



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

December 11, 2025  
Agenda Item No. 2

**SUBJECT:** Brighton Road Investments LLC Residence (PA2025-0048)  
▪ Coastal Development Permit  
▪ Modification Permit

**SITE LOCATION:** 1530 Galaxy Drive

**APPLICANT:** Maisons the Art of Design

**OWNER:** Brighton Road Investments LLC

**PLANNER:** Oscar Orozco, Associate Planner  
949-644-3219, [oorozco@newportbeachca.gov](mailto:oorozco@newportbeachca.gov)

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1-6000)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached - (0.0 – 5.9 DU/AC)(RSD-A)
- **Coastal Zoning District:** Single-Unit Residential (R-1-6000)

### **PROJECT SUMMARY**

A request for a coastal development permit (CDP) to authorize the construction of a 1,243-square-foot addition to an existing 3,326-square-foot one-story single-unit dwelling and attached 748-square-foot three-car garage. The addition includes a 683-square-foot detached accessory dwelling unit (ADU), along with landscaping, hardscape, and drainage facilities.

A modification permit is also required to allow the reconstruction of the existing driveway leading to the three-car garage. The existing and proposed driveway is 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage under Subsection 20.40.090(A)(3)(c) (Driveway Width) of the Newport Beach Municipal Code. Aside from the driveway width, the project complies with all applicable development standards, and no other deviations are requested. All improvements authorized by this CDP will be located on private property.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small

Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and

- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit No. PA2025-0048 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is in the R-1-6000 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-unit dwelling. The neighborhood is predominantly developed with one- and two-story, single-unit dwellings. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.



Figure 1: Oblique Aerial Image of Neighborhood



- The proposed project conforms to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below (with the exception of the driveway width).

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front (Upper Newport Bay)	20 feet	31 feet 2 inches (addition) 24 feet 9 inches (existing to remain)
Sides (Primary Dwelling Unit)	6 feet	6 feet 5 feet 10 inches (existing to remain)
Rear (Galaxy Drive)	6 feet	6 feet
Side (ADU)	4 feet	4 feet 4 inches
Rear (ADU)	4 feet	10 feet 10 inches
<b>Bluff Setbacks (min.)</b>		
Development Area A	25 feet from the bluff edge	31 feet 2 inches from the bluff edge
Development Area B	10 feet from the bluff edge	No structures proposed
Development Area C	All portions of the lot not located in Area A or Area B	No structures proposed
<b>Height (Max.)</b>		
Primary Structure	24 feet (flat)/29 feet (sloped)	14 feet ¾ inch
ADU	16 feet	14 feet 7 inches
<b>Maximum Allowable Site Coverage</b>	60% (7,752 square feet)	56.4% (7,288 square feet)
<b>Parking (min.)</b>		
Primary Dwelling	2-car garage	3-car garage
ADU	1 space	3-car garage
<b>Driveway Width (Max.)</b>	25 feet (3-car garage)	29 feet 6 inches (3-car garage)

- The property is located within the Bluff Overlay District of the Local Coastal Program Implementation Plan, which establishes special development standards for identified bluff areas of the City. Pursuant to the Bluff Overlay Map B-9D (Upper Newport Bay Bluffs), the property is located on a bluff subject to marine erosion. Consistent with the Bluff Overlay standards, the existing principal dwelling and major accessory structures are located within Development Area A and setback, at a minimum, 25 feet from the bluff edge. The proposed ADU and additional floor area are located within Area A. Minor accessory structures are proposed within Development Area B and setback, at a minimum, 10 feet back from the bluff edge. No new accessory structures are proposed within Development Area C.

- There are existing encroachments (wrought iron fence, brick pavers, and concrete) into the State of California property to the east of the subject property. As conditioned, the project would be required to remove all existing encroachments that extend beyond the private property line into the State of California land.

#### Biological Resources

- As required by Newport Beach Municipal Code (NBMC) Section 21.30B.020 (Initial Site Resource Survey) an initial site resource survey, identifying the presence or potential for wetlands or sensitive habitat, vegetation or wildlife species on the site is required for coastal development permit applications on a development site that is located within 100 feet of an Environmental Study Area (ESA). The property is located adjacent to Study Area 4 (UNBMO/De Anza Bayside Marsh Peninsula) according to Map 4-1 (Environmental Study Areas) of the Newport Beach Coastal Land Use Plan. The applicant has provided a Biological Assessment Report for the property prepared by Hamilton Biological dated June 5, 2025. The report concludes that no listed or otherwise sensitive plant or wildlife species were observed during the field visit and no mitigation is required for the project. Therefore, no Environmentally Sensitive Habitat Area report is required pursuant to NBMC Section 21.30B.030 (C) (ESHA Report).

#### Hazards

- The property is located in an area known for the potential for seismic activity. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
- Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv) – (Development Standards. - Protective Structures), the property owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Waiver of Future Protection is included as a condition of approval that will need to be satisfied prior to the final building inspection.
- The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) – (Waterfront Development – Development Standards). The Acknowledgement of Coastal

Hazards is included as a condition of approval that will need to be satisfied prior to the issuance of building permits.

- The finished floor elevation for the existing single-unit residence is 90.18 feet (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard.

#### *Water Quality*

- Under NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a preliminary Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQMP has been prepared for the project by Advanced Civil Group dated August 12, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP before building permit issuance.
- The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.

#### *Public Access and Views*

- The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of additional floor area and a detached accessory dwelling unit to an existing single-family residence located on a standard R-1-6,000 lot. The ADU consists of one bedroom, is an allowed use within the R-1-6,000 Zoning District, is not expected to create a substantial demand on public access. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

- Vertical and lateral access to/along the bay and beach is available at North Star Beach approximately 1,700 feet south of the project site. The project does not include any features that would obstruct access along these routes.
- The project site is located approximately 1,100 feet north of Galaxy View Park, a designated public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and southeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 770 feet south of the Mariners Drive cul-de-sac viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the north and northeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 1,900 feet east of the Upper Newport Bay State Marine Conservation Area, a public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and north of Upper Newport Bay. The project site is within distant view sheds of the Big Canyon Park, Newport North, and Back Bay Drive as identified in Figure 2. The project will add floor area to an existing single-unit dwelling and a detached ADU. Furthermore, the project addition is a single-story with a maximum height of approximately 14 feet above the existing grade and the detached ADU has a maximum height of 14 feet 7 inches from existing grade. Additionally, the overall structure height is approximately 9 feet 5 inches lower than the allowable height for flat roofs in the R-1-6000 coastal zoning district. Therefore, the residence will be no more visible from Upper Newport Bay than the surrounding neighborhood and will not degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.





Figure 2: Coastal Viewpoints and Coastal View Roads within Vicinity of Project

#### Modification Permit

- The existing structure was built in the early 1960s and complied with development standards, including parking requirements and driveway widths, at the time of construction. Subsequent amendments to the standards have rendered the driveway width of the existing three-car garage nonconforming.
- NBMC Subsection 20.40.090(A)(3)(c) (Driveway Width) limits the width of driveways for three- car garages to a maximum of 25 feet. The existing single-unit dwelling includes an attached 748-square-foot three car garage with a driveway that measures 29 feet, 6 inches in width.
- The project includes the reconstruction of the existing driveway leading to the three-car garage. The existing three-car garage includes two garage doors (a two-car door

and a single car door), which would be shifted slightly to the south as part of the project to improve the design of the exterior of the building (by centering the doors with the exterior walls). Accordingly, the driveway would be shifted over slightly (1 foot 6 inches) to the south to provide for the redesign of the garage doors. The width of the driveway would remain the same at 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage. Plan sheet A1.1 of the project plans (Attachment ZA3) depicts the proposed driveway location.

- Reducing the driveway width that leads to the existing three-car garage would result in a driveway width that does not provide sufficient access to the existing garage. Strict application of the code would result in a 4-foot 6-inch reduction in the driveway width making it so that vehicles using the two outermost garage spaces (the side garage spaces) would need to drive over the sloped curb and landscaping to access the garage door openings, reducing maneuverability and access to the garage.
- Bringing the driveway into compliance with current Zoning Code requirements would provide a negligible benefit, but would unreasonably affect the accessibility of the required garage. Given the project is proposing to construct a detached ADU, an additional off-street parking space is required in addition to the two-car garage required for the existing single unit dwelling. The ADU parking space is being provided within the existing three-car garage as the existing driveway depth of approximately 7 feet is not adequate to park a vehicle. Therefore, the third parking space in the garage needs to be available for ADU parking, and the Applicant cannot reduce the number of spaces in the garage to provide a narrower driveway width.
- Title 21 (Local Coastal Program Implementation Plan) of the NBMC does not include standards related to driveway widths. Nonetheless, reducing the width of the driveway by 4 feet 6 inches to meet the Title 20 (Planning and Zoning) standard would not increase the number of on-street parking spaces available to the public and would not improve public access.

## **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The Class 3 exemption includes the demolition and construction of limited numbers of new, small structures, including one single-family residence and additions of up to 10,000 square feet to existing structures. The project consists of an interior remodel and addition of 1,243 square feet to an existing 3,326 square one-story single unit dwelling and attached 748-square-foot three-car garage. The addition includes a 643-square-foot detached ADU.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource

### **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Newport Beach Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

### **APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 20 (Planning and Zoning) and Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. In addition, final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Oscar Orozco, Associate Planner

LAW/oo

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

# **Attachment No. ZA 1**

Draft Resolution



## **RESOLUTION NO. ZA2025-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT AND MODIFICATION PERMIT TO ALLOW AN ADDITION TO AN EXISTING SINGLE UNIT DWELLING AND CONSTRUCTION OF A NEW ACCESSORY DWELLING UNIT LOCATED AT 1530 GALAXY DRIVE (PA2025-0048)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Maisons the Art of Design, concerning property located at 1530 Galaxy Drive, requesting approval of a coastal development permit and modification permit.
2. The lot at 1530 Galaxy Drive is legally described as Lot 63 of Tract 4224.
3. The applicant requests a coastal development permit (CDP) to authorize the construction of a 1,243-square-foot addition to an existing 3,326-square-foot one-story single-unit dwelling and attached 748-square-foot three-car garage. The addition includes a 683-square-foot detached accessory dwelling unit (ADU), along with landscaping, hardscape, and drainage facilities. A modification permit is also requested to allow the reconstruction of the existing driveway leading to the three-car garage. The existing and proposed driveway is 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage under Subsection 20.40.090(A)(3)(c) (Driveway Width) of the Newport Beach Municipal Code. Aside from the driveway width, the project complies with all applicable development standards, and no other deviations are requested. All improvements authorized by this CDP will be located on private property.
4. The subject property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1-6000) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single Unit Residential Detached - (0.0 – 5.9 DU/AC) (RSD-A) and it is located within the Single-Unit Residential (R-1-6000) Coastal Zone District.
6. A public hearing was held on December 11, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the demolition of up to three (3) single-family residences and additions of up to 10,000 square feet to existing structures. The project consists of a remodel and addition of 1,243 square feet to an existing 3,326-square-foot one-story single unit dwelling and attached 748-square-foot three-car garage. The addition includes a 643-square-foot detached ADU. Therefore, the project is consistent with this exemption.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

By Section 21.52.015(F) (Coastal Development Permits, Findings, and Decision) of the Newport Beach Municipal Code, the following findings, and facts in support of such findings are set forth:

#### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

#### Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. Site coverage is limited to 60% (7,752 square feet) of the 12,920-square-foot lot area. The proposed site coverage area is approximately 56.4% (7,288 square feet).
  - b. The proposed development provides the minimum required setbacks, which are 20 feet along the front property line adjacent to the bluff, 6 feet along each side property line (one portion of the existing dwelling provides 5 feet 10 inches), and 6 feet along the rear property line of Galaxy Drive. In addition, the detached ADU complies with the required setbacks, which are 4 feet along the side property line and 4 feet along the rear property line of Galaxy Drive.
  - c. The highest roof ridge is approximately 14 feet 7 inches from established grade (89.23 feet based on the North American Vertical Datum of 1988 [NAVD88]), significantly less than the 24-foot maximum height limit.

- d. The project includes garage parking for a total of three vehicles, complying with the minimum two-car garage parking requirement for single-family residences with less than 4,000 square feet of habitable floor area. In addition, the project includes a third car garage space to comply with the minimum requirement of one parking space for a detached ADU.
  - e. The property is located within the Bluff Overlay District of the Local Coastal Program Implementation Plan, which establishes special development standards for identified bluff areas of the City. Pursuant to the Bluff Overlay Map B-9D (Upper Newport Bay Bluffs), the property is located on a bluff subject to marine erosion. Consistent with the Bluff Overlay standards, the existing principal dwelling and major accessory structures are located within Development Area A and setback, at a minimum, 25 feet from the bluff edge. The proposed ADU and additional floor area are located within Area A. Minor accessory structures are proposed within Development Area B and setback, at a minimum, 10 feet back from the bluff edge. No new accessory structures are proposed within Development Area C.
  - f. There are existing encroachments (wrought iron fence, brick pavers, and concrete) that extend into the State of California property to the east of the subject property. As conditioned, the project would be required to remove all existing encroachments.
2. The neighborhood is predominantly developed with one-story and two-story, single-family residences. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
  3. The finished floor elevation of the first floor of the existing structure is 90.18 feet based on the North American Vertical Datum of 1988 (NAVD88), which complies with the minimum 9.0-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazard areas coupled with the 9.00-foot NAVD88 finish floor elevation will help to ensure the project is reasonably safe for the economic life of the structure.
  4. Under NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied before the final building permit inspection, respectively
  5. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). This requirement is included as a condition of approval that will need to be satisfied before the issuance of building permits, respectively.
  6. The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing

liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

7. Under NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a preliminary Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQMP has been prepared for the project by Advanced Civil Group dated August 12, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP before building permit issuance.
8. The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
9. Proposed landscaping complies with NBMC Section 21.30.075 (Landscaping). Condition of Approval Nos. 20 and 21 are included that require drought-tolerant species. Prior to the issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted and only temporary irrigation is installed within 10 feet of the bluff edge (Bluff Development Area C).
10. The project site is located approximately 1,100 feet north of Galaxy View Park, a designated public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and southeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 770 feet south of the Mariners Drive cul-de-sac viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the north and northeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 1,900 feet east of the Upper Newport Bay State Marine Conservation Area, a public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and north of Upper Newport Bay. The project site is within distant view sheds of the Big Canyon Park, Newporter North, and Back Bay Drive. The project will add floor area to an existing single-unit dwelling and a detached ADU. Furthermore, the project addition is a single-story with a maximum height of approximately 15 feet above the existing grade and the detached ADU has a maximum height of 14 feet 7 inches from existing grade. Additionally, the overall structure height is approximately 9 feet 5 inches lower than the allowable height for flat roofs in the R-1-6000 coastal zoning district. Therefore, the residence will be no more visible from Upper Newport Bay than the surrounding neighborhood and will not degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

Finding:



- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of additional floor area and a detached accessory dwelling unit to an existing single-family residence located on a standard R-1-6000 lot. The ADU consists of one bedroom, is an allowed use within the R-1-6000 Zoning District, is not expected to create a substantial demand on public access. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. Vertical and lateral access to/along the bay and beach is available at North Star Beach approximately 1,700 feet south of the project site. The project does not include any features that would obstruct access along these routes.

