

December 11, 2025 Agenda Item No. 2

SUBJECT: Brighton Road Investments LLC Residence (PA2025-0048)

Coastal Development Permit

Modification Permit

SITE LOCATION: 1530 Galaxy Drive

APPLICANT: Maisons the Art of Design

OWNER: Brighton Road Investments LLC

PLANNER: Oscar Orozco, Associate Planner

949-644-3219, oorozco@newportbeachca.gov

LAND USE AND ZONING

• General Plan Land Use Plan Category: Single Unit Residential Detached (RS-D)

• **Zoning District**: Single-Unit Residential (R-1-6000)

Coastal Land Use Plan Category: Single Unit Residential Detached - (0.0 – 5.9 DU/AC)(RSD-A)

Coastal Zoning District: Single-Unit Residential (R-1-6000)

PROJECT SUMMARY

A request for a coastal development permit (CDP) to authorize the construction of a 1,243-square-foot addition to an existing 3,326-square-foot one-story single-unit dwelling and attached 748-square-foot three-car garage. The addition includes a 683-square-foot detached accessory dwelling unit (ADU), along with landscaping, hardscape, and drainage facilities.

A modification permit is also required to allow the reconstruction of the existing driveway leading to the three-car garage. The existing and proposed driveway is 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage under Subsection 20.40.090(A)(3)(c) (Driveway Width) of the Newport Beach Municipal Code. Aside from the driveway width, the project complies with all applicable development standards, and no other deviations are requested. All improvements authorized by this CDP will be located on private property.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small

Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and

3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. PA2025-0048 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is in the R-1-6000 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-unit dwelling. The neighborhood is predominantly developed with one- and two-story, single-unit dwellings. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.



Figure 1: Oblique Aerial Image of Neighborhood

 The proposed project conforms to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below (with the exception of the driveway width).

Table 1 –	Development Standar	ds
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (Upper Newport Bay)	20 feet	31 feet 2 inches (addition)
		24 feet 9 inches (existing to
		remain)
Sides (Primary Dwelling Unit)	6 feet	6 feet
		5 feet 10 inches (existing to
		remain)
Rear (Galaxy Drive)	6 feet	6 feet
Side (ADU)	4 feet	4 feet 4 inches
Rear (ADU)	4 feet	10 feet 10 inches
Bluff Setbacks (min.)		
Development Area A	25 feet from the bluff	31 feet 2 inches from the
	edge	bluff edge
Development Area B	10 feet from the bluff	No structures proposed
	edge	
Development Area C	All portions of the lot	No structures proposed
	not located in Area A	
Height (May)	or Area B	
Height (Max.)	04 foot (flot)/00 foot	4.4.f + 3/ : -
Primary Structure	24 feet (flat)/29 feet	14 feet ¾ inch
ADU	(sloped) 16 feet	14 feet 7 inches
Maximum Allowable Site	60% (7,752 square	56.4% (7,288 square feet)
Coverage	feet)	00.470 (7,200 Square leet)
Parking (min.)	1001)	
Primary Dwelling	2-car garage	3-car garage
ADU	1 space	3-car garage
Driveway Width (Max.)	25 feet	29 feet 6 inches
Zirionay main (maxi)	(3-car garage)	(3-car garage)
	(o car garago)	(o cai gaiago)

• The property is located within the Bluff Overlay District of the Local Coastal Program Implementation Plan, which establishes special development standards for identified bluff areas of the City. Pursuant to the Bluff Overlay Map B-9D (Upper Newport Bay Bluffs), the property is located on a bluff subject to marine erosion. Consistent with the Bluff Overlay standards, the existing principal dwelling and major accessory structures are located within Development Area A and setback, at a minimum, 25 feet from the bluff edge. The proposed ADU and additional floor area are located within Area A. Minor accessory structures are proposed within Development Area B and setback, at a minimum, 10 feet back from the bluff edge. No new accessory structures are proposed within Development Area C.

 There are existing encroachments (wrought iron fence, brick pavers, and concrete) into the State of California property to the east of the subject property. As conditioned, the project would be required to remove all existing encroachments that extend beyond the private property line into the State of California land.

Biological Resources

• As required by Newport Beach Municipal Code (NBMC) Section 21.30B.020 (Initial Site Resource Survey) an initial site resource survey, identifying the presence or potential for wetlands or sensitive habitat, vegetation or wildlife species on the site is required for coastal development permit applications on a development site that is located within 100 feet of an Environmental Study Area (ESA). The property is located adjacent to Study Area 4 (UNBMO/De Anza Bayside Marsh Peninsula) according to Map 4-1 (Environmental Study Areas) of the Newport Beach Coastal Land Use Plan. The applicant has provided a Biological Assessment Report for the property prepared by Hamilton Biological dated June 5, 2025. The report concludes that no listed or otherwise sensitive plant or wildlife species were observed during the field visit and no mitigation is required for the project. Therefore, no Environmentally Sensitive Habitat Area report is required pursuant to NBMC Section 21.30B.030 (C) (ESHA Report).

Hazards

- The property is located in an area known for the potential for seismic activity. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
- Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv) (Development Standards. Protective Structures), the property owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Waiver of Future Protection is included as a condition of approval that will need to be satisfied prior to the final building inspection.
- The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) – (Waterfront Development – Development Standards). The Acknowledgement of Coastal

Hazards is included as a condition of approval that will need to be satisfied prior to the issuance of building permits.

 The finished floor elevation for the existing single-unit residence is 90.18 feet (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard.

Water Quality

- Under NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a preliminary Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQMP has been prepared for the project by Advanced Civil Group dated August 12, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP before building permit issuance.
- The project design addresses water quality with a construction erosion control plan that outlines temporary Best Management Practices (BMPs) to be implemented during construction to minimize erosion and sedimentation, and to minimize pollution runoff derived by construction chemicals and materials. No water quality impacts to coastal waters are anticipated based upon the location and elevation of the property.

Public Access and Views

The project site is located between the nearest public road and the sea or shoreline. Implementation Plan 21.30A.040 Section (Determination of **Public** Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of additional floor area and a detached accessory dwelling unit to an existing singlefamily residence located on a standard R-1-6,000 lot. The ADU consists of one bedroom, is an allowed use within the R-1-6,000 Zoning District, is not expected to create a substantial demand on public access. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

- Vertical and lateral access to/along the bay and beach is available at North Star Beach approximately 1,700 feet south of the project site. The project does not include any features that would obstruct access along these routes.
- The project site is located approximately 1,100 feet north of Galaxy View Park, a designated public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and southeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 770 feet south of the Mariners Drive cul-de-sac viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the north and northeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 1,900 feet east of the Upper Newport Bay State Marine Conservation Area, a public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and north of Upper Newport Bay. The project site is within distant view sheds of the Big Canyon Park, Newport North, and Back Bay Drive as identified in Figure 2. The project will add floor area to an existing single-unit dwelling and a detached ADU. Furthermore, the project addition is a single-story with a maximum height of approximately 14 feet above the existing grade and the detached ADU has a maximum height of 14 feet 7 inches from existing grade. Additionally, the overall structure height is approximately 9 feet 5 inches lower than the allowable height for flat roofs in the R-1-6000 coastal zoning district. Therefore, the residence will be no more visible from Upper Newport Bay than the surrounding neighborhood and will not degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.



Figure 2: Coastal Viewpoints and Coastal View Roads within Vicinity of Project

Modification Permit

- The existing structure was built in the early 1960s and complied with development standards, including parking requirements and driveway widths, at the time of construction. Subsequent amendments to the standards have rendered the driveway width of the existing three-car garage nonconforming.
- NBMC Subsection 20.40.090(A)(3)(c) (Driveway Width) limits the width of driveways for three- car garages to a maximum of 25 feet. The existing single-unit dwelling includes an attached 748-square-foot three car garage with a driveway that measures 29 feet, 6 inches in width.
- The project includes the reconstruction of the existing driveway leading to the threecar garage. The existing three-car garage includes two garage doors (a two-car door

and a single car door), which would be shifted slightly to the south as part of the project to improve the design of the exterior of the building (by centering the doors with the exterior walls). Accordingly, the driveway would be shifted over slightly (1 foot 6 inches) to the south to provide for the redesign of the garage doors. The width of the driveway would remain the same at 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage. Plan sheet A1.1 of the project plans (Attachment ZA3) depicts the proposed driveway location.

- Reducing the driveway width that leads to the existing three-car garage would result in a driveway width that does not provide sufficient access to the existing garage. Strict application of the code would result in a 4-foot 6-inch reduction in the driveway width making it so that vehicles using the two outermost garage spaces (the side garage spaces) would need to drive over the sloped curb and landscaping to access the garage door openings, reducing maneuverability and access to the garage.
- Bringing the driveway into compliance with current Zoning Code requirements would provide a negligible benefit, but would unreasonably affect the accessibility of the required garage. Given the project is proposing to construct a detached ADU, an additional off-street parking space is required in addition to the two-car garage required for the existing single unit dwelling. The ADU parking space is being provided within the existing three-car garage as the existing driveway depth of approximately 7 feet is not adequate to park a vehicle. Therefore, the third parking space in the garage needs to be available for ADU parking, and the Applicant cannot reduce the number of spaces in the garage to provide a narrower driveway width.
- Title 21 (Local Coastal Program Implementation Plan) of the NBMC does not include standards related to driveway widths. Nonetheless, reducing the width of the driveway by 4 feet 6 inches to meet the Title 20 (Planning and Zoning) standard would not increase the number of on-street parking spaces available to the public and would not improve public access.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The Class 3 exemption includes the demolition and construction of limited numbers of new, small structures, including one single-family residence and additions of up to 10,000 square feet to existing structures. The project consists of an interior remodel and addition of 1,243 square feet to an existing 3,326 square one-story single unit dwelling and attached 748-square-foot three-car garage. The addition includes a 643-square-foot detached ADU.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Newport Beach Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 20 (Planning and Zoning) and Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. In addition, final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Oscar Orozco, Associate Planner

LAW/oo

Attachments: ZA 1 Draft Resolution

ZA 2 Vicinity Map ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT AND MODIFICATION PERMIT TO ALLOW AN ADDITION TO AN EXISTING SINGLE UNIT DWELLING AND CONSTRUCTION OF A NEW ACCESSORY DWELLING UNIT LOCATED AT 1530 GALAXY DRIVE (PA2025-0048)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

- 1. An application was filed by Maisons the Art of Design, concerning property located at 1530 Galaxy Drive, requesting approval of a coastal development permit and modification permit.
- 2. The lot at 1530 Galaxy Drive is legally described as Lot 63 of Tract 4224.
- 3. The applicant requests a coastal development permit (CDP) to authorize the construction of a 1,243-square-foot addition to an existing 3,326-square-foot one-story single-unit dwelling and attached 748-square-foot three-car garage. The addition includes a 683-square-foot detached accessory dwelling unit (ADU), along with landscaping, hardscape, and drainage facilities. A modification permit is also requested to allow the reconstruction of the existing driveway leading to the three-car garage. The existing and proposed driveway is 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage under Subsection 20.40.090(A)(3)(c) (Driveway Width) of the Newport Beach Municipal Code. Aside from the driveway width, the project complies with all applicable development standards, and no other deviations are requested. All improvements authorized by this CDP will be located on private property.
- 4. The subject property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1-6000) Zoning District.
- 5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single Unit Residential Detached (0.0 5.9 DU/AC) (RSD-A) and it is located within the Single-Unit Residential (R-1-6000) Coastal Zone District.
- 6. A public hearing was held on December 11, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

- 1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
- 2. Class 3 exempts the demolition of up to three (3) single-family residences and additions of up to 10,000 square feet to existing structures. The project consists of a remodel and addition of 1,243 square feet to an existing 3,326-square-foot one-story single unit dwelling and attached 748-square-foot three-car garage. The addition includes a 643-square-foot detached ADU. Therefore, the project is consistent with this exemption.
- 3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

By Section 21.52.015(F) (Coastal Development Permits, Findings, and Decision) of the Newport Beach Municipal Code, the following findings, and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

- 1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. Site coverage is limited to 60% (7,752 square feet) of the 12,920-square-foot lot area. The proposed site coverage area is approximately 56.4% (7,288 square feet).
 - b. The proposed development provides the minimum required setbacks, which are 20 feet along the front property line adjacent to the bluff, 6 feet along each side property line (one portion of the existing dwelling provides 5 feet 10 inches), and 6 feet along the rear property line of Galaxy Drive. In addition, the detached ADU complies with the required setbacks, which are 4 feet along the side property line and 4 feet along the rear property line of Galaxy Drive.
 - c. The highest roof ridge is approximately 14 feet 7 inches from established grade (89.23 feet based on the North American Vertical Datum of 1988 [NAVD88]), significantly less that the 24-foot maximum height limit.

