



**CITY OF NEWPORT BEACH  
ADMINISTRATIVE HEARING  
STAFF REPORT**

May 21, 2025  
Agenda Item No. 1

**SUBJECT:** Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

**PERMITS:** X2018-3245

**SITE LOCATION:** 540 Hazel Drive

**APPLICANT:** Michael Terry

**PROPERTY OWNER:** Christensen, Frank Dana Trust The Christensen-Brown Living Trust

**BUILDING INSPECTOR:** Rick LeBare, Senior Building Inspector

**PREPARED BY:** Tonee Thai, Chief Building Official - 949-718-1867, [tthai@newportbeachca.gov](mailto:tthai@newportbeachca.gov)

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**PROJECT SUMMARY**

NEW 3,972 SQ. FT. SINGLE-FAMILY DWELLING WITH BASEMENT AND ATTACHED 463 SQ. FT. GARAGE.

THIS IS A SECOND HEARING REQUEST FOR ADDITIONAL EXTENSION. APPLICANT REQUESTED THE MAXIMUM 180 DAYS PERMITTED PER NBMC 15.02.095.

FIRST HEARING WAS CONDUCTED ON OCTOBER 17, 2024.

**BUILDING PERMIT HISTORY**

This project first started with Permit X2018-3245 issued on October 15, 2020. The referenced permit is subject to Newport Beach Municipal Code 15.02.095 with an initial three-year construction limit expiration date of October 15, 2023.

The first inspection was on January 18, 2022, for Footings and Foundation.

Please refer to the staff report of the hearing conducted on October 17, 2024, for permit inspection history prior to June 21, 2024 (Attachment 2).

The last inspection was on December 17, 2024, for Gas Pressure Test inspection.

Please refer to Attachment 1 for detailed permit history since last hearing on October 17, 2024.

### **PREVIOUS EXTENSIONS**

The Chief Building Official granted an extension for a three-year construction time limit on October 16, 2023, with expiration date of October 14, 2024. (Attachment 3, Part of 1<sup>st</sup> Hearing staff report).

Hearing officer granted maximum 180 days extension with expiration date of April 12, 2025, based on public hearing conducted on October 17, 2024. (Attachment 2)

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

### **PUBLIC NOTICE**

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

### **ATTACHMENTS**

- Attachment No. 1 – Building Permit History after June 21, 2024
- Attachment No. 2 – 1<sup>st</sup> Public Hearing Order
- Attachment No. 3 – 1<sup>st</sup> Public Hearing Staff Report

# **Attachment No. 1**

Building Permit History after June 21, 2024

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Expired	Expiration Date: 04/12/2025	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete								
<table border="0" style="width: 100%;"> <tr> <th style="text-align: left;">NOTES</th> <th style="text-align: left;">Created By</th> <th style="text-align: left;">TEXT</th> <th style="text-align: left;">Created Date</th> </tr> <tr> <td></td> <td>Michael Terry</td> <td>Field contact name : Michael Terry, phone number: (949) 466-0900. Please confirm receipt.</td> <td>05/07/2024</td> </tr> </table>								NOTES	Created By	TEXT	Created Date		Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please confirm receipt.	05/07/2024
NOTES	Created By	TEXT	Created Date												
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please confirm receipt.	05/07/2024												
05/22/2024	05/22/2024	Vapor Barrier/Exterior Lath/Veneer Lath	iBLD-019575-2024	Approved	David Reed	No	Complete								
<table border="0" style="width: 100%;"> <tr> <th style="text-align: left;">NOTES</th> <th style="text-align: left;">Created By</th> <th style="text-align: left;">TEXT</th> <th style="text-align: left;">Created Date</th> </tr> <tr> <td></td> <td>Michael Terry</td> <td>Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.</td> <td>05/21/2024</td> </tr> </table>								NOTES	Created By	TEXT	Created Date		Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	05/21/2024
NOTES	Created By	TEXT	Created Date												
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	05/21/2024												
06/21/2024	06/21/2024	Other - Plumbing	iBLD-023977-2024	Approved	Jason Rudenick	No	Complete								
Reinspection of iBLD-006320-2024															
<table border="0" style="width: 100%;"> <tr> <th style="text-align: left;">Checklist Item</th> <th style="text-align: left;">COMMENTS</th> <th style="text-align: left;">Approved</th> </tr> <tr> <td>Comment</td> <td>Pan test ok</td> <td style="color: green;">Yes</td> </tr> </table>								Checklist Item	COMMENTS	Approved	Comment	Pan test ok	Yes		
Checklist Item	COMMENTS	Approved													
Comment	Pan test ok	Yes													
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NOTES	Created By	TEXT	Created Date												
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024												
06/21/2024		Shower Lath	iBLD-023758-2024	Approved	Jason Rudenick	No	Complete								
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	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	06/19/2024												
12/17/2024	12/17/2024	Gas Pressure Test	iBLD-049041-2024	Approved	Jason Rudenick	No	Complete								
<table border="0" style="width: 100%;"> <tr> <th style="text-align: left;">NOTES</th> <th style="text-align: left;">Created By</th> <th style="text-align: left;">TEXT</th> <th style="text-align: left;">Created Date</th> </tr> <tr> <td></td> <td>Michael Terry</td> <td>Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.</td> <td>12/13/2024</td> </tr> </table>								NOTES	Created By	TEXT	Created Date		Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	12/13/2024
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	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	12/13/2024												



# **Attachment No. 2**

1<sup>st</sup> Public Hearing Order

1 ALESHIRE & WYNDER, LLP  
PAUL J EARLY  
2 3880 Lemon Street, Suite 520  
Riverside, California 92501  
3 Telephone: (951) 241-7338  
Facsimile: (949) 223-1180  
4 Administrative Hearing Officer

6 BEFORE THE ADMINISTRATIVE HEARING OFFICER

7 FOR

8 THE CITY OF NEWPORT BEACH

9 IN RE

10 540 Hazel Dr.  
11 APPLICATION FOR PERMIT EXTENSION  
12 NBMC. SECTION 15.02.095

**FINDINGS OF FACT AND STATEMENT  
OF DECISION OF THE  
ADMINISTRATIVE HEARING OFFICER**

Hearing Officer: Paul Early  
Date: October 17, 2024  
Time: 9:00 a.m.

13  
14 **INTRODUCTION**

15 1. This matter involves an extension of time to complete construction for work under a building  
16 permit issued for 540 Hazel Dr. (“Subject Property”) in the City of Newport Beach under Section  
17 105.3.4 of the Newport Beach Administrative Code (a locally amended version of the California  
18 Building Code) as codified at Newport Beach Municipal Code (“NBMC”) Section 15.02.095. Paul  
19 Early (“Hearing Officer”), sitting as the Hearing Officer under NBAC Section 105.3.4 heard this  
20 matter on October 17, 2024 at 9:00 a.m. (the “Hearing”). The Hearing Officer is a licensed attorney  
21 in the State of California and serves as Hearing Officer under contract with the City of Newport  
22 Beach (“City”). Pursuant to NBAC Section 105.3.4, the Hearing Officer shall hear and decide  
23 whether this application for extension should be granted, conditionally granted, or denied.

24 2. City is a charter city and municipal corporation existing under the laws of the State of  
25 California. The City was represented at the Hearing by Steve Lane, Principal Building Inspector  
26 (“City Representative”).

27 3. Michael Terry, the contractor (“Owner’s Representative”), appeared in support of the  
28 application for an extension of time. Collectively, the Owner’s Representative and Owner,

1 Christensen, Frank Dana Trust The Christensen-Brown Living Trust, are referred to as the  
2 “Applicant.”

3 4. Several members of the public were also in attendance and provided testimony.

4 5. The following Findings of Fact, Conclusions of Law, and Decision and Order are based on  
5 the evidence presented during the Hearing.

6 6. The Hearing Officer considered the testimony of all witnesses at the Hearing and all  
7 documents made part of the administrative record. The mere fact that a witness’s testimony or  
8 document may not be specifically referred to below does not and shall not be construed to mean that  
9 said testimony or document was not considered. The record also includes additional video and  
10 photographic evidence provided by witness Julie Means.

11 7. Pursuant to the Administrative Hearing Rules and Procedures of the City of Newport Beach,  
12 the Hearing was digitally recorded.

13 8. The documents presented to the Hearing Officer during the hearing are attached hereto as  
14 Exhibit A and form the administrative record of the hearing.

15 **ISSUES**

16 9. Pursuant to Section 105.3.4 of the NBAC, the issue to be determined by the Hearing Officer  
17 is whether to grant, or conditionally grant, up to a one hundred and eighty (180) calendar day  
18 extension, based on a finding that either (i) special circumstances warrant an extension of time or  
19 (ii) the failure to meet the time limit was caused by circumstances beyond the property owner’s,  
20 applicant’s or their contractor’s control.

21 **FINDINGS OF FACT AND CONCLUSIONS OF LAW**

22 10. This matter is before the Hearing Officer consistent with Section 105.3.4 of the NBAC.

23 11. The City of Newport Beach adopted the 2019 California Building Code by reference under  
24 Ordinance No. 2019-17 as the Newport Beach Administrative Code, codified at Newport Beach  
25 Municipal Code Section 15.02.010, which reads in part, “The City Council adopts and incorporates  
26 by reference, as though set forth in full in this section, Chapter 1, Division II of the 2019 Edition of  
27 the California Building Code as published by the International Code Council.”

28

1 12. The City of Newport Beach adopted certain additions, amendments, and deletions to the  
2 2019 California Building Code, pursuant to its authority under California Health and Safety Code  
3 Section 17958.5.

4 13. One such addition is the addition of Sections 105.3.3, 105.3.4, and 105.3.5 to the Newport  
5 Beach Administrative Code, codified at Newport Beach Municipal Code Section 15.02.095. Section  
6 105.3.3 reads:

7 “For any one-unit or two-unit dwelling for which a tentative and final tract map is  
8 not required, the maximum allowable time to complete construction for any work that  
9 requires a building permit including, but not limited to, any construction, reconstruction,  
10 rehabilitation, renovation, addition(s), modification(s), improvement(s), or alteration(s),  
11 shall be limited to three (3) years, unless an extension is granted in accordance with Section  
12 105.3.4.

13 For building permits issued on or after June 1, 2019, the time limit to complete  
14 construction shall begin on the date of issuance of the first or original building permit. For  
15 building permits issued prior to June 1, 2019, the time limit to complete construction shall  
16 be three (3) years from June 1, 2019.

17 Final inspection and approval of the construction work by the City shall mark the  
18 date of construction completion for purposes of Section 15.02.095. Time limits set forth  
19 herein shall not be extended by issuance of a subsequent building permit(s) for the same  
20 project.”

21 14. Permit No. X2018-3245 was issued by the City of Newport Beach on October 15, 2020  
22 (“Permit”). The Permit was set to expire on October 15, 2023.

23 15. Permits may be extended up to one year beyond the initial three-year deadline by application  
24 to the City Building Official. (NBAC 105.3.4(1)).

25 16. The full, one year extension was granted by the Building Official on October 16, 2023. As  
26 a result of the Building Official’s actions, the Permit was set to expire on October 14, 2024.

27 17. Section 105.3.4 provides that if a project is not completed within the timeframe authorized  
28 by the Building Official, the property owner or their authorized agent may seek further extension

1 from the City's Hearing Officer. The property owner or applicant may seek two extensions from the  
2 Hearing Officer which shall not exceed 180 days each. To grant the extension, the Hearing Officer  
3 must find that either (i) special circumstances warrant an extension of time or (ii) the failure to meet  
4 the time limit was caused by circumstances beyond the property owner's, applicant's, or their  
5 contractor's control. Any approval of an extension should include conditions to ensure timely  
6 completion of the project in a manner that limits impacts on surrounding property owners. Applicant  
7 filed a request for an extension with the City Hearing Officer seeking an extension for a full year,  
8 however, this review is limited to a maximum of 180 days possible under the code.

9 18. The City Representative presented uncontroverted evidence that there have been several  
10 permit inspections since the grant of prior extension. The City Representative also provided  
11 testimony that their office has not received any direct complaints from the public on the project.  
12 There was no objection from the City Representatives to the Hearing Officer granting an extension.

13 19. Applicant, through testimony of the Owner's Representative, provided uncontroverted  
14 evidence that the project was nearing completion and that significant work has continued to occur  
15 on the Subject Property. Owner represented that the most significant delays have been caused by  
16 delays related to the completion of a City sewer project running through the property and delays in  
17 receiving materials to complete the flooring on the Subject Property and that contractors are standing  
18 by and ready to perform the final drywall and appliance installation immediately upon arrival and  
19 completion of the flooring. Additionally, through testimony of the Applicant, it was indicated that  
20 completion of the spa has been delayed due to limited access to the rear of the property due to the  
21 City sewer project. Finally, the Applicant indicates that significant rains last year further caused  
22 delays outside of Applicant's control. The Project appears to be substantially near completion with  
23 all framing, mechanical, electrical and plumbing completed.

24 20. Witnesses appeared and testified both in support of and in opposition to the Project. Witness  
25 concerns include significant dust control issues, damage to neighboring property from construction  
26 activities, a lack of on-site supervision or contact to address emergent issues, construction debris  
27 crossing property lines, trespassing by contractor and its subcontractors onto neighboring property,  
28 parking along city streets, and blocking residential driveways by contractor vehicles and equipment.

1 21. Credibility determinations were made in favor of the Applicant, the Witnesses and the City.  
2 The Applicant presented credible evidence that the delays were due to circumstances partially  
3 beyond their control resulting from weather, materials delays and the City project. The Witnesses  
4 presented credible evidence that the Project has resulted in a number of nuisance conditions in the  
5 neighborhood.

6 **DECISION AND ORDER**

7 22. The Applicant has presented sufficient evidence to establish that “the failure to meet the time  
8 limit was caused primarily by circumstances beyond the property owner’s, applicant’s, or their  
9 contractor’s control.” The owner, applicant, and/or contractor were not the cause of those delays,  
10 nor could they have been avoided with reasonable diligence.

11 23. The Hearing Officer hereby grants an extension to **5:00pm on April 12, 2025**, in order to  
12 ensure the timely completion of the project.

13 24. In response to the neighbors’ concerns, the Hearing Officer imposes the following conditions  
14 of approval on the grant of an extension:

15 a) Applicant shall post in a conspicuous place on the front of the property, a sign containing  
16 the name and cell phone contact of Contractor’s representative to handle resident complaints and  
17 concerns. Contractor’s representative shall be available to respond to any such complaints within  
18 24 hours and shall include an onsite presence when necessary to verify any subcontractor activities.

19 b) Applicant and all contractors, agents, and employees working on the project shall not  
20 violate the City’s parking ordinance nor allow the parking of contractor’s or subcontractor’s  
21 personal vehicles or any work equipment in any location that obstructs the full and complete access  
22 to any neighboring property.

23 c) The Subject Property must remain free of all trash, debris, and rubbish and any and all  
24 debris originating from the construction site shall be removed from any neighboring properties  
25 within 24 hours of notification of same at Contractor’s sole expense. Such condition is contingent  
26 on any neighboring property granting consent to Contractor to enter and remove any such debris.

27 d) Applicant must comply with all lawful orders of the City’s Building Division.

28 25. Under NBAC 105.3.4 this decision is the first extension available on the Permit.

1 26. Any person aggrieved by an administrative decision of a Hearing Officer may obtain review  
2 of the administrative decision by filing a petition for review with the Orange County Superior Court  
3 in accordance with the timelines and provisions as set forth in California Government Code Section  
4 53069.4. There may be other time limits which also affect the ability to seek judicial review.

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Dated: October 21, 2024



Paul Early  
Administrative Hearing Officer



# CITY OF NEWPORT BEACH BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

RECEIVED BY  
COMMUNITY  
DEVELOPMENT

MAR 31 2025

CITY OF  
NEWPORT BEACH

## Three Year Construction Time Limit Extension Hearing Officer Application

Project Address:	540 Hazel, Corona del Mar, CA 92625		Receipt No.:	REC-003202-2025	
Permit No.:	X2018-3245	Original Permit Issued Date:	10/15/2020	Hearing Fee:	\$1,469
				Date Fee Paid:	03 / 25 / 25
PETITIONER/PROPERTY OWNER INFORMATION					
Name (Must be payor of fees): Michelle Brown & Frank Christensen			Company Name: Contractor: Michael Terry- Graystone Custom Builders		
Street Address: 133 Willowbend		City: Irvine	State: CA	Zip Code: 92612	
Email: mmbrown99@gmail.com			Phone: 949-922-6390		
PROJECT INFORMATION					
Length of extension requested: 6 months					
New end date if request is approved: October 12, 2025					
Previous Extension(s) Granted? (Y/N): Y			If Yes, How Many?:		
Description of Work Under Permit:	New construction, single family home of 3972 sq ft				
Reason for Extension Request	(Attach Supporting Documents as Needed for Hearing) Delays in acquisition of final stone & tile      Neighbor- accommodating neighbor complaints delayed progress Challenges with spa design, engineering, & fabrication due to architectural specification issues for deck flooring & coping All materials have now been acquired & only installation needed- subcontractors are moving quickly to finish line				
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.					
Petitioner's Signature:	<i>Michelle Brown</i> Michelle Brown		Relationship to Property Owner:	Date: 03 / 25 / 25	
			Owner		
FOR STAFF USE ONLY					
Hearing Officer's Action: <input type="checkbox"/> Approved <input type="checkbox"/> Denied					
Conditions of Approval:					
City Clerk's Staff Reviewed:	Name:	Signature:		Date:	
	<i>Guy Zi</i>	<i>Jennifer Farris</i>		03 / 31 / 2025	
Revenue's Staff Reviewed:	Name:	Signature:		Date:	
	<i>Emily Grisenti</i>	<i>Emily E Grisenti</i>		/ /	

Hearing Date: May 15, 2025 at 8:00 AM



City of Newport Beach  
Revenue  
100 Civic Center Dr.  
Newport Beach, CA 92660  
949-644-3141  
Welcome

03/26/2025 11:34AM Meg W.  
021046-0002 000107605  
Payment Effective Date 03/26/2025

**INVOICE**

CHILDS, CYNTHIA (CHILDS CYNTHIA ARCHITECT)  
X2018-3245  
External Item Reference: INV-00039350  
External Payment Reference: REC-003262-2025  
2025 Item: INV-00039350  
Balance due: \$0.00  
Three-Year  
Construction Limit  
Extension Fee \$1,469.00  
Payment Id: 202745

-----  
\$1,469.00

**Subtotal** \$1,469.00  
**Total** \$1,469.00

CHECK \$1,469.00  
Check Number 1035

-----  
**Change due** \$0.00

Paid by: MICHELLE BROWN & FRANK  
CHRISTENSEN

Comments: 3 YEAR EXT FEE FOR X2018-3245

Thank you for your payment

CUSTOMER COPY

**540 Hazel Drive • Corona del Mar, CA 92625**

Michelle Brown & Frank Christensen  
Mailing Address: 133 Willowbend  
Irvine, CA 92612  
Phone: (949) 922-6390  
Email: mmbrown99@gmail.com

Date: March 31, 2025

To:  
Tonee Thai  
Deputy Community Development Director  
City of Newport Beach  
100 Civic Center Drive  
Newport Beach, CA 92660

Re: Request for Six-Month Extension of Building Permit — 540 Hazel Drive

Dear Tonee,

We respectfully request a six-month extension of our building permit for the residential construction project at 540 Hazel Drive. While we have made significant progress and are now in the final stages of the project, a series of unforeseen challenges have delayed full completion by the deadline despite our continued efforts to move forward efficiently.

