

# **Attachment No. PC 10**

Project Plans

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# 2741 OCEAN RESIDENCE

## ABBREVIATIONS

ARCH.	ARCHITECTURAL
B.O.	BOTTOM OF
B.L.G.	BUILDING
B.L.K.	BLOCK
B.M.	BEAM
CL.R.	CLEAR
C.L.G.	CELING
C.O.L.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
D	DRYER
DIA.	DIAMETER
DM	DIMENSION(S)
DW	DISHWASHER
DWG	DRAWING
ELEV	ELEVATION
EQ.	EQUAL
(E)	EXISTING
EXT.	EXTERIOR
F.M.	FINISH
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FL.R.	FLOOR
FT.	FOOT
FT.G.	FOOTING
G.W.	GALVANIZED
GALV	GYPSUM WALLBOARD
H.H.	HEAD HEIGHT
HDR.	HEADER
HT.	HEIGHT
INT.	INTERIOR
I.D.	INTERIOR DESIGNER
L.A.	LANDSCAPE ARCHITECT
LT. WT.	LIGHT WEIGHT
MIN.	MINIMUM
MAX	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MICRO	MICROWAVE
MTL.	METAL
NO.	NUMBER
O. C.	ON CENTER
O.V	OVER
PLYWD.	PLYWOOD
PR.	PAIR
PTD.	PAINTED
R	RISERS
R.O.	ROUGH OPENING
R.R.	RESEARCH REPORT
REF	REFRIGERATOR
REQ.	REQUIRED
REV.	REVISION / REVISED
SHT.	SHEET
SIM.	SIMILAR
ST. STL.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURAL
SQ.	SQUARE
T	TREADS
TBD	TO BE DETERMINED
T&G	TONGUE & GROOVE
T.F.	TO FINISH
T.O.	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
V.F.P.	VERIFY
W	WASHER
W	WITH
WD.	WOOD

## LEGEND

REVISION	
DOOR	
WINDOW	
WALL TYPE	
CEILING HEIGHT	
FINISH MATERIAL	
ELEVATION DATUM LINE	
EXTERIOR ELEVATION	
BUILDING SECTION	
WALL SECTION	
INTERIOR ELEVATION	
SECTION DETAIL INDICATOR	
PLAN DETAIL INDICATOR	
KEY NOTE	
SLOPE	
ALIGN	
DIMENSION TO CENTER LINE	
DIMENSION TO FACE OF STUD OR MASONRY, UNLESS OTHERWISE NOTED	
DIMENSION TO FINISH FACE OF WALL / SURFACE	
ROOM INFORMATION	

## FLOOR AREA & BUILDING HT. CALCULATIONS

FLOOR AREA SUMMARY - SEE DIAGRAMS, SHEETS A023					
	EXISTING FLOOR AREA	NEW FLOOR AREA	DEMO FLOOR AREA	NET NEW FLOOR AREA	TOTAL FLOOR AREA
FIRST FLOOR:	FLOOR AREA	1,536.00 SF	125.56 SF	125.56 SF	1,536.00 SF
	GARAGE	—	—	—	—
SECOND FLOOR:	FLOOR AREA	—	423.00 SF	423.00 SF	423.00 SF
THIRD FLOOR:	FLOOR AREA	767.00 SF	1,194.73 SF	83.16 SF	1,878.57 SF
FOURTH FLOOR:	FLOOR AREA	1,687.00 SF	467.77 SF	98.98 SF	1,785.98 SF
FIFTH FLOOR:	FLOOR AREA	1,791.00 SF	702.39 SF	219.86 SF	2,273.53 SF
		5,781.00 SF *	2,913.45 SF	402.00 SF	8,292.45 SF

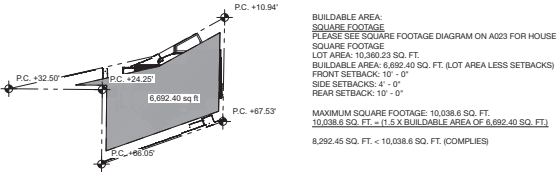
\* SEE SHEET A022 FOR CITY APPROVED EXISTING SQUARE FOOTAGE DIAGRAM

LIVABLE FLOOR AREA:	6,756.45 SF
GARAGE FLOOR AREA:	1,536.00 SF
NET FLOOR AREA ADDITION:	2,913.45 SF - 402.00 SF = 2,511.45 SF
PERCENTAGE NET FLOOR AREA ADDITION:	2,511.45 SF / 5,781.00 SF = 0.4344
	0.4344 X 100 = 43.44%
	43.44% < 50.00% (COMPLIES)
MAX. ALLOWABLE FLOOR AREA:	5781 SF + (5781 SF X 1/2) = 8671.50 SF
PROPOSED FLOOR AREA:	8,292.45 SF < 8671.50 SF (COMPLIES)
* SEE DIAGRAM	

MAXIMUM BUILDING HEIGHT SUMMARY	
SOUTHEAST PROPERTY CORNER:	32'-0"
SOUTHWEST PROPERTY CORNER:	62'-11 7/8"
NORTHEAST PROPERTY CORNER:	32'-0"
NORTHWEST PROPERTY CORNER:	62'-11 7/8"
MAXIMUM ALLOWABLE BUILDING HEIGHT: (EXISTING TO REMAIN)	62'-11 7/8"

## PROJECT SUMMARY

PROJECT ADDRESS:	2741 OCEAN BLVD CORONA DEL MAR, CA 92625
APN:	052-046-07
LEGAL DESCRIPTION:	BLOCK: 033 LOT: PCL 5
PROJECT DESCRIPTION:	REMODEL AND ADDITION OF AN EXISTING 5-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND NEW POOL/SPA UNDER SEPARATE PERMIT
ZONE:	R-1
OCCUPANCY:	R31 U
BUILDING TYPE:	SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	TYPE VB, FULLY SPRINKLERED NFPA-13D
NUMBER OF STORIES:	3 STORIES WITH BASEMENT
LOT AREA:	10,960.23 SF
BUILDABLE AREA:	6,692.40 SQ. FT. (SEE DIAGRAM BELOW)
FLOOR AREA LIMIT (F.A.L.):	6,692.40 SF X 1.5 = 10,038.6 SF
MAIN STRUCTURE SETBACKS:	FRONT YARD: 10'-0" SIDE YARD: 4'-0" BACK YARD: 10'-0" ALL SETBACKS DIMENSIONED FROM PROPERTY LINE TO FACE OF FINISH
PARKING:	PROVIDED: 3 CODE COMPLIANT SPACES (2 CAR GARAGE AND 1 CAR GARAGE) 2 GARAGE SPACES THAT DON'T MEET MINIMUM SIZE



BUILDABLE AREA DIAGRAM

1/64" = 1'-0"

## VICINITY MAP



## PROJECT CONTACTS

OWNER:	BLUES 1905, LLC 2741 OCEAN BOULEVARD CORONA DEL MAR, CA 92625
ARCHITECT:	KAA DESIGN GROUP 12921 WEST WASHINGTON BLVD LOS ANGELES, CA 90066 T: (310) 821-1400 Contact: Sara Piyani, Tim Reynolds
GENERAL CONTRACTOR:	DUGALLY OVERFELD, INC. 484 S SAN VICENTE BLVD LOS ANGELES, CA 90048 T: (310) 441-5900 CONTACT: MATTHEW DUGALLY
LANDSCAPE ARCHITECT:	KAA DESIGN GROUP 12921 WEST WASHINGTON BLVD LOS ANGELES, CA 90066 T: (310) 821-1400 CONTACT: MICHAEL MCGOWAN
STRUCTURAL ENGINEER:	C.W. HOWE PARTNERS INC. 4308 SAN PEDRA BLVD CULVER, CA 90230 T: (310) 838-0383 CONTACT:
SURVEYOR:	APEX LAND SURVEYING INC. HUNTINGTON BEACH, CA 92646 T: (714) 498-5000 F: (714) 333-4440
SOILS ENGINEER:	GEOFIRM 801 GLENNYRE ST, SUITE F LAGUNA BEACH, CA 92651 T: (949) 484-2122 F: (949) 497-0270 CONTACT: KEVIN TRIGGS
LIGHTING DESIGNER:	ESQUARED LIGHTING 2118 RALSTON LN REDONDO BEACH, CA 90278 T: (310) 574-5315 CONTACT: ERIN ERDMAN
MEP ENGINEER:	ELEMENTAL MEP 206 B STREET IDAHO FALLS, ID 83402 T: (208) 709-3111 CONTACT: MARK T. OWENS, PE
INTERIOR DESIGNER:	OHARA DAVIES-GAETANO INTERIORS 3321 EAST COAST HIGHWAY CORONA DEL MAR, CA 92625 T: (949) 566-9390 Contact: OHARA DAVIES-GAETANO
CIVIL ENGINEER:	TOAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 T: (949) 492-8586 CONTACT: CALEB RIOS
SHORING ENGINEER:	DRS ENGINEERING 3568 SAGUATO ST BOX 488 SANTA FE, NM 87505 T: (818) 402-3962 CONTACT: DAVE SALTER

## SHEET INDEX

### ARCHITECTURAL DRAWINGS:

GENERAL	A000 COVER SHEET
SURVEY & SITE PLANS	A020 SURVEY A021 SITE PLAN A022 EXISTING SQUARE FOOTAGE DIAGRAMS A023 FLOOR AREA DIAGRAMS A024 NEW VS EXISTING STREET VIEWS A025 NEW VS EXISTING STREET VIEWS A026 NEW VS EXISTING MASSING MODEL EXHIBIT A027 GRADE PLANE EXHIBIT A028 LINEAR WALL CALCULATION DIAGRAMS A029 OPEN VOLUME DIAGRAMS

FIRST FLOOR PLANS	AE119 FIRST FLOOR EXISTING / DEMO PLAN A110 FIRST FLOOR PLAN
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SECOND FLOOR PLANS	AE120 SECOND FLOOR EXISTING / DEMO PLAN A120 SECOND FLOOR PLAN
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THIRD FLOOR PLANS	AE130 THIRD FLOOR EXISTING / DEMO PLAN A130 THIRD FLOOR PLAN
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FOURTH FLOOR PLANS	AE140 FOURTH FLOOR EXISTING / DEMO PLAN A140 FOURTH FLOOR PLAN
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FIFTH FLOOR PLANS	AE150 FIFTH FLOOR EXISTING / DEMO PLAN A150 FIFTH FLOOR PLAN
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ROOF PLANS	AE160 ROOF FLOOR EXISTING / DEMO PLAN A160 ROOF PLAN
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BUILDING ELEVATIONS	A300 NORTH BUILDING ELEVATION A301 EAST BUILDING ELEVATION A302 SOUTH BUILDING ELEVATION A303 WEST BUILDING ELEVATION
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BUILDING SECTIONS	A401 BUILDING SECTIONS A402 BUILDING SECTIONS A403 BUILDING SECTIONS A404 BUILDING SECTIONS A405 BUILDING SECTIONS A406 BUILDING SECTIONS
LANDSCAPE DRAWINGS:	

HARDSCAPE PLANS	L200 FIRST FLOOR HARDSCAPE PLAN L201 SECOND FLOOR HARDSCAPE PLAN L202 THIRD FLOOR HARDSCAPE PLAN L203 FOURTH FLOOR HARDSCAPE PLAN L204 FIFTH FLOOR HARDSCAPE PLAN
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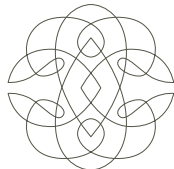
LAYOUT PLANS	L300 FIRST FLOOR LAYOUT PLAN L301 SECOND FLOOR LAYOUT PLAN L302 THIRD FLOOR LAYOUT PLAN L303 FOURTH FLOOR LAYOUT PLAN L304 FIFTH FLOOR LAYOUT PLAN
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IRRIGATION PLANS	L400 IRRIGATION SCHEDULES L401 SECOND FLOOR IRRIGATION PLAN L402 THIRD FLOOR IRRIGATION PLAN L403 FOURTH FLOOR IRRIGATION PLAN L404 FIFTH FLOOR IRRIGATION PLAN L405 IRRIGATION DETAILS L406 IRRIGATION SPECIFICATIONS
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PLANTING PLANS	L500 PLANTING PLAN L501 PLANTING EXHIBIT
HARDSCAPE DETAILS	L700 PAVING DETAILS

### CONSULTANT DRAWINGS:

CIVIL DRAWINGS:	C-1 PRELIMINARY GRADING & DRAINAGE PLAN C-2 SECTIONS C-3 CONTROL POLLUTION PREVENTION PLAN E-1 CUT / FILL EXHIBIT
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E V E N S  
ARCHITECTS

K A A Design Group

12921 West Washington Blvd., Los Angeles, CA 90066  
310.821.1400, fax 310.821.1400  
kaadesigngroup.com



drawing issue dates / revisions:

date	submittal
12/21/22	CDP Submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: A000  
COVER SHEET-  
CDP

scale: 1/64" = 1'-0", 1" = 1'-0"  
printed: 06 / 14 / 2023  
drawn by: SF, RH, EB  
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LEGEND

AC	ASPHALT PAVEMENT	—	BLOCK WALL
BI	BOTTOM OF DRIVEWAY 'X'	—	CHAINLINK FENCE (CLF)
DI	DRAIN INLET	—	WOOD FENCE (WDF)
EP	EDGE OF PAVEMENT	—	PROPERTY LINE
EPB	ELECTRICAL PULL BOX	—	RIGHT-OF-WAY
EVT	ELECTRICAL VAULT	—	CONCRETE SURFACE
FL	FINISH FLOOR	—	BRICK SURFACE
FFG	FINISH FLOOR GARAGE	—	EXISTING BUILDING
FS	FINISHED SURFACE	—	
GM	GAS METER	—	
ICV	IRRIGATION CONTROL VALVE	—	
NG	NATURAL GROUND	—	
SCU	SEWER CLEANOUT	—	
SMH	SEWER MANHOLE	—	
TC	TOP OF CURB	—	
TD	TOP OF DECK	—	
TF	TOP OF FENCE	—	
TPB	TELEPHONE PULL BOX	—	
TR	TOP OF RAIL	—	
TW	TOP OF WALL	—	
TX	TOP OF DRIVEWAY 'X'	—	
TVT	TELEPHONE VAULT	—	
WM	WATER METER	—	
( )	EXISTING ELEVATION	—	
○	FOUND 1" IRON PIPE	—	
●	MONUMENT TO BE SET	—	
⊕	TEMPORARY BENCH MARK SET ON A SEWER MANHOLE (SMH) ELEVATION = 11.92 FEET	—	

BENCHMARK INFORMATION

BENCHMARK NO. NB4-36-74

DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB4-36-74" SET IN THE NORTHWEST CORNER OF A 4 FT. BY 22 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE T-INTERSECTION OF HELIOTROPE AVENUE AND OCEAN BOULEVARD, 21 FT. SOUTHWEST OF THE CENTERLINE OF OCEAN BOULEVARD AND 122 FT. NORTHWESTERLY OF THE CENTERLINE OF HELIOTROPE AVENUE. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

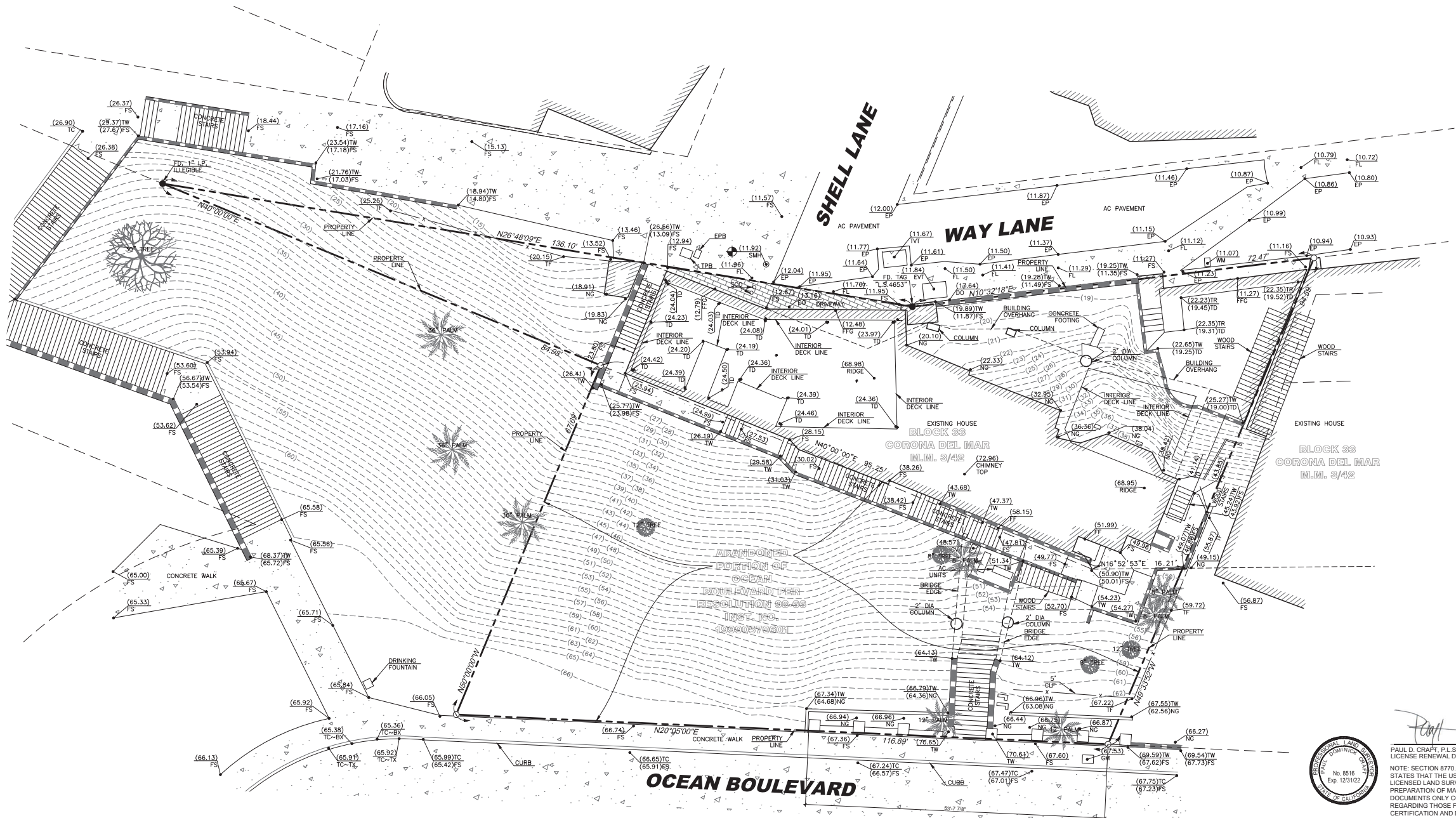
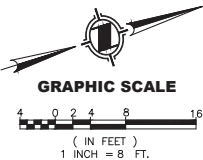
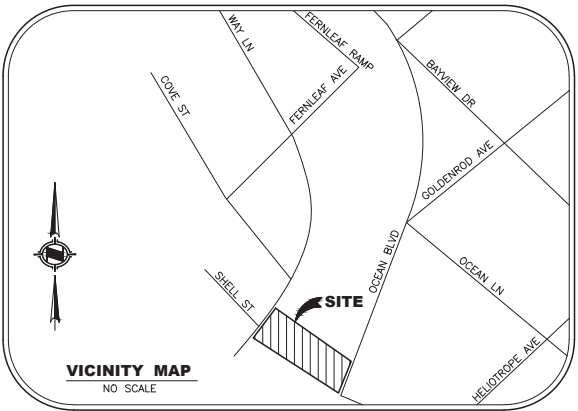
ELEVATION: 67.054 FEET (NAVD88), YEAR LEVELED 1994

SURVEYOR'S NOTE

1. THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS. ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.

2. PROPERTY CORNERS SHALL BE MONUMENTED BY A LICENSED LAND SURVEYOR BEFORE THE START OF GRADING.

3. SURVEYOR TO SUBMIT A "RECORD OF SURVEY" TO THE COUNTY SURVEYOR. EVIDENCE OF SUBMITTAL TO BE SUBMITTED TO THE BUILDING INSPECTOR AT OR PRIOR TO FOUNDATION INSPECTION.



PAUL D. CRAFT, P.L.S. 8516  
LICENSE RENEWAL DATE 12/31/22

DATE

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

**APEX LAND SURVEYING, INC.**  
HUNTINGTON BEACH, CALIFORNIA 92646  
PHONE: 714-488-5006 FAX: 714-333-4440  
APEXLSINC@GMAIL.COM

PROJECT SURVEYOR

DATE 1/19/2022

SCALE 1" = 8'

DRAWN J. A. H.

CHECKED P. D. C.

TOPOGRAPHIC MAP

2741 OCEAN BOULEVARD  
CORONA DEL MAR, CA 92625

APN: 052-046-07

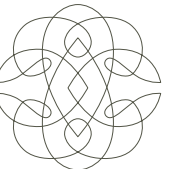
SHEET TITLE

SHEET NO.

1

176

JAN. 21/16



E V E N S  
ARCHITECTS

K A A Design Group  
12921 West Washington Blvd., Los Angeles, CA 90066  
310.851.1400, fax 310.851.1440  
kaadesigngroup.com



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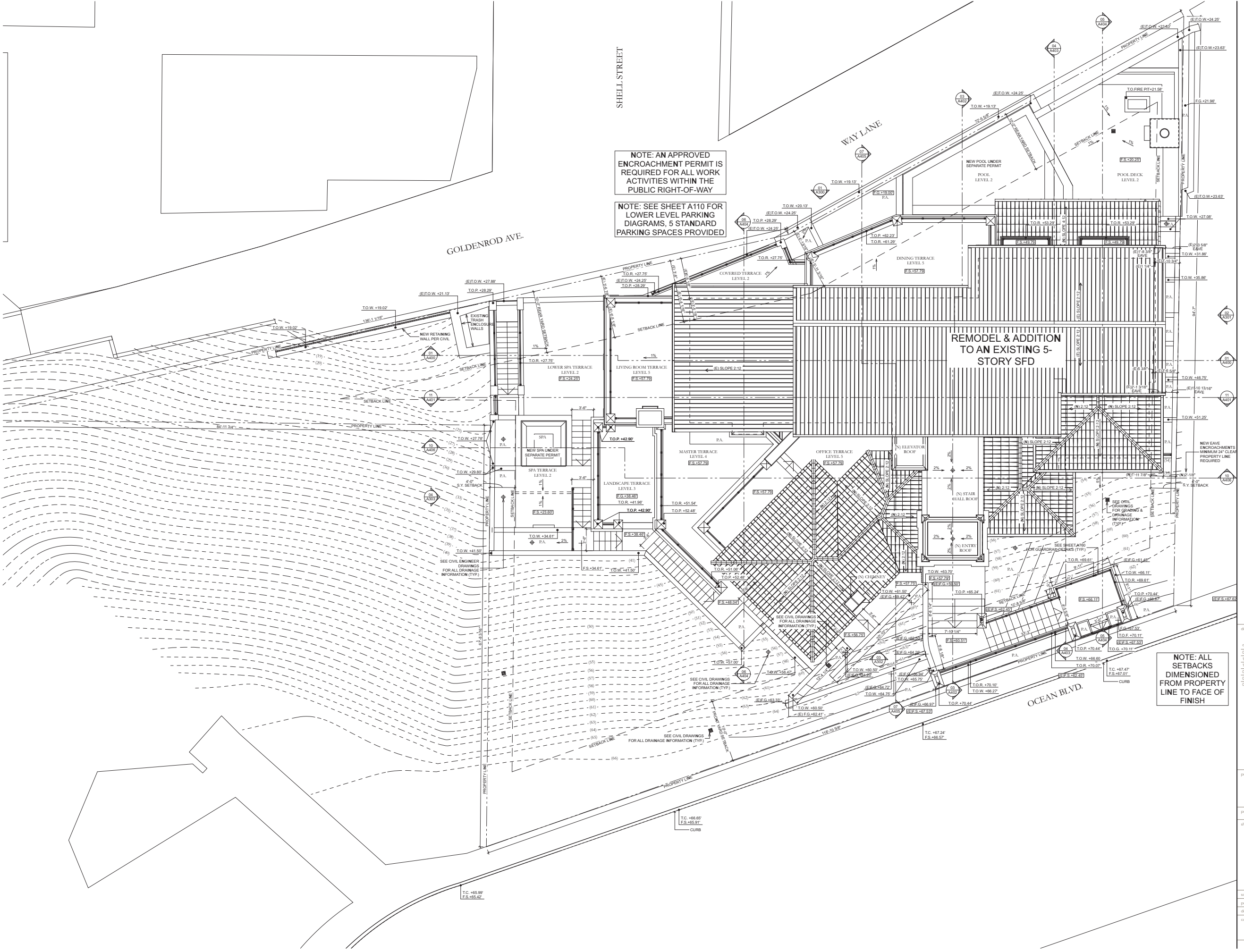
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08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet: A021  
SITE PLAN

scale: 1/8" = 1'-0", 3/16" = 1'-0"  
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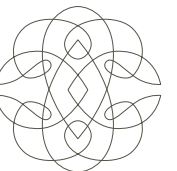


NOTE: AN APPROVED  
ENCROACHMENT PERMIT IS  
REQUIRED FOR ALL WORK  
ACTIVITIES WITHIN THE  
PUBLIC RIGHT-OF-WAY

NOTE: SEE SHEET A110 FOR  
LOWER LEVEL PARKING  
DIAGRAMS, 5 STANDARD  
PARKING SPACES PROVIDED

REMODEL & ADDITION  
TO AN EXISTING 5-  
STORY SFD

NOTE: ALL  
SETBACKS  
DIMENSIONED  
FROM PROPERTY  
LINE TO FACE OF  
FINISH



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K A A Design Group  
12921 West Washington Blvd., Los Angeles, CA 90066  
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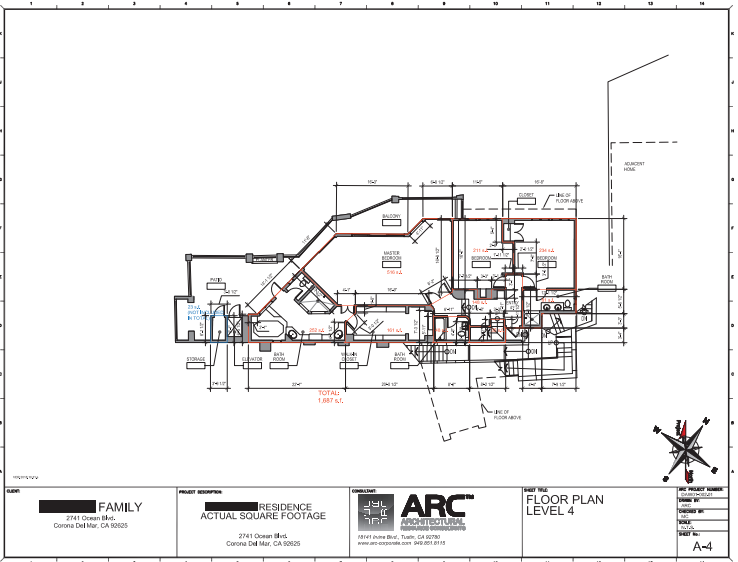
drawing issue dates / revisions:	
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03/08/23	CDP Submittal II
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project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

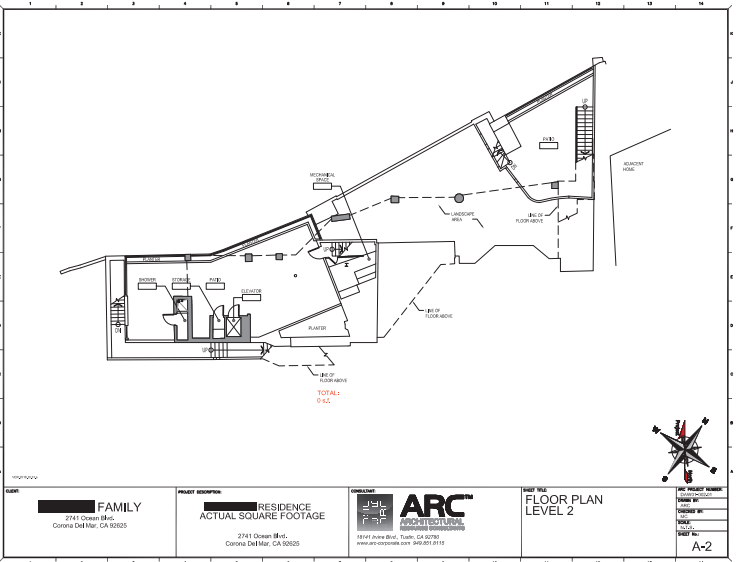
proj. no. 19103

sheet: **A022**  
EXISTING SQUARE  
FOOTAGE  
DIAGRAMS

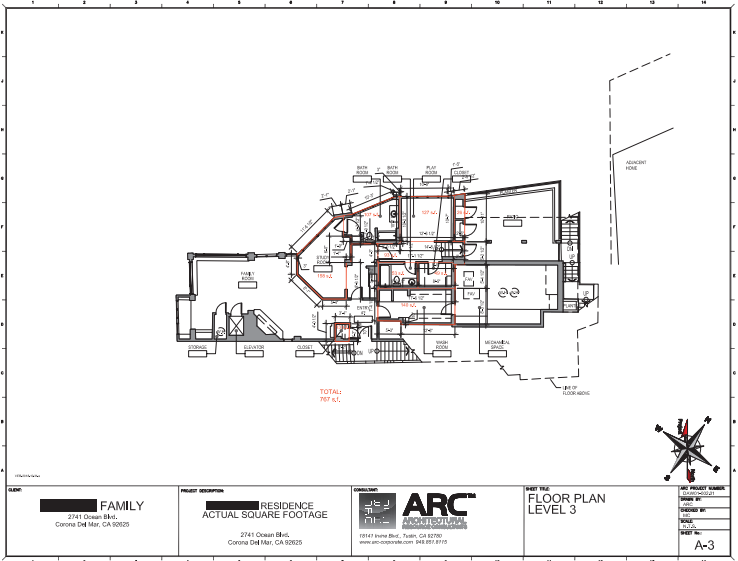
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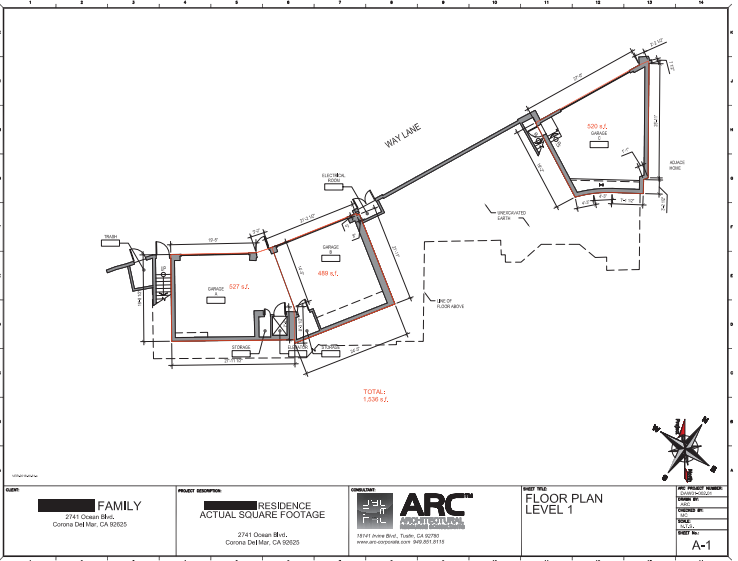
FOURTH FLOOR 6



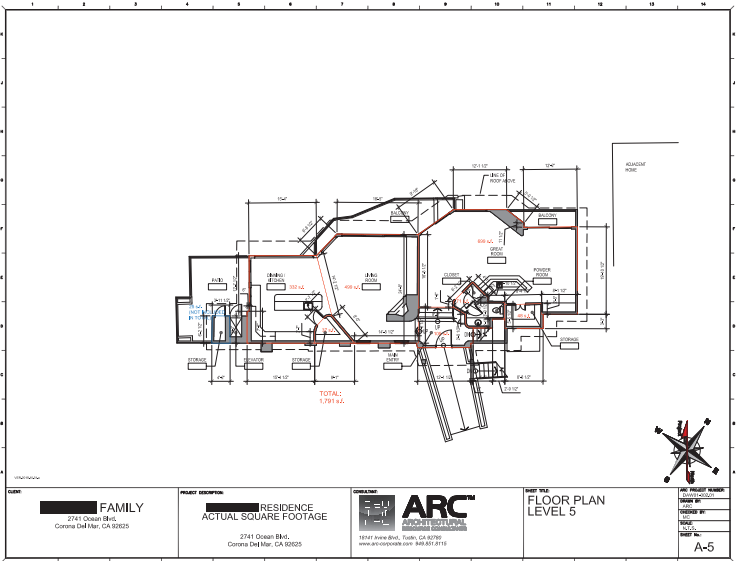
SECOND FLOOR 3



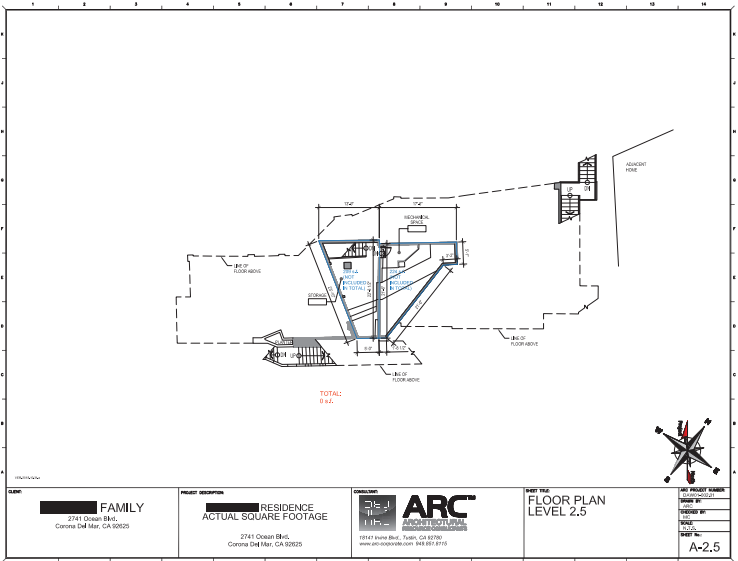
THIRD FLOOR 5



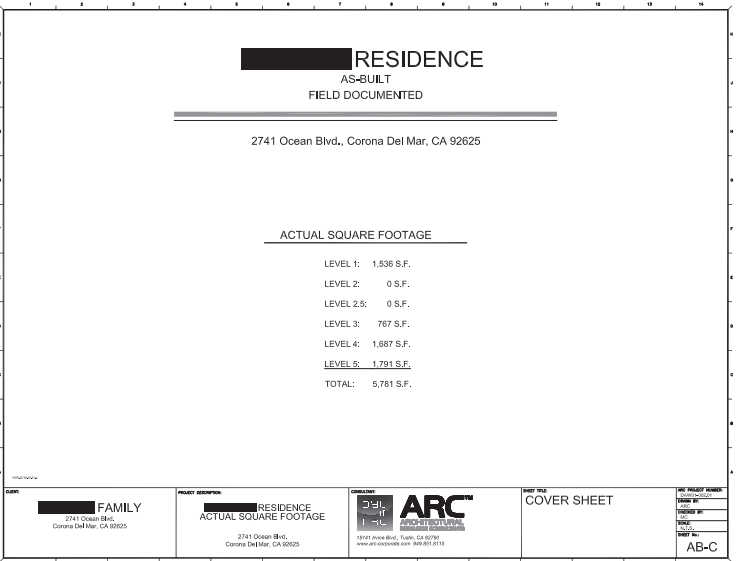
FLOOR 2



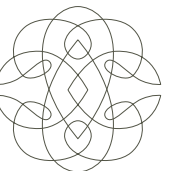
FIFTH FLOOR 7



SECOND FLOOR 4

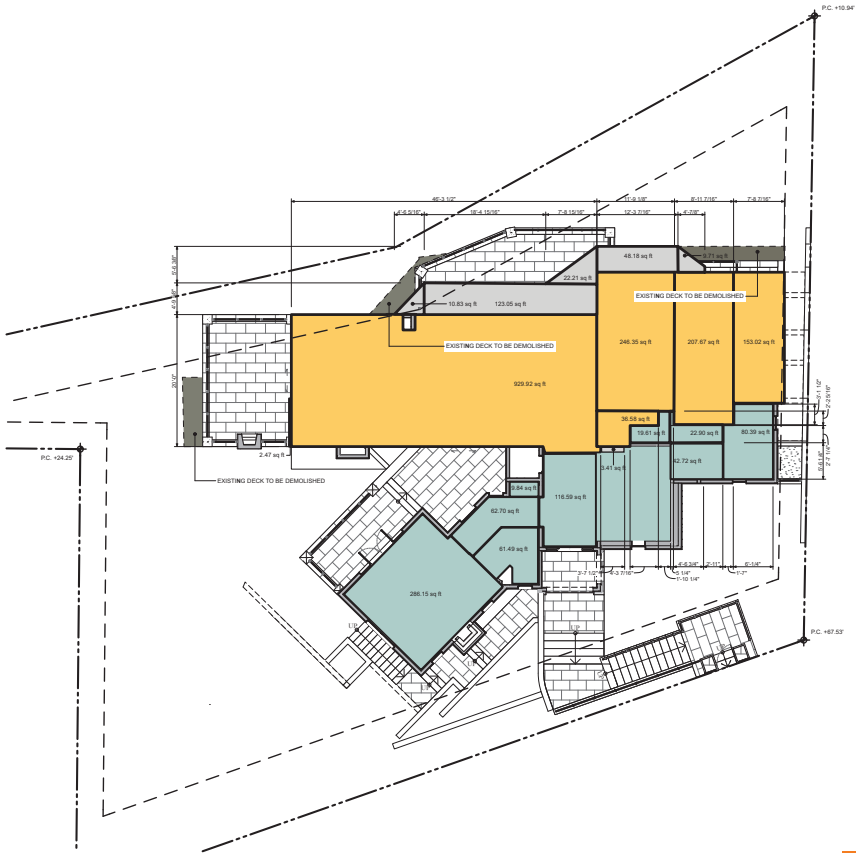


TOTAL SQUARE FOOTAGE CALCULATIONS 1

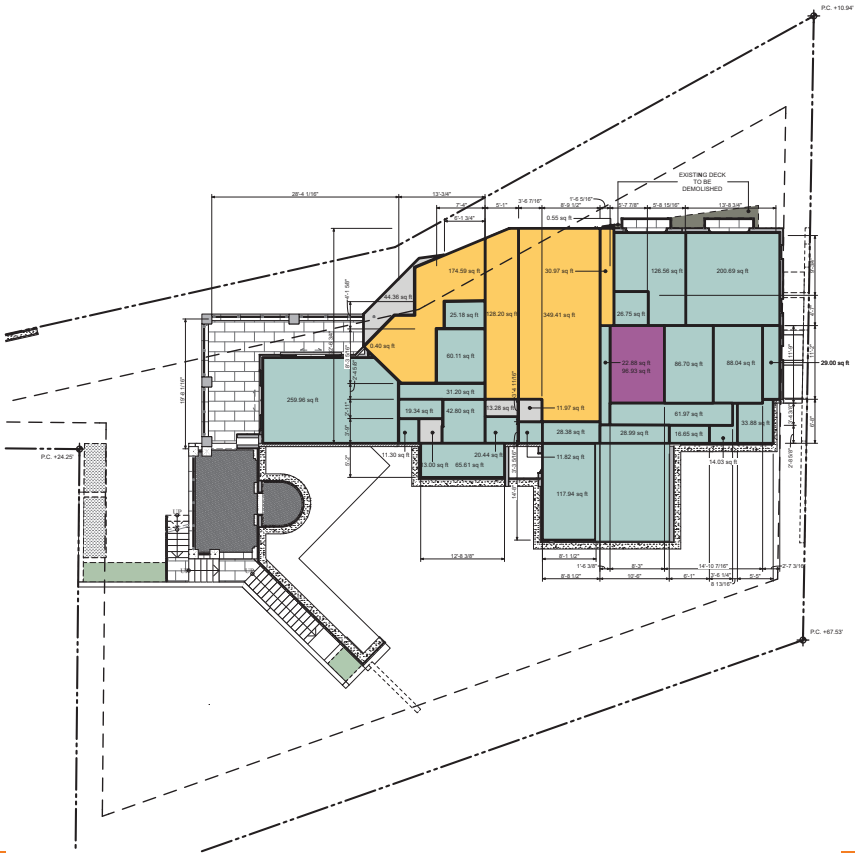


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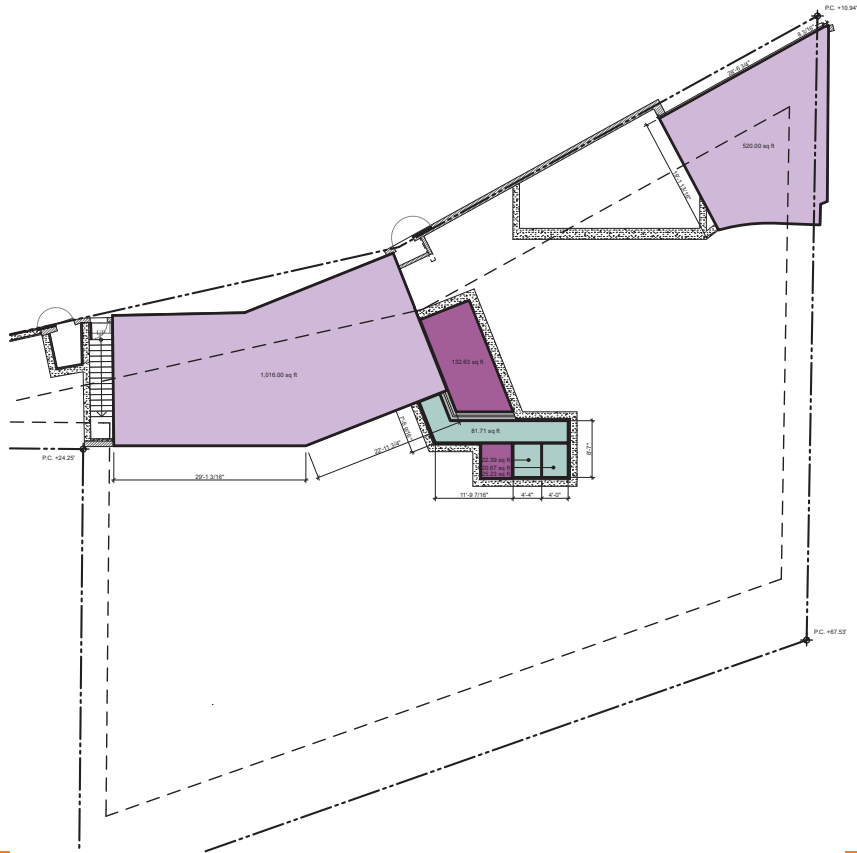
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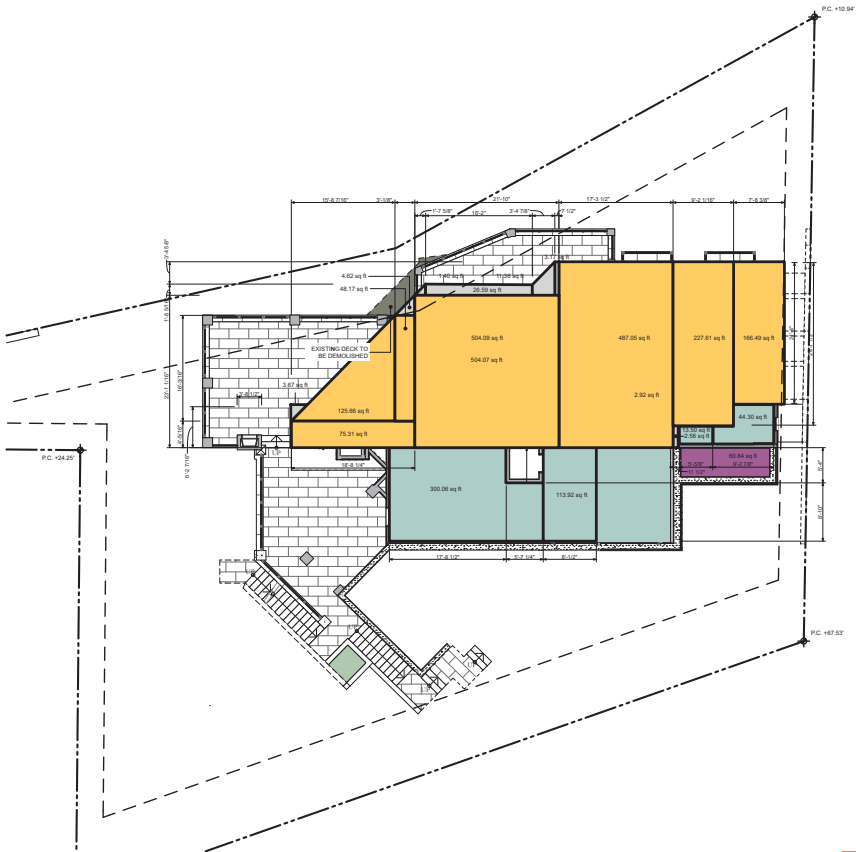
FIFTH FLOOR AREA DIAGRAM 5.



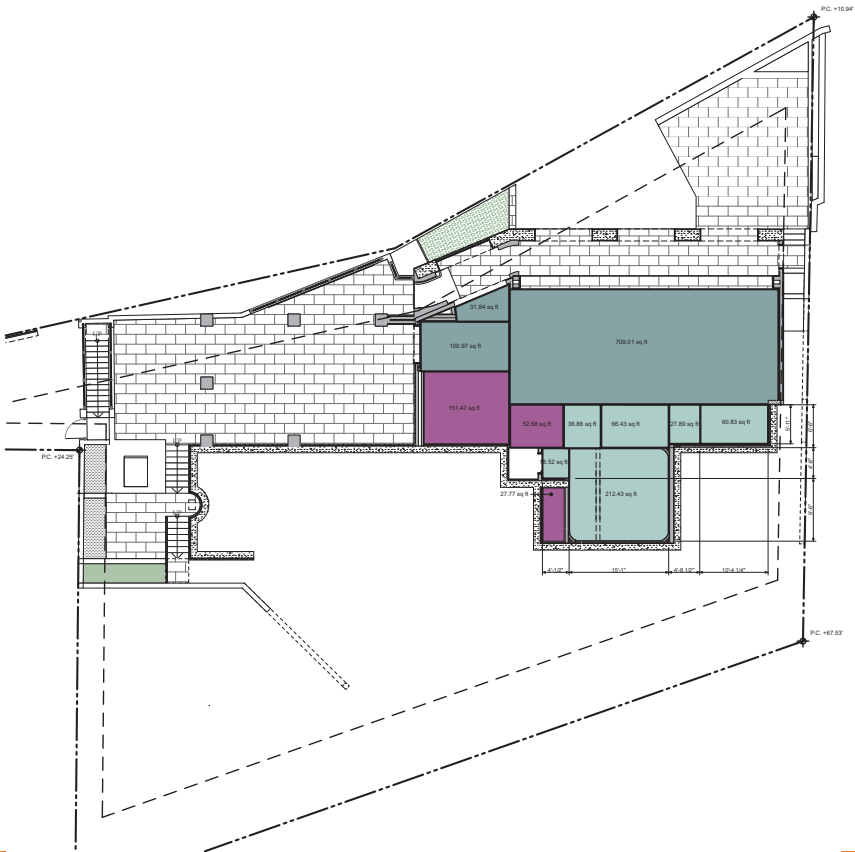
THIRD FLOOR AREA DIAGRAM 3.