- d. The project includes garage parking for a total of three vehicles, complying with the minimum two-car garage parking requirement for single-family residences with less than 4,000 square feet of habitable floor area. In addition, the project includes a third car garage space to comply with the minimum requirement of one parking space for a detached ADU.
- e. The property is located within the Bluff Overlay District of the Local Coastal Program Implementation Plan, which establishes special development standards for identified bluff areas of the City. Pursuant to the Bluff Overlay Map B-9D (Upper Newport Bay Bluffs), the property is located on a bluff subject to marine erosion. Consistent with the Bluff Overlay standards, the existing principal dwelling and major accessory structures are located within Development Area A and setback, at a minimum, 25 feet from the bluff edge. The proposed ADU and additional floor area are located within Area A. Minor accessory structures are proposed within Development Area B and setback, at a minimum, 10 feet back from the bluff edge. No new accessory structures are proposed within Development Area C.
- f. There are existing encroachments (wrought iron fence, brick pavers, and concrete) that extend into the State of California property to the east of the subject property. As conditioned, the project would be required to remove all existing encroachments.
- 2. The neighborhood is predominantly developed with one-story and two-story, single-family residences. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- 3. The finished floor elevation of the first floor of the existing structure is 90.18 feet based on the North American Vertical Datum of 1988 (NAVD88), which complies with the minimum 9.0-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazard areas coupled with the 9.00-foot NAVD88 finish floor elevation will help to ensure the project is reasonably safe for the economic life of the structure.
- 4. Under NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied before the final building permit inspection, respectively
- 5. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). This requirement is included as a condition of approval that will need to be satisfied before the issuance of building permits, respectively.
- 6. The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing

liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

- 7. Under NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a preliminary Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQMP has been prepared for the project by Advanced Civil Group dated August 12, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP before building permit issuance.
- 8. The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
- 9. Proposed landscaping complies with NBMC Section 21.30.075 (Landscaping). Condition of Approval Nos. 20 and 21 are included that require drought-tolerant species. Prior to the issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted and only temporary irrigation is installed within 10 feet of the bluff edge (Bluff Development Area C).
- 10. The project site is located approximately 1,100 feet north of Galaxy View Park, a designated public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and southeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 770 feet south of the Mariners Drive cul-de-sac viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the north and northeast of Upper Newport Bay and is not visible from the property. The project site is also located approximately 1,900 feet east of the Upper Newport Bay State Marine Conservation Area, a public viewpoint as identified in the Coastal Land Use Plan. The viewpoint primarily offers public views to the east and north of Upper Newport Bay. The project site is within distant view sheds of the Big Canyon Park, Newporter North, and Back Bay Drive. The project will add floor area to an existing single-unit dwelling and a detached ADU. Furthermore, the project addition is a single-story with a maximum height of approximately 15 feet above the existing grade and the detached ADU has a maximum height of 14 feet 7 inches from existing grade. Additionally, the overall structure height is approximately 9 feet 5 inches lower than the allowable height for flat roofs in the R-1-6000 coastal zoning district. Therefore, the residence will be no more visible from Upper Newport Bay than the surrounding neighborhood and will not degrade the visual quality of the Coastal Zone or result in significant adverse impacts to public views.

Finding:

01-10-2023 1.4

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Fact in Support of Finding:

- 1. The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the construction of additional floor area and a detached accessory dwelling unit to an existing single-family residence located on a standard R-1-6000 lot. The ADU consists of one bedroom, is an allowed use within the R-1-6000 Zoning District, is not expected to create a substantial demand on public access. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- 2. Vertical and lateral access to/along the bay and beach is available at North Star Beach approximately 1,700 feet south of the project site. The project does not include any features that would obstruct access along these routes.

Modification Permit

In accordance with Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

C. The requested modification will be compatible with existing development in the neighborhood.

Facts in Support of Finding:

- 1. The existing development is a 3,326-square-foot, single-unit dwelling with an attached three-car garage. The neighborhood is comprised of one-story and two-story single-unit dwellings with driveways along the street. The modification permit will allow the reconstruction of the existing driveway leading to the three-car garage.
- 2. The addition would provide more living area for the residents by increasing the size of the dwelling unit by 560 square feet and constructing an ADU. The addition and ADU are one story and consistent with the design and height of other properties in the neighborhood. The proposed modification for the driveway would not impact the bulk or scale of the existing dwelling and proposed addition and ADU. Other properties within the vicinity of the project have existing nonconforming driveway widths, similar to the Property.

Finding:

D. The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.

Facts in Support of Finding:

- 1. The existing structure was built in the early 1960s and complied with development standards, including parking requirements and driveway widths, at the time of construction. Subsequent amendments to the standards have rendered the driveway width of the existing three-car garage nonconforming.
- 2. The project includes the reconstruction of the existing driveway leading to the three-car garage. The existing three-car garage includes two garage doors (a two-car door and a single car door), which would be shifted slightly to the south as part of the project to improve the design of the exterior of the building (by centering the doors with the exterior walls). Accordingly, the driveway would be shifted over slightly (1 foot 6 inches) to the south to provide for the redesign of the garage doors. The width of the driveway would remain the same at 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage. Reducing the driveway width that leads to the existing three-car garage would result in a driveway width that does not provide sufficient access to the existing garage. Strict application of the code would result in a 4-foot 6-inch reduction in the driveway width making it so that vehicles using the two outermost garage spaces (the side garage spaces) would need to drive over the sloped curb and landscaping to access the garage door openings, reducing maneuverability and access to the garage.
- 3. Fact in support of Finding E is hereby incorporated by reference.

Finding:

E. The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.

Fact in Support of Finding:

The granting of the modification is necessary given that the existing and proposed driveway is 29 feet, 6 inches wide, which exceeds the maximum permitted width of 25 feet for a three-car garage under Subsection 20.40.090(A)(3)(c) of the Newport Beach Municipal Code. Bringing the driveway into compliance with current Zoning Code requirements would provide a negligible benefit, but would unreasonably affect the accessibility of the required garage. Given the project is proposing to construct a detached ADU, an additional off-street parking space is required in addition to the two-car garage required for the existing single unit dwelling. The ADU parking space is being provided within the existing three-car garage as the existing driveway depth of approximately 7 feet is not adequate to park a vehicle. Therefore, the third parking space in the garage needs to be available for ADU parking, and the Applicant cannot reduce the number of spaces in the garage to provide a narrower driveway width.

Finding:

F. There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.

Facts in Support of Finding:

- 1. Bringing the driveway into compliance with current Zoning Code requirements would provide a negligible benefit, but would unreasonably affect the accessibility of the required garage. Given the project is proposing to construct a detached ADU, an additional off-street parking space is required in addition to the two-car garage required for the existing single unit dwelling. The ADU parking space is being provided within the existing three-car garage as the existing driveway depth of approximately 7 feet is not adequate to park a vehicle. Therefore, the third parking space in the garage needs to be available for ADU parking, and the Applicant cannot reduce the number of spaces in the garage to provide a narrower driveway width.
- 2. The intent of the project is to provide for a new office, powder room, expanded family room, and detached ADU. A redesign to reduce the size of the driveway would significantly impact reasonable access to the garage. The garage is currently constructed with a clear width of 33 feet, where 28 feet 3 inches is required. An alternative would be to reduce the garage width and the associated driveway width to align with the NBMC minimum width for three-car garages. However, reducing the width of the garage would require complete reconstruction of exterior walls of the garage, where the project does not include the removal or replacement of garage walls (other than the doors). This alternative would increase the scope of the work and cost of the project. Reducing the size of the garage would also result in limited space for storage or minor mechanical equipment typically found in a garage, such as water heaters, reducing the functionality and practical use of the garage. Reducing the size of the garage doors would also create challenges for accessing the garage, especially with a short (7-foot deep) driveway. The alternatives analyzed would not provide similar benefits to the applicant nor reduce any potential impacts.
- 3. Reducing the size of the driveway to comply with the NBMC would not result in the creation of additional on-street spaces that could provide a benefit to the public.
- 4. Fact in support of Finding E is hereby incorporated by reference.

Finding:

G. The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.

Facts in Support of Finding:

- 1. The proposed remodel and construction will comply with all applicable development standards, including height, setbacks, lot coverage and will provide adequate protection for light, air, and privacy (with the exception of driveway width). Maintaining the existing driveway width of 29 feet 6 inches would not affect nearby properties or residents and would not change the density on the site. The addition of floor area to the primary dwelling and the development of an ADU will not preclude access to the dwelling and will be consistent in scale with other dwellings in the neighborhood.
- 2. The approval of this modification permit is conditioned such that the Applicants are required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.
- 3. The Public Works Department City Engineer and City Traffic Engineer have reviewed the proposed design and determined that the requested 29-foot 6-inch-wide approach bottom is a minor dimensional variance pursuant to City Council Policy L-2 and are supportive of the modification request.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

- 1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, and is not a hazardous waste site, and is not identified as a historical resource.
- 2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit and Modification Permit PA2025-0048, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
- 3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 20 (Planning and Zoning) and Title 21 Local Coastal Program (LCP) Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 11 TH DAY OF DECEMBER, 202
--

Benjamin M. Zdeba, AICP, Zoning Administrator

19 01-10-2023

EXHIBIT "A"

CONDITIONS OF APPROVAL

- 1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. Prior the final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.
- 3. Prior the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the development. This letter shall be scanned into the plan set before building permit issuance.
- 4. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way.
- No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
- 6. This Coastal Development Permit does not authorize any new development bayward of the private property.
- 7. Prior to the building permit final, the Applicant shall remove all existing, unpermitted encroachments outside the confines of the private property along the bluff edge, including, but not limited to, wrought iron fence, brick pavers, and concrete. Prior to the removal of these encroachments, all required permits and/or authorizations shall be obtained by all appropriate jurisdictions (e.g., Department of Fish and Wildlife, State of California, and/or other relevant agencies). Replanting with native vegetation along the

bluff edges shall be required unless alternative restoration is directed by an appropriate agency).