**Summary of Delays:**

1. **Delays in Stone & Tile Delivery (Materials Marketing & Ollin Stone):**
  - Ollin Stone (Quotes #21498, 21606): Our subcontractor was unable to pick up materials until 3/18/25—two-month delay caused by fabrication & tile availability.
  - Materials Marketing (Quotes #QT1053502, # QT0153540, OD0113978): Orders placed in November 2024 were not delivered until January 2025 due to:
    - A sales associate's hospitalization and communication delays.
    - End-of-year holiday closures.
    - Required custom fabrication.
  - Pacific Stone- Additional square footage of stone is needed to finish the fireplace and exterior columns but is out of stock currently. We are awaiting an ETA on delivery.
2. **Spa Construction Delays Due to Engineering Requirements:**
  - Engineering coordination began in Q4 2023 and was completed in Q1 2024, involving collaboration between Infinity Pools, Pool Engineering Inc., SDC Engineering, R. McCarthy Consulting, and Cynthia Childs Custom Homes. Due to the complexities of building on Bucky Gully Canyon, the engineering proved particularly challenging, requiring input from multiple experts to determine the best approach for design and structural planning. The process resulted in a six-month delay.
  - In April 2024, the City approved the revised spa plans and issued the spa permit.
3. However, six months later, our pool subcontractor unexpectedly paused the work and requested additional engineering documentation, which was subsequently completed by R. McCarthy Consulting Inc. Paid invoices and email correspondence confirm the additional required services.

4. Delays in Electrical Work Due to Long Lead Times:
  - Electrical fixture installation was delayed significantly due to long lead times for critical components.
  - These delays had a ripple effect on the other slab and stonework which could not be completed until the electrical components were installed. Documents on leads times have been retained by the electrician.
5. Scheduling Gaps with Subcontractors:
  - Finish carpenters, painters, and other trades were delayed as they could not begin work while tile and stone were being cut inside the home. Outdoor tile cutting was not feasible due to noise and dust complaints from neighbors.
  - Additionally, completion of electrical work after delivery of the components as noted in section 3 prevented finishing work.
  - Landscaping and spa construction could not begin while scaffolding surrounded the home's exterior. The scaffolding also impeded access to the deck area around the spa, preventing critical work in that zone. Additionally, access to the yard was not possible due to narrow walkways between the house and retaining walls, a steep canyon in the backyard, and no rear road access.
6. Neighbor Disruptions:
  - A neighboring resident has regularly confronted our subcontractors and foreman and has threatened to call the police if work wasn't stopped for the rest of the day.
  - These interactions, which occur nearly daily, continue to slow progress and create a challenging working environment.

We wish to emphasize the following:

- The majority of the project is complete, with only final details, landscaping, and inspections remaining.
- We are fully committed—financially and personally—to responsibly finishing the construction.
- We remain in full compliance with all city codes and inspection requirements.

We believe an additional six-month extension will allow us to finish the project without further disruption to the community and to the highest standards expected by the City of Newport Beach.

Importantly, pausing or stopping work at this stage would only create longer delays, as subcontractors would move on to other scheduled jobs. Once that happens, we cannot predict when they would become available to return and complete our home. We hope this reality is taken into consideration and that we are approved to proceed without further interruption.

We are sincerely grateful for the city's ongoing support and understanding, and we remain committed to delivering a high-quality, code-compliant home that will be an asset to the neighborhood.

Thank you for your time and consideration.

*Michelle Brown & Frank Christensen* 

Sincerely,  
Michelle Brown & Frank Christensen  
Property Owners / Project Applicants

540 Hazel  
Schedule to Completion

<u>Date</u>	<u>Task</u>
2/15-4/15	Complete Interior Tile Installation Complete Stone Fabrication & Installation Complete Spa Construction Start Interior Finish Carpentry Exterior Public Works, Curb & Gutter & Sidwalk Install
4/15-6/15	Interior Paint & Stain Exterior Landscape Exterior & Interior Handrail Installation Elevator Installation Fencing & Gate Installation Shower Enclosure Installation
6/15 - 8/15	Electrical Finish Plumbing Finsh HVAC Finish Elevatior Finish Paint Touch-up Throughout Misc. Repairs & Punch List Items Addressed Building Final

# 540 HAZEL

---

Ollin Stone Order

Date: 01/14/24



Ollin Stone  
 301 E Ball Rd  
 Anaheim, CA 92805  
 P: 714-535-0800 F: 714-535-8085  
<https://ollinstone.com/>

Hold# 21498  
 Date: 1/14/2025

### Hold Info Letter

Bill To:
MORRISON INTERIORS 151 Kalmus Dr. Unit J1 Costa Mesa, CA 92626 USA P: 949-450-0015 F: 949-450-0062 E: denisem@morrisoninteriors.com

Ship To:
Pickup Order

Job / Home Owner	Sales Rep	Expiry Date	Architect	Designer	General Contractor	Referred By		
540 Hazel / Christensen -...	Michael Hamelin/Fernando ...	1/19/2025						
Description						Quantity	Unit Price	Extended
Serial Num	Barcode	Lot	Bundle	Supp Num	Bin			
Saint Raphael Dore Honed 24x48 / Limestone Tile (1)						112.00 SF	\$12.50	\$1,400.00
11669-2 OL622326						112.00 SF		
Labor - Custom Finish / Apply Bamboo Finish 12x48" / Yield 44 pcs						88.00	\$16.00	\$1,408.00
Labor to Cut Tile / Cut 24x48" to 12x48" / Included						88.00	\$0.00	\$0.00

Subtotal \$2,808.00  
 Tax (Anaheim-Anaheim 7.75%) \$217.62  
**Total \$3,025.62**

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Picked Up 3/18/25





Ollin Stone  
 301 E Ball Rd  
 Anaheim, CA 92805  
 P: 714-535-0800 F: 714-535-8085  
<https://ollinestone.com/>

Hold# 21606  
 Date: 1/24/2025

## Hold Info Letter

Bill To:
MORRISON INTERIORS 151 Kalmus Dr. Unit J1 Costa Mesa, CA 92626 USA P: 949-450-0015 F: 949-450-0062 E: denisem@morrisoninteriors.com

Ship To:
Pickup Order

Job / Home Owner	Sales Rep	Expiry Date	Architect	Designer	General Contractor	Referred By		
Christensen / 540 Hazel / ...	Michael Hamelin/Fernando ...	1/29/2025						
Description						Quantity	Unit Price	Extended
Serial Num	Barcode	Lot	Bundle	Supp Num	Bin			
Perla Venata Polished / Quartzite Slab 2cm (1)						73.89 SF	\$37.00	\$2,733.93
LPD069-34	OL1180118	LPD069	2	12677		133" X 80" = 73.89		
Labor - Custom Finish / Apply Honed Finish / Perla Venata 133x80" (x1)						73.89	\$6.50	\$480.29

Subtotal \$3,214.22  
 Tax (Anaheim-Anaheim 7.75%) \$249.10  
**Total \$3,463.32**

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_





## 540 HAZEL

---

Email chain with Marketing Materials documenting  
various delays & final deliveries

Date: 11/6/24- 01/27/25

# MATERIAL

## BESPOKE STONE + TILE

250 Baker Street East, Suite 103 Costa Mesa, CA 926  
 Phone: (949) 729-9881

# Quote

Quote Date Nov 6, 2024	Page 1
Customer No NEWC01	Quote No. QT0153502

### Sold To:

NEWPORT CERAMIC DESIGN  
 170 E 17TH ST.  
 SUITE 119  
 COSTA MESA, CA 92627

### Ship To:

BROWN RESIDENCE  
 540 HAZEL  
 CORONA DEL MAR, CA, 92625

Ship Via: TFORCE FREIGHT

()-

Description	PO Number	Customer No.	Salesperson	Terms
540 Hazel		NEWC01	Sophie Lentini	DUE UPON RECEIPT MML W/H
Description	Qty.	UOM	Unit Price	Order Amount
VINTAGE VEIN CUT ANTICO 16X24X3/8 92 full size pieces of 16x24 to cover 240 square feet Each piece is 2.66 square feet/total footage 242.06 SF Custom products are not cancellable or returnable	242	SQFT	12.75	3,086.27
<b>x</b>				<b>3,086.27</b>
CRATE/PALLET FEE	1	EACH	75.00	75.00
SHIPPING AND HANDLING-CA Shipping and handling from Mexico to Texas warehouse LTL Freight to California residence from San Antonio One crate approximately 1700 lbs. Call for appointment Curbside delivery only Driver will bring liftgate truck and pallet jack	1	EACH	487.50	487.50
<b>Sub Total for: x</b>				<b>562.50</b>
<b>DEPOSIT REQUIRED:</b>				<b>\$1,965.79</b>
<b>Installation is acceptance of material</b>				
<b>Comments:</b> Pricing valid for 30 days. Freight Pricing valid for 30 days. Monthly storage fee of 2% of the value of the product maintained by Material in excess of thirty (30) days. CC payments will have a 3% charge applied. Any modification, alteration, use or installation of the product shall constitute unconditional acceptance of the product.	Estimated Weight:	1,270.82	<b>Subtotal</b>	<b>3,648.77</b>
			<b>Total sales tax</b>	<b>282.80</b>
			<b>Total</b>	<b>3,931.57</b>
				23

# MATERIAL

## BESPOKE STONE + TILE

250 Baker Street East, Suite 103 Costa Mesa, CA 926  
 Phone: (949) 729-9881

# Quote

Quote Date Nov 25, 2024	Page 1
Customer No NEWC01	Quote No. QT0153540

### Sold To:

NEWPORT CERAMIC DESIGN  
 170 E 17TH ST.  
 SUITE 119  
 COSTA MESA, CA 92627

### Ship To:

BROWN RESIDENCE  
 540 HAZEL  
 CORONA DEL MAR, CA, 92625  
 MICHELLE BROWN  
 (949) 922-6390

Ship Via: TFORCE FREIGHT

Description PORTO WHITE	PO Number	Customer No. NEWC01	Salesperson Sophie Lentini	Terms DUE UPON RECEIPT MML W/H
----------------------------	-----------	------------------------	-------------------------------	-----------------------------------

Description	Qty.	UOM	Unit Price	Order Amount
PORTO WHITE HONED 18X36X3/4 (17.75" X 35.5") 6 pieces Please have the warehouse select pieces that are as clean as possible Includes shipping + crate	1	PIECE	1,031.34	1,031.34
				1,031.34
<b>DEPOSIT REQUIRED:</b>		<b>\$1,111.27</b>		
<b>Installation is acceptance of material</b>				

<b>Comments:</b> Pricing valid for 30 days. Freight Pricing valid for 30 days. Monthly storage fee of 2% of the value of the product maintained by Material in excess of thirty (30) days. CC payments will have a 3% charge applied. Any modification, alteration, use or installation of the product shall constitute unconditional acceptance of the product.	Estimated Weight:	47.25	<b>Subtotal</b>	1,031.34
			<b>Total sales tax</b>	79.93
			<b>Total</b>	1,111.27
				24

**From:** Michelle Brown <mmbrown99@gmail.com>  
**Sent:** Friday, November 22, 2024 9:08 AM  
**To:** Sophie Lentini <slentini@explorematerial.com>  
**Cc:** Michael Terry <michaeleterry@mac.com>; Keven Beltran <keven@ncdinc.org>; Thadius Daniels <thad@ncdinc.org>; Jocelyne Lander <jocelynel@morrisoninteriors.com>; Carina Luisa <cluisa@explorematerial.com>  
**Subject:** Re: FW: 540 Hazel- Fireplace & Shower Wall Tile

Sophie,

I have not received a quote or invoice from you to the best of my knowledge. We need to order this ASAP. Has the info been sent by another email?

Michelle Brown  
(949) 922-6390

On Wed, Nov 13, 2024 at 4:16 PM Michelle Brown <mmbrown99@gmail.com> wrote:

Hi Sophie,

Here is the square footage needed for both tiles. Please provide a quote, invoice, and method of payment so we can place the order. Thanks for your time and attention.

Re: 540 Hazel- Fireplace & Shower Wall Tile 

Keven Beltran

to me, Sophie, Jocelyne, Carina, Thadius

Hello all,

- Sienna Artisan Limestone Fireplace - 140 sqft needed

- Primary shower and Vanity wall - Vintage vein cut Antico - 240 sqft needed

Thank you  
Keven

Thu, Nov 7, 9:03AM (6 days ago)    





Michelle Brown <mmbrown99@gmail.com>

**Fwd: Quote to review QT 0153502**

1 message

Michelle Brown <mmbrown99@gmail.com>  
To: Michelle Brown <mmbrown99@gmail.com>

Fri, Mar 28, 2025 at 1:59 PM

Michelle Brown  
(949) 922-6390

----- Forwarded message -----

From: **Michelle Brown** <mmbrown99@gmail.com>  
Date: **Tue, Dec 10, 2024** at 6:48 AM  
Subject: Fwd: Quote to review QT 0153502  
To: Jocelyne Lander <jocelynel@morrisoninteriors.com>, Frank Christensen <FCHRIS222@aol.com>

Hi Jocelyne,

I have not been able to get a hold of Sophie and I am growing concerned. I know she was in the hospital a few weeks ago and now she has been MIA. Last week I called her and sent her a text and email, but she has not responded to any of my attempts to reach her. Yesterday I called her and it went to voicemail, but I didn't leave a message. I found a quote for the fireplace stone emailed to me on 12/2 and wired the company \$1111 this morning for payment. I am still waiting to hear from her on the delivery of the other tile paid for on 11/25.

- 12/4- Text
- 12/6- Voicemail
- 12/6- Email

I would appreciate your assistance in getting her to respond and I hope she is doing ok. I hope her health is ok.

Michelle Brown  
(949) 922-6390





Michelle Brown <mmbrown99@gmail.com>

---

**RE: NEED SIGNED QUOTE QT 0153502**

1 message

---

**Sophie Lentini** <slentini@explorematerial.com>

Fri, Dec 20, 2024 at 1:20 PM

To: Michelle Brown <mmbrown99@gmail.com>, Carina Luisa <cluisa@explorematerial.com>, Jocelyne Lander <jocelynel@morrisoninteriors.com>

Michelle,

As noted on our call, the order was placed and that it would most likely be during the holiday week before anything happens with the order being packed/shipped.

Carina will always be communicating when she has information on tracking and making an appointment.

She handles that part of the order process.

She is here on Monday but I am out. She is copied and if there is anything to share, she'll be in touch with news.

Best,

Sophie

**MATERIAL**

BESPOKE STONE + TILE

---

**Sophie Lentini**

Sales and Design Associate

[250 Baker Street East, Suite 103, Costa Mesa, CA, 92626](#)

[slentini@explorematerial.com](mailto:slentini@explorematerial.com)

M: 714-625-7068 D: (949) 729-9881





Michelle Brown <mmbrown99@gmail.com>

**Re: Scheduling your delivery: OD0113978 TFROCE PRO 541712754**

1 message

**Keven Beltran** <keven@ncdinc.org>

To: Michelle Brown <mmbrown99@gmail.com>

Cc: Thadius Daniels <thad@ncdinc.org>, Frank Christensen <fchris222@aol.com>

Fri, Jan 10, 2025 at 1:26 PM

Thank you Michelle

On Jan 10, 2025, at 12:29 PM, Michelle Brown <mmbrown99@gmail.com> wrote:

Hi- The primary bath stone will be delivered on Monday between 8 am and 3pm. 1/13/25

Michelle Brown  
(949) 922-6390

----- Forwarded message -----

From: **Sophie Lentini** <slentini@explorematerial.com>

Date: Fri, Jan 10, 2025 at 12:11 PM

Subject: Scheduling your delivery: OD0113978 TFROCE PRO 541712754

To: Michelle Brown <mmbrown99@gmail.com>

Cc: Carina Luisa <cluisa@explorematerial.com>, Jocelyne Lander <jocelynel@morrisoninteriors.com>

<image165189.png>

**Sophie Lentini**

Sales and Design Associate

250 Baker Street East, Suite 103, Costa Mesa, CA, 92626

slentini@explorematerial.com

M:714-625-7068 D: (949) 729-9881

<image965753.png> <image245340.png> <image561567.png>

Michelle,



# Fireplace

PRO: 713-169785



Picked Up	In Transit	At Final Service Center	Delivered
TUE, 01/21 3:41 PM (CST)	FRI, 01/24 7:43 AM (PST)	MON, 01/27 9:08 AM (PST)	MON, 01/27 5:44 PM (CST)

Exception | 2 months ago

Service Exemption is processed by the XPO Logistics with exclusive discretion under the following circumstances:

1. When freight movement is significantly delayed due to acts of God, weather, or due to the intervention of a governmental authority, including when freight movement is delayed due to the closure of a road or highway on the scheduled route by federal, state or local authorities.
2. When Customs delays freight movement at border crossings. Exemption allowed only if the delay is 2 hours or more and is caused by Customs clearing the freight at the border-crossing point, assuming that the shipment arrived on-time at the border.