FIRST FLOOR AREA DIAGRAM 1.



FOURTH FLOOR AREA DIAGRAM 4.



SECOND FLOOR AREA DIAGRAM 2.

AREA CALCS				
Existing Residence SF				5781.00
Max allowable SF for Zoning Admin				8671.50
Scope remodel, demo, and addition				
	Existing SF	Demo SF	Addition SF	SF added
Level 5				
	1791.00	-2.47	286.15 (office)	
		-10.83	62.7 (hall)	
		-123.05	9.84 (hall niche)	
		-22.21	61.49 (office bath)	
		-48.18	116.59 (stair hall)	
		-9.71	19.61 (hall)	
		-3.41	22.9 (hall)	
			80.39 (pantry)	
			42.72 (powder)	
				482.53
Level 4				
	1687	-3.67	113.92 (stair hall)	
		-48.17	294.05 (master closet)	
		-4.62	13.5 (hall)	
		-1.4	44.3 (bath 02)	
		-26.59		
		-11.36		
		-3.17		
				368.79
Level 3				
	767	-0.53	259.96 (gym)	
		-44.36	11.3 (vest)	
		-13	19.34 (vest / hall)	
		-13.28	42.8 (hall)	
		-11.97	20.44 (hall)	
			11.82 (hall)	
			28.38 (hall)	
			28.99 (hall)	
			16.65 (hall)	
			14.03 (vest)	
			33.88 (powder)	
			126.56 (bath 03)	
			26.75 (bath 03)	
			200.69 (bedroom 03)	
			64.55 (wine cabinet)	
			22.88 (game room)	
			61.97 (hall)	
			86.7 (closet 03)	
			88.04 (laundry)	
			29 (laundry)	
				1111.57
Level 2				
	0	0	212.43 (stair hall)	
			18.52 (elev. vest)	
			66.43 (pool bath)	
			53.59 (vest)	
			36.88 (vest)	
			33.15 (bath vest)	
				423.00
Level 1				
	1536	0	80.87 (hall)	
			21.67 (elevator vest)	
			23.02 (elevator)	
				125.56
Total all Levels	5781.00	-402.00		2511.45
Max Allowable Addition SF for Zoning Admin				2890.50
SF Under Max allowable				379.07
New total square footage				8292.45

LEGEND

ADDITION

DEMO

EXISTING

MECHANICAL

GARAGE

COVERED OUTDOOR SPACE

DEMO EXISTING DECK



drawing issue dates / revisions:	
date	submittal
08/26/22	Progress Planning Set
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12/21/22	Plan Check Submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103  
sheet: A023  
FLOOR AREA  
DIAGRAMS

scale: 06 / 14 / 2023  
printed: SF, RH, EB  
drawn by: SF, RH, EB  
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FULL SITE - KEY PLAN 7



VIEW 1 FROM OCEAN BLVD - PROPOSED 4



VIEW 2 FROM OCEAN BLVD - PROPOSED 5



VIEW 3 FROM OCEAN BLVD - PROPOSED 6



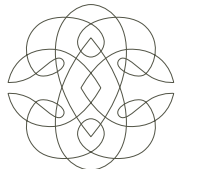
VIEW 1 FROM OCEAN BLVD - EXISTING 1



VIEW 2 FROM OCEAN BLVD - EXISTING 2



VIEW 3 FROM OCEAN BLVD - EXISTING 3



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drawing issue dates / revisions:

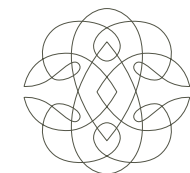
date	submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: A024  
NEW VS EXISTING  
- STREET VIEWS

scale:  
printed: 06 / 14 / 2023  
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drawing issue dates / revisions:

date	submittal
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: **A025**  
NEW VS EXISTING  
- STREET VIEWS

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VIEW 3 FROM WEST JETTY VIEW PARK - PROPOSED

6



VIEW 3 FROM WEST JETTY VIEW PARK - EXISTING

3



VIEW 2 FROM WEST JETTY VIEW PARK - PROPOSED

5



VIEW 2 FROM WEST JETTY VIEW PARK - EXISTING

2



FULL SITE - KEY PLAN

7



VIEW 1 FROM WEST JETTY VIEW PARK - PROPOSED

4



VIEW 1 FROM WEST JETTY VIEW PARK - EXISTING

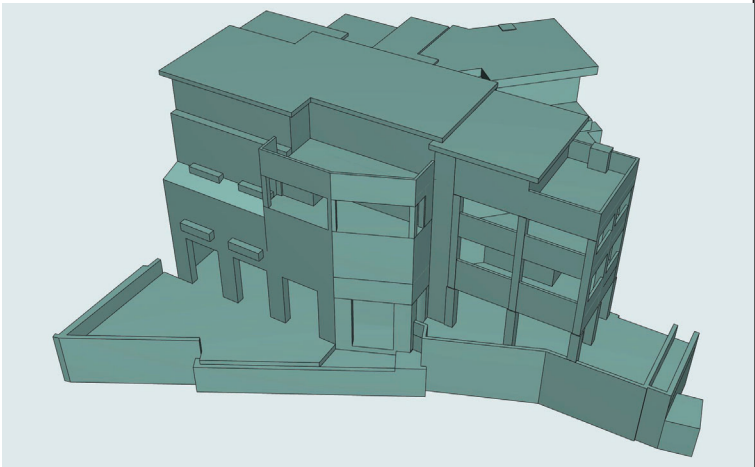
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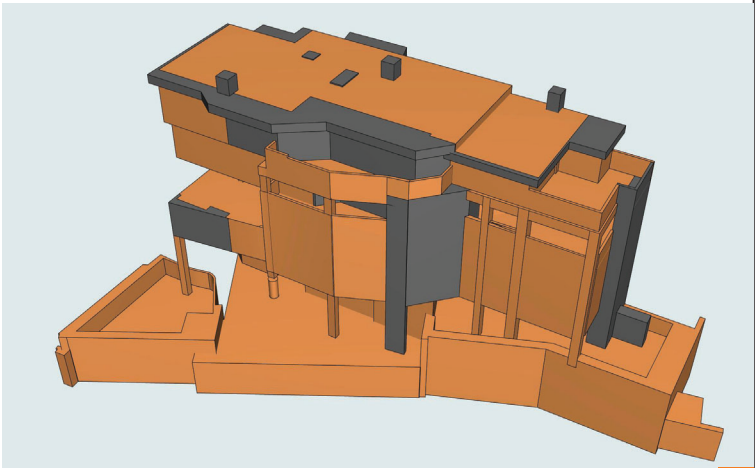
PROPOSED RESIDENCE 5



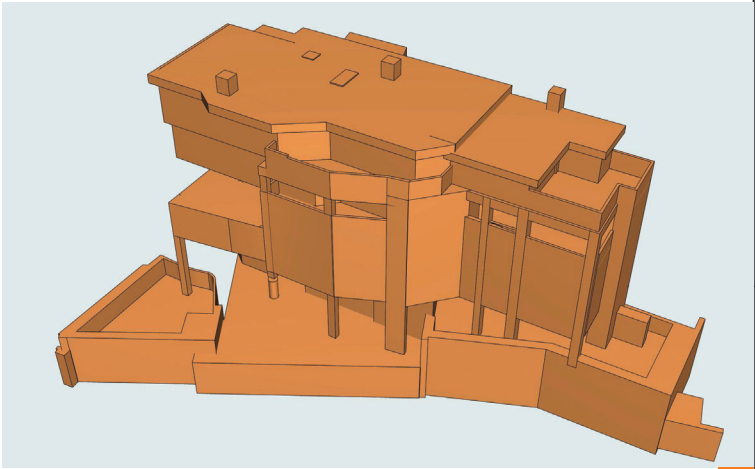
EXISTING RESIDENCE REFERENCE 4



PROPOSED MASSING 3

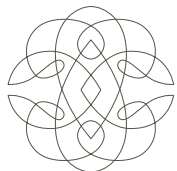


EXISTING + DEMO MASSING 2



EXISTING MASSING 1

LEGEND	
<div></div>	EXISTING BUILDING ENVELOPE
<div></div>	DEMO
<div></div>	PROPOSED DESIGN



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project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: A026

NEW VS EXISTING  
- MASSING  
MODEL EXHIBIT

scale:	1/2"=1', 1/4"=1', 1/8"=1', 1/16"=1'
printed:	06 / 14 / 2023
drawn by:	SP, RH, EB
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05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

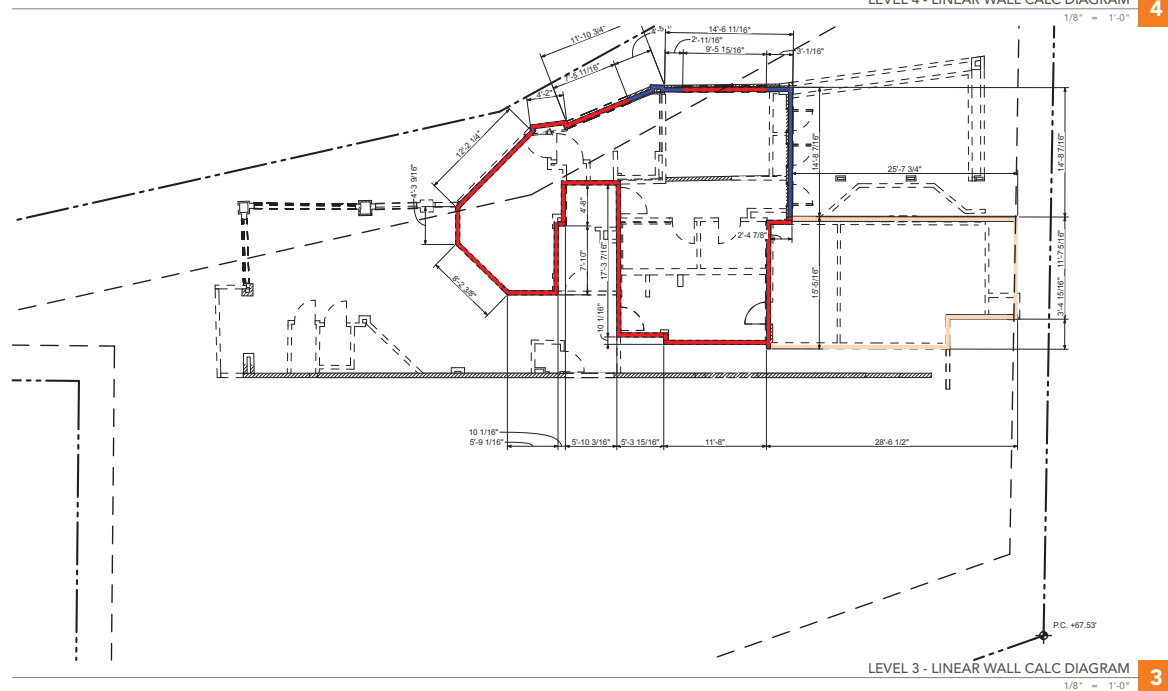
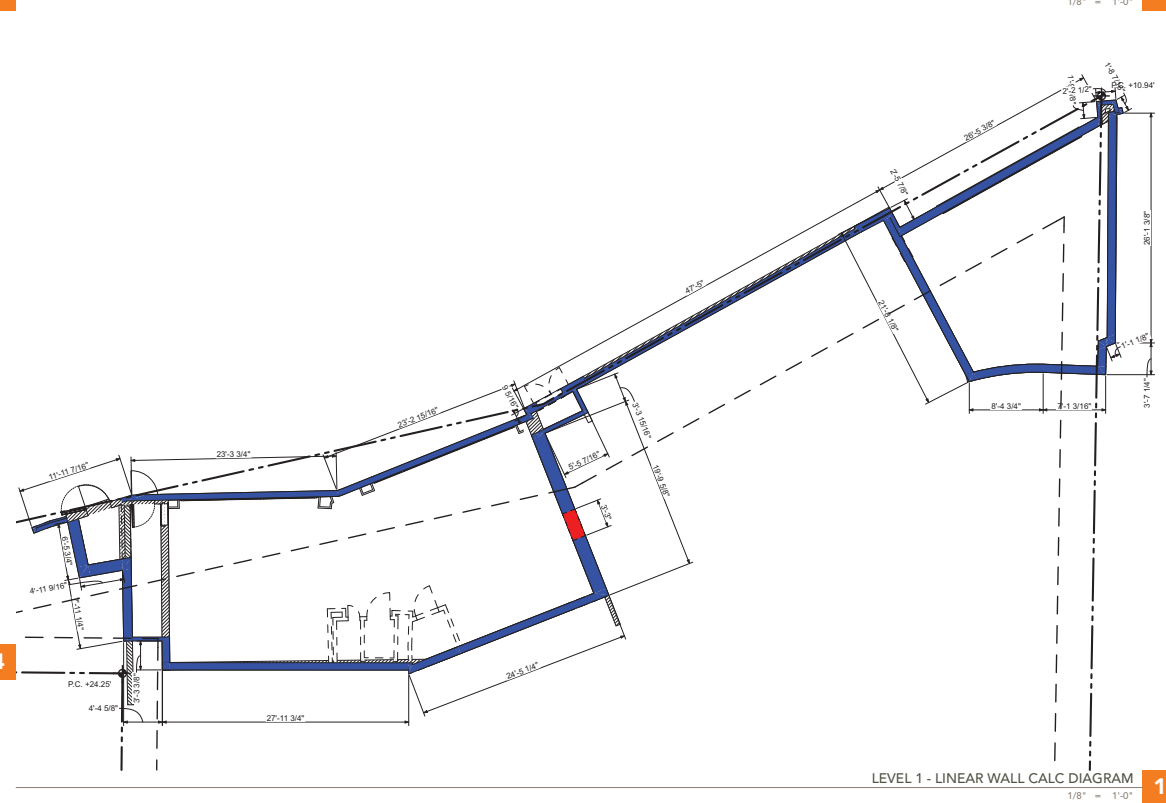
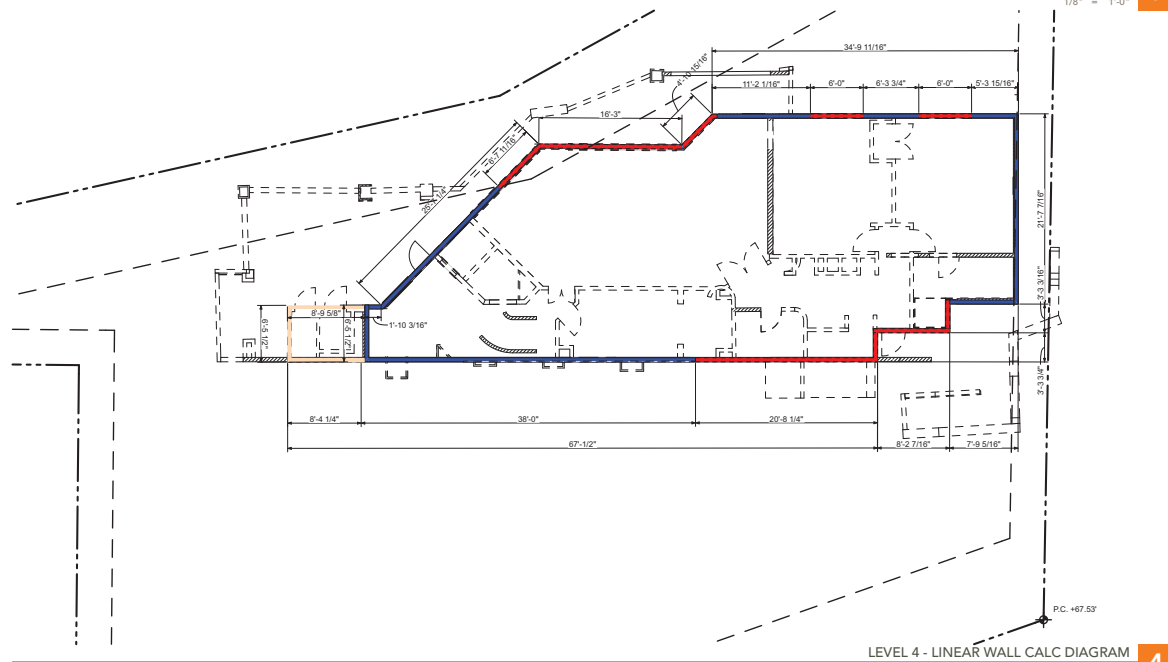
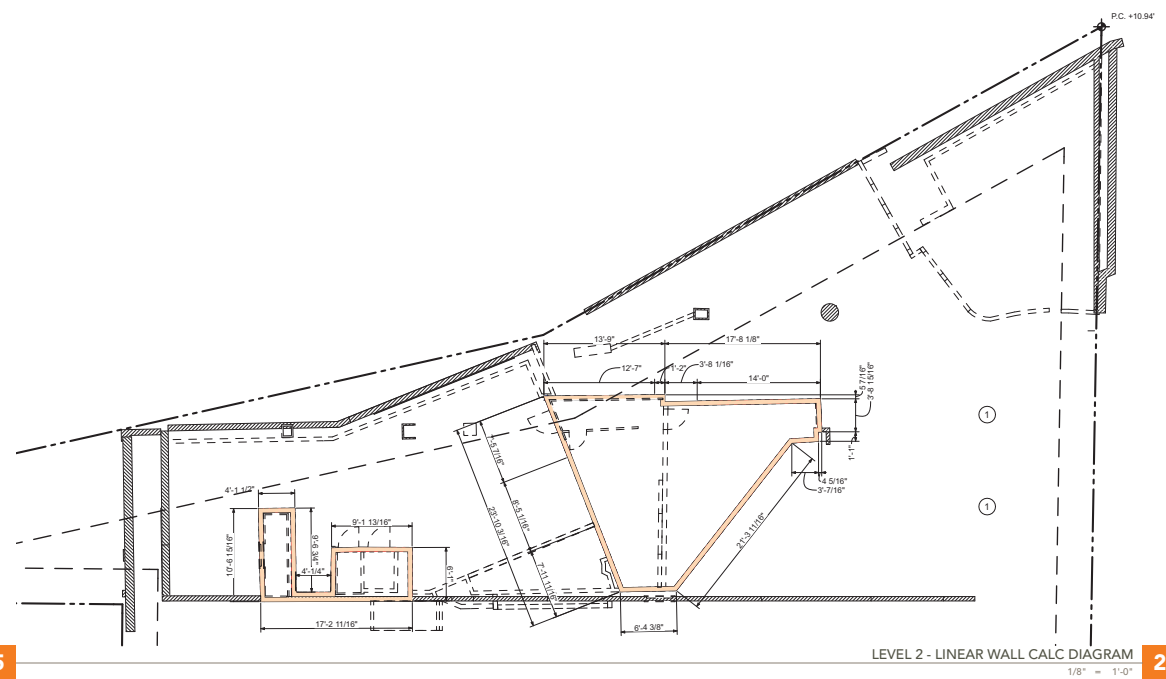
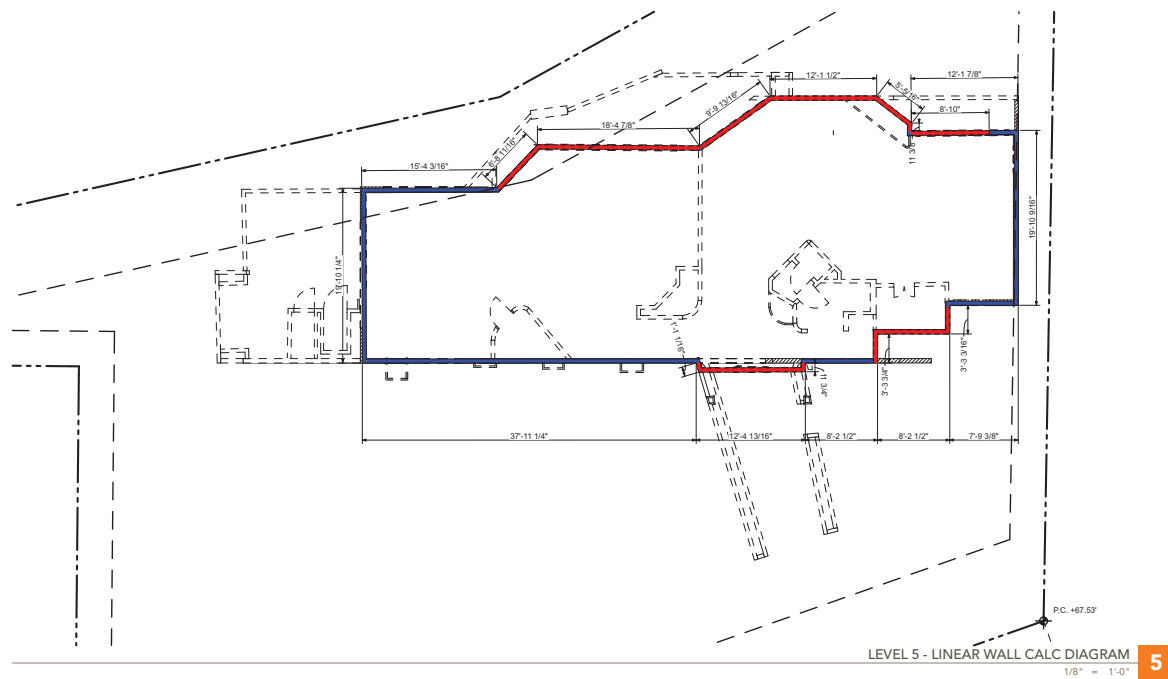
proj. no. 19103

sheet: **A027**  
**GRADE PLANE**  
**EXHIBIT**

scale:	$1/4" = 1'-0"$ , $1/8" = 1'-0"$ ,
printed:	$1/16" = 1'-0"$ , $1" = 1'-0"$
drawn by:	SP, RH, EB

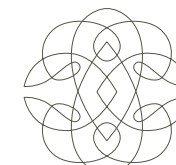
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183



## LINEAR WALL NOTES

1. SEE SHEET A022 FOR EXISTING AREA CALCULATIONS



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DAWSON RESIDENCE  
AS-BUILT  
FIELD DOCUMENTED

2741 Ocean Blvd., Corona Del Mar, CA 92625

ACTUAL SQUARE FOOTAGE

LEVEL 1:	1,536 S.F.
LEVEL 2:	0 S.F.
LEVEL 2.5:	0 S.F.
LEVEL 3:	767 S.F.
LEVEL 4:	1,687 S.F.
<u>LEVEL 5:</u>	<u>1,791 S.F.</u>
TOTAL:	5,781 S.F.



## LINEAR WALL CALCULATIONS

LEVEL	EXISTING PERIMETER	LINEAR WALL DEMO
FIRST FLOOR	± 322' - 11"	± 3' - 3"
SECOND FLOOR	± 0' - 0"	± 0' - 0"
THIRD FLOOR	± 137' - 5"	± 113' - 4"
FOURTH FLOOR	± 209' - 10"	± 75' - 1"
FIFTH FLOOR	± 203' - 2"	± 91' - 11"
<b>TOTAL</b>	<b>± 873' - 4"</b>	<b>± 283' - 7" (±32%)</b>
± 283' - 7" / ± 873' - 4" = ± 0.32 x 100 = ± 32%		
<b>MAX ALLOWABLE WALL DEMO = 50%</b>		
873' - 4" X 50 = 436' - 8"		
<b>283' - 7" (32%) &lt; 436' - 8" (50%)</b>		

drawing issue dates / revisions:

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05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

## LEGEND

Legend for the wall calculation diagram:

- P.C. XXXXX: Property Corner (indicated by a crosshair symbol)
- PROPERTY CORNER: Property Corner (indicated by a crosshair symbol)
- PROPERTY LINE: Property Line (indicated by a dashed line)
- SETBACK LINE: Setback Line (indicated by a dashed line)
- EXISTING TO REMAIN: Existing to Remain (indicated by a hatched pattern)
- EXISTING PERIMETER TO REMAIN: Existing Perimeter to Remain (indicated by a blue solid pattern)
- EXISTING TO BE DEMOLISHED: Existing to be Demolished (indicated by a dashed line)
- EXISTING PERIMETER TO BE DEMOLISHED: Existing Perimeter to be Demolished (indicated by a red solid pattern)
- EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATION): Existing Mechanical (Excluded from Linear Wall Calculation) (indicated by a tan solid pattern)

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

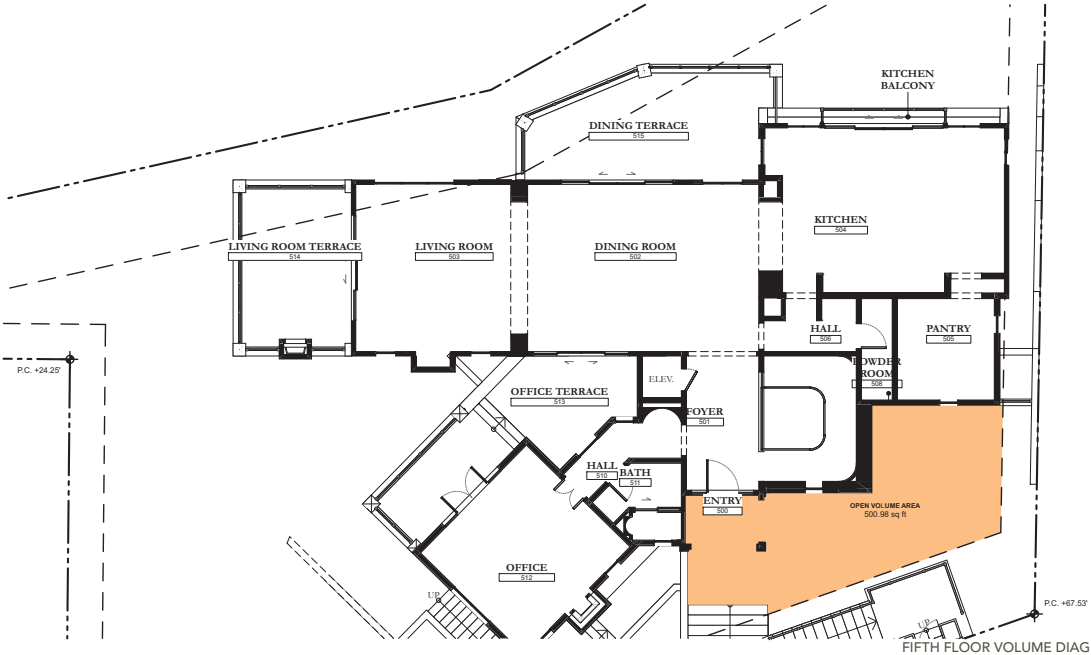
sheet: **A028**  
**LINEAR WALL**  
**CALCULATION**  
**DIAGRAMS**

scale:  $1/4" = 1'-0"$ ,  $1/8" = 1'-0"$

printed: 06 / 14 / 2023

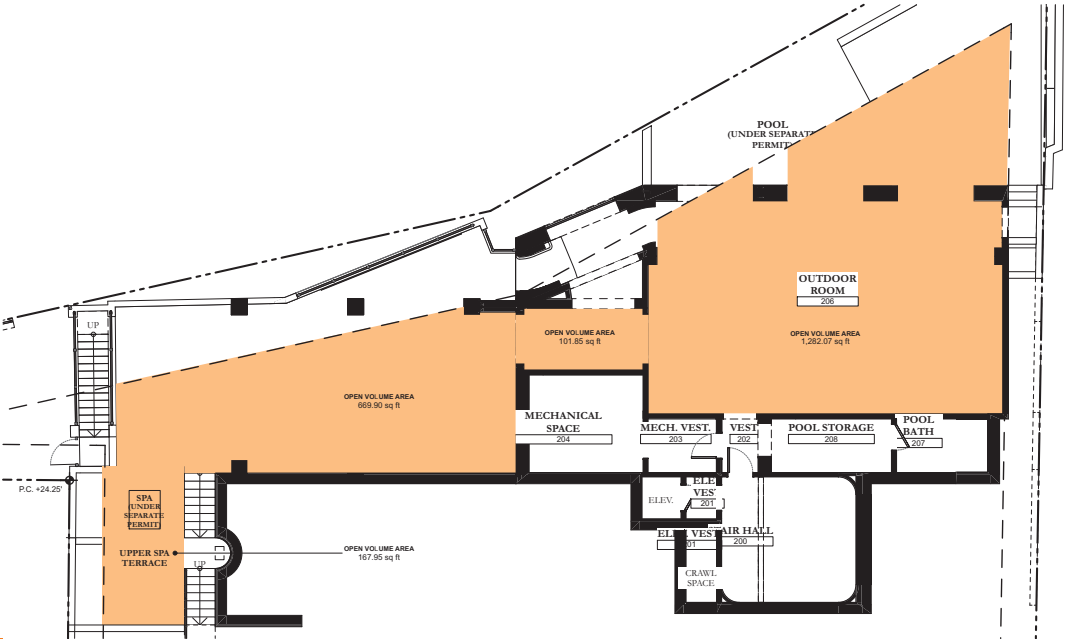
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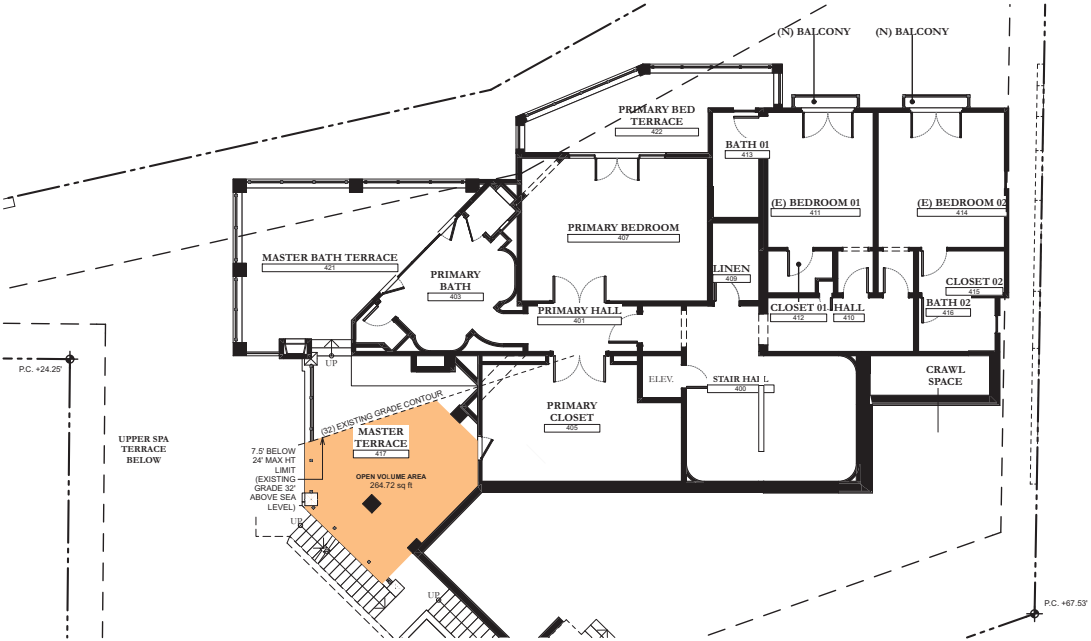
FIFTH FLOOR VOLUME DIAGRAM

5.



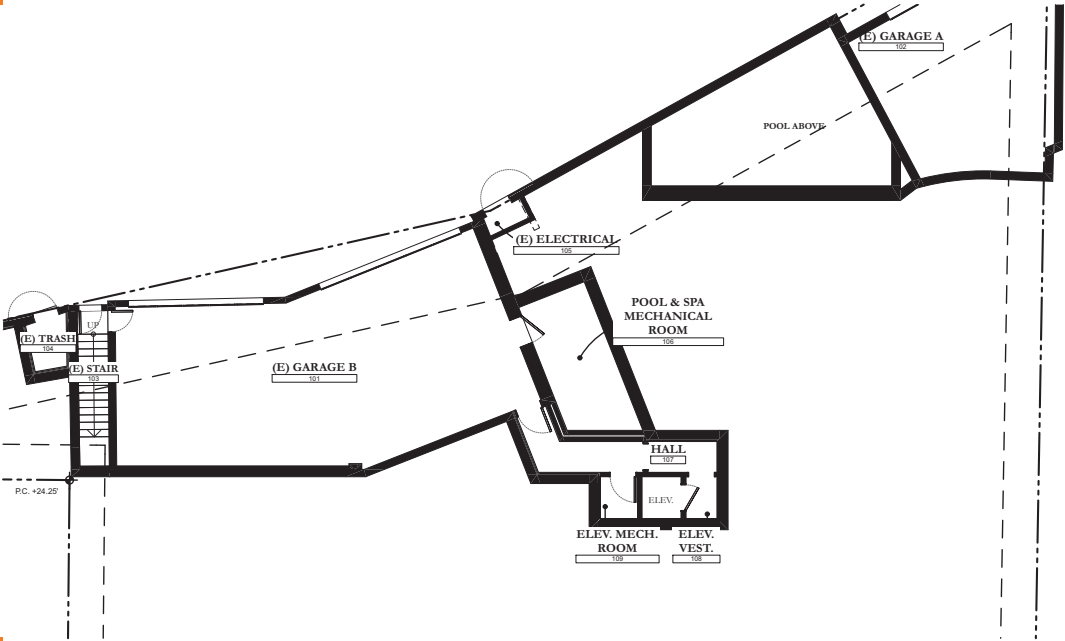
SECOND FLOOR VOLUME DIAGRAM

2.



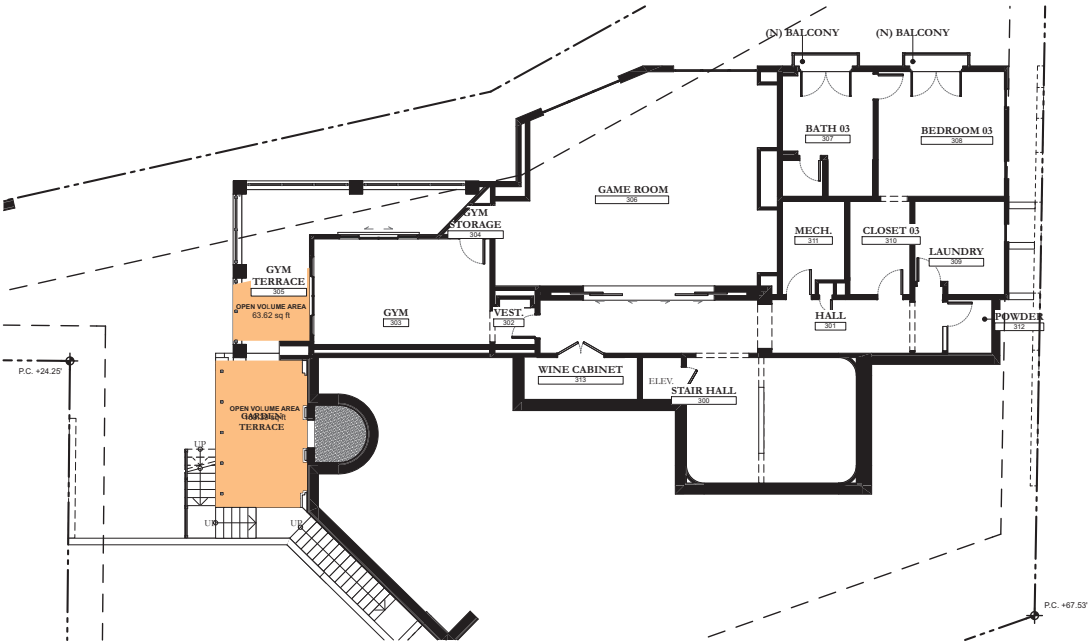
FOURTH FLOOR VOLUME DIAGRAM

4.



FIRST FLOOR VOLUME DIAGRAM

1.



THIRD FLOOR VOLUME DIAGRAM

3.

### OPEN VOLUME CALCULATIONS

BUILDABLE AREA:	6,692.40 SQ FT
MINIMUM (15%):	1,003.86 SQ FT
SECOND FLOOR:	2221.77 SQ FT
THIRD FLOOR:	233.01 SQ FT
FOURTH FLOOR:	264.72 SQ FT
FIFTH FLOOR:	500.98 SQ FT
TOTAL (COMPLIES):	3,226.48 SQ FT
REQUIRED:	6,692.40 SF X 0.15 = 1,003.86 SF (MINIMUM)
	1,003.86 SF < 3,226.48 SF (COMPLIES)

### LEGEND

P.C. XXXXX	PROPERTY CORNER
---	PROPERTY LINE
---	SETBACK LINE



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date	submittal
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05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: **2741 OCEAN  
RESIDENCE**  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: **19103**

sheet: **A029**  
**OPEN VOLUME  
DIAGRAMS**

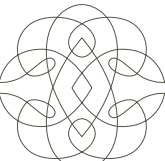
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DEMOLITION NOTES

- (E) CRAWL SPACE WALLS TO BE REMOVED.
- (E) FLOOR FINISH TO BE REMOVED AND REPLACED.
- (E) GUARDRAIL/ HANDRAIL TO BE REMOVED AND REPLACED.
- PORTION OF (E) DECK TO BE REMOVED.
- LINE OF (E) DECK TO REMAIN.
- LINE OF (E) WALL TO REMAIN.
- (E) STAIRS TO BE REFINISHED.
- (E) WINDOWS & WALL TO BE REMOVED TO CONVERT BACK TO DECK.
- (E) LOW WALL TO BE REMOVED.
- (E) ROOF TO REMAIN, NO CHANGE IN HEIGHT.
- (E) FINISH AT CHIMNEY & CHIMNEY CAPS TO BE REMOVED & REPLACED, NO CHANGE IN HEIGHT.
- (E) CHIMNEY TO BE REMOVED.
- (E) STAIR TO BE REMOVED.
- (E) DECORATIVE PLASTER TO BE REMOVED.
- (E) ROOF TO BE REMOVED.
- (E) COLUMN TO BE RELOCATED.



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05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet: AE110  
FIRST FLOOR  
EXISTING / DEMO  
PLAN

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

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LEGEND

P.C. XXXXX	PROPERTY CORNER
---	PROPERTY LINE
---	SETBACK LINE
---	EXISTING TO REMAIN
---	EXISTING PERIMETER TO REMAIN
---	EXISTING TO BE DEMOLISHED
---	EXISTING PERIMETER TO BE DEMOLISHED
---	EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATIONS)
---	PROPOSED
---	EARTH FILL

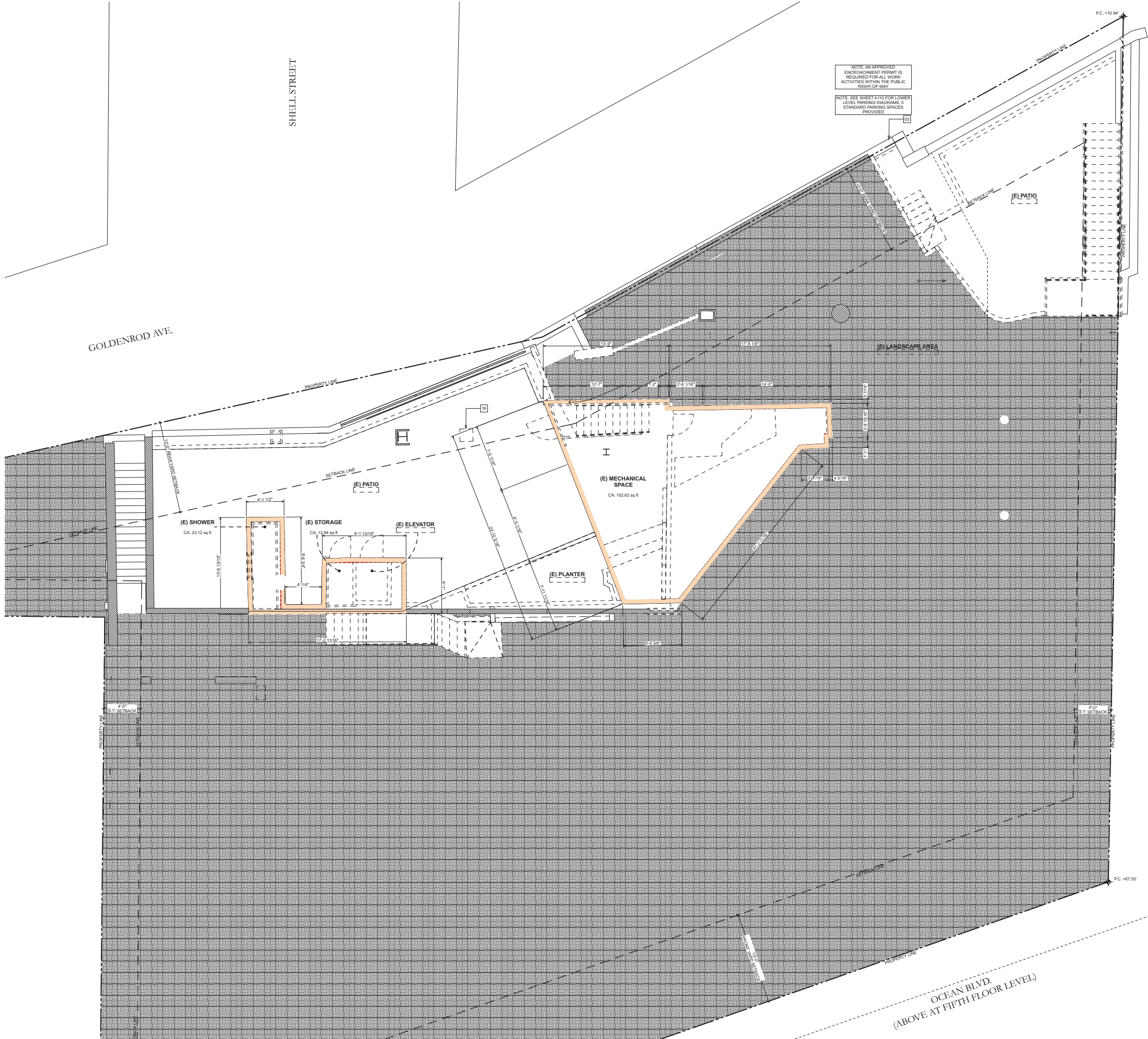
FIRST FLOOR DEMO PLAN  
1/4" = 1'-0"

1



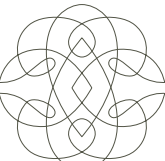
186





DEMOLITION NOTES

- (E) CRAWL SPACE WALLS TO BE REMOVED.
- (E) FLOOR FINISH TO BE REMOVED AND REPLACED.
- (E) GUARDRAIL/ HANDRAIL TO BE REMOVED AND REPLACED.
- PORTION OF (E) DECK TO BE REMOVED.
- LINE OF (E) DECK TO REMAIN.
- LINE OF (E) WALL TO REMAIN.
- (E) STAIRS TO BE REFINISHED.
- (E) WINDOWS & WALL TO BE REMOVED TO CONVERT BACK TO DECK.
- (E) LOW WALL TO BE REMOVED.
- (E) ROOF TO REMAIN, NO CHANGE IN HEIGHT.
- (E) FINISH AT CHIMNEY & CHIMNEY CAPS TO BE REMOVED & REPLACED, NO CHANGE IN HEIGHT.
- (E) CHIMNEY TO BE REMOVED.
- (E) STAIR TO BE REMOVED.
- (E) DECORATIVE PLASTER TO BE REMOVED.
- (E) ROOF TO BE REMOVED.
- (E) COLUMN TO BE RELOCATED.



