



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

October 30, 2025
Agenda Item No. 5

SUBJECT: DeFranco Residence
▪ Coastal Development Permit No. (PA2025-0088)

SITE LOCATION: 2772 Circle Drive

APPLICANT: Pat Austin

OWNER: Joey and Victoria DeFranco

PLANNER: James Miclat, Planning Technician
jmiclat@newportbeachca.gov, (949) 644-3202

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single-unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** RSD-B Single Unit Residential Detached - (6.0 - 9.9 DU/AC)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A coastal development permit (CDP) to allow for the construction of a 709 square-foot addition and interior remodel to an existing single-unit residence. The addition is for two new bedrooms, two new bathrooms, a new laundry room and the expansion of the existing storage room. The project also includes an interior remodel to the existing kitchen and bathrooms. The project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. __ approving Coastal Development Permit No. PA2025-0088 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, as it involves the increase of more than 10% of floor area within the coastal zone, while not being located within the Categorical Exclusion Area and located between the sea and first public road paralleling the sea.
- The property currently consists of one legal lot developed with a single-unit residence. The neighborhood is predominantly developed with single-family housing. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.



Figure 1: Oblique Aerial Image of Neighborhood

- The proposed single-unit dwelling conforms to applicable development standards, including floor area limit, setbacks, and height as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front	10 feet	10 feet
Sides	3 feet	3 feet
Rear	10 feet	10 feet
Allowable Floor Area (max.)	5,120 square feet	3,373 square feet
Open Space (min.)	384 square feet	1,122 square feet
Parking (min.)	2 car garage	2 car garage
Height (max.)	24-foot flat roof 29-foot sloped roof	23-foot 6-inch sloped roof

- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Public Access and Views

- The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project is an addition and interior remodel to an existing single-unit residence located on a standard R-1 lot. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The project site is not located adjacent to a Coastal View Road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest Coastal View Points are located at Castaways Park, which are not visible from the site as they are located approximately 1,300 feet northeast of the Property. As currently developed, the existing property and other residences along Circle Drive are located within the view shed of the park. However, the proposed single-unit residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern

of development. Additionally, the project does not contain any unique features that could degrade the visual quality of the coastal zone.

- Vertical access to the bay is available nearby the property at the Crestview Drive Street end at 2400 Bayshore Drive. Lateral access to the bay is available on the Bay Shore Drive through a marina at 2550 Bay Shore Drive and a small beach at 2694 Bay Shore Drive. The project does not include any features that would obstruct access along these routes.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 1 exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. Examples include interior or exterior alterations and additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures or 2,500 square feet, whichever is less. This project consists of a 709 square-foot addition and interior remodel to an existing 2,818 square-foot single unit residence. Therefore, the project is eligible for the Class 1 exemption.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



James Midlat, Planning Technician

DL/jmic

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT FOR AN ADDITION TO AN EXISTING SINGLE-UNIT RESIDENCE LOCATED AT 2772 CIRCLE DRIVE (PA2025-0088)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Pat Austin (Applicant) on behalf of Joey DeFranco (Owner) with respect to property located at 2772 Circle Drive and legally described as Lot 33 of Tract 1014 (Property) in the City of Newport Beach, requesting approval of a coastal development permit (CDP).
2. The Applicant requests a CDP to allow for the construction of a 709 square-foot addition and interior remodel to an existing single-unit residence. The addition is for two new bedrooms, two new bathrooms, a new laundry room and the expansion of the existing storage room. The project also includes an interior remodel to the existing kitchen and bathrooms. The project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested (Project).
3. The project requires a CDP as it involves the increase of more than 10% of floor area within the coastal zone, while not being located within the Categorical Exclusion Area and located between the sea and first public road paralleling the sea.
4. The Property is designated Single-Unit Residential Detached (RS-D) by the General Plan Land Use and is located within the Single-Unit Residential (R-1) Zoning District.
5. The Property is located within the Coastal Zone. The Coastal Land Use Plan (CLUP) category is RSD-B Single Unit Residential Detached - (6.0 - 9.9 DU/AC) and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.
6. A public hearing was held on October 30, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15301, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities) because it has no potential to have a significant effect on the environment.
2. Class 1 exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment,

or topographical features, involving negligible or no expansion of existing or former use. Examples include interior or exterior alterations and additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures or 2,500 square feet, whichever is less. This Project consists of a 709-square-foot addition and interior remodel to an existing 2,818-square-foot single unit residence. Therefore, the Project is eligible for the Class 1 exemption.

SECTION 3. REQUIRED FINDINGS.

By Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 5,120 square feet. The existing floor area of the property is 2,818 square feet and the new square footage with the proposed improvements will increase the existing residence to 3,528 square feet. Therefore, the Project complies with the maximum square footage allowed.
 - b. The Project provides the minimum required setbacks, which are 10 feet along the front property line abutting Circle Drive, 3 feet along each side property line, and 10 feet along the rear property line abutting the alley. The Project will conform to the required setbacks.
 - c. The Project includes an addition within the second floor of the residence and includes a new roof which does not exceed the existing roof line. The highest ridge is 23.5 feet from established grade, which complies with the maximum height requirements.
 - d. The project includes garage parking for a total of two vehicles, complying with the minimum two parking requirements for single-unit residences with less than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with two- and three-story single-unit residences. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development.
3. The Project is located on an inland property in a developed area approximately 260 feet from the bay. The Property is separated from the bay (the nearest body of water) by two rows of residences and Bay Shore Drive. The finished floor elevation of the first floor of the structure is 15.1 feet based on the North American Vertical Datum of 1988

(NAVD88), which complies with the minimum 9.0-foot (NAVD88) elevation standard for new structures. The identified distances from the coastal hazard areas coupled with the 15.1-foot NAVD88 finish floor elevation will help to ensure the project is reasonably safe for the economic life of the structure.

4. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
5. The Property is not located adjacent to a Coastal View Road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest Coastal View Points are located at Castaways Park, which are not visible from the site as they are located approximately 1,300 feet northeast of the Property. As currently developed, the existing property and other residences along Circle Drive are located within the view shed of the park. However, the proposed single-unit residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Additionally, the Project does not contain any unique features that could degrade the visual quality of the coastal zone.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the Project is an addition and interior remodel to an existing single-unit residence located on a standard R-1 lot. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. Vertical access to the bay is available nearby the Property at the Crestview Drive Street end at 2400 Bayshore Drive. Lateral access to the bay is available on the Bay Shore Drive through a marina at 2550 Bay Shore Drive and a small beach at 2694 Bay Shore Drive. The Project does not include any features that would obstruct access along these routes.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit filed as PA2025-0088, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 LCP Implementation Plan, of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 30TH DAY OF OCTOBER 2025.

Benjamin M. Zdeba, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
3. Demolition beyond the approved scope of work requires planning division approval before the commencement of work. Approval of revisions to project plans is not guaranteed. Any changes in the current scope of work may require the entire structure to be demolished and redeveloped in conformance with the current Zoning Code Development Standards.
4. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
5. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
6. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.

7. Debris from the Project shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
8. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
9. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
10. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
11. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this CDP.
12. This CDP may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
13. *Before the issuance of building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
14. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
15. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control), under Sections 10.26.025 (Exterior Noise Standards) and 10.26.030 (Interior Noise Standards), and other applicable noise control requirements of the Newport Beach Municipal Code (NBMC).
16. Before the issuance of the building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
17. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.

18. This Coastal Development Permit No. PA2025-0088 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
19. To the fullest extent permitted by law, the Applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **DeFranco Residence, including but not limited to Coastal Development Permit No. PA2025-0088**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of the City's costs, attorney's fees, and damages that which the City incurs in enforcing the indemnification provisions set forth in provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Fire Department

20. The Project shall require the installation of fire sprinklers and comply with the 2022 NFPA 13D standards, unless otherwise directed by the Fire Department.

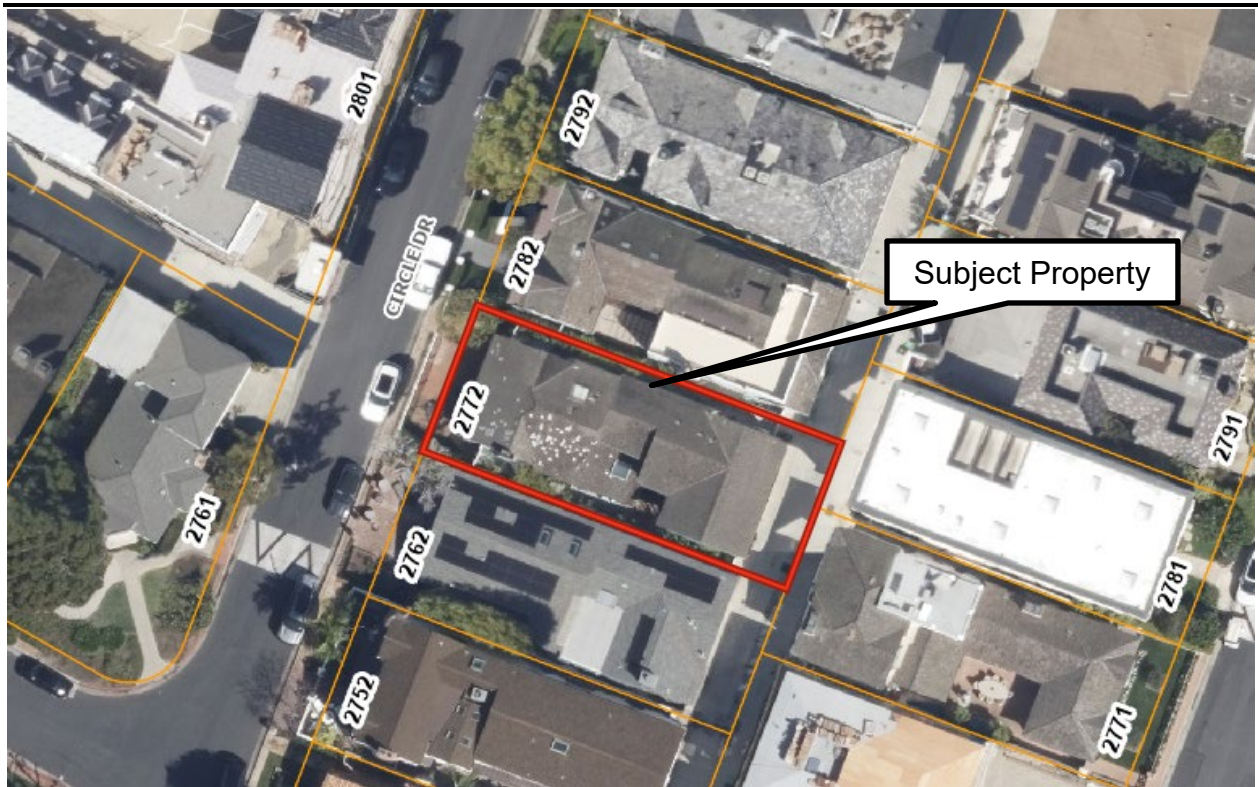
Building Division

21. The Applicant shall obtain all applicable permits from the City's Building Division and Fire Department. The construction plans shall comply with the most recent City-adopted version of the California Building Code (CBC).