*Modification Permit*

In accordance with Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- C. The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. The existing development is a 3,326-square-foot, single-unit dwelling with an attached three-car garage. The neighborhood is comprised of one-story and two-story single-unit dwellings with driveways along the street. The modification permit will allow the reconstruction of the existing driveway leading to the three-car garage.
2. The addition would provide more living area for the residents by increasing the size of the dwelling unit by 560 square feet and constructing an ADU. The addition and ADU are one story and consistent with the design and height of other properties in the neighborhood. The proposed modification for the driveway would not impact the bulk or scale of the existing dwelling and proposed addition and ADU. Other properties within the vicinity of the project have existing nonconforming driveway widths, similar to the Property.

Finding:

- D. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. The existing structure was built in the early 1960s and complied with development standards, including parking requirements and driveway widths, at the time of construction. Subsequent amendments to the standards have rendered the driveway width of the existing three-car garage nonconforming.
2. The project includes the reconstruction of the existing driveway leading to the three-car garage. The existing three-car garage includes two garage doors (a two-car door and a single car door), which would be shifted slightly to the south as part of the project to improve the design of the exterior of the building (by centering the doors with the exterior walls). Accordingly, the driveway would be shifted over slightly (1 foot 6 inches) to the south to provide for the redesign of the garage doors. The width of the driveway would remain the same at 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage. Reducing the driveway width that leads to the existing three-car garage would result in a driveway width that does not provide sufficient access to the existing garage. Strict application of the code would result in a 4-foot 6-inch reduction in the driveway width making it so that vehicles using the two outermost garage spaces (the side garage spaces) would need to drive over the sloped curb and landscaping to access the garage door openings, reducing maneuverability and access to the garage.
3. Fact in support of Finding E is hereby incorporated by reference.

Finding:

- E. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Fact in Support of Finding:

The granting of the modification is necessary given that the existing and proposed driveway is 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage under Subsection 20.40.090(A)(3)(c) of the Newport Beach Municipal Code. Bringing the driveway into compliance with current Zoning Code requirements would provide a negligible benefit, but would unreasonably affect the accessibility of the required garage. Given the project is proposing to construct a detached ADU, an additional off-street parking space is required in addition to the two-car garage required for the existing single unit dwelling. The ADU parking space is being provided within the existing three-car garage as the existing driveway depth of approximately 7 feet is not adequate to park a vehicle. Therefore, the third parking space in the garage needs to be available for ADU parking, and the Applicant cannot reduce the number of spaces in the garage to provide a narrower driveway width.

Finding:

- F. *There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. Bringing the driveway into compliance with current Zoning Code requirements would provide a negligible benefit, but would unreasonably affect the accessibility of the required garage. Given the project is proposing to construct a detached ADU, an additional off-street parking space is required in addition to the two-car garage required for the existing single unit dwelling. The ADU parking space is being provided within the existing three-car garage as the existing driveway depth of approximately 7 feet is not adequate to park a vehicle. Therefore, the third parking space in the garage needs to be available for ADU parking, and the Applicant cannot reduce the number of spaces in the garage to provide a narrower driveway width.
2. The intent of the project is to provide for a new office, powder room, expanded family room, and detached ADU. A redesign to reduce the size of the driveway would significantly impact reasonable access to the garage. The garage is currently constructed with a clear width of 33 feet, where 28 feet 3 inches is required. An alternative would be to reduce the garage width and the associated driveway width to align with the NBMC minimum width for three-car garages. However, reducing the width of the garage would require complete reconstruction of exterior walls of the garage, where the project does not include the removal or replacement of garage walls (other than the doors). This alternative would increase the scope of the work and cost of the project. Reducing the size of the garage would also result in limited space for storage or minor mechanical equipment typically found in a garage, such as water heaters, reducing the functionality and practical use of the garage. Reducing the size of the garage doors would also create challenges for accessing the garage, especially with a short (7-foot deep) driveway. The alternatives analyzed would not provide similar benefits to the applicant nor reduce any potential impacts.
3. Reducing the size of the driveway to comply with the NBMC would not result in the creation of additional on-street spaces that could provide a benefit to the public.
4. Fact in support of Finding E is hereby incorporated by reference.

Finding:

- G. *The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. The proposed remodel and construction will comply with all applicable development standards, including height, setbacks, lot coverage and will provide adequate protection for light, air, and privacy (with the exception of driveway width). Maintaining the existing driveway width of 29 feet 6 inches would not affect nearby properties or residents and would not change the density on the site. The addition of floor area to the primary dwelling and the development of an ADU will not preclude access to the dwelling and will be consistent in scale with other dwellings in the neighborhood.
2. The approval of this modification permit is conditioned such that the Applicants are required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.
3. The Public Works Department City Engineer and City Traffic Engineer have reviewed the proposed design and determined that the requested 29-foot 6-inch-wide approach bottom is a minor dimensional variance pursuant to City Council Policy L-2 and are supportive of the modification request.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, and is not a hazardous waste site, and is not identified as a historical resource.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit and Modification Permit PA2025-0048, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 20 (Planning and Zoning) and Title 21 Local Coastal Program (LCP) Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.



**PASSED, APPROVED, AND ADOPTED THIS 11<sup>TH</sup> DAY OF DECEMBER, 2025.**

---

Benjamin M. Zdeba, AICP, Zoning Administrator

**EXHIBIT “A”****CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Prior the final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.
3. Prior the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the development. This letter shall be scanned into the plan set before building permit issuance.
4. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way.
5. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
6. This Coastal Development Permit does not authorize any new development bayward of the private property.
7. *Prior to the building permit final, the Applicant shall remove all existing, unpermitted encroachments outside the confines of the private property along the bluff edge, including, but not limited to, wrought iron fence, brick pavers, and concrete. Prior to the removal of these encroachments, all required permits and/or authorizations shall be obtained by all appropriate jurisdictions (e.g., Department of Fish and Wildlife, State of California, and/or other relevant agencies). Replanting with native vegetation along the*

*bluff edges shall be required unless alternative restoration is directed by an appropriate agency).*

8. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
  - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
9. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
10. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
11. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
12. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
13. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
14. The project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.

15. The applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
17. *Before the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
18. *Before the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.*
19. *Before issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
20. *Before the issuance of a building permit, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
21. *Before issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. The implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.*
22. *Before the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
23. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
24. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. through 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.

25. Before the issuance of the building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
26. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
27. This Coastal Development Permit and Modification Permit PA2025-0048 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 (Time Limits and Extensions) and Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
28. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Brighton Road Investments LLC Residence** including but not limited to, **Coastal Development Permit and Modification Permit (PA2025-0048)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

#### Fire Prevention Division

29. The Project shall provide a residential fire sprinkler system in compliance with 2022 NFPA 13D.

#### Building Division

30. Exterior walls of dwellings, guesthouses, garages, carports and/or accessory structures closer than 5 ft. (3 ft. if sprinklered) to the property line and the imaginary property line between buildings shall be 1-hour fire-resistance-rated construction.
31. Where the exterior walls of non-sprinklered group R-3/U occupancies are located between 3 feet and 5 feet from the property line and the imaginary property line between buildings, the total area of protected and unprotected openings (including vents) is limited to 25% of the wall area on each floor (not including garage wall). Provide area calculations on exterior elevations (Table R302.1(1) and (2)).

Public Works Department

32. The Project shall remove the existing hardscape within the Galaxy Drive right-of-way and install sod or other drought tolerant landscaping.
33. The Project shall install a minimum 36-inch box street tree within the Galaxy Drive right-of-way. Tree species shall be consistent with City Council Policy G-6.
34. The new driveway shall be constructed per City Standard 162 with the exception of a 29.5-foot-wide driveway approach bottom. The City Engineer and City Traffic Engineer has reviewed the proposed design and determined that the requested 29.5-foot-wide approach bottom is a minor dimensional variance pursuant to City Council Policy L-2. 5.
35. A new sewer cleanout shall be installed on the existing sewer lateral per City Standard 406. The new sewer clean out shall be located within the public right of way in the sidewalk area.
36. Relocate the existing gas meter to private property.
37. Reconstruct all damaged or broken concrete sidewalk, curb, and gutter along Galaxy Drive project frontage per City Standards.

## **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



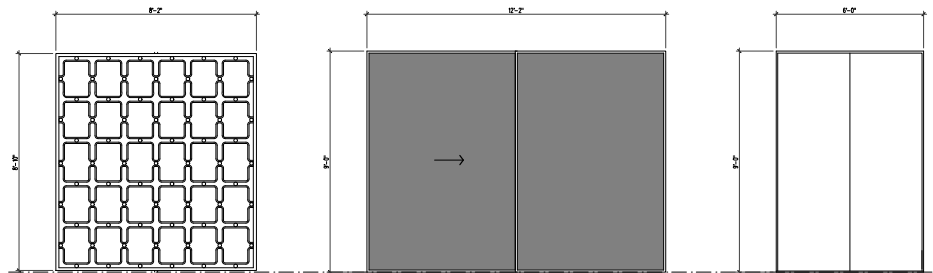
Coastal Development Permit No. PA2025-0048  
**1530 Galaxy Drive**



# **Attachment No. ZA 3**

Project Plans

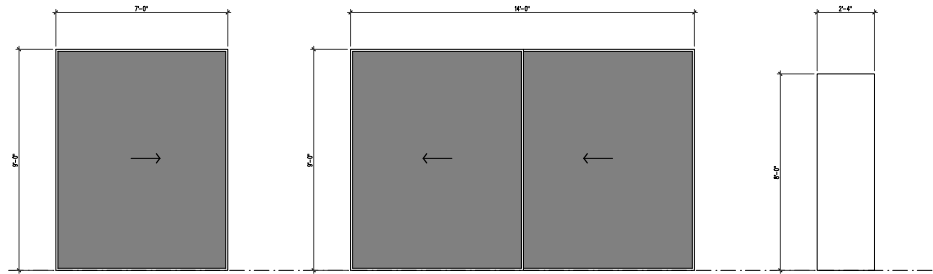




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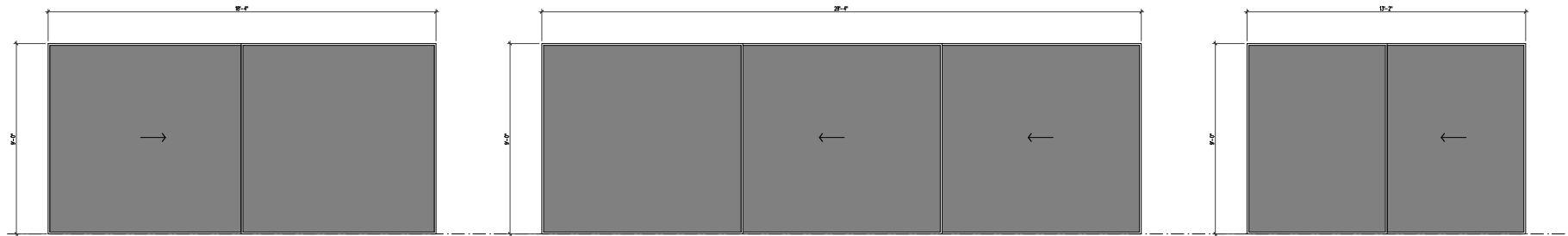
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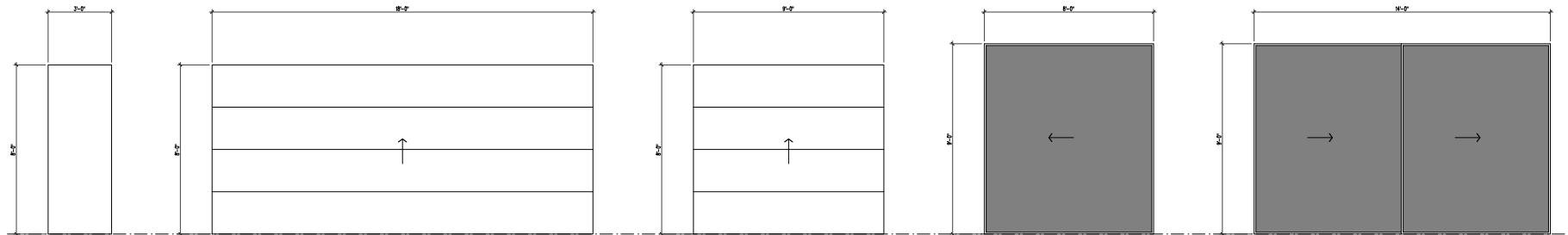
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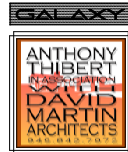
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# Door Type Elevations

SCALE 1/2" = 1'-0"