- 8. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
- 9. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
- 10. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
- 11. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
- 12. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
- 13. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
- 14. The project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.

- 15. The applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
- 16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
- 17. <u>Before the issuance of building permits</u>, the applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.
- 18. <u>Before the issuance of building permits</u>, the applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.
- 19. <u>Before issuance of a building permit</u>, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
- 20. <u>Before the issuance of a building permit</u>, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.
- 21. <u>Before issuance of building permits</u>, the final WQHP/WQMP shall be reviewed and approved by the Building Division. The implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.
- 22. <u>Before the issuance of building permits</u>, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.
- 23. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
- 24. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. through 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.

- 25. Before the issuance of the building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
- 26. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
- 27. This Coastal Development Permit and Modification Permit PA2025-0048 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 (Time Limits and Extensions) and Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
- 28. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Brighton Road Investments LLC Residence including but not limited to, Coastal Development Permit and Modification Permit (PA2025-0048). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Fire Prevention Division

29. The Project shall provide a residential fire sprinkler system in compliance with 2022 NFPA 13D.

Building Division

- 30. Exterior walls of dwellings, guesthouses, garages, carports and/or accessory structures closer than 5 ft. (3 ft. if sprinklered) to the property line and the imaginary property line between buildings shall be 1-hour fire-resistance-rated construction.
- 31. Where the exterior walls of non-sprinklered group R-3/U occupancies are located between 3 feet and 5 feet from the property line and the imaginary property line between buildings, the total area of protected and unprotected openings (including vents) is limited to 25% of the wall area on each floor (not including garage wall). Provide area calculations on exterior elevations (Table R302.1(1) and (2)).

Public Works Department

- 32. The Project shall remove the existing hardscape within the Galaxy Drive right-of-way and install sod or other drought tolerant landscaping.
- 33. The Project shall install a minimum 36-inch box street tree within the Galaxy Drive right-of-way. Tree species shall be consistent with City Council Policy G-6.
- 34. The new driveway shall be constructed per City Standard 162 with the exception of a 29.5-foot-wide driveway approach bottom. The City Engineer and City Traffic Engineer has reviewed the proposed design and determined that the requested 29.5-foot-wide approach bottom is a minor dimensional variance pursuant to City Council Policy L-2. 5.
- 35. A new sewer cleanout shall be installed on the existing sewer lateral per City Standard 406. The new sewer clean out shall be located within the public right of way in the sidewalk area.
- 36. Relocate the existing gas meter to private property.
- 37. Reconstruct all damaged or broken concrete sidewalk, curb, and gutter along Galaxy Drive project frontage per City Standards.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. PA2025-0048

1530 Galaxy Drive

Attachment No. ZA 3

Project Plans

Vicinity Map





Project Notes

A SEPARATE PERMIT IS REQUIRED FOR RETAINING WALLS AND SWIMING POOLS AND SPACE THIS RESIDENCE SHALL BE EQUIPPED WITH AN APPROVED RESIDENTIAL SPRINKLER SYSTEM — NEPA 13 D.

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ANY EXCAVATION WORK (CIVIL CODE SECTION 832). PROOF OF CERTIFIED MAIL SHALL BE PROVIDED PRIOR TO ISSUANCE OF GRADING FERMIT POOLS, SPAS, WALLS, FERCES,PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE CITY REVIEWS AND FERMITS.

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Project Summary

Legal Description

LEGAL DESIGNATION: LOT 63 - TRACT 4224 - DOVER SHORE - CALFORNIA PROCES ADDRESS: 520 GALAXY DRIFT, RESPONSE FOR CALFORNIA 20255 ONE-SHORE OCCOR: 2019 CR; 20 R-3 6000

TYPE V HON RATED CONSTRUCTION FULLY SPRINGLERED - NEPA 130 FIRE DEPT. APPROVAL | 9R | HITH

Building Area Tabulations EXISTING FLOOR AREAS ERSTING FLOOR AREA (UNRILE): ERSTING 3 CAR CARAGE AREA: TOTAL ERSTING LIVABLE + GARAGE AREA: ADDITIONAL FLOOR AREAS: ADDITIONAL ROOK AREA (UNALE): 560.11 SQ. FT. 0.00 SQ. FT. 560.11 SQ. FT.

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LOT COVERAGE BY PERCENT (ROS NAX PER NPB);
LIMIDSCAPE AREA (NOT HARDSCAPE);

Project Description

Project Team

Architects Anthony Thibert of Maisons 105 Zion Drive Lake Forest, California 92630 949. 842. 7972 949. 842. 7972 cell

Contact: Anthony Thibert majenneueallyahon com - email David E. Martin 1775 East Remon Road

310, 613, 0640 Palm Springs, California 92264 Contact: David E. Martin dmkailua@gmail.com

Structural Engineers

ESI / FME 1800 East 16th Street, Unit 8 657-335-4112 Santa Ana, Californa 92701 www.esifme.com Contact: Eachad Manshadi farhad@esifme.com

Landscape Architect Peter Philips Design

25622 Eastwind Drive Dana Point, California 92629 949 338 8097 oete@philips-design.com Contact: Pete Philips

Geotechnical Engineer

Stoney Miller Consultants Inc. 949. 380. 4886 33 Journey - Suite 200 Aliso Viejo. California 92656 Contact: David Worthington

Civil Engineer - Grading Plans

Advanced Civil Group Inc. 30251 Golden Lantern Laguna Niguel California 92677

949. 391. 7772

Christian Kelsy Civil Eng<u>ineer - Survey</u>

RDM Surveying Inc 23016 Lake Forest Drive Suite 409 Laguna Hills, California 92653 949. 422. 1869 Contact: Ron Medema

Project Owners

Brighton Road Investments LLC

P.O. Box 1065 Corona Del Mar, California 92625 949 842 7972 maisonsusa@yahoo.com Contact: Rob Giem



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S I o p eEngineer

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Title 24 Calculations

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GALAXY THIBERT

> Declaration of Copyright

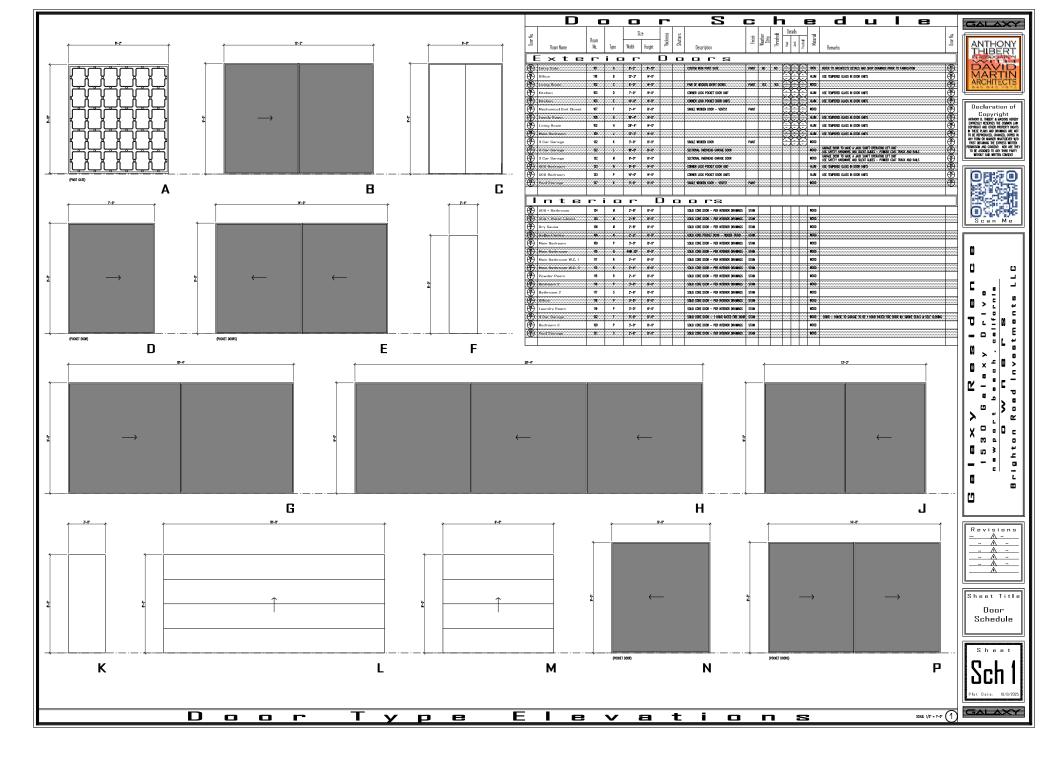


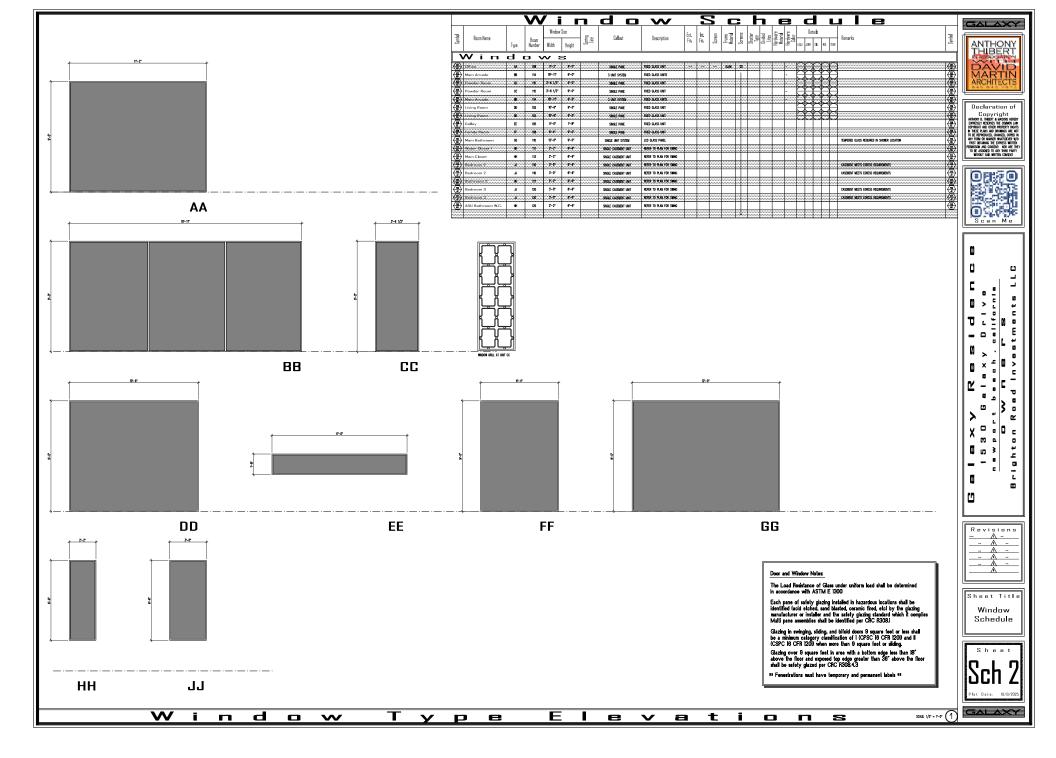
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Sheet Title Title Sheet









CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION 100 DAVI GRAND DIVINI P.O. BOX 1785 | Despire Beach, CA 92818-9816 WWW.DEVOLESCHILD DOV. 1699-964-3200

RESIDENTIAL

CONSTRUCTION MINIMUM REQUIREMENTS

Applicable Standards: X22 California Residential Code (CRC); 2022 California Building Code (CRC); 2022 California Fluerbing Code (CRC); 2022 California Fluerbing Code (CRC); 2022 California Fluerbing Code (CRC); 2022 Didling Mechanical Code (CRC); 2022 Didling Fluery; Brifficienty Standards (EEES); 2022 California Green Suirding Standards Code (Cali Green); & Chapter 15 of the Newport Beach Municipal Code (IRIDA)

GENERAL:

- 16.11.300 in assumed of a bulking permit by the City of Hewaport Blacch does not releave applicants of the logar requirements to obtain a coverent as control to a red protect of the logar requirements of the coverence of the co
- count or norm to "subs. Department.
 As its survey by all kenned surveys that be required prior to Surveys for parking spaces.
 Garage celling height. The minimar uncharacted vertical decrease for parking spaces, and to experience, access that he frost four fact may have a minimar vertical decreases
 of fear fact. (HB-55 25 45 350 A 55)
- Littize one of the dity's approved franchise hauter to recycle and/or selvings a minimum of 65% of the nonnegaricus construction and denoting waste. (Ca. Green 4-49.1, 4-49.3)
- Advisory Note: Homeowners Association (HDA) approval is independent of the City process and may be required for the improvement, Please precively the HOA Board.
- process are may be received of this in any eventured. Please size occivity the IAVA Board.

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	difect or more, but exceeds against at the height of community of on	No.

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 Or sech additional story including parenths and habitable strips.

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 A minimum of 20 feet increasely from any permenently installed cooking appliance.
- Smoke aerns shall be hardwind with battery back-up and interconnected unitess exempted in accordance with ORC R314.4 & R314.5 or CBC 907.2;11.5 & 907.2;11.5
- Carbon managing shall be installed in the following locations (CRC R316.3): Outside of each sleeping area in the immediate violity of the bedroom(s).

 On every occupiable level of the dwelling unit including basements.
- Where a fuel-burning appliance is boated within a bedroom or its attached bathroom, a carbon monocide atom what be installed within the bedroom. Carbon microside eleme shall be hardwired with battary back-up and interconnected unless exempted in accordance with CRC R315.664.
- Newty constructed dwellings shall comply with Aging-in-place and fall prevention (CRC 83.00).
- All heat one barracon on the origin level wall be provided with reinforwarreal for got bits where here is not soft of the not been at least one believe on the following of the

- All forcestrations on wholever and doors shall have U-factors (C.30 msc) and Solar Heat Sain Coefficient (5-HGC=0.23 msc) values in accordance with TH24 energy calculations. All forestrations must have become and necessors leads.

TEMPORARY GENERATOR:

spoording to the rotion	wng sacre:	
Time in Use Hours	Required Setback from Property Line	Required Setback from Adjacent Structures
3 - 1 day	10 feet	5 feet

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

- If the minimum distance currict be achieved, then the generaler shall be located the most extreme distance produce to this times. Other methods to this times way be utilized also practical.

 Way the operational for a maximum of the constructive calendar cays. After the contractive calendar cays. After the contractive calendar cays are contractive calendar cays and the general shall be overlate, the canada cay and the peace shall be overlate, there is temporary carefully calendar cays of the peace shall be overlate, the canada cays are contractive careful cays of the peace shall be overlated the peace shall be overlated that the canada cay are called the canada cay and the canada cay are called the canada cay are careful careful canada cay are called the canada canada
- Usage is limited to weekdays between the nours from 8:00 AM and 3:30 PV. Monday through Friday. No use on the weekands or federal holidays.

FIREPLACE:

- Factory-built frequence, chirmleys and at their components shall be listed and initialled in accordance with their listing and menufacturer's installation instructions (CRC R1004.1)
- initiations (ORC R1004.)

 Policity followed barring involved what the partied of the U.S. EPA's Outliery Proceedings of the Control of the Co

Sold fuel turning freplaces:

- Provide a permanently anchored gaseous fuel ourning can to the firebox of a solid fuel ourning theorems.
- Solid feel burning firedace must comply with the California Energy Standards
- mendancy measures.
 Chimny shall added at least 2.1, Figher their any portion of the building within 10.
 It, our entitle deat han 3.0, above the highest point where the chimney passes through the real. (CRC R1000.0)
 Liquid flue are they also are not allowed for high or use.

- Where whole house fans are used in bethroom areas, the fan must run continuously and also line be likel to a number control sensor. (Call Green 4 606.112).
- The dictines dryer vent shall not exceed 14 ft. in overall ength with maximum two 90-degree aboves, (BMC 554.4.2.1)
- Environmenta air ducts shall terminate min. 3 feet from property line or openings into building, and 10 feet from a fenced air iniet. (CMC 902.2.1)
- Mechanical equipment shall be installed per the manufacture's installation instructions. (CMC 303.1)

- Separate water meters are required for all new dup exist. Separate fire risers are required at each water meter. 32. Plumbing Fixtures:
- New Central Atter 8. Addition/Abstrates that increases condition space area visions, or size (Cell Green 4.353.1):
 1. Comply with Cell Green fundationy Requirements Addition 6. Alternation: Existing financials the be reprosed to meet the following requirements:
- Shower Heads: 1.8 gpm @ 80 psi
- ii. Lawstory Faucets: 1.2 gpm @ 60 ps ii. Kitchen Faucets: 1.8 gpm @ 60 ps b. Water Closes: 1.28 gatons per flush
- Clearance for water a case; to be a minimum of 24 inches in front, and 15 inches from its center to any side wall or obstruction. (CPC 402.6)
- The water heater burner to be at least 18 instres above the garage floor, if located in a garage. (CFC 507.15)
- I retal a 3-insh diameter by 3 ft, tall steel pipe embedded in concrete slab for protection of water heaters scarce in carace. (CPC 657.13.1)
- Water hazers to be strapped at log and botton with 1 ½" x 16-gauge strap with 3.8" clamater. X 3" log old each and (GPC 807.2)
- ABS and PVC drain warps and vertipping material is limited to 2 stones max mum. (CPC 701.2(2) (a), and 603.1.1) ABS and IVC coffeed dask drain material is limited to 2 stories maximum. (CPC 1101.4)
- Roof and dack drain systems inside the building are recuired to be installed with directional DWV drainage fillings. (CPC 1101.4 and \$ 768.9)
- Cleanouts are recuired within 2 feet of the connection between the building interior rookided crafts plans system and the extention or site from drain system. (CPC 1101.13) 41 Al hase hims shall have nature breaken 7000 500 573
- 43. The maximum amount of water closets on a 3-inch vertical drainage system line is 4. (CPC Table 703.2)
- 44. Provide a conclamate d'un no more than 2 indives above the base of the water heater apacie. (Cel Energy Code 160.0 (n.))

 45. Insuate at hot water place. (Cel Energy Code 160.0 (n.) (n.) and CPC 800.12).
- legistion valves are required for tankings water heaters on the hot and do d supply lines with hose bibtis on each valve, to flush the heat exchanger. (Cal Energy Code 110.3 (3))

ELECTRICAL:

- Electrical service shall be underground for new construction, replacement building, or addition to an aveilife building accesses filtly (60) percent of the gross floor area of the exhipt building. (NIMIX 15.3.2.0.5)

 Edison Company approval is required for mater couldnesses to installation.
- Feld impercors shall review and approve underground service requirement prior to congress placement.
- Service equipment and subpanels shall have a min 30" wice by 36" deep disarwork space. (CDO 110, 28).
- All lighting is required shall be high efficiety. (California anergy code section 150 0 lb) and Taxle 150.0-A.)
- Provice a listed 1-inch receively to accommodate a cedicated 209-240-volt circuit for future electrical validate (IPO) charger, (Cali Green 4,106.4-1)
- All receptable outliers are required shall be listed samper resistant (CEC 406.12 and 200.02)
- Combination type AFCI circuit breaters are required for all 120-vot single phase (5/20 and branch circuits. Expect for ballycoms, pages, and 0.65ces. CEC 210-12).
- A minimum of one declarate 20 amo rimu the required for a bathroom, (CEC 210-11) Crt3%
 - e elementar or insperi trait. (CEC 210.8)
 freque fiscal detail historiazion (OFC) in majureo for al recordación (si instal ad in al amas or bisecercal texts. (CEC 210.6(A)(6))
 Recipionide out ets are not altawad within or over a bashout or shower scall. (CEC 493.9 (G))
- Subpariels are not allowed to be located in balf-rooms or clothes closets. Avoid installing sub-pains in fife well envelope unless the paint is listed, or fire protection is clearly detailed to the constitution of the building official. (IEEE 220.24.10) and IEE.
- Circulus sharing a grounded conductor (neutral) with two ungrounded (not) conductors must use a two-code chould present or an conditied handle de. Group non-cable chould be parel. (OEO 216.4(0)) (OEO 216.4(0))
- The receptable culties that serve kitchen counter tops, diring room, breakfast area, and partiry, must have a min of 2 cadicated 20 area drouts (CEC 216.52 89.19).

- Kitchen counter tops 12 inches or wider must have a receptable outlet. (CEC 210 52/Ctf.)) Kithen counter tope must have receptable out also a no point along the counter wats a more than 24 inches from a receptable. (CEG 210.52 (C)(1))
- Bland and perinjular counter tase must have a) least one receptable. (CEC 210.62(G)) (2),and (3))
- The spacing for general recentacle outlins must be located so that no point or any wall food glass, or subjects a over 6 feet from a recentacle outliet (CEC 210.52/A)(1)) Hallways 10 feet or more must have at least one receptable out at, (CEC 210.52/HT)
- Garages shall have at least one receptable for each car space on the interior. The branch direct sousides of the garage. (CEC 210.52 (CLV))
- 70. Provide 120V repoplable within 3 feet of water heater. (Cal Energy Code 150.0 (n) 1 A.)