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project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet: AE120  
SECOND FLOOR  
EXISTING / DEMO  
PLAN

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

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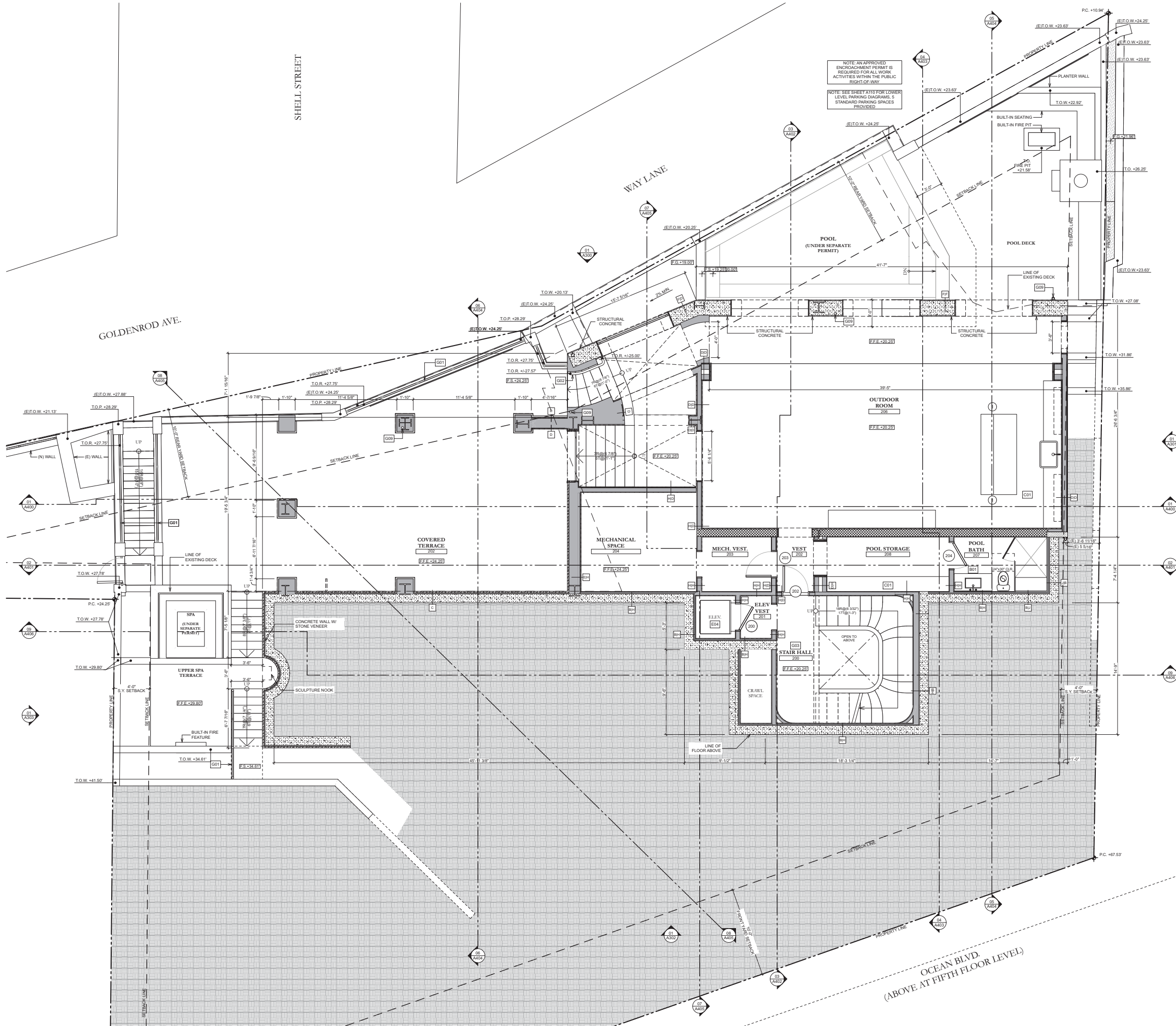
LEGEND

- P.C. XXXXX
- PROPERTY CORNER
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TO REMAIN
  - EXISTING PERIMETER TO REMAIN
  - EXISTING TO BE DEMOLISHED
  - EXISTING PERIMETER TO BE DEMOLISHED
  - EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATIONS)
  - PROPOSED
  - EARTH FILL



SECOND FLOOR DEMO PLAN  
1/4" = 1'-0"

1



FLOOR PLAN NOTES

- GENERAL:**
- G01 GUARDRAILS - SEE DETAIL. GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 1/2" MAXIMUM OPENING SIZE.
  - G02 HANDRAIL - SEE DETAIL. HANDRAILS TO BE 3 1/2" - 38" HIGH ABOVE THE STAIR TREAD NOSING WITH 3 1/2" MAXIMUM OPENING SIZE.
  - G03 PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS ADJACENT TO OR WITHIN ENCLOSED USABLE SPACE TO STAIR HALLS AND WALLS UNDER SUPPORTING STAIRS.
  - G04 GARAGE:
    - A. PROVIDE 3/4" TYPE 'X' GYPSUM BOARD FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE FOR WALLS, CEILINGS, POSTS, AND BEAMS.
    - B. GARAGE FLOOR SURFACE SHALL BE OF NON-COMBUSTIBLE PAVING MATERIAL.
    - C. DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 24 GAGE MINIMUM STEEL METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE - PER SECT. 9002.2.
    - D. 20 MIN FIRE RATED DOOR W/ SMOKE SEAL, SELF-CLOSING AND SELF-LATCHING.
    - E. 60 MIN FIRE RATED DOOR W/ SMOKE SEAL, SELF-CLOSING AND SELF-LATCHING.
    - F. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 5" (PER SECT. R318.1).
  - G08 LINE OF EXISTING WALL TO REMAIN.
  - G09 DOWNSPOUTS, GALVANIZED.
  - G10 GUTTERS, COPPER.
- BATHROOMS:**
- SEE ALSO INTERIOR ELEVATIONS & PLUMBING SCHEDULE.
  - COORDINATE PLUMBING & ELECTRICAL REQUIREMENTS WITH MANUF. SPECS.
  - COORDINATE NICHES & RECESSED ITEMS W/ FRAMING.
  - PROVIDE BACKING FOR BATHROOM ACCESSORIES AND FIXTURES AS REQ'D.
- TYPICAL BATHROOM FIXTURES:**
- SHOWER: SLOPE CURB AND FLOOR MINIMUM 1/8" TOWARDS DRAIN.
  - FAUCET: SHOWER HEAD MAX. FLOW 2.0 GPM.
  - TOILET: LOW FLOW - MAX 1.28 G.P. FLUSH.
  - URINAL: LOW FLOW - MAX 0.5 G.P. FLUSH.
  - LAV: FAUCET MAX. FLOW 1.2 GPM.
  - WALLS: NON-ABSORBENT FINISH TO 6" MIN. A.F.F. AT TUBS & SHOWERS.
- "WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL THE SHOWER HEADS SHALL NOT EXCEED 2.0 GPM OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER HEAD TO BE IN OPERATION AT A TIME."**
- SHAP AND SHAMPOO NICHE:**
- RECESSED MEDICINE CABINET.
  - CUSTOM TEMPERED GLASS TUB / SHOWER PARTITION OR ENCLOSURE. NET ENCLOSURE AREA SHALL BE NOT LESS THAN 1024 SQ IN (7'1" SQ FT) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE O.P.C. 404.8 LINEAR SHOWER TRENCH DRAIN W/ STONE/TILE INLAY.
- CABINETS & MILLWORK:**
- C01 SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVING, WARDROBES, BENCHES, DESKS, ETC. BUILT-IN CABINETS TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
- EQUIPMENT & APPLIANCES:**
- SEE ALSO INTERIOR ELEVATIONS, PLUMBING & APPLIANCE SCHED.
  - COORDINATE PLUMBING, ELECTRICAL & VENTING REQUIREMENTS W/ MANUF. SPECS.
- TYPICAL KITCHEN APPLIANCES:**
- E01 SINK: FAUCET MAX. FLOW 1.8 GPM.
  - RANGE: PROVIDE FUEL GAS AND/OR ELEC. SUPPLY AS REQUIRED BY MANUFACTURER.
  - RANGE HOOD: PROVIDE VENTS CONNECTED TO ROOF MOUNTED EXHAUST FANS. VERIFY RANGE VENTING REQUIREMENTS W/ MANUF.'S SPECIFICATIONS.
  - MICRO: MICROWAVE OVEN. VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION.
  - REF: REFRIGERATOR.
  - FZ: FREEZER.
  - WINE: WINE REFRIGERATOR.
  - UC: REFR. UNDER COUNTER REFRIGERATOR / BEVERAGE ICE.
  - ICE: ICE MAKER W/ DRAIN, PROVIDE WATER LINE TR. PULL-OUT TRASH / RECYCLING.
  - DW: DISHWASHER.
- TYPICAL LAUNDRY APPLIANCES:**
- E02 SINK: FAUCET MAX. FLOW 1.8 GPM.
  - WD: STACKABLE WASHER DRYER. PROVIDE ELECTRICAL, RECESSED HOT & COLD WATER, FLOOR DRAIN, AND DRAIN STANDPIPE. VENT DRYER TO OUTSIDE AIR. PROVIDE GAS LINE & ELECTRICAL AS REQ'D. WEATHER HOOD WITH DAMPER AT FINISH OF EXTERIOR WALL. 4" DIAMETER SMOOTH GALVANIZED METAL EXHAUST.
- E03 ASTRA DEVONSHIRE 30" INDOOR GAS LINEAR BURNER FIREPLACE. SEE G0470 FOR DETAILS (ANSI Z21.50 / CSA 2.22, PFS REPORT #09-099) (SPARK LINEAR BURNER SYSTEM INDOOR, LB800, ANSI Z21.50 / CSA 2.20).**
- E04 ELEVATOR: ELEVATOR SHAFT TO BE 2-HOUR RATED.**
- E05 FIRE RT (GAS) - PAL OF DRY "MDO" (TBO).**
- E06 ISOKERN 48 OUTDOOR FIREPLACE. LAR # 25483.**
- E07 STEAM SHOWER - MR. STEAM W/ AIR TEMPO CONTROLS, OR EQ., GC TO COORDINATE.**
- MECHANICAL & UTILITIES:**
- UTILITIES TO BE SCREENED PER LOCAL CODES.
  - PROVIDE REQUIRED CLEARANCES IN FRONT OF EQUIPMENT.
  - COORDINATE PLUMBING, ELECTRICAL, & VENTING REQUIREMENTS W/ MANUF. SPECS.
  - SEE SITE & LANDSCAPE PLANS FOR ADDITIONAL UTILITY & DRAINAGE INFO.
- U01 GAS METER.**
- U02 WATER METER & RELATED ASSEMBLIES.**
- U03 ELECTRIC METER.**
- U04 ELECTRICAL PANEL / SUBPANEL.**
- U05 GAS VALVE.**
- U06 RADIANT HEATING MANIFOLD.**
- U07 FIRE SPROKLER MANIFOLD & DOMESTIC PRESSURE REGULATOR.**
- U08 WATER SHUTOFF.**
- U09 SUMP PUMP.**
- U10 SOLAR PANEL INVERTERS.**
- U11 A/V RACKS: PROVIDE METHOD OF VENTILATION AND / OR COOLING.**
- U12 DRYER VENT AND DUCTING TO EXTERIOR AIR.**
- U13 TANKLESS WATER HEATER.**
- U14 GAS WATER HEATER.**
- U15 INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.**
- U16 WATER STORAGE TANK: STRAP TO WALL AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS WITH THE LOWER ANCH. 4" ABOVE THE CONTROLS. PROVIDE FLOOR DRAIN.**
- U17 NEW DWELLING UNIT TO HAVE A WHOLE BUILDING MECHANICAL VENTILATION SYSTEM PER SECTION 1500.0, TO COMPLY WITH SECTION 4.8 OF 2008 RESIDENTIAL COMPLIANCE MANUAL. SYSTEM TO PROVIDE SUPPLY VENTILATION: OUTSIDE AIR TO ENTER THE RESIDENCE THROUGH A DEDICATED SUPPLY FAN OR THROUGH THE CENTRAL HVAC SYSTEM AIR HANDLER. HVAC AIR HANDLER TO BE USED AS SUPPLY VENTILATION SYSTEM WITH THE ADDITION OF A DIRECT DUCT CONNECTION TO THE RETURN AIR DUCT FROM THE OUTSIDE AND CONTROLS THAT ENSURE THE AIR HANDLER RUNS EVEN WHEN NO HEATING / COOLING IS REQUIRED.**
- U18 MECHANICAL VENTILATION PACKAGE UNIT (PROVIDE COMBUSTION AIR SUPPLY PER CMC).**
- U19 BATHROOM FANS MUST BE ENERGY STAR W/ HUMIDISTAT CONTROLLER AND MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING.**
- U19 LAUNDRY CHUTE, TYP.**

LEGEND

- P.C. XXXXX
- PROPERTY CORNER
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TO REMAIN
  - PROPOSED
  - STRUCTURAL CONCRETE
  - LINE OF EXISTING DECK
  - LINE OF OBJECT ABOVE
  - LINE OF OBJECT BELOW
  - CENTERLINE
  - STRUCTURAL GRIDLINE
  - WALL TYPE - SEE SHEET A700
  - PLANTING AREA
  - FLOOR ELEVATIONS
  - ELEVATION TRANSITION
- P.A.
- EL. (0.00)
- ROOM NAME
- ROOM NUMBER
  - CEILING HEIGHT
  - FINISHES (SEE ALSO FINISH SCHEDULE & INTERIOR ELEVATIONS)



drawing issue dates / revisions:

date	revisions
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/09/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR CA 92625 USA

proj. no: 19103

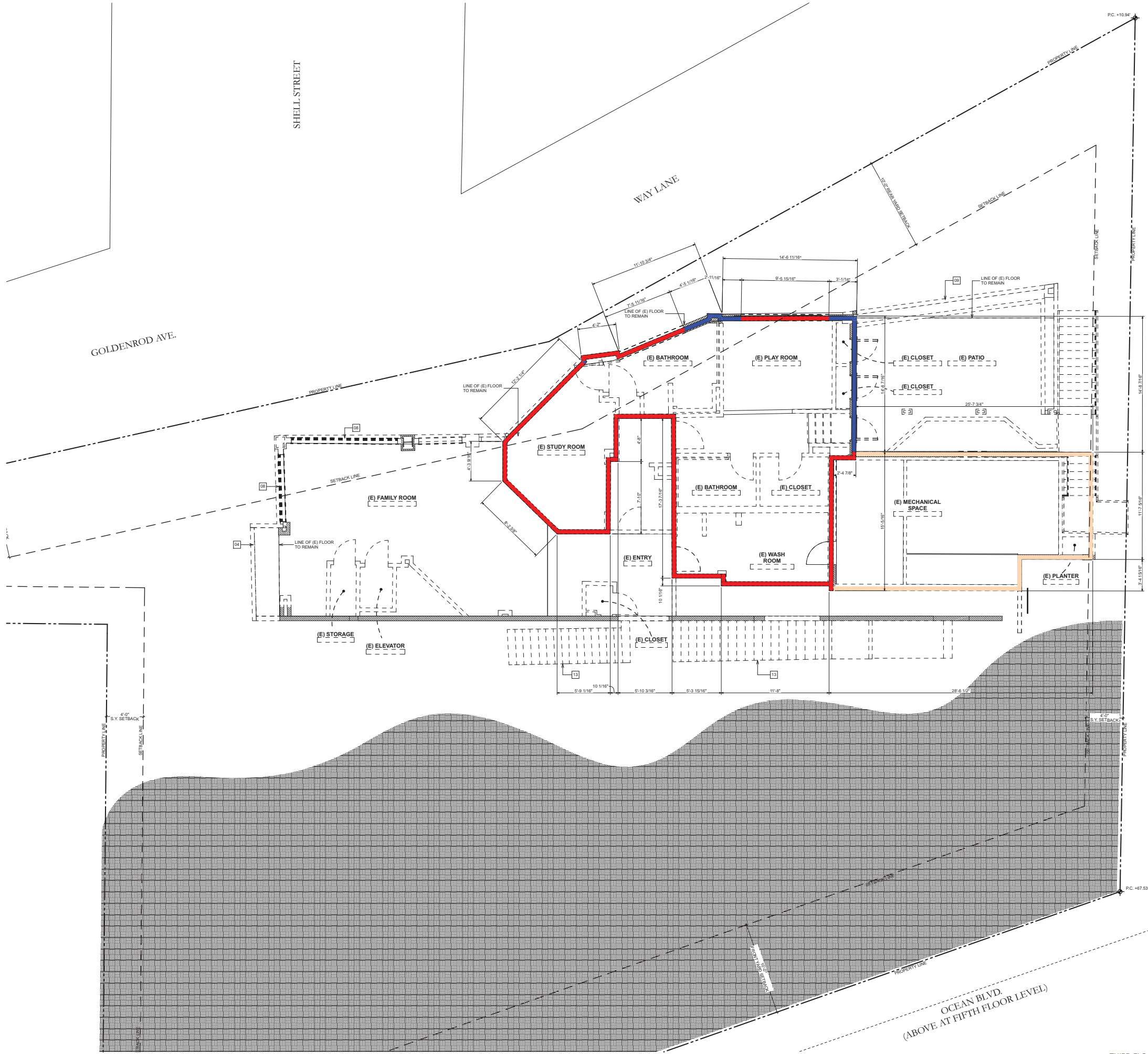
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SECOND FLOOR PLAN

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

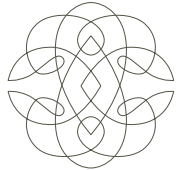
drawn by: SF, RH, EB

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DEMOLITION NOTES

- (E) CRAWL SPACE WALLS TO BE REMOVED.
- (E) FLOOR FINISH TO BE REMOVED AND REPLACED.
- (E) GUARDRAIL/HANDRAIL TO BE REMOVED AND REPLACED.
- PORTION OF (E) DECK TO BE REMOVED.
- LINE OF (E) DECK TO REMAIN.
- LINE OF (E) WALL TO REMAIN.
- (E) STAIRS TO BE REFINISHED.
- (E) WINDOWS & WALL TO BE REMOVED TO CONVERT BACK TO DECK.
- (E) LOW WALL TO BE REMOVED.
- (E) ROOF TO REMAIN, NO CHANGE IN HEIGHT.
- (E) FINISH AT CHIMNEY & CHIMNEY CAPS TO BE REMOVED & REPLACED, NO CHANGE IN HEIGHT.
- (E) CHIMNEY TO BE REMOVED.
- (E) STAIR TO BE REMOVED.
- (E) DECORATIVE PLASTER TO BE REMOVED.
- (E) ROOF TO BE REMOVED.
- (E) COLUMN TO BE RELOCATED.



**E V E N S**  
**ARCHITECTS**

*K A A Design Group*  
12921 West Washington Blvd., Los Angeles, CA 90066  
310.952.1400, fax 310.952.1440  
kaadesigngroup.com



drawing issue dates / revisions:

date	submittal
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
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05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: **2741 OCEAN RESIDENCE**  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: **19103**

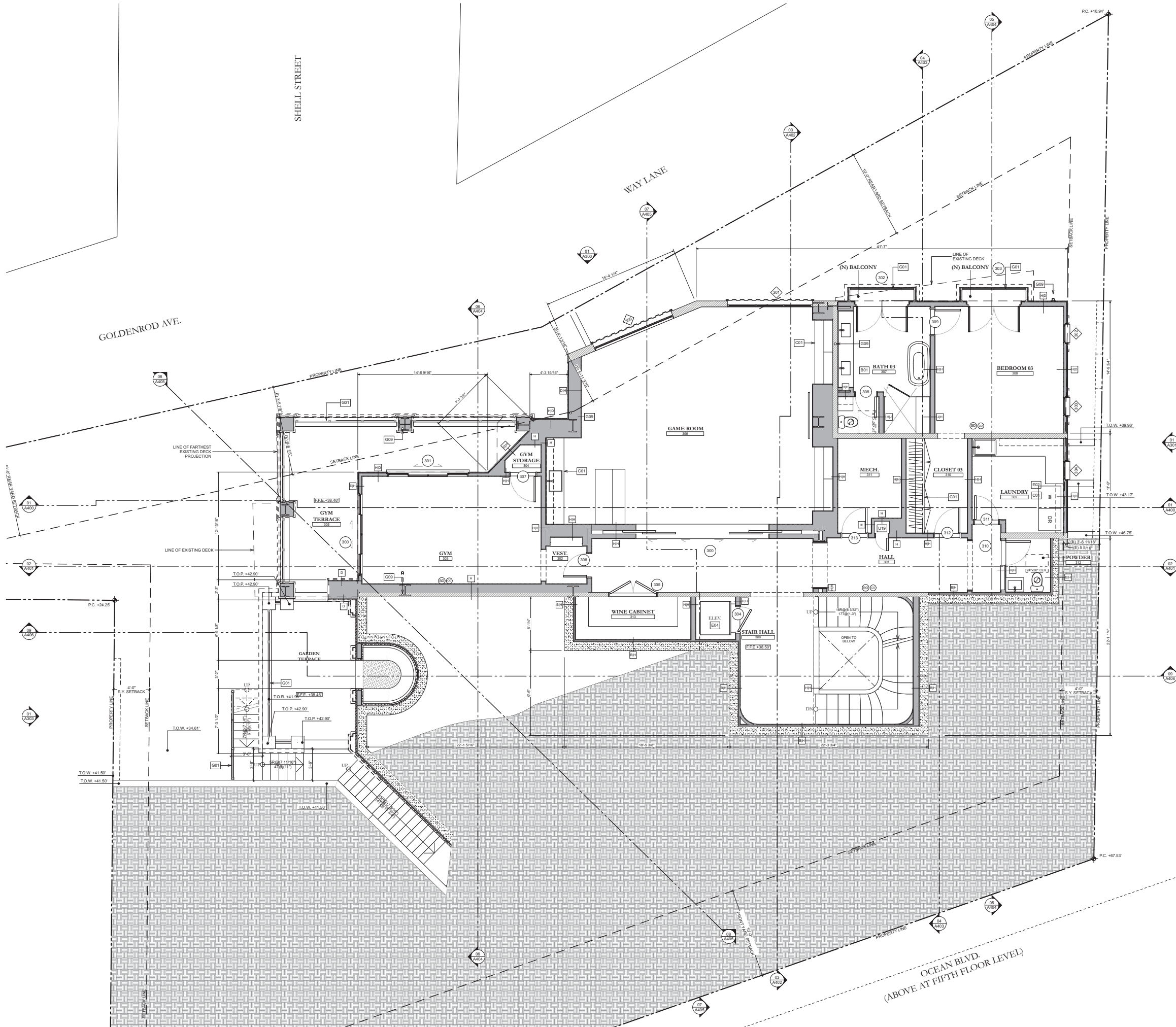
sheet: **AE130**  
**THIRD FLOOR EXISTING / DEMO PLAN**

scale: 1/4" = 1'-0"  
printed: 06 / 14 / 2023  
drawn by: SP, RH, EB  
copyright:

LEGEND

- P.C. XXXXX
- PROPERTY CORNER
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TO REMAIN
  - EXISTING PERIMETER TO REMAIN
  - EXISTING TO BE DEMOLISHED
  - EXISTING PERIMETER TO BE DEMOLISHED
  - EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATIONS)
  - PROPOSED
  - EARTH FILL





FLOOR PLAN NOTES

- GENERAL:**
- G01 GUARDRAIL - SEE DETAIL. GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE. GUARDRAIL TO BE OPEN DESIGN AT BALCONIES.
  - G02 HANDRAIL - SEE DETAIL. HANDRAILS TO BE 34" - 38" HIGH ABOVE THE STAIR TREAD NOSING WITH 3 15/16" MAXIMUM OPENING SIZE.
  - G03 PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS/ROOF/CEILING ADJACENT OR WITHIN ENCLOSED USABLE SPACE TO STAIR HALLS AND WALLS UNDER SUPPORTING STAIRS.
  - G04 GARAGE:
    - A. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE FOR WALLS, CEILING, POSTS, AND BEAMS.
    - B. GARAGE FLOOR SURFACE SHALL BE OF NON-COMBUSTIBLE PAVING MATERIAL.
    - C. DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 26 GAGE MINIMUM STEEL METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE - PER SECT. 9032.2
    - D. 20 MIN FIRE RATED DOOR W/ SMOKE SEAL; SELF-CLOSING AND SELF-LATCHING.
    - E. 60 MIN FIRE RATED DOOR W/ SMOKE SEAL; SELF-CLOSING AND SELF-LATCHING.
  - G05 BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 5" (PER SECT. R318.1)
  - G06 LINE OF 6" WALL TO REMAIN.
  - G09 DOWNSPOUTS, GALVANIZED.
  - G10 GUTTERS, COPPER.
- BATHROOMS:**
- SEE ALSO INTERIOR ELEVATIONS & PLUMBING SCHEDULE.
  - COORDINATE PLUMBING & ELECTRICAL REQUIREMENTS WITH MANUF. SPECS.
  - COORDINATE NICHES & RECESSED ITEMS W/ FRAMING. PROVIDE BACKING FOR BATHROOM ACCESSORIES AND FIXTURES AS REQ'D.
- TYPICAL BATHROOM FIXTURES:**
- SHOWER: SLOPE CURB AND FLOOR MINIMUM 1/8" FT TOWARDS DRAIN.
  - FAUCET/ SHOWER HEAD MAX. FLOW 2.0 GPM. \*
  - TOILET: LOW FLOW - MAX. 1.20 G.P. FLUSH.
  - URINAL: LOW FLOW - MAX. 0.5 G.P. FLUSH.
  - LAV: FAUCET MAX. FLOW 1.2 GPM.
  - WALLS: NON-ABSORBENT WALL FINISH TO 6" MIN. A.F.F. AT TUBS & SHOWERS.
  - \*WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL THE SHOWER HEADS SHALL NOT EXCEED 2.0 GPM OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER HEAD TO BE IN OPERATION AT A TIME.
- B02 SHAP AND SHAMPOO NICHE**
- B03 RECESSED MEDICINE CABINET**
- B04 CUSTOM TEMPERED GLASS TUB / SHOWER PARTITION OR ENCLOSURE. NET ENCLOSURE AREA SHALL BE NOT LESS THAN 102.50 SQ IN (7.1 SQ FT) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE O.P.C. 40.6 LINEAR SHOWER TRENCH DRAIN W/ STONE/TILE INLAY**
- CABINETRY & MILLWORK:**
- C01 SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVEING, WARDROBES, BENCHES, DESKS, ETC. BUILT-IN CABINETRY TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
- EQUIPMENT & APPLIANCES:**
- SEE ALSO INT. ELEVATIONS, PLUMBING & APPLIANCE SCHED.
  - COORDINATE PLUMBING, ELECTRICAL, & VENTING REQUIRMENTS W/ MANUF. SPECS.
- TYPICAL KITCHEN APPLIANCES:**
- E01 SINK: FAUCET MAX. FLOW 1.8 GPM.
  - RANGE: 5 H.P. MIN. GARBAGE DISPOSAL.
  - RANGE: PROVIDE FUEL GAS AND/OR ELEC. SUPPLY AS REQUIRED BY MANUFACTURER.
  - RANGE HOOD: PROVIDE VENTS CONNECTED TO ROOF MOUNTED EXHAUST FANS. VERIFY RANGE VENTING REQUIRMENTS W/ MANUF.'S SPECIFICATIONS.
  - MICRO: MICROWAVE OVEN. V.F.Y. MOUNTING HEIGHT PRIOR TO INSTALLATION.
  - REF: REFRIGERATOR.
  - FRZ: FREEZER.
  - WINE: WINE REFRIGERATOR.
  - ICE: ICE MAKER UNDER COUNTER REFRIGERATOR / BEVERAGE ICE.
  - ICE: ICE MAKER W/ DRAIN, PROVIDE WATER LINE TRAIL-OUT TRASH / RECYCLING DRAIN.
  - DW: DISHWASHER.
- TYPICAL LAUNDRY APPLIANCES:**
- E02 SINK: FAUCET MAX. FLOW 1.8 GPM.
  - WD: STACKABLE WASHER DRYER. PROVIDE ELECTRICAL, RECESSED HOT & COLD WATER, FLOOR DRAIN, AND DRAIN STANDPIPE. VENT DRYER TO OUTSIDE AIR. PROVIDE GAS LINE & ELECTRICAL AS REQ'D.
  - WEATHER HOOD WITH DAMPER AT FINISH OF EXTERIOR WALL. 4" DIAMETER SMOOTH GALVANIZED METAL EXHAUST.
- E03 ASTRA DEVONSHIRE 30" INDOOR GAS LINEAR BURNER. FIREPLACE: SEE G0470 FOR DETAILS (ANSI Z21.50 / CSA 2.22, PFS REPORT #09-099) (SPARK LINEAR BURNER SYSTEM INDOOR, LB800, ANSI Z21.50 / CSA 2.20).**
- E04 ELEVATOR: ELEVATOR SHAFT TO BE 2-HOUR RATED.**
- E05 FIRE INT. (GAS) - PALOFORUM "MID" (TBO).**
- E06 ISOKERN 45 OUTDOOR FIREPLACE. LAR # 25483.**
- E07 STEAM SHOWER - MR. STEAM W/ AIR TEMPO CONTROLS, OR EQ. GC TO COORDINATE.**
- MECHANICAL & UTILITIES:**
- UTILITIES TO BE SCREENED PER LOCAL CODES.
  - PROVIDE REQUIRED CLEARANCES IN FRONT OF EQUIPMENT.
  - COORDINATE PLUMBING, ELECTRICAL, & VENTING REQUIRMENTS W/ MANUF. SPECS.
  - SEE SITE & LANDSCAPE PLANS FOR ADDITIONAL UTILITY & DRAINAGE INFO.
- U01 GAS METER.
  - U02 WATER METER & RELATED ASSEMBLIES.
  - U03 ELECTRICAL METER.
  - U04 ELECTRICAL PANEL / SUBPANEL.
  - U05 GAS VALVE.
  - U06 RADIANT HEATING MANIFOLD.
  - U07 FIRE SPROKLER MANIFOLD & DOMESTIC PRESSURE REGULATOR.
  - U08 WATER SHUTOFF.
  - U09 SUMP PUMP.
  - U10 SOLAR PANEL INVERTERS.
  - U11 A/V RACKS: PROVIDE METHOD OF VENTILATION AND / OR COOLING.
  - U12 DRYER VENT AND DUCTING TO EXTERIOR AIR.
  - U13 GAS WATER HEATER.
  - U14 TANKLESS WATER HEATER.
  - U15 INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
  - U16 WATER STORAGE TANK: STRAP TO WALL AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS WITH THE LOWER ANCH. 4" ABOVE THE CONTROLS. PROVIDE FLOOR DRAIN.
  - U17 NEW DWELLING UNIT TO HAVE A WHOLE BUILDING MECHANICAL VENTILATION SYSTEM PER SECTION 1500.0, TO COMPLY WITH SECTION 4.8 OF 2008 RESIDENTIAL COMPLIANCE MANUAL. SYSTEM TO PROVIDE SUPPLY VENTILATION: OUTSIDE AIR TO ENTER THE RESIDENCE THROUGH A DEDICATED SUPPLY FAN OR THROUGH THE CENTRAL HVAC SYSTEM AIR HANDLER. HVAC AIR HANDLER TO BE USED AS SUPPLY VENTILATION SYSTEM WITH THE ADDITION OF A DIRECT DUCT CONNECTION TO THE RETURN AIR DUCT FROM THE OUTSIDE AND CONTROLS THAT ENSURE THE AIR HANDLER RUNS EVEN WHEN NO HEATING / COOLING IS REQUIRED.
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  - U19 LAUNDRY CHUTE, TYP.

LEGEND

P.C. XXXXX

PROPERTY CORNER

PROPERTY LINE

SETBACK LINE

EXISTING TO REMAIN

PROPOSED

STRUCTURAL CONCRETE

LINE OF EXISTING DECK

LINE OF OBJECT ABOVE

LINE OF OBJECT BELOW

CENTERLINE

STRUCTURAL GRIDLINE

WALL TYPE - SEE SHEET A700

PLANTING AREA

FLOOR ELEVATIONS

ELEVATION TRANSITION

**ROOM NAME**

ROOM NUMBER

CEILING HEIGHT

FINISHES SEE ALSO FINISH LEGEND & INTERIOR ELEVATIONS

**P.A.**

EL. -01.00'

**ROOM NAME**

ROOM NUMBER

CEILING HEIGHT

FINISHES SEE ALSO FINISH LEGEND & INTERIOR ELEVATIONS

**ROOM NAME**

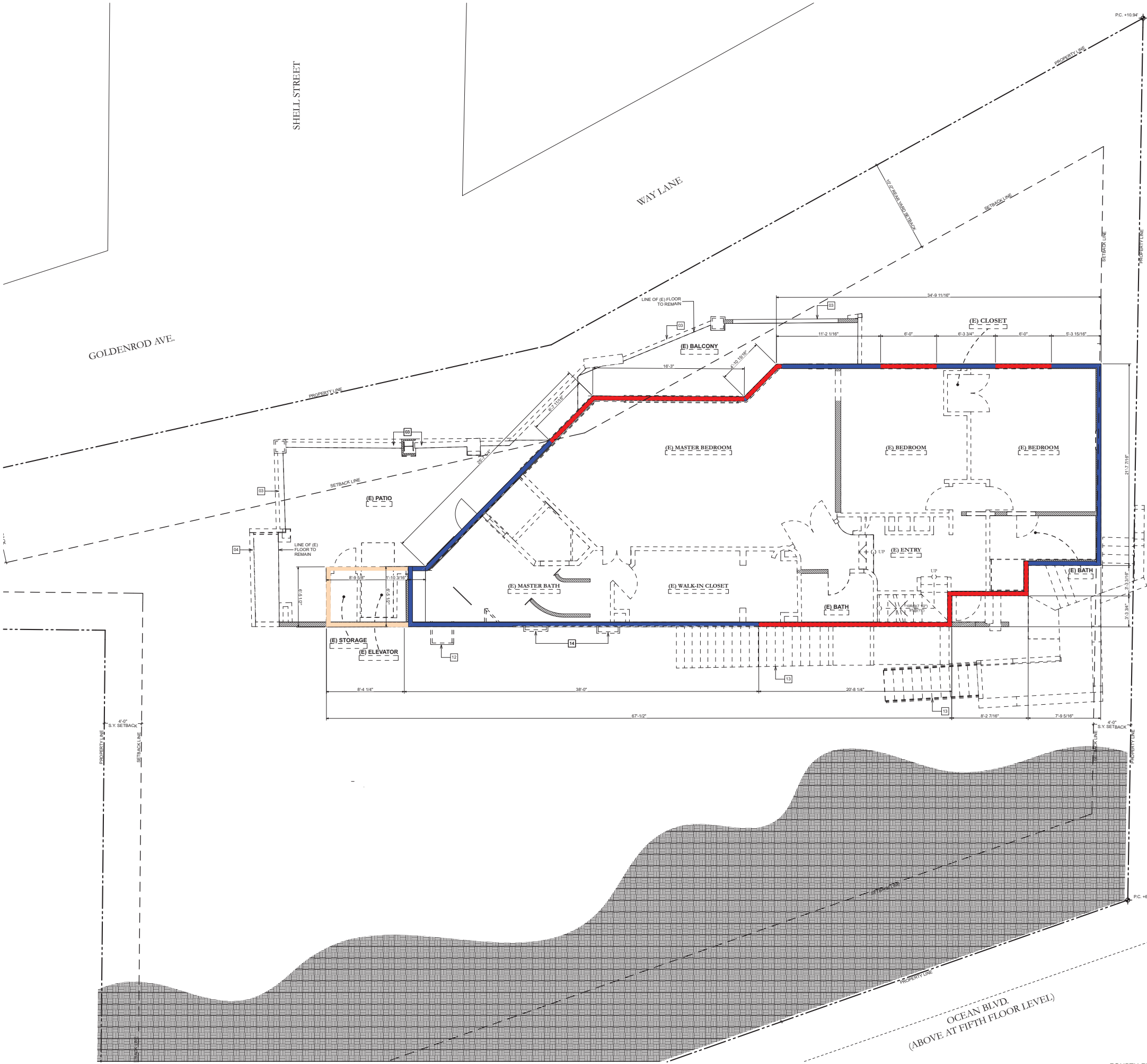
ROOM NUMBER

CEILING HEIGHT

FINISHES SEE ALSO FINISH LEGEND & INTERIOR ELEVATIONS

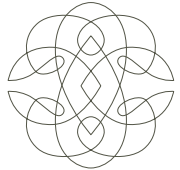


drawing issue dates / revisions:	
date	submitted
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/09/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV
project:	2741 OCEAN RESIDENCE
	2741 OCEAN BLVD CORONA DEL MAR CA 92625 USA
proj. no:	19103
sheet:	A130
	THIRD FLOOR PLAN
scale:	1/8" = 1'-0"
printed:	06 / 14 / 2023
drawn by:	SP, RH, EB
copyright:	



DEMOLITION NOTES

- (E) CRAWL SPACE WALLS TO BE REMOVED.
- (E) FLOOR FINISH TO BE REMOVED AND REPLACED.
- (E) GUARDRAIL/ HANDRAIL TO BE REMOVED AND REPLACED.
- PORTION OF (E) DECK TO BE REMOVED.
- LINE OF (E) DECK TO REMAIN.
- LINE OF (E) WALL TO REMAIN.
- (E) STAIRS TO BE REFINISHED.
- (E) WINDOWS & WALL TO BE REMOVED TO CONVERT BACK TO DECK.
- (E) LOW WALL TO BE REMOVED.
- (E) ROOF TO REMAIN, NO CHANGE IN HEIGHT.
- (E) FINISH AT CHIMNEY & CHIMNEY CAPS TO BE REMOVED & REPLACED, NO CHANGE IN HEIGHT.
- (E) CHIMNEY TO BE REMOVED.
- (E) STAIR TO BE REMOVED.
- (E) DECORATIVE PLASTER TO BE REMOVED.
- (E) ROOF TO BE REMOVED.
- (E) COLUMN TO BE RELOCATED.



**E V E N S**  
**ARCHITECTS**

*K A A Design Group*  
12921 West Washington Blvd., Los Angeles, CA 90066  
310.921.1440, fax 310.921.1440  
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06/14/23	CDP Submittal IV

project: **2741 OCEAN RESIDENCE**  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: **19103**

sheet: **AE140**  
**FOURTH FLOOR EXISTING / DEMO PLAN**

scale: 1/4" = 1'-0"  
printed: 06 / 14 / 2023  
drawn by: SP, RH, EB

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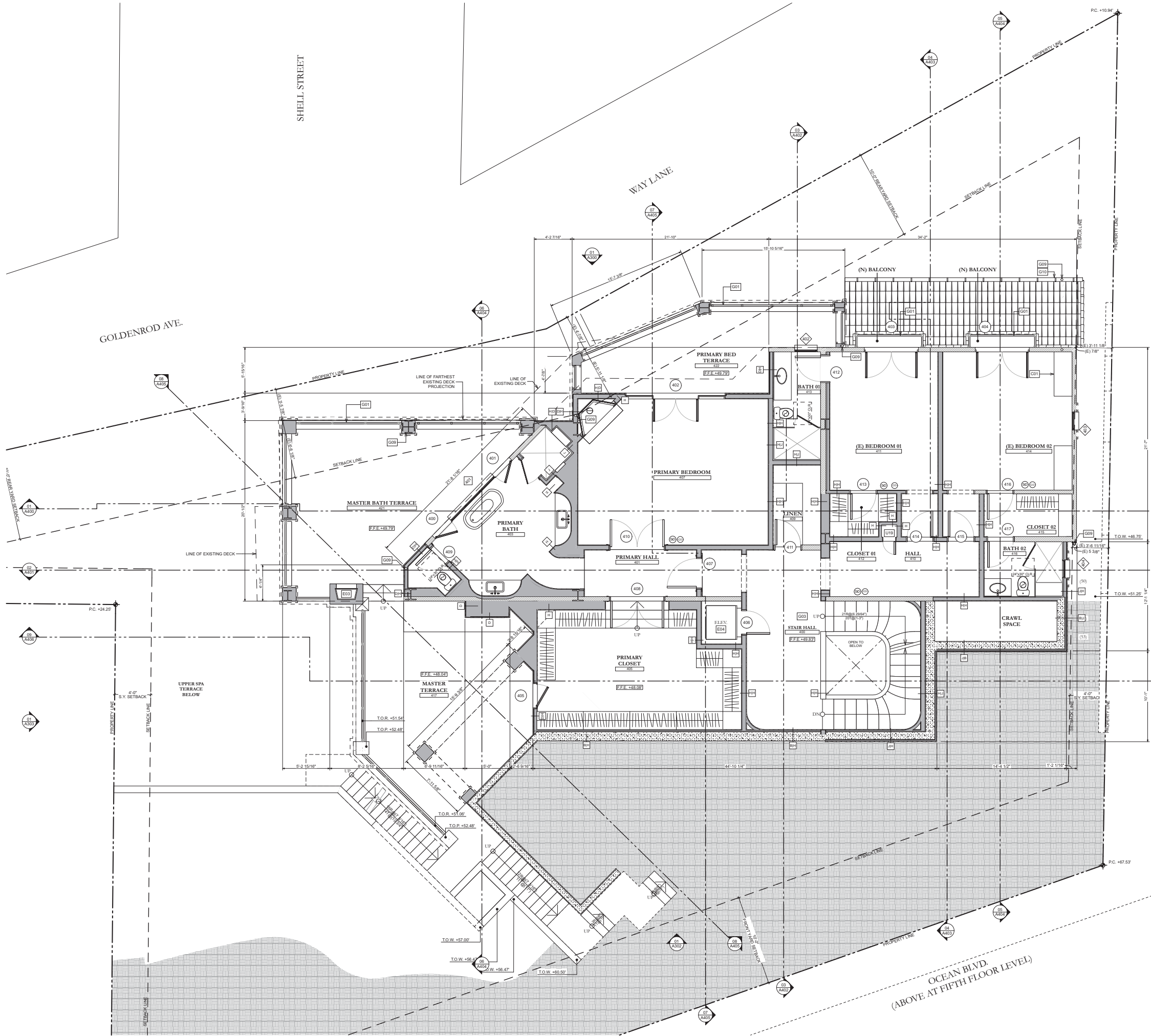
LEGEND

- P.C. XXXXX
- PROPERTY CORNER
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TO REMAIN
  - EXISTING PERIMETER TO REMAIN
  - EXISTING TO BE DEMOLISHED
  - EXISTING PERIMETER TO BE DEMOLISHED
  - EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATIONS)
  - PROPOSED
  - EARTH FILL



FOURTH FLOOR DEMO PLAN  
1/4" = 1'-0"

1

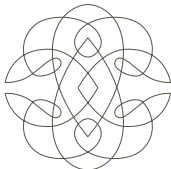


FLOOR PLAN NOTES

- GENERAL:**
- G01 GUARDRAIL. SEE DETAIL. GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE. GUARDRAIL TO BE OPEN DESIGN AT BALCONIES.
- G02 HANDRAIL. SEE DETAIL. HANDRAILS TO BE 34" - 38" HIGH ABOVE THE STAIR TREAD NOSING WITH 3 15/16" MAXIMUM OPENING SIZE.
- G03 PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS/ROOF/CEILING ADJACENT OR WITHIN ENCLOSED USABLE SPACE TO STAIR HALLS AND WALLS UNDER SUPPORTING STAIRS.
- G04 GARAGE:
- A. PROVIDE 3/4" TYPE 'X' GYPSUM BOARD FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE FOR WALLS, CEILING, POSTS, AND BEAMS.
- B. GARAGE FLOOR SURFACE SHALL BE OF NON-COMBUSTIBLE PAVING MATERIAL.
- C. DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 24 GAGE MINIMUM STEEL METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE - PER SECT. R302.2.
- G05 20 MIN FIRE RATED DOOR W/ SMOKE SEAL; SELF-CLOSING AND SELF-LATCHING.
- G06 60 MIN FIRE RATED DOOR W/ SMOKE SEAL; SELF-CLOSING AND SELF-LATCHING.
- G07 BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 5" (PER SECT. R318.1).
- G08 LINE OF 6" WALL TO REMAIN.
- G09 DOWNSPOUTS, GALVANIZED.
- G10 GUTTERS, COPPER.
- BATHROOMS:**
- SEE ALSO INTERIOR ELEVATIONS & PLUMBING SCHEDULE.
- COORDINATE PLUMBING & ELECTRICAL REQUIREMENTS WITH MANUF. SPECS.
- COORDINATE NICHE & RECESSED ITEMS W/ FRAMING.
- PROVIDE BACKING FOR BATHROOM ACCESSORIES AND FIXTURES AS REQ'D.
- B01 **TYPICAL BATHROOM FIXTURES:**
- SHOWER: SLOPE CURB AND FLOOR MINIMUM 1/8" FT TOWARDS DRAIN.
- FAUCET/ SHOWER HEAD MAX. FLOW 2.0 GPM. \* PROVIDE ACCESS PANEL PER CODE.
- TOILET: LOW FLOW - MAX. 1.20 G.P. FLUSH.
- URINAL: LOW FLOW - MAX. 0.5 G.P. FLUSH.
- LAV: FAUCET MAX. FLOW 1.5 GPM.
- WALLS: NON-ABSORBENT WALL FINISH TO 6" MIN. A.F.F. AT TUBS & SHOWERS.
- \*WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL THE SHOWER HEADS SHALL NOT EXCEED 2.0 GPM OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER HEAD TO BE IN OPERATION AT A TIME.
- B02 SOAP AND SHAMPOO NICHE.
- B03 RECESSED MEDICINE CABINET.
- B04 CUSTOM TEMPERED GLASS TUB / SHOWER PARTITION OR ENCLOSURE. NET ENCLOSURE AREA SHALL BE NOT LESS THAN 102.50 SQ IN (7.1 SQ FT) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE O.P.C. 404.6 LINEAR SHOWER TRENCH DRAIN W/ STONE/TILE INLAY.
- B05
- CABINETS & MILLWORK:**
- C01 SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVING, WARDROBES, BENCHES, DESKS, ETC. BUILT-IN CABINETS TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
- EQUIPMENT & APPLIANCES:**
- SEE ALSO INT. ELEVATIONS, PLUMBING & APPLIANCE SCHED.
- COORDINATE PLUMBING, ELECTRICAL, & VENTING REQUIREMENTS W/ MANUF. SPECS.
- TYPICAL KITCHEN APPLIANCES:**
- E01 SINK: FAUCET MAX. FLOW 1.8 GPM.
- 5 H.P. MIN. GARBAGE DISPOSAL.
- RANGE: PROVIDE FUEL GAS AND/OR ELEC. SUPPLY AS REQUIRED BY MANUFACTURER.
- RANGE HOOD: PROVIDE VENTS CONNECTED TO ROOF MOUNTED EXHAUST FANS. VENTY RANGE.
- VENTING REQUIREMENTS W/ MANUF.'S SPECIFICATIONS.
- MICRO: MICROWAVE OVEN. VENTY MOUNTING HEIGHT PRIOR TO INSTALLATION.
- REF: REFRIGERATOR.
- FRZ: FREEZER.
- WINE: WINE REFRIGERATOR.
- ICE: ICE MAKER W/ DRAIN, PROVIDE WATER LINE.
- TR: TRASH / RECYCLING.
- DW: DISHWASHER.
- E02 **TYPICAL LAUNDRY APPLIANCES:**
- SINK: FAUCET MAX. FLOW 1.8 GPM.
- WD: STACKABLE WASHER DRYER. PROVIDE ELECTRICAL. RECESSED HOT & COLD WATER, FLOOR DRAIN, AND DRAIN STANDPIPE. VENT DRYER TO OUTSIDE AIR. PROVIDE GAS LINE & ELECTRICAL AS REQ'D. WEATHER HOOD WITH DAMPER AT FINISH OF EXTERIOR WALL. 4" DIAMETER SMOOTH GALVANIZED METAL EXHAUST.
- E03 ASTRA DEVONSHIRE 30" INDOOR GAS LINEAR BURNER FIREPLACE. SEE G0470 FOR DETAILS (ANSI Z21.50 / CSA 2.22, PFS REPORT #09-099) (SPARK LINEAR BURNER SYSTEM INDOOR, LB800, ANSI Z21.50 / CSA 2.20).
- E04 ELEVATOR: ELEVATOR SHAFT TO BE 2-HOUR RATED.
- E05 FIRE INT. (GAS) - PALOFORM "MDO" (TBO).
- E06 ISOKERN 45 OUTDOOR FIREPLACE. LAR# 25483.
- E07 STEAM SHOWER, MR. STEAM W/ AIR TEMPO CONTROLS, OR EQ., GC TO COORDINATE.
- MECHANICAL & UTILITIES:**
- UTILITIES TO BE SCREENED PER LOCAL CODES.
- PROVIDE REQUIRED CLEARANCES IN FRONT OF EQUIPMENT.
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- SEE SITE & LANDSCAPE PLANS FOR ADDITIONAL UTILITY & DRAINAGE INFO.
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- U03 ELECTRIC METER.
- U04 ELECTRICAL PANEL / SUBPANEL.
- U05 GAS VALVE.
- U06 RADIANT HEATING MANIFOLD.
- U07 FIRE SPROKLER MANIFOLD & DOMESTIC PRESSURE REGULATOR.
- U08 WATER SHUT-OFF.
- U09 SUMP PUMP.
- U10 SOLAR PANEL INVERTERS.
- U11 A/V RACKS: PROVIDE METHOD OF VENTILATION AND / OR COOLING.
- U12 DRYER VENT AND DUCTING TO EXTERIOR AIR.
- U13 GAS WATER HEATER.
- U14 INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER & CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- U15 WATER STORAGE TANK. STRAP TO WALL AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS WITH THE LOWER ANCH. 4" ABOVE THE CONTROLS. PROVIDE FLOOR DRAIN.
- U16 NEW DWELLING UNIT TO HAVE A WHOLE BUILDING MECHANICAL VENTILATION SYSTEM PER SECTION 15010, TO COMPLY WITH SECTION 4.8 OF 2008 RESIDENTIAL COMPLIANCE MANUAL. SYSTEM TO PROVIDE SUPPLY VENTILATION: OUTSIDE AIR TO ENTER THE RESIDENCE THROUGH A DEDICATED SUPPLY FAN OR THROUGH THE CENTRAL HVAC SYSTEM AIR HANDLER. HVAC AIR HANDLER TO BE USED AS SUPPLY VENTILATION SYSTEM WITH THE ADDITION OF A DIRECT DUCT CONNECTION TO THE RETURN AIR DUCT FROM THE OUTSIDE AND CONTROLS THAT ENSURE THE AIR HANDLER RUNS EVEN WHEN NO HEATING / COOLING IS REQUIRED.
- U17 MECHANICAL VENTILATION PACKAGE UNIT (PROVIDE COMBUSTION AIR SUPPLY PER CMC).
- U18 BATHROOM FANS MUST BE ENERGY STAR W/ HUMIDISTAT CONTROLLER AND MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING.
- U19 LAUNDRY CHUTE, TYP.

