. | | | | |
|----------------|---|---|--|--|--|
| 1 2 | Richard W. Vanis, Jr. (Bar No. 186302) rvanis@mvjllp.com Matthew J. Eschenburg (Bar No. 198279) | | | | |
| 3 | meschenburg@mvjllp.com MOKRI VANIS & JONES LLP 4100 Newport Place Drive, Suite 840 Newport Beach, CA 92660 Telephone: 949.226.7040 | | | | |
| 5 6 7 | Facsimile: 949.226.7150 Attorneys for Defendants/Cross-Complainants, Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del Signore aka Michaela Del Signore | | | | |
| 8 | SUPERIOR COURT OF TH | E STATE OF CALIFORNIA | | | |
| 9 | FOR THE COUN | ITY OF ORANGE | | | |
| 10 | CENTRAL JUS | STICE CENTER | | | |
| 11 | JAYNE LALLY, an individual, MARSHALL | CASE NO. 30-2021-01185766-CU-OR-CJC | | | |
| 12 | J. LALLY, an individual, and MELISSA LALLY MILLARD, an individual, | [Hon. Linda S. Marks; Dept. C25] | | | |
| 13 | Plaintiffs, | AMENDMENT TO CROSS-COMPLAINT | | | |
| 14 | v . | Complaint filed: 2/23/2021 Trial date: 1/9/2023 | | | |
| 15 | JOSEPH A. DEL SIGNORE aka JOSEPH DEL SIGNORE, an individual; MICHAELA | Trial date: 1/9/2023 | | | |
| 16 17 18 | O. DEL SIGNORE aka MICHAELA DEL SIGNORE, an individual; CITY OF NEWPORT BEACH, a government entity, and DOES 1-50, inclusive, | | | | |
| 19 | Defendants. | | | | |
| 20 21 | | | | | |
| 22 | TO ALL PARTIES AND TO THEIR RES | PECTIVE ATTORNEYS OF RECORD: | | | |
| 23 | Upon the filing of its Cross-Complaint in the a | above-entitled action, Defendant/Cross-Complainant | | | |
| 24 | Joseph A. Del Signore aka Joseph Del Signore and l | Michaela O. Del Signore aka Michaela Del Signore | | | |
| 24 | ("Cross-Complainant"), being ignorant of the true nan | ne of all Cross-Defendants named therein and having | | | |
| 26 | designated unknown Cross-Defendants in its Cross-Complaint by the fictitious name of ZOES, has | | | | |
| 27 | discovered the true name of the Cross-Defendant to b | e as follows: | | | |
| 28 | ZOE 1: KMK DEVELOPMENT, IN | С. | | | |
| | 1 | | | | |
| | AMENDMENT TO CH | ROSS-COMPLAINT | | | |
| | | 195 | | | |