**History**   Shipment Details   Appointment Details   Document

1/27/2025 3:44 PM (Pacific Standard Time)

The shipment has been delivered to the recipient.

[LAKE FOREST, CA](#)

1/27/2025 9:08 AM (Pacific Standard Time)

The shipment is out for delivery to the recipient.

[LAKE FOREST, CA](#)

1/24/2025 10:52 AM (Pacific Standard Time)

The shipment is being held at the destination service center until an appointment for delivery has been set or met at the request of the recipient.

[LAKE FOREST, CA](#)

1/24/2025 7:43 AM (Pacific Standard Time)

The shipment has arrived at an interim service center.

[LAKE FOREST, CA](#)

1/23/2025 9:49 PM (Pacific Standard Time)

The shipment has arrived at an interim service center.

[BLYTHE, CA](#)

1/23/2025 9:48 AM (Mountain Standard Time)

The shipment has arrived at an interim service center.

[PHOENIX, AZ](#)

# 540 HAZEL

---

Email chain documenting challenges with spa  
engineering

Date: 11/06/24 to 01/18/24



Michelle Brown <mmbrown99@gmail.com>

**RE: Christensen job**

1 message

**Todd Lacher** <todd@pooleng.com>

Thu, 1/17/24, 4:07 PM

To: Thomas Thomas <infinitypools1@icloud.com>, Robert McCarthy <rob@rmccarthyconsulting.com>  
Cc: "steve@sd-engineering.com" <steve@sd-engineering.com>, Michelle Brown <mmbrown99@gmail.com>, "fchris222@aol.com" <fchris222@aol.com>, "austinpl@aol.com" <austinpl@aol.com>, "michael@graystonecustombuilders.com" <michael@graystonecustombuilders.com>

Maybe get some digital photos as well.

**From:** Thomas Thomas <infinitypools1@icloud.com>  
**Sent:** Thursday, January 18, 2024 10:47 AM  
**To:** Robert McCarthy <rob@rmccarthyconsulting.com>  
**Cc:** Todd Lacher <todd@pooleng.com>; steve@sd-engineering.com; Michelle Brown <mmbrown99@gmail.com>; fchris222@aol.com; austinpl@aol.com; michael@graystonecustombuilders.com  
**Subject:** Re: Christensen job

Hi everyone,

I'm going to send one of my guys to field measure the grade beam so we have a clear picture of elevations on this spa. I'll email everyone once I have this drawn up.

Thomas Thomas

Infinity Pools

714-587-8687

[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

On Jan 17, 2024, at 4:07 PM, Robert McCarthy <rob@rmccarthyconsulting.com> wrote:

Do we know the elevation of the top of the slurry compared to the elevation of the top of the grade beam? Or what is the thickness of the slurry over the grade beam? Our geologist who looked like about 3 feet of slurry was placed in that area. If the grade beam is covered by a sufficient thickness of slurry, the grade beam may not be a significant factor. But it also depends on elevation. I think it would help if someone can provide a sketch showing the spa elevations with the top of grade beam elevation. I don't have that information.

Rob

Robert J McCarthy, PE, GE

President

R McCarthy Consulting, Inc.

23 Corporate Plaza, Suite 150

Newport Beach, CA 92660

(949) 629-2539 Office

(949) 735-7339 Mobile

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On Wed, Jan 17, 2024 at 3:54 PM Todd Lacher <todd@pooleng.com> wrote:

I don't believe that a beam would bridge over any loss of support or deflection. That's why we were asking for a slab in the first place, due to the potential for dissimilar support from the subgrade materials.

**From:** Robert McCarthy <rob@rmccarthyconsulting.com>  
**Sent:** Wednesday, January 17, 2024 3:50 PM  
**To:** Todd Lacher <todd@pooleng.com>

Cc: [steve@sdco-engineering.com](mailto:steve@sdco-engineering.com); Michelle Brown <[mmbrown99@gmail.com](mailto:mmbrown99@gmail.com)>; Thomas Thomas <[infinitypools1@icloud.com](mailto:infinitypools1@icloud.com)>; FCHRIS222@aol.com; [austinpl@aol.com](mailto:austinpl@aol.com); [michael@graystonecustombuilders.com](mailto:michael@graystonecustombuilders.com)  
Subject: Re: Christensen job

Todd,

Would the geofoam over the grade beam work in your design? I think that is a potential approach. I can provide a new memo if that would help resolve this. The slurry is not anticipated since it is supported by the bedrock and is cemented itself and the foam would buffer the transition to the grade beam.

Let me know what you think. Thanks,

Rob

**Robert J McCarthy, PE, GE**

President

R McCarthy Consulting, Inc

23 Corporate Plaza, Suite 150

Newport Beach, CA 92660

(949) 629-2539 Office

(949) 735-7339 Mobile



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On Wed, Jan 17, 2024 at 2:27 PM Todd Lacher <[todd@pooleng.com](mailto:todd@pooleng.com)> wrote:

The Spa Recommendations Memo says "Any of the above listed foundation materials are acceptable, but the spa should be supported uniformly by either the slurry backfill, bedrock, or entirely by the grade beams."

I don't see how it would be possible to support the spa entirely on the slurry backfill or entirely on the grade beam.

**From:** Robert McCarthy <[rob@rmccarthyconsulting.com](mailto:rob@rmccarthyconsulting.com)>

**Sent:** Wednesday, January 17, 2024 2:15 PM

**To:** [steve@sdco-engineering.com](mailto:steve@sdco-engineering.com)

**Cc:** Michelle Brown <[mmbrown99@gmail.com](mailto:mmbrown99@gmail.com)>; Thomas Thomas <[infinitypools1@icloud.com](mailto:infinitypools1@icloud.com)>; Todd Lacher <[todd@pooleng.com](mailto:todd@pooleng.com)>; FCHRIS222@aol.com; [austinpl@aol.com](mailto:austinpl@aol.com); [michael@graystonecustombuilders.com](mailto:michael@graystonecustombuilders.com)

**Subject:** Re: Christensen job

Steve's approaches are fine from my standpoint.

Rob

**Robert J McCarthy, PE, GE**

President

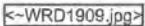
R McCarthy Consulting, Inc

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On Wed, Jan 17, 2024 at 2:12 PM <steve@sd-engineering.com> wrote:

They can place geofoam over the grade beam if deflection is a concern.

Steve Sheppard, S.E.

SDC Engineering

**From:** Robert McCarthy <rob@rmccarthyconsulting.com>

**Sent:** Wednesday, January 17, 2024 2:06 PM

**To:** Michelle Brown <mmbrown99@gmail.com>

**Cc:** Thomas Thomas <infinitypools1@icloud.com>; Todd Lacher <todd@pooleng.com>; FCHRIS222@aol.com; austinpl@aol.com; steve@sd-engineering.com; michael@graystonecustombuilders.com

**Subject:** Re: Christensen job

The conditions that are there now are a sand-cement slurry backfilled in between the grade beams. Under high loads, the slurry could possibly deflect slightly more than the grade beams. I don't know if the loads will be sufficient to make the slurry deflect. If it is a concern, a concrete slab can be poured over the slurry for more uniform conditions. The slab could be dowelled into the existing grade beams, or if there is enough room, it could span over the slurry and the grade beams. This would need to be designed by the structural engineer.

Rob

Robert J McCarthy, PE, GE

President

R McCarthy Consulting, Inc

23 Corporate Plaza, Suite 150

Newport Beach, CA 92660

(949) 629-2539 Office

(949) 735-7339 Mobile

<-WRD1909.jpg>

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On Wed, Jan 17, 2024 at 1:31 PM Michelle Brown <mmbrown99@gmail.com> wrote:

So that would be Steve from SDC Engineering.

Steve is copied on this email chain but has not responded to any of these emails.

Frank or I will call Steve in case he hasn't seen these emails.

Sent from my iPhone

On Jan 17, 2024, at 12:56 PM, Thomas Thomas <infinitypools1@icloud.com> wrote:

Hi Michelle,

The engineer for the house foundation and foundation contractor can help on this situation.

Thomas Thomas

Infinity Pools

714-587-8687

[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

On Jan 17, 2024, at 11:51 AM, Michelle Brown <mmbrown99@gmail.com> wrote:

Who is responsible for arranging for construction of the continuous slab? This issue has been punted back and forth for many months and I need to understand who should take the lead on engineering and constructing the continuous slab?

Sent from my iPhone

On Jan 17, 2024, at 11:31 AM, Todd Lacher <toddl@pooleng.com> wrote:

The spa can't sit partially on a grade beam. We need a continuous slab to provide full vertical support to the spa. This issue was raised in my previous email from November 30<sup>th</sup> in the thread below.

**From:** Thomas Thomas <infinitypools1@icloud.com>  
**Sent:** Wednesday, January 17, 2024 11:23 AM  
**To:** fchris222@aol.com  
**Cc:** austinpl@aol.com; rob@rmccarthyconsulting.com; steve@sdc-engineering.com; mmbrown99@gmail.com; michael@graystonecustombuilders.com; Todd Lacher <toddl@pooleng.com>  
**Subject:** Re: Christensen job

Hi everyone,

I added the spa engineer to this email. He says we need to address the structural grade beam below the spa location.

Thomas Thomas  
Infinity Pools  
714-587-8687  
[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

On Jan 17, 2024, at 11:08 AM, fchris222@aol.com wrote:

Dear Team;  
Please advise on the engineering or geology questions for the pool and spa for 540 Hazel ? We need to get going on this ASAP with the pool contractor.

Thanks.

Frank Christensen  
XL Sports Marketing  
1805 Ocean Court  
Costa Mesa, CA 92627  
(949) 423-0073 Office  
(949) 933-4488 Cell  
(949) 423-0075 FAX

In a message dated 1/17/2024 9:33:02 AM Pacific Standard Time, mmbrown99@gmail.com writes:

Sent from my iPhone

Begin forwarded message:

**From:** Pat Austin <austinpl@aol.com>  
**Date:** January 4, 2024 at 4:24:17 PM PST  
**To:** "Brown, Michelle" <mmbrown99@gmail.com>  
**Subject:** Fwd: Christensen job

—— Forwarded Message ——

**Subject:**Re: Christensen job

**Date:**Thu, 4 Jan 2024 12:21:42 -1000

From: Robert McCarthy <rob@rmccarthyconsulting.com>

To: Cynthia Childs <CChilds@ccarchitect.com>

CC: Michael Terry <michaleterry@mac.com>, Thomas Thomas <infinitypools1@icloud.com>, Steve Sheppard <steve@sdc-engineering.com>, Todd Lacher <todd@pooleng.com>, Pat Austin <austinpl@aol.com>, James Clausi <jamesc@pooleng.com>, Dawn Adelsohn <dawn@rmccarthyconsulting.com>, Griffin McMullen <griffin@rmccarthyconsulting.com>

Hi Cynthia,

Sorry, I'm in Hawaii. Our geologist Griffin McMullen said he contacted Michael Terry to take care of this earlier this week. I will follow up to see if he has made it out to the site yet. Thanks,

Rob

Robert J McCarthy, PE, GE  
President  
R McCarthy Consulting, Inc  
23 Corporate Plaza, Suite 150  
Newport Beach, CA 92660  
(949) 629-2539 Office  
(949) 735-7339 Mobile

**Error! Filename not specified.**

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On Thu, Jan 4, 2024 at 12:10 PM Cynthia Childs <CChilds@ccarchitect.com> wrote:

Rob, Can you respond?

Sincerely,  
Cynthia Childs  
CYNTHIA CHILDS, ARCHITECT  
  
2732 E COAST HWY, STE B  
Corona Del Mar, CA 92625  
T. 949-718-3528  
[WWW.CCHILDSCCARCHITECT.COM](http://WWW.CCHILDSCCARCHITECT.COM)

On Wed, Jan 3, 2024 at 8:44 AM Michael Terry <michaleterry@mac.com> wrote:

Robert,  
  
Have you had a chance to give this any further consideration?  
  
I need to get this spa going please let me know what I can do to help?  
  
Thank you,

Michael

Sent from my iPhone....Please excuse the typos

On Dec 13, 2023, at 11:31 AM, Robert McCarthy <rob@rmccarthyconsulting.com> wrote:

Michael,

Do you want us to go look at this area for additional information on the geology? Let me know. Thanks,

Rob

Robert J McCarthy, PE, GE

President

R McCarthy Consulting, Inc

23 Corporate Plaza, Suite 150

Newport Beach, CA 92660

(949) 629-2539 Office

(949) 735-7339 Mobile

<-WRD2416.jpg>

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On Wed, Dec 13, 2023 at 11:26 AM Thomas Thomas <infinitypools1@icloud.com> wrote:

Hi everyone,

Wanted to check in to get this project going. What info are we waiting for? Last email was asking about bedrock depth? Frank called last week and was asking about his spa engineering. Thanks!

Thomas Thomas

Infinity Pools

714-587-8687

[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

On Dec 5, 2023, at 12:32 PM, Steve Sheppard <steve@sd-engineering.com> wrote:

Can anyone confirm depth to bedrock beneath the spa?

Steve Sheppard, S.E.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Robert McCarthy <rob@rmccarthyconsulting.com>

Date: 12/5/23 12:25 PM (GMT-08:00)

To: Steve Sheppard <steve@sd-engineering.com>

Cc: Todd Lacher <loddl@pooleng.com>, Pat Austin <austinpl@aol.com>, michaelterry@mac.com, infinitypools1@icloud.com, James Clausi <jamesc@pooleng.com>, "Childs, Cynthia" <cchilds@ccarchitect.com>, Dawn Adelson <dawn@rmccarthyconsulting.com>

Subject: Re: Christensen job

The grade beams may be assumed to be supported on dense rock or very thin layers of sand over dense rock. Spa foundations should be supported on the bedrock or on the existing foundations and no vertical deflection due to soil movement is anticipated. Does that answer the question?

Rob



Robert J McCarthy, PE, GE  
President  
R McCarthy Consulting, Inc  
23 Corporate Plaza, Suite 150  
Newport Beach, CA 92660  
(949) 629-2539 Office  
(949) 735-7339 Mobile

<-WRD2416.jpg>

*Providing Experienced Geotechnical Services*  
*Strong Foundation | Strong Future*

On Tue, Dec 5, 2023 at 9:08 AM Steve Sheppard <steve@sd-engineering.com> wrote:

My thoughts exactly. I think the question is can the spa be designed as soil supported or do we need to design it as if the soil has failed?

Steve Sheppard, S.E.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Robert McCarthy <rob@rmccarthyconsulting.com>  
Date: 12/4/23 6:26 PM (GMT-08:00)  
To: Todd Lacher <toddl@pooleng.com>  
Cc: Pat Austin <austinp@aol.com>, michaeletermy@mac.com, infinitypools1@icloud.com, James Clausi <jamesc@pooleng.com>, "Sheppard, Steve" <steve@sd-engineering.com>, "Childs, Cynthia" <cchild@ccarchitect.com>, Dawn Adelson <dawn@rmccarthyconsulting.com>  
Subject: Re: Christensen job

I agree about getting Steve Sheppard to provide feedback on the structural support. But I think most of the site is hard bedrock and as long as the spa is behind the perimeter house foundations or tied into the house foundations/grade beams I wouldn't expect any significant problems. The questions about loads on the grade beams are more of a structural issue of beam deflection.

Please forward the current spa location plans when available. Thanks,

Rob

Robert J McCarthy, PE, GE  
President  
R McCarthy Consulting, Inc  
23 Corporate Plaza, Suite 150  
Newport Beach, CA 92660  
(949) 629-2539 Office  
(949) 735-7339 Mobile

<-WRD2416.jpg>

*Providing Experienced Geotechnical Services*  
*Strong Foundation | Strong Future*

On Mon, Dec 4, 2023 at 10:47 AM Todd Lacher <todd@pooleng.com> wrote:

Hi Pat, we have not generated any plans for the project yet as we only did a brief initial review of the project documentation when we realized the issue brought up in the email thread below.

From: Pat Austin <austinpl@aol.com>  
Sent: Friday, December 1, 2023 2:18 PM  
To: Todd Lacher <todd@pooleng.com>; michaeletery@mac.com  
Cc: infinitypools1@icloud.com; James Clausi <jamesc@pooleng.com>; Sheppard, Steve <steve@sd-engineering.com>; McCarthy, Rob <rob@rmccarthyconsulting.com>; Childs, Cynthia <cchilds@ccarchitect.com>  
Subject: Fwd: Christensen job

Todd:

We are reviewing the emails from Thomas and James Clausi, below, regarding the spa at the Christensen Residence. Please send us copies of your plans with notes as necessary, and clarify what you will require, so we can coordinate with Steve Sheppard and Rob McCarthy?

Thank you,  
Pat Austin  
Cynthia Childs, Architect  
2732 East Coast Highway, Suite B  
Corona Del Mar, CA 92625  
949-718-3528

----- Forwarded Message -----

Subject: RE: Christensen job

Date: Thu, 30 Nov 2023 19:19:02 -0800

From: steve@sd-engineering.com

To: 'Todd Lacher' <todd@pooleng.com>, infinitypools1@icloud.com

CC: 'James Clausi' <jamesc@pooleng.com>, 'Pat Austin' <austinpl@aol.com>

Todd,

If I need to assist in this matter further all communications need to go through the architect.

Best regards,

Steve Sheppard, S.E.