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. (PA2025-0088)
2772 Circle Drive

Attachment No. ZA 3

Project Plans



CITY OF NEWPORT BEACH COMMUNITY DEVELOPMENT DEPARTMENT BUILDING PERMITS DIVISION 100 Civic Center Drive (P.O. Box 1788) Newport Beach, CA 92663-8915 www.newportbeach.org (949) 446-3200

**ACKNOWLEDGMENT OF NO CONSTRUCTION-RELATED NOISE
ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS**

On June 11, 2019, the City Council adopted an ordinance restricting construction-related noise on Saturday in High Density Areas effective August 12, 2019.

I acknowledge that any construction-related noise, including, but not limited to operating power equipment or machinery in a manner that produces noise is not allowed on Saturday or Sunday in High Density Areas in accordance with Newport Beach Municipal Code 16.28.040. As the owner of the property, I am responsible to ensure all persons working on the property comply with this provision of the Newport Beach Municipal Code.

Project Address: 2772 Circle Drive

Permit Number: 1900000000

Owner's Name: Jose Luis Franco Marston

Owner's Signature: [Signature]

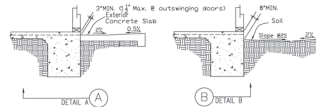
Contractor's Signature: [Signature]

Date: 08/15/19

Form ND-001 (Rev. 01/18/19) - Acknowledgment of No Construction-Related Noise

DRAINAGE NOTES

- All work shall conform to Chapter 15 of the Newport Beach Municipal Code (NBMC).
- Work hours are limited from 7:00am to 6:00pm, MONDAY through FRIDAY, 8:00am to 6:00pm SATURDAYS, and NO WORK ON SUNDAYS AND HOLIDAYS per section 16.28.040 of the NBMC.
- Noise from excavation, delivery, and removal shall be controlled per Section 10-28.400 of the NBMC.
- The stamped set of approved plans shall be on the job site at all times.
- Drainage systems shall be designed to retain concentrated and surface sheet flow from dry weather and runoff and minor rain events within the site, NBMC 15.10.140.
- Failure to request inspections and/or have removable erosion control devices onsite at the appropriate times shall result in stop work order.
- No paint, plaster, cement, soil, mortar or other residue shall be allowed to enter streets, gutters, or storm drains. All material and waste shall be removed from the site, NBMC 15.10.020.
- Between October 15 and May 15, erosion control measures shall be in place at the end of each working day whenever the five-day probability of rain exceeds 20 percent. During the remainder of the year, they shall be in place at the end of the working day, whenever the daily rainfall probability exceeds 50 percent, NBMC 15.10.140.
- Separate building permits are required for free-standing structures (Fences, Retaining Walls, Gabions, Piers, etc.).



SIDE YARD SWALE AND SILL PLATE CLEARANCE

PROJECT INFORMATION

Project Description
Remodel and addition to existing 2-story single-family residence
Remodel kitchen, master bath, secondary baths, and replace windows
Addition of 1 bedroom, 1 bath, laundry room and garage area

Legal Description
Lot 33, Tract 1014, MM 33/31 APN: 049-192-27

Project Data
Occupancy: R-3, U (non-sprinklered)
Construction Type: V-B
Zoning Designation: R-1
Special Hazards: Liquefaction Area

Lot
Total Lot Size = 4,000 sf
Buildable Area = 2,560 sf
Floor Area Limit (2x Buildable Area) = 5,120 sf Max.
Proposed Floor Area = 3,373 sf

Off-Street Parking Requirement
Number of Parking Spaces Required: 2

Open Space Volume
Required: 2,560 x 15% = 384 sf
Provided: 1,122 sf

Existing Residence
1st Floor: 1,411 sf
2nd Floor: 964 sf
Total House (conditioned Space): 2,375 sf
Garage: 443 sf
Total House and garage: 2,818 sf

Proposed Additions
1st Floor: 261 sf
2nd Floor: 313 sf
Total Addition: 573 sf
Garage: 136 sf
Total Additions: 709 sf

Proposed New Residence
1st Floor: 1,672 sf
2nd Floor: 1,277 sf
Total House: 2,949 sf
Garage: 579 sf
Total House and Garage: 3,528 sf

Remodel Area
1st Floor: 1215 sf
2nd Floor: 565 sf
Total House: 1780 sf

NOTES

GENERAL NOTES

- Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions which may be recorded against the property or to obtain plans.
- The maximum time to complete construction on a project is limited to three years from the date of the permit for all permits issued after August 31, 2019 as required by NBMC section 15.02.095.
- A Cal/OSHA Permit is required for excavation deeper than 5' and for shoring and underpinning.
- The Contractor shall provide evidence of the 30-day Notification for Complete Demolition or excavation adjacent to adjoining properties as required by NBMC section 15.2.120.
- Any changes to the landscape / landscape must be indicated on a revised grading plan, approved by the City, and may trigger a Water Quality Management Plan (WQMP) consistent with the model WQMP, Exhibit 1.1.

APPLICABLE CODES

- Construction shall comply with 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC, 2022 California Energy Code, 2022 California Green Building Standards Code (CGC), Chapter 15 of the Newport Beach Municipal Code (NBMC), current edition.

SPECIAL INSPECTIONS

- Refer to Structural Plans, sheet S1 for a list of required special inspections exterior: fireplace, freest, etc.

SEPARATE PERMITS REQUIRED:

- An additional plumbing permit is required when other gas outlets are installed, i.e., B-B-Q, exterior fireplace, freest, etc.
- Additional electrical permit is required for lighting or plugs added other than spa related.
- Pools, spas, fences, patio covers, and other free-standing structures require separate reviews and permits.

DEFERRED SUBMITTALS:

- Submittal sound attenuation design for HVAC equipment per ASHRAE 90.1-2013. Sound level shall not exceed 50 dBA (55 dBA with interior, 65 dBA with neighbor's consent) per NBMC section 10.26.045.
- Solar Voltage Panels

PUBLIC UTILITIES NOTES

- An Approved environmental permit is required for all work activities within the public Right-of-Way. All non-standard improvements shall comply with City Council Policy 1-6.
- If any of the existing public improvements surrounding the site is damaged, new concrete sidewalks, curb and gutter, alley/street improvements, and other public improvements will be required by the City at the time of private construction. Additionally, if existing utilities infrastructure are deemed undisturbed, a new trench water service, water meter box, sewer lateral and/or cleanout with box and lid will be required. 100% of the cost shall be borne by the property owner. (Municipal Codes 14.2.029 and 14.08.001).
- Submittal determination and the extent of the reconstruction work shall be made at the discretion of the Public Works Inspector. Contractor is responsible to maintain the public right-of-way at all times during the construction project. A stop-work notice may be issued for any damage or unmitigated portion of the public right-of-way.
- Landscape within the public right-of-way shall not exceed 16 inches in height. Any landscaping exceeding 36" in height shall be removed.
- All work related to wastewater in the public right-of-way shall be performed by a C-42 licensed Sanitation Sewer Contractor or a licensed General Engineering Contractor.

PLANNING NOTES

- Setback dimensions are measured from property line to face of building finish.
- Accessory structures, including fences, hedges, walls, and retaining walls, are typically limited to 6 feet in the side and rear setbacks and 42 inches in front setbacks.
- The existing development is nonconforming due to setbacks and parking dimensions and is limited to a maximum of 10 percent addition of the existing floor area of the structure within a ten-year period.

SHEET INDEX

ARCHITECTURAL SHEETS

- T-1 Title Sheet, Site Plan
- T-2 Schedules
- DM-1 Existing Floor Plans / Demolition Plan
- A-1 First Floor Plan
- A-2 Second Floor Plan
- A-3 Roof Plan
- A-4 First Floor Reflected Ceiling & Electrical Plan
- A-5 Second Floor Reflected Ceiling & Electrical Plan
- A-6 Exterior Elevations
- A-7 Building Sections
- D-2 Details
- T-2-1 Energy Calculations
- T-2-2 Energy Calculations
- N-1 General Notes
- N-2 City of Newport Beach Minimum Residential Construction Requirements
- N-3 City of Newport Beach CAL-Green Requirements
- B-1 Open Space Exhibit

STRUCTURAL SHEETS

- S-1 Structural General Notes
- S-2 1st & 2nd Floor Framing Plan
- FD-1 Foundation Details
- SD-1 Structural Details
- SD-2 Structural Details
- HFX-1 Anchorage Details - HFX Panels
- HFX-2 Framing Details - HFX Panels

REVISIONS

NO.	DESCRIPTION	DATE



Cynthia Childs, Architect
Unique Custom Homes
2772 East Coast Highway, Suite B
Corona Del Mar, CA 92625
Phone/Fax: (949) 716-3528

DeFranco Residence
2772 Circle Drive
Newport Beach CA 92663

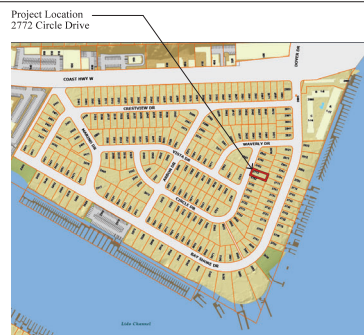
PROPOSED REMODEL FOR:

TITLE SHEET /
SITE PLAN

DRAWN
P.A.
CHECKED
C.C.
PLOT DATE
9/10/2025
SCALE

T1 SHEET
T1 OF SHEETS

VICINITY MAP



LEGEND

- | | | | |
|----|-------------------------|----|----------------------|
| FF | FINISH FLOOR ELEVATION | PL | PROPERTY LINE |
| TC | TOP OF CURB | EX | EXISTING |
| FG | FINISH GRADE | CL | CENTERLINE |
| FL | FINISH LINE | PA | PLANTING AREA |
| FS | FINISH SURFACE | DN | DOWN |
| | (EX) BLOCK WALL | AB | ABOVE EXISTING GRADE |
| ● | New 6"-0" H. Block Wall | DS | DOWNSPOUT |
| ● | Drain | | |
| ▨ | Addition @ 1st Floor | | |
| ▩ | Addition @ 2nd Floor | | |

PLAN NOTES

- Existing gate to remain (less than 6'-4" A.E.G.)
- Existing fence wall to remain (6'-4" max. A.E.G.)
- New Sillstone air conditioning unit, as required
- Screened Trash Area
- Electrical Service Panel (Ex.)
- Existing A.C. units