1

Door Schedule													
Door No.	Room Name	Room No.	Type	Width	Height	Thickness	Swings	Description	Finish	Weather Stripping	Hardware	Details	Remarks
Exterior Doors													
101	Living Entry	101	A	8'-0"	8'-0"	1 1/2"		CUSTOM WOOD POCKET GATE	PART	NO	NO		WOOD - REFER TO ARCHITECT'S DETAILS AND SHOP DRAWINGS PRIOR TO FABRICATION
102	Office	118	B	12'-0"	8'-0"	1 1/2"		USE TEMPERED GLASS IN DOOR UNITS					
103	Living Room	102	C	8'-0"	8'-0"	1 1/2"		PAIR OF WOODEN ENTRY DOORS	PART	YES	NO		WOOD
104	Kitchen	103	D	7'-0"	8'-0"	1 1/2"		CORNER LOCK POCKET DOOR UNIT					ALUM
105	Mechanical Unit Closet	107	F	2'-4"	8'-0"	1 1/2"		CORNER LOCK POCKET DOOR UNIT					ALUM
106	Laundry Room	106	G	8'-0"	8'-0"	1 1/2"		SINGLE WOODEN DOOR - VENTED	PART				WOOD
107	Living Room	102	H	28'-0"	8'-0"	1 1/2"		USE TEMPERED GLASS IN DOOR UNITS					ALUM
108	Main Bathroom	109	I	13'-0"	8'-0"	1 1/2"		USE TEMPERED GLASS IN DOOR UNITS					ALUM
109	3 Car Garage	122	K	3'-0"	8'-0"	1 1/2"		SINGLE WOODEN DOOR	PART				WOOD
110	3 Car Garage	122	L	18'-0"	8'-0"	1 1/2"		SECTIONAL OVERHEAD GARAGE DOOR					WOOD
111	3 Car Garage	122	M	9'-0"	8'-0"	1 1/2"		SECTIONAL OVERHEAD GARAGE DOOR					WOOD
112	ADU Bedroom	103	N	8'-0"	8'-0"	1 1/2"		CORNER LOCK POCKET DOOR UNIT					ALUM
113	ADU Bedroom	103	P	14'-0"	8'-0"	1 1/2"		CORNER LOCK POCKET DOOR UNIT					ALUM
114	Food Storage	107	A	8'-0"	8'-0"	1 1/2"		SINGLE WOODEN DOOR - VENTED	PART				WOOD
Interior Doors													
115	ADU - Bathroom	104	M	2'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
116	ADU - Water Closet	105	M	2'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
117	Dry Sauna	106	M	2'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
118	Entry Foyer	101	M	2'-0"	8'-0"	1 1/2"		SOLID CORE POCKET DOOR - WOODEN TRIM	STAIN				WOOD
119	Main Bedroom	109	P	3'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
120	Main Bathroom	109	I	3'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
121	Main Bathroom W.C. 1	111	B	2'-4"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
122	Main Bathroom W.C. 2	112	K	2'-4"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
123	Powder Room	115	B	2'-4"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
124	Bedroom 1	116	P	3'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
125	Bedroom 2	117	S	2'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
126	Office	118	A	2'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
127	Laundry Room	119	P	3'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
128	3 Car Garage	122	L	3'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - 1 INCH RATED FIRE DOOR	STAIN				WOOD
129	Bedroom 3	120	P	3'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD
130	Food Storage	121	S	2'-0"	8'-0"	1 1/2"		SOLID CORE DOOR - PER INTERIOR DRAWINGS	STAIN				WOOD



Declaration of Copyright  
ANTHONY THIBERT & ASSOCIATES  
I, ANTHONY THIBERT, ARCHITECT, HEREBY  
CERTIFY THAT THE CONTENTS OF THESE  
DRAWINGS ARE MY OWN WORK AND NOT  
THE WORK OF ANY OTHER PERSON OR  
FIRM. I AM NOT PROVIDING ANY  
WARRANTY OR GUARANTEE FOR THE  
USE OF THESE DRAWINGS IN ANY  
MANNER WITHOUT MY WRITTEN CONSENT.



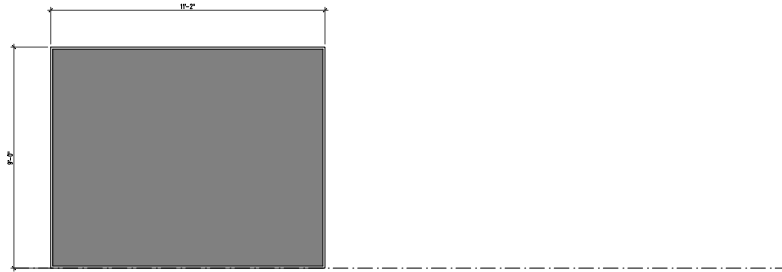
Galaxy Residence  
1580 Galaxy Drive  
Newport Beach, California  
92660  
Brighton Road Investments LLC

Revisions
1
2
3
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5

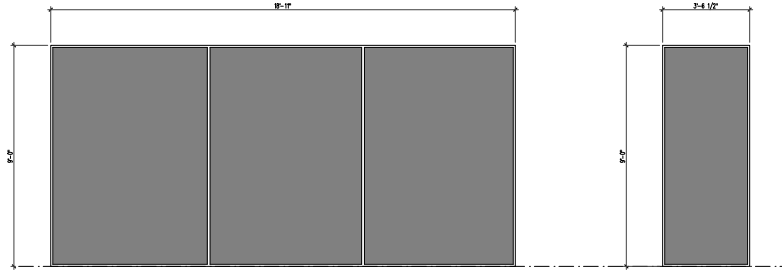
Sheet Title  
Door  
Schedule

Sheet  
Sch 1  
Plot Date: 10/5/2025



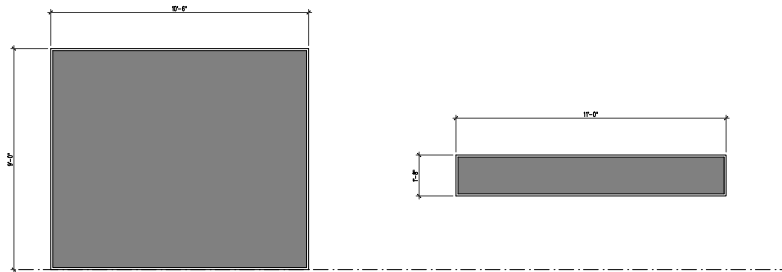
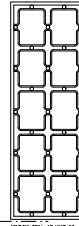


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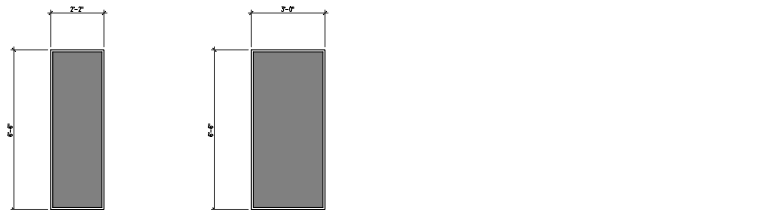
BB

CC



DD

EE



HH

JJ

Window Schedule																						
Symbol	Room Name	Type	Room Number	Window Size		Sizing Unit	Color	Description	Ext. Fin.	Int. Fin.	Screen	Frame Material	Sashes Material	Sashes Type	Divided	Hardware Material	Hardware Color	Details				Remarks
				Width	Height													1/2"	3/4"	1"	1 1/4"	
Windows																						
1	Office	AW	008	15'-2"	8'-2"			SINGLE PANE				ALUM	SS									
2	Main Arcade	BB	104	15'-11"	8'-2"			3 UNIT SYSTEM														
3	Powder Room	CC	105	3'-4 1/2"	8'-2"			SINGLE PANE														
4	Powder Room	CC	105	3'-4 1/2"	8'-2"			SINGLE PANE														
5	Main Arcade	DD	104	15'-0"	8'-2"			3 UNIT SYSTEM														
6	Living Room	DD	102	15'-0"	8'-2"			SINGLE PANE														
7	Living Room	DD	102	15'-0"	8'-2"			SINGLE PANE														
8	Galley	EE	105	11'-0"	2'-4"			SINGLE PANE														
9	Family Room	FF	104	15'-0"	8'-2"			SINGLE PANE														
10	Main Bathroom	GG	110	12'-0"	8'-2"			SINGLE UNIT SYSTEM												TEMPERED GLASS REQUIRED IN SHOWER LOCATION		
11	Water Closet 1	HH	111	2'-2"	6'-4"			SINGLE CASHERY UNIT														
12	Main Closet	HH	113	2'-2"	6'-4"			SINGLE CASHERY UNIT														
13	Bedroom 2	JJ	116	2'-2"	6'-4"			SINGLE CASHERY UNIT												CASHERY MEETS EXCESS REQUIREMENTS		
14	Bedroom 2	JJ	116	2'-2"	6'-4"			SINGLE CASHERY UNIT												CASHERY MEETS EXCESS REQUIREMENTS		
15	Bedroom 3	JJ	120	2'-2"	6'-4"			SINGLE CASHERY UNIT												CASHERY MEETS EXCESS REQUIREMENTS		
16	Bedroom 3	JJ	120	2'-2"	6'-4"			SINGLE CASHERY UNIT												CASHERY MEETS EXCESS REQUIREMENTS		
17	ADU Bedroom W.C.	HH	125	2'-2"	6'-4"			SINGLE CASHERY UNIT														

Door and Window Notes:

The Load Resistance of Glass under uniform load shall be determined in accordance with ASTM E 1300.

Each pane of safety glazing installed in hazardous locations shall be identified (acid etches, sand blasted, ceramic fired, etc) by the glazing manufacturer or installer and the safety glazing standard which it complies. Multi pane assemblies shall be identified per CRC R308.1.

Glazing in swinging, sliding, and bifold doors 9 square feet or less shall be a minimum category classification of I (CPSC 16 CFR 1200 and II (CPSC 16 CFR 1200 when more than 9 square feet or sliding.

Glazing over 9 square feet in area with a bottom edge less than 18" above the floor and exposed top edge greater than 36" above the floor shall be safety glazed per CRC R308.4.3.

\*\* Fenestrations must have temporary and permanent labels \*\*

Window Type Elevations

SCALE: 1/4" = 1'-0"



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Galaxy Residence  
1530 Galaxy Drive  
newport beach, california  
OWNERS  
Brighton Road Investments LLC

Revisions	
1	Δ
2	Δ
3	Δ
4	Δ

Sheet Title  
Window Schedule

Sheet  
Sch 2  
Plot Date: 10/5/2025







Applicable Standards: 2022 California Residential Code (CRC); 2022 California Building Code (CBC); 2022 California Plumbing Code (CPC); 2022 California Electrical Code (CEC); 2022 California Mechanical Code (CMC); 2022 Building Energy Efficiency Standards (BEES); 2022 California Green Building Standards (Cal Green); & Chapter 15 of the Newport Beach Municipal Code (NBMC)

[illegible]

10. Pedestrian protection adjacent to public way to be as follows:

CIBC TABLE 333-1 PROTECTION OF PILES/TRANS		
HEIGHT OF CONSTRUCTION	DETACHMENT FROM CONSTRUCTION TO LET LINE	TYPE OF PROTECTION REQUIRED
5 stories or less	Let's find out 3 ft or more	Detachment only
	Let's find out	Detachment and cover
More than 5 feet	A minimum of 3 ft or more from the center of the pile to the center of the pile	Detachment and cover
	A minimum of 3 ft or more from the center of the pile to the center of the pile	Detachment
	A minimum of 3 ft or more from the center of the pile to the center of the pile	None

- [illegible]

10. (and operated construction tools powered by electricity must be power provided by Southern California Edison through a temporary pole or available a.c. In the rare case where electricity is not readily available and a portable temporary generator is necessary, then the following restrictions must be adhered to:

- a. Must be portable and may be easily relocated.
- b. Temporary generators are to be located a minimum distance from any property line according to the following table:

Time in Use Hours	Required Setback from Property Line	Required Setback from Adjacent Structures
0 - 1 day	10 feet	5 feet
> 1 day	20 feet	5 feet

- [illegible]

23. Rooms containing bathtubs, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 50 CFM ducted to terminate outside the building. (CBC R203.3, Cal Green 4.508.1, CBC 1202.5.2.1, CMCA 402.5)

- |     |  |
|-----|--|
| 24. | Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms will have an exhaust fan with humidity controls. Where, only 90 CFM capacity. (CMC 934.2.1) |
| 25. | Where, only 90 CFM capacity, will be in bathroom areas, the fan must run continuously and not be located in the bathroom. (CMC 934.2.1)  |
| 26. | The ceiling drywall shall extend 14" in crawl space with maximum two 90 degree elbows. (CMC 934.4.2.1)   |
| 27. | Enforcements on decks shall terminate min. 2' from property line or openings into balcony and 9' from a forced air vent. (CMC 902.2.1)   |
| 28. | Required equipment shall be installed per the manufacturer's installation instructions (CMC 903.1)   |
| 29. | Domestic range vents to be smooth exterior, either surface. (CMC 934.3)  |
| 30. | Supply and return air ducts to be insulated at a minimum of R-8. (201 Energy Code Table 1001-6).   |

31. Separate water meters are required for all new duplexes. Separate fire risers are required at each water meter.

- [illegible]

46. Electrical service shall be underground for new construction, replacement building, or addition to an existing building exceeds 8% (80) percent of the gross floor area of the

- [illegible]

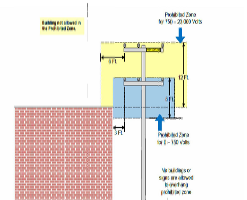
- 83 Kitchen counter tops 12 inches or wider must have a receptacle (ULC 210.52(C)(1)).
- 84 Kitchen counter tops must have receptacles outlets spaced apart along the counter walls more than 24 inches from a receptacle. (ULC 210.52(C)(1)).
- 85 Light and laminaire fixture must have at least one receptacle (ULC 210.52(C)(7)).
- 86 The spacing for general receptacle outlets must be spaced up to 30 ft on any wall, face, ceiling, or island, a over 6 feet from a receptacle outlet. (ULC 210.52(C)(2)).
- 87 Hangers 10 feet or more must have at least one receptacle (ULC 210.52(C)(7)).
- 88 Garages that have at least two receptacles for each car space or the interior. The branch circuit supplying the receptacles shall not serve outlets out of the garage. (ULC 210.52(C)(3)).
- 89 Laundry rooms must have at least one dedicated 20 amp receptacle circuit. (ULC 210.52(C)(12)).
- 90 Provide 120V receptacle with 2 feet of minor heater (CNA Energy Dept. 150 p.10 c.1 A.).