SDC Engineering

From: Todd Lacher <todd@pooleng.com>  
Sent: Thursday, November 30, 2023 11:40 AM  
To: infinitypools1@icloud.com; steve@sd-engineering.com  
Cc: James Clausi <jamesc@pooleng.com>  
Subject: RE: Christensen job

Hi Thomas and Steve,

A typical shotcrete spa is not a structural slab, its just a nominal thickness floor that needs continuous support, more like a slab on grade. Thus, we would need you to provide a continuous slab to span the grade beams and provide support for the vertical and lateral loading from the spa.

Please advise.

Todd Lacher, P.E.  
Pool Engineering, Inc.

**From:** Thomas Thomas <infinitypools1@icloud.com>  
**Sent:** Wednesday, November 15, 2023 3:12 PM  
**To:** James Clausi <jamesc@pooleng.com>  
**Subject:** Fwd: Christensen job

Hi James,

Look below at Steve's response to the Christensen job.

Thomas Thomas  
Infinity Pools  
714-587-8687  
[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

Begin forwarded message:

**From:** steve@sd-engineering.com  
**Date:** November 15, 2023 at 2:19:10 PM PST  
**To:** Thomas Thomas <infinitypools1@icloud.com>  
**Subject:** RE: Christensen job

Thomas,

If you need to speak with me I'm available now. The existing foundations and grade beams are adequate for the spa and can be used as it's support. Hopefully this makes things easier, new caissons are not feasible.

Steve Sheppard, S.E.  
SDC Engineering

**From:** Thomas Thomas <infinitypools1@icloud.com>  
**Sent:** Wednesday, November 15, 2023 6:50 AM  
**To:** rob@rmccarthyconsulting.com; Steve <steve@sd-engineering.com>  
**Subject:** Fwd: Christensen job

Hi there,

I'm the pool/spa contractor at Michael Terrys Hazel job in Newport Beach. Can you help us out with the engineering on this spa? Look below at James email. Thanks in advance!

Thomas Thomas  
Infinity Pools  
714-587-8687  
[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

Begin forwarded message:

**From:** James Clausi <jamesc@pooleng.com>  
**Date:** November 6, 2023 at 2:02:28 PM PST  
**To:** Thomas Thomas <infinitypools1@icloud.com>  
**Subject:** RE: Christensen job

Hi Thomas,

Looking over the plans, we have some issues with this design. First, the soils report that was submitted to us on 4/22/22 called for deepened foundations

Gmail - RE: Christensen job

(caissons) to support the spa. That's going to be an issue since I see from the plans that spa spans over a grade beam coming off the basement walls. We'll need to get updated recommendations for the foundation of the spa. Namely, the soils engineer will need to weigh in if spanning that grade beam is going to create a dissimilar soil condition under the spa, or if we can have a fill blanked would create a uniform soil condition over it.

Since the spa is shown in grade with the surrounding deck, removing soil and replacing it with water shouldn't create any additional load on the grade beam. This would actually reduce the load since water weighs less than soil. It would still be a good idea to get the structural engineer for the house involved as well to make sure the location of the spa isn't going to cause any problems with the house/basement foundations.

Thanks,

James Clausi  
Engineering Technician  
Pool Engineering, Inc.  
(714) 630-6100 - Ext. 1118  
Email: [JamesC@pooleng.com](mailto:JamesC@pooleng.com)  
[www.facebook.com/PoolEngineering](http://www.facebook.com/PoolEngineering)  
SUBMIT YOUR PROJECTS ONLINE!  
Check out our new web submission form <http://submit.pooleng.com/>

-----Original Message-----  
From: Thomas Thomas  
<[infinitypools1@icloud.com](mailto:infinitypools1@icloud.com)>  
Sent: Monday, November 6, 2023 9:30 AM  
To: James Clausi  
<[jamesc@pooleng.com](mailto:jamesc@pooleng.com)>  
Subject: Christensen job

*Please call me on the project on Hazel in Newport Beach.*

Thomas Thomas  
Infinity Pools  
714-587-8687  
<https://linkprotect.cudasvc.com?url?>  
[a=https%3a%2f%2fwww.infinitypoolandspa.com&c=E,1,RFakrthpdZDZH8lgHoh1K19hhaHABP lhVbrdl\\_RrkHx81oClffp-PeXQLZzcKEFuL0NjOu6PxwL3CRGIkUs bJPccqLPTRGeg5zl\\_H0qyo81G5gIngDSqFFE9xMLbs&typo=1](https://linkprotect.cudasvc.com?url?a=https%3a%2f%2fwww.infinitypoolandspa.com&c=E,1,RFakrthpdZDZH8lgHoh1K19hhaHABP lhVbrdl_RrkHx81oClffp-PeXQLZzcKEFuL0NjOu6PxwL3CRGIkUs bJPccqLPTRGeg5zl_H0qyo81G5gIngDSqFFE9xMLbs&typo=1)

## 540 HAZEL

---

Email chain from architectural firm confirming spa  
permit documents ready to submit

Date: 4/11/24





Michelle Brown <mmbrown99@gmail.com>

Re: 540 Hazel - spa plan check corrections

1 message

Pat Austin <austinpl@aol.com>

Thu, Apr 11, 2024 at 3:08 PM

To: Sarah Blataric <sarahjblataric@gmail.com>

Cc: "Infinity Pool and Spa Inc. Thomas Thomas" <infinitypoolandspa@gmail.com>, Michael Terry <michaeleterry@mac.com>, "Christensen, Frank" <FCHRIS222@aol.com>, "Childs, Cynthia" <cchilds@carchitct.com>, "Brown, Michelle" <mmbrown99@gmail.com>

Sarah:

I took the attached plans to the city this morning, and all departments have reviewed the, but I need the soils engineer to stamp and sign the grading plan and return the set to building department for final approval. I think I can have that done tomorrow, and I will let you know when the approval is final.

Please use the reference set attached here if you need to print, to ensure you have the final plans.

On 4/11/2024 10:24 AM, Sarah Blataric wrote:

Pat,

Thank you for the follow up call to this email. I have reviewed the sheets and it looks great to me

I will update the spa site plans to show consistency with your architectural and grading plans.

Please let me know once Delta 10 has been approved by the building department.

Thank you,  
Sarah

On Thu, Apr 11, 2024 at 9:22 AM Pat Austin <austinpl@aol.com> wrote:

Sarah:

Pdfs of our revised sheets, T1, A1, A2, and Grading plan sheets C2 and C3 are attached (see Delta #10 on our revised sheets).

After reviewing the existing site conditions, the adjacent grades are far enough below the patio floor, that the 42" required guard height will be greater than 5' above grade at both ends of the patio. We have removed the gates and steps at these two areas.

Plan Check Responses:

Planning:

Item #1

Sheet T1 - revised to show gate at the corner of the garage to swing outward.

Sheet A1 - Revised shape of spa to match spa plans, removed gates and revised patio guard to be continuous.

Sheet A2 - revised to show gate at the corner of the garage to swing outward.

Building Department:

Item #3:

The revised grading plan illustrates finish grade to be 138.6 at the highest points adjacent to the patio. Minimum pool safety fence height = 143.6' minimum. The patio Finish floor height = 140.20 + 3.5' = 143.7'

Item #4:

Door alarm locations to be provided on Spa plan sheet L1

Item#6:  
Revised the shape of the spa on sheet A2, C3

Item #7:  
Revised swing direction on gate at corner of garage, sheets T1, A2, C2

Item #8:  
Copy provided by Spa contractor.

On 3/29/2024 5:15 PM, Sarah Blataric wrote:

Sounds good. We won't be able to resubmit until the grading plan and the architectural plans are updated and approved by the city but it sounds like you guys are well on your way. Thanks for the update.

Have a nice weekend.

Sarah Blataric  
949 408 8676



On Fri, Mar 29, 2024 at 3:53 PM Pat Austin <austinpl@aol.com> wrote:

Sarah:

I met with Frank Christensen at the job site to observe the existing conditions. The existing grade is currently well below the patio level, and we are requesting the civil engineer to revise the finish grades to be more than 18" below the patio surface, so that the 42" guardrail will be at the required 5' above grade for the pool safety requirement. Frank wants to remove the gate and step at the south side, and the glass rail will terminate at the retaining wall as you show. I can coordinate with you on Monday to complete plans for resubmittal.

-Pat

On 3/20/2024 10:40 AM, Sarah Blataric wrote:

Hi Pat,

Just touching base - would you have time for a call today to go over the next steps just so I understand timing for the project and the coordination of the spa barrier.  
My number is 949 408 8676.

Thank you,  
Sarah

On Tue, Mar 19, 2024 at 5:47 PM Michael Terry  
<michaleterry@mac.com> wrote:

Pat,

I am forwarding along some plan check corrections that I believe require your architectural drawings to be addressed. I have looped in Sarah Blataric & you two can work through this from here.

Thank you in advance for your help.

Michael

Begin forwarded message:

**From:** Sarah Blataric <sarahjblataric@gmail.com>  
**Subject:** Fwd: 540 Hazel - spa plan check corrections  
**Date:** March 15, 2024 at 4:54:47 PM PDT  
**To:** michaeleterry@me.com  
**Cc:** "Infinity Pool and Spa Inc. Thomas Thomas" <infinitypoolandspa@gmail.com>

Hi,

I am working with Thomas at Infinity Pools on the city submittal. I was at the city with the spa yesterday and received approval from Public Works but corrections from both Building & Planning Dept (attached). We have updated our sheet L1 to incorporate the corrections (also attached).

There are two issues that need to be worked out:

#1. Unfortunately, the south side yard cmu block wall is not adequate for the pool barrier. The new wall just ends as the slope begins to drop.

The city will not accept that as a complete barrier around the spa - see building dept correction item 2. The city is requiring the spa to be fully surrounded by a closed barrier, they recommend using a barrier at the edge of the deck that is 5' high at the south side of the deck. See our sheet L1 with the area circled in red.

#2. Due to the site having open permits we will need the plans to all be consistent. The following sheets need to be updated per Building dept correction sheet: item 6 and Planning dept correction.

Architectural plan sheet A1 and the grading plans sheet C3 to show the latest spa design. These same sheets will also need to show the gate and landing area at the south side deck that we are showing on sheet L1.

They have also requested architectural sheet T-1 & grading plan sheet C-2 to show the gate at the north side yard swinging out.

These four sheets (T-1, A1, C2, C3) will need to be submitted to the city as a revision to the approved permit set before we can get the spa permit issued.

Any questions, please let me know.  
 Thank you,

Sarah Blataric  
 949 408 8676



# 540 HAZEL

---

Email chain documenting spa permit approval

Date: 4/25/24



Michelle Brown <mmbrown99@gmail.com>

**Re: 540 Hazel - spa plan check corrections**

1 message

**Infinity Pool and Spa Inc. Thomas Thomas** <infinitypoolandspa@gmail.com>

Thu, Apr 25, 2024 at 12:46 PM

To: Michelle Brown <mmbrown99@gmail.com>

Cc: Michael Terry <michaleterry@mac.com>, Pat Austin <austinpl@aol.com>, Sarah Blataric <sarahblataric@gmail.com>, "Childs, Cynthia" <cchilds@ccarchitect.com>, Frank Christensen <FCHRIS222@aol.com>, Travis Gramberg <travis@koheid.com>, Ryan Honeybourne <ryan@koheid.com>

Hi all,

We are happy to let you know the spa permit has been approved and issued. We will be starting construction next week and I will reach out with our schedule once I have things coordinated.

We will be sending an invoice this week for all permit expenses incurred this far payable online, as with all invoices we will send during the progress of your project (see The Payment Schedule of your contract for payment details). Please note, payments are due upon receipt.

Thank you,

Thomas Thomas  
Infinity Pools  
714-587-8687  
[www.infinitypoolandspa.com](http://www.infinitypoolandspa.com)

On Apr 25, 2024, at 9:43 AM, Michelle Brown <mmbrown99@gmail.com> wrote:

Hi Michael,

Has the city approved the spa plans yet? We are getting ready to finalize the plans with the landscape architect, Travies & Ryan from Koheid, and I would like to give them an update. Please update us with the status and what else we need to do to move forward.

Thanks,  
Michelle Brown  
(949) 922-6390

On Thu, Apr 18, 2024 at 6:15 AM Michael Terry <michaleterry@mac.com> wrote:

Yes we will be by to pick them up.

Thank you,

Michael

On Apr 17, 2024, at 8:51 AM, Pat Austin <austinpl@aol.com> wrote:

Michael:

I have the sheets here at our office. Do you want to pick them up?

-Pat

On 4/16/2024 9:42 PM, Michael Terry wrote:

Pat,

Thank you for getting this done can I grab the stamped/approved set so I can slip sheet them into my field set?

Thank you,

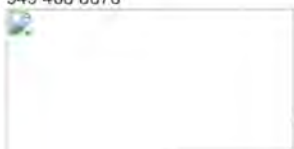
Michael

Sent from my iPhone....Please excuse the typos

On Apr 16, 2024, at 11:16 AM, Sarah Blataric <sarahblataric@gmail.com> wrote:

Great news Pat - thank you!

Sarah Blataric  
949 408 8676



On Tue, Apr 16, 2024 at 11:10 AM Pat Austin <austinpl@aol.com> wrote:

46



Michelle Brown <mmbrown99@gmail.com>

**Re: 540 Hazel - spa plan check corrections**

1 message

**Pat Austin** <austinpl@aol.com>

Wed, Apr 17, 2024 at 8:51 AM

To: Michael Terry <michaelterry@mac.com>, Sarah Blataric <sarahjblataric@gmail.com>  
Cc: "Brown, Michelle" <mmbrown99@gmail.com>, "Childs, Cynthia" <cchilds@ccarchitect.com>, "Christensen, Frank" <FCHRIS222@aol.com>, "Infinity Pool and Spa Inc. Thomas Thomas" <infinitypoolandspa@gmail.com>

Michael:

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Michael

Sent from my iPhone....Please excuse the typos

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Great news Pat - thank you!

Sarah Blataric  
949 408 8676



On Tue, Apr 16, 2024 at 11:10 AM Pat Austin <austinpl@aol.com> wrote:

Sarah:

The building Department has approved the spa revision on our plans(architectural and grading) this morning. You should be able to complete your review for the spa, now. I have the City's stamped plans.

Please let me know if you need anything from us.

-Pat

On 4/11/2024 3:23 PM, Sarah Blataric wrote:

Received, thank you!

Sarah Blataric  
949 408 8676



On Thu, Apr 11, 2024 at 3:08 PM Pat Austin <austinpl@aol.com> wrote:

Sarah:

I took the attached plans to the city this morning, and all departments have reviewed the, but I need the soils engineer to stamp and sign the grading plan and return the set to building department for final approval. I think I can have that done tomorrow, and I will let you know when the approval is final.

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Item #8:

Copy provided by Spa contractor.

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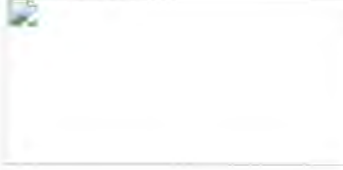
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Thank you in advance for your help.

Michael

Begin forwarded message:

**From:** Sarah Blataric  
<sarahjblataric@gmail.com>  
**Subject:** Fwd: 540 Hazel - spa plan check corrections  
**Date:** March 15, 2024 at 4:54:47 PM PDT  
**To:** michaeteletery@me.com

Cc: "Infinity Pool and Spa Inc.  
Thomas Thomas"  
<infinitypoolandspa@gmail.com>

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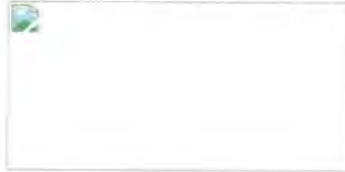
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Any questions, please let me know.

Thank you,

Sarah Blataric  
949 408 8676



--  
Pat Austin

Cynthia Childs, Architect  
2732 East Coast Highway, Suite B  
Corona Del Mar, CA 92625  
949-718-3528

--  
Pat Austin

Cynthia Childs, Architect  
2732 East Coast Highway, Suite B  
Corona Del Mar, CA 92625  
949-718-3528

--  
Pat Austin

Cynthia Childs, Architect  
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Corona Del Mar, CA 92625  
949-718-3528

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Pat Austin

Cynthia Childs, Architect  
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Corona Del Mar, CA 92625  
949-718-3528

--  
Pat Austin

Cynthia Childs, Architect  
2732 East Coast Highway, Suite B  
Corona Del Mar, CA 92625  
949-718-3528

## 540 HAZEL

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Field memorandum documenting additional engineering unexpectedly needed over 6 months later, including copies of invoices

Date: 11/19/24



**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: November 19, 2024

Contractor: Graystone Custom Builders, Inc

File No. 8235-10

Project Address: 540 Hazel Dr, Corona del Mar, CA

Subject: Site Observation - Spa Excavation

R McCarthy Consulting, Inc. (RMC) was on-site today to observe the excavation for the planned spa at the rear of the house. Sand-cement slurry was previously placed in the area of the planned spa shell over and between the structural grade beams for the house. The slurry and the grade beams were observed previously to be placed on competent sandstone bedrock. The spa excavation was recently cut into the hardened slurry to form the lower support for the spa shell. The sides of the spa are wood-formed above the slurry level. Some loose fragments and thin layer of dusting materials are present at the bottom of the excavation; however, the excavation exposes competent concrete slurry.

*Based on our observations, it is our opinion that the subject spa subgrade is suitable, from a geotechnical standpoint, for placement of the gunite/shotcrete for the spa shell. Exposed areas should be kept clean of any significant additional loose soil and debris prior to placing the shotcrete. The loose materials in the bottom of the excavation are not considered problematic provided that they are thoroughly wetted immediately prior to placing the gunite/ shotcrete to saturate the dust and fragments in the exposed bottom.*

Our services do not include line and grade verification, which is the responsibility of the spa contractor.

Rob McCarthy, Principal Engineer





SDC ENGINEERING  
 28782 El Mio Ln  
 Mission Viejo, CA 92692 USA  
 +19494819669  
 steve@sdc-engineering.com

**BILL TO**  
 Frank Christensen  
 133 Willowbend  
 Irvine, CA 92612-2827

**INVOICE #** D22018.13  
**DATE** 03/19/2024  
**DUE DATE** 03/19/2024  
**TERMS** Due on receipt

Engineering:Engineering  
 540 Hazel Drive, Corona Del Mar, CA  
 Additional Services - Structural Observation  
 2/23/24

PAID 4

225.00 900.00

Please make all checks payable to SDC Engineering.