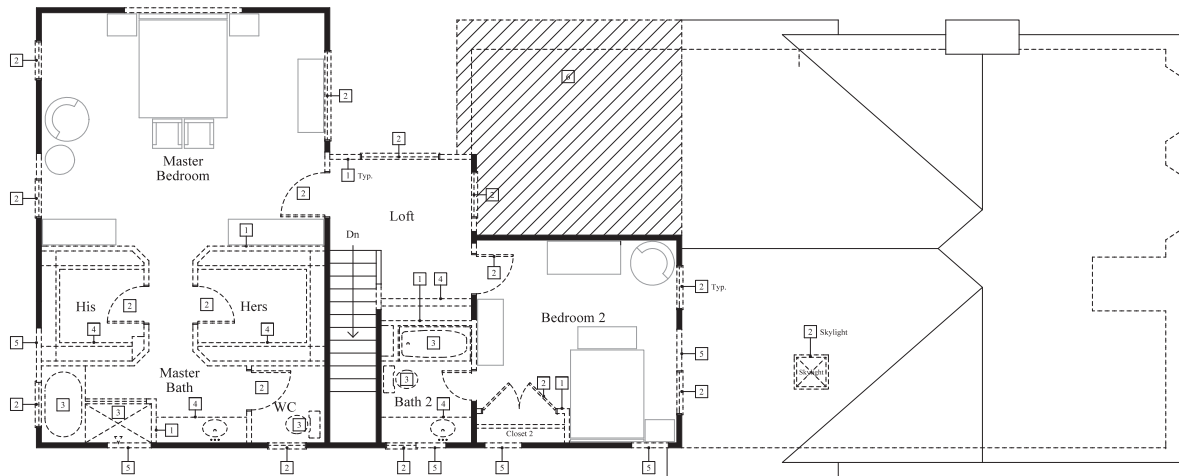
SCALE: 1/8" = 1'-0"



Notes:

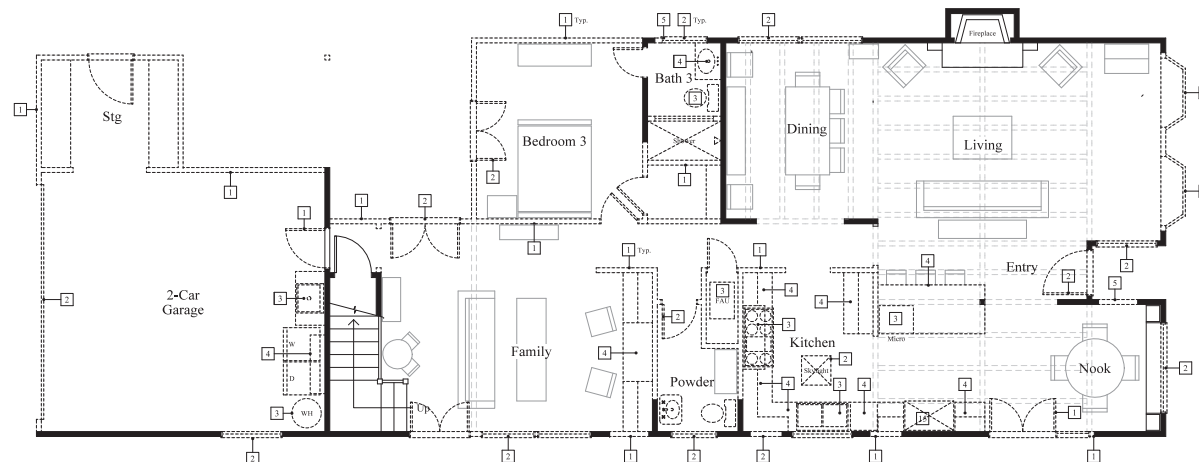
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|---|---|--|
| <p>1. Tempered glazing shall be provided at the following hazardous locations:</p> <ul style="list-style-type: none"> a. glazing in doors; b. Glazing adjacent to doors within a 2' area of either edge of the door if it is a fixed position, and where the bottom edge of the glazing is less than 48 inches above the floor or walking surface. c. Glazing in windows that are any of the following conditions: <ul style="list-style-type: none"> The exposed area of an individual pane is larger than 9 square feet, and the bottom edge of the glazing is less than 48 inches above the floor, and the edge of the glazing is more than 36 inches above the floor, and the bottom walking surface is within 66 inches of the glazing, measured horizontally and within a straight line of the glazing; Glazing in guards and railings; Glazing in walls, enclosures or floors containing bathtubs, showers, saunas, steam rooms, whirlpools, etc., where the bottom edge of the glazing is less than 60 inches above any standing or walking surface; Doors and panels of shower and bathtub doors. | <p>Glazing adjacent to stairs and ramps where the bottom exposed edge is less than 36 inches above the floor or walking surface, including walking surface of stairways, landings between flight of stairs, and ramps;</p> <p>Glazing adjacent to the bottom stair landings where the glazing is less than 36 inches above the landing and within 60 inches of the bottom tread;</p> <p>Each pane of glazing installed in hazardous locations must have emergency and permanent marking.</p> <p>Excess windows shall meet all of the following: manufacturer shall provide excess glazing as necessary, and require 90 degree casement (open) and clear width</p> <ul style="list-style-type: none"> a. a net clear opening not less than 57 sq. ft. b. minimum clear opening height of 24 inches c. minimum clear opening width of 20 inches d. maximum sill height of 64 inches from the floor. | <p>All fire protection products shall have temporary and permanent labels listing the label type and location. Labeling shall conform to the UL Standard Code for Safety, A.S. 250.1-11.4. Refer to energy calculations.</p> <p>Operable sections of windows shall allow the passage of a 9" sphere where the opening is at its largest opened position.</p> <p>Use of sign lights shall be tested by an approved laboratory, and approved inspection agency to indicate compliance with the requirements of the IBC and ASHRAE 90.1-2010.</p> <p>Fire resistances must have temporary and permanent labels.</p> <p>For existing door and window locations, coordinate nominal sizes with existing rough openings.</p> |
|---|---|--|

[illegible]



EXISTING SECOND FLOOR PLAN / DEMOLITION PLAN

Scale: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN / DEMOLITION PLAN

Scale: 1/4" = 1'-0"

DEMOLITION PLAN NOTES

KEY NOTES

- 1 Remove existing wall
- 2 Remove existing door or window
- 3 Remove existing plumbing fixture / appliance
- 4 Remove existing cabinets / shelves
- 5 Frame opening for new door or window
- 6 Remove existing roof

DEMOLITION PLAN LEGEND

- Existing walls to remain
- - - - - Existing walls to be removed



REVISIONS	BY



Cynthia Childs, Architect
Unique Custom Homes
 2732 East Coast Highway, Suite B
 Corona Del Mar, CA 92625
 Phone / Fax: (949) 738-3328

PROPOSED REMODEL FOR:
DeFranco Residence
2772 Circle Drive
Newport Beach, CA 92663

EXISTING FLOOR PLANS/
 DEMOLITION PLANS

DRAWN
P.A.
 CHECKED
C.C.
 PLOT DATE
8/15/2025
 SCALE

DM1 SHEET
DM1
 OF SHEETS

FLOOR PLAN NOTES

FRAMING NOTES

- F1 Distance from face of the foundation to property line to be zoning setback plus wall finish thickness (minimum).
- F2 New construction: All exterior walls to be 2x6, all interior walls to be 2x4 U.N.O.
- F3 Remodel: All exterior walls to match existing, all interior walls to be 2x4 U.N.O.
- F4 All interior walls that house pocket doors or have plumbing drain lines to be 2x6 U.N.O.
- F5 All dimensions are to face of stud U.N.O.
- F6 Provide 2x blocking for house, towel bars, hooks, toilet paper dispensers, shelving, handrails and artwork. See interior elevations for more information.
- F7 Provide framing for sump and shampoer niches at all baths and showers.
- F8 Not used.
- F9 Allow 15" clear minimum from centerline of all water closets to adjacent finish surface, and 24" clear in front of toilet.
- F10 Fireplace hearth dimensions per CBC 3102.7.12.
- F11 Provide fireblocking at openings around vents, pipes, ducts, cables and wires at ceiling and floor level with an approved material to resist the free passage of flame and products of combustion R302.11(4).
- F12 Factory-built fireplaces, chimneys, and all other components shall be listed and installed in accordance with their listing and manufacturer instructions.
- F13 Decorative shrouds shall not be installed at the termination of factory-built chimneys except where such shrouds are listed and labeled for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. CMC 802.4.2.4

CONTRACTOR NOTES

- C1 All garage doors to be 1 3/8" self-closing solid wood slab.
- C2 Provide 5/8" type "X" gypsum board at garage walls, ceiling and on individual posts per CBC 302.4.
- C3 Provide 7/8" high non-slip-resistant wall adjacent to shower and approved stainless-steel materials for shower enclosure and windows if all is less than 5'-0" above tub or shower floor per CBC 2406.4(5) 2221 (Water-resistant gypsum board is not permitted for tile backing at showers).
- C4 All gypsum board to have STRAIGHT corners, "smooth texture" throughout. (Verify with owner and architect).
- C5 Contractor to provide termite treatment for subterranean termite prevention in the foundation and slab on grade stage (if applicable).

PLUMBING NOTES

- P1 Hot and cold water in Laundry Room and for washer to be installed in recessed box with drains.
- P2 Net area of shower enclosures shall be not less than 1.024 sq. in (7.1 sq. ft.) of floor area and a minimum of 30" diameter circle.
- P3 All plumbing fixtures shall comply with the maximum flow rates in section 4.303 C of Green Building Standards Code.
- P4 Contractor to provide recirculating pump to tankless water heater, if applicable (verify with owner).
- P5 Shower and tub/shower walls shall be finished with a smooth, hard, nonabsorbent surface (e.g. ceramic tile or fiberglass) over a moisture-resistant underlayment (e.g. cement, fiber cement, or glass mat gypsum board) to a height of 72" inches above the drain inlet. CRC 307 and R702.3.7

HVAC NOTES

- H1 HVAC contractor to locate thermostats for FAU efficiency. (Verify location with owner)
- H2 Submit sound attenuation design for HVAC equipment per AHJ Std.775. Sound level not to exceed 50 dBA (35 dBA with timer, 65 dBA with timer) per Section 10.26.045 of the N.B.M.C. Location of measurement to be at adjacent property patio or opening.
- H3 Ducts must be sealed and field verified by a HERES certified special inspector, OR as an alternate, windows are to have U-value of .35 maximum.
- H4 HVAC contractor will be responsible for all city sound calculations and permits.
- H5 HVAC contractor to provide adequate zones at all floors.
- H6 Ducts in the garage or penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of min. 26-gauge steel or other approved material and shall have no openings into the garage.