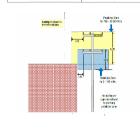
Weep screed for attacco at the four-cetter place the shall be a minimum of 4 inches above the earth of 2 inches above pavels areas. (CRC R703.7.2.1, CBC 2512.1.2)

- Fasterers and connectors (mile, another polits, etc.) in contact, with preserval ve-treated wood shall be of input great proceeding alternated sheet, stainless steel stricts bronze or copper. (ORC 1617.3, DRC 2004.10)
- Andron bottle shall include along plate warriers, a minimum of 0.228° x 3° x 3° in size, between all plate and rur. (CRC R002,11.1 CBC 2308.3, Appaisable a temate SDPWS 4.3.6.4.3;

SOUTHERN CALIFORNIA EDISON SETBACK

FOUNDATION:

New o Charance	Contractions (helicing Open With Carles are Bendes Trojet Supply Service Prips of 5-755 With	Supray Conductors and Bupply Cobb 750—23,522 vo
Vertical common above variable surfaces on buildings, leaving granting plants or automorphism bridges or other structures which so had bed northy support contacting, what or an about or unatterned.	2 Foot	12 Fee:
We total clear and above non-weat so by flaces on buildings, flowage gonerating plants on automizing bridges or other shudt, me without no hall and neity support out that it will not no hall or in support out that it will not a shudther at support out that it was a support of the support out that it was a support of the support out that it was a support of the support out the support of the support out the support of the support out the support out the support out the support out the support out the support out the support out support out support out support out support out support out support out support out support s	8 Feet	8 Feet
Protection describe at a major of real for the draps (expect generaling plants and supprisons). In past of discretions, as a part of the major of the draps	3 Foot	6 Fast





Declaration of AUTHORY R. HERET A MUSICIAN HERESY EMPRESSY RESERVES THE COMMON LAW OPPRIENT AND OTHER PROPERTY DOWNS IN THESE PLANS AND DRAIMES ARE NOT THE PERFORMED, CHAMBED, CAPED IN ANY FORM OR MANURE WANTESCHER WITON PREST CENTRANCE THE DEPRESS WITON PERST CENTRANCE THE DEPRESS WITON PERST CENTRANCE TO THE VIEW ARE THE PERMESSION AND CORRECT. HOR ARE THE TO BE ASSENDED TO MAY THEN DEPRESS WITHOUT SAID WRITTEN CONSENT



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Sheet Title Construction Minimum Requirements



GALAXY



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PROPERTO DE PROCESSOR PROCESSOR. UP TO ROOF UPDER-CUT DOOR AN COMPANY NUMBER TO DURING THE NEWLYSINGS THE PROCESS THAT HAS REPORTED THAT HE REPORTED THAT HAS REPORTED THAT HE REPORTED THAT HAS REPORTED THAT HAS REPORTED THAT HE REPORTED THAT HE PROPERTY HAS REPORTED TH ASSOCIATE PROVIDE AL INSPERIORIPE, MARIO ELECTRO CONTROL AN CONTROL PROMISE AN CONTROL PROVIDED IN AN ASSOCIATION OF THE TAXABLE PROVIDED AND THE SAME PRO NDOOR AIR QUALITY AND EXHAUST BATHOOK EMALOT FALL MIL-VALLE, THALOT FALL RELIEFED IN SOOM CONTAINED A MATHER MALIER, OR THE RECEIPT CONTAINED BALL BE BROWN THAT CORE, AT ADD BALL, THE HART OF THE TALL THAL THAT HE SECOND LID BY A THAN BY ADDRESS. 2 PROVIDE A HEMBOT CONTROL FOR ALL DAY-ROOM BOARD TAKE TO ALICA OCCUPANTUSE AND TO DETERM BUT ALL MO MARKING DETERMENT THE NOSE-BALDRIS PERANCA, VENTLAND, SALL BARD ON SCLAND A-LOS PROMS AND BALDRIS VENTLAND NATIONAL DISCREPSION ALOGENIANO MARK. E.A.A. HOWER FORMERT HAVE MET YEAR NEVER'S FOR NOWING OF INCHESTOR COST MADE AND DISCHOST RESERVED THE STATE OF THE STATE FINE SHAPS METALL DO PREFERMEN, DARRO AND METALED BOLLED A DEPOCATION DE LA CONTRACTION DEL CONTRACTION DE LA CONTRACTIO IL BATTO AND ARE COOK IN AS PARTY SHALL BE RATED AT MINY OF PIR LIED STATED.

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GENERAL NOTES

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BIRD STEEL THATLES AND BLASS OF THE CONFIDENCE.

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CONTRACTOR NOTES

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CALIFORNIA GREEN BUILDING CODE

THE BUILDER IS TO PROVIDE AND OPERATION PARKAL XCO-TABLES INFORMATION PICE. 2. THE SAS PREPLACES ANALL SE DESCRIVER, WOOD STOKE OR PELLET STOKES.

PLET SEERS FOR STANDARD CHARGE ARCHIVES AND ARCHIVES. 3. MATTE AND AC 3 FALL BE MODE AND MELICITED BY ACCA NAVAL JUST, ASHADE MATERIOR OF BEJAY JEHT. THE DUST A 2 TO MALL BY SORD TAKED MEANING A TOMBOTH A DOCUMENT OF A CONTROL OF SORD AND A CONTROL OF A 4 PROR TO PRIS. APPROVAL OF THE IX LETS THE LESTMED CONTRACTION ARCHITECTURE INVOICES THE CARREST OF THE CARREST OF A CONTRACTION TO A STATE CONTRACT A CONTRACT OF THE CARREST AND AND A CONTRACT OF THE CARREST AND A CONTRACT OF THE CARREST AND A CONTRACT OF THE CARREST OF



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION 100 Clivio Centrer Driva | P.O. Boxx 1768 | Newsort Seach, CA 92668-8915 WAS DEVELOPMENT DRIVEN DEVELOPMENT DEVELOPMENT DEVELOPMENT DEVELOPMENT DEVELOPMENT DEVELOPMENT DE

2022 CALGREEN - RESIDENTIAL MINIMUM REQUIREMENTS

- SERMAN, D. 2022 Galferie Green Bulting Sandards Occe (CG) is applicable to all new residentia bultings, instituting but not limited by cheelings, specifient flowers conformation, hotels, and other types of dealings certainly seeping accommodations with a related control science or accomplication in pulsars of the control science or accomplication in pulsars of the CE of
- extract (VLAT(a)).

 2022 Calibria Grean Bulding Stancards Code (CG) is applicable to accilions or aftersions of existing make detail bulding of the the addition or attention increases the outdings conditioned area, volume, or size. The requirements shall apply only to another which the specific area of the addition or alteration (2014.4).

Energy Efficiency

- New ore and fac-family dwallings and townhouses with allicend private garages shall install a later movinal it inch incide clameter receively to accommodate a dedicate 208240 with branch circuit (4.188.41).
- The receivage shall originate at the main service on subpanel and terminate into a listed cabinet box, or endosure in close proximity to the proposed location of an EV charger.
- box or endocure in cose provintly to the proposed scenter of an Exchanger.

 The serials pain of a supparall shall provide opage of serial a minimum 40 empere dedicated branch siculti and scaool reserved for inscalation of a branch crast, to reconstruct processed desice.

 This service pain of a subprior contact indexty self-leftly the exemunator protective devices are secured for false 6% changing as EV CAPABLE.

 If his narrow pier minimum can be the permission of a bity marked as "EV CAPABLE."

Material Conservation and Resources Efficiency

- Annular spaces around pipes, electric cables, conduits, or other openings in soletbottom plates at exterior waits shall be provided against the passage of rocents by closing such openings with coment mortar, connection executive or their similar method. (4-408 ft)
- Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 85% of the northazarridus genetication and demolition waste. (4,488°, 4,408.3)

Water Efficiency and Conservation

- Naw residential developments shall compty with City's water efficient landscape ordinance. (4.394.1, NBMC 14.17)

FIXTURE TYPE	MAXIMUM FLOW RATE
Single Showerheads	1.6 gpm ⊈ 80 psi
Mulliple Showerheads	Combine flow rate of 1.8 opm @80 cs
Residentia Lavatory Faucets	1.2 gpm (\$ 60 ps/2
Common and Public use Lavatory Faucets	0.5 gpm (\$ 60 psi
Kilchen Faucals	1.8 cpm : 8 60 psi
Metering Faugets	0.2 gallons per cycle max mum
Water Closers	1.28 galona fush
Well Mounted Unnal	0.125 gallons/fush
All Other Types of Urinal	0.5 gallons\ush

Environmental Quality

- Nothure content of building materials used in wait and floor framing is checked before enclosure according to one of the folia-ing 14.505.3:
- correng is one or the ordering (4.00.5);

 Moretine content shall be determined with either a probe-type or contact-type moisture meter
 Equivalent maisture verification methods may be approved by the enforcing agency and shall satisfy requirements bound in Socilion 107.9 of this code. Mosture reacings shall be taken at a point 2 feet (810 mm) to 4 feet (1218 mm) from the grade stumped end of each piece to be verified.
- swimper end of each picce to be verified.

 All healt three condom moisture meditings shall be performed on wall and floor fearing with described the occasionable to the antioching agency provided as the time of approval to endoce the wall are floar fearing.
- Aerosol paints and coatings shall meet the Product-weighted MIR Limits for RCC in Section 94522(a)(2) and other toxic requirements in Sections 94522(p)(1) and (f)(1) of the California Code of Regulations, Title 17, Cammerchia with Section 94502 (4,594.2.3).
- Title 17. Commencing with Socials 14500. (4.504-2.3)

 O Cappel air cappe systems shall be complaint with one of the following (4.504.3)

 o Cappel air cap Registration Science Label Pus Program.

 O California Deportment of Pickle Shealth Specification 31353.

 o. MSFMANI 140 of the Gold wind.

 Second Conditionation Systems Indoor Accordage. Gold

 Second Conditionations Systems Indoor Accordage.

- Minham BSs of floor area reserving resident flooring shall compty with one of the following (4.504.4).
 VOC emission limits defined in the Collaborative for High Performence Schools (CHPS) High Performence Product Defacese.
- Performance Product Database.

 b. Products certified under UL GREENGUARD Gold.
- Contribed under the Resident Floor Covering Institute (RFCI) FloorScore program.
 Conforms Department of Public Health Specification 31353.
- 12. Adheritors, scalants and cauks shall be como lant with votable organic compound (VOC) I mits set forti

	ADHESIVE VOC LIMIT 12	
(Less Water and I	Less Exempt Compounds in Gram	s per Liter)

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st ach asker # purpose contact adhesive	250
il puranse contact adhesive uni veod member adhesive no tri achierive	550
ural wood inamber adhesive	80
ns Ir m achesive	250
	140
	250
to metal	30
: foams	50
s material (except wood)	50
	30
lare	80
en les aussits (civil dus millares batutes regerne, he achante with the higher VOC corners de l'ae ellower. Il par viternation aggreting matrots de messe le VOC contentianes les in table, see South Const Air Quality Votings	ment C mid R

SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOCLIMIT
Architemurel	250
Marine deck	780
Normambrane roof	330
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architemural	
Nanaarcus	250
Porous	775
Modified chumnous	500
Marine deck	780
Other	750

Paints, stains, and other coatings shall be compliant with VCC and other toxic compound limits set forth in Table 4.604.3. (4.644.2.2)