| 1 | С | ross-Complainant amends i | ts Cross-Complaint b | w substituting the true names | for the fictitious |
|----------|--|---------------------------|----------------------|--|----------------------------|
| 2 | Cross-Complainant amends its Cross-Complaint by substituting the true names for the fictitious names wherever they appear in said Cross-Complaint. | | | ior die fiethious | |
| 3 | | J FI CALLER | | | |
| 4 | Dated: | September 16, 2022 | | MOKRI VANIS & JONES, I | LP |
| 5 | | | | | |
| 6 | | | By: | <u>/s/ Matthew J. Eschenburg</u> Richard W. Vanis, Jr. Matthew J. Eschenburg | |
| 7 | | | | Matthew J. Eschenburg Attorneys for Defendants/Cro | SS- |
| 8 | | | | Attorneys for Defendants/Cro Complainants, Joseph A. Del Joseph Del Signore and Mich Signore aka Michaela Del Sig | Signore aka aela O. Del |
| 9 | | | | Signore aka Michaela Del Sig | nore |
| 10 | | | | | |
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| 1 | | | PROO | F OF SERVICE |
| 2 | SUP | PERIOR COUR | RT FOR THE STATE OF | CALIFORNIA, COUNTY OF ORANGE |
| 3 | CAS | SE NAME: | JAYNE LALLY VS. JO | OSEPH A. DEL SIGNORE, et al. |
| 4 | CAS | SE NUMBER: | 30-2021-01185766-CU-(| OR-CJC |
| 5 6 | party Calif | I am employe to the within ac fornia 92660. | ed in the County of Orange ction; my business address | , State of California. I am over the age of 18 and not a is 4100 Newport Place Drive, Suite 840, Newport Beach, |
| 7 | follo | On Septembe ws: | er 16, 2022, I served the for | egoing document described as: XXX in this action as |
| 8 9 | Chr | is C. Chapman (| v (Bar No. 174258) Bar No. 234738) Bar No. 291550) | Attorneys for Plaintiffs, JAYNE LALLY, MARSHALL J. LALLY and MELISSA LALLY MILLARD |
| 10 | 130 | lderrow Law Gro 1 Dove Street, S | uite 800 | E : <u>chris@rudderowlaw.com</u> |
| 11 12 | (949 | vport Beach, CA 9) 565-1344 4) 677-4004 Fax | | shadee@rudderowlaw.com |
| 13 | Am | th E. Rodenhuis, ber C. McCall, F | | Attorneys for Defendant CITY OF NEWPORT BEACH |
| 14 | 260 | Legal Group 1 Main Street, S | te. 560 | E: <u>Amber@kerlegalgroup.com</u> |
| 15 16 | (949 | ne, CA 92660 9) 252-9937 9) 292-4576 Fax | | keith@kerlegalgroup.com |
| 17 | [X] | BY EMAIL S | SERVICE | |
| 18 19 | docur mail a | [X] VIA ONE ment(s) describe address(es) listed | d above to be transmitted e | ifornia Rules of Court, rule 2.251(b)(2), I caused the lectronically via ONE LEGAL to the persons at the e- |
| 20 | [X] | STATE: I dec | clare under penalty of perju | ry under the laws of the State of California that the |
| 21 | 10000 | is true and corr | | ment Decelle California |
| 22 | | Executed on S | eptember 16, 2022, at New | port Beach, California. |
| 23 | | | | <u>/s/ Brenda Newkirk</u> BRENDA NEWKIRK |
| 24 | | | | DICENDA INE WILLIAK |
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| | | | AMENDMENT T | O CROSS-COMPLAINT |
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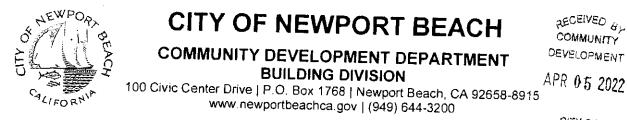
| 30-2021-0 | Electronically Filed by Superior Court of California, 185766-CU-OR-CJC - ROA # 135 - DAVID H. YAMASA | County of Orange, 07/30/2021 02:02:00 PM. KI, Clerk of the Court By Jessica Edwards, Deputy Clerk. |
|----------------------------|--|---|
| 1 2 3 4 5 6 | Richard W. Vanis, Jr. (Bar No. 186302) rvanis@mvjllp.com Matthew J. Eschenburg (Bar No. 198279) meschenburg@mvjllp.com MOKRI VANIS & JONES LLP 4100 Newport Place Drive, Suite 840 Newport Beach, CA 92660 Telephone: 949.226.7040 Facsimile: 949.226.7150 Attorneys for Defendants/Cross-Complainants, | |
| 7 | Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del Signore aka Michaela Del Signore | |
| 8 | SUPERIOR COURT OF TH | IE STATE OF CALIFORNIA |
| 9 | FOR THE COUN | TY OF ORANGE |
| 10 | CENTRAL JUS | STICE CENTER |
| 11 | JAYNE LALLY, an individual, MARSHALL J. | CASE NO. 30-2021-01185766-CU-OR-CJC |
| 12 | LALLY, an individual, and MELISSA LALLY MILLARD, an individual, | [Hon. Linda S. Marks; Dept. C25] |
| 13 | Plaintiffs, | CROSS-COMPLAINT OF JOSEPH A. DEL |
| 14 | v. | SIGNORE and MICHAELA DEL SIGNORE FOR: |
| 15 | JOSEPH A. DEL SIGNORE aka JOSEPH DEL | 1. NEGLIGENCE; |
| 16 | SIGNORE, an individual; MICHAELA O. DEL SIGNORE aka MICHAELA DEL SIGNORE, an | 2. BREACH OF EXPRESS WARRANTIES; 3. BREACH OF IMPLIED WARRANTIES; |
| 17 | individual; CITY OF NEWPORT BEACH, a government entity, and DOES 1-50, inclusive, | 4. INTENTIONAL MISREPRESENTATIONS; 5. NEGLIGENT MISREPRESENTATIONS; |
| 18 | | 6. CONCEALMENT; 7. VIOLATION OF BUSINESS & |
| 19 | Defendants. | PROFESSION'S CODE SECTION 17200; |
| 20 | JOSEPH A. DEL SIGNORE aka JOSEPH DEL | 8. IMPLIED INDEMNITY; 9. EQUITABLE INDEMNITY; 10. CONTRIBUTION AND FOUNTABLE |
| 21 | SIGNORE, an individual; MICHAELA O. DEL SIGNORE aka MICHAELA DEL SIGNORE, an | 10. CONTRIBUTION AND EQUITABLE APPORTIONMENT; AND 11. DECLARATORY RELIEF |
| 22 | individual, | Complaint filed: 02/23/2021 |
| 23 | Cross-Complainants, | Trial date: 01/09/2023 |
| 24 | V. | |
| 25 | AVEX BUILDERS, INC., DEREK DANIEL LA MARQUE and ZOES 1-100, inclusive, | |
| 26 | Cross-Defendants. | |
| 27 | | |
| 28 | /// | |
| | 1 | |
| | CROSS-COMPLAINT OF JOSEPH A. DEL SIC | GNORE AND MICHAELA O. DEL SIGNORE |
| | | 198 |