ELECTRICAL NOTES

- E1 Electrical Contractor to verify height of outlets located above any work surface or countertop to avoid interference with countertop or splash material design.
- E2 See electrical plans for more information and notes.
- E3 Minimum duct sizing for kitchen exhaust fan shall comply with Table 150.0_H (see below)

Fan Flow Rating (cfm)	≤125	≤150	≤175	≤200	≤250	≤300
For rigid duct (inches)	6	6	7	7	8	9
For flex duct (inches)	6	7	7	8	8	9

LANDSCAPE NOTES

- L1 See landscape drawings for gate, fence and garden wall designs. Separate permit is required for fences, retaining walls, pools, spas, garden structures.
- L2 All walls, fences, gates, and planters shall not exceed a height of 42" as measured from existing grade within the front yard setbacks. No walls, fences, gates shall exceed a height of 6' as measured from natural grade within the side yard setbacks.

STAIR NOTES

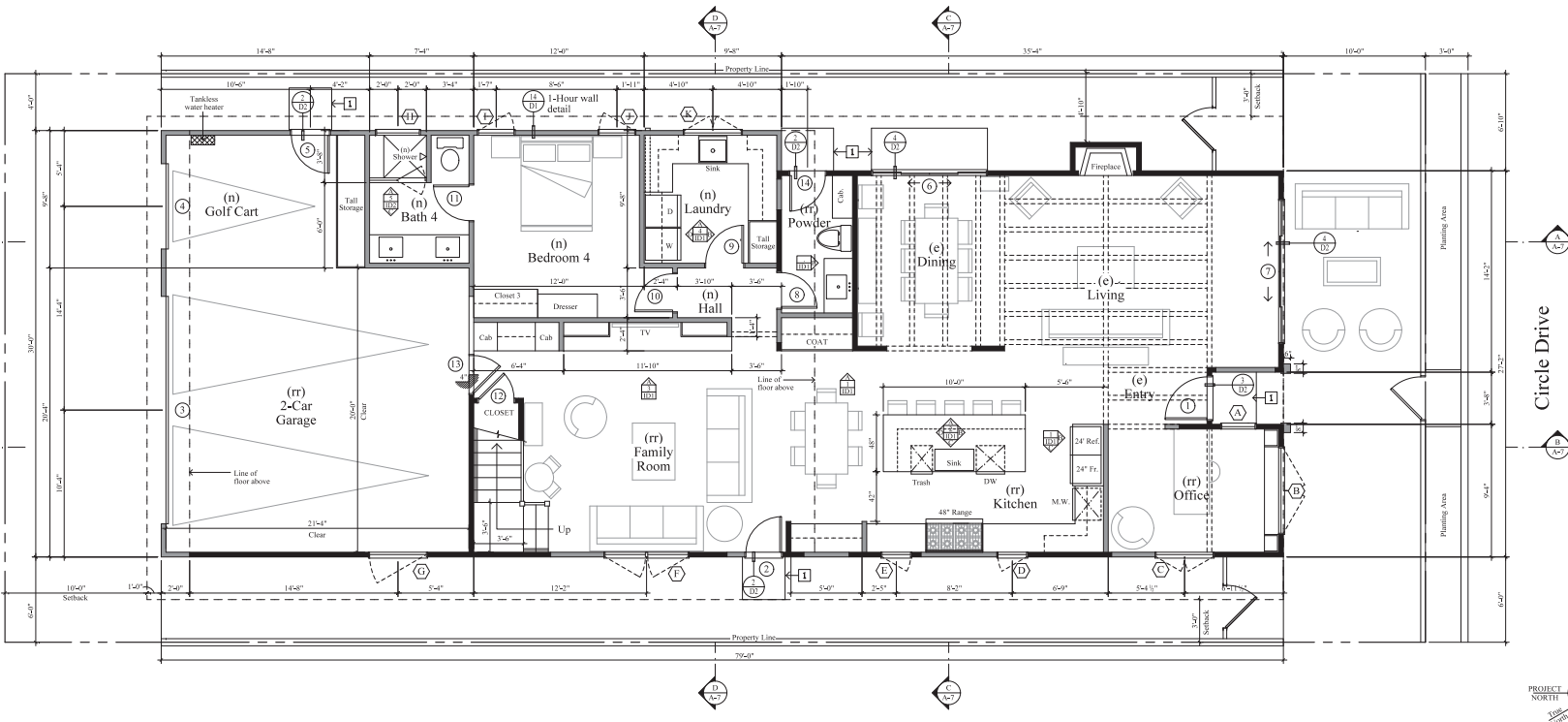
- S1 Stairways and Landings per CBC 1003.3.3. Maximum 7-3/4" rise-Minimum 10" run, 6-8" vertical headroom, minimum. Clear width to be 36" min.
- S2 Handrails to be 34" to 38" high. Grip width to be 1 1/4" min to 2" max. Maximum clearance between balusters to be less than 4". Handrail ends shall have rounded termination or bends.
- S3 Provide guardrail per CBC 509. Guardrail to resist 200 lb horizontal load at top of rail. CBC Table 16-6b. Max. clear opening less than 4" min height = 42"
- S4 Provide guards where the open side is more than 30 inches above the floor or grade below. CBC 1013.1
- S5 Provide 5/8" type "X" drywall at walls and ceiling below stairway.
- S6 Provide a swing between 3/4" and 1-1/4" on stairways with solid treads where tread depth is less than 11".

KEY NOTES

- 1 Landing at exterior doors - min. 36" in the direction of travel

LEGEND

- New exterior wall, 2x6 wood studs @ 16" o.c.
- New interior wall, 2x6 wood studs @ 16" o.c. at pocket doors or plumbing
- New interior wall, 2x4 wood studs @ 16" o.c.
- Existing walls
- Property Line
- Setback Line
- Interior elevations key
Refer to sheet indicated
- Door symbol with door number.
Refer to door schedule
- Window symbol with window letter.
Refer to window schedule
- Plumbing fixture symbol.
- Cold Water Connection for
appliance or Pot Filler
- Hose bibb.
- Hose bibb, recessed in brass box
- Fuel gas line
- Loose key valve for fuel gas



PROPOSED FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
2772 East Coast Highway, Suite B
Corona Del Mar, CA 92625
Phone/Fax: (949) 735-3528

PROPOSED REMODEL FOR:
DeFranco Residence
2772 Circle Drive
Newport Beach, CA 92663

PROPOSED FIRST FLOOR PLAN

DRAWN P.A.
CHECKED C.C.
PLOT DATE 8/05/2025
SCALE
A1 SHEET
A1 OF SHEETS

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LANDSCAPE NOTES

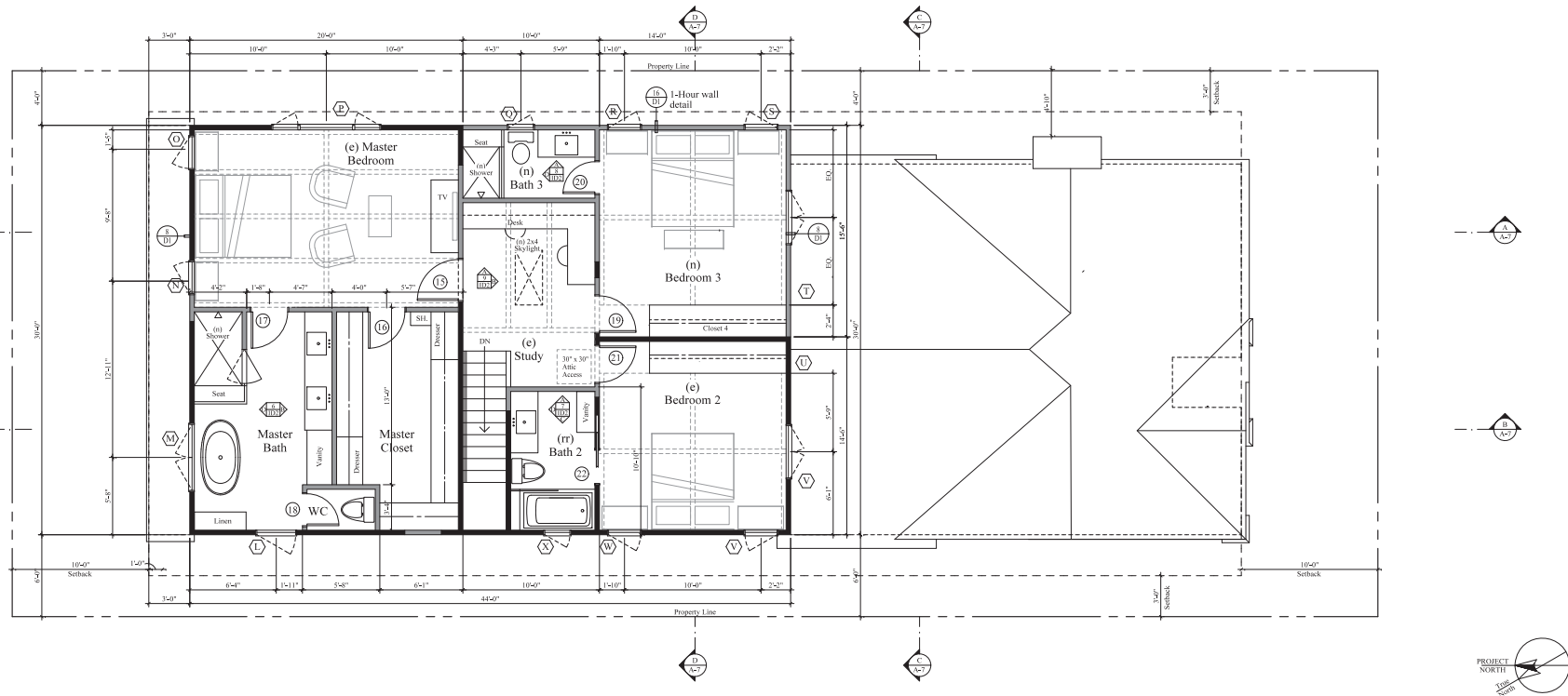
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appliance or Pot Filler
- Hose bibb.
- Hose bibb, recessed in brass box
- Fuel gas line
- Loose key valve for fuel gas



PROPOSED SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

REVISIONS	BY

PROPOSED REMODEL FOR:

DeFranco Residence

2772 Circle Drive

Newport Beach, CA 92663

PROPOSED SECOND FLOOR PLAN

DRAWN P.A.
CHECKED C.C.
PLOT DATE 8/05/2025
SCALE
SHEET A2
OF SHEETS

Cynthia Childs, Architect

Unique Custom Homes

2772 East Coast Highway, Suite B
Corona Del Mar, CA 92625
Phone/Fax: (949) 735-3528

ARCHITECT

CYNTHIA M. CHILDS

C-22865

ARCHITECT

JANUARY 1, 2025

STATE OF CALIFORNIA

ROOF PLAN KEY NOTES

- 1 Brva Cedar Shake composite tile roof covering: Class 'A' Fire-Rated assembly.
Code Evaluation Report CEBR-1014, install per manufacturer's instructions
Color: Natural cedar
- 2 F.A.U. in attic. Provide access panel, See A-1
- 3 Provide continuous metal gutters with downspouts to drain lines. See exterior elevations for locations.
- 4 Deck-mount skylight by Velux, U.S. Evaluation Report No. 199.
Install per manufacturer's instructions. Less than 6" above roof.
- 5 Area for solar panel installation - (deferred submittal)
Solar panels shall be rated for "Class-C" roof assembly.