LEGEND

- P.C. XXXXX
- PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- EXISTING TO REMAIN
- PROPOSED
- STRUCTURAL CONCRETE
- LINE OF EXISTING DECK
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- CENTERLINE
- STRUCTURAL GRIDLIN
- WALL TYPE - SEE SHEET A700
- PLANTING AREA
- FLOOR ELEVATIONS
- ELEVATION TRANSITION
- ROOM NAME**
- ROOM NUMBER
- CEILING HEIGHT
- FINISHES SEE ALSO FINISH SCHEDULE & INTERIOR ELEVATIONS



EVERS  
ARCHITECTS

KAA Design Group

12921 West Washington Blvd., Los Angeles, CA 90066

310.517.1400, fax 310.517.1400

kaadesigngroup.com



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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

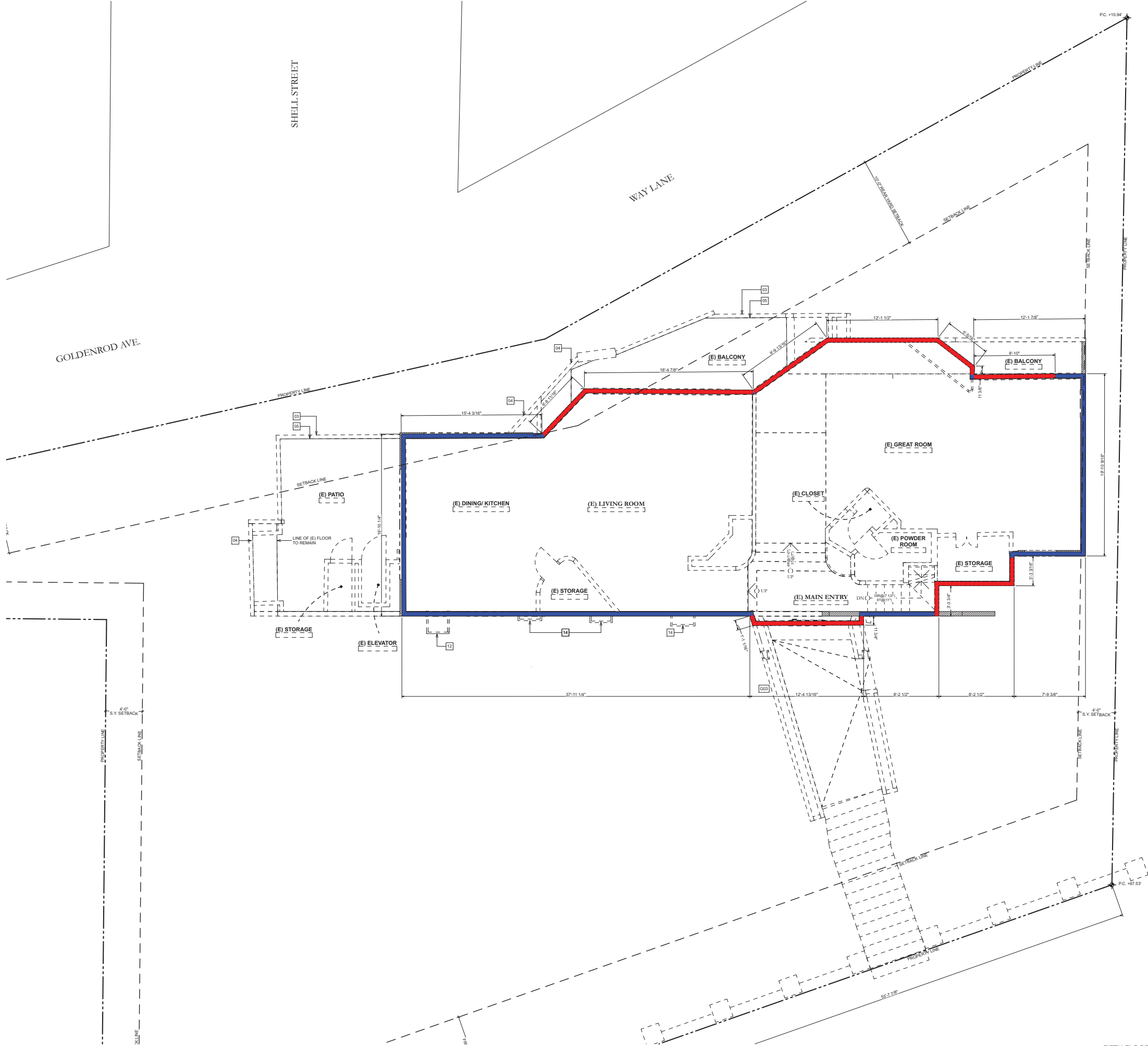
sheet: A140  
FOURTH FLOOR  
PLAN

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SF, RH, EB

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DEMOLITION NOTES

- 01 (E) CRAWL SPACE WALLS TO BE REMOVED.
- 02 (E) FLOOR FINISH TO BE REMOVED AND REPLACED.
- 03 (E) GUARDRAIL HANDRAIL TO BE REMOVED AND REPLACED.
- 04 PORTION OF (E) DECK TO BE REMOVED.
- 05 LINE OF (E) DECK TO REMAIN.
- 06 LINE OF (E) WALL TO REMAIN.
- 07 (E) STAIRS TO BE REFINISHED.
- 08 (E) WINDOWS & WALL TO BE REMOVED TO CONVERT BACK TO DECK.
- 09 (E) LOW WALL TO BE REMOVED.
- 10 (E) ROOF TO REMAIN, NO CHANGE IN HEIGHT.
- 11 (E) FINISH AT CHIMNEY & CHIMNEY CAPS TO BE REMOVED & REPLACED, NO CHANGE IN HEIGHT.
- 12 (E) CHIMNEY TO BE REMOVED.
- 13 (E) STAIR TO BE REMOVED.
- 14 (E) DECORATIVE PLASTER TO BE REMOVED.
- 15 (E) ROOF TO BE REMOVED.
- 16 (E) COLUMN TO BE RELOCATED.

**EVEN S**  
ARCHITECTS

*K A A Design Group*

12921 West Washington Blvd., Los Angeles, CA 90066  
310.921.1400, Fax 310.921.1400  
kaadesigngroup.com



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project: **2741 OCEAN RESIDENCE**  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA.

proj. no: **19103**

sheet: **AE150**  
**FIFTH FLOOR**  
**EXISTING / DEMO**  
**PLAN**

scale: 1/4" = 1'-0"

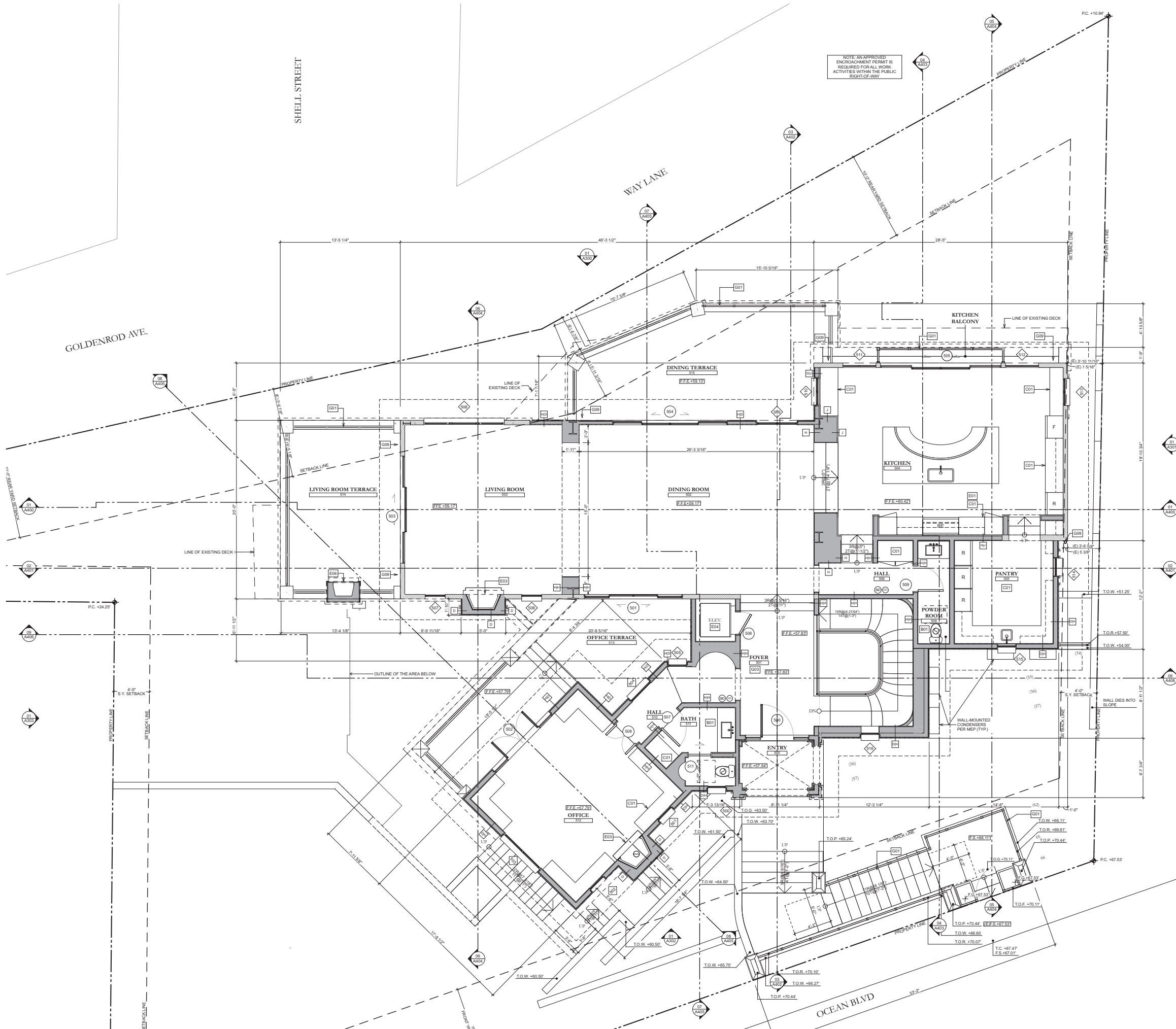
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drawn by: SP, RH, EB

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LEGEND

- P.C. XXXXX PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- EXISTING TO REMAIN
- EXISTING PERIMETER TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING PERIMETER TO BE DEMOLISHED
- EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATION)
- PROPOSED
- EARTH FILL

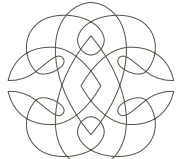


FLOOR PLAN NOTES

- GENERAL:**
- G01 GUARDRAIL - SEE DETAIL. GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 1/2" MAXIMUM OPENING SIZE.
  - G02 HANDRAIL - SEE DETAIL. HANDRAILS TO BE 4" - 38" HIGH ABOVE THE STAIR TREAD NOSING WITH 3 1/2" MAXIMUM OPENING SIZE.
  - G03 PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS ADJACENT OR WITHIN ENCLOSED USABLE SPACE TO STAIR HALLS AND WALLS UNDER SUPPORTING STAIRS.
  - G04 GARAGE:
    - A. PROVIDE 3/4" TYPE 'X' GYPSUM BOARD FOR ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON THE GARAGE SIDE FOR WALLS, CEILING, POSTS, AND BEAMS.
    - B. GARAGE FLOOR SURFACE SHALL BE OF NON-COMBUSTIBLE PAVING MATERIAL.
    - C. DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 24 GAUGE MINIMUM STEEL METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE - PER SECT. 9002.2
    - D. 20 MIN FIRE RATED DOOR W/ SMOKE SEAL, SELF-CLOSING AND SELF-LATCHING.
    - E. 60 MIN FIRE RATED DOOR W/ SMOKE SEAL, SELF-CLOSING AND SELF-LATCHING.
    - F. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 5" (PER SECT. R318.1)
    - G. LINE OF 6" WALL TO REMAIN.
    - H. DOWNSPOUTS, GALVANIZED.
    - I. GUTTERS, COPPER.
  - G05
  - G06
  - G07
  - G08
  - G09
  - G10
- BATHROOMS:**
- SEE ALSO INTERIOR ELEVATIONS & PLUMBING SCHEDULE.
  - COORDINATE PLUMBING & ELECTRICAL REQUIREMENTS WITH MANUF. SPECS.
  - COORDINATE NICHE & RECESSED ITEMS W/ FRAMING.
  - PROVIDE BACKING FOR BATHROOM ACCESSORIES AND FIXTURES AS REQ'D.
- TYPICAL BATHROOM FIXTURES:**
- SHOWER: SLOPE CURB AND FLOOR MINIMUM 1/8" TOWARDS DRAIN.
  - FAUCET: SHOWER HEAD MAX. FLOW 2.0 GPM.
  - TOILET: LOW FLOW - MAX. 1.28 G.P. FLUSH.
  - URINAL: LOW FLOW - MAX. 0.5 G.P. FLUSH.
  - LAV: FAUCET MAX. FLOW 1.2 GPM.
  - WALLS: NON-ABSORBENT WALL FINISH TO 6" MIN. A.F.F. AT TUBS & SHOWERS.
  - \*WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL THE SHOWER HEADS SHALL NOT EXCEED 2.0 GPM OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER HEAD TO BE IN OPERATION AT A TIME.
- B01**
- B02** SCAP AND SHAMPOO NICHE
- B03** RECESSED MEDICINE CABINET
- B04** CUSTOM TEMPERED GLASS TUB / SHOWER PARTITION OR ENCLOSURE. NET ENCLOSURE AREA SHALL BE NOT LESS THAN 1024 SQ IN (71.50 FT<sup>2</sup>) OF FLOOR AREA, AND A MINIMUM OF 30 INCHES DIAMETER CIRCLE O.P.C. 404.8
- B05** LINEAR SHOWER TRENCH DRAIN W/ STONE/ITILE INLAY
- CABINETS & MILLWORK:**
- C01 SEE INTERIOR ELEVATIONS FOR LAYOUT, DIMENSIONS, AND MATERIALS OF CABINETS, SHELVING, WARDROBES, BENCHES, DESKS, ETC. BUILT-IN CABINETS TO BE STAIN-GRADE WOOD UNLESS NOTED OTHERWISE.
- EQUIPMENT & APPLIANCES:**
- SEE ALSO INT. ELEVATIONS, PLUMBING & APPLIANCE SCHED.
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  - MICRO: MICROWAVE OVEN, VENTY MOUNTING HEIGHT PRIOR TO INSTALLATION.
  - REF: REFRIGERATOR.
  - FRZ: FREEZER.
  - WINE: WINE REFRIGERATOR.
  - ICE: ICE MAKER UNDER COUNTER REFRIGERATOR / BEVERAGE ICE MAKER W/ DRAIN, PROVIDE WATER LINE.
  - DW: DISHWASHER.
- E02**
- TYPICAL LAUNDRY APPLIANCES:**
- SINK: FAUCET MAX. FLOW 1.8 GPM.
  - WD: STACKABLE WASHER DRYER. PROVIDE ELECTRICAL, RECESSED HOT & COLD WATER, FLOOR DRAIN, AND DRAIN STANDPIPE. VENT DRYER TO OUTSIDE AIR. PROVIDE GAS LINE & ELECTRICAL AS REQ'D.
  - WEATHER HOOD WITH DAMPER AT FINISH OF EXTERIOR WALL. 12" DIAMETER SMOOTH GALVANIZED METAL EXHAUST.
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  - LINE OF EXISTING DECK
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  - LINE OF OBJECT BELOW
  - CENTERLINE
  - STRUCTURAL GRIDLINE
  - WALL TYPE - SEE SHEET A700
  - PLANTING AREA
  - FLOOR ELEVATIONS
  - ELEVATION TRANSITION
- P.A.
- ROOM NAME
- ROOM NUMBER
  - CEILING HEIGHT
  - FINISHES (SEE ALSO FINISH LEGEND & INTERIOR ELEVATIONS)
- SCALE: 1/8" = 1'-0"
- PRINTED: 06 / 14 / 2023
- DRAWN BY: SP, RH, EB
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E.V.E.N.S  
ARCHITECTS

K.A.A. Design Group  
12921 West Washington Blvd., Los Angeles, CA 90066  
310.517.1400, fax 310.517.1400  
kAADesignGroup.com



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project: 2741 OCEAN RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR CA 92625 USA

proj. no: 19103

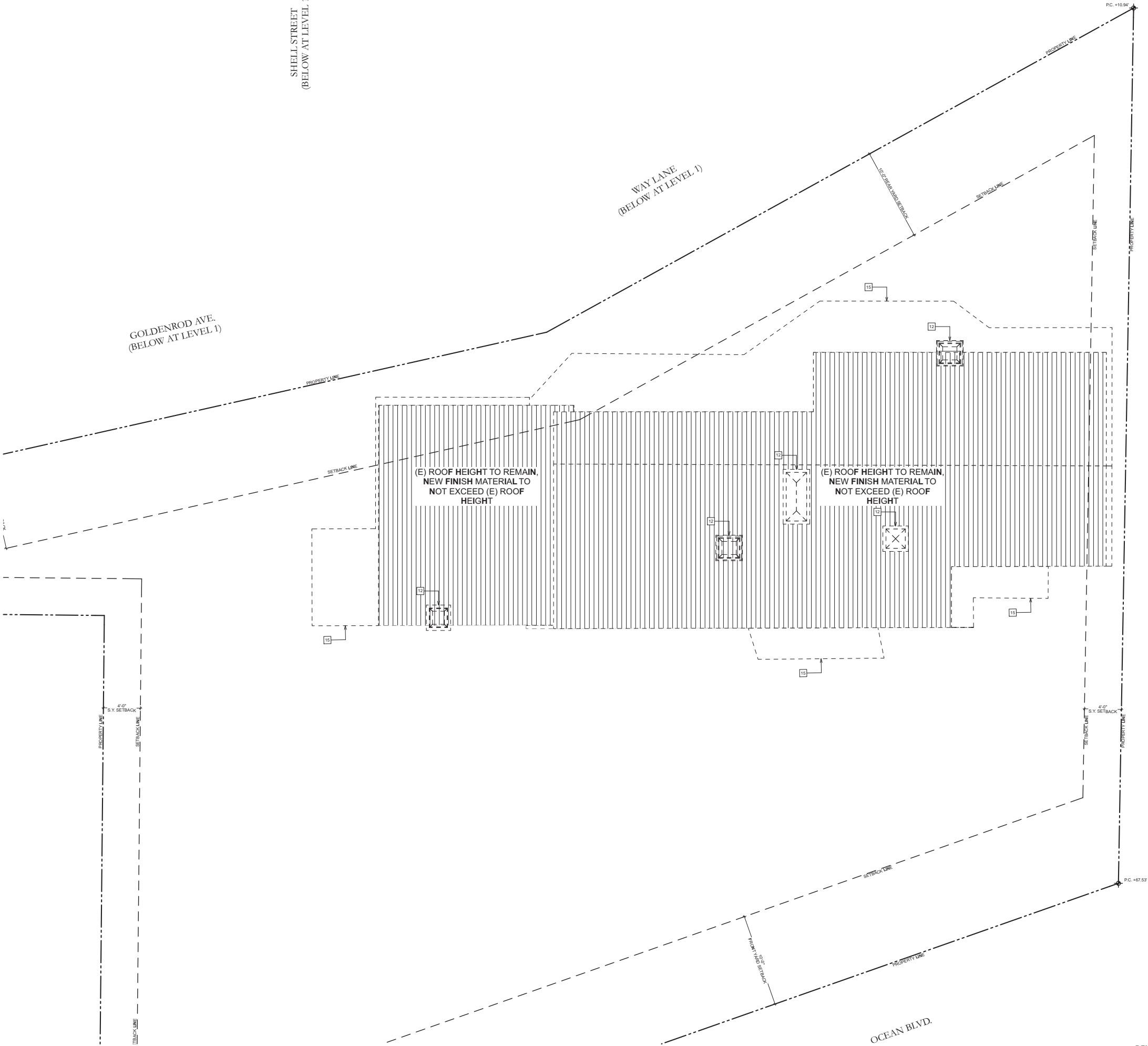
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FIFTH FLOOR PLAN

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

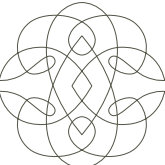
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DEMOLITION NOTES

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- (E) GUARDRAIL/ HANDRAIL TO BE REMOVED AND REPLACED.
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- (E) COLUMN TO BE RELOCATED.



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K A A Design Group

12921 West Washington Blvd., Los Angeles, CA 90066  
310.921.1400, Fax 310.921.1440  
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project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA.

proj. no: 19103

sheet:  
**AE160**  
ROOF EXISTING /  
DEMO PLAN

scale: 1/4" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SF, RH, EB

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LEGEND

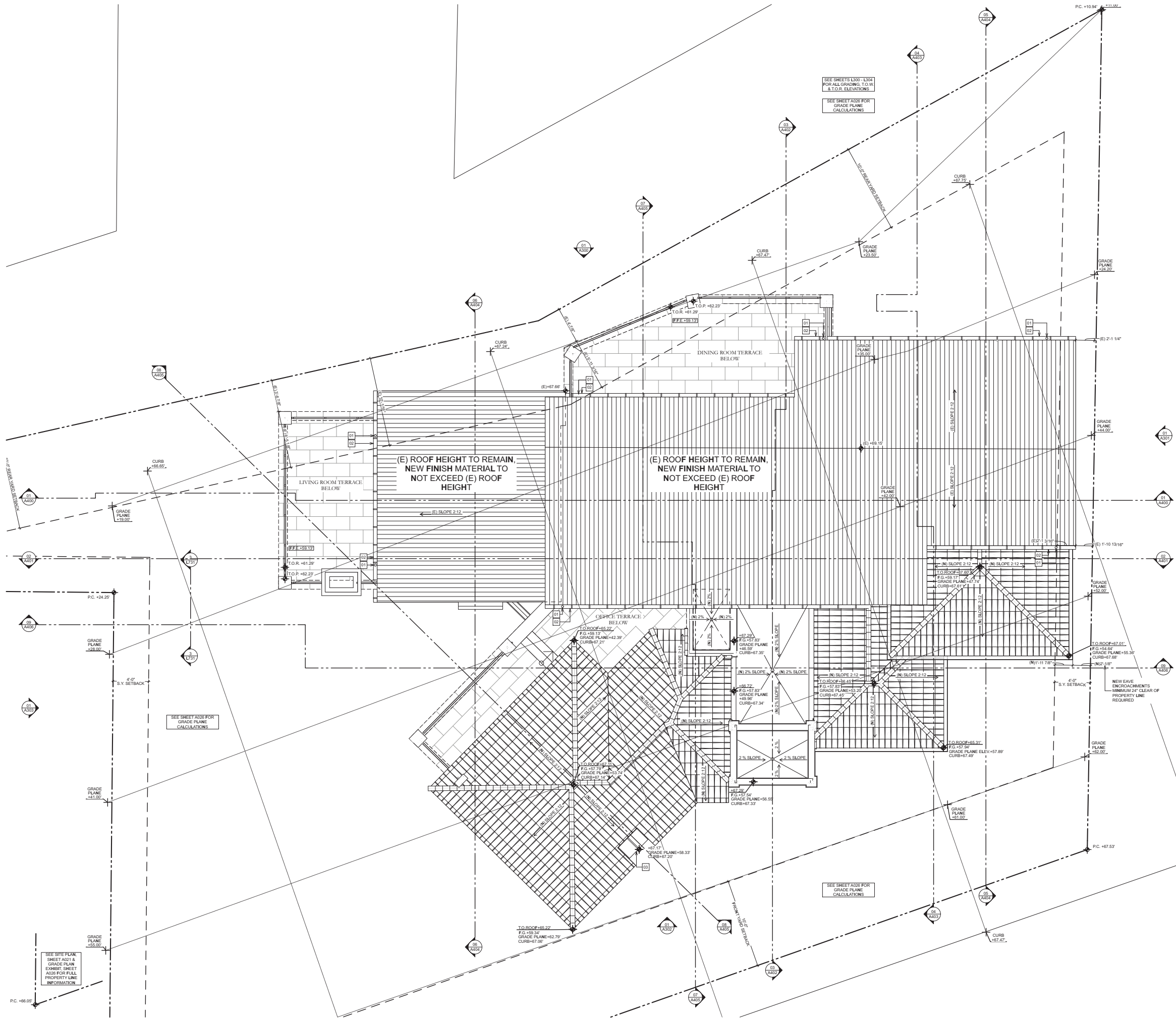
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  - EXISTING PERIMETER TO BE DEMOLISHED
  - EXISTING MECHANICAL (EXCLUDED FROM LINEAR WALL CALCULATION)
  - PROPOSED
  - EARTH FILL



DEMO ROOF PLAN  
1/4" = 1'-0"

1

196



ROOF PLAN NOTES

- ROOF SLOPE
- A. ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWINGS.
- B. ALL ROOFS SHALL SLOPE A MINIMUM OF 2% (1/4" PER FOOT) TOWARD DRAINS.
- C. IN THE ABSENCE OF SLOPES SHOWN ON STRUCTURAL DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN.
- D. NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS.
- ROOFING MATERIAL
- A. ALL FLAT ROOFS TO BE SINGLE PLY ROOF (Sika Saramil G410 ENERGY SMART ROOF MEMBRANE, LIGHT GREY, ICC # ESR-1157) OR APPROVED EQUAL.
- B. PITCHED ROOF TO BE CLASS "A" CLAY TILE, RED LAM CLAY TILE SIMILATED ANTIQUE BLEND ESR-495. ROOFING CONTRACTOR TO INSTALL 1 SQUARE OF MATERIAL ON ROOF FOR APPROVAL OF APPLICATION PRIOR TO PROCEEDING WITH WORK.
- C. ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY.

- GUTTERS AND ROOF DRAINS
- \* REFER ALSO TO PLUMBING ENGINEER'S DRAWINGS
- A. DRAINS SHALL BE SIZED TO ACCOMMODATE 3" PER HOUR OF RAINFALL OR AS PER APPLICABLE CODE REQUIREMENTS (REFER TO PLUMBING ENGINEER'S DRAWINGS).
- B. PROVIDE SOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN.
- C. CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS (WHERE APPLICABLE) FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDINGS AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE.
- D. ROOF DRAINAGE TO BE CONNECTED TO EXISTING COUNTY APPROVED DRAINAGE DEVICE. ALL RAIN WATER TO BE DIRECTED TO STREET OR APPROVED OUTLET.

- ROOF PENETRATIONS
- \* REFER ALSO TO PLUMBING ENGINEER'S DRAWINGS
- A. VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- B. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
- C. CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS SHALL BE PROVIDED WITH WR GRACE 4000 BITUMETHENE WRAPPING AND 20 OZ. COPPER FLASHING AND COUNTERFLASHING (OR PER WATERPROOFING CONSULTANT'S RECOMMENDATION). ALL JOINTS AT SHEET METAL SHALL BE CALKED.
- D. COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.
- E. PROVIDE ADDITIONAL WATERPROOFING LAYERS AT ALL VALLEYS, RADIIUS WALLS, CRICKETS, TOPS OF WALLS, AND TRANSITIONAL AREAS, PER WATERPROOFING CONSULTANT'S RECOMMENDATION.

- SKYLIGHTS
- A. ALL SKYLIGHTS TO HAVE A 4" MINIMUM CURB.
- B. SKYLIGHT MANUF. BRISTOLITE, ICC # ESR-3177.
- \* TO BE CONFIRMED.

ROOF PLAN KEYNOTES

- 01 DOWNSPOUTS, GALVANIZED
- 02 GUTTERS, COPPER
- 03 NEW CHIMNEY CAP

ROOF MATERIALS

- MT: METAL FASCIA / TRIM / GUTTER
- RF: ROOFING MATERIAL PER FINISH LEGEND

- MT-XX METAL
- RF-XX ROOFING

LEGEND

- P.C. XXXXX PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- CENTERLINE
- STRUCTURAL GRIDLINE
- XX-XX MATERIAL CALLOUT
- SLOPE TO DRAIN 1/4" PER FOOT MIN.
- ROOF DRAIN W/ OVERFLOW DRAIN



drawing issue dates / revisions:	
date	submittal
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN RESIDENCE

2741 OCEAN BLVD CORONA DEL MAR CA 92625 USA.

proj. no: 19103

sheet: A160

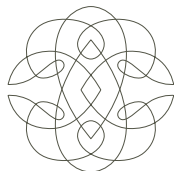
ROOF PLAN

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SP, RH, EB

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K A A Design Group

12921 West Washington Blvd., Los Angeles, CA 90066  
310.951.1400, fax 310.951.1400  
kaadesigngroup.com

## EXTERIOR ELEVATION NOTES

- GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE.
- HANDRAILS TO BE 34" - 38" HIGH ABOVE THE STAIR TREAD WORKING WITH 3 15/16" MAXIMUM OPENING SIZE.
- CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT OF ANY DISCREPANCIES.
- GLAZING WITHIN 16" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF 5' OR LESS SHALL BE 1-HR FIRE-RESISTANCE RATING FOR EXPOSURE TO FIRE FROM BOTH SIDES.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF .07" (PER SECT. R310.1).
- PROVIDE APPROVED SPARK ARRESTORS AT TOPS OF ALL FIREPLACE CHIMNEYS. UL-APPROVED METALBESTOS INSUL FLUE SYSTEM BY SELKIRK. EXISTING CHIMNEY TO BE REMOVED.
- EXISTING CHIMNEY TO BE REMOVED.

## EXTERIOR FINISHES

CH-XX	CONCRETE	RF-XX	ROOFING
GL-XX	GLASS	ST-XX	STONE
LS-XX	LANDSCAPE ELEMENTS	TL-XX	TILE
MT-XX	METAL	WD-XX	WOOD
PL-XX	PLASTER	FB-XX	FABRIC

EXTERIOR FINISH MATERIALS (ABBREVIATED):  
\*SEE COMPLETE FINISH LEGEND SHEET A070

- LS-10 METAL FENCE - CUSTOM DESIGN, PAINTED FINISH  
LS-11 METAL GATE - CUSTOM DESIGN, PAINTED FINISH  
LS-21 POOL PLASTER  
MT-11 METAL FASCIA (ROOF EAVE / BALCONY) - CUSTOM ALUMINUM PROFILE, PAINTED FINISH  
MT-90 WROUGHT IRON RAILINGS  
PL-10 EXT. PLASTER W/ INTEGRAL COLOR  
RF-10 ANTIQUE CLAY TILE ROOFING  
RF-11 STANDING SEAM METAL ROOFING  
RF-12 METAL PARAPET CAPS / EAVE ROOFING  
ST-10 EXT. STONE VENEER  
ST-11 EXT. DECORATIVE STONE  
ST-20 EXT. STONE FLOORING - ROUGH TEXTURE FOR SUB RESISTANCE (FINISH TBD), SEALED  
ST-21 STONE POOL COPING  
WD-10 WOOD UNTEL, TYP.  
WD-30 EXT. WOOD EAVE - STAINED T&G, THICKNESS PER FIRE CODE  
WD-31 EXT. WOOD RAFTER TAILS, TYP.  
WD-32 EXT. DECORATIVE WOOD TRIM, TYP.  
WD-33 EXT. WOOD CEILING  
WD-34 EXT. WOOD BEAMS  
WD-90 WOOD SHUTTERS, TYP.

FINISH NOTES:  
\*ALL METALWORK TO MATCH APPROVED "BRONZE" COLOR & SHEEN U.N.G. (SAMPLE TBD)



drawing issue dates / revisions:

date	submittal
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: **A300**  
NORTH BUILDING  
ELEVATION

scale: 1/8" = 1'-0"  
printed: 06 / 14 / 2023  
drawn by: SP, RH, EB

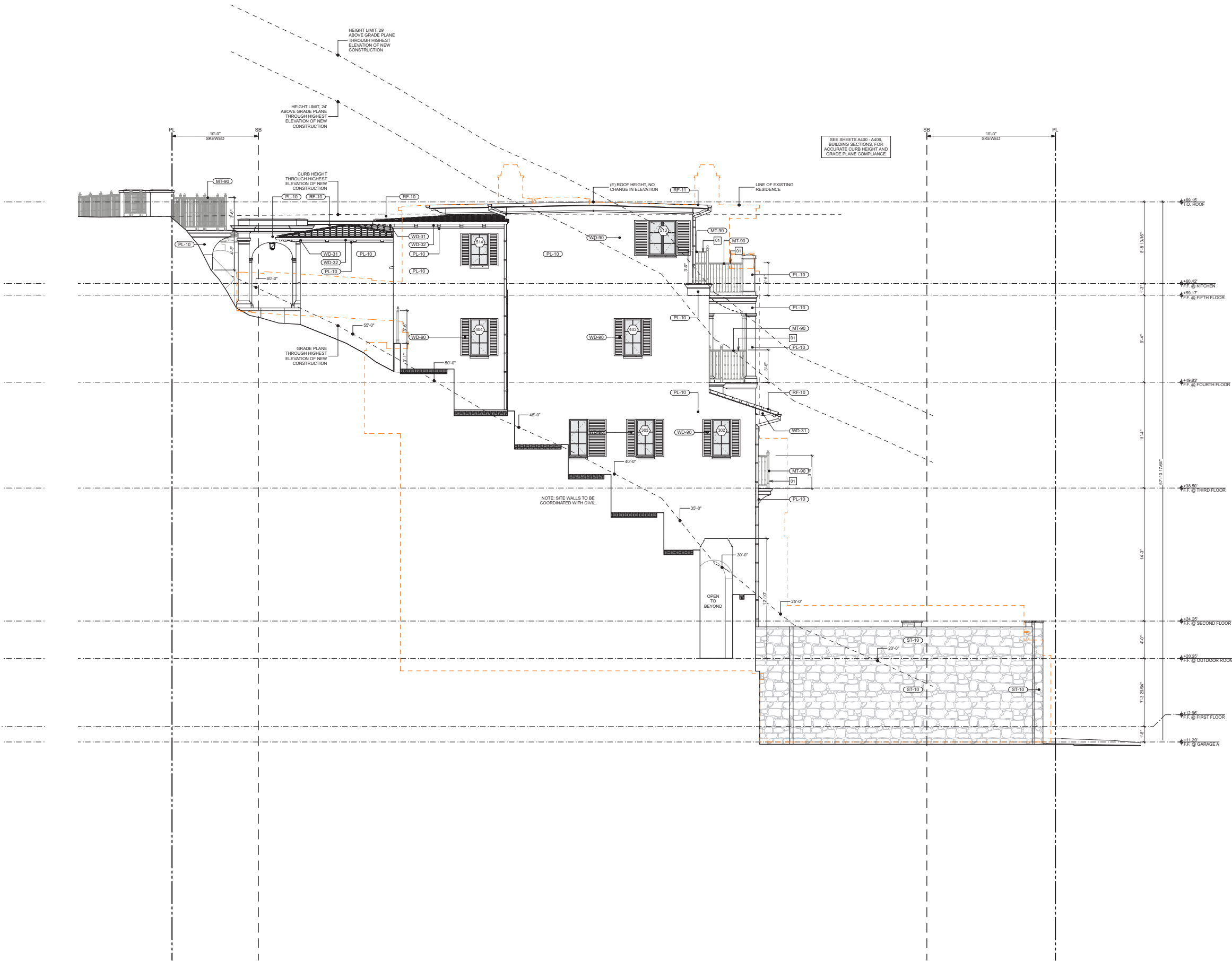
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## LEGEND

P.C. XXXXX	PROPERTY CORNER
---	PROPERTY LINE
---	SETBACK LINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
---	CENTERLINE
---	STRUCTURAL GRIDLINE
---	PROPOSED FINISHED GRADE
---	(E) FINISHED GRADE
---	NEIGHBOR ADJACENT GRADE (AG)
---	LINE OF EXISTING STRUCTURE
XXXXXX	SPOT ELEVATION
+0.00'	ELEVATION DIMENSION / DATUM
XXX-XX	MATERIAL CALLOUT





EXTERIOR ELEVATION NOTES

- 01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE.
- 02 HANDRAILS TO BE 34" - 38" HIGH ABOVE THE STAIR TREAD NOSING WITH 3 15/16" MAXIMUM OPENING SIZE.
- 03 CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT OF ANY DISCREPANCIES.
- 04 GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED.
- 05 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 06 EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF 5' OR LESS SHALL BE 1-HR FIRE-RESISTANCE RATING FOR EXPOSURE TO FIRE FROM BOTH SIDES.
- 07 BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF .3" (PER SECT. R319.1).
- 08 PROVIDE APPROVED SPARK ARRESTORS AT TOPS OF ALL FIREPLACE CHIMNEYS. UL APPROVED METALBESTOS INSUL FLUE SYSTEM BY SELKIRK.
- 09 EXISTING CHIMNEY TO BE REMOVED.

EXTERIOR FINISHES

CH-XX	CONCRETE	RF-XX	ROOFING
GL-XX	GLASS	ST-XX	STONE
LS-XX	LANDSCAPE ELEMENTS	TL-XX	TILE
MT-XX	METAL	WD-XX	WOOD
PL-XX	PLASTER	FB-XX	FABRIC

EXTERIOR FINISH MATERIALS (ABBREVIATED):  
\*SEE COMPLETE FINISH LEGEND SHEET A070

LS-10 METAL FENCE - CUSTOM DESIGN, PAINTED FINISH  
LS-11 METAL GATE - CUSTOM DESIGN, PAINTED FINISH  
LS-21 POOL PLASTER

MT-11 METAL FASCIA (ROOF EAVE / BALCONY) - CUSTOM ALUMINUM PROFILE, PAINTED FINISH  
MT-90 WROUGHT IRON RAILINGS

PL-10 EXT. PLASTER W/ INTEGRAL COLOR

RF-10 ANTIQUE CLAY TILE ROOFING  
RF-11 STANDING SEAM METAL ROOFING  
RF-12 METAL PARAPET CAPS / EAVE ROOFING

ST-10 EXT. STONE VENEER  
ST-11 EXT. DECORATIVE STONE  
ST-20 EXT. STONE FLOORING - ROUGH TEXTURE FOR SLIP RESISTANCE (FINISH TBD), SEALED  
ST-21 STONE POOL COPING

WD-10 WOOD LINTEL, TYP.  
WD-30 EXT. WOOD EAVE - STAINED T&G, THICKNESS PER FIRE CODE

WD-31 EXT. WOOD RAFTER TALS, TYP.  
WD-32 EXT. DECORATIVE WOOD TRIM, TYP.  
WD-33 EXT. WOOD CEILING  
WD-34 EXT. WOOD BEAMS  
WD-90 WOOD SHUTTERS, TYP.

FINISH NOTES:

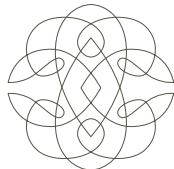
\*ALL METALWORK TO MATCH APPROVED "BRONZE" COLOR & SHEEN U.N.G. (SAMPLE TBD)

LEGEND

P.C. XXXXX	PROPERTY CORNER
---	PROPERTY LINE
---	SETBACK LINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
---	CENTERLINE
---	STRUCTURAL GRIDLINE
---	PROPOSED FINISHED GRADE
---	(E) FINISHED GRADE
---	NEIGHBOR ADJACENT GRADE (AG)
---	LINE OF EXISTING STRUCTURE
XXXXXX	SPOT ELEVATION
+40.00'	ELEVATION DIMENSION / DATUM
XXX-XX	MATERIAL CALLOUT

EAST ELEVATION  
1/4" = 1'-0"

01



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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: A301  
EAST BUILDING  
ELEVATIONS

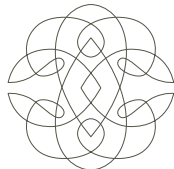
scale: 1/4" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SF, RH, EB

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199



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## EXTERIOR ELEVATION NOTES

- GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE.
- HANDRAILS TO BE 34" - 38" HIGH ABOVE THE STAIR TREAD NOSING WITH 3 15/16" MAXIMUM OPENING SIZE.
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- EXISTING CHIMNEY TO BE REMOVED.

## EXTERIOR FINISHES

- |       |                    |       |         |
|-------|--------------------|-------|---------|
| CH-XX | CONCRETE           | RF-XX | ROOFING |
| GL-XX | GLASS              | ST-XX | STONE   |
| LS-XX | LANDSCAPE ELEMENTS | TL-XX | TILE    |
| MT-XX | METAL              | WD-XX | WOOD    |
| PL-XX | PLASTER            | FB-XX | FABRIC  |

EXTERIOR FINISH MATERIALS (ABBREVIATED):  
\*SEE COMPLETE FINISH LEGEND SHEET A070

LS-10 METAL FENCE - CUSTOM DESIGN, PAINTED FINISH  
LS-11 METAL GATE - CUSTOM DESIGN, PAINTED FINISH  
LS-21 POOL PLASTER

MT-11 METAL FASCIA (ROOF EAVE / BALCONY) - CUSTOM ALUMINUM PROFILE, PAINTED FINISH  
MT-90 WROUGHT IRON RAILINGS

PL-10 EXT. PLASTER W/ INTEGRAL COLOR

RF-10 ANTIQUE CLAY TILE ROOFING  
RF-11 STANDING SEAM METAL ROOFING  
RF-12 METAL PARAPET CAPS / EAVE ROOFING

ST-10 EXT. STONE VENEER  
ST-11 EXT. DECORATIVE STONE  
ST-20 EXT. STONE FLOORING - ROUGH TEXTURE FOR SLIP RESISTANCE (FINISH TBD), SEALED  
ST-21 STONE POOL COPING

WD-10 WOOD LINTEL, TYP.  
WD-30 EXT. WOOD EAVE - STAINED T&G, THICKNESS PER FIRE CODE  
WD-31 EXT. WOOD RAFTER TALS, TYP.  
WD-32 EXT. DECORATIVE WOOD TRIM, TYP.  
WD-33 EXT. WOOD CEILING  
WD-34 EXT. WOOD BEAMS  
WD-90 WOOD SHUTTERS, TYP.

FINISH NOTES:  
\*ALL METALWORK TO MATCH APPROVED "BRONZE" COLOR & SHEEN U.N.G. (SAMPLE TBD)



drawing issue dates / revisions:

date	submittal
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/09/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA.

proj. no. 19103

sheet: **A302**  
SOUTH BUILDING  
ELEVATION

scale: 1/4" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SP, RH, EB

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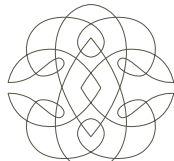
SOUTH ELEVATION

1/4" = 1'-0"

01



200



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## EXTERIOR ELEVATION NOTES

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- PROVIDE APPROVED SPARK ARRESTORS AT TOPS OF ALL FIREPLACE CHIMNEYS. UL APPROVED METALBESTOS INSUL FLUE SYSTEM BY SELKIRK.
- EXISTING CHIMNEY TO BE REMOVED.

## EXTERIOR FINISHES

CH-XX	CONCRETE	RF-XX	ROOFING
GL-XX	GLASS	ST-XX	STONE
LS-XX	LANDSCAPE ELEMENTS	TL-XX	TILE
MT-XX	METAL	WD-XX	WOOD
PL-XX	PLASTER	FB-XX	FABRIC

EXTERIOR FINISH MATERIALS (ABBREVIATED):  
\*SEE COMPLETE FINISH LEGEND SHEET A070

- LS-10 METAL FENCE - CUSTOM DESIGN, PAINTED FINISH  
LS-11 METAL GATE - CUSTOM DESIGN, PAINTED FINISH  
LS-21 POOL PLASTER
- MT-11 METAL FASCIA (ROOF EAVE / BALCONY) - CUSTOM ALUMINUM PROFILE, PAINTED FINISH  
MT-90 WROUGHT IRON RAILINGS
- PL-10 EXT. PLASTER W/ INTEGRAL COLOR
- RF-10 ANTIQUE CLAY TILE ROOFING  
RF-11 STANDING SEAM METAL ROOFING  
RF-12 METAL PARAPET CAPS / EAVE ROOFING
- ST-10 EXT. STONE VENEER  
ST-11 EXT. DECORATIVE STONE  
ST-20 EXT. STONE FLOORING - ROUGH TEXTURE FOR SLIP RESISTANCE (FINISH TBD), SEALED  
ST-21 STONE POOL COPING
- WD-10 WOOD LINTEL, TYP.  
WD-30 EXT. WOOD EAVE - STAINED T&G; THICKNESS PER FIRE CODE  
WD-31 EXT. WOOD RAFTER TALS, TYP.  
WD-32 EXT. DECORATIVE WOOD TRIM, TYP.  
WD-33 EXT. WOOD CEILING  
WD-34 EXT. WOOD BEAMS  
WD-90 WOOD SHUTTERS, TYP.