| 30-2021- | Electronically Filed by Superior Court of California, County of Orange, 07/30/2021 02:02:00 PM. 185766-CU-OR-CJC - ROA # 138 - DAVID H. YAMASAKI, Clerk of the Court By Jessica Edwards, Deputy Clerk. | | | |
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| 1 2 3 4 5 6 7 8 9 | FOR THE COUN | IE STATE OF CALIFORNIA NTY OF ORANGE STICE CENTER | | |
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| 11 12 | JAYNE LALLY, an individual, MARSHALL J. LALLY, an individual, and MELISSA LALLY MILLARD, an individual, | CASE NO. 30-2021-01185766-CU-OR-CJC [Hon. Linda S. Marks; Dept. C25] | | |
| 13 | Plaintiffs, | DEFENDANT MICHAELA O. DEL | | |
| 14 | v. | SIGNORE aka MICHAEL DEL SIGNORE'S VERIFIED ANSWER TO PLAINTIFFS' VERIFIED COMPLAINT | | |
| 15 | JOSEPH A. DEL SIGNORE aka JOSEPH | | | |
| 16 | DEL SIGNORE, an individual; MICHAELA O. DEL SIGNORE aka MICHAELA DEL | Complaint filed. 2/22/2021 | | |
| 17 18 | SIGNORE, an individual; CITY OF NEWPORT BEACH, a government entity, and DOES 1-50, inclusive, | Complaint filed: 2/23/2021 Trial date: 1/9/2023 | | |
| 19 | Defendants. | | | |
| 20 | | | | |
| 21 | Defendants, Michaela O. Del Signore aka Mi | chaela Del Signore ("Answering Defendant") hereby | | |
| 22 | answers the Verified Complaint ("Complaint") of P | laintiffs Jayne Lally, Marshall J. Lally and Melissa | | |
| 23 | Lally Millard (collectively referred to as "Plaintiffs" |), and admits, denies, or otherwise avers as follows: | | |
| 24 | | | | |
| 25 | THE | <u>PARTIES</u> | | |
| 26 | | | | |
| 27 | 1. Answering paragraph 1, Answering D | efendant lacks sufficient information to form a belief | | |
| 28 | as to the truth of the allegations contained in this para | | | |
| | 1 | | | |
| | VERIFIED ANSWER OF MICHAELA DEL SIGN | ORE TO PLAINTIFFS' VERIFIED COMPLAINT | | |
| | | 199 | | |