 New Roof Area

 Area for solar panel installation

ROOF VENTILATION CALCULATIONS

(See location of vents on roof plan and detail 18/D-1)

ROOF AREA A

VENTILATION REQUIRED (1/150):
481 sq. ft. x 1/150 = 3.207 x 144 =

462 sq. in., min. required

VENTILATION PROVIDED:
(7) low-profile roof vents @ 72 sq. in. ea.

504 sq. in. provided

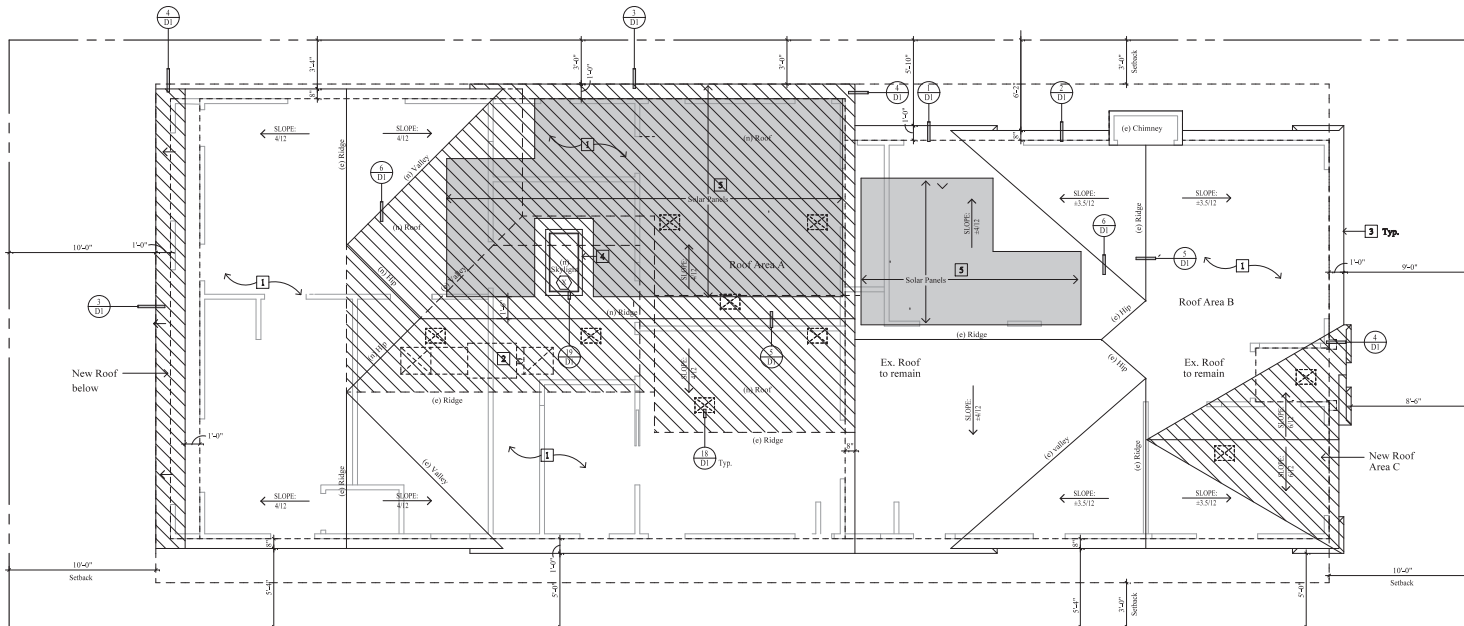
ROOF AREA B

Roof deck insulation provided at first floor roof (no ventilation required)

ROOF AREA C

Roof deck insulation provided at first floor roof (no ventilation required)

NEW ROOF AREAS AT VOLUME CEILINGS:
Refer to detail 20/D1



PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"



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PROPOSED ROOF PLAN

DRAWN
P.A.

CHECKED
C.C.

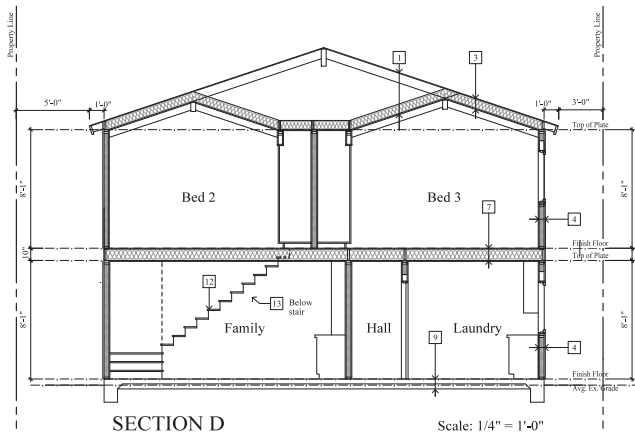
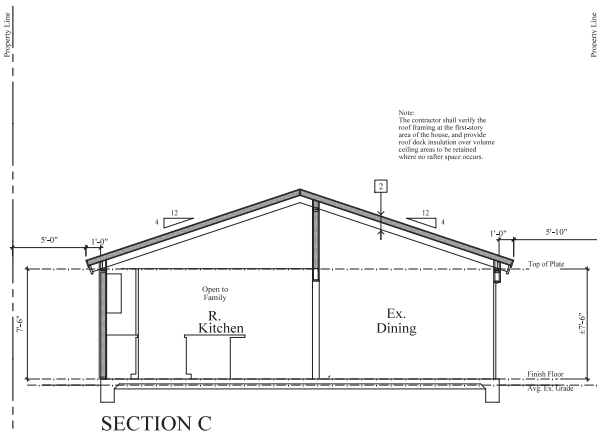
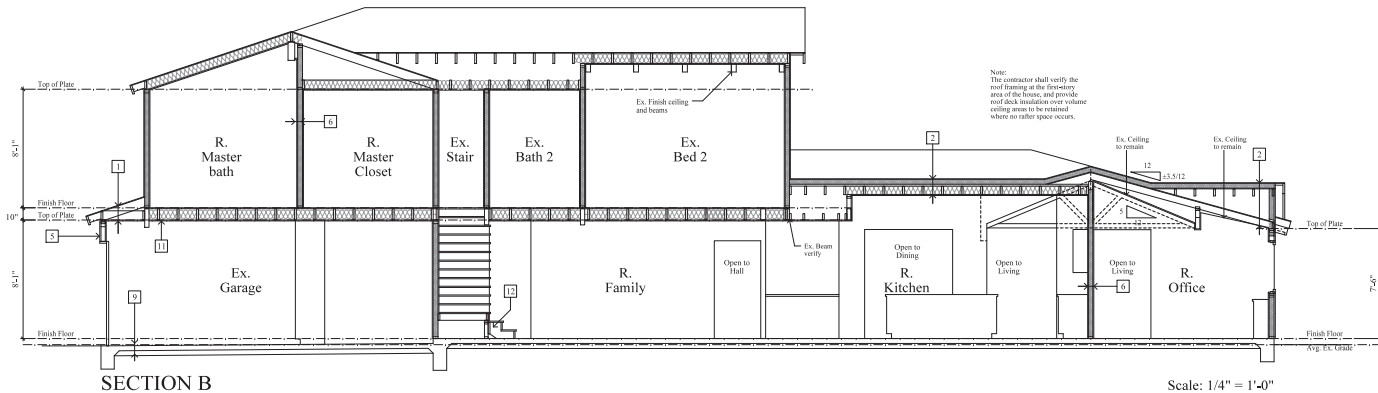
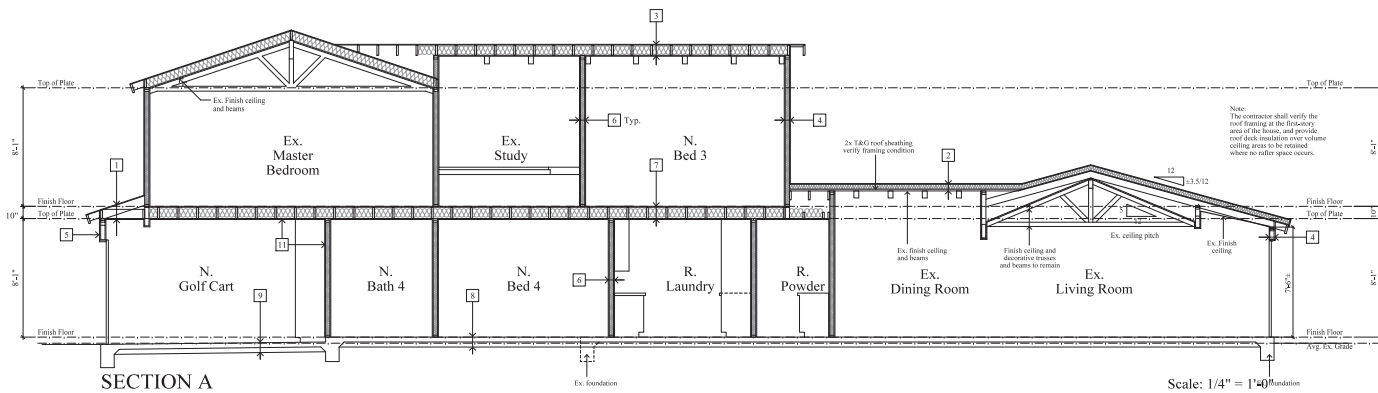
PLOT DATE
8/05/2025

SCALE

A3 SHEET

A3

OF SHEETS



SECTION NOTES

GENERAL NOTES

1.

KEY NOTES

1. TYPICAL CLASS "A" SLOPED ROOF ASSEMBLY:
A. Complete roof shingles: Brown Cedar Shake roof tiles, see roof plan.
Class "A" Fire-Rated assembly report CTR00-014.
B. Roofing underlayment - per manufacturer's recommendations.
C. Plywood roof sheathing - per structural plans.
D. California fill framing (where occurs)
E. Roof rafters - per structural plans.
F. Ceiling joists - per structural plans (where occurs)
G. Insulation, min. R-30.
H. 2x Soffit framing (where occurs)
I. 5/8" gypsum board at ceiling.
K. Finish ceiling - refer to reflected ceiling plan.