FINISH NOTES:  
\*ALL METALWORK TO MATCH APPROVED "BRONZE" COLOR & SHEEN U.N.G. (SAMPLE TBD)



drawing issue dates / revisions:

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08/26/22	Progress Planning Set
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12/21/22	Plan Check Submittal
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05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet:  
**A303**  
WEST BUILDING  
ELEVATION

scale: 1/8" = 1'-0"

printed: 06 / 14 / 2023

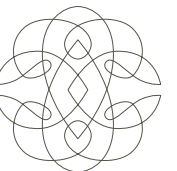
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## LEGEND

- P.C. XXXXX
- PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- CENTERLINE
- STRUCTURAL GRIDLINE
- PROPOSED FINISHED GRADE
- (E) FINISHED GRADE
- NEIGHBOR ADJACENT GRADE (AG)
- LINE OF EXISTING STRUCTURE
- XXXXXX
- SPOT ELEVATION
- ELEVATION DIMENSION / DATUM
- MATERIAL CALLOUT





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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

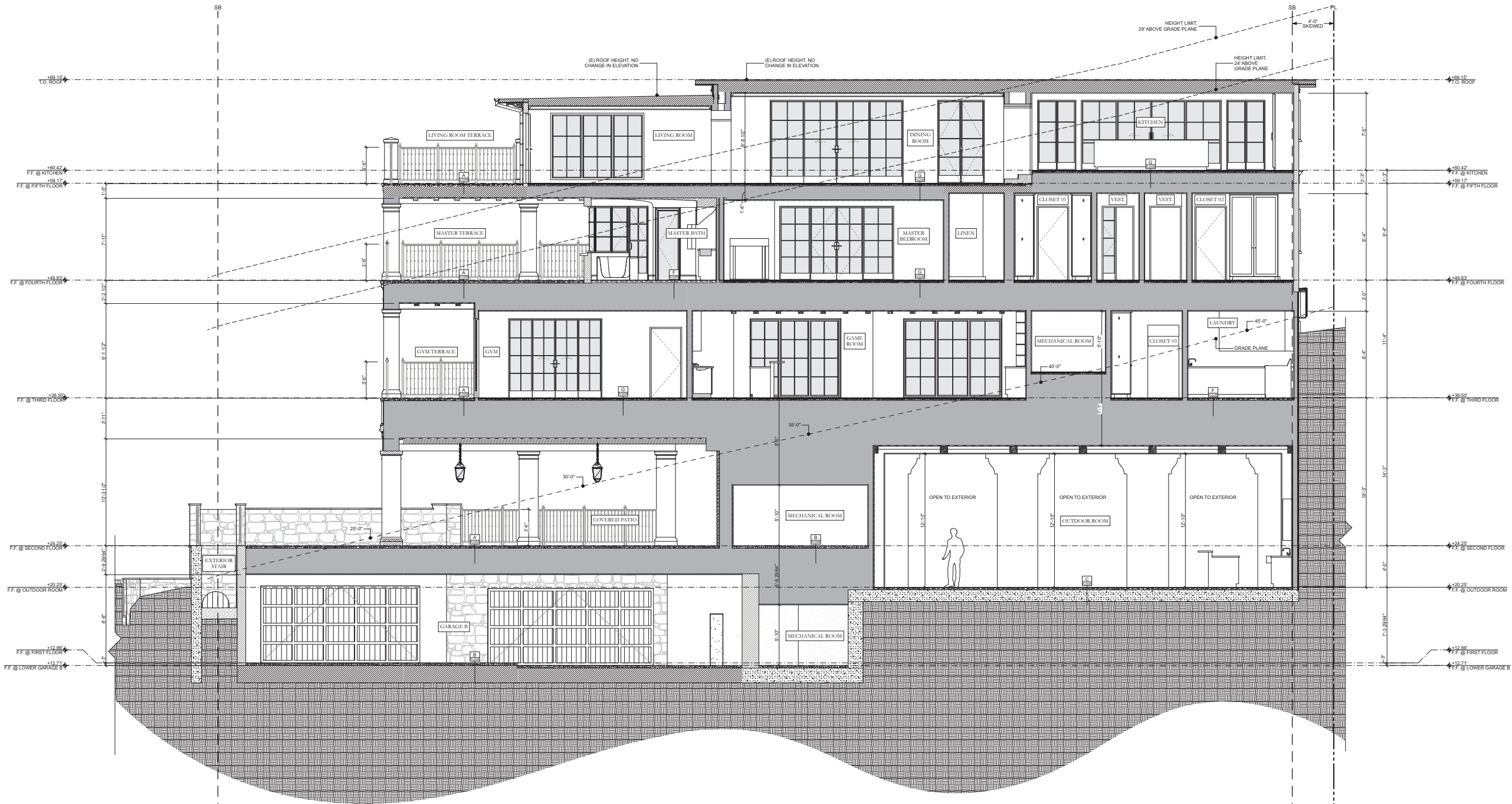
sheet:  
**A400**  
BUILDING  
SECTIONS

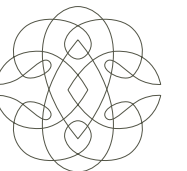
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BUILDING SECTION  
1/4" = 1'-0"

01

202





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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet:  
**A401**  
BUILDING  
SECTIONS

scale: 1/8" = 1'-0"

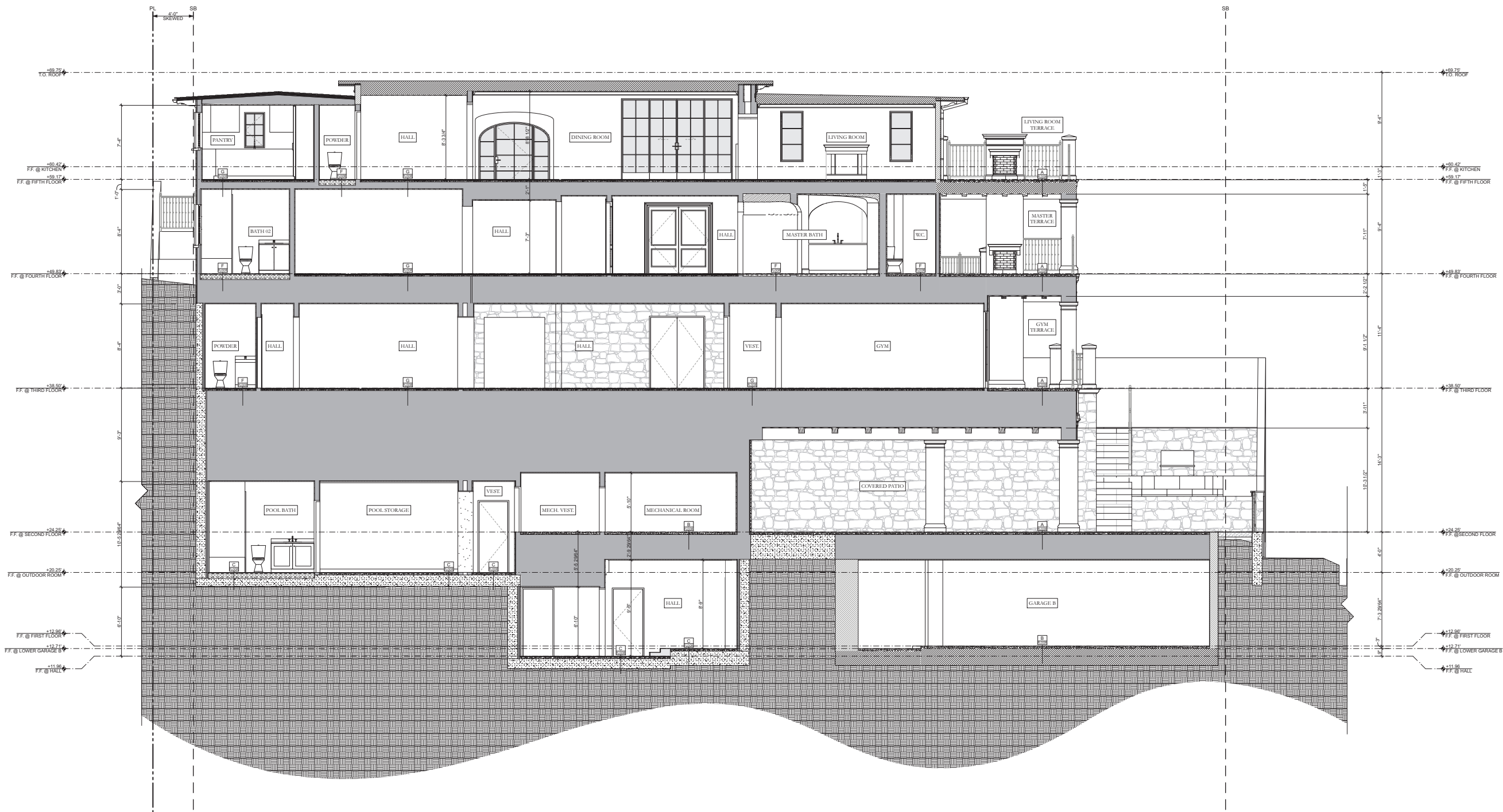
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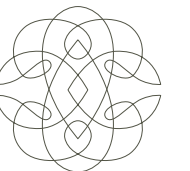
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BUILDING SECTION  
1/8" = 1'-0" 02

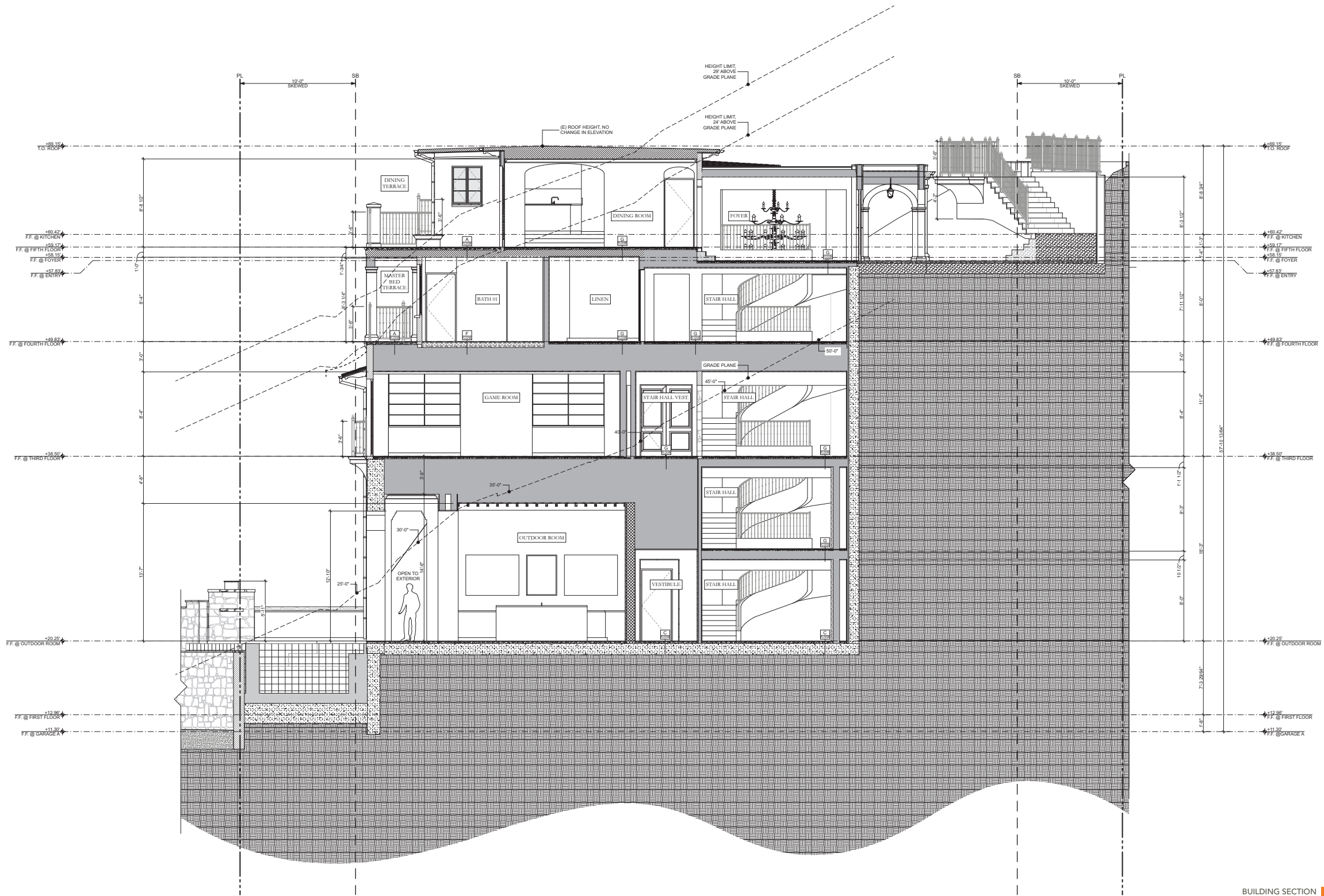
203





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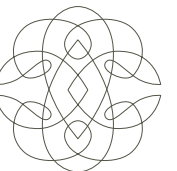
date	submittal
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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet:  
**A402**  
BUILDING  
SECTIONS

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08/26/22	Progress Planning Set
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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet:  
**A403**  
BUILDING  
SECTIONS

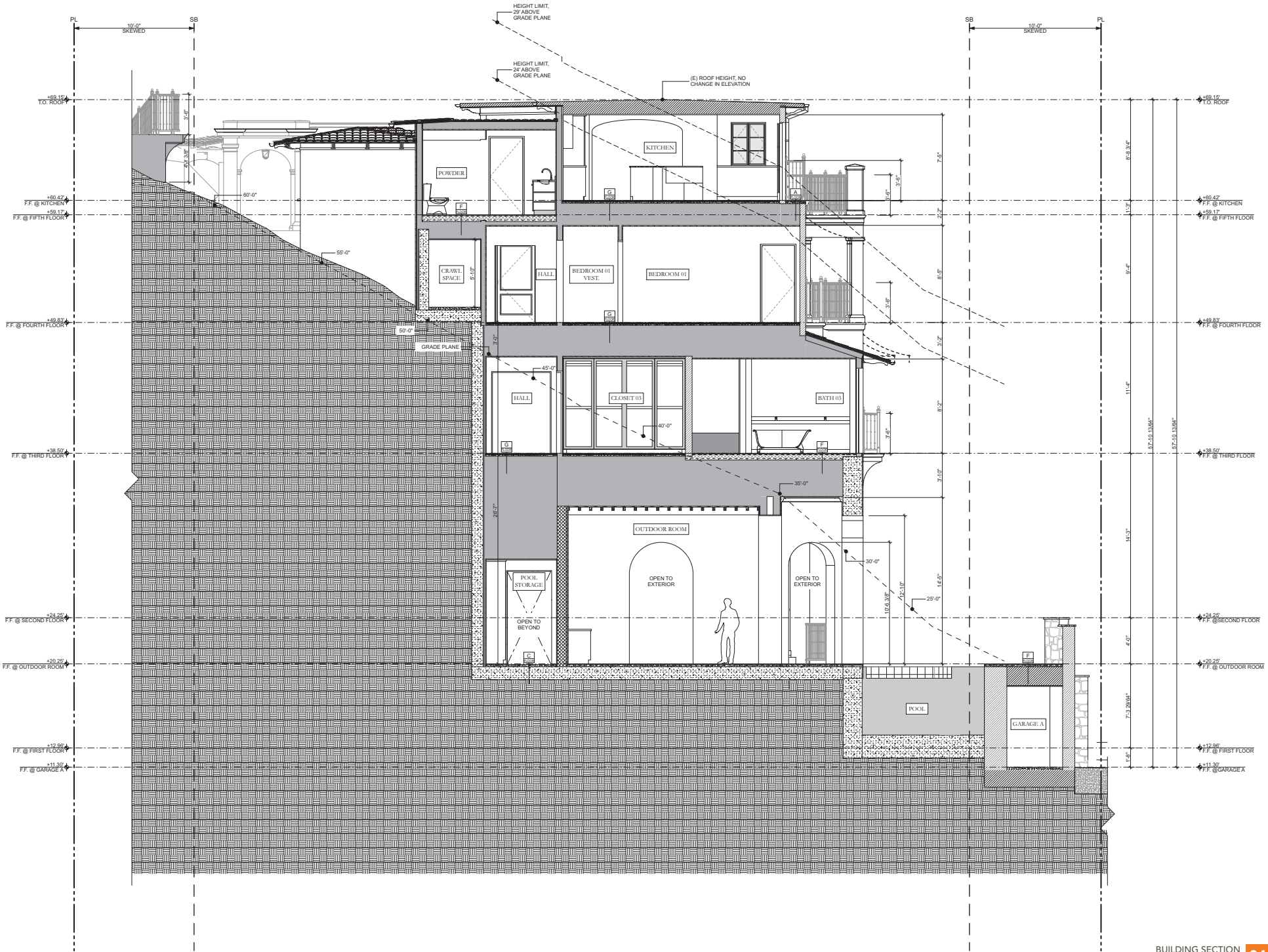
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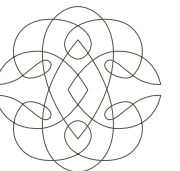
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BUILDING SECTION  
1/4" = 1'-0"

04

205





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06/14/23	CDP Submittal IV

project: **2741 OCEAN  
RESIDENCE**  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: **19103**

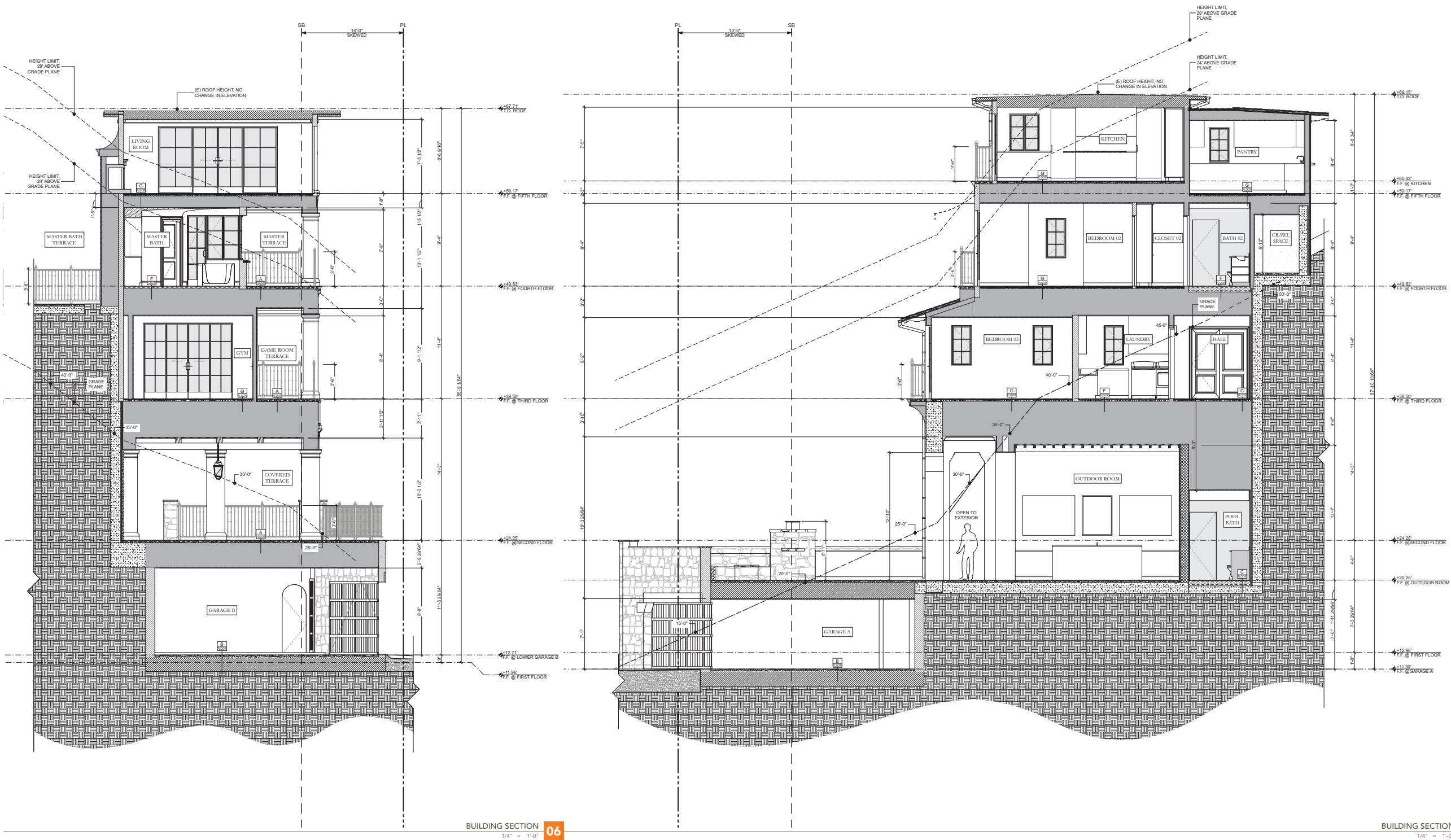
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BUILDING  
SECTIONS

scale: 1/8" = 1'-0"

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206



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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet: **A405**  
**BUILDING  
SECTIONS**

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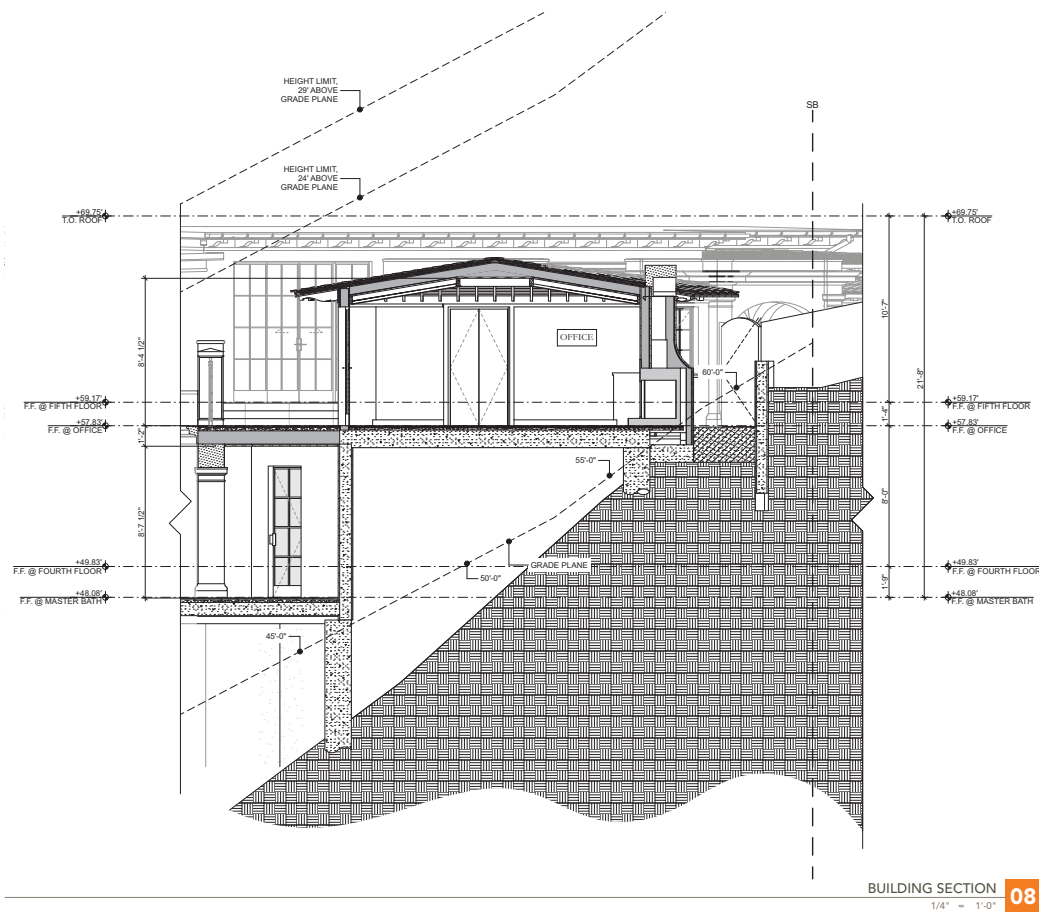
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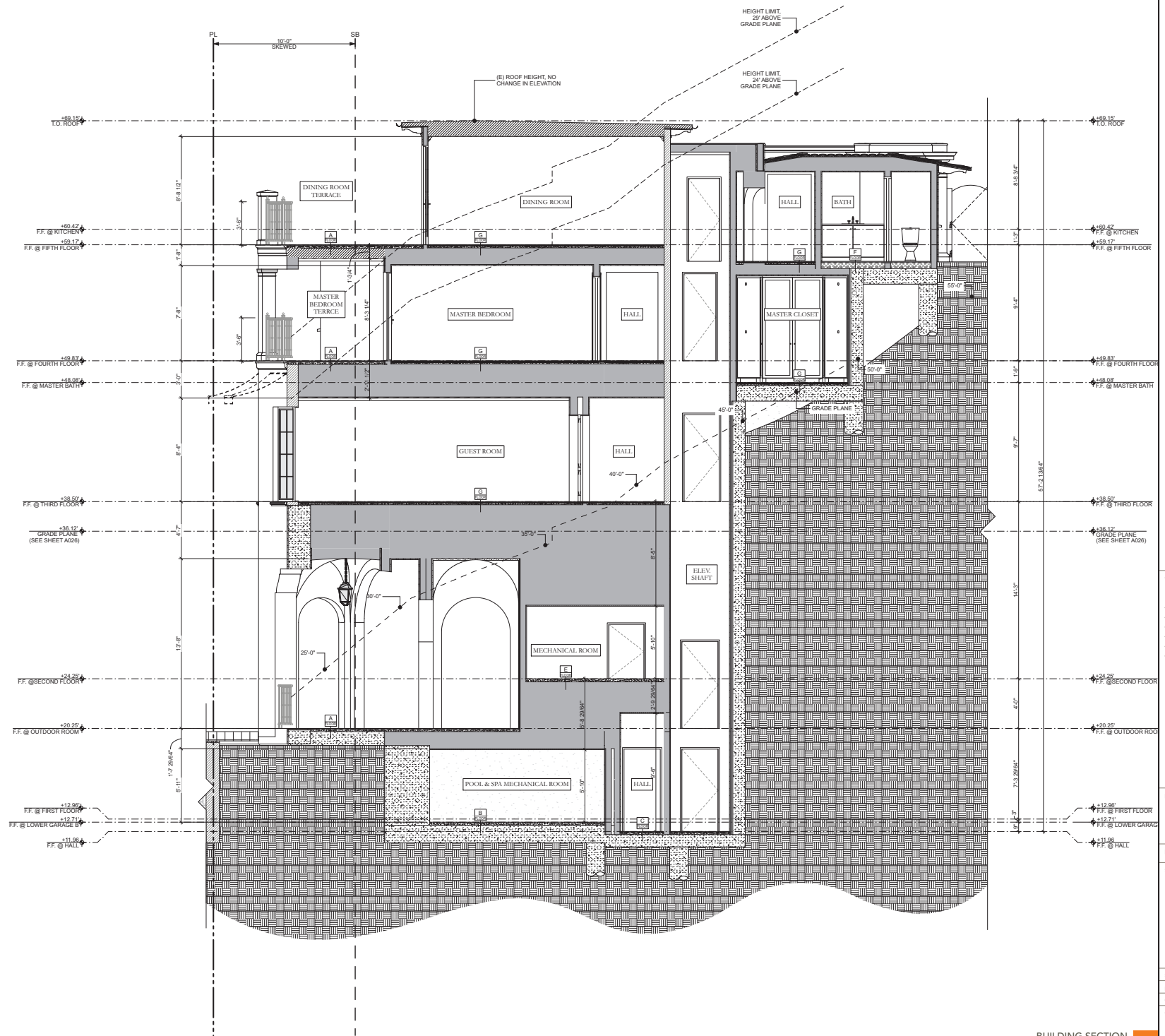
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**BUILDING SECTION**  
1/4" = 1'-0"

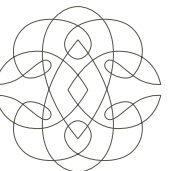
207



**BUILDING SECTION** **08**  
1/4" = 1'-0"



**BUILDING SECTION**  
1/4" = 1'-0"



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project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet:  
**A406**  
BUILDING  
SECTIONS

scale: 1/8" = 1'-0"

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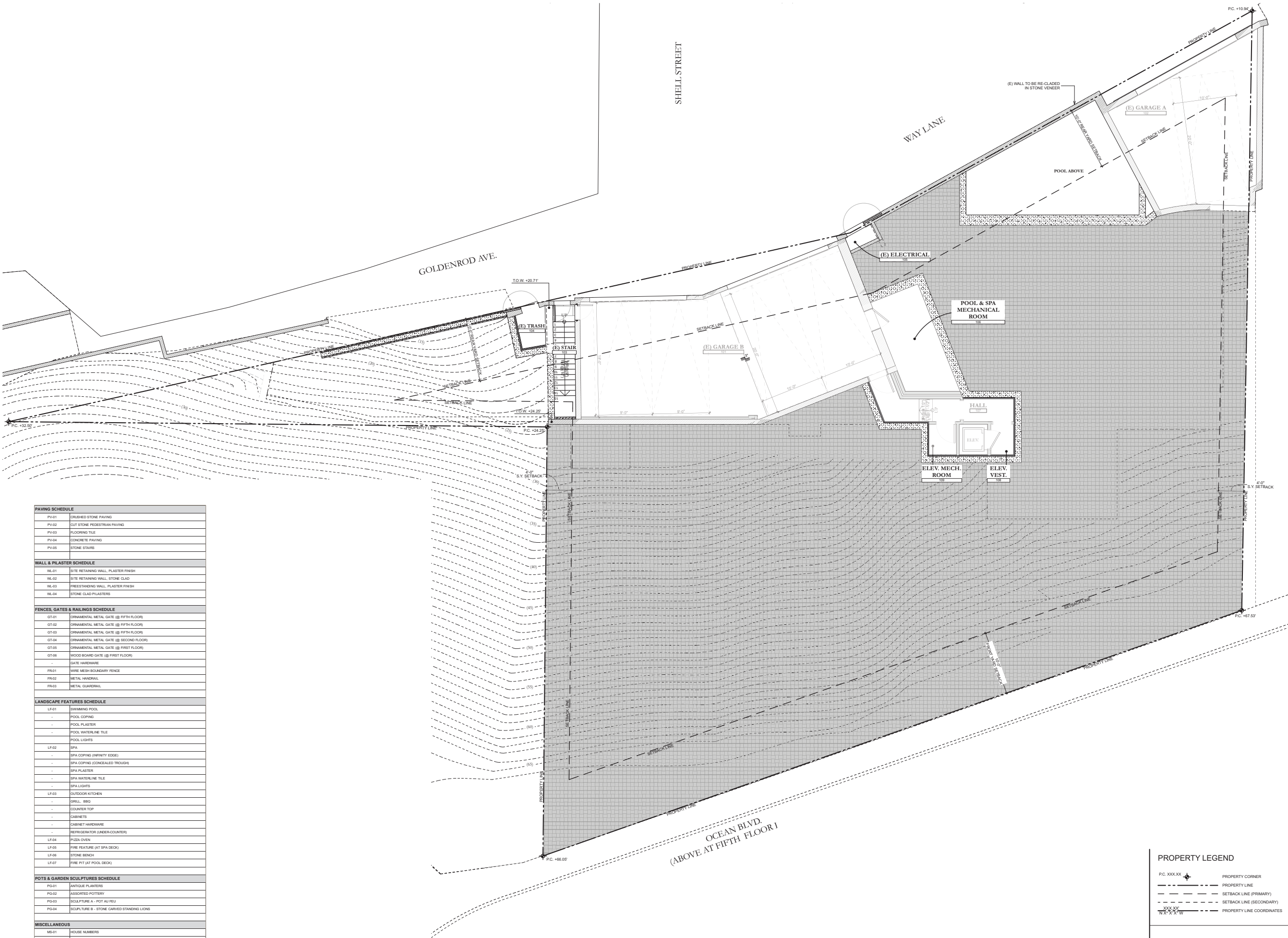
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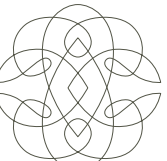
BUILDING SECTION  
1/4" = 1'-0"

09

208



PAVING SCHEDULE	
PV-01	DRUSHED STONE PAVING
PV-02	CUT STONE PEDESTRIAN PAVING
PV-03	FLOORING TILE
PV-04	CONCRETE PAVING
PV-05	STONE STAIRS
WALL & PILASTER SCHEDULE	
WL-01	SITE RETAINING WALL, PLASTER FINISH
WL-02	SITE RETAINING WALL, STONE CLAD
WL-03	FREESTANDING WALL, PLASTER FINISH
WL-04	STONE CLAD PILASTERS
FENCES, GATES & RAILINGS SCHEDULE	
GT-01	ORNAMENTAL METAL GATE (B FIFTH FLOOR)
GT-02	ORNAMENTAL METAL GATE (B FIFTH FLOOR)
GT-03	ORNAMENTAL METAL GATE (B FIFTH FLOOR)
GT-04	ORNAMENTAL METAL GATE (B SECOND FLOOR)
GT-05	ORNAMENTAL METAL GATE (B FIRST FLOOR)
GT-06	WOOD BOARD GATE (B FIRST FLOOR)
FR-01	WHITE WOODWARE
FR-02	WIRE MESH BOUNDARY FENCE
FR-03	METAL HANDRAIL
FR-04	METAL GUARDRAIL
LANDSCAPE FEATURES SCHEDULE	
LF-01	SWIMMING POOL
-	POOL COPING
-	POOL PLASTER
-	POOL WATERLINE TILE
-	POOL LIGHTS
LF-02	SPA
-	SPA COPING (INFINITY EDGE)
-	SPA COPING (CONCEALED TROUGH)
-	SPA PLASTER
-	SPA WATERLINE TILE
-	SPA LIGHTS
LF-03	OUTDOOR KITCHEN
-	GRILL, BBQ
-	COUNTER TOP
-	CABINETS
-	CABINET HARDWARE
-	REFRIGERATOR (UNDER COUNTER)
LF-04	PIZZA OVEN
LF-05	FIRE FEATURE (AT SPA DECK)
LF-06	STONE BENCH
LF-07	FIRE PIT (AT POOL DECK)
POTS & GARDEN SCULPTURES SCHEDULE	
PG-01	ANTIQUE PLANTERS
PG-02	ASSORTED POTTERY
PG-03	SCULPTURE A - POT AU FEU
PG-04	SCULPTURE B - STONE CARVED STANDING LIONS
MISCELLANEOUS	
MS-01	HOUSE NUMBERS
MS-02	STREET NUMBERS
MS-03	PEDESTRIAN CALL BOX & KEY PAD
MS-04	MAIL BOX



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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet: L200  
FIRST FLOOR  
HARDSCAPE PLAN

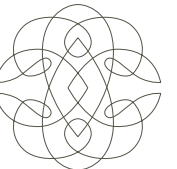
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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

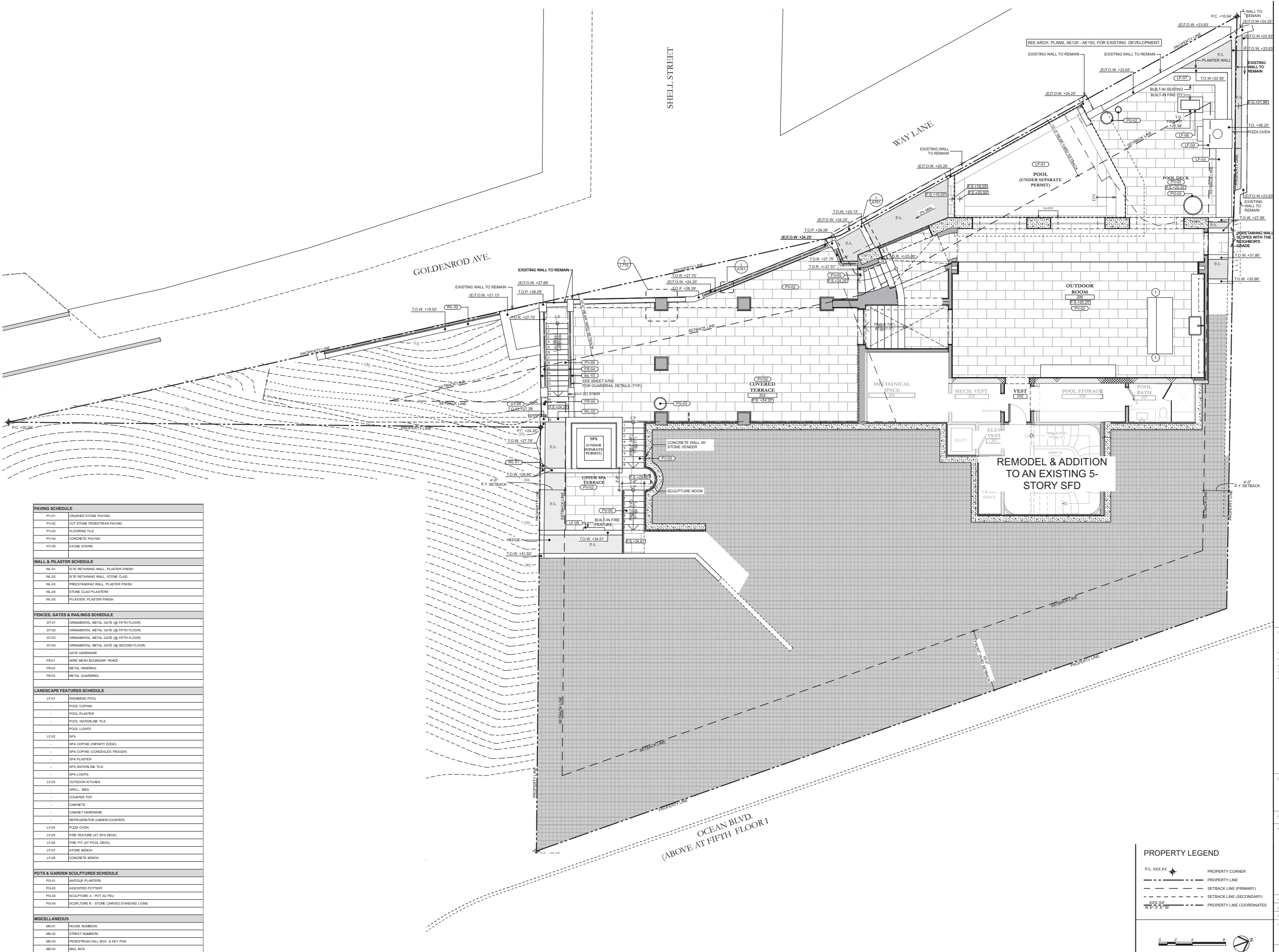
proj. no: 19103

sheet: L201  
SECOND FLOOR  
HARDSCAPE PLAN

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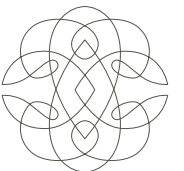


PAVING SCHEDULE	
PV-01	CRUSHED STONE PAVING
PV-02	CUT STONE PEDESTRIAN PAVING
PV-03	FLOORING TILE
PV-04	CONCRETE PAVING
PV-05	STONE STAIRS
WALL & PILASTER SCHEDULE	
WL-01	SITE RETAINING WALL, PLASTER FINISH
WL-02	SITE RETAINING WALL, STONE CLAD
WL-03	FREESTANDING WALL, PLASTER FINISH
WL-04	STONE CLAD PILASTERS
WL-05	PILASTER, PLASTER FINISH
FENCES, GATES & RAILINGS SCHEDULE	
GT-01	ORNAMENTAL METAL GATE (5' FIFTH FLOOR)
GT-02	ORNAMENTAL METAL GATE (5' FIFTH FLOOR)
GT-03	ORNAMENTAL METAL GATE (5' FIFTH FLOOR)
GT-04	ORNAMENTAL METAL GATE (5' SECOND FLOOR)
FR-01	GATE HARDWARE
FR-02	WIRE MESH BOUNDARY FENCE
FR-03	METAL HANDRAIL
FR-04	METAL GUARDRAIL
LANDSCAPE FEATURES SCHEDULE	
LF-01	SHIMMING POOL
-	POOL COPING
-	POOL PLASTER
-	POOL WATERLINE TILE
-	POOL LIGHTS
LF-02	SPA
-	SPA COPING (INFINITY EDGE)
-	SPA COPING (CONCEALED TROUGH)
-	SPA PLASTER
-	SPA WATERLINE TILE
-	SPA LIGHTS
LF-03	OUTDOOR KITCHEN
-	GRILL, BBQ
-	COUNTER TOP
-	CABINETS
-	CABINET HARDWARE
-	REFRIGERATOR (UNDER COUNTER)
LF-04	PIZZA OVEN
LF-05	FIRE FEATURE (AT SPA DECK)
LF-06	FIRE PIT (AT POOL DECK)
LF-07	STONE BENCH
LF-08	CONCRETE BENCH
POTS & GARDEN SCULPTURES SCHEDULE	
PG-01	ANTIQUE PLANTERS
PG-02	ASSORTED POTTERY
PG-03	SCULPTURE A - POT AU FEU
PG-04	SCULPTURE B - STONE CARVED STANDING LIONS
MISCELLANEOUS	
MS-01	HOUSE NUMBERS
MS-02	STREET NUMBERS
MS-03	PEDESTRIAN CALL BOX & KEY PAD
MS-04	MAIL BOX

PROPERTY LEGEND

P.C. XXX.XX  
PROPERTY CORNER  
PROPERTY LINE  
SETBACK LINE (PRIMARY)  
SETBACK LINE (SECONDARY)  
PROPERTY LINE COORDINATES  
NXX.XX W





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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

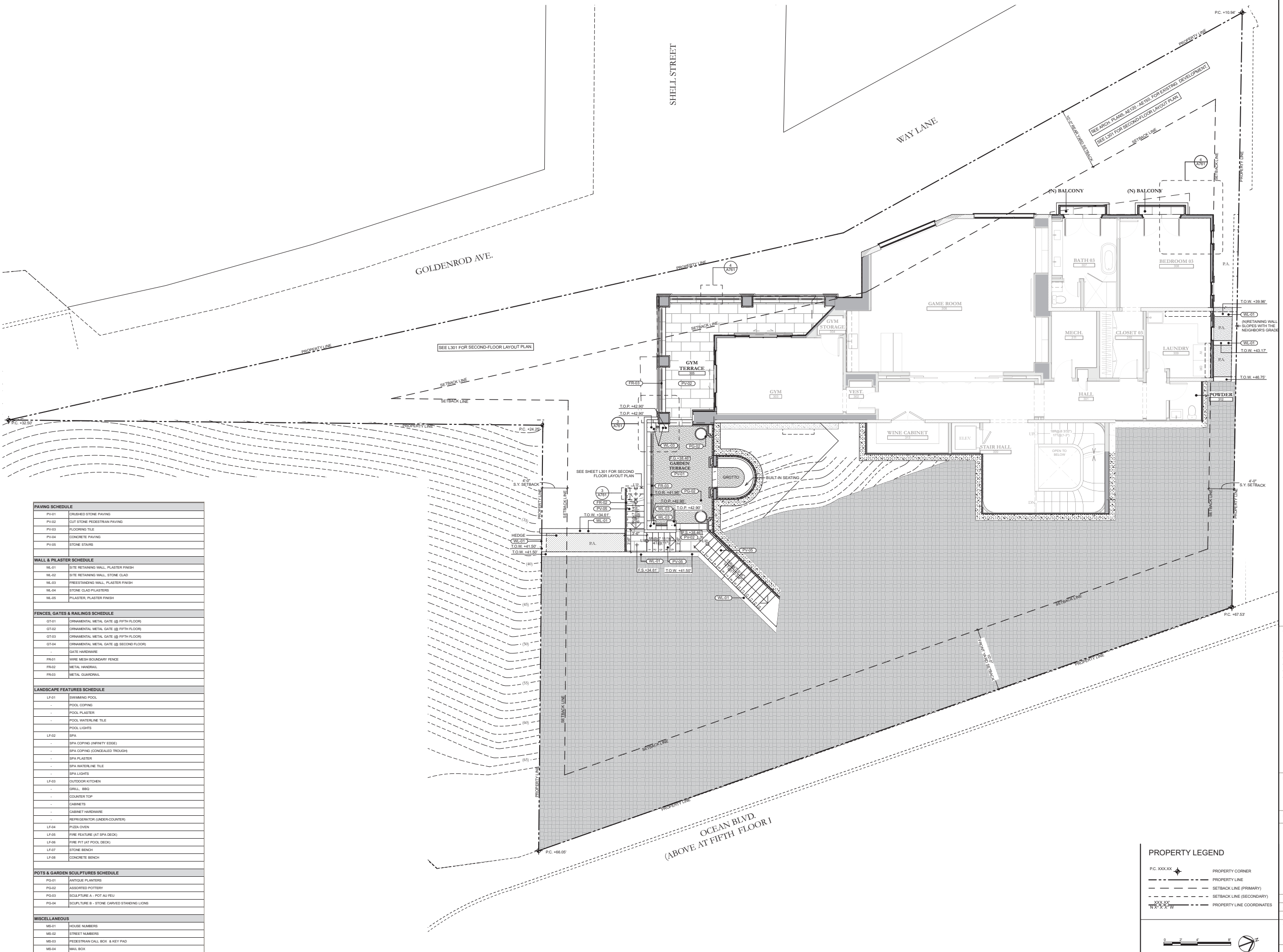
proj. no: 19103

sheet: L202  
THIRD FLOOR  
HARDSCAPE PLAN

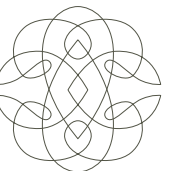
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PAVING SCHEDULE	
PV-01	CRUSHED STONE PAVING
PV-02	CUT STONE PEDESTRIAN PAVING
PV-03	FLOORING TILE
PV-04	CONCRETE PAVING
PV-05	STONE STAIRS
WALL & PILASTER SCHEDULE	
WL-01	SITE RETAINING WALL, PLASTER FINISH
WL-02	SITE RETAINING WALL, STONE CLAD
WL-03	FREESTANDING WALL, PLASTER FINISH
WL-04	STONE CLAD PILASTERS
WL-05	PILASTER, PLASTER FINISH
FENCES, GATES & RAILINGS SCHEDULE	
GT-01	ORNAMENTAL METAL GATE (5' FIFTH FLOOR)
GT-02	ORNAMENTAL METAL GATE (5' FIFTH FLOOR)
GT-03	ORNAMENTAL METAL GATE (5' FIFTH FLOOR)
GT-04	ORNAMENTAL METAL GATE (5' SECOND FLOOR)
FR-01	GATE HARDWARE
FR-02	WIRE MESH BOUNDARY FENCE
FR-03	METAL HANDRAIL
FR-04	METAL GUARDRAIL
LANDSCAPE FEATURES SCHEDULE	
LF-01	SHIMMING POOL
-	POOL COPING
-	POOL PLASTER
-	POOL WATERLINE TILE
-	POOL LIGHTS
LF-02	SPA
-	SPA COPING (INFINITY EDGE)
-	SPA COPING (CONCEALED TROUGH)
-	SPA PLASTER
-	SPA WATERLINE TILE
-	SPA LIGHTS
LF-03	OUTDOOR KITCHEN
-	GRILL, BBQ
-	COUNTER TOP
-	CABINETS
-	CABINET HARDWARE
-	REFRIGERATOR (UNDER COUNTER)
LF-04	PIZZA OVEN
LF-05	PIRE FEATURE (AT SPA DECK)
LF-06	PIRE PIT (AT POOL DECK)
LF-07	STONE BENCH
LF-08	CONCRETE BENCH
POTS & GARDEN SCULPTURES SCHEDULE	
PG-01	ANTIQUE PLANTERS
PG-02	ASSORTED POTTERY
PG-03	SCULPTURE A - POT AU FEU
PG-04	SCULPTURE B - STONE CARVED STANDING LIONS
MISCELLANEOUS	
MS-01	HOUSE NUMBERS
MS-02	STREET NUMBERS
MS-03	PEDESTRIAN CALL BOX & KEY PAD
MS-04	MAIL BOX



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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