| 30-2021-0 | Electronically Filed by Superior Court of California, 185766-CU-OR-CJC - ROA # 137 - DAVID H. YAMASA | County of Orange, 07/30/2021 02:02:00 PM. KI, Clerk of the Court By Jessica Edwards, Deputy Clerk. | | |
|----------------------------|---|---|--|--|
| 1 2 3 4 5 6 | Richard W. Vanis, Jr. (Bar No. 186302) rvanis@mvjllp.com Matthew J. Eschenburg (Bar No. 198279) meschenburg@mvjllp.com MOKRI VANIS & JONES LLP 4100 Newport Place Drive, Suite 840 Newport Beach, CA 92660 Telephone: 949.226.7040 Facsimile: 949.226.7150 Attorneys for Defendants, Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del | | | |
| 7 | Signore aka Michaela Del Signore | | | |
| 8 | | IE STATE OF CALIFORNIA | | |
| 9 | SPC REEDERSKARSTONISKER (62) VIII INFERD | ITY OF ORANGE | | |
| 10 | | STICE CENTER | | |
| 11 | JAYNE LALLY, an individual, MARSHALL J. LALLY, an individual, and MELISSA | CASE NO. 30-2021-01185766-CU-OR-CJC | | |
| 12 | LALLY MILLARD, an individual, | [Hon. Linda S. Marks; Dept. C25] | | |
| 13 | Plaintiffs, | DEFENDANT JOSEPH A. DEL SIGNORE aka JOSEPH DEL SIGNORE'S VERIFIED | | |
| 14 | v. | ANSWER TO PLAINTIFFS' VERIFIED COMPLAINT | | |
| 15 16 17 18 | JOSEPH A. DEL SIGNORE aka JOSEPH DEL SIGNORE, an individual; MICHAELA O. DEL SIGNORE aka MICHAELA DEL SIGNORE, an individual; CITY OF NEWPORT BEACH, a government entity, and DOES 1-50, inclusive, | Complaint filed: 2/23/2021 Trial date: 1/9/2023 | | |
| 19 | Defendants. | | | |
| 20 | | | | |
| 21 | | | | |
| 22 | | seph Del Signore ("Answering Defendant") hereby | | |
| 23 | answers the Verified Complaint ("Complaint") of P | | | |
| 24 | Lally Millard (collectively referred to as "Plaintiffs") | | | |
| 25 | THE PA | ARTIES | | |
| 26 | 1. Answering paragraph 1, Answering D | efendant lacks sufficient information to form a belief | | |
| 27 | as to the truth of the allegations contained in this para | | | |
| 28 | and put | ······································ | | |
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| | VERIFIED ANSWER OF JOSEPH DEL SIGNOI | RE TO PLAINTIFFS' VERIFIED COMPLAINT | | |
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| 30-2021 | Electronically Filed by Superior Court of California, County of Orange, 07/30/2021 02:02:00 PM. 185766-CU-OR-CJC - ROA # 137 - DAVID H. YAMASAKI, Clerk of the Court By Jessica Edwards, Deputy Clerk. | | | |
|--------------------------------------|---|--|--|--|
| 1 2 3 4 5 6 7 8 | Richard W. Vanis, Jr. (Bar No. 186302) rvanis@mvjllp.com Matthew J. Eschenburg (Bar No. 198279) meschenburg@mvjllp.com MOKRI VANIS & JONES LLP 4100 Newport Place Drive, Suite 840 Newport Beach, CA 92660 Telephone: 949.226.7040 Facsimile: 949.226.7150 Attorneys for Defendants, Joseph A. Del Signore aka Joseph Del Signore and Michaela O. Del Signore aka Michaela Del Signore | | | |
| 9 | | IE STATE OF CALIFORNIA | | |
| 10 | | NTY OF ORANGE | | |
| 10 | | STICE CENTER | | |
| 11 | JAYNE LALLY, an individual, MARSHALL J. LALLY, an individual, and MELISSA LALLY MILLARD, an individual, | CASE NO. 30-2021-01185766-CU-OR-CJC [Hon. Linda S. Marks; Dept. C25] | | |
| 13 | Plaintiffs, | DEFENDANT JOSEPH A. DEL SIGNORE | | |
| 14 | v. | aka JOSEPH DEL SIGNORE'S VERIFIED ANSWER TO PLAINTIFFS' VERIFIED COMPLAINT | | |
| 15 16 17 18 | JOSEPH A. DEL SIGNORE aka JOSEPH DEL SIGNORE, an individual; MICHAELA O. DEL SIGNORE aka MICHAELA DEL SIGNORE, an individual; CITY OF NEWPORT BEACH, a government entity, and DOES 1-50, inclusive, | Complaint filed: 2/23/2021 Trial date: 1/9/2023 | | |
| 19 | Defendants. | | | |
| 20 | | | | |
| 21 | | | | |
| 22 | Defendants, Joseph A. Del Signore aka Jos | eph Del Signore ("Answering Defendant") hereby | | |
| 23 | answers the Verified Complaint ("Complaint") of P | laintiffs Jayne Lally, Marshall J. Lally and Melissa | | |
| 24 | Lally Millard (collectively referred to as "Plaintiffs") |), and admits, denies, or otherwise avers as follows: | | |
| 25 | THE PA | RTIES | | |
| 26 | | | | |
| 27 | 1. Answering paragraph 1, Answering De | efendant lacks sufficient information to form a belief | | |
| 28 | as to the truth of the allegations contained in this para | agraph. | | |
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| | 1 VERIFIED ANSWER OF JOSEPH DEL SIGNOF | RE TO PLAINTIFFS' VERIFIED COMPLAINT | | |
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CITYOF