2. SLOPED ROOF ASSEMBLY AT EXISTING VOLUME CEILING:
A. Treated wood shingle roof.
B. Roofing underlayment - per manufacturer's recommendations.
C. Plywood roof sheathing - per structural plans.
D. Rigid foam insulation - Minimum R-20 per energy calculations.
E. Existing roof sheathing.
F. Existing roof framing.
G. Roof Rafters - Existing or as per structural calculations.
H. 2x Soffit framing (where occurs)
I. 5/8" gypsum board at ceiling (where occurs)
J. Finish ceiling - refer to reflected ceiling plan.

3. SLOPED ROOF ASSEMBLY AT VOLUME CEILING:
A. Treated wood shingle roof.
B. Roofing underlayment - per manufacturer's recommendations.
C. Plywood roof sheathing - per structural plans.
D. Roof Rafters - per structural plans.
E. Spray foam insulation (non-permeable, min. R-30) per R806.5.5.1.1, applied to underside of roof sheathing.
F. 2x Soffit framing (where occurs)
G. 5/8" gypsum board at ceiling.
H. Finish ceiling - refer to reflected ceiling plan.

4. TYPICAL EXTERIOR WALL ASSEMBLY (AT HOUSE):
A. Exterior siding per elevation.
B. Tyvek.
C. Plywood sheathing or shear panel per structural plans.
D. 2x6 exterior wall framing (per legend on floor plan)
E. Fiberglass batt insulation to be R-21.
F. 5/8" gypsum wallboard.
G. Interior finish per interior elevations.

5. TYPICAL EXTERIOR WALL ASSEMBLY (AT GARAGE):
A. Exterior siding per elevation.
B. Tyvek.
C. Plywood sheathing or shear panel per structural plans.
D. 2x6 exterior wall framing (unless noted otherwise)
E. 5/8" type "X" gypsum wallboard.

6. TYPICAL INTERIOR WALL ASSEMBLY:
A. Wall finish per interior elevations.
B. 5/8" gypsum wallboard.
C. Plywood shear panel - per structural plans (where occurs)
D. 2x wall framing - refer to floor plans.
E. Fiberglass batt sound insulation.
F. 5/8" gypsum wallboard at walls and ceiling.
G. Wall finish per interior elevations.

7. FLOOR / CEILING ASSEMBLY
A. 3/4" hardboard or stone over mortar or 3/4" gypcrete.
B. 3/4" T&G plywood sheathing glued and screw-secured to floor joists.
C. Floor joists - per structural engineer.
D. 2x wall framing - refer to floor plans.
E. Ceiling joists - per structural plans or soffit framing (where occurs)
F. 5/8" gypsum wallboard.
G. Finish ceiling - refer to reflected ceiling plan.

8. FIRST FLOOR ASSEMBLY
A. 3" hardboard over 3/4" plywood or stone / tile over mortar or 3/4" gypcrete.
B. Reinforced concrete slab-on-grade per structural engineer.
C. Vapor barrier per soils report.
D. Sand per soils report.

9. GARAGE FLOOR ASSEMBLY
A. Reinforced concrete slab-on-grade per structural engineer - slope to drain.
B. Vapor barrier per soils report.
C. Sand per soils report.

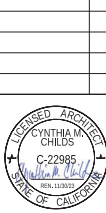
10. PORCH FLOOR ASSEMBLY
A. Finish floor: tile set in mortar.
B. Reinforced concrete slab-on-grade per structural engineer - slope to drain.
C. Vapor barrier per soils report.
D. Sand per soils report.

11. GARAGE INTERIOR WALLS AND CEILING
A. 5/8" type "X" gypsum wallboard

12. STAIR ASSEMBLY:
Existing stair to remain

13. Provide 5/8" type "X" gypsum wallboard at accessible enclosed area under stair

REVISIONS	BY



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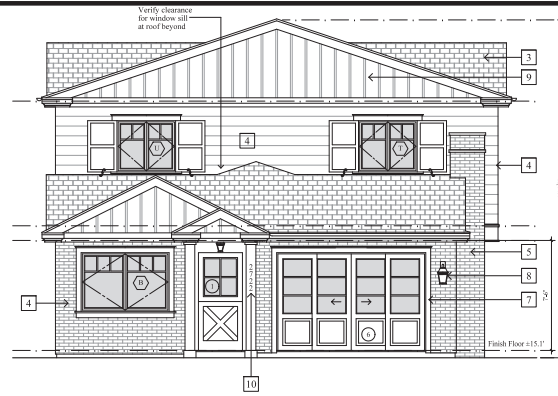
PROPOSED REMODEL FOR:
DeFranco Residence
2772 Circle Drive
Newport Beach, CA 92663

PROPOSED BUILDING SECTIONS	DRAWN P.A.
	CHECKED C.C.
	PLOT DATE 8/05/2023
	SCALE
A7	SHEET
	A7
	OF SHEETS



Rear Elevation (North)

Scale: 1/4" = 1'-0"



Front Elevation (South)

Scale: 1/4" = 1'-0"



Right Side Elevation (East)

Scale: 1/4" = 1'-0"



Left Side Elevation (West)

Scale: 1/4" = 1'-0"

General Notes

1. Refer to Height Limit Exhibit, Sheet B-1 for height limit calculations.

Elevation Notes

- 1 Existing Exterior Plaster
- 2 Existing Brick
- 3 New composite shingle roofing - refer to roof plan
- 4 Hardiplank siding see detail 16(D)
- 5 New Exterior Plaster, smooth finish
- 6 Sectional Roll-Up Garage Doors with Frosted Glass
- 7 Aluminum-Clad Wood Windows. See Schedule on T-2.
- 8 Exterior Light Fixture. Verify all heights with Interior Designer.
- 9 Board and Batten Siding, 12" O.C.
- 10 Provide house address numbers on front elevation, visible and legible from street
- 11 Where exterior walls of non-sprinklered group R-3(1) occupancies are located between 5'-0" from the property line, the total area of openings is limited to 25% of the wall area on each floor. See calculations below:
 First Floor Wall Area: 352.68
 Total Area of Openings: 56.0 16.4% (complies)
 Second Floor Wall Area: 349.33
 Total Area of Openings: 56.03 16.0% (complies)

REVISIONS BY

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Cynthia Childs, Architect
 Unique Custom Homes
 2732 East Coast Highway, Suite B
 Corona Del Mar, CA 92625
 Phone / Fax: (949) 738-3528

PROPOSED REMODEL FOR:
 DeFranco Residence
 2772 Circle Drive
 Newport Beach, CA 92663

PROPOSED
 ELEVATIONS

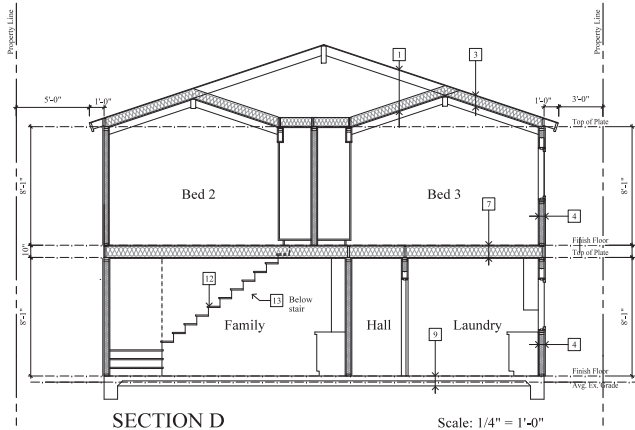
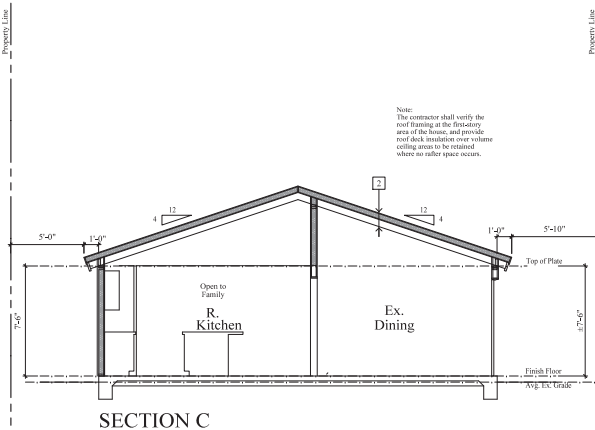
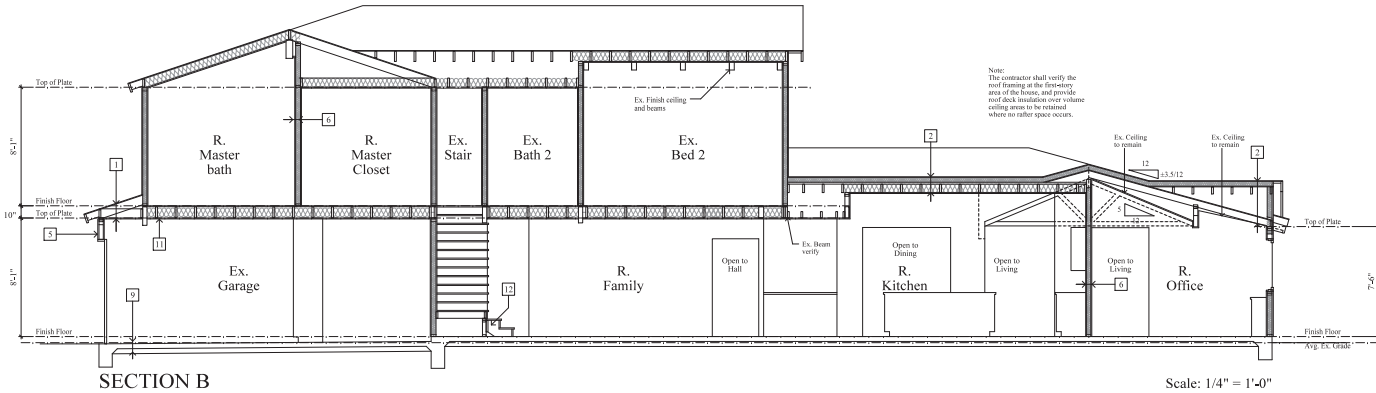
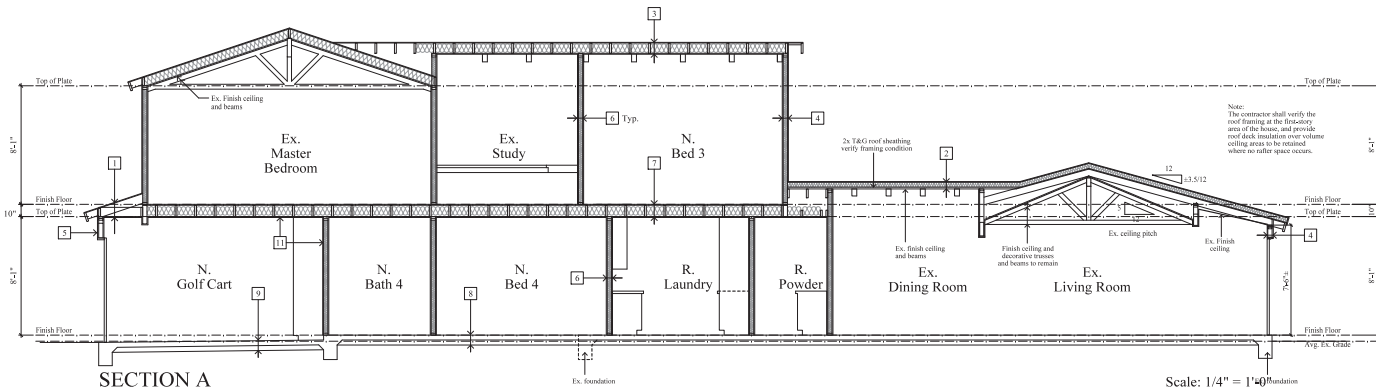
DRAWN
 P.A.
 CHECKED
 C.C.
 PLOT DATE
 8/05/2025

SCALE

A6 SHEET

A6

OF SHEETS



SECTION NOTES

GENERAL NOTES

1.