71. Weep screen or plastic at the foundation plate line shall be a minimum of 4 inches above the earth or 2 inches above paved areas. (IRC R703.7.2.1, (IBC 25.2.1.2)

73. Anchor bolts shall include steel plate washers, a minimum of 0.220" x 3" x 3" in size, between all plate and nut. (CRC R02.11.1, CBC 23C8.3, Applicable alternate SDP/S 4.3.6.4.3)

74. Southern California Edison (SCE) overhead power line retrofit, General Order 95 Table 1.

Feature/Characteristic	Consumer Markets (Open to All, Cash or Credit, 30-90 Day Credit Service Period, 95-99% Cash)	Business-to-Business and Supply Chains 7-10%, 30-90 Days
Small credit exposures and low credit risk due to: - Small, diversified trading base - Because credit limits are set at a relatively small - Credit is "cash" or "letter of credit" or "cash in advance"	4 Stars	12 Stars
Small credit risk due to: - Small, diversified trading base - Because credit limits are set at a relatively small - Credit is "cash" or "letter of credit" or "cash in advance"	8 Stars	8 Stars
Financial statements of individual are not kept - Detailed financial statements are not required - If required, in support of a major sale where - Such credit is a violation	2 Stars	6 Stars



**Galaxy Residence**  
1530 Galaxy Drive  
newport beach, california  
**OWNER**  
Brighton Road Investments LLC

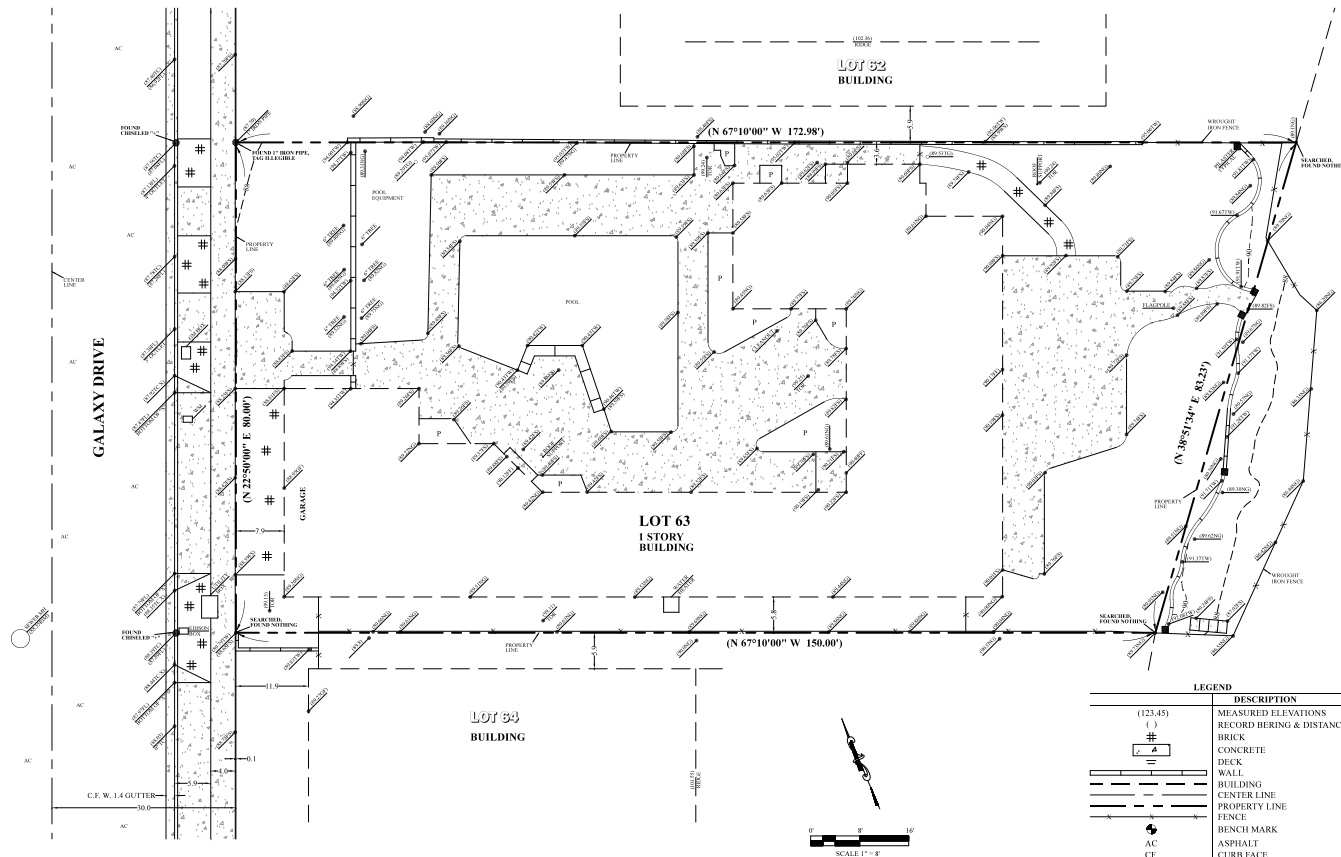
### Revisions

Sheet Title  
Construction  
Minimum  
Requirements

Sheet  
**BS.1**  
Plot Date: 10/9/2025

Plot Date: 10/9/2025





#### SURVEY NOTES

1. ALL MEASUREMENTS SHOWN HEREON ARE TO EXISTING EXTERIOR FINISHED SURFACE.
2. THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.
3. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

LEGEND	DESCRIPTION
(123.45)	MEASURED ELEVATIONS
( )	RECORD BEARING & DISTANCE
#	BRICK
□	CONCRETE
▬	DECK
▬	WALL
▬	BUILDING
▬	CENTER LINE
▬	PROPERTY LINE
▬	FENCE
+	BENCH MARK
AC	ASPHALT
CF	CURB FACE
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
MH	MAN HOLE
NG	NATURAL GRADE
P	PLANTER
TC	TOP OF CURB
TW	TOP OF WALL
TG	TOP OF GRATE
TOR	TOP OF ROOF
WM	WATER METER



#### VICINITY MAP

NOT TO SCALE

#### ADDRESS OF PROJECT

1530 GALAXY DRIVE  
NEWPORT BEACH, CA

#### OWNER

ROB GIEM

#### LEGAL DESCRIPTION

LOT 63 OF TRACT NO. 4224

APN 117-663-10

#### BENCH MARK

BENCH MARK # NB6-15-71  
DATUM: NAVD83  
ELEVATION: 96.175

#### TOPOGRAPHIC SURVEY

JOB: 97-50

DATE: 9/23/2024



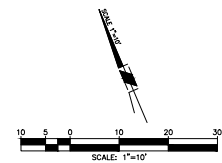
#### RDM SURVEYING INC.

RON MIEDEMA, S. 4653  
23016 LAKE FOREST DRIVE #409  
LAGUNA HILLS, CA 92653  
(949) 858-2924 OFFICE  
(949) 422-1869 CELL  
RDMSURVEYING@COX.NET





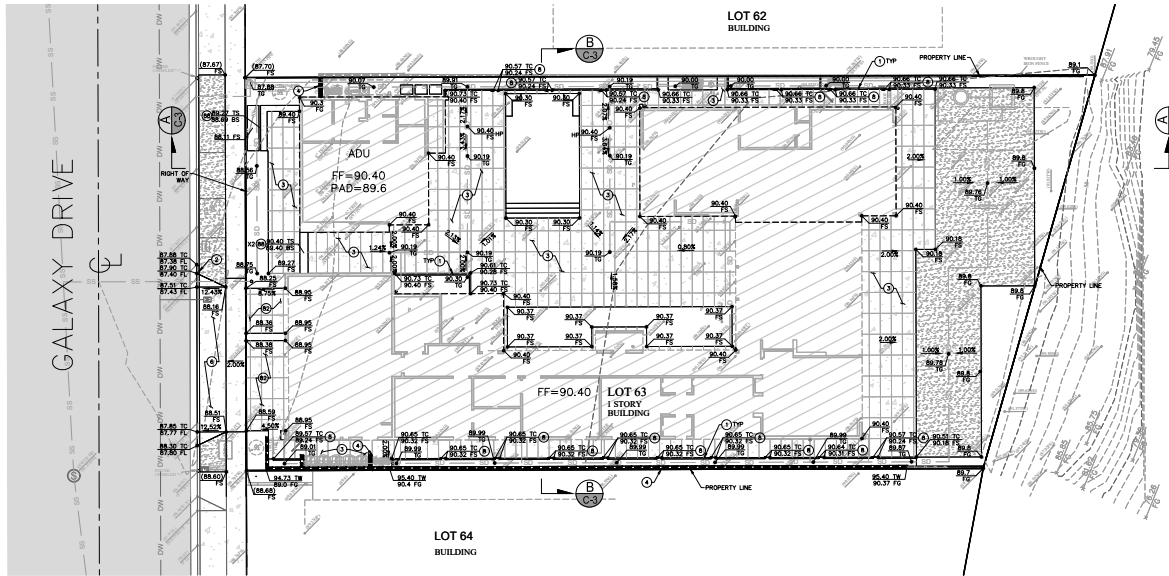




- 1 PROTECT IN PLACE EXISTING BUILDING
- 2 PROTECT IN PLACE EXISTING CONCRETE
- 3 ADJUST TO GRADE EXISTING WATER METER
- 4 PROTECT IN PLACE EXISTING ELECTRIC METER
- 5 PROTECT IN PLACE EXISTING UTILITY VAULT
- 6 PROTECT IN PLACE EXISTING CURB CORNER
- 7 PROTECT IN PLACE EXISTING WALL
- 8 PROTECT IN PLACE EXISTING FLAG POLE
- 9 PROTECT IN PLACE EXISTING WROUGHT IRON FENCE
- 10 PROTECT IN PLACE EXISTING SENIOR LATERAL
- 11 PROTECT IN PLACE EXISTING SENIOR CLEAN OUT
- 12 PROTECT IN PLACE EXISTING WATER LATERAL

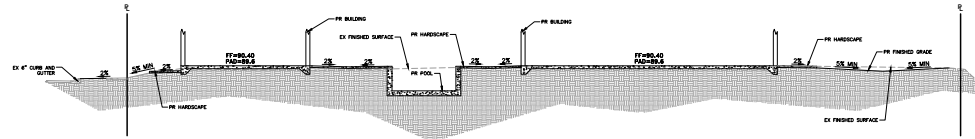
1	REMOVE EXISTING BUILDING
2	REMOVE EXISTING CONCRETE
3	REMOVE EXISTING BRICK PAVERS
4	REMOVE EXISTING WALL
5	REMOVE EXISTING CAST WROUGHT IRON FENCE
6	REMOVE EXISTING STORM DRAIN INLET
7	REMOVE EXISTING WOOD FENCE
8	REMOVE EXISTING GATE
9	REMOVE EXISTING POOL





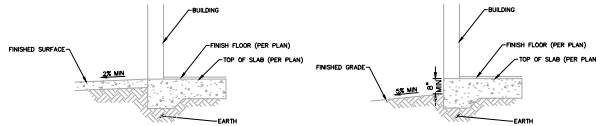
# **PRECISE GRADING CONSTRUCTION NOTES:**

- ① CONSTRUCT 4" OF PCC CURB ONLY TYPE A1-6 PER APCA STD PLAN 120-2
- ② CONSTRUCT 4" OF PCC CURB & OUTER TYP "X" PER CITY STD. DWG. NO. 182
- ③ CONSTRUCT 4" THICK PCC HARDSCAPE PER SOILS REPORT
- ④ CONSTRUCT CMU WALL PER SEPARATE PLAN
- ⑤ CONSTRUCT OFFSITE PCC SIDEWALK PER CITY STD. DWG. NO. 180
- ⑥ CONSTRUCT PCC RESIDENTIAL DRIVEWAY APPROACH (TYPE 1) PER CITY STD. DWG. NO. 182
- ⑦ CONSTRUCT STAIR PER LANDSCAPE PLAN
- ⑧ CONSTRUCT 1" WIDE CURB CUT



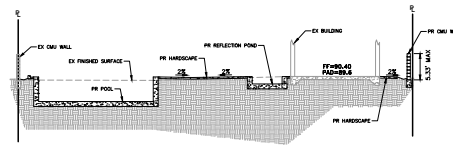
**SECTION A-A**

SCALE: 1"=10'



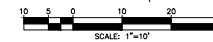
**TYPICAL BUILDING DRAINAGE AT HARDSCAPE**  
N.T.S.

**TYPICAL BUILDING DRAINAGE AT LANDSCAPING**  
N.T.S.



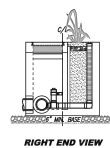
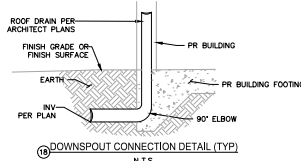
**SECTION B-B**

SCALE: 1"=10'

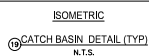


1530 GALAXY DRIVE		PREPARED FOR:		PREPARED BY:		REVISIONS		SCALE: VERIFICATION	
PRECISE COASTING PLAN		BENTON ROAD		ADVANCED GROUP INC.		NO.		1/16" = 1'-0"	
1530 GALAXY DRIVE		LOT 63 OF TRACT NOS. 4524, 4917-4610-10		110000002		DESCRIPTIONS		DATE	
10180002		CHUCK		10/18/2025		DATE		BY	
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**MWS-L-4-4-V**  
**STORMWATER BIOFILTRATION SYSTEM**  
**STANDARD DETAIL**



GRADING RECOMMENDATIONS FROM GEOTECH:

RECOMMENDATIONS

THE DESIGN RECOMMENDATIONS IN THIS REPORT SHOULD BE RE-EVALUATED DURING THE GRADING PHASE WHEN THE SOIL CONDITIONS IN THE EXCAVATIONS BECOME EXPOSED. WE CONSIDER THAT THE ANTICIPATED GRADING WILL NOT ADVERSELY AFFECT, NOR BE AFFECTED BY, ADJACENT PROPERTY, WITH DUE PRECAUTIONS TAKEN. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS HEREIN, THE STANDARD GRADING GUIDELINES IN APPENDIX E, AND THE GRADING CODE FOR THE CITY OF NEWPORT BEACH.

STABILIZATION ALTERNATIVES

OUR EVALUATION INCLUDED THE CONSIDERATION OF MULTIPLE ALTERNATIVES TO PROVIDE SUFFICIENT STABILITY FOR THE SUBJECTED PROPERTY. THE PRIMARY OPTIONS CONSIDERED WERE:

1. FOUNDATION UNDERPINNING

LATERAL STABILITY CAISSONS MAY BE CONSTRUCTED TO UNDERPIN THE EXISTING FOUNDATIONS ALONG THE SITE BOUNDARY. THIS ALTERNATIVE PROVIDES STABILITY TO THE EXISTING RESIDENCE. RECOMMENDATIONS AND DESIGN CRITERIA FOR STRUCTURAL CAISSON ELEMENTS ARE PRESENTED IN THE FOLLOWING TEXT.

2. PROPOSED LATERAL STABILITY CAISSONS ALONG PROPERTY LINE

CONSTRUCT LATERAL STABILITY CAISSONS CONNECTED BY A GRADE BEAM ALONG THE AT THE EDGE OF PROPERTY BOUNDARY NEAR THE TOP OF THE BLUFF. THIS ALTERNATIVE WAS DETERMINED TO BE THE PREFERRED ALTERNATIVE, CONSIDERING SITE TOPOGRAPHY AND SITE ACCESS. WE BELIEVE THIS OPTION NOT ONLY ENSURES STABILITY FOR THE EXISTING RESIDENCE BUT ALSO PROVIDES ADEQUATE STABILITY WITHIN THE PROPERTY LIMITS.