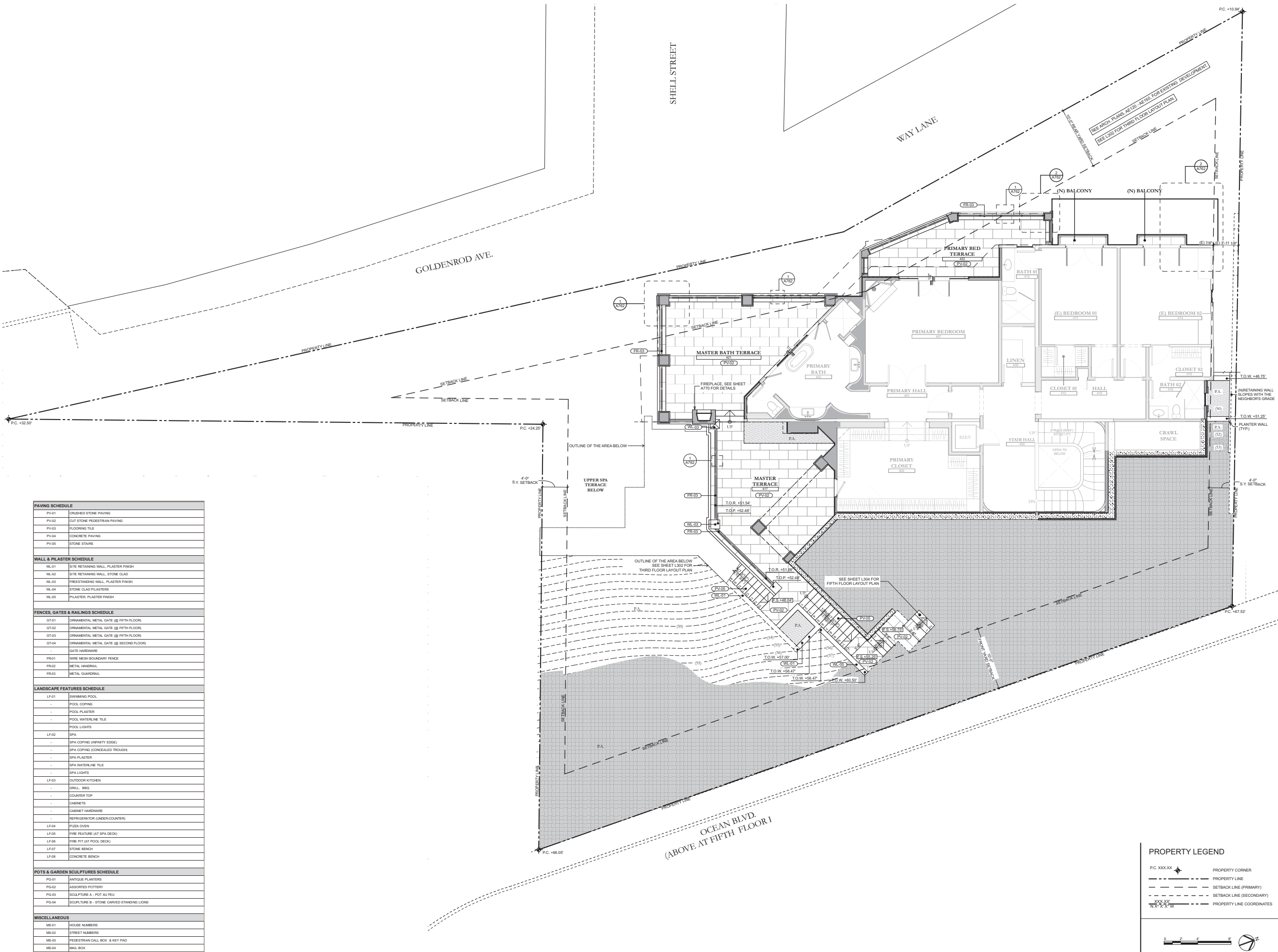
proj. no: 19103

sheet: **L203**  
FOURTH FLOOR  
HARDSCAPE PLAN

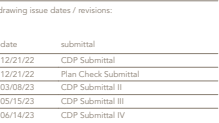
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PAVING SCHEDULE	
PV-01	CRUSHED STONE PAVING
PV-02	OUT STONE PEDESTRIAN PAVING
PV-03	FLOORING TILE
PV-04	CONCRETE PAVING
PV-05	STONE STAIRS
WALL & PILASTER SCHEDULE	
WL-01	SITE RETAINING WALL, PLASTER FINISH
WL-02	SITE RETAINING WALL, STONE CLAD
WL-03	FREESTANDING WALL, PLASTER FINISH
WL-04	STONE CLAD PILASTERS
WL-05	PILASTER, PLASTER FINISH
FENCES, GATES & RAILINGS SCHEDULE	
GT-01	ORNAMENTAL METAL GATE (S FIFTH FLOOR)
GT-02	ORNAMENTAL METAL GATE (S FIFTH FLOOR)
GT-03	ORNAMENTAL METAL GATE (S FIFTH FLOOR)
GT-04	ORNAMENTAL METAL GATE (S SECOND FLOOR)
FR-01	GATE HARDWARE
FR-02	WIRE MESH BOUNDARY FENCE
FR-03	METAL HANDRAIL
FR-04	METAL GUARDRAIL
LANDSCAPE FEATURES SCHEDULE	
LF-01	SWIMMING POOL
-	POOL COPING
-	POOL PLASTER
-	POOL WATERLINE TILE
-	POOL LIGHTS
LF-02	SPA
-	SPA COPING (INFINITY EDGE)
-	SPA COPING (CONCEALED TROUGH)
-	SPA PLASTER
-	SPA WATERLINE TILE
-	SPA LIGHTS
LF-03	OUTDOOR KITCHEN
-	GRILL, BBQ
-	COUNTER TOP
-	CABINETS
-	CABINET HARDWARE
-	REFRIGERATOR (UNDER COUNTER)
LF-04	PIZZA OVEN
LF-05	FIRE FEATURE (AT SPA DECK)
LF-06	FIRE PIT (AT POOL DECK)
LF-07	STONE BENCH
LF-08	CONCRETE BENCH
POTS & GARDEN SCULPTURES SCHEDULE	
PG-01	ANTIQUE PLANTERS
PG-02	ASSORTED POTTERY
PG-03	SCULPTURE A - POT AU FEU
PG-04	SCULPTURE B - STONE CARVED STANDING LIONS
MISCELLANEOUS	
MS-01	HOUSE NUMBERS
MS-02	STREET NUMBERS
MS-03	PEDESTRIAN CALL BOX & KEY PAD
MS-04	MAIL BOX



proj. no. 19103

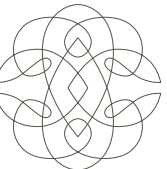
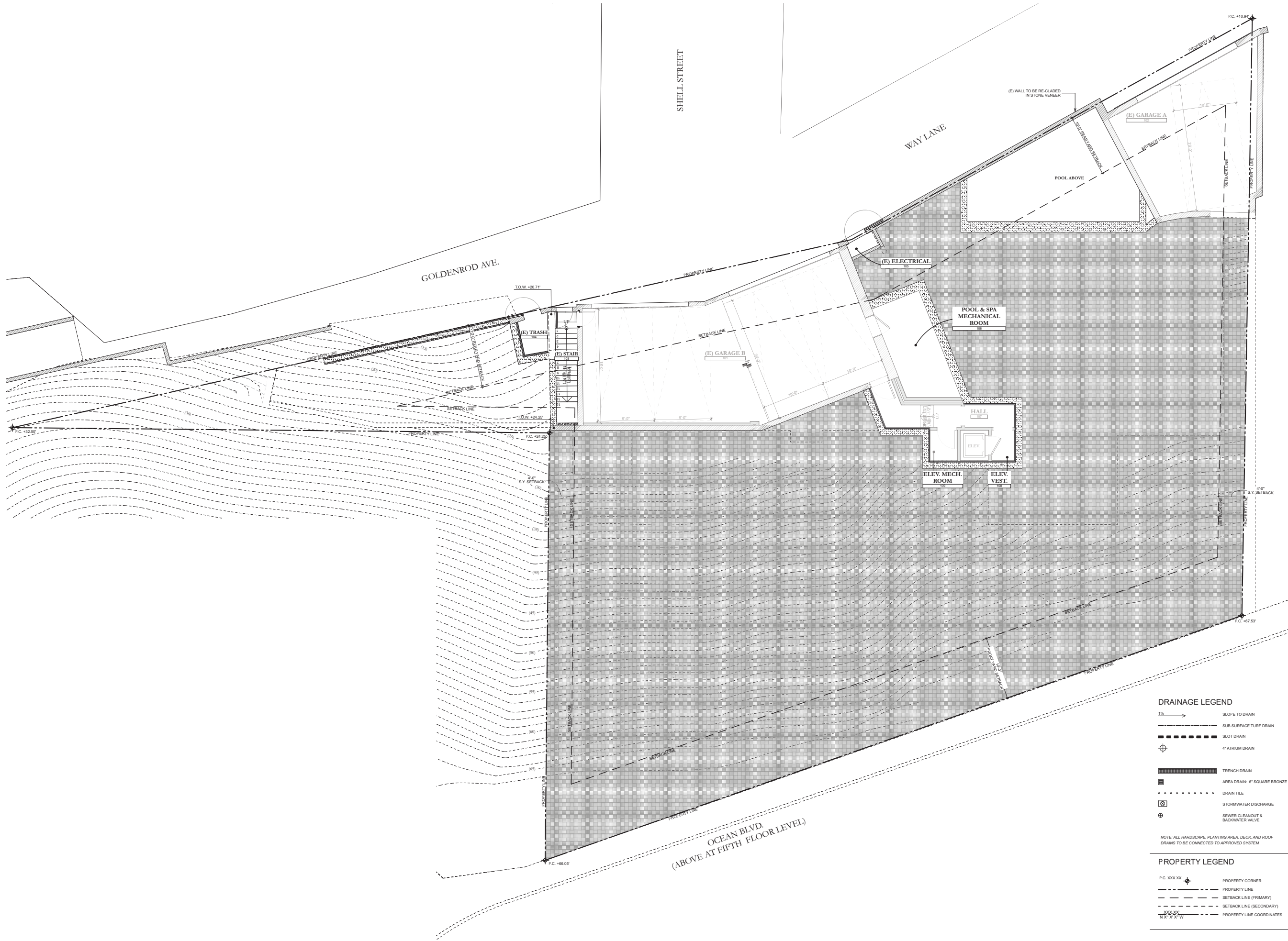
## FIFTH FLOOR HARDSCAPE PLAN

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<b>PAVING SCHEDULE</b>	
PV-01	CRUSHED STONE PAVING
PV-02	CUT STONE PEDESTRIAN PAVING
PV-03	FLOORING TILE
PV-04	CONCRETE PAVING
PV-05	STONE STAIRS
<b>WALL &amp; PILASTER SCHEDULE</b>	
WL-01	SITE RETAINING WALL, PLASTER FINISH
WL-02	SITE RETAINING WALL, STONE CLAD
WL-03	FREESTANDING WALL, PLASTER FINISH
WL-04	STONE CLAD PILASTERS
WL-05	PILASTER, PLASTER FINISH
<b>FENCES, GATES &amp; RAILINGS SCHEDULE</b>	
GT-01	ORNAMENTAL METAL GATE (2 <sup>ND</sup> FIFTH FLOOR)
GT-02	ORNAMENTAL METAL GATE (2 <sup>ND</sup> FIFTH FLOOR)
GT-03	ORNAMENTAL METAL GATE (2 <sup>ND</sup> FIFTH FLOOR)
GT-04	ORNAMENTAL METAL GATE (2 <sup>ND</sup> SECOND FLOOR)
-	GATE HARDWARE
FR-01	WIRE MESH BOUNDARY FENCE
FR-02	METAL HANDRAIL
FR-03	METAL GUARDRAIL
<b>LANDSCAPE FEATURES SCHEDULE</b>	
LF-01	BIRMINGHAM POOL
-	POOL COPING
-	POOL PLASTER
-	POOL WATERLINE TILE
-	POOL LIGHTS
LF-02	SIPA
-	SIPA COPING (INFINITY EDGE)
-	SIPA COPING (CONCEALED TROUGH)
-	SIPA PLASTER
-	SIPA WATERLINE TILE
-	SIPA LIGHTS
LF-03	OUTDOOR KITCHEN
-	GRILL, BBQ
-	COUNTER TOP
-	CABINETS
-	CABINET HARDWARE
-	REFRIGERATOR (UNDER-COUNTER)
LF-04	PIZZA OVEN
LF-05	FIRE FEATURE (AT SIPA DECK)
LF-06	FIRE PIT (AT POOL DECK)
LF-07	STONE BENCH
LF-08	CONCRETE BENCH
<b>POTS &amp; GARDEN SCULPTURES SCHEDULE</b>	
PS-01	ANTIQUE PLANTERS
PS-02	MOSAIC POTTERY
PS-03	SCULPTURE - POT & FEU
PS-04	SCULPTURE - ST. BONE CARVED STANDING LION
<b>MISCELLANEOUS</b>	
MS-01	HOUSE NUMBERS
MS-02	STREET NUMBERS
MS-03	PEDESTRIAN CALL BOX & KEY PAD
MS-04	MAIL BOX



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310.851.1400, Fax 310.851.1440  
kaadesigngroup.com



drawing issue dates / revisions:

date	submittal
08/26/22	Progress Planning Set
12/21/22	CDP Submittal
12/21/22	Plan Check Submittal
03/09/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

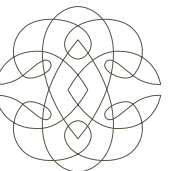
sheet: L300  
FIRST FLOOR  
LAYOUT PLAN

scale: 3/16" = 1'-0", 1/4" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SF, RH, EB

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310.931.1400, Fax 310.931.1400  
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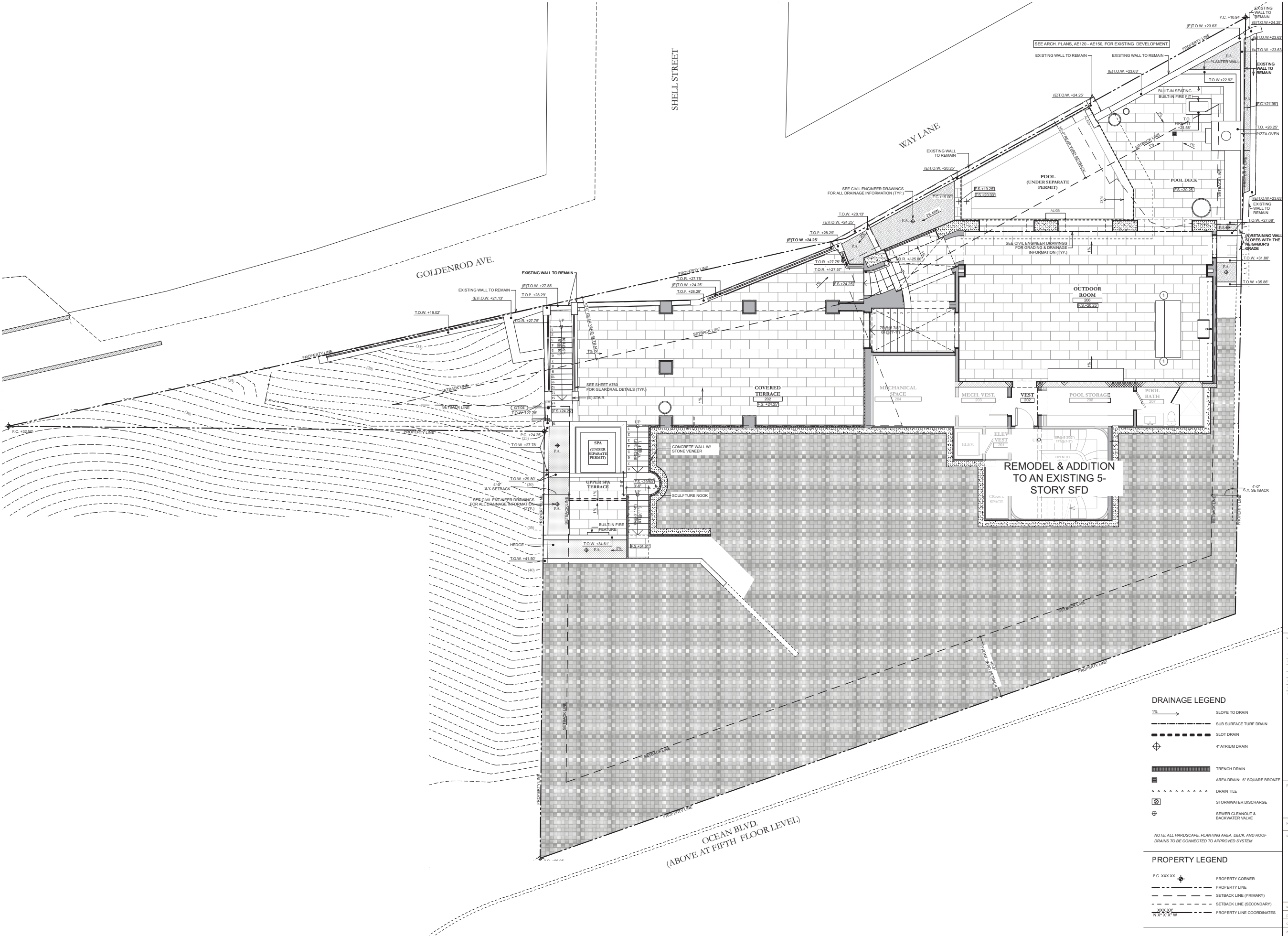
sheet: L301  
SECOND FLOOR  
LAYOUT PLAN

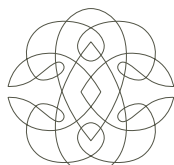
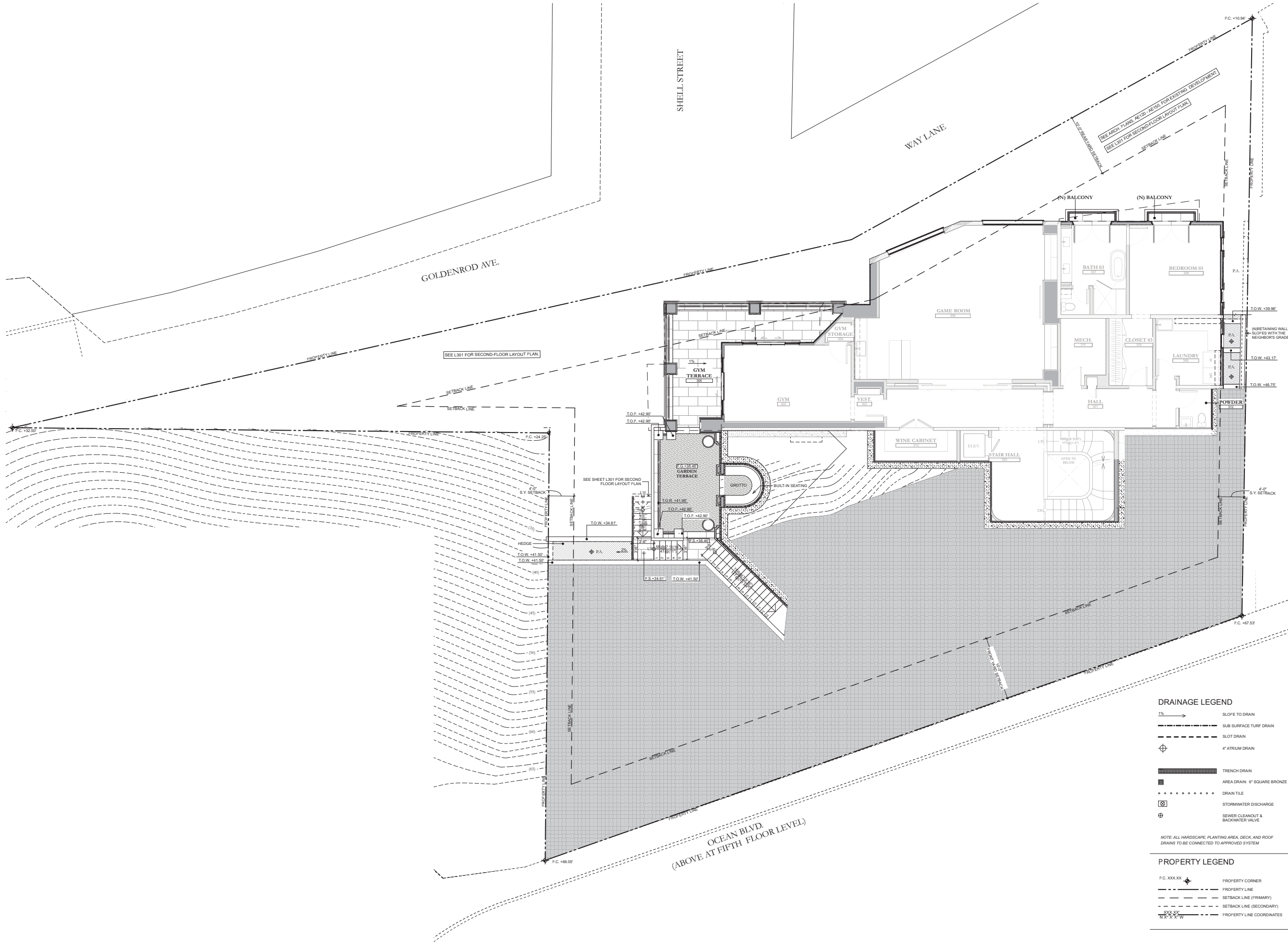
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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet:  
**L302**  
THIRD FLOOR  
LAYOUT PLAN

scale: 3/16" = 1'-0", 1/4" = 1'-0"

printed: 06 / 14 / 2023

drawn by: SF, RH, EB

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#### DRAINAGE LEGEND

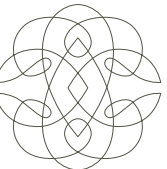
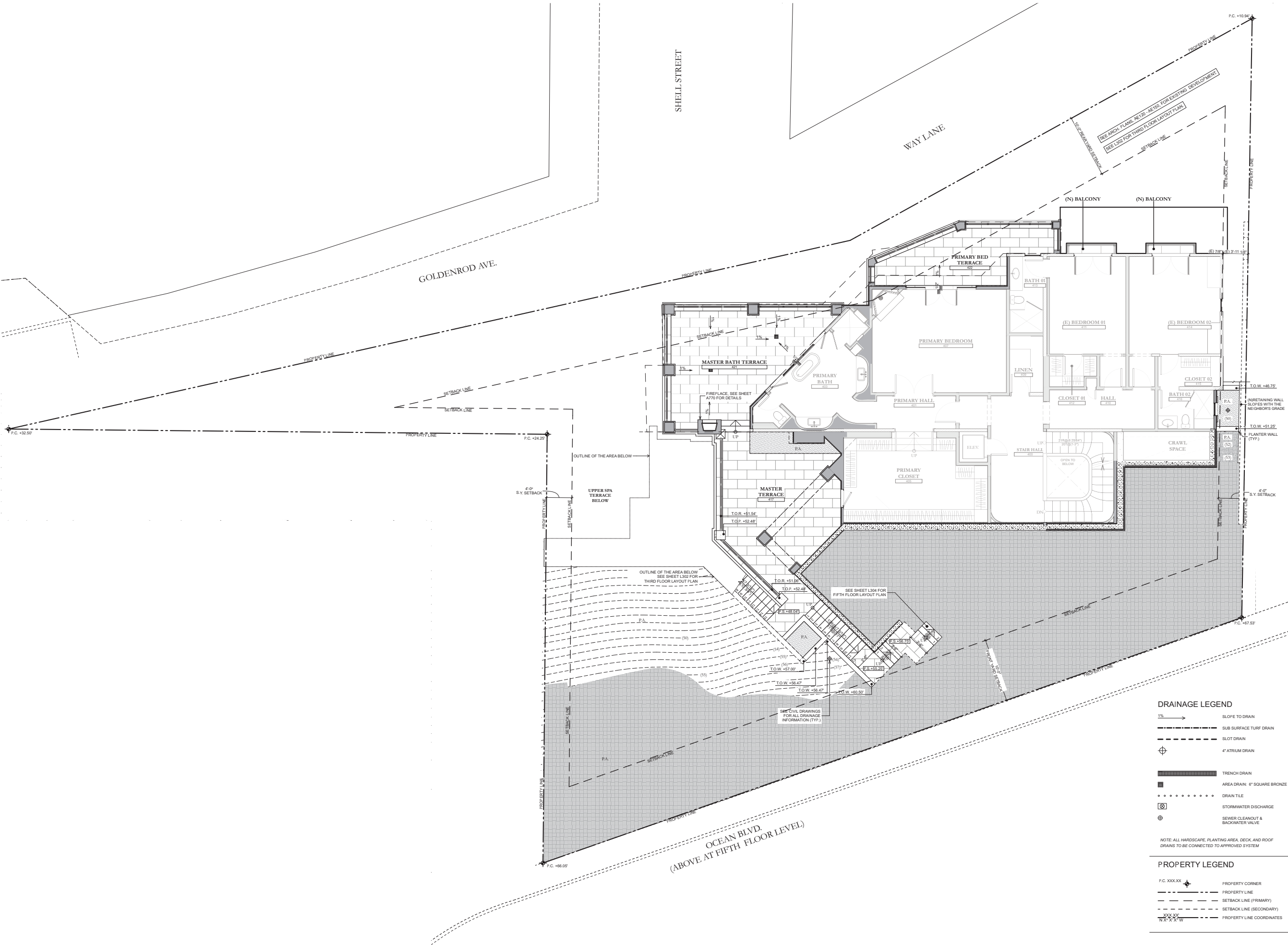
1%	SLOPE TO DRAIN
---	SUB SURFACE TURF DRAIN
---	SLOT DRAIN
⊕	4" ATRIUM DRAIN
---	TRENCH DRAIN
■	AREA DRAIN: 6" SQUARE BRONZE
.....	DRAIN TILE
⊗	STORMWATER DISCHARGE
⊕	SEWER CLEANOUT & BACKWATER VALVE

NOTE: ALL HARDSCAPE, PLANTING AREA, DECK, AND ROOF DRAINS TO BE CONNECTED TO APPROVED SYSTEM

#### PROPERTY LEGEND

P.C. XXXXX	PROPERTY CORNER
---	PROPERTY LINE
---	SETBACK LINE (PRIMARY)
---	SETBACK LINE (SECONDARY)
XXX XXX N X X X W	PROPERTY LINE COORDINATES





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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
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CA 92625 USA

proj. no. 19103

sheet: L303  
FOURTH FLOOR  
LAYOUT PLAN

scale: 3/16" = 1'-0", 1/4" = 1'-0"

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#### DRAINAGE LEGEND

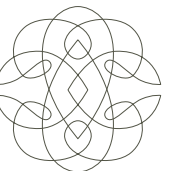
- 1% SLOPE TO DRAIN
- SUB SURFACE TURF DRAIN
- SLOT DRAIN
- 4" ATRIUM DRAIN
- TRENCH DRAIN
- AREA DRAIN: 6" SQUARE BRONZE
- DRAIN TILE
- STORMWATER DISCHARGE
- SEWER CLEANOUT & BACKWATER VALVE

NOTE: ALL HARDSCAPE, PLANTING AREA, DECK, AND ROOF DRAINS TO BE CONNECTED TO APPROVED SYSTEM

#### PROPERTY LEGEND

- P.C. XXXXX PROPERTY CORNER
- PROPERTY LINE
- SETBACK LINE (PRIMARY)
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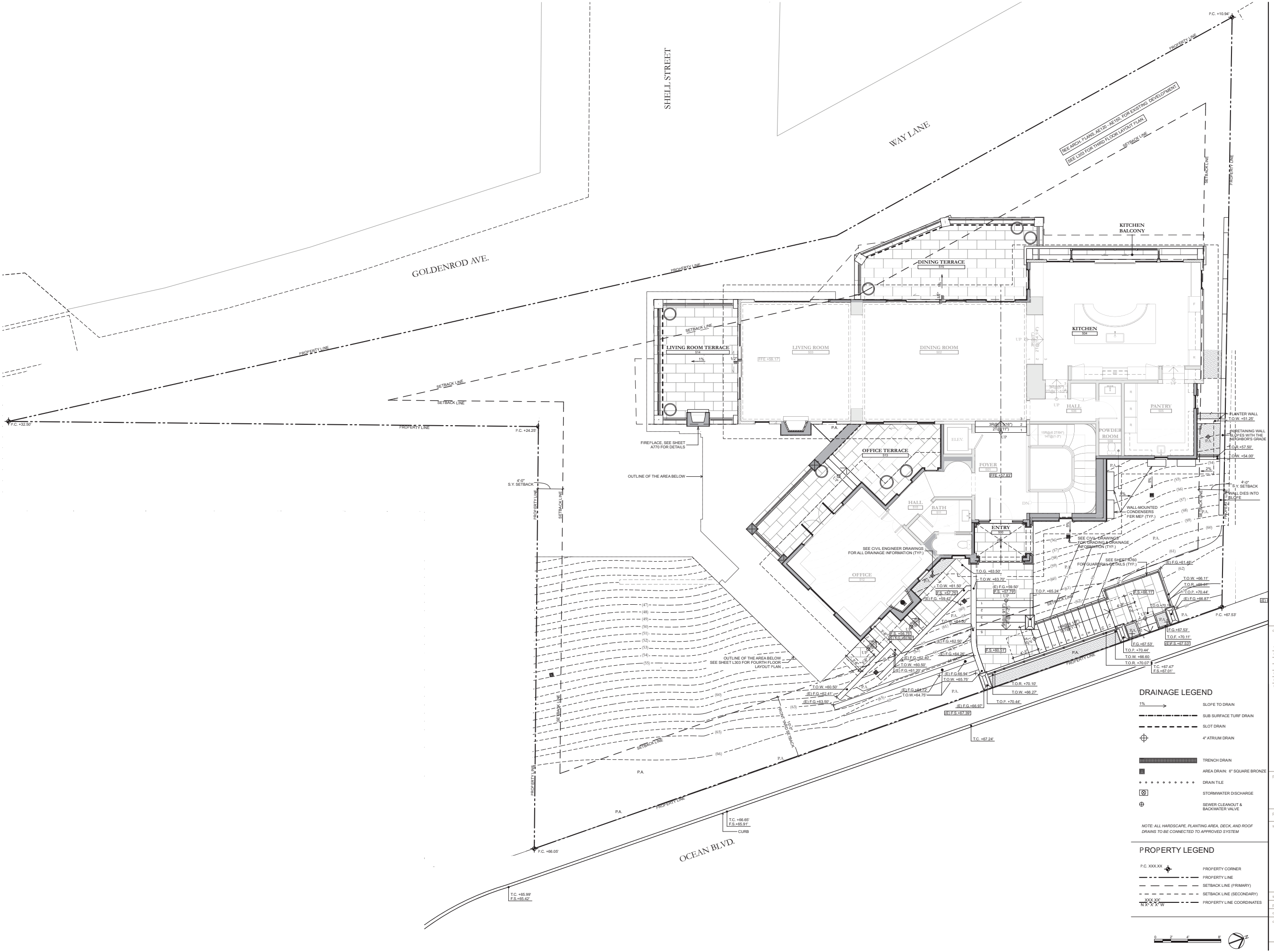
proj. no: 19103

sheet: L304  
FIFTH FLOOR  
LAYOUT PLAN

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printed: 06 / 14 / 2023

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- DRAINAGE LEGEND**
- 1% SLOPE TO DRAIN
  - SUB SURFACE TURF DRAIN
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  - 4" ATRIUM DRAIN
  - TRENCH DRAIN
  - AREA DRAIN: 8" SQUARE BRONZE
  - DRAIN TILE
  - STORMWATER DISCHARGE
  - SEWER CLEANOUT & BACKWATER VALVE
- NOTE: ALL HARDSCAPE, PLANTING AREA, DECK, AND ROOF DRAINS TO BE CONNECTED TO APPROVED SYSTEM

- PROPERTY LEGEND**
- P.C. XXXXX PROPERTY CORNER
  - PROPERTY LINE
  - SETBACK LINE (PRIMARY)
  - SETBACK LINE (SECONDARY)
  - PROPERTY LINE COORDINATES



IRRIGATION NOTES (AS APPLICABLE):

- GENERAL - ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND THESE PLANS. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY SAME.
  - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT.
  - THE CONTRACTOR SHALL CARRY ALL WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY THE OWNER AND/OR GOVERNING AGENCY.
- SCOPE OF WORK - UNLESS OTHERWISE SPECIFIED, THE CONSTRUCTION OF IRRIGATION SYSTEMS SHALL INCLUDE THE FURNISHING, INSTALLING AND TESTING OF ALL POINTS OF CONNECTION, BACKFLOW DEVICES, AND MAINLINE; AND THE FURNISHING AND INSTALLING OF CONTROLLERS, ELECTRIC CONTROL VALVES, OTHER SPECIFIED VALVES, LATERAL LINES, RISERS AND DESIGN FITTINGS, SPRINKLER HEADS, AND DRIP LINES, AND EXCAVATION AND BACKFILL AND ALL OTHER WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND NOTES. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT PROPERTY, TRANSPORTATION, AND PERFORM ALL OPERATIONS REQUIRED FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM AS INDICATED ON, OR REASONABLY IMPLIED BY THE DRAWINGS, DETAILS, AND NOTES, INCLUDED AS A PART OF THE IRRIGATION WORK, BUT NOT LIMITED BY IT, ARE THE FOLLOWING:
  - INSTALL COMPLETE OPERABLE INDEPENDENT IRRIGATION SYSTEMS PER THE PLANS, DETAILS, LEGENDS, AND NOTES.
  - ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED TRENCHES BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- CHECK AND VERIFY ALL SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO ANY SITE WORK. IF IT IS FOUND THAT THE SITE VARIES FROM THE DRAWINGS, NOTIFY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.
- COORDINATE ALL IRRIGATION WORK WITH PLANTING AND GRADING OPERATIONS TO AVOID ANY CONFLICT WITH PLANTING PITS, DRAINAGE SWALES, ETC.
- PIPING SHOWN ON THE PLANS IS ESSENTIALLY DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING TO AVOID CONFLICT WITH STATIONARY ELEMENTS AND IN SUCH A MANNER AS TO CONFORM WITH THE VARIOUS DETAILS AND DESIGN INTENT OF THESE PLANS. WHERE TREES, LIGHT STANDARDS, OR OTHER PHYSICAL OBSTRUCTIONS EXIST, THE PIPING AND SPRINKLER HEAD LOCATIONS SHALL BE ADJUSTED AND / OR RELOCATED AS NECESSARY TO OBTAIN FULL COVERAGE WITH MINIMAL OVER SPRAY.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER AND/OR GOVERNING AGENCY.
- EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR ANY DAMAGE. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT A MINIMUM OF TWO WORKING DAYS PRIOR TO DIGGING.
- THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO HIS WORK.
- THE IRRIGATION DESIGN IS BASED ON THE METER AND/OR POINT OF CONNECTION SIZE AND WATER PRESSURE INDICATED ON THE WATER SOURCE / POINT OF CONNECTION NOTE ON THE PLANS. CONTRACTOR SHALL VERIFY THE PRESSURE PRIOR TO CONSTRUCTION. SHOULD A DISCREPANCY EXIST, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. DO NOT PROCEED WITH ANY IRRIGATION INSTALLATION WORK UNTIL ANY AND ALL WATER SUPPLY AND PRESSURE ISSUES HAVE BEEN RESOLVED.
- CONTRACTOR SHALL MAKE POINT(S) OF CONNECTION (POC) AS NOTED ON THE PLANS. ALL FEES AND LOCAL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- IRRIGATION CONTRACTOR SHALL COORDINATE 120V AC POWER TO FINAL CONTROLLER LOCATION WITH GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTOR AS NECESSARY. IRRIGATION CONTRACTOR SHALL PAY ALL ASSOCIATED FEES FOR ELECTRICAL SERVICE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL FINAL CONTROLLER CONNECTIONS PER LOCAL CODES.
- CONTRACTOR SHALL PROVIDE ALL EQUIPMENT REQUIRED TO PERFORM A MAINLINE PRESSURE TEST. THE HYDROSTATIC TEST SHALL HOLD A MINIMUM OF 150 PSI FOR 3 HOURS OR MORE. CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS IN ADVANCE OF THE TEST FOR CERTIFICATION.
- CONTRACTOR SHALL THOROUGHLY FLUSH THE ENTIRE MAINLINE PRIOR TO INSTALLING REMOTE CONTROL VALVES. ALL LATERAL LINES SHALL BE COMPLETELY FLUSHED PRIOR TO INSTALLING HEADS AND NOZZLES. FOR DRIP SYSTEMS, ALL PIPING / TUBING DOWNSTREAM OF THE CONTROL VALVE SHALL BE THOROUGHLY FLUSHED PRIOR TO CLOSING SYSTEM (FOR GRID SYSTEMS), OR BEFORE INSTALLING FLUSH VALVES.
- ALL WIRES SHALL BE SOLID COPPER, PLASTIC INSULATED, U.F. DIRECT BURIAL WIRE. ALL COMMON WIRE SHALL BE AWG #12 WHITE; ALL CONTROL WIRES SHALL BE AWG #14 RED OR BLACK. CONTROLLERS SHALL HAVE SEPARATE COLOR CODED COMMON WIRES AND CONTROL WIRES WHEN TWO OR MORE CONTROLLERS ARE ON THE PROJECT.
- ALL CONTROL WIRES AND IRRIGATION PIPING THAT RUNS UNDER HARDSCAPE / PAVING SHALL BE ENCASED IN PVC SLEEVES PER THE LEGEND. SLEEVES SHALL BE SIZED ACCORDING TO THE SLEEVING CHART ON THE PLANS. SLEEVES SHALL BE STRAIGHT RUNS OF PVC PIPE WITH NO FITTINGS INSTALLED UNDER HARDSCAPED AREAS. IF WIDTH OF HARDSCAPE EXCEEDS A FULL LENGTH OF PIPE, USE BELLED END CONNECTION OR COUPLER WITHIN SLEEVE, ENSURING SLEEVE IS LARGE ENOUGH FOR THE ADDED DIAMETER OF THE CONNECTION.
- THE FINAL LOCATION FOR CONTROL VALVES AND QUICK COUPLERS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE. ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN SHRUB AREAS WHEREVER POSSIBLE.
- THE CONTRACTOR SHALL HEAT BRAND VALVE NUMBERS OR OTHER MARKINGS AS CALLED FOR IN THE IRRIGATION DETAILS ON INSIDE AND OUTSIDE OF ALL VALVE BOX LIDS.
- ALL BRASS OR GALVANIZED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE OR APPROPRIATE PIPE JOINT COMPOUND. ALL PVC TO PVC THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE. NO PIPE DOPE IS ALLOWED AT VALVE OR SPRINKLER HEAD CONNECTIONS. ANY PVC TO METAL CONNECTIONS SHALL BE MADE WITH A MALE THREADED PVC FITTING AND A FEMALE THREADED METAL FITTING.
- ALL PVC SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH SOLVENT-WELD MATERIALS AS RECOMMENDED BY THE PIPE MANUFACTURER. SOLVENT-WELD PRIMER SHALL BE APPLIED AT ALL CONNECTIONS.
- LOW HEAD DRAINAGE WILL NOT BE ALLOWED. CONTRACTOR TO DETERMINE IN THE FIELD WHICH HEADS DRAIN AFTER THE VALVE IS SHUT OFF. CONTRACTOR SHALL PROVIDE AND INSTALL ADDITIONAL IN-LINE CHECK VALVES AS NEEDED AT NO ADDITIONAL COST TO THE OWNER.
- ALL PRESSURE SUPPLY LINES AND CONTROL WIRES TO HAVE 18"-24" MINIMUM COVER. ALL LATERAL LINES TO HAVE 12" MINIMUM COVER FOR RECYCLED WATER SYSTEMS, PIPE DEPTH TO BE DETERMINED BY THE LOCAL GOVERNING AGENCY.
- MAINLINE AND WIRE SLEEVING TO HAVE 24" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. MAINLINE AND WIRE SLEEVING UNDER ALL VEHICULAR ACCESS WAYS TO HAVE 36" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. LATERAL LINE SLEEVING TO HAVE 12" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. LATERAL LINE SLEEVING UNDER ALL VEHICULAR ACCESS WAYS TO HAVE 36" MINIMUM COVER FROM TOP OF SLEEVE TO BOTTOM OF AGGREGATE BASE. CONTRACTOR SHALL INSTALL SLEEVING UNDER ALL HARDSCAPE 36" WIDE OR GREATER. DUE TO GRAPHIC CLARITY, NOT ALL SLEEVES MAY BE SHOWN ON THE PLANS. CONTRACTOR SHALL INSTALL ALL SLEEVING PRIOR TO HARDSCAPE AND PAVING INSTALLATION.
- THE RADIUS OF EACH HEAD IS TO BE ADJUSTED SO THAT HEAD-TO-HEAD COVERAGE IS MAINTAINED, BUT OVER SPRAY ON BUILDINGS, WALKS, WALLS, AND OTHER HARD SURFACES IS MINIMIZED. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO USING THE BEST NOZZLE RADIUS AND PATTERN, USING PRESSURE COMPENSATING DEVICES FOR NOZZLES, USING ADJUSTABLE NOZZLES, OR USING THE RADIUS ADJUST SCREW ON INDIVIDUAL NOZZLES.
- FINE TUNE EACH CONTROL VALVE FOR OPTIMUM OPERATION. THIS SHALL BE DONE BY TURNING DOWN THE FLOW CONTROL OF THE VALVE UNTIL SYSTEM PERFORMANCE STARTS TO SUFFER. AT THAT POINT, OPEN UP VALVE FLOW CONTROL ABOUT ONE-HALF TURN OR UNTIL THE VALVE IS JUST OPEN ENOUGH FOR DESIRED OPERATION.
- CONTRACTOR SHALL INSTALL 2 EXTRA WIRES FROM CONTROLLER(S) TO EACH END OF THE MAINLINE. WIRES SHALL COME UP INTO ALL VALVE BOXES ALONG THE MAINLINE PATH WITH 36" EXPANSION COILS IN EACH BOX. SPARE WIRES SHALL BE COLOR-CODED DIFFERENTLY THAN OTHER CONTROL WIRES FOR EACH CONTROLLER.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR IS TO TURN OVER TO THE OWNER THE FOLLOWING:
  - A REPRODUCIBLE SET OF "AS-BUILT" DRAWINGS AND CONTROLLER CHART.
  - 2 KEYS FOR EACH CONTROLLER / CONTROLLER ENCLOSURE (AS APPLICABLE).
  - 2 QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS.
  - 4 OF EACH SPRINKLER HEAD SPECIFIED (AS APPLICABLE).
  - 10' OF EACH DRIP LINE TUBING SPECIFIED (AS APPLICABLE).
  - 10 OF EACH DRIP EMITTER / FLUSH VALVE / DRIP SYSTEM APPARATUS SPECIFIED (AS APPLICABLE).
- RECORD DRAWINGS - THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE A COMPLETE RECORD SET OF PRINTS WHICH SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS. PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL TRANSCRIBE ALL INFORMATION FROM THE RECORD SET TO A BLACK-LINE PRINT PROCURED FROM THE OWNER. ALL WORK SHALL BE NEAT AND LEGIBLE, LOCATING THE FOLLOWING ITEMS FROM PERMANENT POINTS OF REFERENCE: SHUT-OFF VALVES, MAINLINE AND CONTROL WIRE ROUTING, POC, BACKFLOW DEVICE, CONTROL VALVES, CONTROLLER, QUICK COUPLING VALVES, AND OTHER PERTINENT UNDERGROUND ITEMS.
- "CONTROLLER CHART" - UPON APPROVAL OF THE FINAL RECORD DRAWINGS, PROVIDE ONE CHART FOR EACH CONTROLLER INSTALLED.
  - THE CHART IS TO BE A REDUCED COPY OF THE APPROVED RECORD DRAWING (A BLACK-LINE PRINT REDUCED TO THE MAXIMUM SIZE THE CONTROLLER DOOR WILL ALLOW, COLORED WITH A DIFFERENT COLOR FOR EACH VALVE STATION'S AREA OF COVERAGE).
  - WHEN COMPLETED AND APPROVED, THE CHART SHALL BE LAMINATED BETWEEN TWO (2) PIECES OF 20 MIL. CLEAR PLASTIC AND MOUNTED ON THE INSIDE OF THE CONTROLLER DOOR USING VELCRO TAPE OR EQUAL.
- DRIP LINE IRRIGATION
  - DRIP LINE TUBING IS SHOWN ON THE PLANS IN THE SUGGESTED LAYOUT. CONTRACTOR SHALL ADJUST LAYOUT AS DETERMINED NECESSARY IN THE FIELD TO MATCH THE ACTUAL SITE CONDITIONS, DIMENSIONS, ETC.
  - ALL DRIP LINE SYSTEMS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND DIRECTIONS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO SOIL TYPE CONSIDERATION, PLANT TYPE CONSIDERATION, SLOPES, TYPICAL TUBING LAYOUT, SUPPLY HEADERS, FLUSH HEADERS, AIR-RELEASE VALVES, FLUSH VALVES, SOIL STAPLES, AND OPERATION INDICATORS, ETC.
  - EACH DRIP LINE SYSTEM SHALL HAVE A DRIP ZONE VALVE ASSEMBLY THAT INCLUDES A PRESSURE REGULATOR AND IN-LINE FILTER PER THE IRRIGATION LEGEND.
  - EXTEND PVC LATERAL LINE PIPING PER IRRIGATION LEGEND FROM THE DRIP ZONE VALVE INTO THE PLANTING AREAS. ALL SUPPLY HEADERS AND FLUSH HEADERS SHALL BE PVC PIPING OR DRIP LINE TUBING AS SPECIFIED ON THE DRAWINGS.
  - CONNECT THE DRIP LINE TUBING INTO THE PVC / POLY TUBING HEADERS PER THE MANUFACTURER'S DIRECTIONS, USING FITTINGS AS SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.
  - DRIP LINE TUBING RUNS SHALL BE SPACED AT APPROXIMATELY 12" O.C. OR AS NOTED ON THE PLANS.
  - TUBING SHALL RUN GENERALLY PARALLEL TO THE LONG AXIS OF THE PLANTING AREAS. THE EXCEPTION TO THIS WOULD BE SLOPED AREAS WHERE THE TUBING SHALL RUN PARALLEL TO THE SLOPE CONTOURS.
  - FLUSH VALVES SHALL BE INSTALLED AT THE TERMINAL ENDS AND/OR LOW POINTS OF ZONES IN ALL DIRECTIONS. AIR RELEASE VALVES, WHERE REQUIRED FOR BURIED SYSTEMS, SHALL BE INSTALLED AT THE HIGH POINTS OF EACH ZONE. REFER TO THE MANUFACTURER'S DIRECTIONS FOR THE QUANTITY OF FLUSH VALVES AND AIR-RELEASE VALVES RECOMMENDED FOR EACH ZONE.
  - DRIP LINE TUBING SHALL BE SCRATCHED INTO FINISH GRADE 2"-3" DEEP, STAPLED DOWN, BACKFILLED, AND COVERED WITH MULCH PER THE PLANTING PLAN.
  - EACH DRIP LINE ZONE SHALL INCLUDE AN OPERATION INDICATOR. THE OPERATION INDICATOR SHALL BE INSTALL AT THE FARTHEST POINT AWAY FROM THE ZONE DRIP VALVE ASSEMBLY.
  - ALL FITTINGS USED FOR DRIP LINE TUBING CONNECTIONS AND DRIP LINE TUBING TO PVC CONNECTIONS SHALL BE AS PRODUCED AND SUPPLIED BY THE MANUFACTURER OF THE DRIP LINE TUBING.