Thank you for your business!

PAYMENT	900.00
BALANCE DUE	<b>\$0.00</b>

Pay invoice

**R McCarthy Consulting, Inc**  
 23 Corporate Plaza Dr Ste 150  
 Newport Beach, CA 92660



**INVOICE #** 246526  
**DATE** 04/19/2024  
**DUE DATE** 04/19/2024

**BILL TO**

Frank Christensen and  
 Michelle Brown  
 133 Willowbend  
 Irvine, CA 92612

PLEASE DETACH TOP PORTION AND RETURN WITH YOUR PAYMENT.

**FILE NO:**  
8235-10

**PROJ:**  
540 Hazel Drive

**LOCATION:**  
Corona del Mar, CA

DESCRIPTION	QTY	AMOUNT
FEES FOR PROFESSIONAL SERVICES THROUGH 4-17-2024		
OFFICE SERVICES		
3-4-24 - Project Engineer – Plan Review - Spa Plans	0.30	48.00
3-5-24 - Engineering Assistant – Plans Processing – Spa Plans	0.30	24.00
3-5-24 - Principal Engineer – Review / Stamp / Sign Spa Plans	0.50	100.00
-		
4-15-24 - Principal Engineer - Review / Stamp / Sign Plans (From Cynthia Childs' office)	1	200.00
4-17-24 - Engineering Assistant - Plans processing - New spa plans	0.30	24.00
4-17-24 - Principal Engineer - Review / Stamp / Sign New Spa Plans (From Infinity Pool & Spa)	0.50	100.00
-		
3 % Credit Card/Convenience Fee.		14.88
If paying by check, please pay \$496.00. Thank you.		

PAID

The opportunity to be of service is appreciated.  
 Please make checks payable to:  
 R McCarthy Consulting, Inc.

**PAYMENT** 510.88  
**BALANCE DUE** **\$0.00**

The amount indicated in this bill is due upon receipt. We reserve the right to charge a monthly late payment charge on the balance of any statement left unpaid over 30 days (1% interest charge per month, 12% per year)

Federal Tax ID: 46-3173471

Thank You for Your Business!

23 Corporate Plaza, Suite 150 - Newport Beach - CA 92660  
 Phone: 949-629-2539 - Email: info@rmccarthyconsulting.com



**R McCarthy Consulting, Inc**  
 23 Corporate Plaza Dr Ste 150  
 Newport Beach, CA 92660



**INVOICE #** 246617  
**DATE** 12/17/2024  
**DUE DATE** 12/17/2024

**BILL TO**

Frank Christensen and  
 Michelle Brown  
 133 Willowbend  
 Irvine, CA 92612

PLEASE DETACH TOP PORTION AND RETURN WITH YOUR PAYMENT.

**FILE NO:**  
 8235-10

**PROJ:**  
 540 Hazel Drive

**LOCATION:**  
 Corona del Mar, CA

DESCRIPTION	QTY	AMOUNT
<b>FEES FOR PROFESSIONAL SERVICES THROUGH DECEMBER 5, 2024</b>		
<b>FIELD ACTIVITIES</b>		
11-19-24 - Principal Engineer - Site Observations - Spa Excavation Memo	1.50	300.00
12-3-24 - Field Technician - Site Observation and Testing Walkway / Stairs Subgrade   Bulk Sample Collection	1.50	147.00
12-3-24 - Field Vehicle	1.50	13.50
12-3-24 - Staff Engineer - Discussion with Contractors Review Recent Field Testing / Soil Samples	0.40	51.20
12-4-24 - Staff Geologist I - Site Observations - Slurry Bottom - Between House and Spa	1	105.00
12-5-24 - Field Technician - Collecting Bulk Sample for Lab Testing	0.50	49.00
Vehicle Mileage	48	36.00
		Subtotal: 701.70
<b>LABORATORY</b>		
12-3-24 - Maximum Dry Density - Subgrade - Max #1, #2	1	258.00
		Subtotal: 258.00
		3 % Credit Card/Convenience Fee.
		If paying by check, please pay \$959.70. Thank you.
		28.79

The opportunity to be of service is appreciated.  
 Please make checks payable to:  
 R McCarthy Consulting, Inc.

**PAYMENT** 988.49  
**BALANCE DUE** **\$0.00**

The amount indicated in this bill is due upon receipt. We reserve the right to charge a monthly late payment charge on the balance of any statement left unpaid over 30 days (1% interest charge per month, 12% per year)

Federal Tax ID: 46-3173471

Thank You for Your Business!

23 Corporate Plaza, Suite 150 - Newport Beach - CA 92660  
 Phone: 949-629-2539 - Email: info@rmccarthyconsulting.com

**R McCarthy Consulting, Inc**  
23 Corporate Plaza Dr Ste 150  
Newport Beach, CA 92660



**INVOICE #** 256960  
**DATE** 02/26/2025  
**DUE DATE** 02/26/2025

**BILL TO**

Frank Christensen and  
Michelle Brown  
133 Willowbend  
Irvine, CA 92612

PLEASE DETACH TOP PORTION AND RETURN WITH YOUR PAYMENT.

**FILE NO:**

8235-10

**PROJ:**

540 Hazel Drive

**LOCATION:**

Corona del Mar, CA

**DESCRIPTION**

**QTY**

**AMOUNT**

FEEs FOR PROFESSIONAL SERVICES FROM 1-1-2025 THROUGH 1-31-2025.

FIELD ACTIVITIES

1-7-25 – Staff Engineer – Site Observation - Subdrain | Memo

1.70

217.60

Vehicle Mileage

12

9.00

Engineering Assistant - Scheduling | Compile Field Data

0.25

20.00

Subtotal: 246.60

The opportunity to be of service is appreciated.

Please make checks payable to:

R McCarthy Consulting, Inc.

**BALANCE DUE**

**\$246.60**

The amount indicated in this bill is due upon receipt. We reserve the right to charge a monthly late payment charge on the balance of any statement left unpaid over 30 days (1% interest charge per month, 12% per year).

Federal Tax ID: 46-3173471

Thank You for Your Business!

23 Corporate Plaza, Suite 150 - Newport Beach - CA 92660  
Phone: 949-629-2539 - Email: info@rmccarthyconsulting.com



# CITY OF NEWPORT BEACH ADMINISTRATIVE HEARING STAFF REPORT

October 17, 2024  
Agenda Item No. 2

**SUBJECT:** Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

**PERMITS:** X2018-3245

**SITE LOCATION:** 540 Hazel Drive

**APPLICANT:** Michael Terry

**PROPERTY OWNER:** Christensen, Frank Dana Trust The Christensen-Brown Living Trust

**BUILDING INSPECTOR:** Rick LeBare, Senior Building Inspector

**PREPARED BY:** Tonee Thai, Chief Building Official - 949-718-1867, [tthai@newportbeachca.gov](mailto:tthai@newportbeachca.gov)

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## **PROJECT SUMMARY**

NEW 3,972 SQ. FT. SINGLE FAMILY DWELLING WITH BASEMENT AND ATTACHED 463 SQ. FT. GARAGE

## **BUILDING PERMIT HISTORY**

This project first started with Permit X2018-3245 issued on October 15, 2020. The referenced permit is subject to Newport Beach Municipal Code 15.02.095 with an initial 3-year construction limit expiration date of October 15, 2023.

The first inspection was on January 18, 2022, for Footings and Foundation.

The last inspection was on June 21, 2024, for Shower Lath inspection.

Please refer to Attachment 1 for detailed permit history.

Notice of pending 3-Year Construction Limit expiration was provided on August 22, 2023.

Please refer to Attachment 2 for detailed notice activities.

## **BUILDING OFFICIAL EXTENSION**

The Chief Building Official granted an extension for a three-year construction time limit on October 16, 2023, with expiration date of October 14, 2024. (Attachment 3).



## **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

## **PUBLIC NOTICE**

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

## **ATTACHMENTS**

Attachment No. 1 – Building Permit Inspection History  
Attachment No. 2 – Three-Year Construction Limit Notice Activities  
Attachment No. 3 – Building Official Extension

# **Attachment No. 1**

Building Permit Inspection History

# PERMIT INSPECTION HISTORY REPORT (X2018-3245) FOR CITY OF NEWPORT BEACH

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
03/17/2021	03/17/2021	Call Inspector for Pre-Grade Meeting	X2018-3245-A0028 07803	Approved		No	Complete

Checklist Item	COMMENTS	Approved
Other	pre-grade meeting agreement collected	Yes

NOTES	Created By	TEXT	Created Date
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022
	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
	Legacy User	C000280247 SHEPPARD STEVEN THOMAS 28782 EL MIO LANE LAGUNA NIGUEL CA 92692 949-481-9669 2	07/07/2022
	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022
	Legacy User	AUSTIN PAT 2732 E. COAST HWY STE B NEWPORT BEACH, CA 92625 949-718-3528 2	07/07/2022

03/17/2021	WQ-Best Management Practices	X2018-3245-A0028 07808	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	CONSTRUCTION ACTIVITY SIGN NEEDS TO BE POSTE	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
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IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

08/16/2021	08/16/2021	Other - Building	X2018-3245-A0028 71653	Approved	No	Complete
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Checklist Item	COMMENTS	Approved
Other	wip	Yes

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
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IVR Number: 231644		

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	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022
	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

10/28/2021	10/28/2021	WQ-Best Management Practices	X2018-3245-A0029 01576	Correction	No	Complete
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Checklist Item	COMMENTS	Approved
Other	IMMEDIATELY CLEAN UP ALL TRASH/DEBRIS ONSITE AND DEVELOP A RUNNOFF PLAN TO KEEP EVERYTHI ONSITE TO PREVENT ANYTHING FROM ENTERING BL GULLY	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	AUSTIN PAT 2732 E. COAST HWY STE B NEWPORT BEACH, CA 92625 949-718-3528 2	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchlds@ccarchitect.com 2	07/07/2022
	Legacy User	C000280247 SHEPPARD STEVEN THOMAS 28782 EL MIO LANE LAGUNA NIGUEL CA 92692 949-481-9669 2	07/07/2022
	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022

01/18/2022	01/18/2022	Footings and Foundation	X2018-3245-A0029 31836	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR PINK HIGHLIGHTED ( 15) CAISSO OK TO POUR PENDING RECEIPT OF SOR. DEPUTY REPORT FOR CAGES AND GEO MEMO'S COLLECTED.NOTE 4000 PSI CONCRETE REQUIRED	No



# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022
	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

01/27/2022	01/27/2022	Footings and Foundation	X2018-3245-A0029 36828	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR 9 BLUE HIGHLIGHTED CAISSONS OK TO POUR PENDING RECEIPT OF SOR FROM EOR. DEPUTY REPORT FOR CAGES AND GEO MEMO COLLECTED. NOTE:4000 PSI CONCRETE REQUIRED	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000280247 SHEPPARD STEVEN THOMAS 28782 EL MIO LANE LAGUNA NIGUEL CA 92692 949-481-9669 2	07/07/2022
	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
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	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022

03/08/2022	03/08/2022	Footings and Foundation	X2018-3245-A0029 54152	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR YELLOW HIGHLIGHTED GRADE BEAMS ( CAISSON TIE IN AREAS) OK TO POUR. NOTE 4000 PSI CONCRETE REQUIRED (DEPUTY). SOR, GEO MEMO AND DEPUTY REBAR REPORT COLLECTED. GC REP INFORMED THAT AT NEXT INSPECTION FOR VERTICAL WALLS A LINE/GRADE WILL BE REQUIRED	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022
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	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

04/25/2022	04/25/2022	Footings and Foundation	X2018-3245-A0029 75997	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	SEE SHEET S-2 FOR YELLOW HIGHLIGHTED VERTICA WALLS OK TO ENCLOSE WALLS AND INSTALL TOP CONNECTIONS. SOR COLLECTED. NOTE APPROVAL 1 POUR WALL PENDING REWCEIPT OF LINE/GRADE AN TOP CONNECTION INSTALLATION/INSPECTION. NON SHRINK GROUT UNDER STEEL COLUMNS VERIFIED	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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	Legacy User	C000280247 SHEPPARD STEVEN THOMAS 28782 EL MIO LANE LAGUNA NIGUEL CA 92692 949-481-9669 2	07/07/2022
	Legacy User	AUSTIN PAT 2732 E. COAST HWY STE B NEWPORT BEACH, CA 92625 949-718-3528 2	07/07/2022

05/18/2022	05/18/2022	Footings and Foundation	X2018-3245-A0029 86619	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	Walls as marked	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	AUSTIN PAT 2732 E. COAST HWY STE B NEWPORT BEACH, CA 92625 949-718-3528 2	07/07/2022
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	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022

06/08/2022	06/08/2022	Area Drains	X2018-3245-A0029 95261	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	MIRA DRAIN WATERPROOFING SUB DRAINS AND BURRITO VERIFIED, AT POUR IN PLACE WALLS. OK TC BACKFILL WITH GEO APPROVAL	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
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06/08/2022	WQ-Best Management Practices	X2018-3245-A0029 95257	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Other	BMP'S VERIFIED	No



# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

Permit Type: Combo Residential	Application Date: 10/26/2018	Owner: CHRISTENSEN FRANK DANA TR THE CHRISTENSEN-BROWN LI
Work Class: New	Issue Date: 10/15/2020	Parcel: 459 123 20
Status: Issued	Expiration Date: 12/18/2024	Address: 540 HAZEL DR NEWPORT BEACH, CA 92625
IVR Number: 231644		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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NOTES	Created By	TEXT	Created Date
	Legacy User	C000280247 SHEPPARD STEVEN THOMAS 28782 EL MIO LANE LAGUNA NIGUEL CA 92692 949-481-9669 2	07/07/2022
	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022
	Legacy User	C000280542 GRAYSTONE CUSTOM BLDRS INC 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663 949-466-0900 2	07/07/2022
	Legacy User	C000197331 CHILDS CYNTHIA 2732 E COAST HWY #B CORONA DEL MAR CA 92625 949-718-3528 cchilds@ccarchitect.com 2	07/07/2022
	Legacy User	AUSTIN PAT 2732 E. COAST HWY STE B NEWPORT BEACH, CA 92625 949-718-3528 2	07/07/2022

06/23/2022	06/23/2022	Masonry Pre-Grout/Wall Steel	X2018-3245-A0030 02096	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Masonry Pre-Grout / Walk Steel	SEE SHEET S-12 DETAIL # 4 FOR VERTICAL BIO/RETAINING WALL OK TO CLOSE/POUR.NOTE: DISCUSSED WITH EKEDAL GC REP (RUSTY) THAT FRONT BIO RETENTION PLANTERS HAVE NO STRUCTURAL DETAILS EITHER ON STRUCTURAL OR CIVIL PLANS AND THIS NEEDS TO BE ADDRESSED PRIOR TO INSPECTION OF THESE WALLS.	No

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	Legacy User	CHRISTENSEN FRANK DANA 544 HAZEL DR CORONA DEL MAR, CA 92625 949-933-4488 1	07/07/2022

07/06/2022	07/06/2022	Footings and Foundation	X2018-3245-A0030 06478	Partial Pass	No	Incomplete
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Checklist Item	COMMENTS	Approved
Foundation Openings	BIE LOOKING FOR FOOTINGS FOR NORTH CMU WALL ON PERMIT X2021-2910	No

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

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08/09/2022	08/09/2022	Soil Pipe	iBLD-003964-2022	Partial Pass	David Reed	Yes	Incomplete
08/15/2022	08/15/2022	Footings and Foundation	iBLD-004602-2022	Partial Pass	David Reed	Yes	Incomplete
09/06/2022	09/06/2022	Slab On Grade	iBLD-007397-2022	Partial Pass	David Reed	Yes	Incomplete
	09/06/2022	Slab On Grade	iBLD-007613-2022	Approved	David Reed	No	Complete
<b>Reinspection of iBLD-007397-2022</b>							
12/21/2022	12/21/2022	Floor Framing & Sheathing	iBLD-021633-2022	Correction	David Reed	Yes	Complete

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

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Checklist Item	COMMENTS	Approved
Correction	Provide required deputy onsite weld report for first floor framing. Ok to stand 2nd floor walls. Note: floor to be poured with light weight concrete. Framers instructed to take pictures of sill plate nailing to be covered by double sill installed to raise sill for concrete floor	No

02/13/2023	02/13/2023	Floor Framing & Sheathing	iBLD-005346-2023	Partial Pass	David Reed	Yes	Incomplete
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**Reinspection of iBLD-021633-2022**

Checklist Item	COMMENTS	Approved
Comment	Ok to stand 2nd floor walls, Note: Mike Terry informed to fill out a 3 year extension 45 days prior ( minimum) to expiration date 10/14/23	Yes
Correction		No

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	02/12/2023

08/08/2023	08/08/2023	Roof Framing, Sheathing & Bldg Height	iBLD-029884-2023	Partial Pass	David Reed	Yes	Incomplete
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Checklist Item	COMMENTS	Approved
Comment	Sor for roof sheathing only collected, ok to dry in roof, Building Height Cert collected. Fire sprinkler permit verified pulled	No

NOTES	Created By	TEXT	Created Date
	Skylar Wilk	Field contact name : Mike Terry, phone number: (949) 466-0900.	08/07/2023

08/08/2023	08/08/2023	Shear and Hold Downs	iBLD-029883-2023	Partial Pass	David Reed	Yes	Incomplete
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Checklist Item	COMMENTS	Approved
Comment	Sor collected for exterior shear wall only, ok to exterior wrap	No

NOTES	Created By	TEXT	Created Date
	Skylar Wilk	Field contact name : Mike Terry, phone number: (949) 466-0900.	08/07/2023

10/31/2023	10/31/2023	Shear and Hold Downs	iBLD-042279-2023	Partial Pass	David Reed	Yes	Incomplete
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**Reinspection of iBLD-029883-2023**