3. SOIL ANCHORS

OTHER STRUCTURAL MEANS TO STABILIZE THE PROPERTY INCLUDING THE IMPLEMENTATION OF TIEBACK ANCHORS WERE CONSIDERED. BASED ON OUR FINDINGS, TIEBACKS IN THE AREA, TIEBACK ANCHORS ARE TYPICALLY INCORPORATED IN COMBINATION WITH SHEAR WALLS OR ON GRADE. BASED ON OUR GEOTECH ANALYSIS, TIEBACK ANCHORS ARE NOT CONSIDERED NECESSARY AT THIS TIME. RECOMMENDATIONS AND DESIGN CRITERIA FOR THE SHEAR PIN CAISSONS ARE PRESENTED IN THE FOLLOWING TEXT.

CONSTRUCTION SEQUENCING

CONSTRUCTION SHOULD BE INITIATED WITH THE REMOVAL OF UNSUITABLE MATERIALS INCLUDING THE EXCAVATION AND REMOVAL OF EXISTING IMPROVEMENTS IN AREAS TO ALLOW FOR CONSTRUCTION EQUIPMENT TO ACCESS. STABILIZATION SHOULD START WITH THE DRILLING AND CONSTRUCTION OF CAISSON SHEAR PROXIMITY. THE CAISSONS ARE INSTALLED AND THE SITE IS STABLE, STANDARD CONSTRUCTION CAN BE IMPLEMENTED.

GRADING AND EARTHWORK

1. CLEARING AND GRUBBING

THE SITE SHOULD BE CLEARED OF EXISTING VEGETATION, ORGANIC MATTER, DEBRIS, AND ANY BURIED DEBRIS. CLEARING AND GRUBBING SHOULD EXTEND TO THE OUTSIDE OF ALL PROPOSED EXCAVATION AND FILL AREAS. CLEARING AND GRUBBING SHOULD BE EXTENDED TO LOCAL AREAS BEYOND THE LIMITS OF PLANNED GRADING TO ACCOMMODATE THE REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIALS WITH COMPACTED FILL.

UNDERGROUND GEOSPLORE REPAIRS OR STORAGE TANKS IF ENCOUNTERED, SHOULD BE COMPLETELY REMOVED. REMOVAL OF UNDERGROUND TANKS IS SUBJECT TO STATE LAW AND REGULATIONS OF COUNTY OF CITY HEALTH AND/FOR FIRE DEPARTMENT AGENCIES. IF STORAGE TANKS CONTAINING HAZARDOUS OR UNKNOWN SUBSTANCES ARE ENCOUNTERED, THE PROPER AUTHORITIES MUST BE NOTICED PRIOR TO ANY ATTEMPTS AT REMOVING SUCH OBJECTS. ONCE REMOVED, DEPRESSIONS RESULTING FROM THE REMOVAL OF BURIED OBJECTS SHOULD BE BACKFILLED WITH PROPERLY COMPACTED MATERIAL.

2. REMOVAL OF EXISTING IMPROVEMENTS AND UNSTABLE MATERIALS

ALL DELETERIOUS MATERIALS, INCLUDING DEVOLUTION DEBRIS AND CONCRETE RUBBLE, ORGANIC MATERIALS, AND TRASH, SHOULD BE REMOVED AND DISPOSED OF OFFSITE. WHERE EXPOSED SUBGRADE IS DEEMED UNSUITABLE FOR SUPPORT OF PROPOSED STRUCTURAL, FILL MATERIALS AND/OR IMPROVEMENTS, OVER-EXCAVATION OF THE UNSUITABLE MATERIALS WILL BE REQUIRED. FILL WILL BE REPAID FILL AND LANDSCAPE MATERIALS ARE CONSIDERED UNSUITABLE FOR SUPPORT. NEW IMPROVEMENTS, PREVIOUSLY PLACED FILL SHOULD BE OVER-EXCAVATED AS DESCRIBED ABOVE. LANDSCAPE DEBRIS SHOULD BE REMOVED IN ITS ENTIRETY IF OR WHERE SUPPORTING NEW IMPROVEMENTS.

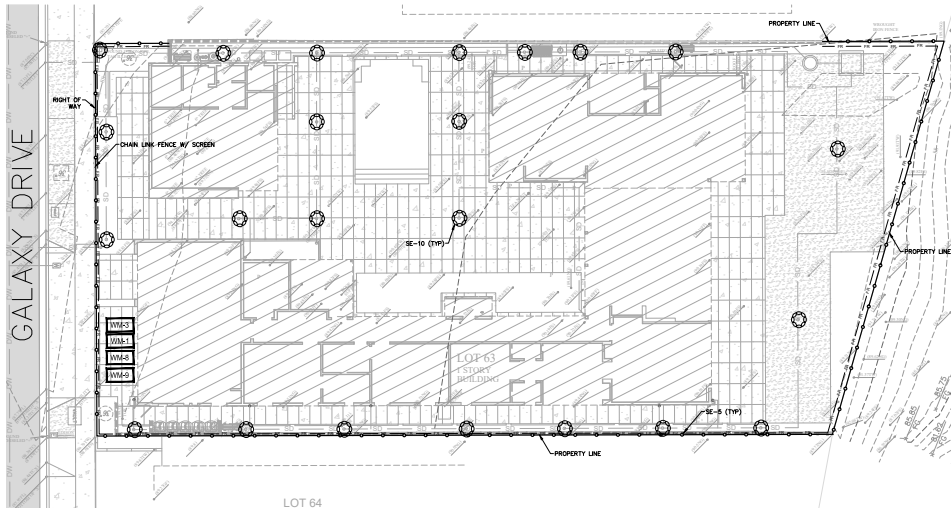
UNSTABLE MATERIALS SHOULD BE REMOVED TO EXPOSE A COMPETENT BOTTOM PENDING REVIEW OF OUR FIELD GEOLOGIST. THE OVER-EXCAVATION SHOULD EXTEND Laterally AN EQUIVALENT HORIZONTAL DISTANCE MATCHING THE DEPTH OF EXCAVATION.

MATERIALS THAT ARE CONSIDERED UNSUITABLE SHOULD BE EXCAVATED AND REMOVED UNDER CONTINUOUS OBSERVATION BY THE RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. REMOVAL DEPTHS WILL VARY, AND THE FINAL DETERMINATION OF THE REMOVAL DEPTHS SHOULD BE MADE BASED ON OBSERVATIONS DURING GRADING BY THE SOIL ENGINEER AND/OR ENGINEERING GEOLOGIST. UNSUITABLE MATERIALS THAT WILL REQUIRE OVER-EXCAVATION ARE DISCUSSED BELOW.

ALL CONCRETE IMPROVEMENTS LOCATED WITHIN THE STABILIZATION AREA SHOULD BE STRUCTURALLY SUPPORTED WITH PILE FOUNDATIONS AND/OR SOIL ANCHORS.

7. UTILITY TRENCH BACKFILL

UTILITY TRENCH BACKFILL, CONSISTING OF THE ON-SITE MATERIAL TYPES SHOULD BE PLACED BY MECHANICAL COMPACTION TO A MINIMUM OF 80 PERCENT OF THE LABORATORY MAXIMUM DENSITY. TRENCH BACKFILL SHOULD BE PLACED IN ACCORDANCE WITH APPENDIX F.



GALAXY DRIVE

LOT 64

WAS-1  
WAS-2  
WAS-3  
WAS-4

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
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PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

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SE-8 (TYP)

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PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

PROPERTY LINE  
PROPERTY LINE

CHAIN LINE FENCE W/ SCREEN

SE-10 (TYP)  
SE-8 (TYP)

LOT 63  
STREET  
RIGHT OF WAY

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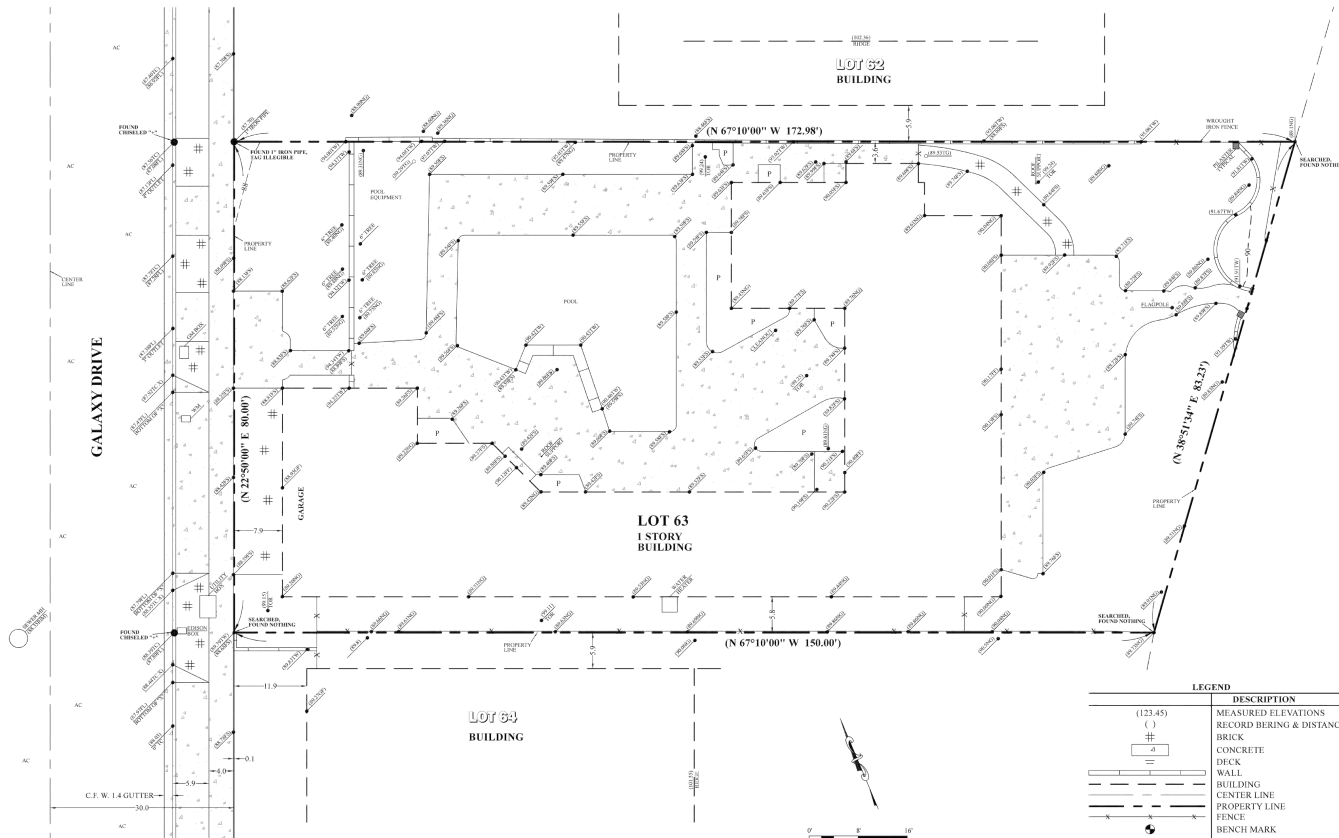
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#### SURVEY NOTES

1. ALL MEASUREMENTS SHOWN HEREON ARE TO EXISTING EXTERIOR FINISHED SURFACE.
2. THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.
3. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



LEGEND	DESCRIPTION
(123.45)	MEASURED ELEVATIONS
( )	RECORD BERING & DISTANCE
#	BRICK
+	CONCRETE
□	DECK
—	WALL
—	BUILDING
—	CENTER LINE
—	PROPERTY LINE
—	FENCE
+	BENCH MARK
AC	ASPHALT
CF	CURB FACE
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
MI	MAN HOLE
NG	NATURAL GRADE
P	PLANTER
TC	TOP OF CURB
TW	TOP OF WALL
TG	TOP OF GRATE
TOR	TOP OF ROOF
WM	WATER METER



#### VICINITY MAP

NOT TO SCALE

#### ADDRESS OF PROJECT

1530 GALAXY DRIVE  
NEWPORT BEACH, CA

#### OWNER

ROB GIEM

#### LEGAL DESCRIPTION

LOT 63 OF TRACT NO. 4224

APN 117-663-10

#### BENCH MARK

BENCH MARK # NB6-15-71  
DATUM: NAVD83  
ELEVATION: 96.175

#### TOPOGRAPHIC SURVEY

JOB: 97-50

DATE: 9/23/2024



**RDM**  
**SURVEYING INC.**  
RON MIEDEMA L.S. 4653  
23016 LAKE FOREST DRIVE #409  
LAGUNA HILLS, CA 92653  
(949) 858-2924 OFFICE  
(949) 422-1869 CELL  
RDMSURVEYING@COX.NET



SV-1

Furnish and install complete pre-packaged duplex Lift Station model #PSI-ADV081125 as manufactured by Pacific Southwest Industries (national phone # 800-358-9095)

This pre-packaged Lift Station shall incorporate a quick removal system manufactured by the pump manufacturer. The pump(s) shall be guided to the discharge base below by a single or double guide rail and shall be stainless steel and shall extend from the discharge base below to the upper guide bracket mounted on 1-5/8" x 1-3/8" channel strut just below the basin cover. Stainless steel lifting chain or cable shall be supplied and properly installed to remove the pump from the wet well. The internal discharge piping shall be completely pre-plumbed with pressure rating schedule 40 or 80 PVC pipe as indicated and extend 12" beyond the wet well and valve vault side wall for contractor connection to the force main piping. The pump(s) discharge piping shall have a check and ball valve installed on each pump discharge. The Lift Station shall include control panel and level control floats. The control panel shall be suitable for surface mounting or free standing on a leg if the site conditions require it.

**PUMP(S):**

Furnish and install Tsurumi, VANC® series submersible pumps. Each unit shall be designed to pump waste water, sewage or effluent containing 1.5-inch (40mm) diameter solids without damage during operation. The pump(s) shall be designed so that the shaft power required (BHP) / (kW) shall not exceed the motor rated output throughout the entire operating range of the pump performance curve. A two-year warranty "out of the box" shall be standard.