EQUIPMENT LEGEND			
SYMBOL	MANUFACTURER / MODEL NUMBER	SIZE	DETAIL
	LOT WATER METER - VERIFY IN THE FIELD AND ADJUST AS NECESSARY	3/4"	N/A
	FESCO 1829YA SERIES REDUCED PRESSURE BACKFLOW PREVENTER - INSTALL IN 'OUT OF VIEW' LOCATION - WITH REGULATOR AND STRAINER PER DETAIL - PER ALL LOCAL CODES	3/4"	A
	SUPERIOR 3200-100 SERIES NORMALLY CLOSED BRASS MASTER CONTROL VALVE	1"	B
	FLOMEC QS-200-10 ULTRASONIC FLOW SENSOR IN SCH 80 PVC TEE	1"	C
	HUNTER AZC-1200-SS + (2) AZM-200 + AZC-WIFI AUTOMATIC WEATHER-BASED CONTROLLER WITH ET / RAIN SENSOR LISTED BELOW - WALL MOUNT - DETERMINE FINAL LOCATION IN FIELD	24 STATION	D
	HUNTER SOLAR SYNC WIRELESS ET SENSOR / RAIN SENSOR FOR 'SMART' OPERATION	N/A	E
NOT SHOWN	UF DIRECT BURIAL CONTROL WIRE WITH WATERPROOF CONNECTIONS	14 GA UF	F
NOT SHOWN	HUNTER 'ROOM' REMOTE CONTROL SYSTEM - PROVIDE TO OWNER / MAKE AVAILABLE FOR ALL INSPECTIONS		
	NIBCO 1-580-70 TWO-PIECE BRONZE BALL VALVE - FULL PORT	LINE SIZE	G
	HUNTER HQ-33D-LRC QUICK COUPLING VALVE WITH LOCKING YELLOW VINYL COVER	3/4"	H
	HUNTER ICV-101G-FS ELECTRIC CONTROL VALVE WITH FILTER SENTRY / FLOW CONTROL	1"	I
	HUNTER ICZ-101-LF-40 ELECTRIC CONTROL DRIP VALVE ASSEMBLY WITH 1" ICV VALVE AND 1" PRESSURE REGULATING FILTER (PRESSURE REGULATOR IS 40 PSI AND FILTER IS 150 MESH)	1"	J
	BRASS OR COPPER IRRIGATION LINE BETWEEN WATER METER AND POC EQUIPMENT	1"	K
	SCH 40 PVC IRRIGATION MAINLINE (1 1/2" AND SMALLER) - 18" MINIMUM COVER	1"	K
	PURPLE SCH 40 PVC NON-PRESSURE LATERAL LINE - 12" MINIMUM COVER	CHART SIZE	K
	PURPLE SCH 40 PVC PIPE SLEEVING - EXTEND 6" PAST EDGE OF HARDSCAPE - 18" MIN. COVER	CHART SIZE	L
	PURPLE SCH 40 PVC WIRE SLEEVING - EXTEND 6" PAST EDGE OF HARDSCAPE - 18" MIN. COVER	CHART SIZE	L
	NETAFUN TLHCVR-RW7-12x DRIP LINE TUBING WITH 0.77 GPH EMITTERS AT 12" O.C. - ROWS OF TUBING AT 12"-14" O.C. - BURY TUBING 2'-3" DEEP - STAPLE DOWN BEFORE BACKFILL - CHECK VALVE+COPPER		M/N/O
	FIELD FABRICATED MANUAL FLUSH VALVE / OPERATION INDICATOR	1/2"	O
	RAIN BIRD 1806-SAM-FRS SPRINKLER WITH RAIN BIRD SO-HLF NOZZLE - 2 PER TREE	0.2 GPM	P
	SPARE WIRE STUB-OUT - LOCATE (2) 14 UF WIRES IN VALVE BOX - SEPARATE COLOR THAN ALL OTHER WIRES		Q

LATERAL PIPE SIZING	
	3/4" PIPE
	1" PIPE
	1 1/4" PIPE
	1 1/2" PIPE
	2" PIPE
	2 1/2" PIPE
	3" PIPE
	4" PIPE
	6" PIPE
	8" PIPE

SCH 40 PVC SLEEVING CHART		
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	17-26 WIRES	1" PIPE
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

Underground Service Alert



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TWO WORKING DAYS BEFORE YOU DIG

HYDROZONE INFORMATION MATRIX									
Hydrozone Number	Station Number	Area (sq. ft.)	Percent of Area	Description / Plant Type	Plant Factor (WUCOLS)	Irrigation Type	Zone Flow (GPM)	Precipitation Rate (in./hr.)	Zone Pressure
1	1	55	3.8%	Level 2 Planters	Low	Drip Line	1	1.00	25 psi
1	2	95	6.6%	Level 2 Planters	Low	Drip Line	1	1.00	25 psi
1	3	95	6.6%	Level 2 Planters	Low	Drip Line	1	1.00	25 psi
Trees	4	0	0.0%	Supplemental Tree Sprinkler	Low	Spray	1	1.50	25 psi
2	5	25	1.7%	Level 3 Planters	Low	Drip Line	1	1.00	25 psi
2	6	35	2.4%	Level 3 Planters	Low	Drip Line	1	1.00	25 psi
3	7	20	1.4%	Level 4 Planters	Low	Drip Line	1	1.00	20 psi
3	8	15	1.0%	Level 4 Planters	Low	Drip Line	1	1.00	20 psi
Trees	9	0	0.0%	Supplemental Tree Sprinkler	Low	Spray	4	1.50	20 psi
4	10	565	39.5%	Level 5 Planters	Low	Drip Line	6	1.00	20 psi
4	11	140	9.8%	Level 5 Planters	Low	Drip Line	2	1.00	20 psi
Trees	12	0	0.0%	Supplemental Tree Sprinkler	Low	Spray	2	1.50	20 psi
Trees	13	0	0.0%	Supplemental Tree Sprinkler	Low	Spray	2	1.50	20 psi
5	n/a	385	26.9%	Pool / Spa	High	Direct Fill	n/a	n/a	n/a
TOTAL =		1,430	100.0%				Peak Flow =	6	

MWELO - WATER EFFICIENT LANDSCAPE WORKSHEET : RESIDENTIAL (NO SLA) - ETAF = 0.55							
Reference Evapotranspiration (Eto)		44.9	CORONA DEL MAR		MAWA = Eto X 0.62 X (0.55 X LA)		
Hydrozone Number	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	(PF/IE)	Landscape Area (sq. ft.)	(PF/IE) x Area	Estimated Total Water Use (ETWU)
REGULAR LANDSCAPE AREAS							
HZ 1 Level 2	0.25	Drip Line	0.81	0.31	245	76	2,105
HZ 2 Level 3	0.25	Drip Line	0.81	0.31	60	19	516
HZ 3 Level 4	0.25	Drip Line	0.81	0.31	35	11	301
HZ 4 Level 5	0.25	Drip Line	0.81	0.31	705	218	6,057
HZ 5 Pool / Spa	1.00	n/a	1.00	1.00	385	385	10,718
					Total	1,430	
							ETWU TOTAL 19,696
							MAXIMUM APPLIED WATER ALLOWANCE (MAWA) 21,895

POINT OF CONNECTION  
MAKE IRRIGATION POINT OF CONNECTION AT LOT WATER METER. VERIFY EXACT LOCATION IN THE FIELD AND ADJUST AS NECESSARY. INSTALL SHUT-OFF VALVE AT POC FOR IRRIGATION SYSTEM ISOLATION. INSTALL REDUCED PRESSURE BACKFLOW PREVENTER DOWNSTREAM OF SHUT-OFF VALVE PER ALL LOCAL CODES. FINAL BACKFLOW PREVENTER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER OR AUTHORIZED REPRESENTATIVE. PIPING BETWEEN THE WATER METER AND THE BACKFLOW PREVENTER ASSEMBLY TO BE COPPER OR BRASS SIZED THE SAME AS THE MAINLINE SIZE DOWNSTREAM OF THE POC EQUIPMENT. INSTALL PRESSURE REGULATOR WITH BACKFLOW PREVENTER IF STATIC PRESSURE IS GREATER THAN 100 PSI. EXTEND 1" MAINLINE FROM BACKFLOW PREVENTER TO SYSTEMS AS SHOWN ON THE PLANS. INSTALL MASTER VALVE DOWNSTREAM OF BACKFLOW PREVENTER AND WIRE TO CONTROLLER PER MANUFACTURER'S DIRECTIONS. INSTALL FLOW SENSOR DOWNSTREAM OF MASTER VALVE AND WIRE TO CONTROLLER PER MANUFACTURER'S DIRECTIONS. MAXIMUM DEMAND IS 6 GPM. MINIMUM DESIGN PRESSURE AT METER IS 80 PSI. CONTRACTOR SHALL VERIFY STATIC PRESSURE AT METER PRIOR TO START OF WORK AND NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF A DISCREPANCY IS FOUND. DO NOT PROCEED WITH ANY IRRIGATION INSTALLATION WORK UNTIL ANY AND ALL WATER SUPPLY AND PRESSURE ISSUES HAVE BEEN RESOLVED. IF STATIC PRESSURE IS LESS THAN 80 PSI, CONTACT LANDSCAPE ARCHITECT AND DO NOT PROCEED UNTIL SOLUTION IS DECIDED. IF THE STATIC PRESSURE IS GREATER THAN 100 PSI, INSTALL A PRESSURE REGULATOR WITH THE BACKFLOW PREVENTER.

CONTROLLER  
INSTALL IRRIGATION CONTROLLER OUTSIDE OF POOL EQUIPMENT ROOM AS SHOWN ON THE PLANS. FINAL CONTROLLER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER OR AUTHORIZED REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120V AC POWER TO THE FINAL CONTROLLER LOCATION WITH GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTOR AS NECESSARY. AND PAY ALL ASSOCIATED COSTS. THE IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS PER LOCAL CODES. MOUNT, GROUND, AND WIRE ALL THE CONTROL EQUIPMENT PER THE MANUFACTURER'S DIRECTIONS, THESE PLANS, AND PER ALL LOCAL CODES. CONTRACTOR TO PROVIDE TO OWNER A COMPLETE HAND-HELD MAINTENANCE REMOTE CONTROL KIT FOR THE CONTROLLER AS PROVIDED BY THE CONTROLLER MANUFACTURER.

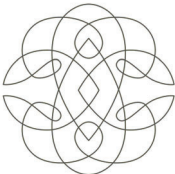
WEATHER SENSOR (ET SENSOR / RAIN SHUT-OFF DEVICE)  
INSTALL THE WEATHER SENSOR IN THE APPROXIMATE LOCATION SHOWN ON THE PLANS. LOCATE AND MOUNT PER MANUFACTURER'S DIRECTIONS. FINAL WEATHER SENSOR LOCATION TO BE DETERMINED IN THE FIELD AND PRE-APPROVED BY THE OWNER AND/OR ARCHITECT PRIOR TO MOUNTING. ENSURE THE SENSOR IS LOCATED WITHIN WIRELESS RANGE OF THE IRRIGATION CONTROLLER. TEST THE SIGNAL STRENGTH OF THE WIRELESS COMMUNICATION PRIOR TO MOUNTING. IT IS SUGGESTED TO NOT USE THE AUTOMATIC ET ADJUSTING FUNCTIONS OF THE CONTROL SYSTEM UNTIL THE PLANT MATERIAL IS FULLY ESTABLISHED.

SLEEVING  
MAINLINE AND VALVES MAY BE SHOWN OUTSIDE OF PLANTED AREAS FOR CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT IN ADJACENT PLANTED AREAS EXCEPT WHERE SLEEVING IS SHOWN ON THE PLANS. ALL PIPES AND WIRES THAT MUST RUN UNDER HARDSCAPE TO BE SLEEVED IN PVC SLEEVES ACCORDING TO THE LEGEND AND SLEEVING CHART, OR AS NOTED ON THE PLANS.

DRIP LINE SYSTEMS  
SHRUB AREAS AS SHOWN SHALL BE IRRIGATED WITH DRIP LINE IRRIGATION. INSTALL ALL DRIP LINE SYSTEMS PER THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS. CONTRACTORS NOT FAMILIAR WITH DRIP LINE SYSTEM INSTALLATION SHALL CONTACT THE MANUFACTURER'S REPRESENTATIVE PRIOR TO START OF WORK FOR ON-SITE PRODUCT AND INSTALLATION TRAINING.

TREE BUBBLERS  
TREE BUBBLERS TO BE PROVIDED TO ALL NEW TREES (2 EACH) AND / OR AS NOTED ON THE PLANS. ADJUST FINAL LOCATION OF TREE BUBBLERS TO MATCH FINAL TREE PLANTING IN THE FIELD. RELOCATE, ADD, AND / OR REMOVE BUBBLERS AS NECESSARY.

GROUNDING RODS  
TO AVOID CONTACT WITH HIGH VOLTAGE POWER CABLES, GAS LINES, WATER LINES, OR DATA CABLES, PLEASE CONTACT THE OWNER'S REPRESENTATIVE AND / DIG ALERT (OR EQUAL) TO IDENTIFY POSSIBLE HAZARDS BELOW THE SURFACE. CONTACT WITH SUCH HAZARDS COULD RESULT IN SEVERE INJURY OR DEATH. CONTRACTOR SHALL PROVIDE WRITTEN PROOF TO OWNER SUCH PREEMPTIVE ACTION WAS TAKEN PRIOR TO START OF WORK.



EVEN S  
ARCHITECTS

KAA Design Group  
1201 West Washington Blvd., Los Angeles, CA 90066  
310.521.6801 | fax 310.521.1440  
kaadesigngroup.com

drawing issue dates / revisions:

Date Submitted

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92626 USA

proj. no: 19103

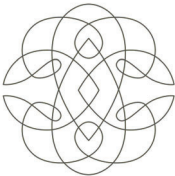
sheet: L400  
IRRIGATION  
SCHEDULES

scale: N/A

printed: 03 / 07 / 2023

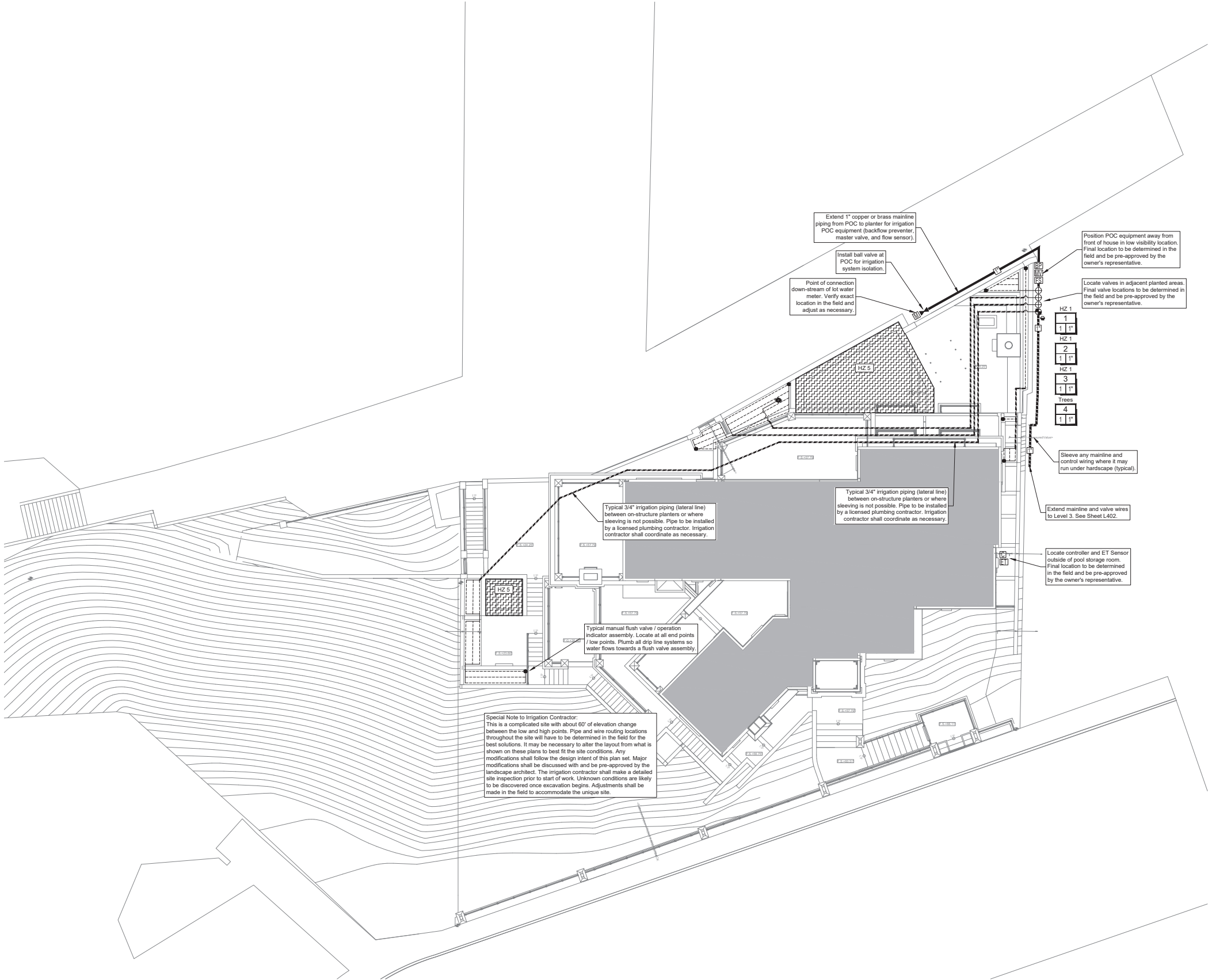
drawn by: VELOCITY IRRIGATION

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KAA Design Group  
12501 West Washington Blvd. Los Angeles, CA 90066  
310 521 1400 • fax 310 521 1440  
kaadesigngroup.com



drawing issue dates / revisions:	
Date	Submitted

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA  
proj. no. 19103  
sheet:

L401  
SECOND FLOOR  
IRRIGATION PLAN

scale: 1/8" = 1'-0"  
printed: 03 / 07 / 2023  
drawn by: VELOCITY IRRIGATION

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LATERAL PIPE SIZING	
3/4" PIPE	1" PIPE
1 1/4" PIPE	1 1/2" PIPE
2" PIPE	2 1/2" PIPE
3" PIPE	4" PIPE
6" PIPE	8" PIPE

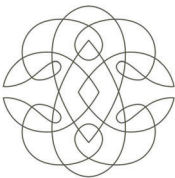
SCH 40 PVC SLEEVING CHART		
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	17-26 WIRES	1" PIPE
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

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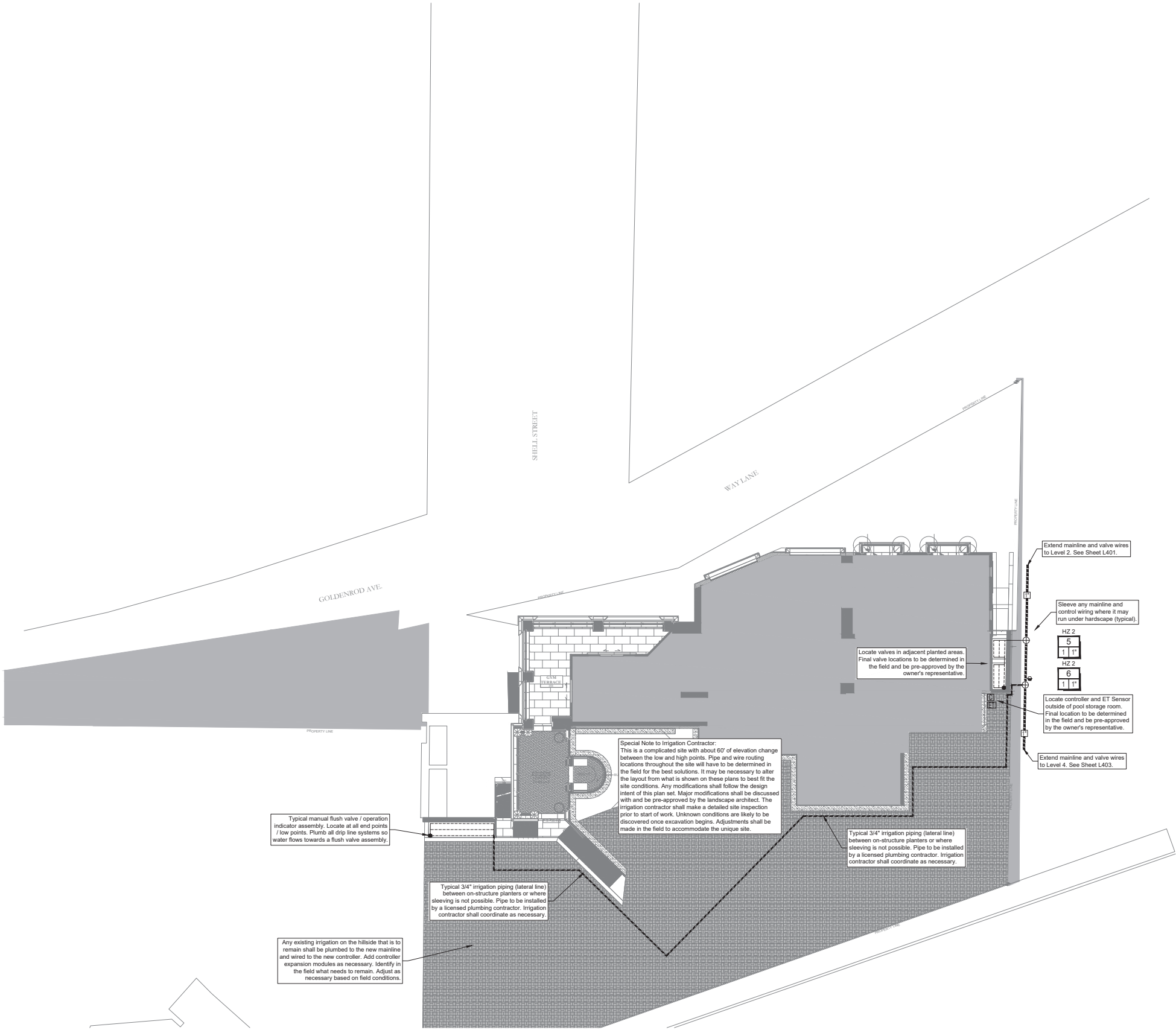
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310.521.1400 • fax 310.521.1440  
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Typical manual flush valve / operation indicator assembly. Locate at all end points / low points. Plumb all drip line systems so water flows towards a flush valve assembly.

**Special Note to Irrigation Contractor:**  
This is a complicated site with about 60' of elevation change between the low and high points. Pipe and wire routing locations throughout the site will have to be determined in the field for the best solutions. It may be necessary to alter the layout from what is shown on these plans to best fit the site conditions. Any modifications shall follow the design intent of this plan set. Major modifications shall be discussed with and be pre-approved by the landscape architect. The irrigation contractor shall make a detailed site inspection prior to start of work. Unknown conditions are likely to be discovered once excavation begins. Adjustments shall be made in the field to accommodate the unique site.

Typical 3/4" irrigation piping (lateral line) between on-structure planters or where sleeving is not possible. Pipe to be installed by a licensed plumbing contractor. Irrigation contractor shall coordinate as necessary.

Any existing irrigation on the hillside that is to remain shall be plumbed to the new mainline and wired to the new controller. Add controller expansion modules as necessary. Identify in the field what needs to remain. Adjust as necessary based on field conditions.

Typical 3/4" irrigation piping (lateral line) between on-structure planters or where sleeving is not possible. Pipe to be installed by a licensed plumbing contractor. Irrigation contractor shall coordinate as necessary.

Extend mainline and valve wires to Level 2. See Sheet L401.

Sleeve any mainline and control wiring where it may run under hardscape (typical).

HZ 2

5

1 1"

HZ 2

6

1 1"

Locate controller and ET Sensor outside of pool storage room. Final location to be determined in the field and be pre-approved by the owner's representative.

Extend mainline and valve wires to Level 4. See Sheet L403.

STATION #  
FLOW (GPM)  
HYDROZONE #  
VALVE SIZE

LATERAL PIPE SIZING	
3/4" PIPE	1"
1" PIPE	1 1/4"
1 1/4" PIPE	1 1/2"
1 1/2" PIPE	2"
2" PIPE	2 1/2"
2 1/2" PIPE	3"
3" PIPE	4"
4" PIPE	6"
6" PIPE	8"
8" PIPE	12"

SCH 40 PVC SLEEVING CHART		
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	17-26 WIRES	1" PIPE
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

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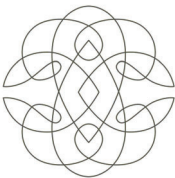
project: 2741 OCEAN RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet: L402  
THIRD FLOOR IRRIGATION PLAN

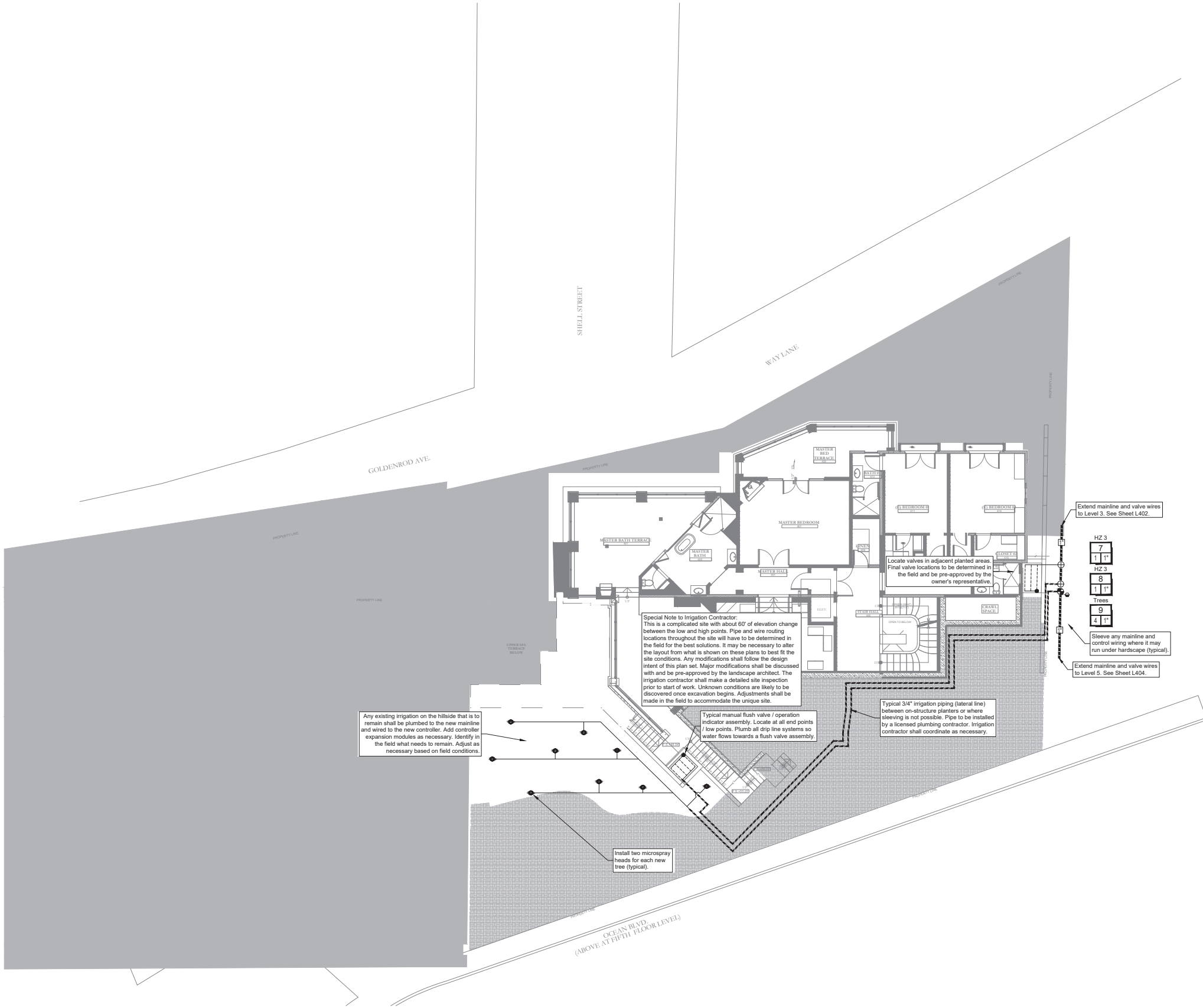
scale: 1/8" = 1'-0"  
printed: 03 / 07 / 2023  
drawn by: VELOCITY IRRIGATION

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Any existing irrigation on the hillside that is to remain shall be plumbed to the new mainline and wired to the new controller. Add controller expansion modules as necessary. Identify in the field what needs to remain. Adjust as necessary based on field conditions.

Special Note to Irrigation Contractor:  
This is a complicated site with about 60' of elevation change between the low and high points. Pipe and wire routing locations throughout the site will have to be determined in the field for the best solutions. It may be necessary to alter the layout from what is shown on these plans to best fit the site conditions. Any modifications shall follow the design intent of this plan set. Major modifications shall be discussed with and be pre-approved by the landscape architect. The irrigation contractor shall make a detailed site inspection prior to start of work. Unknown conditions are likely to be discovered once excavation begins. Adjustments shall be made in the field to accommodate the unique site.

Typical manual flush valve / operation indicator assembly. Locate at all end points / low points. Plumb all drip line systems so water flows towards a flush valve assembly.

Typical 3/4" irrigation piping (lateral line) between on-structure planters or where sleeving is not possible. Pipe to be installed by a licensed plumbing contractor. Irrigation contractor shall coordinate as necessary.

Extend mainline and valve wires to Level 3. See Sheet L402.

HZ 3  
7  
1 1/2"  
8  
1 1/2"  
9  
4 1/2"

Sleeve any mainline and control wiring where it may run under hardscape (typical).

Extend mainline and valve wires to Level 5. See Sheet L404.

STATION #  
FLOW (GPM)  
HYDROZONE #  
VALVE SIZE

LATERAL PIPE SIZING	
3/4" PIPE	1" PIPE
1 1/4" PIPE	1 1/2" PIPE
2" PIPE	2 1/2" PIPE
2 1/2" PIPE	3" PIPE
3" PIPE	4" PIPE
4" PIPE	6" PIPE
6" PIPE	8" PIPE

SCH 40 PVC SLEEVING CHART		
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	17-26 WIRES	1" PIPE
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

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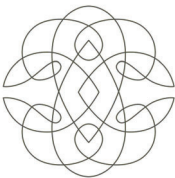
Date	Submittal
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project: 2741 OCEAN RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA  
proj. no. 19103

sheet: L403  
FOURTH FLOOR IRRIGATION PLAN

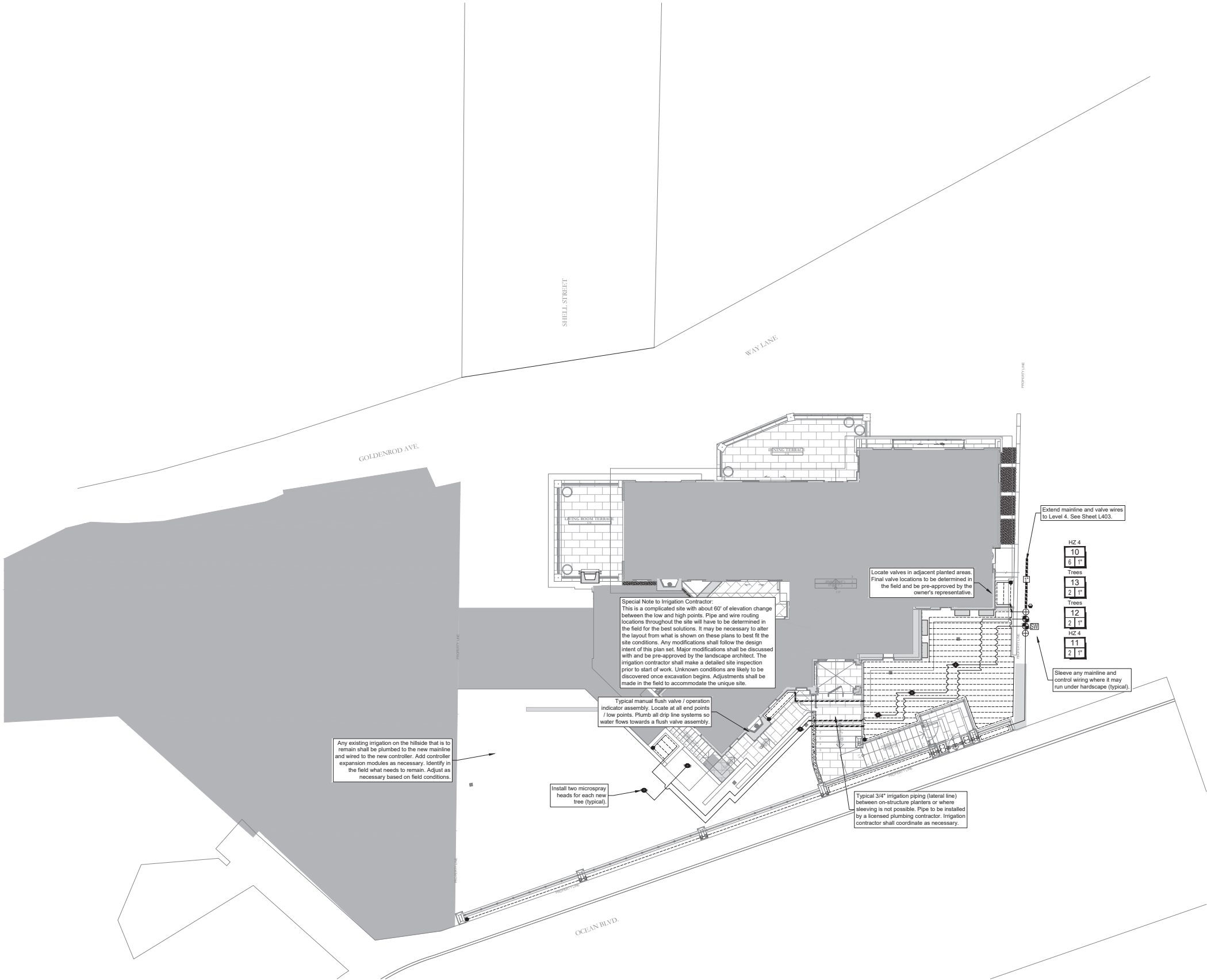
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Any existing irrigation on the hillside that is to remain shall be plumbed to the new mainline and wired to the new controller. Add controller expansion modules as necessary. Identify in the field what needs to remain. Adjust as necessary based on field conditions.

Special Note to Irrigation Contractor:  
This is a complicated site with about 60' of elevation change between the low and high points. Pipe and wire routing locations throughout the site will have to be determined in the field for the best solutions. It may be necessary to alter the layout from what is shown on these plans to best fit the site conditions. Any modifications shall follow the design intent of this plan set. Major modifications shall be discussed with and be pre-approved by the landscape architect. The irrigation contractor shall make a detailed site inspection prior to start of work. Unknown conditions are likely to be discovered once excavation begins. Adjustments shall be made in the field to accommodate the unique site.

Typical manual flush valve / operation indicator assembly. Locate at all end points / low points. Plumb all drip line systems so water flows towards a flush valve assembly.

Install two microspray heads for each new tree (typical).

Typical 3/4" irrigation piping (lateral line) between on-structure planters or where sleeving is not possible. Pipe to be installed by a licensed plumbing contractor. Irrigation contractor shall coordinate as necessary.

Locate valves in adjacent planted areas. Final valve locations to be determined in the field and be pre-approved by the owner's representative.

Extend mainline and valve wires to Level 4. See Sheet L403.

HZ 4  
10  
8 1"  
Trees  
13  
2 1"  
Trees  
12  
2 1"  
HZ 4  
11  
2 1"

Sleeve any mainline and control wiring where it may run under hardscape (typical).

STATION #  
FLOW (GPM)  
HYDROZONE #  
VALVE SIZE

LATERAL PIPE SIZING	
3/4" PIPE	1" PIPE
1 1/4" PIPE	1 1/2" PIPE
2" PIPE	2 1/2" PIPE
2 1/2" PIPE	3" PIPE
4" PIPE	6" PIPE
8" PIPE	

SCH 40 PVC SLEEVING CHART		
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	17-26 WIRES	1" PIPE
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

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227-2600  
TWO WORKING DAYS BEFORE YOU DIG

drawing issue dates / revisions:  
Date Submittal

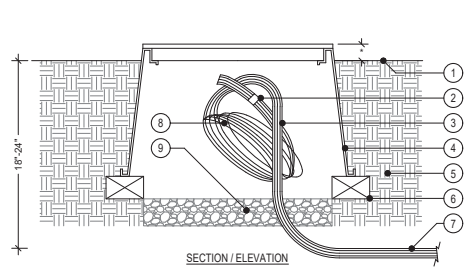
project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet:  
**L404**  
FIFTH FLOOR  
IRRIGATION PLAN

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1. FINISH GRADE
  2. TAPE END OF WIRES TOGETHER WITH ELECTRICIANS TAPE
  3. CONTROL WIRES / COMMON WIRES PER IRRIGATION LEGEND
  4. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #314BCB) HEAT BRAND "M" ON LID IN 2" HIGH BLOCK LETTERS
  5. NATIVE SOIL
  6. COMMON BRICK SUPPORTS (4 REQUIRED)
  7. WIRES TO / FROM LANDSCAPED AREAS
  8. COIL WIRES IN BOX - MINIMUM 36" COIL
  9. FILL BASE OF BOX WITH PEA GRAVEL - 2 CU. FT. MIN. \* 1/2" IN TURF AREAS, 2" IN SHRUB AREAS
- NOTES:  
WIRE SPLICES ARE ONLY ALLOWED WITH PRE APPROVAL FROM LANDSCAPE ARCHITECT AND / OR OWNER. ALL CONTROL WIRE SPLICES SHALL BE INSTALLED IN PULL BOXES. ALL SPLICES SHALL BE MADE WITH WATERPROOF WIRE CONNECTORS.

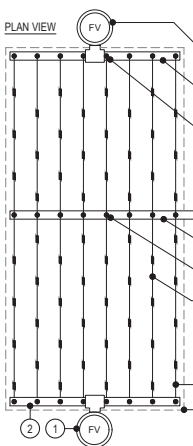
## Q SPARE WIRE STUB-OUT

### IRRIGATION MAINTENANCE SCHEDULE

THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.

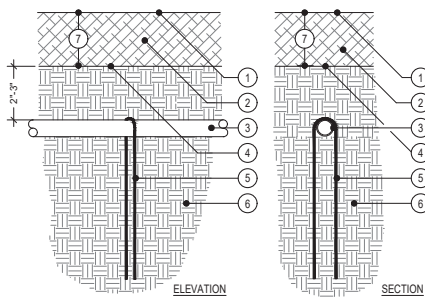
FREQUENCY	MAINTENANCE TASK
QUARTERLY	CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY.
MONTHLY	IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH. ADJUST AS NECESSARY.
QUARTERLY	POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED.
QUARTERLY	REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES - VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.
QUARTERLY	MAINLINE AND LATERALS - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCHES. REPAIR AS NEEDED.
WEEKLY	SPRINKLERS - VISUALLY CHECK FOR ANY BROKEN, MISALIGNED OR CLOGGED HEADS. HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVER-SPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED.
MONTHLY	FILTERS AND STRAINERS - VISUALLY CHECK FOR LEAKS, BROKEN FITTINGS. CLEAN AND FLUSH SCREENS.

PRESSURE LOSS CALCULATIONS					
VALVE : #10 - 6 GPM					
WORST CASE HYDRAULIC CONDITION : HIGHEST / FARTHEST					
MINIMUM DESIGN PRESSURE AT POC : 80					
EQUIPMENT	SIZE	LENGTH	LOSS	Remaining PSI	
Service Line	3/4"	50'	2.8	77.2	
Water Meter	3/4"	-	0.7	76.5	
Copper Line to R/P	1"	50'	0.7	75.8	
Pressure Entering Backflow Preventer Assembly					
Backflow Preventer	3/4"	-	12.0	63.8	
Master Valve	1"	-	1.0	62.8	
Flow Sensor	1"	-	1.0	61.8	
Sch 40 PVC Main	1 1/2"	200'	2.0	59.8	
Electric Control Valve	1"	-	3.0	56.8	
Lateral Lines	Misc.	Misc.	3.0	53.8	
Misc. losses (10%)	n/a	-	2.6	51.2	
SUBTOTAL PRESSURE AVAILABLE :					
Elevation Losses	Feet :	60	0.433	26.0	
PRESSURE AVAILABLE AT SPRINKLER HEAD / EMITTER :				25.2	
PRESSURE REQUIRED AT SPRINKLER HEAD / EMITTER :				25.0	
RESIDUAL PRESSURE :				0.2	



1. MANUAL FLUSH VALVE / OPERATION INDICATOR PLUMBED TO FLUSH MANIFOLD AT LOW POINT AND ALL END POINTS
  2. PVC EXHAUST HEADER PER IRRIGATION LEGEND
  3. PVC FLUSH MANIFOLD TO TUBING CONNECTION - TECHLINE MALE ADAPTER
  4. PVC LATERAL LINE FROM DRIP ZONE VALVE PER IRRIGATION LEGEND
  5. PVC SUPPLY HEADER PER IRRIGATION LEGEND
  6. PVC SUPPLY HEADER TO TUBING CONNECTION - TYPICAL
  7. TECHLINE DRIP LINE TUBING PER IRRIGATION LEGEND
  8. PERIMETER LATERALS APPROXIMATELY 4" FROM PLANTER EDGE
  9. AREA PERIMETER
- NOTES:  
THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH RECOMMENDED BY THE MANUFACTURER. REFER TO THE MANUFACTURER'S GUIDELINES AND INSTALLATION DETAILS FOR THE INSTALLATION OF ALL DRIP LINE SYSTEMS. QUANTIFY AND LOCATION OF ALL FLUSH VALVES AND AIR RELEASE VALVES SHALL MEET THE MANUFACTURER'S GUIDELINES.

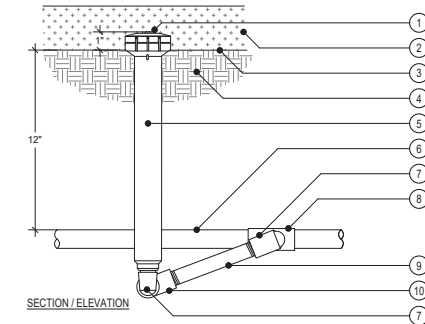
## M DRIP LINE SYSTEM - TYPICAL LAYOUT



1. FINISH GRADE OF MULCH LAYER
2. MULCH TOP DRESSING PER PLANTING PLAN
3. POLY TUBING PER IRRIGATION LEGEND
4. FINISH GRADE
5. STEEL TUBING-SOIL STAKE (NETAFIM T68 OR APPROVED EQUAL)
6. NATIVE SOIL
7. DEPTH OF MULCH PER PLANTING PLAN OR SPECIFICATIONS

NOTES:  
LOCATE STAPLES ALONG TUBING AT ABOUT 5' O.C. AND AT ALL FITTINGS (TEES, ELLS, ETC.) AND CHANGES IN DIRECTION OF TUBING. BURY TUBING PER THE IRRIGATION PLAN / NOTES.

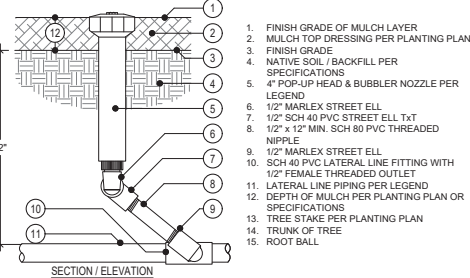
## N DRIP LINE SYSTEM - TUBING



1. "GPH IRRIGATION" GDFN-R FLUSH VALVE / INDICATOR
2. MULCH LAYER PER PLANTING PLAN
3. FINISH GRADE
4. NATIVE SOIL / BACKFILL PER SPECIFICATIONS
4. 4" POP-UP HEAD & BUBBLER NOZZLE PER LEGEND
6. 1/2" MARLEX STREET ELL
7. 1/2" SCH 40 PVC STREET ELL T&T
8. 1/2" x 1/2" MIN. SCH 80 PVC THREADED NIPPLE
9. 1/2" MARLEX STREET ELL
10. SCH 40 PVC LATERAL LINE FITTING WITH 1/2" FEMALE THREADED OUTLET
11. LATERAL LINE PIPING PER LEGEND
12. DEPTH OF MULCH PER PLANTING PLAN OR SPECIFICATIONS
13. TREE STAKE PER PLANTING PLAN
14. TRUNK OF TREE
15. ROOT BALL

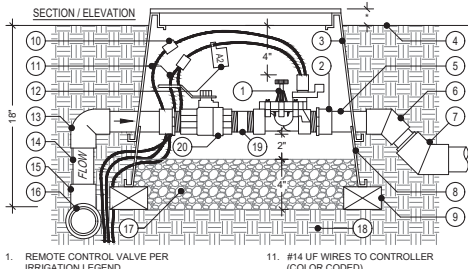
NOTES:  
USE TEFLON TAPE ON ALL PVC TO PVC CONNECTIONS. NO PIPE DOPE ALLOWED. ADAPT TO DRIP SYSTEM AS REQUIRED (POLY OR PVC). ONLY USE BOTTOM INLET OF SPRINKLER HEAD. IF POSSIBLE, LOCATE FLUSH / INDICATOR ASSEMBLY IN AREA WITH EASY ACCESS FOR MAINTENANCE.

## O DRIP LINE SYSTEM - FLUSH VALVE ASSEMBLY



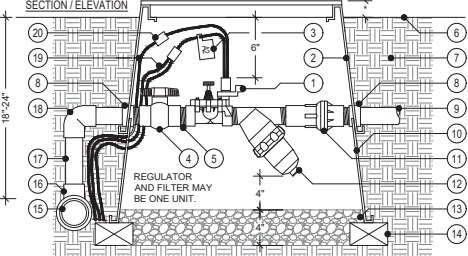
NOTES:  
LOCATE TREE BUBBLERS ON OPPOSITE SIDES OF THE PLANT ADJACENT TO THE ROOTBALL. LOCATE BUBBLERS AND ROUTE PIPING TO AVOID TREE STAKES AND DAMAGE TO ROOTBALL. USE TEFLON TAPE ON ALL PVC TO PVC CONNECTIONS. NO PIPE DOPE ALLOWED.