KEY NOTES

1. TYPICAL CLASS "A" SLOPED ROOF ASSEMBLY:
 - A. Treated wood shingle roof.
 - B. Roofing underlayment - per manufacturer's recommendations.
 - C. Plywood roof sheathing - per structural plans.
 - D. California fill framing (where occurs)
 - E. Roof rafters - per structural plans.
 - F. Ceiling joists - per structural plans (where occurs)
 - G. Insulation, min. R-20
 - H. 2x Soffit framing (where occurs)
 - I. 5/8" gypsum board at ceiling.
 - J. Finish ceiling - refer to reflected ceiling plan.
2. SLOPED ROOF ASSEMBLY AT EXISTING VOLUME CEILING:
 - A. Treated wood shingle roof.
 - B. Roofing underlayment - per manufacturer's recommendations.
 - C. Plywood roof sheathing - per structural plans.
 - D. Rigid foam insulation - Minimum R-23 per energy calculations
 - E. Roofing underlayment
 - F. Existing roof sheathing
 - G. Roof Rafters - Existing or as per structural calculations
 - H. 2x Soffit framing (where occurs)
 - I. 5/8" gypsum board at ceiling (where occurs)
 - J. Finish ceiling - refer to reflected ceiling plan.
3. SLOPED ROOF ASSEMBLY AT VOLUME CEILING:
 - A. Treated wood shingle roof.
 - B. Roofing underlayment - per manufacturer's recommendations.
 - C. Plywood roof sheathing - per structural plans.
 - D. Roof Rafters - per structural plans
 - E. Spray foam insulation (air-impermeable, min. R-30) per R306.5.5.1.1, applied to underside of roof sheathing.
 - F. 2x Soffit framing (where occurs)
 - G. 5/8" gypsum board at ceiling.
 - H. Finish ceiling - refer to reflected ceiling plan.
4. TYPICAL EXTERIOR WALL ASSEMBLY (AT HOUSE):
 - A. Exterior siding per elevation
 - B. Tyvek
 - C. Plywood sheathing or shear panel per structural plans.
 - D. 2x exterior wall framing (per legend on floor plan)
 - E. Fiberglass batt insulation to be R-21
 - F. 5/8" gypsum wallboard.
 - G. Interior finish per interior elevations
5. TYPICAL EXTERIOR WALL ASSEMBLY (AT GARAGE):
 - A. Exterior siding per elevation
 - B. Tyvek
 - C. Plywood sheathing or shear panel per structural plans.
 - D. 2x exterior wall framing (unless noted otherwise)
 - E. 5/8" type "X" gypsum wallboard.
6. TYPICAL INTERIOR WALL ASSEMBLY:
 - A. Wall finish per interior elevations
 - B. 5/8" gypsum wallboard.
 - C. Plywood shear panel - per structural plans (where occurs)
 - D. 2x wall framing - refer to floor plans.
 - E. Fiberglass batt sound insulation
 - F. 5/8" gypsum wallboard.
 - G. Wall finish per interior elevations
7. FLOOR / CEILING ASSEMBLY:
 - A. 3/4" hardwood or stone over mortar or 3/4" gypcrete
 - B. 3/4" T&G plywood sheathing glued and screw-nailed to floor joists.
 - C. Floor joists - per structural engineer
 - D. Fiberglass batt sound insulation
 - E. Ceiling joists - per structural plans or soffit framing (where occurs)
 - F. 5/8" gypsum wallboard.
 - G. Finish ceiling - refer to reflected ceiling plan.
8. FIRST FLOOR ASSEMBLY:
 - A. 3/4" hardwood over 3/4" plywood or stone / tile over mortar or 3/4" gypcrete
 - B. Reinforced concrete slab-on-grade per structural engineer
 - C. Vapor barrier per soils report
 - D. Sand per soils report
9. GARAGE FLOOR ASSEMBLY:
 - A. Reinforced concrete slab-on-grade per structural engineer - slope to drain
 - B. Vapor barrier per soils report
 - C. Sand per soils report
10. PORCH FLOOR ASSEMBLY:
 - A. Finish floor: tile set in mortar
 - B. Reinforced concrete slab-on-grade per structural engineer - slope to drain
 - C. Vapor barrier per soils report
 - D. Sand per soils report
11. GARAGE INTERIOR WALLS AND CEILING:
 - A. 5/8" type "X" gypsum wallboard
12. STAIR ASSEMBLY:
 - Existing stair to remain
13. Provide 5/8" type "X" gypsum wallboard at accessible enclosed area under stair

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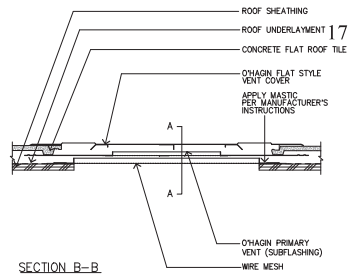
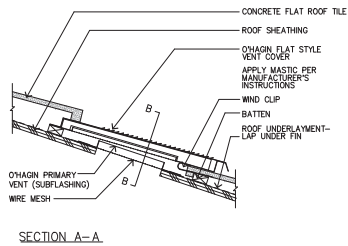
Cynthia Childs, Architect
Unique Custom Homes
2732 East Coast Highway, Suite B
Corona Del Mar, CA 92625
Phone / Fax: (949) 735-3528

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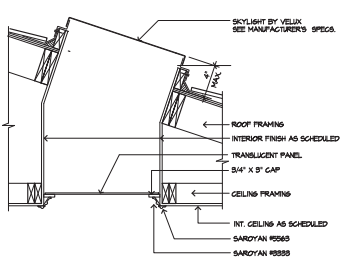
PROPOSED
BUILDING SECTIONS

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8/05/2025
SCALE

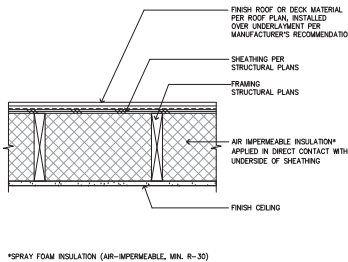
A7 SHEET
A7
OF SHEETS



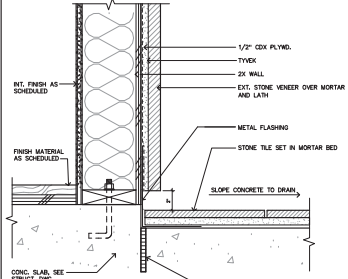
NOTE: INSTALL PER MANUFACTURER'S PRINTED INSTRUCTIONS
CONCEALED ROOF VENT
SCALE: 2"=1'-0"



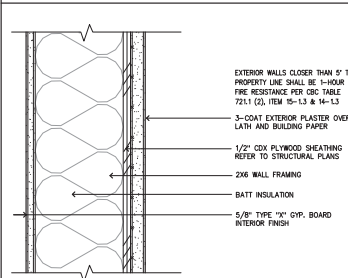
SKYLIGHT
SCALE: 3/4" = 1'-0"



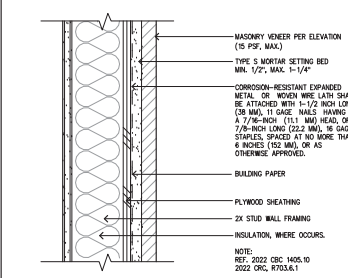
*SPRAY FOAM INSULATION (AIR-IMPERMEABLE, MIN. R-30) SHALL BE INSTALLED PER R806.5.5.1.1
UNVENTED INSULATION DETAIL
SCALE: 1-1/2"=1'-0"



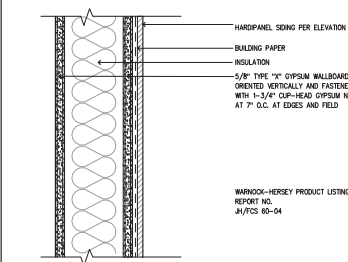
PORCH DETAIL
SCALE: 3" = 1'-0"



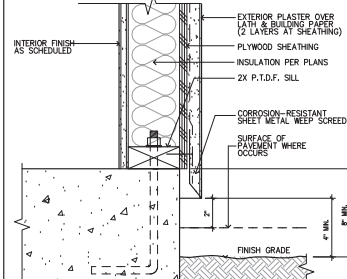
1 HOUR RATED EXTERIOR WALL
SCALE: 3" = 1'-0"



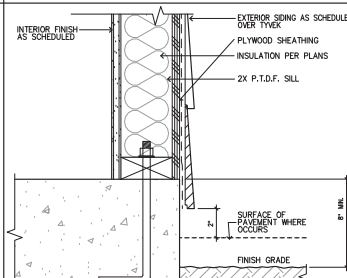
NOTE: REF. 2022 CBC 1405.10 2022 IRC R703.4.1
ADHERED MASONRY VENEER
SCALE: 3" = 1'-0"



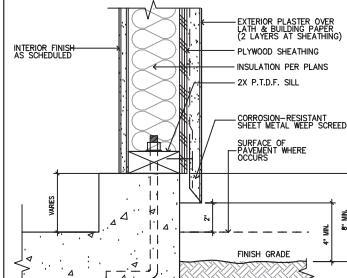
1-HOUR EXTERIOR WALL
SCALE: 3" = 1'-0"



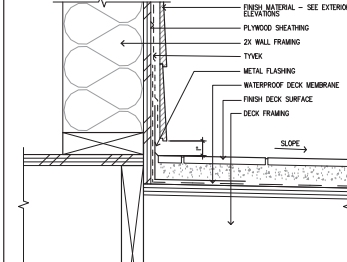
WALL BASE DETAIL AT GRADE
SCALE: 3" = 1'-0"