#### MATERIALS OF CONSTRUCTION:

Construction of major parts of the pumping unit(s) including pump casing, impeller, motor head cover and intermediate brackets shall be manufactured from recyclable, application appropriate resins. The need for a protective coating shall not be required. All exposed fasteners shall be stainless steel and shall have stainless metal anchors integrally cast into the mating part. All units shall be furnished with a NPT discharge companion flange. Impellers shall be of the multi-vane, semi-vortex, solids handling design and shall be slip fit to the shaft. The motor shaft shall be machined to provide a positive drive of the impeller. The pump casing shall incorporate an air relief valve.

### MECHANICAL SEAL

All units shall be furnished with a dual inside mechanical shaft seal located completely out of the pumpage, running in a separate oil filled chamber. Units shall be fitted with a device that shall provide positive lubrication of top mechanical seal, (down to one third of the standard oil level). The device shall not consume any additional electrical power. Units shall have silicon carbide mechanical seal faces. Mechanical seal hardware shall be stainless steel.

**MOTOR:**

Motor(s) shall have a 1.15 service factor and shall be rated for 6 starts per hour. Motor(s) shall be air filled, copper wound, class E insulated with built-in thermal protection. Motor shaft shall be 403 stainless steel and shall be supported by two permanently lubricated, high temperature ball bearings, with a B-10 life rating at best efficiency point of 60,000 hours. The bearings shall be single row, double shielded, C3, deep groove type ball bearings. Bearing seats shall be rolled carbon steel or aluminum die casting. Motor housing shall be 304 stainless steel. Motors shall be suitable variable speed applications, utilizing a properly sized variable frequency drive.

## POWER CABLE AND CABLE ENTRANCE

The pump power cable shall be suitable for submersible pump applications. The cable entrance shall incorporate built in strain relief, a one-piece, three-way mechanical compression seal with a fatigue reducing cable boot. The cable entrance assembly shall contain an anti-wicking block to eliminate water incursion into the motor due to Capillary wicking should the power cable be accidentally damaged.

**QUICK REMOVAL SYSTEM:**

The pumping unit(s) shall be equipped with disk removal system (DRS). The construction shall be such that the pump(s) will automatically connect to the discharge piping when lowering into place on the discharge connector. There shall be no need for personnel to enter the well to accomplish installation or removal of the pump(s). The pumping unit(s) shall be fitted with stainless steel (lifting chain(s) of sufficient length and strength to permit the raising and lowering of the unit(s). The chain(s) shall be fastened at the top of the structure near the access opening. The need for a protective coating shall not be required. A sliding guide bracket shall be an integral part of the pumping unit and the pump casing shall have a downward connection with a bracket to connect with the discharge connector. Sealing of the pumping unit to the discharge connector shall be accomplished by a single linear clockwise motion of the pump with the entire weight of the pumping unit guided by a pawl, thereby wedging the pumping unit into the discharge connector. No portion of the pump shall bear directly on the floor of the gauge nose. The rotary motion of the pump be required for sealing. All fasteners coming into contact with the pumpcase shall be stainless steel. Two corrosion resistant guide pins shall be furnished and installed for each pump to permit raising and lowering of the pump.

FIBERGLASS WET WELL:

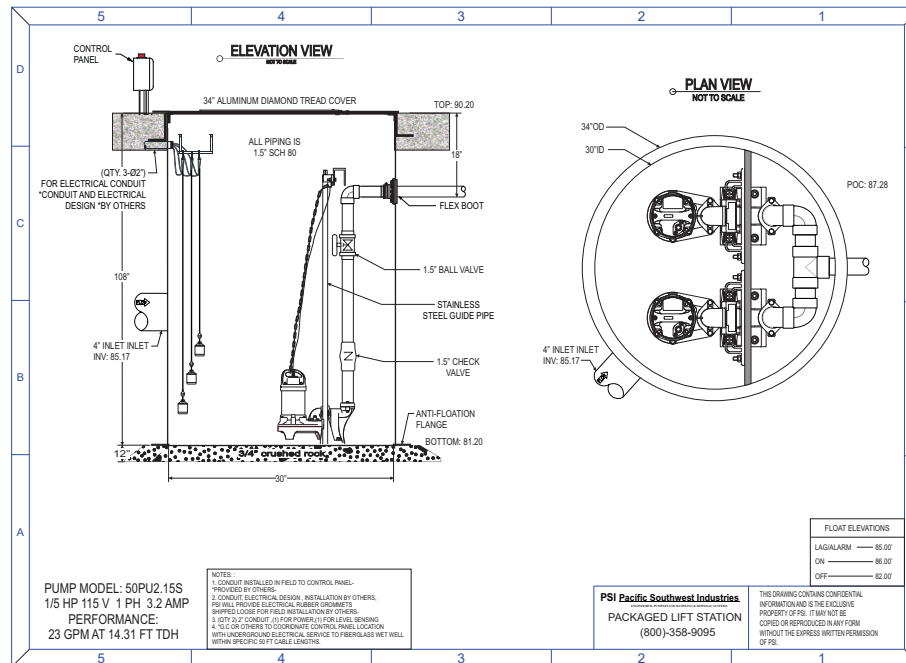
The fiberglass wet well shall have anti-floatactions shall have the proper diameter and depth below the lowest inlet to promote proper cycling while maintaining the rim at grade. The fiberglass wet well shall be manufactured using a process that is filament wound and chopped spray. The wet well shall be constructed with a resin formulation that meets or exceeds the following minimum specifications:  
• Resin must contain sufficient glass fibers to provide structural integrity.  
• Resin must be formulated to cure under ambient conditions.  
• Resin must meet or exceed the following mechanical properties:  
- Tensile strength: Minimum 80,000 psi  
- Compressive strength: Minimum 100,000 psi  
- Modulus of elasticity: Minimum 1,000,000 psi  
The resins manufacturers minimum specified hardness for cured resin on both the interior and exterior surfaces. The minimum wall thickness of the wet well shall not be less than 1¼". Stainless steel studs will be encapsulated in the bottom of the wet well to allow the mounting of the quick removal system. The top rim flange will be a minimum of 2' wide to allow for the installation of the pedestrian rated aluminum cover to the rim flange or shall be rimless if the cover is specified for H2O off street locations. The wet well shall include a stainless steel access door located in the field to insure proper elevation of the inlet, vent, electrical on the side of the wet well. The wet well shall house 2 - swing check valves, and 2 - shut-off valves.

COVER(s):

The wet well cover shall always be gasketed and bolted to the rim flange of the fiber glass tank using 7/16" stainless steel hex head bolts unless the cover is to be in a H2O off street location. The type of material to be used for the cover shall be as indicated on this plan sheet.

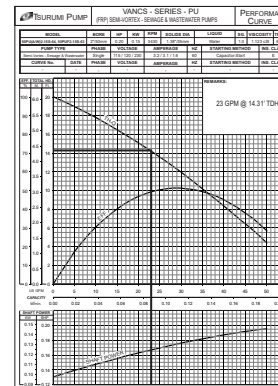
DUPLEX ALTERNATING CONTROL PANEL

The duplex control panel, as a minimum, shall include the appropriate enclosure type for the environment it is to be installed in and should include the following: Motor starters, motor circuit protectors or variable frequency drives (VFD), pump run indicator(s), operation selector switch(es), high water alarm and light, silence switch, dry contact for alarm, numbered terminals for all incoming power, pump motor(s) and level controls. The control panel shall be UL listed 508 or 913.



LIFT STATION PROFILE & CALCULATIONS					
1.5" SCH 40 x 1.63 SCH 80 = 1.5"					
1.5" PVC/PIR	(QTY)	250	x	1 FT	150 FT
1.5" PVC 90 ELBOW	(QTY)	1	x	4 FT	8 FT
1.5" PVC 45 BEND	(QTY)	0	x	2.2 FT	0 FT
1.5" PVC TEE	(QTY)	1	x	10.8 FT	10.8 FT
1.5" BALL VALVE	(QTY)	1	x	1.1 FT	1.1 FT
1.5" CHECK VALVE	(QTY)	1	x	11 FT	11 FT
TOTAL EQUIVALENT LENGTH					180.9 FT
FRICTION LOSS PER 100 FT 1.5" PVC		23 GPM	4.5 FT	PER 100 FT	
FRICTION LOSS 1.5"		180.9	x	4.5 FT	8.23 FT
TOTAL DYNAMIC HEAD		8.23 FT			
TOTAL STATIC HEAD		6.08 FT			
PERFORMANCE	23 GPM @ -34.31	FT THRU THROUGHS 1.5" PVC/UL			

HAZEN-WILLIAMS EQUATION/HEAD LOSS IN WATER PIPE	
$(f) = 0.2083 (100 / c)^{1.852} q^{1.852} / d^{4.8655}$	
c =	150 HDPE / PVC
q =	23 GPM
dh =	1.5" SCH 80 = 1.5
FRICION LOSS PER 100 FT f =	4.55
Velocity (ft/s) =	4.1R



# STORM PUMP SYSTEM

NOTE: VERIFY ALL ELEVATIONS PRIOR TO FABRICATION. OTHERS TO VERIFY ALL INLET/OUTLET ORIENTATIONS PRIOR TO FABRICATION AND INSTALLATION.

**PSI Pacific Southwest Industries**  
ENGINEERED - PUMPS/FILLING & DISPOSAL SYSTEMS  
91541 COLLIER AVE., LAKE ELSINORE, CA 92530 PH: 602-355-0095

<div style="border: 1px solid black; padding: 5px; text-align: center;"> <b>LSD-1</b> </div>	LIFT STATION DETAILS GALAXY DRIVE, NEWPORT BEACH, CA			No.	Date	Description
	Date	08/11/25	Scale: NTS			
	Drawn by	EM	Sheet No.			

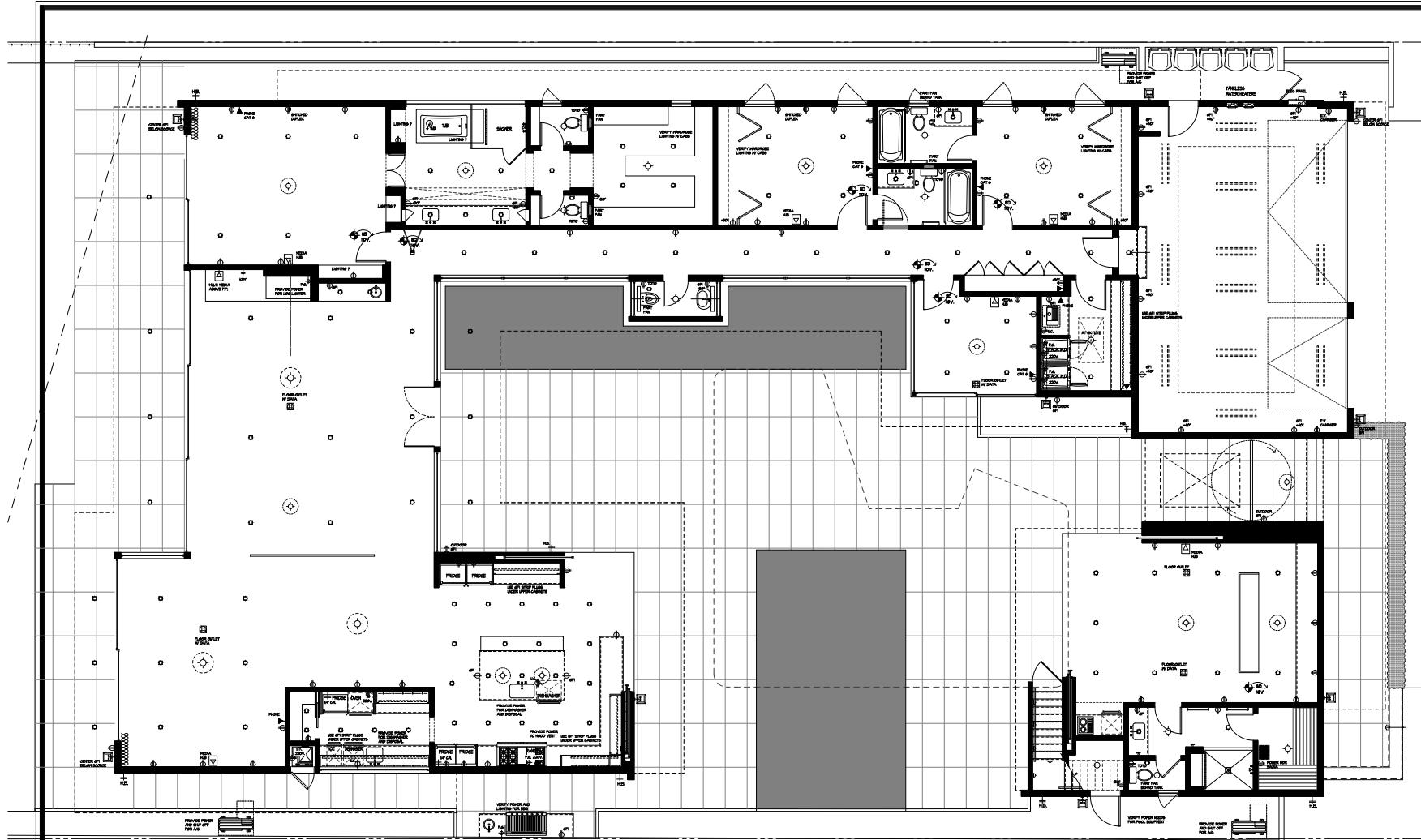






- ## Floor Plan Keynotes





## Main Level Electrical Plan

SCALE: 1/4" = 1'-0"