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

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	IVR Number: 231644	

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
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Checklist Item	COMMENTS	Approved
Comment	See sheet s-3 for orange highlighted main floor shear wall 8'9" (D) ok to install drywall behind fireplace.	No

NOTES	Created By	TEXT	Created Date
	Skylar Wilk	Field contact name : Mike Terry, phone number: (949) 466-0900.	08/07/2023

10/31/2023	Water Pipe Underground	iBLD-041976-2023	Approved	David Reed	No	Complete
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Checklist Item	COMMENTS	Approved
Comment	Water service meter to house ok, ok to backfill/ cover	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael, phone number: (949) 466-0900.	10/29/2023

11/29/2023	11/29/2023	Gas Pipe Rough	iBLD-046294-2023	Correction	Bill Tuman	Yes	Complete
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Checklist Item	COMMENTS	Approved
Correction	Provide nail protection at all gas lines throughout.	No

11/29/2023	Rough Plumbing & Pan Test	iBLD-046268-2023	Correction	Bill Tuman	Yes	Complete
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Checklist Item	COMMENTS	Approved
Correction	1. Basement bar sink to slope towards drain. 2. Provided toilet block support at toilet 90 for powder bath and above garage ceiling. 3. Provided nail plate protection for gas line at kitchen, master closet, and upstairs laundry/elevator wall thru out house. 4. Provide fire rated condensate box at firewall for water heater in garage. 5. Provide TPRV Water heater, drain line to outside. 6. Provide specs for thermostatic valve for master tub, or Provide remote thermostatic valve.	No

12/05/2023	12/05/2023	Rough Plumbing & Pan Test	iBLD-047114-2023	Correction	Rick La Bare	Yes	Complete
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**Reinspection of iBLD-046268-2023**

# PERMIT INSPECTION HISTORY REPORT (X2018-3245)

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Checklist Item	COMMENTS	Approved
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Correction	of previous corrections only items four and six remain. GC, you to get fire rated box for standpipe, and there is a tankless water heater that the temperature can be set lowers. Therefore, the thermostatic mixing valve isn't required. It should also be noted that the closet been that require the blocking over the garage also moon a trust cord please consult the engineer for repair at this location.	No
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02/20/2024	02/20/2024	Gas Pipe Underground	iBLD-006317-2024	Approved	Rick La Bare	No	Complete
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Checklist Item	COMMENTS	Approved
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Comment	From the meter to the house	Yes
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	02/17/2024

02/20/2024	HVAC Pre-Wrap	iBLD-006318-2024	Cancelled	Rick La Bare	Yes	Complete
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Checklist Item	COMMENTS	Approved
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Comment	What is supposed to be rough mechanical but the structure isn't wrapped and they don't have their condenser permit, so I cancel it	No
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

02/20/2024	Other - Plumbing	iBLD-006320-2024	Cancelled	Rick La Bare	Yes	Complete
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NOTES	Created By	TEXT	Created Date
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	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024
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02/20/2024	Rough Electric Residential	iBLD-006319-2024	Correction	Rick La Bare	Yes	Complete
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Checklist Item	COMMENTS	Approved
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Correction	need to add power for FS bell and smoke detector interconnection Build soffit in the garage for concealment of wiring and support wiring relocate smoke detector in master to the sleeping quarters.	No
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	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024																
02/20/2024		Rough Plumbing & Pan Test	iBLD-006481-2024	Approved	Rick La Bare	No	Complete												
<b>Reinspection of iBLD-047114-2023</b>																			
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Correction		No																	
03/12/2024	03/12/2024	Complete Framing	iBLD-009136-2024	Cancelled	Rick La Bare	Yes	Complete												
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03/12/2024		Rough HVAC/Mech/Fireplace	iBLD-009135-2024	Cancelled	Rick La Bare	Yes	Complete												
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03/19/2024	03/19/2024	Complete Framing	iBLD-010182-2024	Correction	Rick La Bare	Yes	Complete												
<b>Reinspection of iBLD-009136-2024</b>																			
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	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/18/2024																
03/19/2024		Rough HVAC/Mech/Fireplace	iBLD-010477-2024	Approved	Rick La Bare	No	Complete												
<b>Reinspection of iBLD-009135-2024</b>																			

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Checklist Item	COMMENTS	Approved
Comment	I am approving rough mechanical for workmanship on the ductwork and related equipment however, see complete framing for issues with deck location per title 24 and fire rating under expose stairs at basement	No

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/10/2024

04/08/2024	04/08/2024	Complete Framing	iBLD-012858-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-010182-2024

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900.	03/10/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	03/18/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	04/04/2024

04/08/2024	Gas Pipe Rough	iBLD-013405-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-046294-2023

Checklist Item	COMMENTS	Approved
Correction		No

HVAC Pre-Wrap	iBLD-012857-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-006318-2024

Checklist Item	COMMENTS	Approved
Comment	HVAC previously approved	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm	04/04/2024

04/08/2024	Rough Electric Residential	iBLD-013406-2024	Approved	Rick La Bare	No	Complete
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Reinspection of iBLD-006319-2024

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	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

04/23/2024	04/23/2024	Insulation/Densglass	iBLD-015298-2024	Approved	Charles Wilson	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	04/20/2024

05/09/2024	05/09/2024	Drywall Fire Caulk	iBLD-017656-2024	Approved	Steven Lane	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please confirm receipt.	05/07/2024

05/22/2024	05/22/2024	Vapor Barrier/Exterior Lath/Veneer Lath	iBLD-019575-2024	Approved	David Reed	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	05/21/2024

06/21/2024	06/21/2024	Other - Plumbing	iBLD-023977-2024	Approved	Jason Rudenick	No	Complete
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**Reinspection of iBLD-006320-2024**

Checklist Item	COMMENTS	Approved
Comment	Pan test ok	Yes

NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	02/17/2024

06/21/2024	Shower Lath	iBLD-023758-2024	Approved	Jason Rudenick	No	Complete
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NOTES	Created By	TEXT	Created Date
	Michael Terry	Field contact name : Michael Terry, phone number: (949) 466-0900. Please call to confirm.	06/19/2024



# City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone (949)644-3288  
Inspection Requests Phone (949)644-3255

Combination Type - **SFP ELEC MECH PLUM GRAD**



## COMB Permit : X2018-3245

Project No : 2530-2018

Issued Date : 10/15/2020

Inspection Area : *56*

**PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 10/16/2023 OR PERMIT WILL BE INVALID**  
**Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays**

Job Address: **540 HAZEL DR NB**  
Description: **NEW SFR W/ ATTACHED GARAGE & BASEMENT 3972 SF & 463 SF**  
Legal Desc.: **N TR 673 BLK B LOT 27**

# INSPECTOR

Owner: **CHRISTENSEN FRANK DANA**  
Address: **544 HAZEL DR  
CORONA DEL MAR, CA 92625**  
Phone: **949-933-4488**

Contractor: **GRAYSTONE CUSTOM BLDRS INC**  
Address: **3419 VIA LIDO STE 455  
NEWPORT BEACH CA 92663**  
Phone: **949-466-0900**

Architect: **CHILDS CYNTHIA**  
Address: **2732 E COAST HWY #B  
CORONA DEL MAR CA 92625**  
Phone: **949-718-3528** State Lic: **C022985**

Applicant: **AUSTIN PAT**  
Address: **2732 E. COAST HWY STE B  
NEWPORT BEACH, CA 92625**  
Phone: **949-718-3528**

Con State Lic: **971085**  
Lic Expire: **03/31/2022**  
Bus Lic: **BT30040057**  
Lic Exp Date: **03/31/2021**

Engineer: **SHEPPARD STEVEN THOMAS**  
Address: **28782 EL MIO LANE  
LAGUNA NIGUEL CA 92692**  
Phone: **949-481-9669** State Lic: **S-005446**

Code Edit : **2016**  
Type of Construction: **V-B-SPR**  
Occupancy Group: **R3/U**  
Added /New sq.ft. Bldg: **3972**  
Added /New sq. ft. Garage: **463**  
No of Stories: **2**  
No of Units : **1**  
Bldg Height: **0**  
Bldg Sprinklers: **Y**  
Flood Zone: **X**

Worker's Compensation Insurance  
Carrier: **STATE FUND**  
Policy No: **9216106**  
Expire: **08/15/2021**

Designer:  
Address:  
Phone:

Building Setbacks Rear: **10'**  
Front: **5'**  
Left: **4'**  
Right: **4'**

Special Conditions:

Use Zone: Parking Spaces: **0** Fire Hazard Zone : **N**

Construction Valuation: **\$752,000.00**

Building Permit Fee: **\$6,416.00**  
Plan Check Fee: **\$4,433.50**  
Overtime Plan Ck: **\$0.00**  
Investigation Fee: **\$0.00**  
Record Management : **\$116.00**  
Energy Compliance: **\$303.00**  
CA Seismic Safety : **\$97.76**  
Disabled Access : **\$0.00**  
Hazardous Mat **\$0.00**  
Building Green Fee : **\$31.00**

Excise Tax: **\$931.35**  
Additional Fee : **(\$295.50)**  
Grading Bonds Fee: **\$0.00**  
Grading PC Consultant : **\$1,451.40**  
Grading Permit Fee: **\$1,230.00**  
Grading PC Fee: **\$318.60**  
WQ Insp. Fee : **\$120.00**  
Electrical %: **\$839.85**  
Mechanical %: **\$479.92**  
Plumbing %: **\$1,079.81**

Planning Department -  
Plan check Fee : **\$508.75**  
Fair Share : **\$0.00**  
SJH Trans : **\$0.00**  
In-lieu Housing Fee : **\$0.00**  
Public Works Department -  
Park Dedication : **\$0.00**  
P/W Plan Check : **\$301.00**  
San Dist : **\$2,835.00**  
NMUSD Fee: **\$5,744.48**

Fire Department  
Fire Inspection: **\$0.00**  
Fire Plan Rev **\$0.00**  
Demolition Fee  
Building Dept Adm **\$0.00**  
General Service **\$0.00**  
Refund Deposit **\$0.00**  
Grading Bond: **\$0.00**  
**\$0.00**  
**\$0.00**

**TOTAL FEE : \$26,941.92**

**Plan Check Fee : \$5,687.95**

**Fee Due at Permit Issuance : \$21,253.97**

PROCESSED BY: *[Signature]*

PUBLIC WORKS APPROVAL: *[Signature]*

ZONING APPROVAL: *[Signature]*

PLAN CHECK BY: *[Signature]*

GRADING APPROVAL: *[Signature]*

APPROVAL TO ISSUE: *[Signature]*

**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date 10/15/2020 Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date 10/15/2020

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name Michael Terry Date 10/15

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE:	



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### PRE-GRADE MEETING AGREEMENT

DATE: 3-17-21 JOB ADDRESS: 540 HAZEL CDM

1. The grading plan check number for this site is \_\_\_\_\_ and will be referred to in all reports, certifications and correspondence.
2. **STOP ORDERS** Whenever any work is being done contrary to the provisions of the City Codes, the Chief Building Official or his authorized representative may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done and any such persons shall forthwith stop such work until authorized by the Chief Building Official to proceed with the work.
3. The stamped set of approved plans shall be on the job site at all times.
4. **NOTIFICATION OF NONCOMPLIANCE** If, in the course of fulfilling their responsibilities, the civil engineer, surveyor, the soils engineer, the engineering geologist or the testing agent finds that the work is not being done in conformance with the approved grading plans, the discrepancies shall be reported immediately in writing to the person in charge of the grading work and to the Building Division. Recommendations for corrective measures, if necessary, shall be submitted to the Building Division for approval.
5. When import or export of materials is required, haul routes to and from the site shall be approved by the City Traffic Engineer and hauling procedures shall be in accordance with Chapter 15 of the Newport Beach Municipal Code (NBMC). Contractor shall use Best Management Practices (BMP's) to insure that all water quality issues are addressed.
6. Between October 1 and April 30, erosion control BMP measures shall be in place. During the remainder of the year dry season wind erosion BMP's (dust control) shall be implemented. Sediment control BMP's shall be installed and maintained at all operational storm drain inlets internal to the project. BMP's to control off-site sediment tracking shall be implemented and maintained. Appropriate BMP's to prevent contamination of stormwater from construction activities shall be implemented. A "weather triggered" action plan and the ability to deploy BMP's to protect all exposed portions of the site within 48-hours when the National Weather Service forecasts a 50% or greater chance of rain.
7. All fills shall be compacted throughout to a minimum of 90 percent compaction as determined by ASTM test method 1557 and approved by the soils engineer. Compaction tests shall be performed according to the preliminary soils report.
8. All trench (including interior and exterior utility trenches) and retaining wall backfill shall be compacted throughout to a minimum of 90 percent relative compaction and approved by the soils engineer.
9. Whenever work on which required inspection/testing is covered by additional work without first being inspected/tested, the Chief Building Official shall require by written notice that the work be exposed for examination. The work of exposing and recovering shall not entail or be subject to expense to the City of Newport Beach and will be the sole expense of the Permittee.
10. Landscaping of all slopes and pads shall be in accordance with 15.10.130 of the NBMC.
11. Approved drainage provisions shall be used to protect adjoining properties during the grading operation.



12. The permittee or his agent shall notify the Building Division when the grading operation is ready for each of the following inspections:
  - a. PRE-GRADE MEETING When the permittee is ready to begin work, but not less than two days before any grading or brushing is started.
  - b. DRAINAGE DEVICE INSPECTION After forming of terrace drains, down drains or after placement of pipe in subdrains, but before any concrete or filter material is placed.
  - c. SPECIAL
  - d. ROUGH GRADING When all rough grading has been completed, the rough grade report shall be provided to the Building Inspector at foundation inspection or sooner based on the Building Inspector's discretion.
  - e. FINAL When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan, professional approvals and the required reports have been submitted.
13. All footing excavations, slab on grade areas and subdrains shall be inspected and approved by the Geotechnical Engineer or Engineering Geologist. Written approval shall be submitted to the Building Inspector.
14. Prior to the start of grading, all permanent property corner monuments shall be in place. Prior to any foundation inspections, proof of recordation of the "corner record" or "record of survey" with the County of Orange shall be provided.
15. The undersigned acknowledge a copy of the above and agree to comply with the Grading Code of the City of Newport Beach, the recommendations of the project soils report and any special requirements of the permit.
16. Prior to foundation inspection a Line and Grade Certificate Form must signed and stamped by the surveyor of record and submitted to the building inspector. A Structural Observation Report may be required.
17. All parties listed below must be present for the pregrade meeting unless approved by the building inspector.
18. All duplex construction requires separate utilities (sewer, water, gas, electrical, fire sprinkler risers).

OWNER/CONTRACTOR: Grayston Custom Builders, Inc. DESIGN CIVIL ENGR.: Forchert Engineering & Surveying  
 By: [Signature] By: Thomas Ruiz  
 Address: 3919 VIA VINO, #455 Address: 22311 Brookhurst St. Suite 203 H.B.  
 Telephone: 949-466-0900 Telephone: (714) 968-6793

GEOTECHNICAL ENGINEER: R McCarthy Consulting GEOLOGIST.: R McCaughy Consulting  
 By: \_\_\_\_\_ By: Peter Anderson  
 Address: \_\_\_\_\_ Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ Telephone: 949-371-3690

GRADING CONTR.: Tight Quarters COORDINATOR: \_\_\_\_\_  
 By: Dan Powers By: \_\_\_\_\_  
 Address: 766 ~~Butler~~ 2031 S Anne St. Address: \_\_\_\_\_  
 Telephone: SA 714 557-7901 Telephone: \_\_\_\_\_

NEWPORT BEACH REPRESENTATIVE: DAVID REED PHONE #: 949 644-3252  
 INSPECTION REQUESTS: (949) 644-3255

Newport Beach Construction Hours:  
 Monday through Friday: 7:00 a.m. to 6:30 p.m.  
 Saturdays: 8:00 a.m. to 6:00 p.m.  
 No work on Sundays and Holidays



**City of Newport Beach**

Community Development Department - Building Division  
100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone: (949) 718-1888  
newportbeachca.gov/civic  
Combination Type - SFP  
Work Class - New



**COMB Permit : F2023-0361**

Plan Check No : PC2023-1848  
Issued Date : 08/01/2023  
Final Date:  
Permit Status: Issued  
Inspection Area : 6

**PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE  
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS**

Job Address : 540 HAZEL DR  
Description : SFR FIRE SPRINKLER SYSTEM 39 HEADS (X2018-3245)

Legal Desc : N TR 673 BLK B LOT 27

Owner : CHRISTENSEN FRANK DANA TR THE  
CHRISTENSEN-BROWN LI  
Address : 133 WILLOWBEND  
IRVINE, CA 92612  
Phone :  
  
Applicant : FIREGUARD SPRINKLER SYSTEMS  
Address : 7907 LEEDS ST  
DOWNEY, CA 90242  
Phone : (714) 310-0194

Contractor : FIREGUARD SPRINKLER SYSTEMS  
Address : 7907 LEEDS ST  
DOWNEY, CA 90242  
Phone : (714) 310-0194  
Con State Lic : 992002  
Lic Expire : 04/30/2024  
Bus Lic : BT30078648  
Bus Lic Expire : 05/31/2024

Architect :  
Address :  
Phone :  
State Lic :

Owner/Builder :  
Address :  
Phone :

Workers' Compensation Insurance  
Carrier : FALLS LAKE FIRE & CASUALTY CO  
Policy No : FLA008008  
W. C. Expire : 12/29/2023

Engineer :  
Address :  
Phone :  
  
Designer : FIREGUARD SPRINKLER SYSTEMS  
Address : 7907 LEEDS ST  
DOWNEY, CA 90242  
Phone : (714) 310-0194

Code Edition : 2019  
Type of Construction : V-B  
Occupancy Groups : R3/U  
Bldg Height :

Fire Sprinklers : YES  
Fire Hazard Zone : YES  
No of Units : 1  
No of Stories : 3

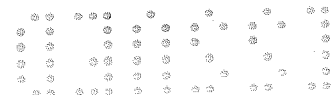
Construction Valuation : \$7,000.00  
Added/New/TI sq. ft. Bldg : 0  
Alteration sq. ft. Bldg :  
Added/New sq. ft. Garage : 0  
TOTAL sq. ft. : 0

Building Setbacks : Front: 5, Side: 4, Side: 4, Rear: 10  
Flood Zone : X  
Use Zone : R-1 - Single-Unit Residential

PROCESSED BY : \_\_\_\_\_

SPECIAL CONDITIONS:

INSPECTOR



**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do  all of or  portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

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By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No. \_\_\_\_\_ Date 8/1/23 Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

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I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date 8/1/23

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name John Vo Date 8/1/23

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input checked="" type="checkbox"/> SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION	
			SIGNATURE:	



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

### FIRE SPRINKLER NFPA 13D SYSTEM ROUGH INSPECTION CHECKLIST

	YES	NO
1. <u>Riser Construction and Location Approval</u>		
a. Drain valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Backflow device (single check)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Bell activation device	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
d. Inspector's test valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Riser sized per approved plans		
2. <u>Pressure Test</u>		
a. System tested at operating pressure for 2 hours	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Pressure gauge installed	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. <u>Sprinkler Heads shall not be installed in the fittings prior to the fittings being cemented in place (temporary test plugs)</u>		
a. Installation and spacing of temporary test plugs	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. <u>Piping</u>		
a. Material installed per plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Hangers per codes/prevent upward movement	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. All CPVC piping shall be installed by persons who have been certified by the manufacturer for installation of CPVC piping	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Piping protected from damage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. <u>Bell</u>		
a. Wiring installed per code	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
b. Boxes installed at proper locations	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**NOTE:** CPVC plastic pipe in the garage shall not be exposed. Sprinklers that are listed as "Quick Response" or "Residential" must be used.