COATING CATEGORY	VOCLIM
Fat conlings	50
Norflat coatings	100
Nordet-righ gloss coellings	150
SPECIALTY COATINGS	
Aluminum roof coatings	403
Besement specialty coelings	403
Shuminous roof coatings	50
Bhumirous roof primers	353
Bond breakers	350
Doncrete curing compounds	350
Concrete/mayor ry sealers	103
Dryawwy sea ors	50
Dry fog soetings	150
aux finishing coatings	350
re resettive ccettings	350
cor contage	103
orm-release compounds	250
3raphic arts confines (sign paints)	500
-ligh temperature coatings	423
ndustrial maintenance coatings	253
Low notion continos!	120
Vacneshe cement coatings	453
Vastic texture coatings	103
Vetallic planemed coatings	500
Vulficelor coalings	253
Prezentment wiish primers	423
Primers, septers, and undercoaters	103
Reactive penetrating sealers	350
Recycled contings	250
Roof coatings	50
Rust proventative coarings	253
Shafaca	
Clear	733
Opaque	550
Specially primers, sealers and undercoaters	103
Stains	253
Stone conso idants	453
Swimming pool ocetings	340
raffic marking coalings	103
Lib and the refinish coatings	423
Waterproofing membranes	253
Vocc contings	275
Vocc preservatives	350
2 nc-rich primers	343

the building shall comply with low formaldehyde emission standards as set forth in Table 4,504,5 belo
(4.504.5):

PRODUCT	LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Parickboard	0.09
Medium density fiperboard	0.11
Thin medium density fiberogard?	0.13

- 15. At duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the building inspector for reduce the amount of water, dust and cable, within may enough the system until first samp of the PVAC aquitment. (4 (304.1)
- Ballmorn exhaust fans shall be ENERGY STAR complian; and be dudge to terminate outside he building. Unless functioning are a component of whole nouse verifiable system fans must be confolided by a humility, control cashed of adjustment between a neighbor humility range of less than or equal to 60% to maximum 60%. (4,50%).
- Bittabalih hetal bos and haal pain valuas according to ANSI/ACCA 2 Varual J2016 (Residential Loss Carolision), ASHARE fandbocks or equivalent deelin software or methods.
 Bitta duti system according to ANSI/ACCA 1 Manual D2016 (Residential Duti Systems), ASHARE handbocks or definition of color equivalent ceeting software or methods.
- Select, hearing and cooling ecclipment according to MSI/ACG 3 Manual S-2014 (Residential Equipment Selection) or other equipment design software or methods.

Installer and Special Inspector Qualifications

- HVAC system installers shall be trained and partition or work under direct supervision of trained and partition installers in the proper installation of HVAC systems. (702.1)
- HVAC special inspectors must be qualified and able to demanstrate competence in the discipline they are repecting. (102.2)

Documentations

- 0. An operation and maintenance manual, CD, web-based reference or other approved media shall be provided by the auticer to the building occupant or extend the final inspection. It shall include operation and maintenance instruction of the sociational applicance. (4.4.10.1):
- 21. Documentation shall be provided to verify that finish meterials used compty with VOC limits as set forth in Tables 4,504.1, 4,504.2, 8,4,504.3, (4,504.2.4)
- Documentation shall be provided to verify that composite wood products used compty with formation were limits as set forth in Tables 4,204.5, 14,904.5.1;
- Documentation which shows compliance with CAL Green code including construction occuments, plans, specifications, au der or instaler certification, and inspection records and verification shall be available at the final inspection. (793.1)
- 24. CAL Green Documentation Compliance Certification form (City form) is required to be submitted to the fluiding Imagecon prior to final building inspection. (703.1)



Declaration of ANTHONY B. THERET & MASONS HERESY EMPESSAY RESERVES THE COMMON TO OPPRIENT AND DIESE PROPERTY ROHIS TO BE FERSONCES, CHANGES, COPED IN ANY FORM OR MANUER WHATSCEVER W/K FIRST CRITAMING THE EMPESS WITH FIRST CRITAMING THE EMPESS WITH FRESCHICK AND COUGSINE. NOR ARE TH



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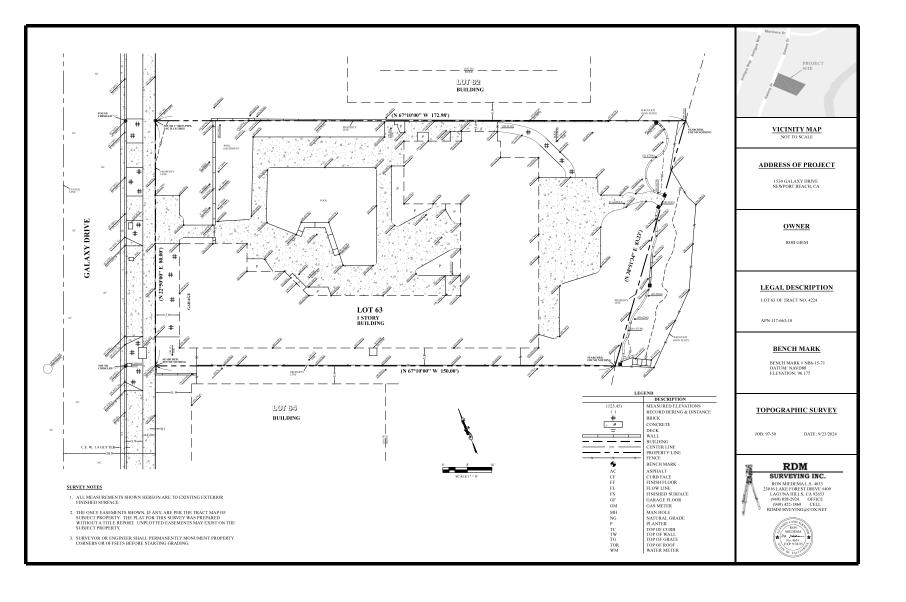


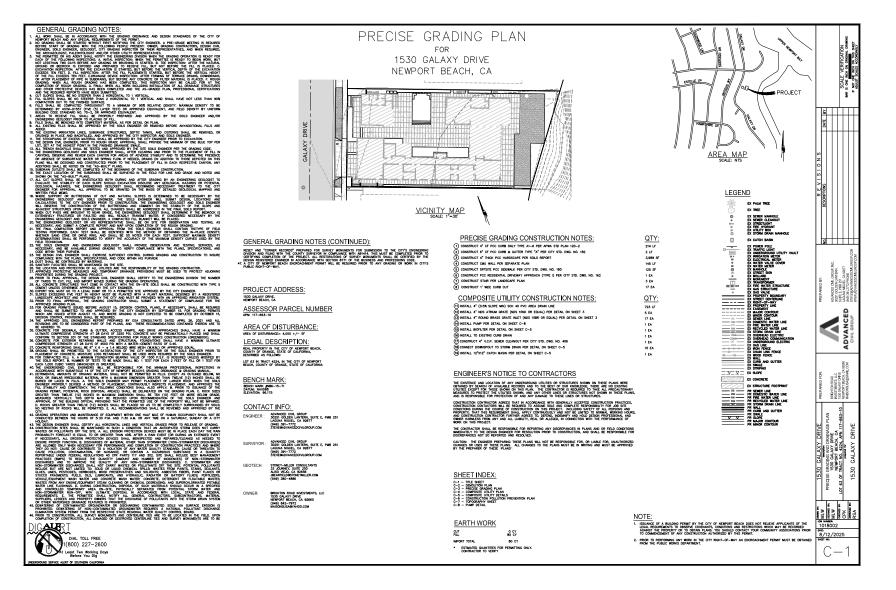
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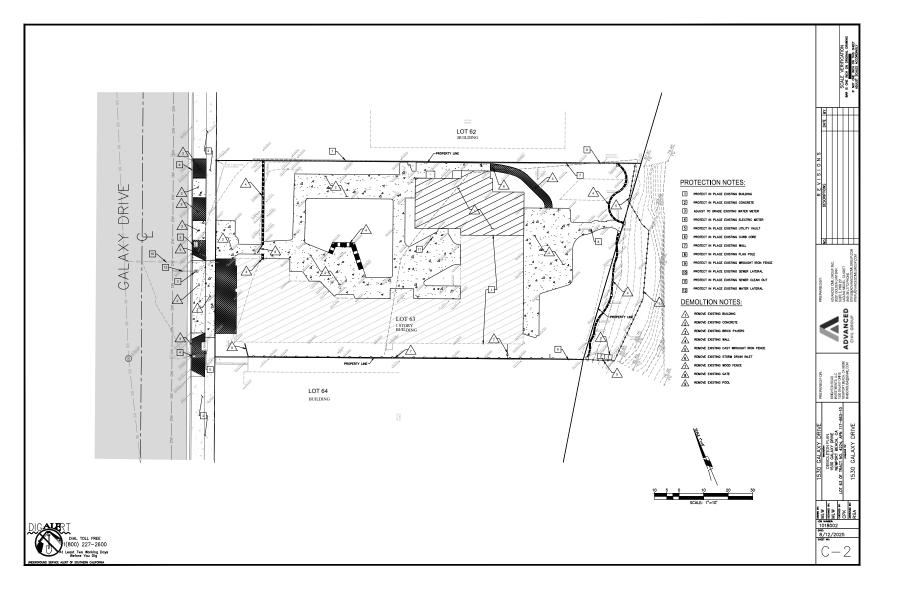