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- 1** **WATERPROOF**
- 2** **ARMED DOOR OPENER - DOOR BRACE BY**  
**DOOR REGULATE FOR NIGHT DOOR - SPECIFIED BY OWNER**
- 3** **HIGH EFFICIENCY NEEDS INDOORCLIMATE LIGHT SPECIFIED BY**  
**DESIGNER**
- 4** **HIGH EFFICIENCY NEEDS SHOWER LIGHT SPECIFIED BY**  
**DESIGNER**
- 5** **TYPICAL HIGH EFFICIENCY CONDUITS - 1/2" NOD VOLTAGE WIRE - MODEL-N OF APPROVED EQUAL**
- 6** **FLOOR OUTLET - 40-PIPS-DO FROM MANY PRODUCTS - TOLL FREE 800-360-7861**
- 7** **DOOR SELECTOR AND WIRE TO LIGHT WITH BATTERY BACK UP AND ALWAYS TO BE INTERCONNECTED**  
**TO 2-1/2" VOLTAGE WIRE WITH 1/2" VOLTAGE ALARM**
- 8** **HIGH EFFICIENCY TUBE LIGHT (2) LIGHTS PER FOOT 40" LONG SPECIFIED BY DESIGNER**
- 9** **EXTRA FAN OUTLET - FAN TO BE SELECTED BY OWNER**
- 10** **MULTI WIRE HUB OUTLET TO INCLUDE POWER SOURCE - FAN TO REQUIREMENTS**
- 11** **SPRINKLER AND - SHOW AS REQUIRED - FAN TO SPRINKLER COMPATIBILITY DRAWINGS**
- 12** **WIRE ROUTE MUST BE - PERMANENT SUPPORT CABLE TV, BUNDLE ALUM WIRE WITH 50 OHM CAPACITY**  
**AND STAND IN 12 INCHES - NOTES TO REFLECTS TO REQUIREMENTS - TWO LOCATED IN UPPER STAIR HALL**
- 13** **WIRE LOCATED OUTSIDE CONDUIT, POWER, POWER/PHONE, TWO TELEPHONE, TWO LOCATED IN UPPER STAIR HALL**  
**WITH PROTECTED CONDUIT CONDUIT - PLUG AND WIRE OUTLET THERE LOCATED IN PLUG AREA**

1. POWER POLE FOR THE MAIN SYSTEM AND A SEPARATED POWER POLE.
2. TREAT WITH PROTECTANT COATING THE GRADE AS REQUIRED FOR WEARLY TRAFFIC, WEARLY TRAFFIC, WEARLY TRAFFIC AND WEARLY TRAFFIC.
3. LAYING REINFORCEMENT TO BE MAINTAINED WITH 10% MINIMUM BUCK UP TO TOPICAL AS REQUIRED.
4. ALL SHARPE DOWNS TO BE WEDGED WITH A SWEETEN EYE FOR HOLES AND BARRIERS.
5. PROVIDE SUFFICIENT STRENGTH TO CARRY THE TRUCKS AND BARRIERS AS SET FORTH IN THE U.S.C.C.
6. PROVIDE LSSA LSSA LSSA LSSA AS DIRECTED BY THE OWNERS.
7. WEAR WITH WEAR IN POWER POLE FOR WEARING SYSTEM.
8. PROVIDE ELECTRICAL AND STRENGTH AND STRENGTH FOR OTHER FEATURES.
9. LAYING UNIFORM TO BE ON THE GROUND TO BE IN THE GRADE.
10. WEAR HEAVY OF WALL MOUNTED HIGH ENERGY SCOPES FORTH TO PULLING WAYS TO BOLD.
11. WEAR WITH WELD FILLS INTO THE GROUND TO BE TO BE SPECIFIED BY OWNERS.
12. PROVIDE PROTECTANT COATING TO BE MAINTAINED WITH 10% MINIMUM BUCK UP TO TOPICAL AS REQUIRED.
13. PROVIDE INTERIOR WITH WEAR LAYERS THROUGHOUT THROUGHOUT ON FIRST AND SECOND FLOOR FLOOR - SYSTEM TO BE SPECIFIED BY OWNER WITH RECOMMENDATIONS MADE BY CONTRACTOR.
14. PROVIDE SECURITY SYSTEM FOR OWNERS REQUIREMENTS AND PROFESSIONAL, INSPECTOR.
15. PROVIDE POWER POLE FOR OWNERS REQUIREMENTS.
16. PROVIDE GRADE FILL REINFORCEMENT IN WEARLY OF WATER SOURCES AT SINK, WEARLY TRAFFIC, WEARLY TRAFFIC, WEARLY TRAFFIC AND WEARLY TRAFFIC.
17. ALL ELECTRICAL DOWNS TO BE IN BARGE WARDINGS AND MAINTAINED THROUGHOUT THE - TOPICAL.
18. FOR OWNERS REQUIREMENTS MAINTAINED THROUGHOUT THROUGHOUT, QUALITY AS TO BE MAINTAINED THROUGHOUT THROUGHOUT, WEARLY TRAFFIC, WEARLY TRAFFIC, WEARLY TRAFFIC AND WEARLY TRAFFIC.
19. WEAR WITH WEAR FILLS INTO THE GROUND TO BE TO BE SPECIFIED BY OWNERS.
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City Electrical Notes:

- [illegible]

## Recessed Light Types

- A** DED SERIES MODULAR DOWNLIGHT SYSTEM
- B** RAJA 22 DOWNLIGHT BY LEYTON
- C** KETRA 22 DOWNLIGHT WITH 2 HIGH TRIM - SQUARE IN COFFERED CEILING

**GALAXY**

**ANTHONY  
THIBERT**  
IN ASSOCIATION  
WITH  
**DAVID  
MARTIN**  
**ARCHITECTS**  
045 045 7075

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WITHOUT SAID WRITTEN CONSENT



**Galaxy Residence**  
1530 Galaxy Drive  
newport beach, ca 92660  
**OWNERS**  
Brighton Road Investments LLC

## Revisions

- 

Sheet Title  
Main Level  
Electrical  
Plan

Sheet  
**A2.4**  
Plot Date: 10/9/2025

**GALAXY**

## Electrical Legend

## Electrical General Notes

## Mech Notes



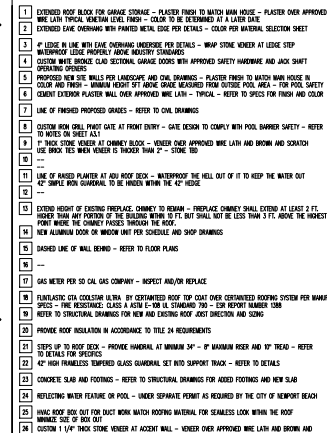


██████ HATCHING IN WALLS DENOTES WALLS TO REMAIN.  
WINDOWS AND DOOR OPENING NOT HATCHED FOR CLARITY

SCALE: 1/4" = 1'-0" (1)







SCALE: 1/4" = 1'-0" (E)

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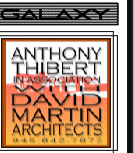
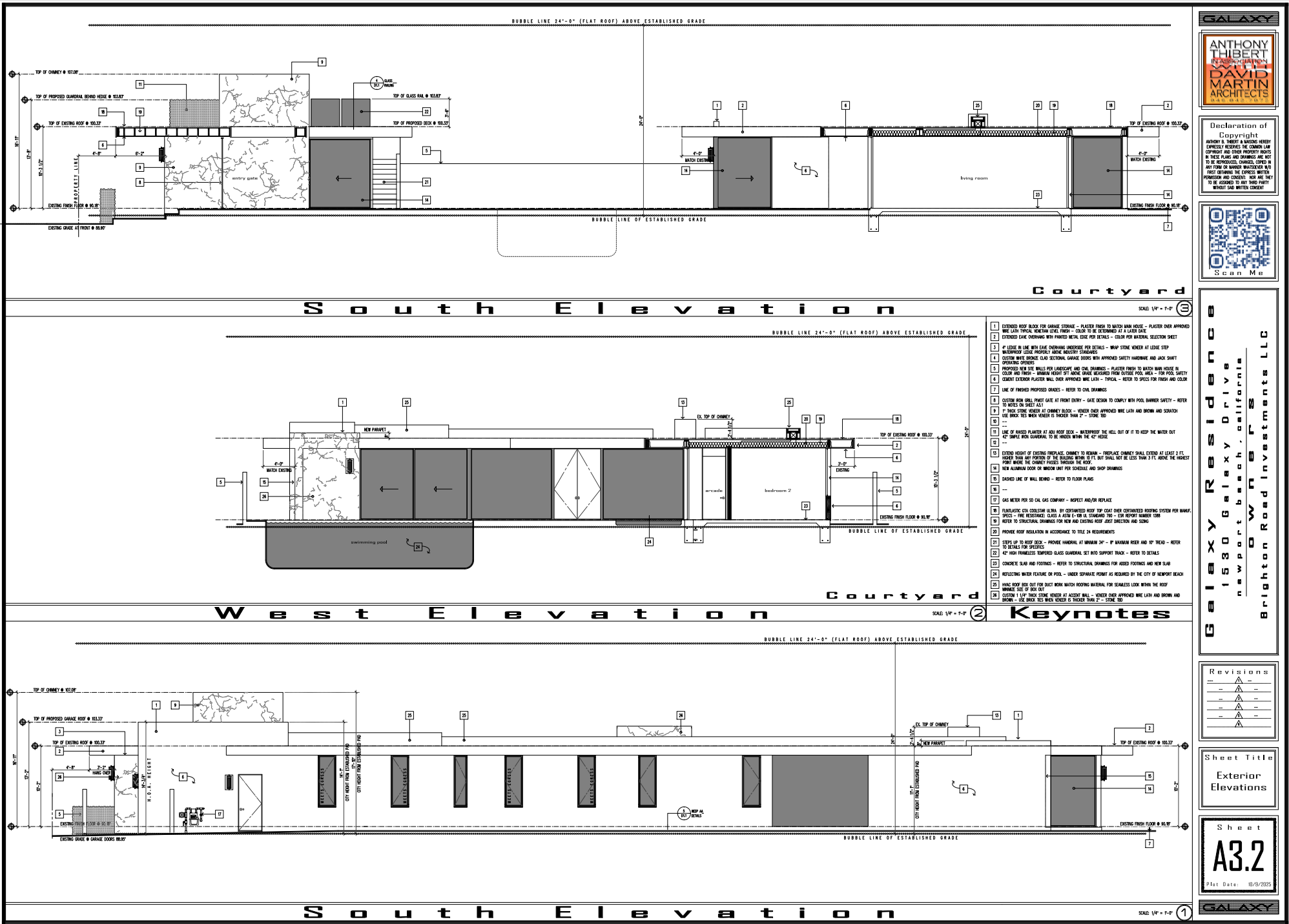
## SCALE: 1/4" = 1'-0"



## SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

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**Galaxy Residence**  
 1530 Galaxy Drive  
 Newport Beach, California  
 92660  
 Galaxy  
 Brighton Road Investments LLC

Revisions

Sheet Title  
 Exterior Elevations

Sheet  
**A3.2**  
 Plot Date: 10/5/2025



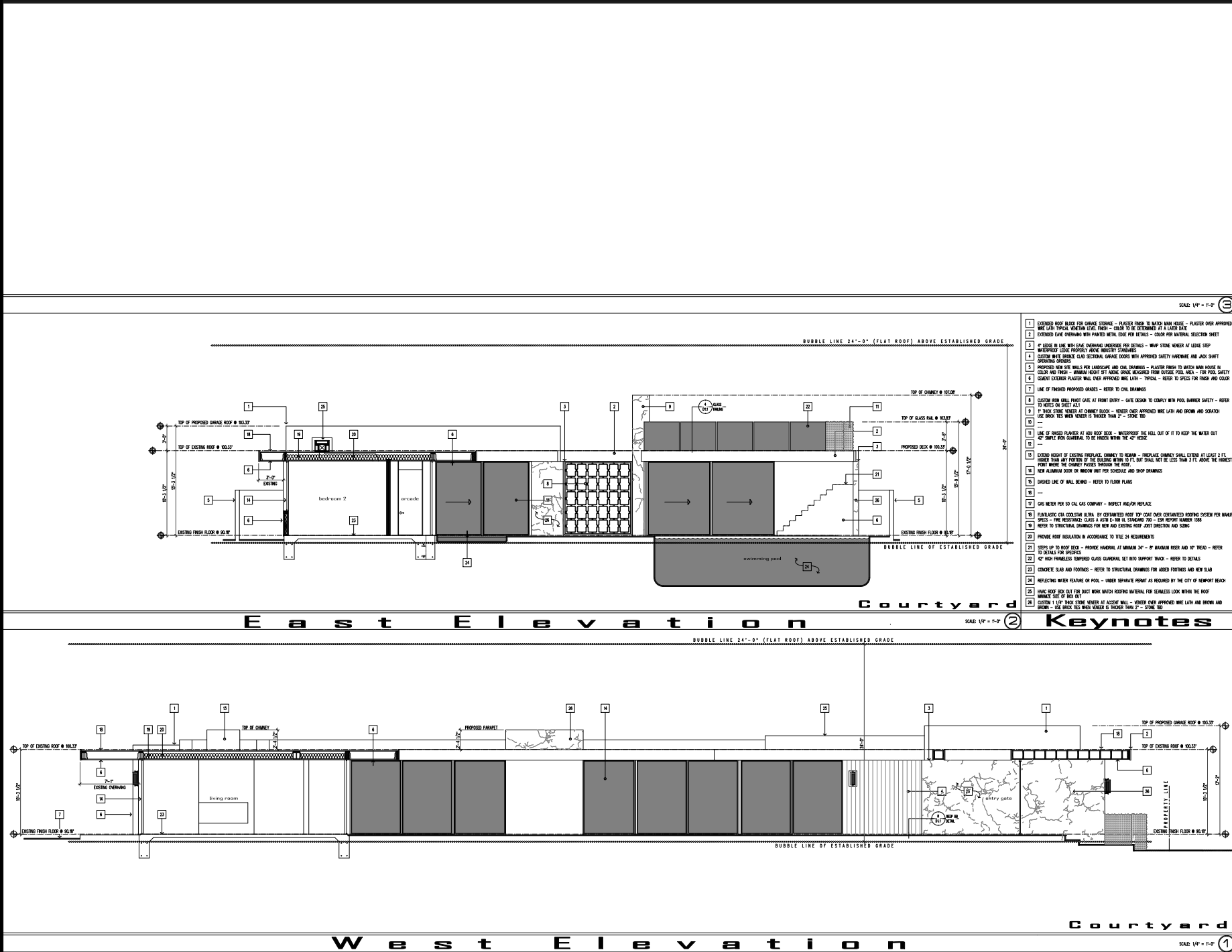


Revisions

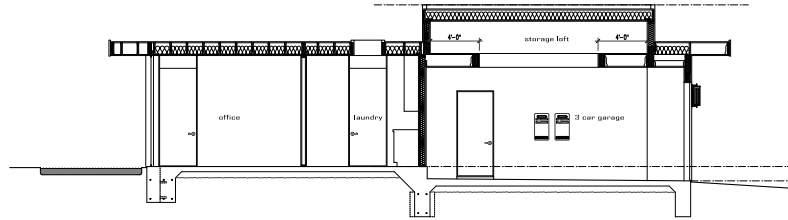
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Sheet Title  
**Exterior Elevations**