Three Year Construction Time Limit Extension Par BEACH

| Building (| Official Applie | cation | |
|---|----------------------------|-------------------|---------------------------------------|
| Address: 112 KINGS PLACE | 2. N.B. | Receipt No.: | |
| Permit No.: X 2018 - 3347 Original Permit Issued Date: | 04/01/20 | | Date Fee Paid: |
| PETITIONER/PROF | PERTY OWNER | INFORMATION | |
| Name (Must be payor of fees): DON DERGERON Street Address: | Company Name: | DEVELOPMENT | Inc. |
| 220 NEW por TCENTER DR # 11-35 | O NEWPONT B | State: EACH CA | Zip Code: 92660 |
| DON CKMK DEVELOPMENT. | | 49.322.5179 | |
| | ECT INFORMATION | | |
| Length of extension requested: 3months | PossiBLy 4m | wriths. | |
| New end date if request is approved: OQ O1 20 Previous Extension(s) Granted? (Y/N): | 22 OR 1010 | 1/22 | |
| Description of A | If Yes, How Ma | | · · · · · · · · · · · · · · · · · · · |
| Reason for Extension Request SHIPPING DELAYS, COVID 19 AND LABOR DELAYS. | PANDEMIC SHUT | | 45, PRODUCT |
| | Relationship to Property C | Owner: | Date: |
| | CONTRACTOR OU | ONERS KEP. | 3 / 30 /22 |
| Department Action: | AFF USE ONLY | | |
| Conditions Person Stram Expires a or Expression is GRAMETED + Comments: | on 10-01-20 | OFFICER. | かっついれて |
| Building Inspector Name: Reviewed: Charl Shellon Building Official Name: | | Sult | Date: <i>4 / 5 /22</i> |
| Approval: TONEE I HAT | | | Date: 05 / 20 /22 |

BuildingOfficial3YearExtension Valid Until 04/22/2025 Ordinance 2022-8 / NBMC 15.02.095

KONK DEVELOPMENT INC.

March 30, 2022

To: Tonee Thai @ The City of Newport Beach Building Department

Regarding: Application for extension of existing building permit #X2018-3347 for 112 Kings Place, Newport Beach CA 92660

Dear Mr. Thai,

The following document represents a portion of the supporting documentation and information that is being requested per the letter received by the office of KMK Development Incorporated for the above-mentioned permit and address for the requested extension of the existing building permit.

Over the course of the time, as the General Contractor and Owners representative on the project, we have faced many challenges. As if the building of a new custom 10K sq.ft. home did not come with its own set of challenges. From inception of the takeover of this custom build, when it was shown that there were 9 open, differing permits within the City permit system to the unknown (at the time) fire related damages that required removal and reframing of existing areas of the home, to the new design requests from the Designer, Owner and Structural engineering changes. We have been met with numerous adversities.

With the appearance of the current pandemic, and supply chain breakdowns, things shifted on multiple fronts and many new and differing challenges have been created that no one was prepared for. Below are just a few of the examples of the effect that the pandemic has had and even to this day has continued to have on the project, its critical path and all the people involved with it from suppliers, workers, Contractors and Owners.

We are attaching our current schedule that showed the project having its final inspections on 4/18/22. We are not going to be able to meet this schedule based on the situation we have found ourselves in.

We believe that a physical site meeting with Chad Shelton and yourself would show the progress currently being made on attaining our C of O, and also what the scope of work left to complete looks like. We also believe a site meeting will show the detail and complexity of the work that is being described below.

MATERIALS-

- Steel staircases and Iron railings-
 - We have 3 spiral staircases on this project. One is on the exterior right side of the house. This staircase was delayed 4-1/2 months during the course of the pandemic for material shortages as well as an inability for Cresco Manufacturing to be able to sufficiently man the project due to the pandemic. It was finally installed 4-1/2 months behind schedule. The two other spiral staircases are on the interior. The steel for the main staircase (8' radius staircase) was unavailable for the first 6 months that the staircase was scheduled to be started. This staircase still needed to be painted and have the custom wood treads templated and installed prior to the custom radius iron railings being fabricated. There is another smaller spiral staircase that leads up into the guest house that was also delayed in its production.
 - Iron railings: the iron railings are on three floors of this main spiral staircase. All are custom fabricated to

match the 8' radius noted above. There are only 2 small sections of straight railings on this staircase.