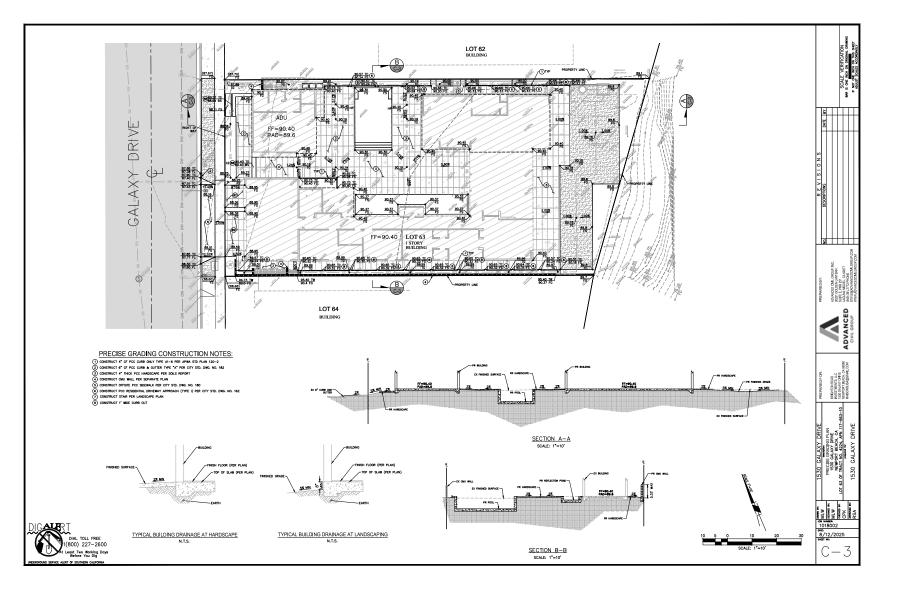
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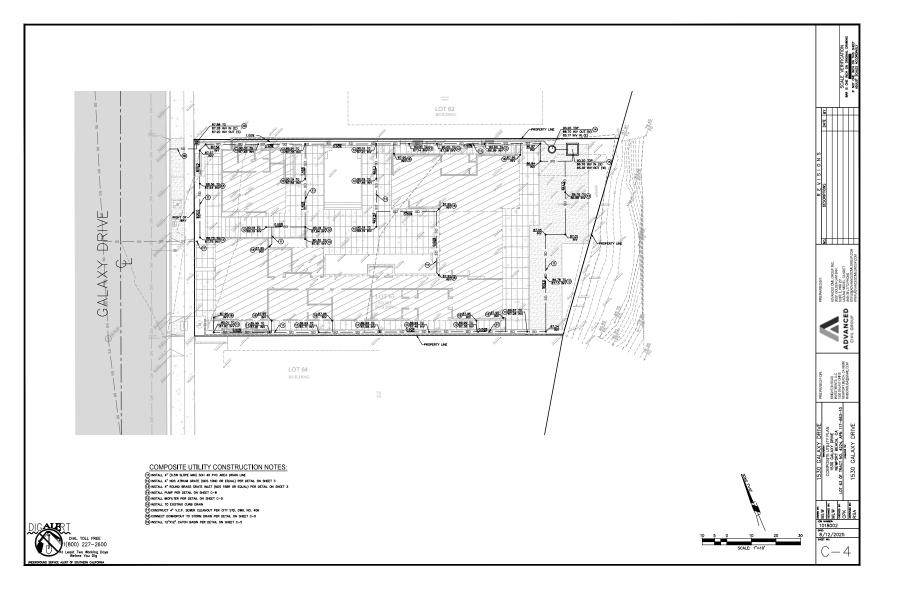
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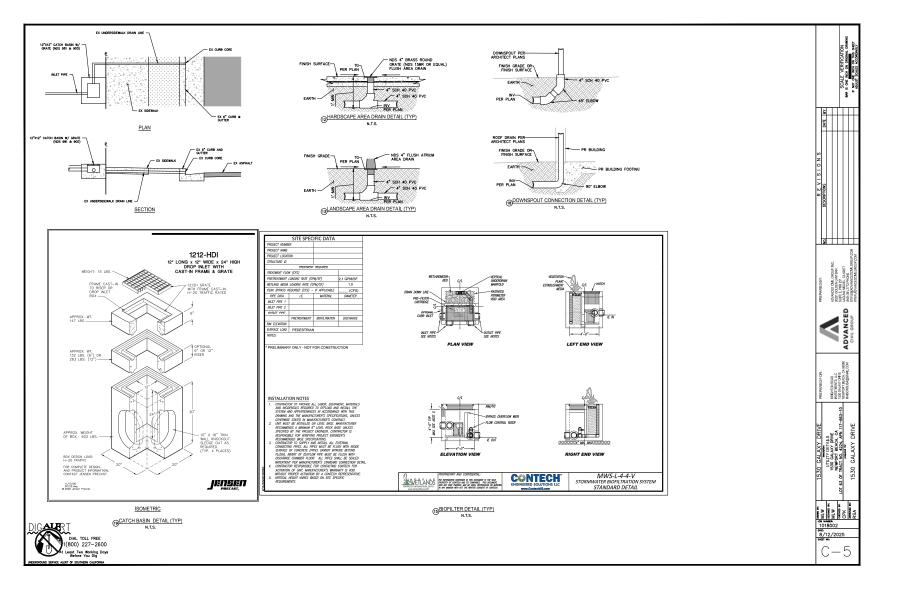














THE SERVE RECOMMENDATIONS IN THE SERVET SHOULD BE RE-CAULATED DEBUNE THE REMAIND PARKS WHEN THE SOM CONTROLLED IN THE CONVENIONS SECOND FORCES, WE CONSIDER THAT THE ARTITIOPATED GRADING MUL. NOT ADVERSELY AFFECT, NOR RE-AFFECTED BY ADDINANCE PROPERTY, WITH DUE PRECOMMENDED TAXES, ALL, GRADING STANDARD GRADING GUIDELINES IN APPENDIX E, AND THE GRADING CODE FOR THE CITY OF NEWFOR SEACH.

OUR EVALUATION INCLUDED THE CONSIDERATION OF MULTIPLE ALTERNATIVES TO PROVIDE SUFFICIENT STABILITY FOR THE SUBJECTED PROPERTY. THE PRIMARY OPTIONS CONSIDERED

LATERAL STABILITY CASSONS MAY BE CONSTRUCTED TO UNDERPIN THE EXISTING FOUNDATIONS ALONG THE SLOPE FACING DODE OF THE EXISTING RESIDENCE. THIS ALTERNATIVE OWN PROVIDES MEMORYDD STABILITY TO THE EXISTING RESIDENCE RECOMMENDATIONS AND DESIGN CRITERIA FOR THE STRUCTURAL CASSON ELEMENTS ARE PRESENTED IN THE FOLLOWING TEXT.

2. PROPOSED LATERAL STABILITY CAISSONS ALONG PROPERTY LINE

CONTROL LATERAL STRAILTY CARSONS CONNECTED BY A GRAVE BEAUT ALKNO THE AT THE DOC OF PROPERTY RESIDENCY WHAT THE DOC OF THE ELETT. THE ALTERNATIVE WAS DETERMINED TO BE THE PROFESSED ALTERNATIVE, CONSIDERING SITE TOPOGRAPHY AND STREAMS STRAILTY FOR THE EXISTING RESIDENCE BUT ALSO PROVIDES ADEQUATE STRAILTY WITHIN THE PROPERTY LIGHT.

3. SOIL ANCHORS

OTHER STRUCTURAL MEANS TO STABLIZE THE PROPERTY INCLUDING THE IMPLEMENTATION OF TREACY ANCHORS HERE CONSIDERED, HOWEVER, BASED ON OUR EDIFIERCE IS THE PROPERTY OF THE PROPERT

CONSTRUCTION SEQUENCING

CONSTRUCTION SHOULD BE INITIATED WITH THE REMOVAL OF UNSUITABLE MATERIALS INCLUDING THE DEMICITION AND REMOVAL OF EXISTING IMPROVEMENTS IN AREAS TO ALLOW FOR CONSTRUCTION EQUIPMENT TO ACCESS. STABILIZATION SHOULD START WITH THE DRILLING AND CONSTRUCTION OF CASSON SHEAR PRISONCE THE CAISSONS ARE INSTALLED AND THE SITE IS STRUCK, STANDARD CONSTRUCTION CAN BE WIRELENDED.

GRADING AND EARTHWORK

THE STE SHOULD BE CLEARED OF EXISTING VEGETATION, ORGANIC MATTER, DEBRIS, RUBBLE AND ANY BRIDGE DISTRICTIONS, ZULENING AND GRUBBLES SHOULD DETENDE TO THE DEBRIS SHOULD STEAD TO THE STATE OF THE STATE

BIOGRAPHICO CESSONOS, SERAMA PIRA OTRANSCIO PLAS. F DOCUMENTO, SERAMA PIRA OTRANSCIO PLASSONOS SERAMA PIRA OTRANSCIONAS PIRAS E SERAMA PARA OTRANSCIONAS PERMANENTAS PERMANENT

2. REMOVAL OF EXISTING IMPROVEMENTS AND UNSTABLE MATERIALS

AL DELITIONS MATERIAL NOLUME DIMALIDE COMPA NO. CONCETT RISSECTION OF THE CONCETT RISSECTION OF

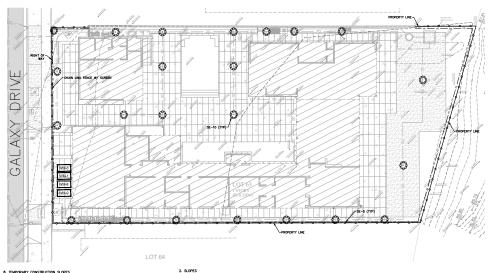
UNSUITABLE MATERIALS SHOULD BE REMOVED TO EXPOSE A COMPETENT BOTTOM PENDING REVIEW OF OUR FIELD GOLOGIST. THE OVER-EXCAVATION SHOULD EXTEND LATERALLY AN FOLIVAL BUT HORPZONTAL DISTANCE MATCHING THE REPORT OF EXCAVATION.

MATERIALS THAT ARE CONSIDERED UNSUITABLE SHOULD BE EXCAVATED AND REMOVED UNDER CONTINUOUS DESERVATION BY THE RECOMMENDATIONS OF THE GOOTIC MICE. RECOMMENDATIONS OF THE GOOTIC MICE. REMOVAL DEPTH SHOULD BE THAN BE SHED ON DESERVATIONS DIRECT ORGANIC BY THE SOLUL BEHAVE AND/OR THOMESERIO CECLOGIST. UNSUITABLE MATERIALS THAT WILL REQUIRE OWER-DECAVATION AND EDUCISED BELOW.

ALL CONCRETE IMPROVEMENTS LOCATED WITHIN THE STABILIZATION AREA SHOULD BE STRUCTURALLY SUPPORTED WITH PILE FOUNDATIONS AND/OR SOIL ANCHORS. 7 LITHITY TRENCH BACKELL

UTILITY TRENCH BACKFILL CONSISTING OF THE ON-SITE MATERIAL TYPES SHOULD BE PLACED BY MECHANICAL COMPACTION TO A MINIMUM OF 90 PERCENT OF THE LABORATORY MAXIMUM BORSTY. TRENCH BACKFILL SHOULD BE PLACED IN ACCORDANCE WITH APPENDIX





THE GAMES OF THEFORMY CONSTITUTION SCIPS CAN CHEAT TWO POTENTIALS OF THE CANONIC OF THE CANONIC CONTINUES OF THE CANONIC SLOPE SETBACK

THE BOTTOM OF FOUNDATIONS SUPPORTING NEAR OR ON-SLOPE STRUCTURAL IMPROVEMENT SHOULD BE EMBEDDED A MINIMUM OF H/3, WHERE H IS THE HEIGHT OF THE SLOPE, OR 40 FEET, WHICHEVER IS LESS. HARDSCAPE DESIGN AND CONSTRUCTION

HARDSCAPE IMPROVEMENTS MAY TITLIZE COMPENTIONAL TOARDITIONS DIRECTED IN THE MACROSPACE WITH THE RECOMMENDATIONS PERSON TO HERDIN. TOTHNICS SHOULD BE EXCEPTED HERDIN. TOTHNICS SHOULD BE DEBEDED AN ARMOND OF IN HORSE BELOW PROMPED DEPOSIT OF THE TAY OF THE TOTHNICS SHOULD BE OWNED IN THE TOTHNICS SHOULD BE OWNED IN THE TOTHNICS SHOULD BE OWNED IN THE TOTHNICS AND AND ARMOND OF THE THE TOTHNICS AND AND ARMOND OF THE THE TOTHNICS AND THE TOTHNICS A

FATHER CLEATE SIGLIC E.A. MARKAL & RINGS 1905. (CCT.M.). AND SERVICES THE CONTROL OF THE CONTROL

FINISHED GRADE AND SURFACE DRAINAGE

FIGURE OFFICE SOLUL ASSET THAT NO WILE PROJET IN THE CONTENT OF FORTESS.

FROMUNC DESIGN ACCOUNTED WITH CLATFORM BUILDING COST. STEED AND IS SECURED. BOTH SHALL BE QUITTERE AND DECLARACE CONDUCTED AWAY FOUND BUILDING CONTENT OF THE CONTENT OF THE

SLOPE MAINTENANCE GUIDELINES

1 DRAINAGE DEVICES

GRADED BERMS, SWALES, AREA DRAINS, AND SLOPES ARE DESIGNED TO CARRY SURFACE WATER FROM PAO AREAS AND SHOULD NOT BE BLOCKED OR DESTROYED. WATER SHOULD NOT BE ALLOWED TO POND IN PAO AREAS, ON OVERTOP AND FLOW DOWN-GRADED OR NATURAL SLOPES. SOURCES OF UNDITROLLED WATER, SUCH AS LEAY WATER PIESS OR DRAINS, SHOULD BE REPAYMEND.