Sheet  
**A3.3**  
Plot Date: 10/5/2025







Building Section C

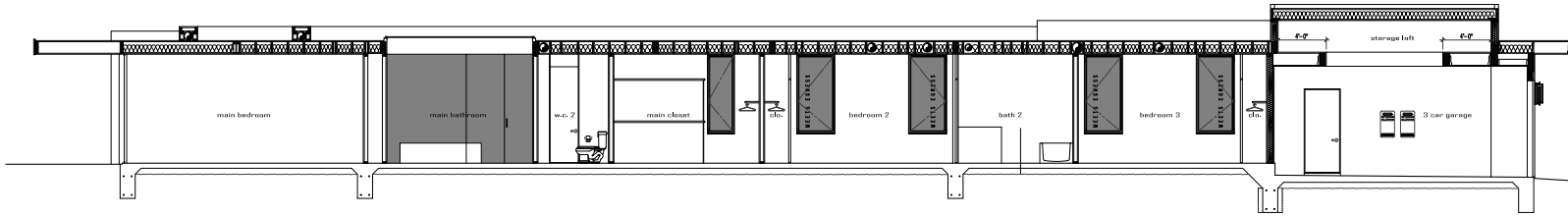
SCALE: 1/4" = 1'-0"

Keynotes

- 1 EXTENDED ROOF BLOCK FOR GARAGE STORAGE - PLASTER FINISH TO MATCH MAIN HOUSE - PLASTER OVER APPROVED WIRE LATH TYPICAL VENTILATION LEVEL FINISH - COLOR TO BE DETERMINED AT A LATER DATE
- 2 EXTENDED LINE CHIMNEY WITH PAINTED METAL CASE PER DETAILS - COLOR PER MATERIAL SELECTION SHEET
- 3 4" LEDGE IN LINE WITH EAVE CHIMNEY UNDERSTUD PER DETAILS - WRAP STONE VENEER AT LEDGE STEP
- 4 CUSTOM WIRE BRUSH CLAD RECTANGULAR GARAGE DOORS WITH APPROVED SAFETY HARDWARE AND JACK SHUNT OPERATING OPERATIONS
- 5 PROVIDE NEW STEE WALLS FOR LANDSCAPE AND CIVIL DRAINAGE - PLASTER FINISH TO MATCH MAIN HOUSE IN COLOR AND FINISH - MINIMUM HEIGHT 8'1" ABOVE GRADE MEASURED FROM OUTSIDE POOL AREA - FOR POOL SAFETY CURRENT EXISTING PLASTER WALL OVER APPROVED WIRE LATH - TYPICAL - REFER TO SPEC FOR FINISH AND COLOR
- 6 LINE OF FINISHED PROPOSED GRASSES - REFER TO CIVIL DRAWINGS
- 7 LINE OF NEW CRILL PRISTE GATE AT FRONT ENTRY - GATE DESIGN TO COMPLY WITH POOL BARRIER SAFETY - REFER TO NOTES ON SHEET A-1
- 8 1" THICK CONCRETE SLAB AT CHIMNEY BLOCK - VENEER OVER APPROVED WIRE LATH AND BROWN AND SCRATCH USE BRICK TIES WHEN VENEER IS THICKER THAN 2" - STONE 100
- 9 ---
- 10 LINE OF FINISHED PLANTING AT NEW ROOF DECK - WATERPROOF THE HELL OUT OF IT TO KEEP THE WATER OUT
- 11 4" THICK CONCRETE SLAB OVER ROOF DECK - REFER TO CIVIL DRAWINGS
- 12 EXTEND HEIGHT OF EXISTING TERRACE CHIMNEY TO REMAIN - PROVIDE CHIMNEY SHALL EXCEED AT LEAST 3 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 5 FT. BUT SHALL NOT BE LESS THAN 3 FT. ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF
- 13 NEW ALUMINUM DOOR OR WINDOW UNIT PER SCHEDULE AND SHOP DRAWINGS
- 14 SHARED LINE OF WALL BEHIND - REFER TO FLOOR PLANS
- 15 ---
- 16 GAS METER PER TO GAS GAS COMPANY - SUSPECT AND/OR REPLACE
- 17 FLUOROLASTIC GEA COOLSTAR ULTRA BY CERTIFIED ROOF TOP COAT OVER CERTIFIED ROOFING SYSTEM PER MARK SPECIES - FINE RECOMMENDED CLASS A WITH 1/2" OR 3/4" DRAINAGE TYP - 1/2" REPAIR NUMBER 1000
- 18 REFER TO STRUCTURAL DRAWINGS FOR NEW AND EXISTING ROOF JOIST DIRECTION AND SIZING
- 19 PROVIDE ROOF INSULATION IN ACCORDANCE TO TITLE 24 REQUIREMENTS
- 20 STEPS UP TO ROOF DECK - PROVIDE HANDRAIL AT MINIMUM 34" - IF HANDRAIL REVER AND 12" TREAD - REFER TO DETAILS FOR SPECIFICATIONS
- 21 4" HIGH FRAMING: STAMPED GLASS GUARDRAIL SET INTO SAND SUPPORT TRACK - REFER TO DETAILS
- 22 CONCRETE SLAB AND FOOTINGS - REFER TO STRUCTURAL DRAWINGS FOR ADDED FOOTINGS AND NEW SLAB
- 23 REFLECTING WATER FEATURE OR POOL - UNDER SEPARATE PERMIT AS REQUIRED BY THE CITY OF NEWPORT BEACH
- 24 HVAC ROOF BOX OUT FOR DUCT WORK MATCH ROOFING MATERIAL FOR SEAMLESS LOOK WITHIN THE ROOF
- 25 MINIMUM SIZE OF BOX OUT
- 26 CUSTOM 1 1/4" THICK CONCRETE VENEER AT ACCENT WALL - VENEER OVER APPROVED WIRE LATH AND BROWN AND BROWN - USE BRICK TIES WHEN VENEER IS THICKER THAN 2" - STONE 100
- 27 ---

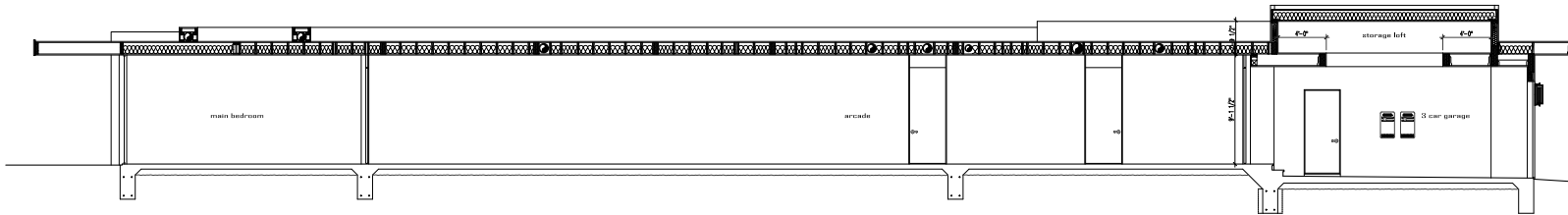


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Building Section B

SCALE: 1/4" = 1'-0"



Building Section A

SCALE: 1/4" = 1'-0"

Galaxy Residence  
 1530 Galaxy Drive  
 Newport Beach, California  
 OWNERS  
 Brighton Road Investments LLC

Revisions

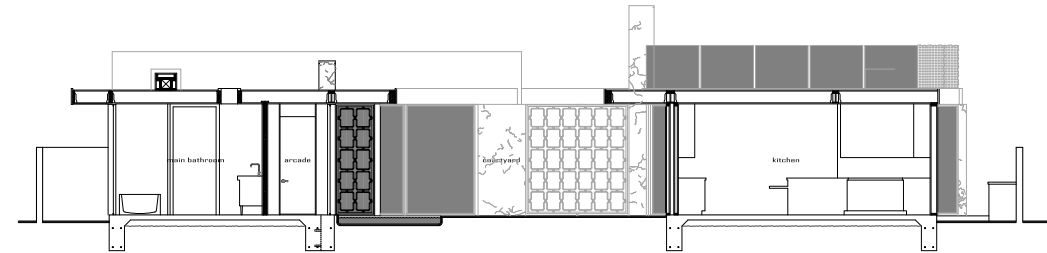
Sheet Title  
 Building Sections

Sheet  
**A4.1**  
 Plot Date: 10/9/2025





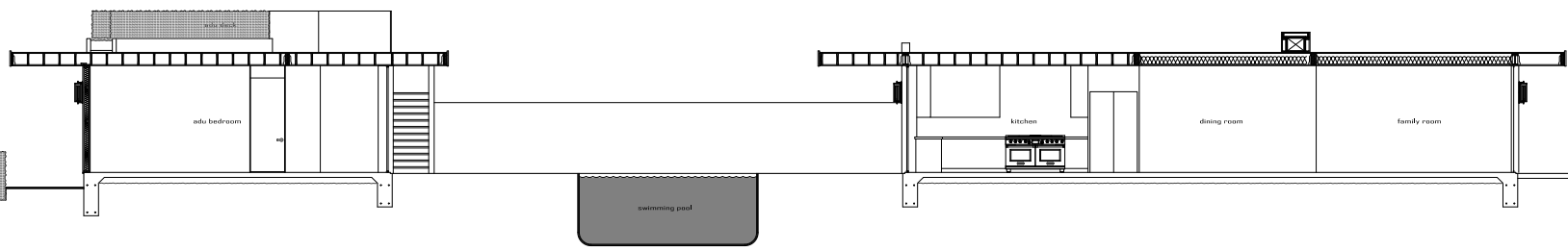
# B u i l d i n g   S e c t i o n   C



- 1 EXTENDED ROOF BLOCK FOR GARAGE STORAGE - PLASTER FINISH TO MATCH MAIN HOUSE - PLASTER OVER APPROVED WIRE LATH TYPICAL KINETIC LEVEL FINISH - COLOR TO BE DETERMINED AT A LATER DATE
- 2 EXTENDED LINE FINISHING WITH PAINTED METAL EDGE FOR DETAILS - COLOR PER MATERIAL SELECTION SHEET
- 3 4" LEAVE IN LINE WITH EXISTING OVERHANGS UNDERSIDE FOR DETAILS - MATCH STONE VENEER AT LEAVE STEP WATERPROOF LEAKS PROPERLY ABOVE ROOFLINE STAIRWAYS
- 4 CUSTOM WHITE RESIN CLAD SECTIONAL GARAGE DOORS WITH APPROVED SAFETY HARDWARE AND JACK SHUNT OPERATING SYSTEMS
- 5 IMPROVED NEW SET WALLS FOR LANDSCAPE AND GOLF DRAWINGS - PLASTER FINISH TO MATCH MAIN HOUSE IN COLOR AND FINISH - MINIMUM HEIGHT 9'11" ABOVE GRADE MEASURED FROM OUTSIDE POOL AREA - FOR POOL SAFETY COMPLY EXISTING PLASTER WALL OVER APPROVED WIRE LATH - TYPICAL - REFER TO SPECS FOR FINISH AND COLOR
- 6 LINE OF PROPOSED PROPOSED CHASE - REFER TO GOLF DRAWINGS
- 7 CUSTOM NEW WALL FINISH GOLF AT FRONT ENTRY - DATE DESIGN TO COMPLY WITH POOL BARRIER SAFETY - REFER TO NOTES ON SHEET A4.1
- 8 7" THICK STONE VENEER AT CORNER BLOCKS - VENEER OVER APPROVED WIRE LATH AND BROWN AND SANDWICH USE BRICK TIES WHEN VENEER IS THICKER THAN 2" - STONE TIE
- 9 LINE OF FINISH PLASTER AT NEW ROOF DECK - WATERPROOF THE HELL OUT OF IT TO KEEP THE WATER OUT
- 10 4" CHASE WITH GUARDRAIL TO BE INSTALLED WITHIN THE 4" HEDGE
- 11
- 12 EXTEND HEIGHT OF EXISTING IMPROVE CORNER TO MINIMUM - PROVIDE CHIMNEY SHALL EXTEND AT LEAST 3 FT. ABOVE ROOF TOP OF CHIMNEY IN THE TYPICAL WITHIN 10 FT. BUT SHALL NOT BE LESS THAN 3 FT. ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF
- 13 NEW ALUMINUM DOOR OR WINDOW UNIT FOR SCHEDULE AND SHOP DRAWINGS
- 14 DASHED LINE OF WALL BOUND - REFER TO FLOOR PLANS
- 15
- 16 GAS METER PER SO CAL GAS COMPANY - INSPECT AND/OR REPLACE
- 17 FUMELASTIC CVA COOLSTAR ULTRA BY CERTIFIED ROOF TOP COAT OVER CERTIFIED ROOFING SYSTEM PER MANUF. SPECS - FIRE RESISTANCE CLASS A ASIM 5-10 IN A STANDARD TWO - FOR REPORT NUMBER ONE REFER TO STRUCTURAL DRAWINGS FOR NEW AND EXISTING ROOF JOIST DIRECTION AND SPACING
- 18 PROVIDE ROOF INSULATION IN ACCORDANCE TO TITLE 24 REQUIREMENTS
- 19 STEPS UP TO ROOF DECK - PROVIDE HANDRAIL AT MINIMUM 34" - 8" MAXIMUM RISE AND 10" DEPTH - REFER TO DETAILS FOR SPECIFICS
- 20 40" HIGH FRAMED GLASS GUARDRAIL SET INTO SUPPORT TRACK - REFER TO DETAILS
- 21 CONCRETE SLAB AND FOOTINGS - REFER TO STRUCTURAL DRAWINGS FOR ADDED FOOTINGS AND NEW SLAB
- 22 REFLECTING WATER FEATURE ON POOL - UNDER SEPARATE PERMIT AS REQUIRED BY THE CITY OF NEWPORT BEACH
- 23 FINISH ROOF INTO OUT FOR DUCT WORK MATCH ROOFING MATERIAL FOR SEAMLESS LOOK WITHIN THE ROOF
- 24 MINIMUM SIZE OF ROOF OUT
- 25 CUSTOM 1 1/4" ROOF STONE VENEER AT ACCENT WALL - VENEER OVER APPROVED WIRE LATH AND BROWN AND SANDWICH USE BRICK TIES WHEN VENEER IS THICKER THAN 2" - STONE TIE

# B u i l d i n g   S e c t i o n   E

SCALE: 1/4" = 1'-0" (2) **Keynotes**



# B u i l d i n g   S e c t i o n   D

SCALE: 1/4" = 1'-0" (1)

Revisions
1
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Sheet Title  
Building Sections

Sheet  
**A4.2**  
Plot Date: 10/9/2023