CORRECTIONS AND NOTES: 540 HAZEL DR.

FIRE SPRINKLER NFPA 13D SYSTEM ROUGH INSPECTION APPROVED:	
BY: <u>[Signature]</u>	PERMIT #: <u>F2023-0361</u>
	DATE: <u>2/1/2024</u>



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1766 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

### FIRE SPRINKLER NFPA 13D SYSTEM FINAL CHECKLIST (RESIDENTIAL)

	<u>YES</u>	<u>NO</u>
1. Water meter proper size	<input type="checkbox"/>	<input type="checkbox"/>
2. Fire sprinkler system installed per the approved plans	<input type="checkbox"/>	<input type="checkbox"/>
3. All construction covers removed from sprinkler heads	<input type="checkbox"/>	<input type="checkbox"/>
4. Cover plates are NOT to be installed, but shall be available on the jobsite	<input type="checkbox"/>	<input type="checkbox"/>
5. All tape and paint removed from sprinkler heads	<input type="checkbox"/>	<input type="checkbox"/>
6. Finish trim installed around sprinkler heads	<input type="checkbox"/>	<input type="checkbox"/>
7. Proper signage posted at all required locations	<input type="checkbox"/>	<input type="checkbox"/>
8. Flow test conducted and bell tested	<input type="checkbox"/>	<input type="checkbox"/>
9. Location of Inspector's testing valve in approved location	<input type="checkbox"/>	<input type="checkbox"/>
<b><u>SYSTEMS:</u></b>		
10. Clearances around sprinkler heads and riser - no obstructions	<input type="checkbox"/>	<input type="checkbox"/>
11. Operating pressure gauge installed at riser showing proper water pressure	<input type="checkbox"/>	<input type="checkbox"/>
12. Back flow preventer installed	<input type="checkbox"/>	<input type="checkbox"/>
13. System installed per manufacturers specifications	<input type="checkbox"/>	<input type="checkbox"/>

NOTES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<b>FIRE SPRINKLER NFPA 13D SYSTEM FINAL APPROVED:</b>	
BY: _____	PERMIT #: _____
	DATE: _____



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

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**SETBACKS AND TOP OF SLAB/FLOOR**  
**ELEVATION CERTIFICATE**

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

\* ~~Top of slab/floor elevation:~~ piles #5 & #13

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

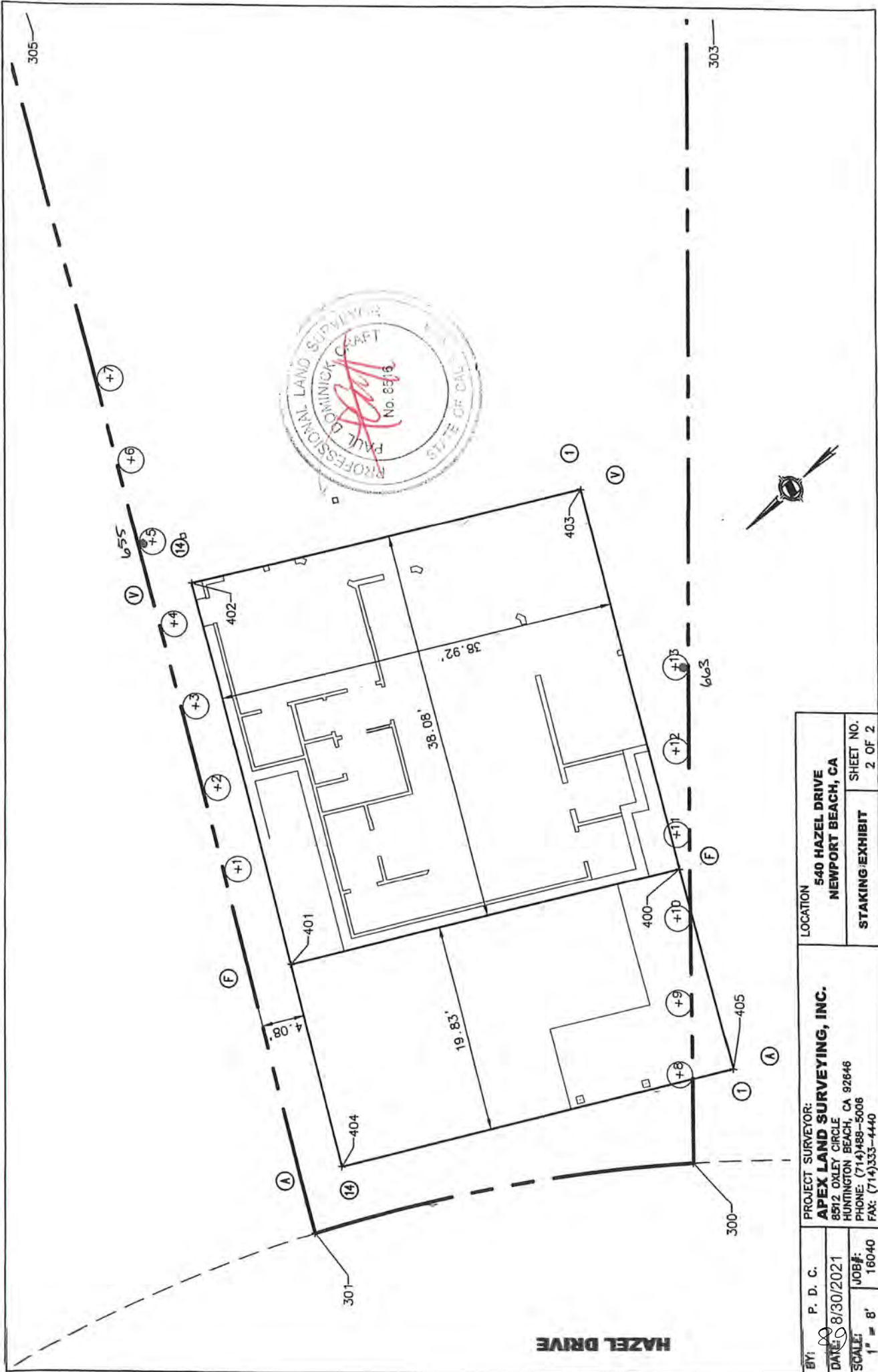
I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

8/30/2021  
Date  
JN: 16040

\_\_\_\_\_  
Engineer/Surveyor's stamp and signature





**HAZEL DRIVE**

BY: P. D. C.	PROJECT SURVEYOR:	LOCATION
DATE: 8/30/2021	<b>APEX LAND SURVEYING, INC.</b>	540 HAZEL DRIVE NEWPORT BEACH, CA
SCALE: 1" = 8'	8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646	STAKING/EXHIBIT
JOB#: 16040	PHONE: (714)488-5006	SHEET NO. 2 OF 2
	FAX: (714)333-4440	



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

**SETBACKS AND TOP OF SLAB/FLOOR**  
**ELEVATION CERTIFICATE**

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

\* ~~Top of slab/floor elevation:~~ pile #7

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

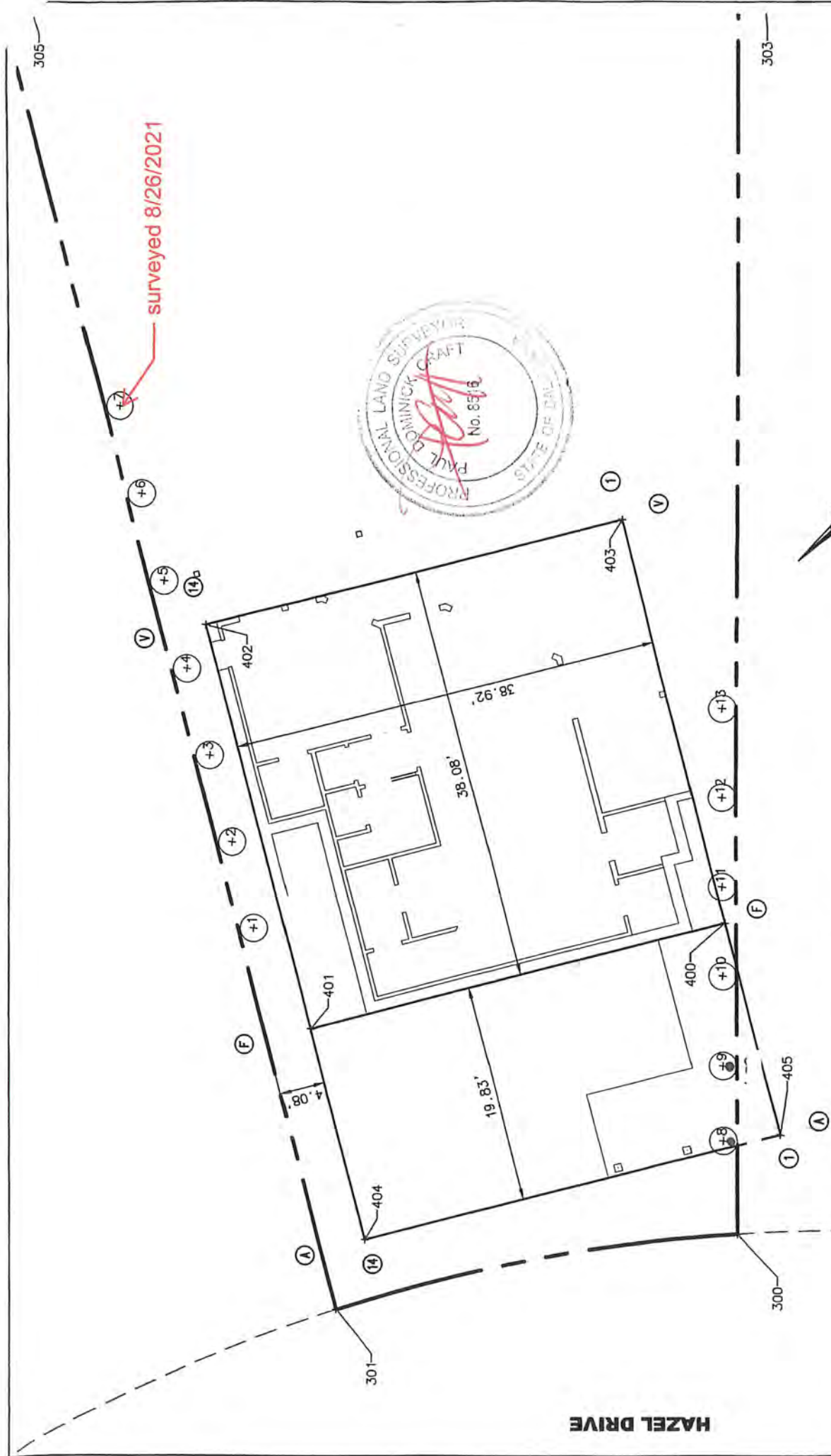
I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

8/26/2021

Date  
JN: 16040



\_\_\_\_\_  
Engineer/Surveyor's stamp and signature



**HAZEL DRIVE**

BY: P. D. C.	PROJECT SURVEYOR: <b>APEX LAND SURVEYING, INC.</b>	LOCATION <b>540 HAZEL DRIVE NEWPORT BEACH, CA</b>
DATE: 7/12/2021	8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646	SHEET NO. 2 OF 2
SCALE: 1" = 8'	PHONE: (714)488-5006 FAX: (714)333-4440	<b>STAKING EXHIBIT</b>





**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

**SETBACKS AND TOP OF SLAB/FLOOR**  
**ELEVATION CERTIFICATE**

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 17853 Santiago Boulevard, Ste. 107-285, Villa Park, CA 92861

Job Address 540 Hazel Avenue, Corona Del Mar

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

\* Top of slab/floor elevation: FF = 151.88 - Top of Forms = FF-3/4" = 151.82

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

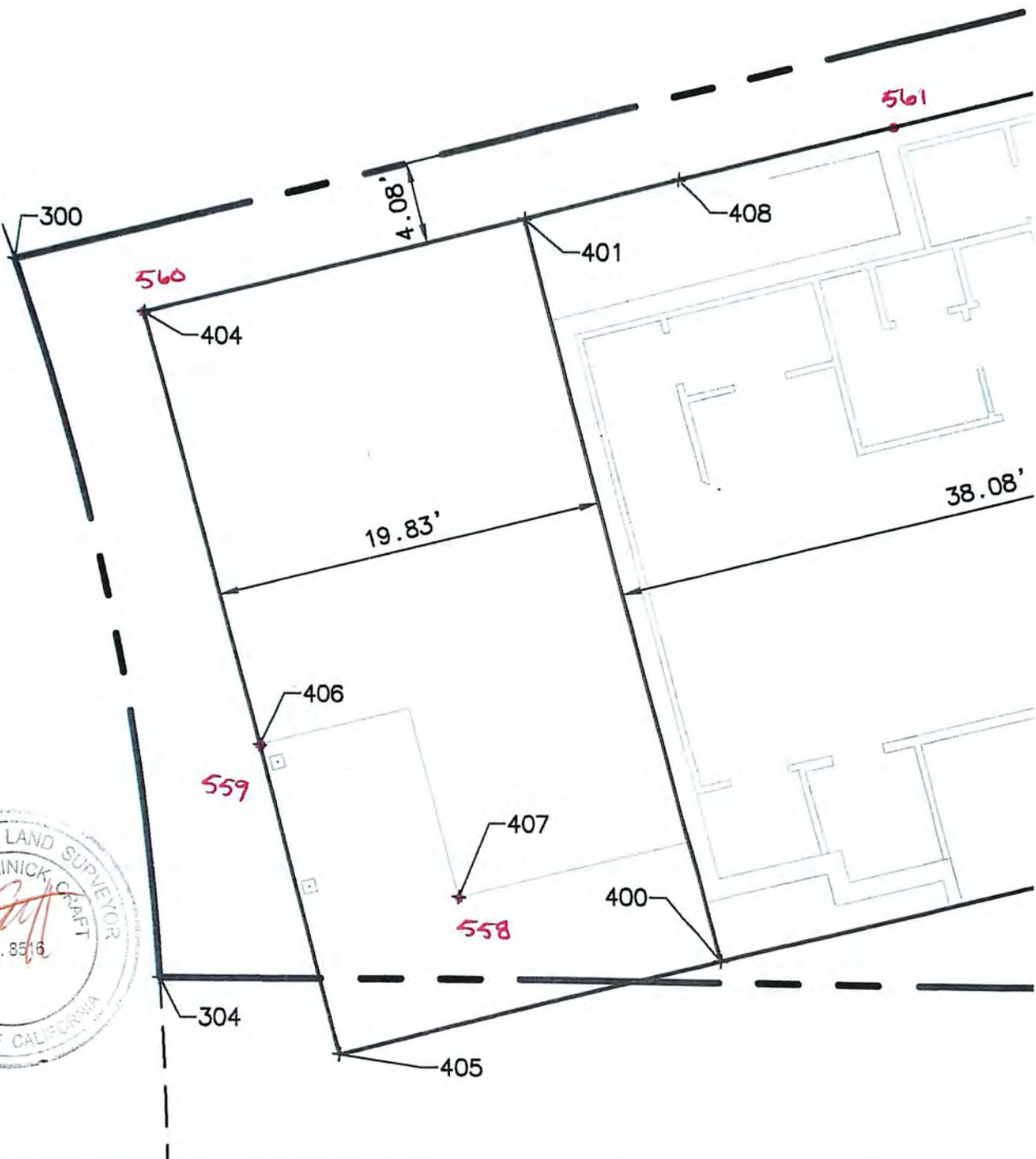
8/12/2022  
Date  
JN: 16040

\_\_\_\_\_  
Engineer/Surveyor's stamp and signature

**HAZEL DRIVE**



157.82



BY: P. D. C.		PROJECT SURVEYOR: <b>APEX LAND SURVEYING, INC.</b> 8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646 PHONE: (714)488-5006 FAX: (714)333-4440	LOCATION <b>540 HAZEL DRIVE NEWPORT BEACH, CA</b>	
DATE: 11/19/2021	JOB#: 16040		STAKING EXHIBIT 93	SHEET NO. 2 OF 2
SCALE: 1" = 8'				





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

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Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 17853 Santiago Boulevard, Ste. 107-285, Villa Park, CA 92861

Job Address 540 Hazel Drive, Corona Del Mar, CA 92625

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).