## P SUPPLEMENTAL TREE SPRINKLERS



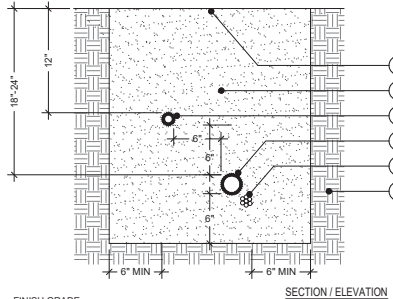
1. REMOTE CONTROL VALVE PER IRRIGATION LEGEND
2. SCH 40 PVC MALE ADAPTER (2 REQUIRED) VALVE SIZE
3. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #314BCB) HEAT BRAND STATION NUMBER ON LID IN 2" HIGH BLOCK LETTERS
4. FINISH GRADE
5. PVC LATERAL LINE PER IRRIGATION LEGEND (VALVE SIZE)
6. SCH 40 PVC 45 DEGREE ELL
7. SCH 40 PVC 45 DEGREE ELL (BUSH UP TO LATERAL LINE PLAN SIZE)
8. RECTANGULAR PLASTIC VALVE BOX EXTENSION AS REQUIRED
9. COMMON BRICK SUPPORTS (4 REQUIRED)
10. WATER PROOF WIRE CONNECTOR (2 REQUIRED)
11. #14 UF WIRES TO CONTROLLER (COLOR CODED)
12. I.D. TAG WITH STATION NUMBER PRINTED ON IT (CHRISTY'S #10-STD-Y1)
13. SCH 40 PVC ELL (VALVE SIZE)
14. MAINLINE PIPING PER IRRIGATION LEGEND (VALVE SIZE)
15. SCH 80 PVC TEE (OUTLET TO BE VALVE SIZE)
16. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
17. FILL BASE OF BOX WITH PEA GRAVEL
18. NATIVE SOIL
19. SCH 80 PVC THREADED NIPPLE (3")
20. BALL VALVE PER IRRIGATION LEGEND (SAME SIZE AS RCV)

## I ELECTRIC CONTROL VALVE ASSEMBLY



1. REMOTE CONTROL VALVE PER LEGEND
2. RECTANGULAR JUMBO PLASTIC VALVE BOX WITH LOCKING LID (NDS #318BCB) HEAT BRAND STATION NUMBER AND "12" ON LID IN 2" HIGH BLOCK LETTERS
3. I.D. TAG WITH STATION NUMBER PRINTED ON IT (CHRISTY'S #10-STD-Y1)
4. SCH 40 PVC BALL VALVE
5. SCH 80 PVC CLOSE NIPPLE
6. FINISH GRADE
7. NATIVE SOIL
8. SCH 40 PVC MALE ADAPTER
9. PVC PIPING TO SYSTEM (CONNECT AND ADAPT AS NECESSARY)
10. RECTANGULAR PLASTIC VALVE BOX USED AS EXTENSION AS REQUIRED
11. PRESSURE REGULATOR PER LEGEND
12. WYE-FILTER PER LEGEND
13. FILL BASE OF BOX WITH PEA GRAVEL
14. COMMON BRICK SUPPORTS (4 REQUIRED)
15. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
16. SCH 80 PVC MAINLINE FITTING WITH 1" OUTLET
17. 1" SCH 40 PVC MAINLINE PIPING (LENGTH AS REQUIRED)
18. 1" SCH 40 PVC ELL
19. #14 UF WIRES TO CONTROLLER (COLOR CODED)
20. WATERPROOF WIRE CONNECTOR (2 REQUIRED)

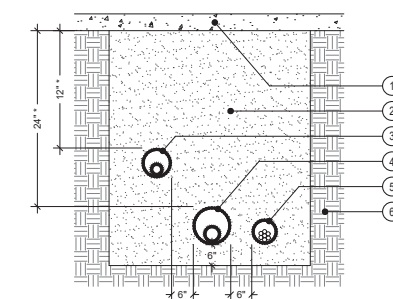
## J DRIP ZONE CONTROL VALVE ASSEMBLY



1. FINISH GRADE
2. CLEAN BACKFILL WITH ALL ROCKS 1" OR LARGER REMOVED - 90% COMPACTION REQUIRED - SEE SPECS
3. NON-PRESSURE LATERAL LINE PER LEGEND (SNAKE IN TRENCH)
4. PRESSURE MAINLINE PER LEGEND (SNAKE IN TRENCH)
5. CONTROL WIRES - INSTALL BELOW PRESSURE MAINLINE
6. UNDISTURBED NATIVE SOIL

NOTES:  
BUNDLE AND TAPE WIRES AT 10' O.C. PIGTAIL AND LOOP WIRES AT ALL CHANGES IN DIRECTION. SPLICING OF WIRE RUNS IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT. RUN CONTROL WIRES IN SAME TRENCH AS MAINLINE WHERE POSSIBLE. INSTALL 12" X 12" X 12" CONCRETE THURST BLOCKS AT ALL CHANGES IN DIRECTION OF PRESSURE MAINLINE (45'S, 90'S, TEES, ETC.) AND AT ALL TERMINAL POINTS.

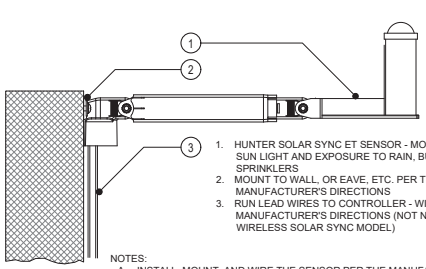
## K TRENCHING



1. HARDSCAPING AND AGGREGATE (TYPICAL)
2. CLEAN SAND BACKFILL - COMPACT TO MATCH DENSITY OF NATIVE SOIL
3. LATERAL LINE IN SCH 40 PVC SLEEVE
4. PRESSURE MAINLINE IN SCH 40 PVC SLEEVE
5. CONTROL WIRES IN SCH 40 PVC SLEEVE
6. UNDISTURBED NATIVE SOIL

NOTES:  
SIZE ALL SLEEVES PER THE IRRIGATION PLANS. EXTEND SLEEVES 6" MINIMUM BEYOND EDGE OF HARDSCAPE (AT EACH END) INTO THE PLANTING AREAS.

## L SLEEVING



1. HUNTER SOLAR SYNC ET SENSOR - MOUNT IN FULL SUN LIGHT AND EXPOSURE TO RAIN, BUT NOT SPRINKLERS
2. MOUNT TO WALL, OR EAVE, ETC. PER THE MANUFACTURER'S DIRECTIONS
3. RUN LEAD WIRES TO CONTROLLER - WIRE PER MANUFACTURER'S DIRECTIONS (NOT NEEDED FOR WIRELESS SOLAR SYNC MODEL)

## E ET SENSOR / RAIN SENSOR



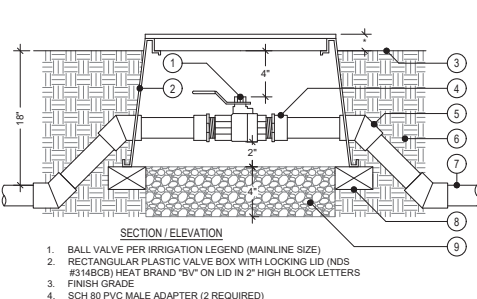
1. LOW VOLTAGE WIRES - 3 MAXIMUM
2. WIRES PASS THROUGH GROOVES IN TUBE LID TO ALLOW LID TO CLOSE
3. CLOSE TUBE LID AFTER WIRE IS INSERTED INTO TUBE
4. POLY TUBE PRE-FILLED WITH WATERPROOF GEL
5. LOOK TABS PREVENT WIRE REMOVAL ONCE CONNECTOR IS INSERTED
6. SCOTCHLOK ELECTRICAL SPRING CONNECTOR - WIRES SHALL BE PRE-STRIPPED OF 1/2" OF THE INSULATION PRIOR TO INSERTION INTO THE CONNECTOR - TWIST CONNECTOR ONTO WIRES TO SEAT FIRMLY

INSERT SCOTCHLOK CONNECTOR AND WIRES INTO TUBE UNTIL THE CONNECTOR PASSES THE LOOK TABS.

NOTES:  
WIRE CONNECTOR SHALL BE A 3M DBY DIRECT BURY SPLICE KIT.  
KIT SHALL INCLUDE A SCOTCHLOK SPRING CONNECTOR, A POLYPROPYLENE TUBE AND A WATERPROOF SEALING GEL. TUBE SHALL BE SUPPLIED PRE-FILLED WITH GEL.

DIRECT BURY SPLICE KIT SHALL BE USED TO ELECTRICALLY CONNECT 2-3 #14 OR 2 #12 PRE-STRIPPED COPPER WIRES. LARGER OR GREATER QUANTITIES OF WIRES SHALL REQUIRE A LARGER APPROVED WIRE CONNECTOR.

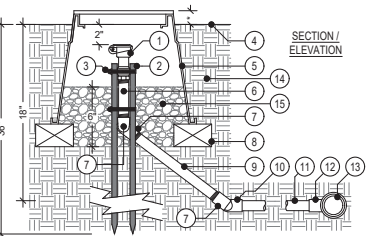
## F WATERPROOF WIRE CONNECTOR



1. BALL VALVE PER IRRIGATION LEGEND (MAINLINE SIZE)
2. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #314BCB) HEAT BRAND "BV" ON LID IN 2" HIGH BLOCK LETTERS
3. FINISH GRADE
4. SCH 80 PVC MALE ADAPTER (2 REQUIRED)
5. SCH 80 PVC 45 DEGREE ELL (4 REQUIRED)
6. NATIVE SOIL
7. MAINLINE PIPING PER IRRIGATION LEGEND
8. COMMON BRICK SUPPORTS (4 REQUIRED)
9. FILL BASE OF BOX WITH PEA GRAVEL
10. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

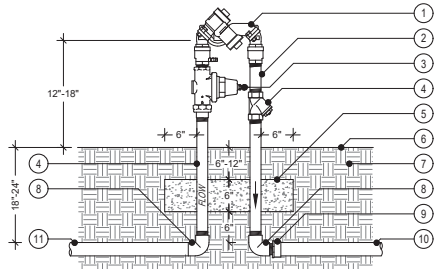
NOTES:  
OFF-SET VALVE BOX AROUND BALL VALVE TO ALLOW SPACE FOR FULL MOVEMENT OF THE BALL VALVE HANDLE.

## G BALL VALVE



1. QUICK COUPLING VALVE PER IRRIGATION LEGEND
2. #4x36" REBAR SUPPORT STAKE (2 REQUIRED)
3. STAINLESS STEEL CLAMP (2 REQUIRED)
4. FINISH GRADE
5. 10" ROUND PLASTIC VALVE BOX WITH LOCKING LID (NDS #312BCB) HEAT BRAND "QC" ON LID IN 2" HIGH BLOCK LETTERS
6. 3/4"x6" SCH 80 PVC NIPPLE
7. 3/4" SCH 40 PVC STREET ELL (2 REQUIRED)
8. COMMON BRICK SUPPORTS (3 REQUIRED)
9. 3/4"x12" SCH 80 PVC NIPPLE
10. 3/4" SCH 40 PVC ELL (S&T)
11. 3/4" SCH 40 PVC MAINLINE (12" MINIMUM LENGTH)
12. SCH 80 PVC MAINLINE FITTING (TEE OR ELL) WITH 3/4" SLIP OUTLET
13. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
14. NATIVE SOIL
15. FILL BASE OF BOX WITH PEA GRAVEL
16. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

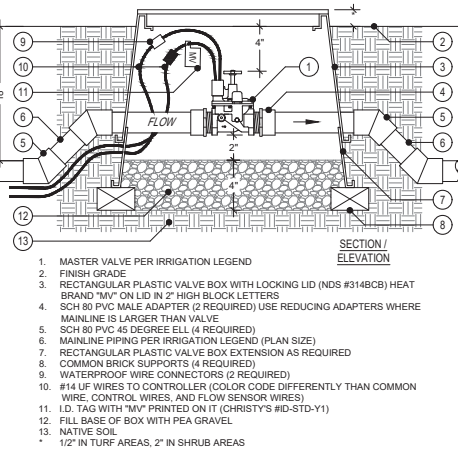
## H QUICK COUPLING VALVE



1. REDUCED PRESSURE BACKFLOW PREVENTER PER IRRIGATION LEGEND
2. BRASS NIPPLE(S) (R/P SIZE)
3. WILKINS 500XL SERIES PRESSURE REGULATOR (R/P SIZE)
4. WILKINS Y8P-80 STRAINER (R/P SIZE)
5. BRASS ELL (R/P SIZE)
6. FINISH GRADE
7. NATIVE SOIL
8. SCH 80 PVC MALE ADAPTER
9. (BUSH UP TO MAINLINE SIZE WHERE R/P DEVICE IS SMALLER THAN MAINLINE SIZE)
10. MAINLINE PIPING PER IRRIGATION LEGEND (TO SYSTEM)
11. COPPER OR BRASS MAINLINE PIPING (FROM P.O.C.)

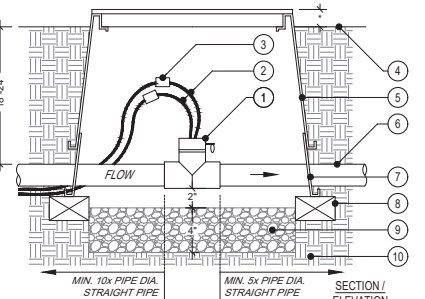
NOTES:  
INSTALL PER ALL LOCAL CODES. FINAL LOCATION TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT AND/OR OWNER. INSTALL REGULATOR UPSTREAM OF ALL EQUIPMENT.

## A BACKFLOW PREVENTER ASSEMBLY



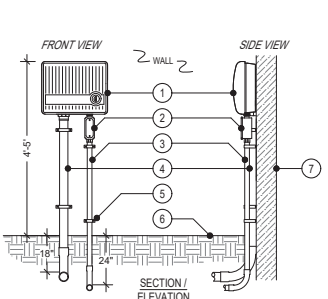
1. MASTER VALVE PER IRRIGATION LEGEND
2. FINISH GRADE
3. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #314BCB) HEAT BRAND "MV" ON LID IN 2" HIGH BLOCK LETTERS
4. SCH 80 PVC MALE ADAPTER (2 REQUIRED) USE REDUCING ADAPTERS WHERE MAINLINE IS LARGER THAN VALVE
5. SCH 80 PVC 45 DEGREE ELL (4 REQUIRED)
6. MAINLINE PIPING PER IRRIGATION LEGEND (PLAN SIZE)
7. RECTANGULAR PLASTIC VALVE BOX EXTENSION AS REQUIRED
8. COMMON BRICK SUPPORTS (4 REQUIRED)
9. WATERPROOF WIRE CONNECTORS (2 REQUIRED)
10. #14 UF WIRES TO CONTROLLER (COLOR CODE DIFFERENTLY THAN COMMON WIRE. CONTROL WIRES, AND FLOW SENSOR WIRE)
11. I.D. TAG WITH "MV" PRINTED ON IT (CHRISTY'S #10-STD-Y1)
12. FILL BASE OF BOX WITH PEA GRAVEL
13. NATIVE SOIL
14. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

## B MASTER CONTROL VALVE



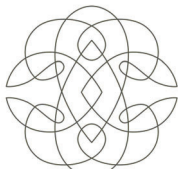
1. FLOW SENSOR PER IRRIGATION LEGEND
2. #14 UF WIRES TO CONTROLLER (COLOR CODE DIFFERENTLY THAN COMMON WIRE. CONTROL WIRES, AND MASTER VALVE WIRES)
3. WATERPROOF WIRE CONNECTORS (2 REQUIRED)
4. FINISH GRADE
5. RECTANGULAR PLASTIC VALVE BOX WITH LOCKING LID (NDS #314BCB) HEAT BRAND "FS" ON LID IN 2" HIGH BLOCK LETTERS
6. MAINLINE PIPING PER IRRIGATION LEGEND (SENSOR SIZE)
7. RECTANGULAR PLASTIC VALVE BOX EXTENSION AS REQUIRED
8. COMMON BRICK SUPPORTS (4 REQUIRED)
9. FILL BASE OF BOX WITH PEA GRAVEL
10. 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

## C FLOW SENSOR



1. AUTOMATIC CONTROLLER PER LEGEND - MOUNT TO WALL PER MANUFACTURER'S DIRECTIONS
2. ELECTRICAL JUNCTION BOX FOR 115V AC POWER CONNECTION
3. 1/2" CONDUIT WITH 115V AC POWER WIRES TO POWER SOURCE
4. SCH 40 PVC CONDUIT FOR CONTROL WIRES
5. SECURE ALL CONDUITS TO WALL WITH "C" CLAMP IN A MINIMUM OF TWO PLACES (TYP)
6. FINISH GRADE
7. WALL

## D CONTROLLER - WALL MOUNT



E V E N S  
ARCHITECTS

KAA Design Group  
12501 West Washington Blvd., Los Angeles, CA 90066  
310.521.6801 Fax: 310.521.1440  
la@evensgroup.com

drawing issue dates / revisions:

Date Submitted

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no. 19103

sheet: L405

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DETAILS

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2921 West Washington Blvd . Los Angeles . CA 90066  
310 821 1400 . fax 310 821 1440  
kaadesigngroup.com



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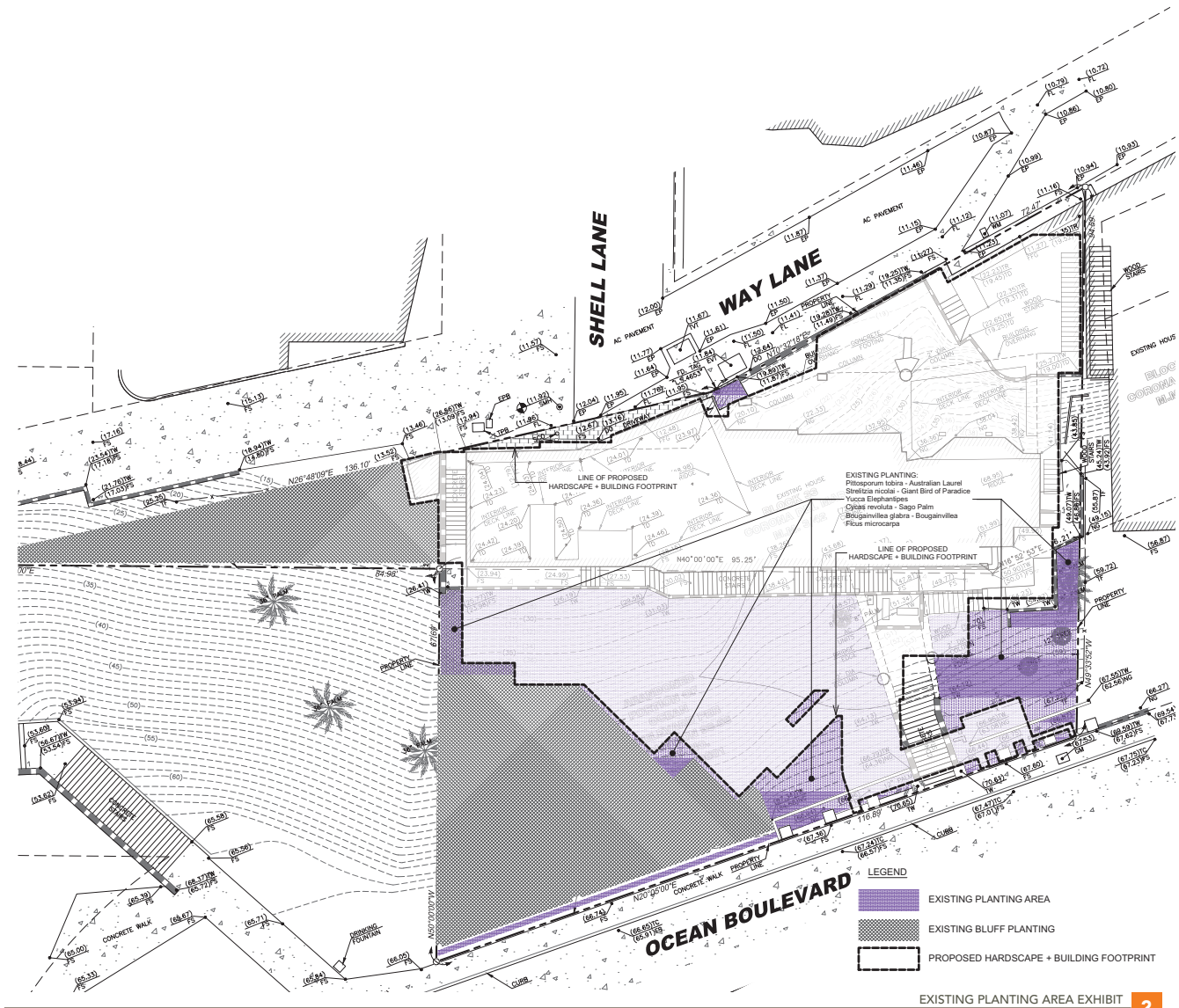
PLANTING SCHEDULE / LEGEND (ALL FLOORS)								
TYPE	ABBRV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	QUANTITY	GROWTH CHARACTERISTIC
<b>1. TREES</b>								
	AM	Artabasis marina	Marina Strawberry Tree	36" Box	PER PLAN	LOW	7	30' TALL (TO BE MAINTAINED NOT TO EXCEED CURB HEIGHT)
	AM	Artabasis marina	Marina Strawberry Tree	48" Box	PER PLAN	LOW	4	30' TALL (TO BE MAINTAINED NOT TO EXCEED CURB HEIGHT)
	CM	Citrus meyeri	Meyer Lemon	24" Box	PER PLAN	MODERATE	2	10' 12" TALL
	CS	Cupressus sempervirens	Mediterranean "Italian" Cypress	36" Box	PER PLAN	LOW	1	35' TALL, 4" WIDE, NARROW (TO BE MAINTAINED)
<b>2. SHRUBS</b>								
	BG	Bougainvillea glabra	Bougainvillea	15 Gal.	PER PLAN	LOW	132	4" TALL BY SPREADING
	LN	Laurus nobilis	Bay Laurel	15 Gal.	PER PLAN	LOW	2	HEDGE (TO BE MAINTAINED)
	LN	Laurus nobilis	Bay Laurel	36" Box	PER PLAN	LOW	9	HEDGE (TO BE MAINTAINED)
	RO	Rosmarinus officinalis	Rosemary	15 Gal.	PER PLAN	VERY LOW	162	2' x 3'
	RO	Rosmarinus officinalis	Rosemary	5 Gal.	PER PLAN	VERY LOW	113	3' x 3' (TO BE MAINTAINED AT MAX. 36" FROM EXISTING GRADE)
	WF	Westringia frutescens 'Mundi'	Mundi Coast Rosemary	15 Gal.	PER PLAN	LOW	179	2' x 4'
<b>TOTAL SQ. FT. OF NEW PLANTING AREA: APPROX. 1400 SQ FT</b>								

**NOTES:**

1. TURF AREA DOES NOT EXCEED 25% OF LANDSCAPE PLANTING AREA (PROHIBITED ON SLOPE AREAS AND PARKWAYS LESS THAN 10 FEET WIDE)
2. 75% OF LANDSCAPE AREA MUST BE PLANTED WITH CLIMATE ADAPTED PLANTS WITH AN AVERAGE WUCOLS PLANT FACTOR OF 0.3
3. COMPOST AT A RATE OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES.
4. TURF MUST BE MULCH LAYER APPLIED TO ALL PLANTING AREAS (EXCLUDING TURF AREAS).
4. AUTOMATIC IRRIGATION CONTROLLERS WILL USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND WILL HAVE MANUAL SHUT-OFF VALVES
5. ALL LANDSCAPING, INCLUDING TREES, ON PRIVATE PROPERTY SHALL BE MAINTAINED TO BE BELOW THE HIGHEST POINT OF THE RESIDENCE.

**I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE  
PRESCRIPTIVE COMPLIANCE OPTION TO THE MWEO.**





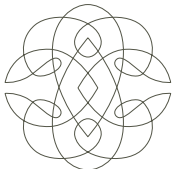
**PROJECT INFORMATION**  
PROJECT NAME: 2741 OCEAN RESIDENCE  
PROJECT ADDRESS: 2741 OCEAN BLVD CORONA DEL MAR CA 92625 USA  
TOTAL LANDSCAPE AREA: 1747 SQ.FT. (1362 SQ.FT. PLANTING AREA + 385 SQ.FT. POOL & SPA AREA)  
PROJECT TYPE: SINGLE FAMILY RESIDENTIAL  
WATER SUPPLY TYPE: MUNICIPAL  
PROJECT APPLICANT: KAA DESIGN GROUP ADDRESS: 12921 WEST WASHINGTON BLVD, LA CA 90066 USA T: (310) 821-1400  
PROPERTY OWNER: BLUES 1905, LLC 2741 OCEAN BOULEVARD CORONA DEL MAR, CA 92625

	PLANT NAMES	WUCOLS
<div></div>	PROPOSED PLANTING	
	Arbutus Marina - Marina Strawberry Tree	LOW
	Cupressus sempervirens - Mediterranean Italian Cypress	LOW
	Bougainvillea glabra - Bougainvillea	LOW
	Laurus nobilis - Bay Laurel	LOW
	Olea europaea 'Little Ollie' - Little Ollie Dwarf Olive	LOW
	Westringia fruticosa 'Mundi' - Mundi Coast Rosemary	LOW
	TOTAL SQ.FT. OF NEW PLANTING AREA : APPROX. 1400 SQ.FT.	
<div></div>	EXISTING PLANTING	
	Pittosporum tobira - Australian Laurel	MODERATE
	Strelitzia reginae - Giant Bird of Paradise	MODERATE
	Yucca Elephantipes	LOW
	Cycas revoluta - Sago Palm	MODERATE
	Bougainvillea glabra - Bougainvillea	LOW
<div></div>	Ficus microcarpa	MODERATE

THE PROPOSED PROJECT CONSIST OF REPLACEMENT PLANTINGS WITH EQUAL OR LOWER WATER NEEDS; AND THE IRRIGATION SYSTEM IS DESIGNED, OPERABLE AND PROGRAMMED TO COMPLY WITH THE CITY'S WATER CONSERVATION REGULATIONS.

**NOTES:**  
1. TURF AREA DOES NOT EXCEED 25% OF LANDSCAPE PLANTING AREA (PROHIBITED ON SLOPE AREAS AND PARKWAYS LESS THAN 10 FEET WIDE)  
2. 75% OF LANDSCAPE AREA MUST BE PLANTED WITH CLIMATE ADAPTED PLANTS WITH AN AVERAGE WUCOLS PLANT FACTOR OF 0.3.  
3. COMPOST AT A RATE OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES. 3-INCH MULCH LAYER APPLIED TO ALL PLANTING AREAS (EXCLUDING TURF AREAS)  
4. AUTOMATIC IRRIGATION CONTROLLERS WILL USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND WILL HAVE MANUAL SHUT-OFF VALVES  
5. ALL LANDSCAPING, INCLUDING TREES, ON PRIVATE PROPERTY SHALL BE MAINTAINED TO BE BELOW THE HIGHEST POINT OF THE RESIDENCE.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PREScriptive COMPLIANCE OPTION TO THE MMWEO.



**E V E N S  
ARCHITECTS**

K A A Design Group  
12921 West Washington Blvd., Los Angeles, CA 90066  
(310) 821-1400, Fax (310) 821-1400  
kaadesigngroup.com



drawing issue dates / revisions:

date	submittal
12/21/22	CDP Submittal
03/08/23	CDP Submittal II
05/15/23	CDP Submittal III
06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

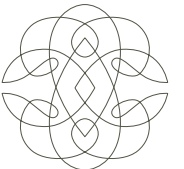
sheet:

**L501**

**PLANTING  
EXHIBIT**

scale: 3/32" = 1'-0", 1:59.92  
printed: 06 / 14 / 2023  
drawn by: SP, RH, EB

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E V E N S  
ARCHITECTS

K A A Design Group  
12921 West Washington Blvd., Los Angeles, CA 90066  
310.951.1400, fax 310.951.1440  
kaadesigngroup.com



drawing issue dates / revisions:

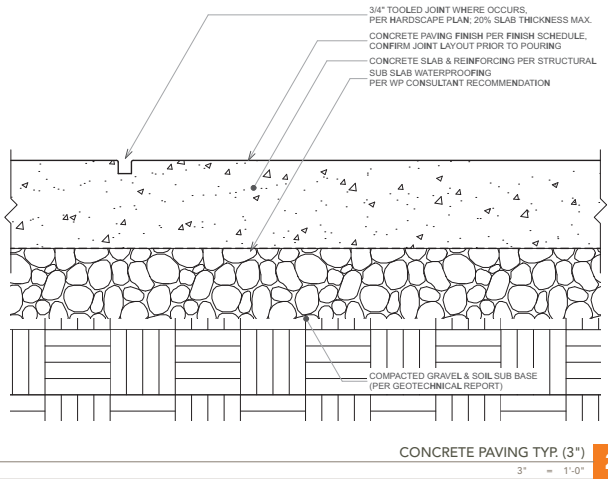
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06/14/23	CDP Submittal IV

project: 2741 OCEAN  
RESIDENCE  
2741 OCEAN BLVD CORONA DEL MAR  
CA 92625 USA

proj. no: 19103

sheet:  
**L700**  
PAVING DETAILS

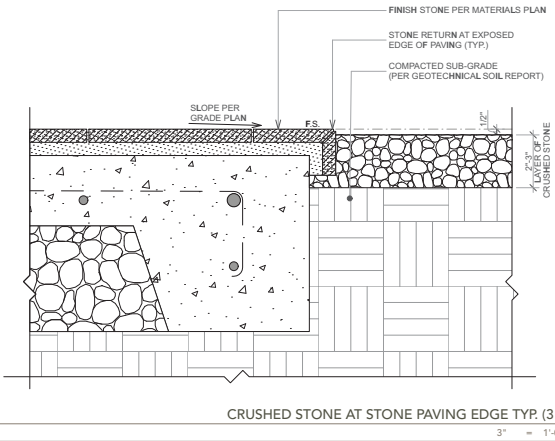
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printed: 06 / 14 / 2023  
drawn by: SP, RH, EB  
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CONCRETE PAVING TYP. (3")

3" = 1'-0"

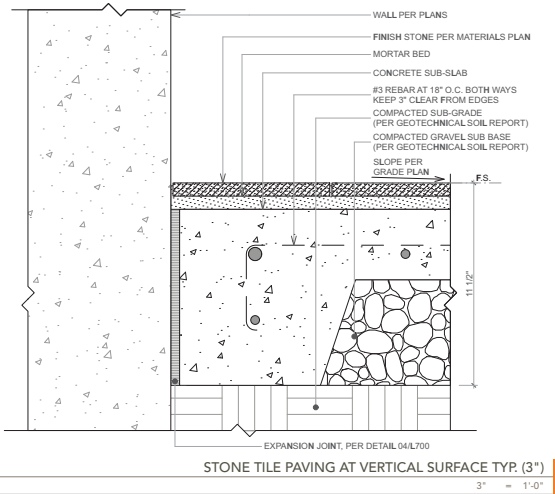
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CRUSHED STONE AT STONE PAVING EDGE TYP. (3")

3" = 1'-0"

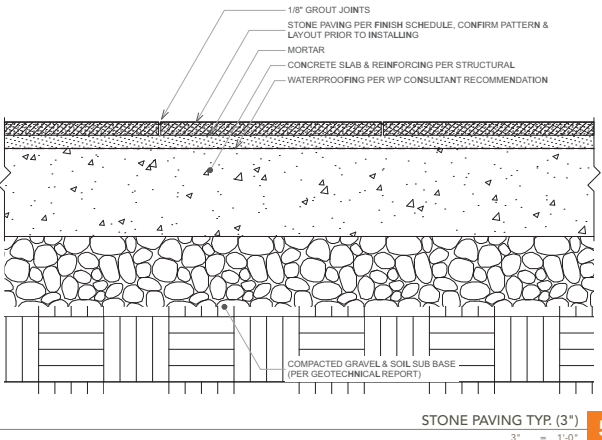
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STONE TILE PAVING AT VERTICAL SURFACE TYP. (3")

3" = 1'-0"

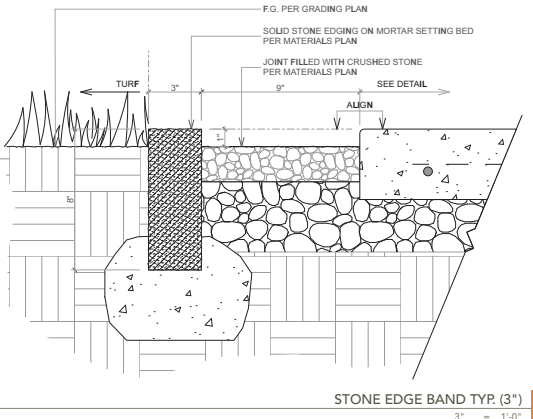
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STONE PAVING TYP. (3")

3" = 1'-0"

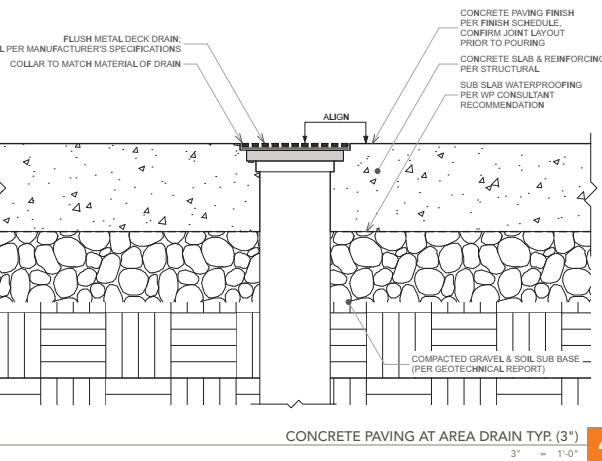
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STONE EDGE BAND TYP. (3")

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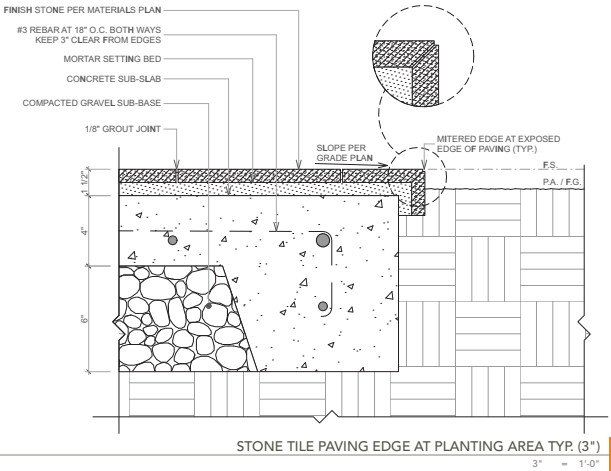
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CONCRETE PAVING AT AREA DRAIN TYP. (3")

3" = 1'-0"

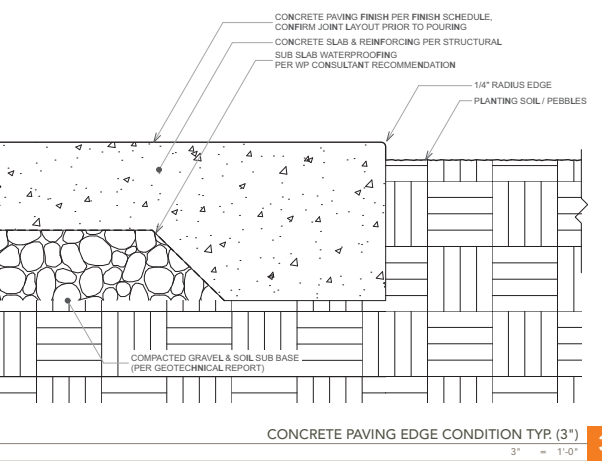
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STONE TILE PAVING EDGE AT PLANTING AREA TYP. (3")

3" = 1'-0"

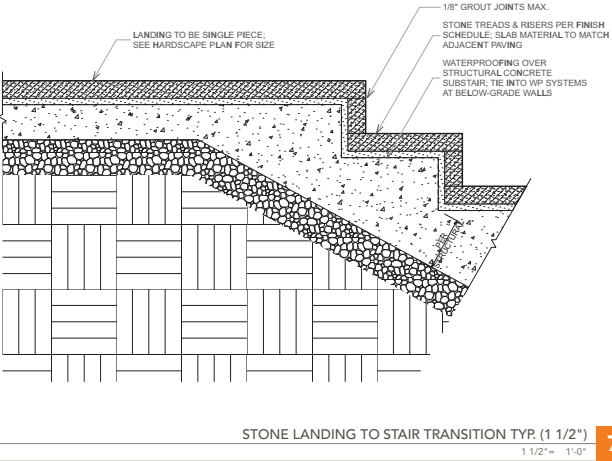
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CONCRETE PAVING EDGE CONDITION TYP. (3")

3" = 1'-0"

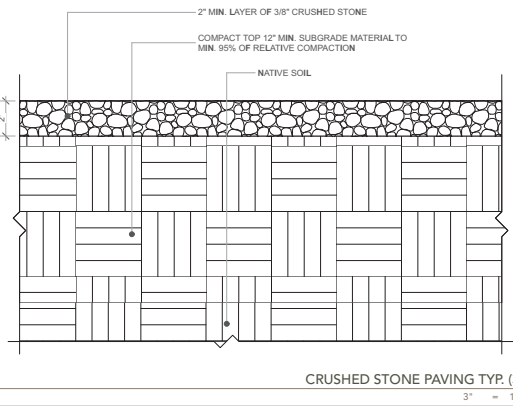
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STONE LANDING TO STAIR TRANSITION TYP. (1 1/2")

1 1/2" = 1'-0"

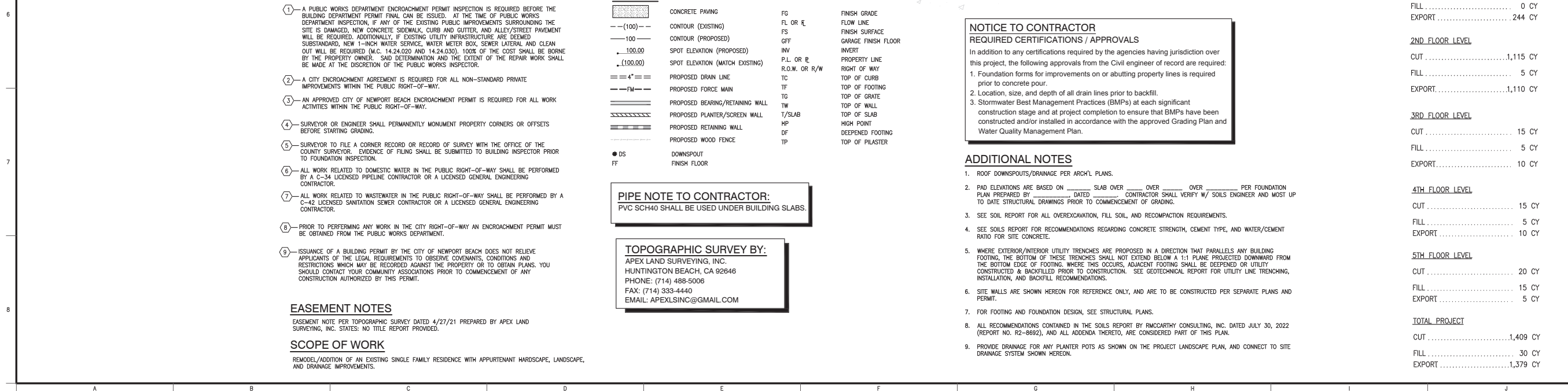
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CRUSHED STONE PAVING TYP. (3")

3" = 1'-0"

11

[illegible]

2741 OCEAN BLVD

**PRELIMINARY GRADING AND  
DRAINAGE PLAN**

BLOCK 33, CORONA DEL MAR M.M. 342  
2741 OCEAN BOULEVARD, NEWPORT BEACH, CA

DATE: 5/15/23 H. SCALE: 1"=6'

SURVEY DATE: 4/27/2021 V. SCALE: N/A

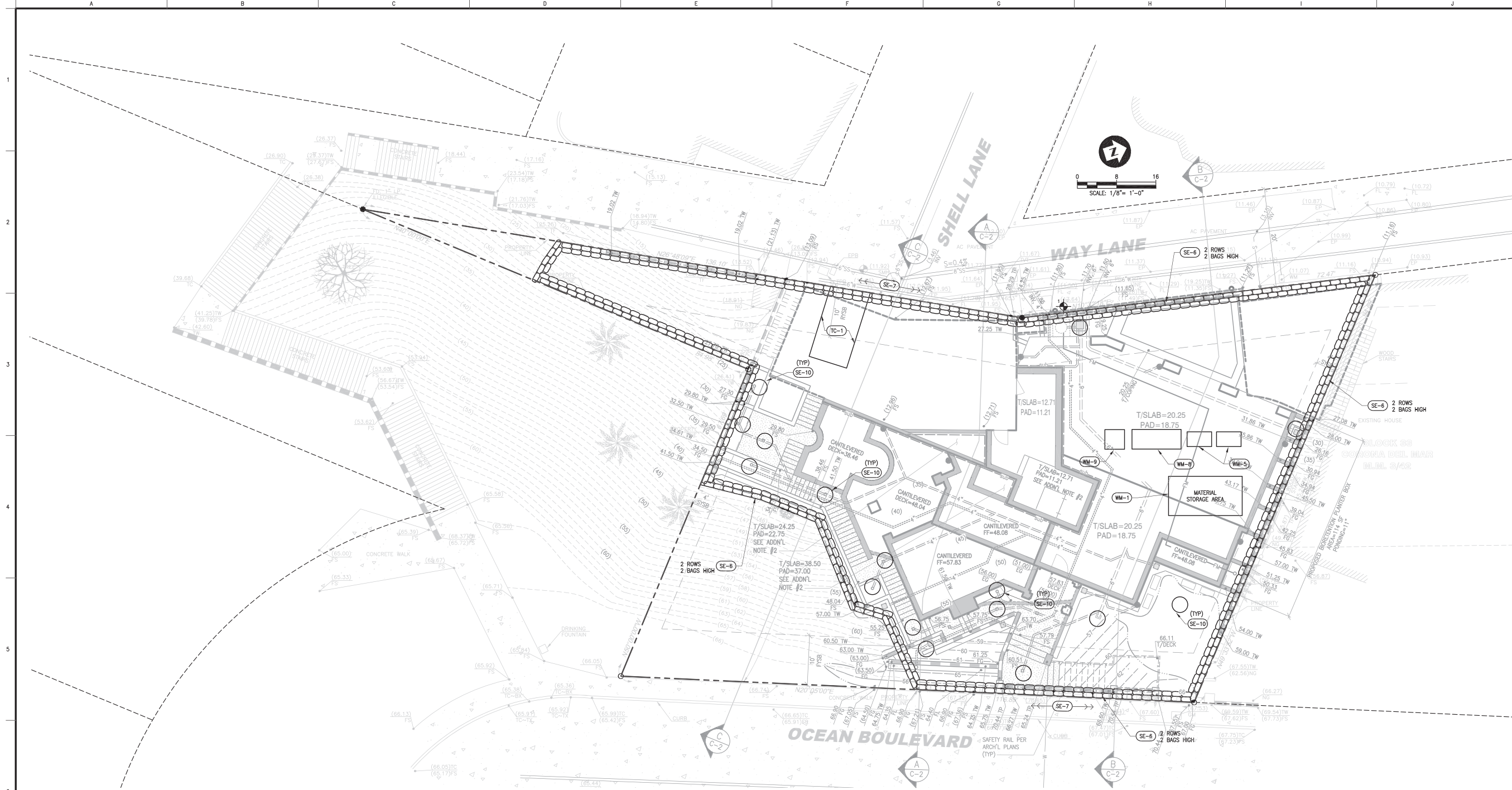
DRN.: O.R. DWG. NO. 250

CHD.: C.R. SHEET OF 1 - 3

APPD.: C.R.

JOB NO. 22223





<b>EROSION CONTROL BMPs</b>	
EC-1 SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
<b>TEMPORARY SEDIMENT CONTROL</b>	
SE-6 GRAVEL BAG BERM	PLACE AS SHOWN ON PLAN.
SE-7 STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEP AND SEDIMENT COLLECTED AND PROPERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY BASIS.
SE-10 STORM DRAIN INLET PROTECTION	CAP RISERS, CUT RISERS ABOVE GRADE, AND/OR PROVIDE GRAVEL BAGS AT INLETS TO PREVENT SEDIMENT INTRODUCTION INTO THE AREA DRAIN SYSTEM.
<b>WIND EROSION CONTROL</b>	
WE-1 WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
<b>TRACKING CONTROL</b>	
TC-1 STABILIZED CONSTRUCTION EXIT	CONSTRUCT WHERE SHOWN ON PLAN.
<b>WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL</b>	
WM-1 MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTIONS.
WM-2 MATERIAL DELIVERY AND STORAGE	IF MATERIALS ARE STORED ON SITE, THEY SHALL BE STORED IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND.
WM-3 STOCKPILE MANAGEMENT	TEMPORARY SOIL STOCKPILES SHALL BE SURROUNDED BY PERIMETER CONTROLS AS SHOWN ON THE PLAN. GEOTEXTILE OR PLASTIC COVERS ARE REQUIRED DURING HIGH WINDS OR RAIN EVENTS.
WM-4 SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE RESPONSES.
WM-5 SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8 CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE USED. WASTE SHALL BE DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY.
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT	ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
<b>NON-STORMWATER MANAGEMENT</b>	
NS-1 WATER CONSERVATION PRACTICES	MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-3 PAVING AND GRINDING OPERATIONS	APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGES.
NS-7 POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-8 VEHICLE AND EQUIPMENT CLEANING	SHALL NOT BE PERFORMED ON SITE.
NS-9 VEHICLE AND EQUIPMENT FUELING	SHALL NOT BE PERFORMED ON SITE.
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE	SHALL NOT BE PERFORMED ON SITE.
NS-12 CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13 CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

### NOTE

THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER, SEDIMENT, AND CONTAMINATED RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES.

**LEGEND**

**XX-X** BMP DESIGNATION IN CALIFORNIA STORMWATER BMP HANDBOOK – CONSTRUCTION, LATEST EDITION, BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.

The diagram shows a plan view of a river section. A line of five circles represents the 'GRAVEL BAG BERM'. An arrow points from the text 'GRAVEL BAG ARRANGEMENT' to this line. To the right, a circle labeled 'SE-6' contains a smaller circle with a cross, representing the 'VISUAL MONITORING LOCATION'. A compass rose in the bottom left corner indicates North (N) is up, with '1' at the bottom.

## SURVEY NOTES

1. TOPOGRAPHIC SURVEY PREPARED BY RdM SURVEYING, INC. DATED 10/22/18.

### YEAR-ROUND BMP REQUIREMENTS

1. WHERE APPROPRIATE, SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS, AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FROM STORMS.
2. WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED AND MAINTAINED.
3. BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
4. APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
5. APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
6. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED AS SOON AS PRACTICAL FOR ALL COMPLETED SLOPES OR SLOPES IN NON-ACTIVE AREAS. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE YEAR. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP WAS NOT PROPERLY DESIGNED, CONSTRUCTED, MAINTAINED, OR WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
7. A DISTURBED AREA THAT IS NOT COMPLETED, BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA), SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS, AND SLOPES.
8. SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT CONTROL BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
9. THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN).
10. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.

[illegible]

2741 OCEAN BLVD

CONTROL POLLUTION PREVENTION  
PLAN

DATE: 5/15/23	H. SCALE: 1"=8'
SURVEY DATE: 4/27/2021	V. SCALE: N/A
DRN.: O.R.	DWG. NO.
CHD.: C.R.	C-3
APP'D.: C.R.	231
JOB NO. 22223	SHEET 3 OF 3

2741 OCEAN BOULEVARD, NEWPORT BEACH, CA  
BLOCK 33, CORONA DEL MAR M.M. 342

5/15/2023 10:54:31 AM N:\2223\2223\Drawings\Civil\2223-gg-04.dwg