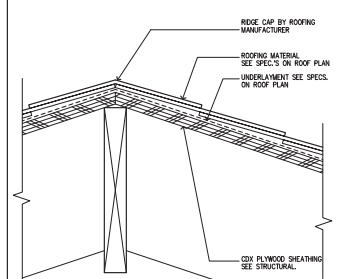
WALL BASE DETAIL AT GRADE
SCALE: 3" = 1'-0"



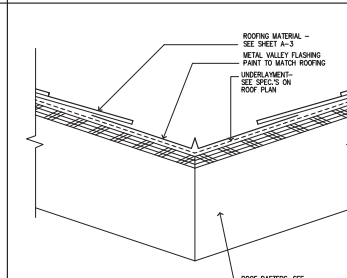
WALL BASE DETAIL AT GRADE
SCALE: 3" = 1'-0"



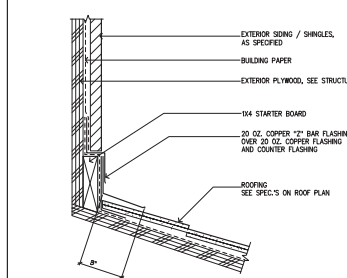
DECK FLASHING
SCALE: 3" = 1'-0"



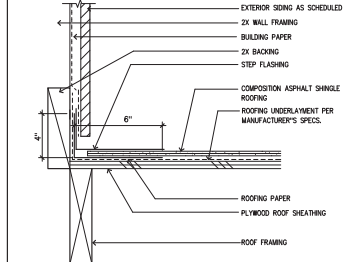
RIDGE / HIP DETAIL
SCALE: 3" = 1'-0"



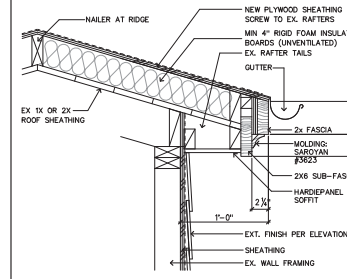
VALLEY FLASHING
SCALE: 3" = 1'-0"



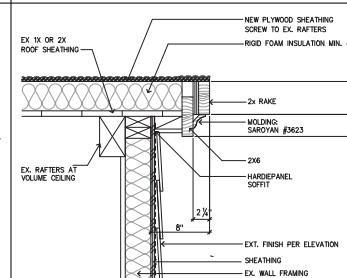
ROOF TO WALL FLASHING
SCALE: 3" = 1'-0"



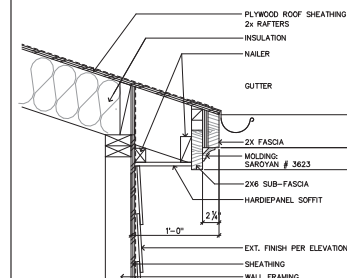
NOTE: NO NAILS SHALL BE DRIVEN THRU PAN FLASHING.
ROOF TO WALL FLASHING
SCALE: 3" = 1'-0"



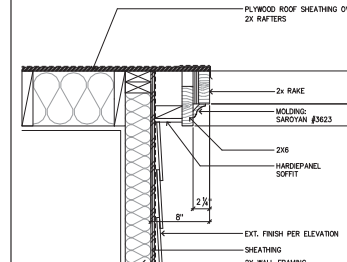
EAVE & INSULATION AT EX. ROOF
SCALE: 1-1/2"=1'-0"



RAKE & INSULATION AT EX. ROOF
SCALE: 1-1/2"=1'-0"



EAVE
SCALE: 1-1/2"=1'-0"



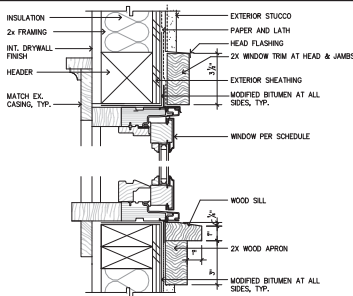
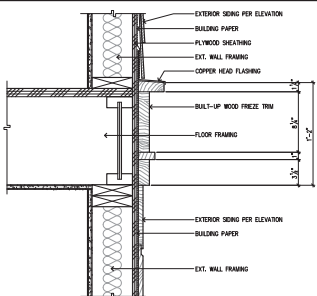
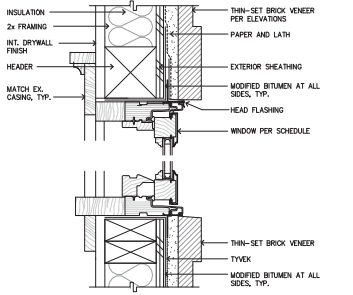
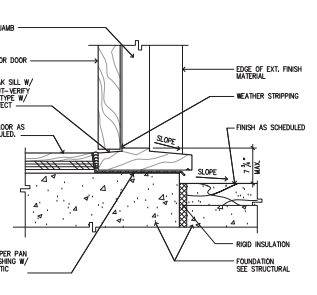
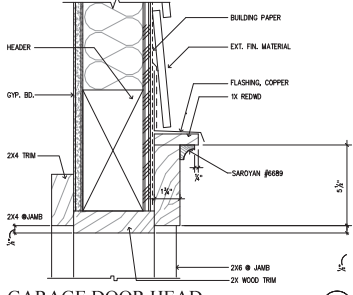
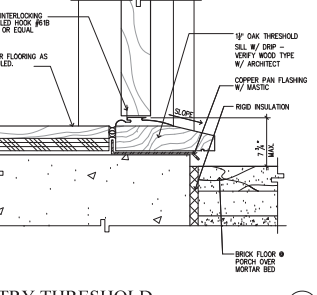
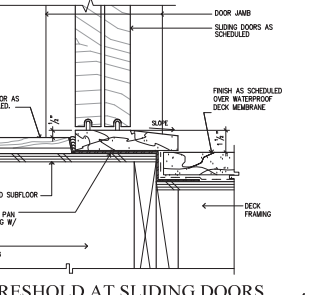
RAKE
SCALE: 1-1/2"=1'-0"

REVISIONS	BY

Cynthia Childs, Architect
Unique Custom Homes
2772 East Coast Highway, Suite 100
Corona Del Mar, CA 92625
Phone/Fax: (949) 738-3528

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EXTERIOR DETAILS
DRAWN P.A.
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SCALE
D1 SHEET
D-1
OF SHEETS

17	13	9	 TYP. WINDOW HEAD / SILL SCALE: 3" = 1'-0"	 EXTERIOR TRIM SCALE: 1-1/2" = 1'-0"
18	14	10	 TYP. WINDOW HEAD / SILL SCALE: 3" = 1'-0"	 INSWING THRESHOLD SCALE: 3" = 1'-0"
19	15	11	 GARAGE DOOR HEAD SCALE: 3" = 1'-0"	 ENTRY THRESHOLD SCALE: 3" = 1'-0"
20	16	12		 THRESHOLD AT SLIDING DOORS SCALE: 3" = 1'-0"

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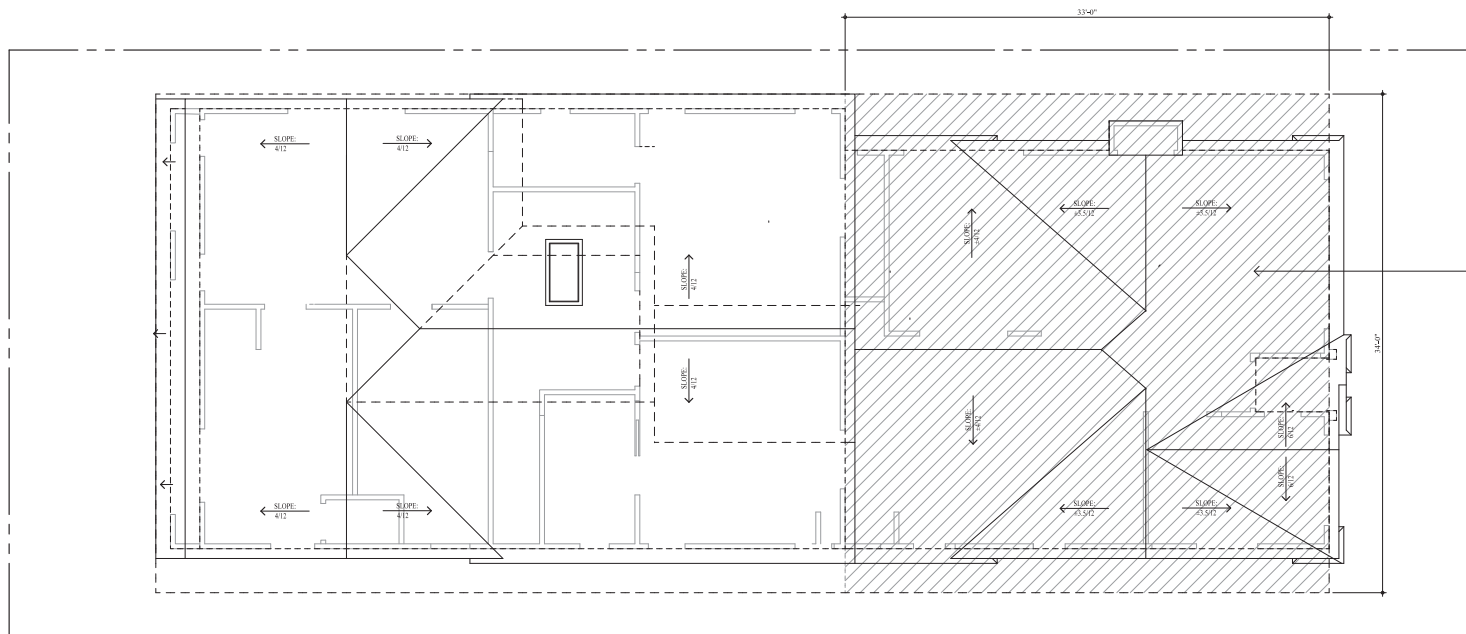
Cynthia Childs, Architect
Unique Custom Homes
 2732 East Coast Highway, Suite B
 Corona Del Mar, CA 92625
 Phone/Fax: (949) 714-3328

PROPOSED REMODEL FOR:

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2772 Circle Drive
Newport Beach, CA 92663

EXTERIOR DETAILS

DRAWN	P.A.
CHECKED	C.C.
PLOT DATE	8/05/2025
SCALE	
D2	SHEET
D-2	
OF SHEETS	



OPEN SPACE EXHIBIT

Scale: 1/4" = 1'-0"



REVISIONS	BY

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Unique Custom Homes
 2772 East Coast Highway, Suite B
 Corona Del Mar, CA 92625
 Phone/Fax: (949) 738-3528

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B1 SHEET
B1
OF SHEETS