Tile & Stone-

This is a very large and extremely custom home. The tile and stone for this project is almost one million dollars in total. The delays from the suppliers were numerous and the critical path was devastated due to the pandemic. Tile and stone in some of the auxiliary bathrooms was done long ago. Almost all of the custom tile materials and stone slabs for the kitchen, pantry, kids' room, master bedroom & bath, laundry and entry level decks and courtyard have been delayed on average of 3-5 months. In fact, we just received the kitchen and pantry backsplash on 2/25/22. The master bathroom and great room fireplace slabs were received on 3/18/22, 4 months behind our schedule.

- Lighting control-
 - This project has a whole house lighting system that is controlled by a Lutron lighting system. The guts for the system were installed long ago during the rough phase portion of the project. The trims, controllers, keypads and touch screens have been on backorder for 5 months. We are now being told that we can expect delivery of these devices on May 16, or possibly sooner. This is a significant delay in our finish schedule. These keypads and controllers are the backbone of the lighting system. Without these we don't have lights or control of the house systems.

- Miscellaneous-
 - Concrete-It took 4 weeks to get 2 loads of concrete for AM delivery from Gary Bale concrete. This delayed our driveway and courtyard subbase by almost a month.
 - Waterproofing- The quantity required of Gaco Western LM-60 epoxy waterproofing was unavailable for us until 2/7/22 for our main deck waterproofing as well as our pool deck.
 - Sheetmetal-Deck sheet metal was delayed due to supply chain hold ups with supplier.

LABOR-

 All trades associated with the project took on significant labor shortage issues due to the pandemic and supply chain availability. Our stone mason, Young Ideas Construction lost one of their employees to Covid. At the height of the pandemic, we had almost no workers on the project while the mask mandates and OSHA requirements were being slowly understood and put into effect. This really hurt our critical path for our projected schedule (see attached).

OWNER RELATED ISSUES-

• The Owner of the property had numerous issues with their business that slowed down their ability to pay on invoices for the project due to the pandemic and their own businesses being affected. To date, all invoices are now paid and at the time of the writing of this letter the project is back online and moving at a much smoother pace.

WHAT WE ARE ASKING OF THE CITY-

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. . .

- KMK Development is asking for an onsite meeting with yourself (Tonnee Thai) and Chad Shelton our building inspector. At that meeting we would like to walk the project and show the progress we are making in our attempt to complete the project in a timely manner, as well as request an extension of 3-4 months to get our certificate of occupancy. As stated above, we are beginning to come back online with full crews and materials being installed on a daily basis. On average, we now have between 10-25 workers on site daily pressing towards our completion. We anticipate no further delays.
- We would ask that the City also forward this letter and our "time limit extension application to the administration hearing officer for their review and approval. If necessary, we would also ask that the AHO be present at the coordinated site meeting.

KMK Development has been working in the City of Newport Beach for 30 years. We pride ourselves in our craftsmanship and communication on difficult projects. Although this project has been a challenge, we would ask that the city grant an extension too our permit so we can provide our Client with the custom home they deserve without any further delay or hindrance.

Please confirm receipt of this letter and application upon its receipt to our office at the address/email listed below

To schedule the onsite meeting, please contact Don Bergeron at 949.322.5179



Thank you for your time and for your consideration to this extension request.

K.C. Shepherd Director of Operations KMK Development Incorporated 220 Newport Center Drive, Suite 11-350 Newport Beach, CA 92660 949.709.2902 O 949.709.2904 F

CC: Chad Shelton Matt Eschenburg ESQ. Don Bergeron

Attachments: Time limit extension application dated 03/30/2022 112 Kings Place existing project schedule dated 04/07/2021

CMK DEVELOPMENT INC.

May 3, 2022

To: Tonee Thai @ The City of Newport Beach Building Department

From: KMK Development (General Contractor/Michaela Del Signore (Owner)

Mr. Thai,

340 4

I approve of the request from KMK Development Incorporated (Don Bergeron) for the permit extension as detailed in his written letter to you dated March 30, 2022.

Tachada Maste 14/22 Michaela Del Signore

Date:

220 Newport Center Dr. #11-350 · Newport Beach, CA 92660 tel 949-709-2902 · fax 949-709-2904 · kmkdevelopment@cox.net 210