DEVICES CONSTRUCTED TO SHAM AND PROTECT SLOPES, NOLLGING BROW DITCHES, REASE, AND IN PARTICULAR SHOULD HOT SEA ALLONED TO CLOS SLOCH HAT WATER COM-TRANS AND IN PARTICULAR SHOULD HOT SEA ALLONED TO CLOS SLOCH HAT WATER COM-TRANS WAS SLOPE FACES. SHOWN WILLIAM SHAPPOWER PROTECTION FOR SHAPPOWER PRO-CENSION PROTECTION OF SHAPPOWER SHAPPOWER PROTECTION FOR SHAPPOWER PRO-CENSION PROTECTION OF SHAPPOWER SHAPPOWER SHAPPOWER PRO-

SLOPES IN THE SOUTHERN CALIFORNIA AREA SHOULD BE PLANTED WITH APPROPRIATE DROUGHT-HESSTANT, DEEP-ROOTED VEGETATION AS RECOMMENDED BY A LANDSCAPE ARCHITECT. SLOPES SHOULD NOT BE OVER-RINGALED, HEAVY GROUND COVER COMBINED WITH OVERWATERING IS A PRIMARY SOURCE OF SUMPICIAL SLOPE FAILURES.

ANNAL BURROWS CAN SERVE TO COLLECT NORMAL SHEET FLOW ON SLOPES CAUSING RAPPD AND ESTRUCTIVE RORSON. BURROWS SHOULD BE CONTROLLED OR ELIMINATED. MODIFICATION SLOPES, NICLIDIAC ALL PACKEDIST OF FILM MATERIALS OF ELECATIONS OF EL

PRE-GRADE MEETING

PRIOR TO THE COMMENCEMENT OF GRADING, A PRE-1/08 CONFERENCE SHOULD BE HELD WITH REPRESENTATIVES OF THE OWNER, CONTRACTOR, ARCHITECT, CIVIL. BIOMEER, COCCOSTA, HOW BUILDING OFFICIAL TO LARGE ANY OUSSTONS RELATING TO THE WINDOWN OF THE RECOMMENDATIONS OR ADDITIONAL RECOMMENDATION, AND TO ESTABLISH OF SUFFICIENT SECURIOR.

OR SERVICES WERE PREFUNDED USES THE DESCRIPT OF USE AND SELL DESCRIPTION OF THE DESCRIPTI

AS HOST PRICEIT, CONDITION SEVENDE PER ECONATION MAY BE AT VARIABLES, THE PRESENTANT PROJECT SCALE DISCRETE AND GOLDONY HAD DESIGN GOLDONY HAD THE PROJECT SCALE DISCRETE AND GOLDONY HAD DESIGN GOLDONY HAD RECOVERED BY THE PROJECT SCALE DISCRETE AND GOLDONY HAD DESIGN GOLDONY HAD

THE FIRM DOES NOT PRICINE OR CORRECT HIS PER PAGE OF THE PER P

ADDITIONAL BMP NOTES:

THE FOLLOWING BEST MANAGEMENT PRACTICES ARE TO BE

VEHICLE AND EQUIPMENT CLEANING
VEHICLE AND EQUIPMENT FUELING
VEHICLE AND EQUIPMENT MAINTENANCE

NOTES:

EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING RAINY SEASON (NOVEMBER 1 TO APRIL 15), NECESSARY MATERIALS ASSOCIATED WITH EROSION CONTROL SHALL BE STORED ON SITE AND AVAILABLE FOR INSTALLATION AT ALL TIMES.

EROSION CONTROL LEGEND:

THE FOLLOWING BEST MANAGEMENT PRACTICES ARE TO BE ABBED WITH IN ACCORDANCE TO THE LATEST CALIFORNIA STORMWATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK ("CASQA BMP HANDBOOK")

SE-1 SILT FENCE

CHAIN LINK FENCE W/ SCREEN AND GRAVEL BAG BERM

OCCOO SE-6 GRAVEL BAG BERM (2 HIGH W/ 2:1 STACKING)
PER CASQA BMP HANDBOOK

0 SE-10 STORM DRAIN INLET PROTECTION PER CASQA BMP HANDBOOK

TEMPORARY CONSTRUCTION ENTRANCE WITH 3" TO 6" ROCK OVER FILTER FABRIC DEPTH=8" AND RUMBLE PLATES PER CASQA BMP HANDBOOK

> SE-7 STREET SWEEPING

WM-3 STOCKPILE MANAGEMENT PER CASOA RMP HANDROOK MATERIAL DELIVERY AND STORAGE PER CASOA RMP HANDROOK

TEMPOPARY CONCRETE WASHINGT DEP CASOA BUR HANDROOK

SANITARY MANAGEMENT (PORTABLE TOILET) WM-9 WE-1 WE-1 WIND EROSION CONTROL PER CASQA BMP HANDBOOK

WM-3 WM-1 WM-8 WM-8



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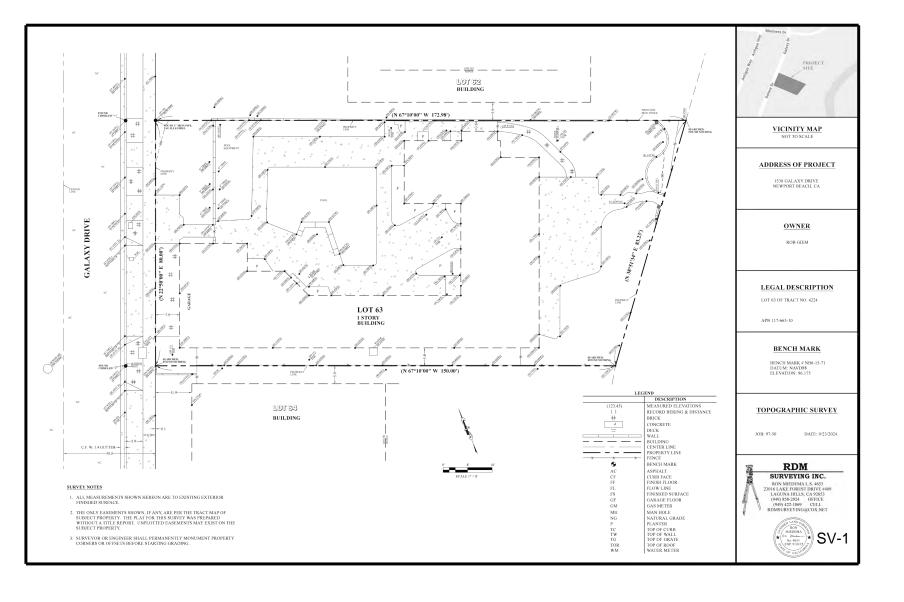
ADVANA SUITE E SUITE E (949) 39

COM

BRIGHTON ROAD INVESTMENTS, LLC 1500 GALAXY DRIVE NEWPORT BEACH, CA 928 MASOWSUSABJOWAL, CC

CONSTRUCTION PLANTY DRIVE
CONSTRUCTION PLANT DRIVE
1300 CALAXY DRIVE
LOT 62 OF TREET TO THE CONSTRUCTION PLANT DRIVE
1530 CALAXY DRIVE





PACKAGED STORM PUMP LIFT STATION

GALAXY DRIVE, NEW PORT BEACH, CA

Furnish and install complete pre-packaged duplex Lift Station model #PSI-ADV081125 as manufactured by Pacific Southwest Industries (national phone # 800-358-9095)

This pre-particupal. It Station shall incorporate space in convent system mountainment by the pump numericature. The youngs is that the guided to the discharge bear ellow to a might of could be guided and set all set beliens set and are shall entered from the discharge bear ellow to be passed upon a set of the section of the set of the section of th

PLMMS):
Thermak and mstall Tearumi, VANC's series submersible pump(s). Each unit shall be shall be designed to pump waste water, sewage or effluent containing 1.5-inch (60mm) diameter solids without damage sharing operation. The pump(s) shall be designed so that the shall power required (BHP) (kW) shall not exceed the motor rated output introorplout the entire pension grave of the proper performance ourse. An Any-per warmanty or of the box of salls be standard.

MATERIALS OF COMSTRUCTION.

Construction of imaging particle instances purpose are presented in the present particle production of imaging particle production of imaging particle production of produ

MODIO.

Motors) fault have a 1.5 service factor and shall be raised for 6 starts per hour. Motors(s) shall be air filled, copper wound, class E-insulated with built-in harmal protection.
Motor shall that lib 4 6/3 staintees steel and shall be supported by two permanently ubstrained, high temperature buil bearings, with a 8-10 file rating at beet efficiency point of 60000 hours. The bearings shall be suited not, odube shalleds, Clase group very built bearings. General guest halb be roiled cachino start of autinum die casting.
Motor housing shall be 3/4 stainless steel. Motors shall be suitable versable speed applications, utilizing a properly sized versable frequency drive.

POWER CASE AND CASE ENTRANCE.
The purp power distributes that its actional for incharge and provided from the property of the purp power distributes that its actional for incharge power distributes and the case from the provided provided from the provided provided

Coffee EMOVAL SYSTEM.

The pumping untils is startled by the development of the pumping until advantationally connect to the discharge oping when lowered in place to the descharge connector. There shall be no need for personnel to enter the well well to accomplish installation or removal of the pumping. The pumping untils is that the equal be the descharge connector. There shall be no need for personnel to enter the well well to accomplish installation or removal of the pumping. The pumping untils is that be fitted with startless select litting chains) of sufficient length and starting his personnel the entire and between of the untils. The chainst is shall be the pumping until and the chainstage connection shall be accomplished by a single linear downward motion of the pumping until and the forting the pumping until guided by a pass, thereby wedging the pumping until guided by a pass, thereby wedging the pumping until guided as a load and consideration of the pumping until guided by a pass, thereby wedging the pumping until guided and a load and consideration of the pumping until guided by a pass, thereby wedging the pumping until guided of the pumping until guided by a pass, thereby wedging the pumping until guided of the pumping until guided by a pass, thereby wedging the pumping until guided pass that a load are guided by a pass, thereby wedging the pumping until guided and a load and a load

FBEROLASS WET WELL

FBEROL

COVERIS:
The well well cover shall always be gasketed and boiled to the rim flange of the fiber glass tank using 7/16" stainless steel hex head boilts unless the cover is to be in a H20 and stand location. The two of material to be used for the cover shall be as indicated on this plan sheet.

DIPLEX ALTERNATING CONTROL PANEL:

The diplex control panel, as a minimum, shall include the appropriate enclosure lype for the environment it is to be installed in and should include the following. Motor staters, motor circular productors or variable frequency drives (PFD), pump run midicator(s), operation selector switch(s), high water alarm and fight, silence switch, dry contact for alarm, numbered terminals for all incoming power, pump motor(s) and level controls. The control panel shall be UL isted 508 or 913.