\* Top of slab/floor elevation: \_\_\_\_\_

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

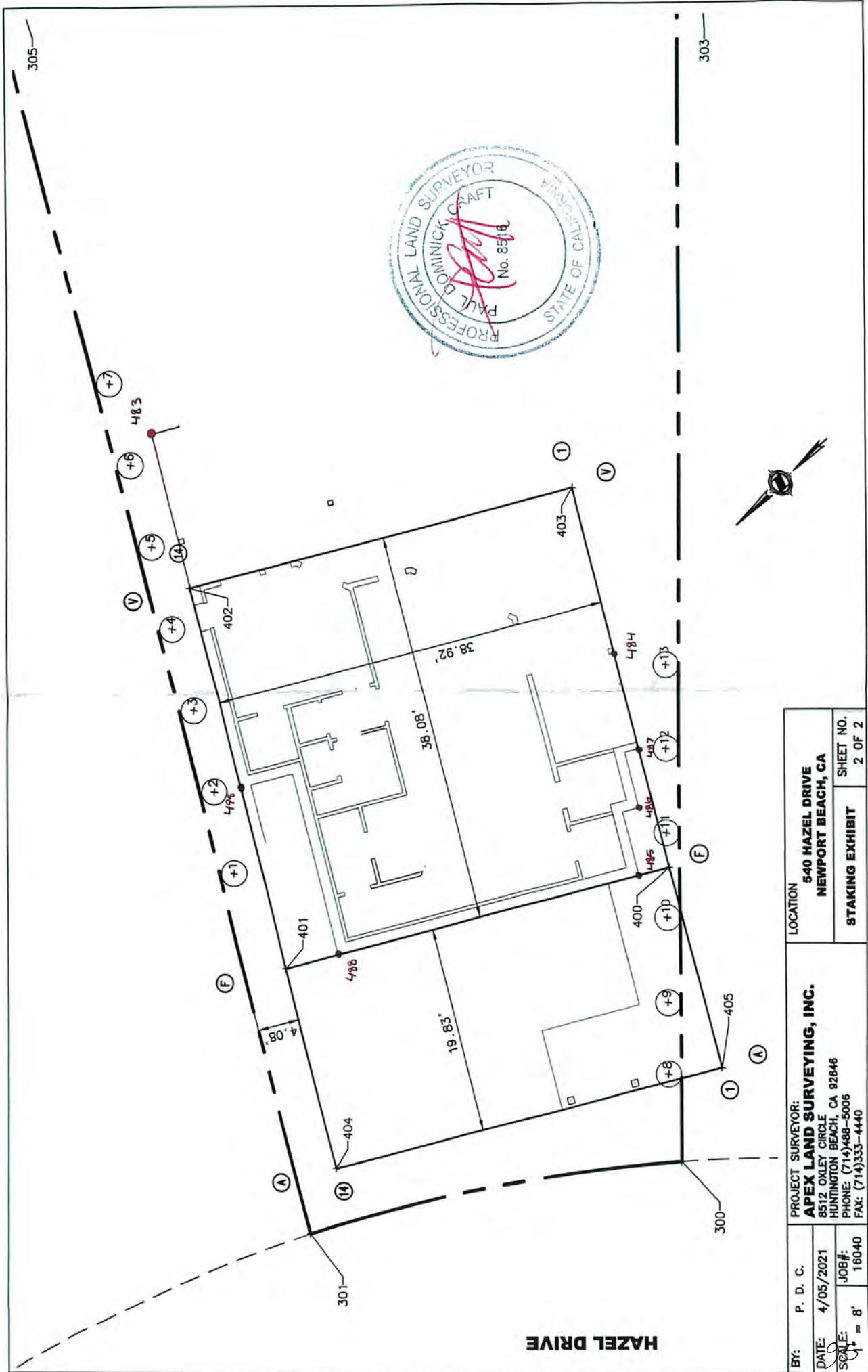
I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

5/2/2022  
Date  
JN: 16040

  
Engineer/Surveyor's stamp and signature





BY: P. D. C.	PROJECT SURVEYOR:	LOCATION	STAKING EXHIBIT	SHEET NO. 2 OF 2
	DATE: 4/05/2021	APEX LAND SURVEYING, INC. 8512 OXLEY CIRCLE HUNTINGTON BEACH, CA 92646 PHONE: (714)488-5006 FAX: (714)333-4440		
SCALE: 1" = 8'	JOB#:			
	16040			

HAZEL DRIVE



# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

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[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

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Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

\* Top of slab/floor elevation: n/a

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

7/12/2021

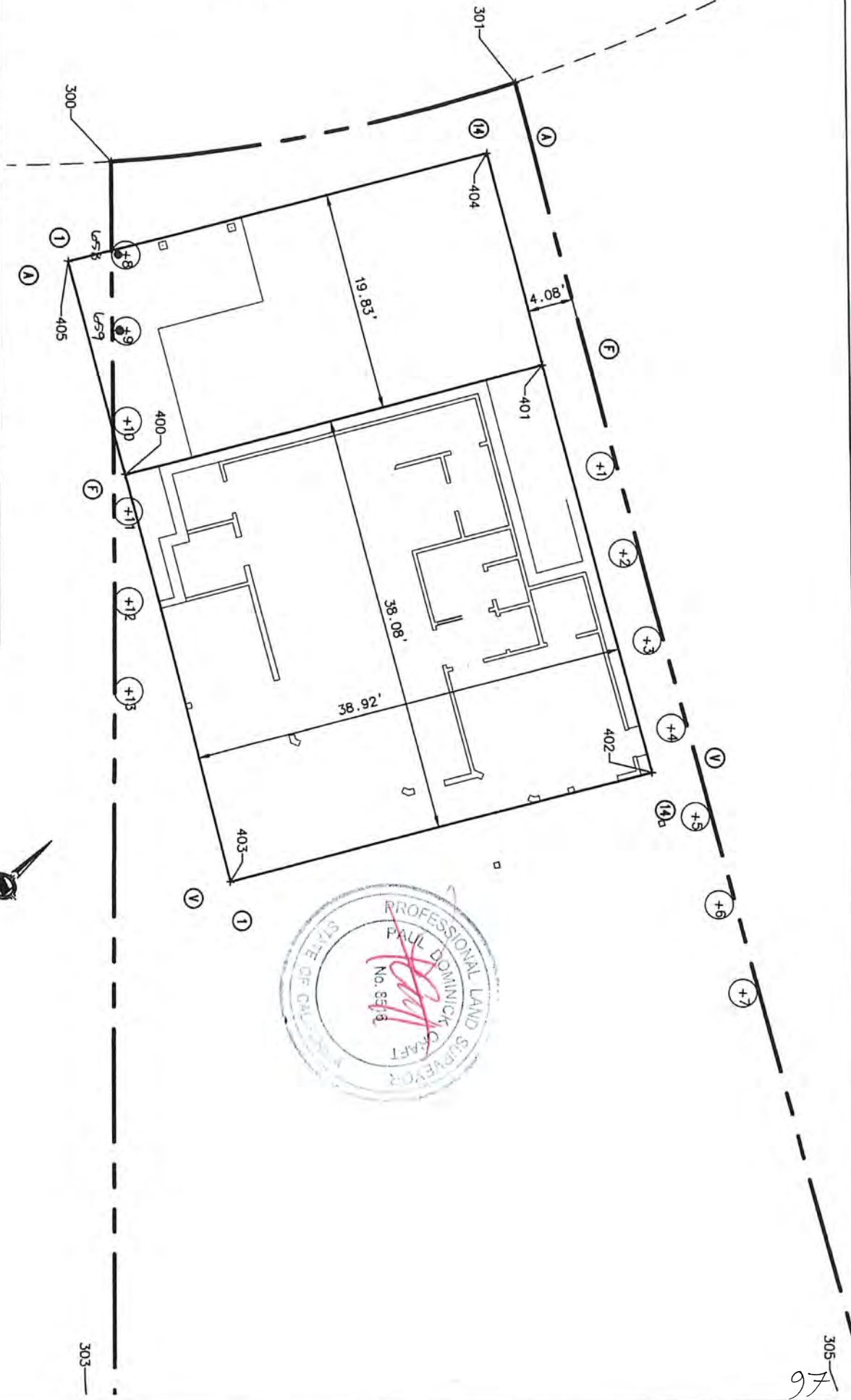
Date  
JN: 16040

Engineer/Surveyor's stamp and signature



**HAZEL DRIVE**

BY: P. D. C.	PROJECT SURVEYOR:
DATE: 7/12/2021	APEX LAND SURVEYING, INC.
SCALE: 1" = 8'	8512 OXLEY CIRCLE
JOB#: 16040	HUNTINGTON BEACH, CA 92646
	PHONE: (714) 488-5006
	FAX: (714) 333-4440
LOCATION	
540 HAZEL DRIVE	
NEWPORT BEACH, CA	
STAKING EXHIBIT	SHEET NO.
	2 OF 2



305  
 97





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
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### SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

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After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

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Engineer/Surveyor's Name Paul D. Craft License # P.L.S. 8516

Engineer/Surveyor's Address 20422 Beach Boulevard, Suite 225, Huntington Beach, CA 92648

Job Address 540 Hazel Drive, Corona del Mar, CA

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

\* Top of slab/floor elevation: n/a

\* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are , are not , per City approved plans. Describe any deviations from plans: \_\_\_\_\_

I certify that top of slab/floor elevation(s) is , is not , per City approved drawings. Describe any deviations from plans: \_\_\_\_\_

5/13/2021  
Date  
JN: 16040

  
\_\_\_\_\_  
Engineer/Surveyor's stamp and signature



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
 www.newportbeachca.gov | (949) 644-3200

**BUILDING HEIGHT CERTIFICATION**

*Corona Road*  
*Missing*

Project Street Address: 540 Hazel Drive, Corona Del Mar

Building Permit Number(s): #

As the surveyor of record for the project at the above address, I hereby certify that the City of Newport Beach approved plan and original topographic survey and based thereon the elevations listed below on those plans.

Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on:  NAVD88       NGVD29       Assumed

Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.

*RIDGES (3:12 slope or greater)*

- (A) Approved elevation point of ridge is 176.95 and actual elevation point is 175.88
- (B) Approved elevation point of ridge is 174.79 and actual elevation point is 174.57
- (C) Approved elevation point of ridge is 172.59 and actual elevation point is 169.62
- (D) Approved elevation point of ridge is 171.47 and actual elevation point is 171.42
- (E) Approved elevation point of ridge is 170.00 and actual elevation point is 169.57
- Approved elevation point of ridge is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_
- Approved elevation point of ridge is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_

*FLAT ROOFS, PARAPETS AND GUARDRAILS*

- (F) Approved elevation point of flat roof or parapet is 161.50 and actual elevation point is 150.53 DECK
- (G) Approved elevation point of flat roof or parapet is 162.71 and actual elevation point is 150.53 DECK
- (H) Approved elevation point of flat roof or parapet is 164.29 and actual elevation point is 160.78 DECK
- Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_
- Approved elevation point of flat roof or parapet is \_\_\_\_\_ and actual elevation point is \_\_\_\_\_

I certify that the above height measurements are correct and the above project:

- IS in compliance with the City-approved plans.
- IS NOT in compliance with the City-approved plans (Provide explanation).

Please describe any deviation from the City-approved plans on the back of this form.

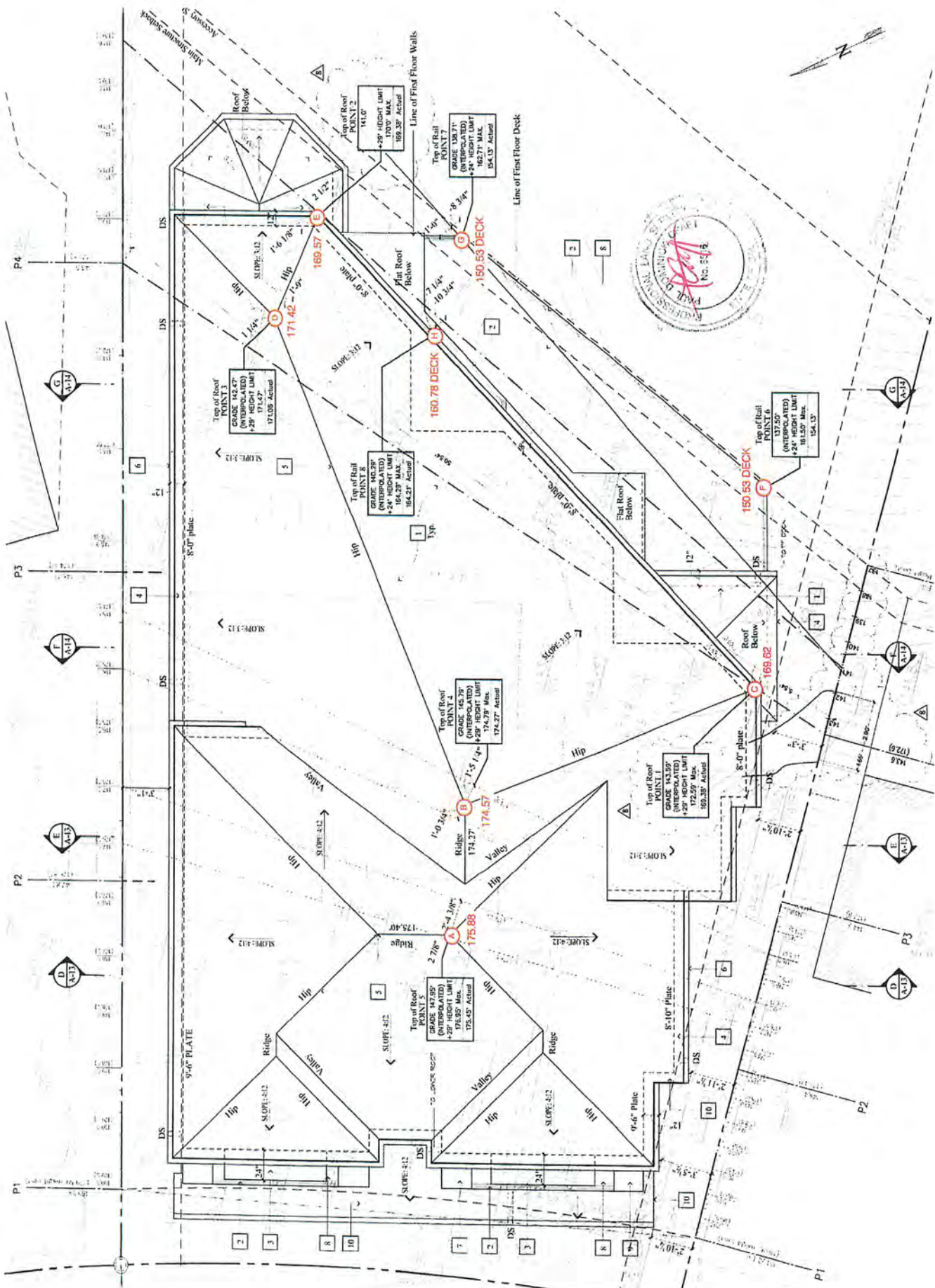


\_\_\_\_\_  
 JN: 16040 Surveyor or Civil Engineer's\* signature and seal  
 (Wet stamp and signature required)

7/18/2023  
 Date

\* License number of 33965 or lower









# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 2/23/24	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input checked="" type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Wood	Final Observation	2/23/24
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



STAMP OF STRUCTURAL OBSERVER

Steven Sheppard, S.E. Digitally signed by Steven Sheppard, S.E.  
Date: 2024.02.23 14:42:34 -08'00'

2/23/24

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

April 2, 2024

Cynthia Childs, Architect  
2732 East Coast Hwy. Ste. B  
Corona Del Mar, CA 92625

Subject: 540 Hazel, Corona Del Mar, CA

Ms. Childs,

After review of the photos provided by the contractor of the cut truss located in the floor framing along Gridline S5, it is our determination that the condition is acceptable without a significant loss of integrity to the structure. Reportedly the next adjacent truss is 16" from the next adjacent beam, therefore the truss that is cut was not required. For this reason repair is not necessary. We suggest 2x or truss blocking be added at the cut location in a head-out arrangement so the truss itself is supported and does not eventually fall out of position and damage the finishes.

We hope this correspondence is sufficient to proceed with ongoing work as needed. Please contact us at the number provided if there are further questions.

Sincerely,



Steve Sheppard, S.E.  
President,  
**SDC ENGINEERING**





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 2/24/23	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input checked="" type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Wood	Roof framing, sheathing, and exterior shear	7/24/23
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E. Digitally signed by Steven Sheppard,  
S.E.  
Date: 2023.07.24 16:38:11 -07'00'

**7/24/23**

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 8/31/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	slab on grade	8/31/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E.

Digitally signed by Steven Sheppard,  
S.E.  
Date: 2022.08.31 15:16:47 -07'00'

8/31/22

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

## **STRUCTURAL OBSERVATION REPORT INSTRUCTIONS**

When structural observation is required for a project, the structural observer shall perform site visits at significant construction stages throughout the progress of the work. Site visit frequency shall allow for correction of observed deficiencies without substantial effort or uncovering of the completed work. Structural observation site visits shall be performed for each construction stage identified on the approved construction documents.

The structural observer may utilize the City of Newport Beach "Structural Observation Report" form, or a similarly formatted report, to record the required observation visits. If the City's form is not used the alternate report shall be on the structural observer's letterhead, state the site address, plan check and permit numbers, stages and elements observed, date observed, and complete contact information for the structural observer. All structural observation reports, regardless of form used, shall include the license stamp and wet signature of the structural observer responsible for the project.

### **OBSERVED DEFICIENCIES**

When a deficiency is noted, the structural observer shall give copies of the completed structural observation report to the owner or owner's representative, project contractor, and the Chief Building Official or designee.

The contractor shall resolve all deficiencies prior to final inspection or acceptance of the structural work by the Chief Building Official, or designee.

### **FINAL STRUCTURAL OBSERVATION REPORT**

The structural observer shall submit a final structural observation report to the Chief Building Official, or designee, upon completion of the structural system. The final structural observation report shall state that the structural system conforms to the approved construction documents and that all previously observed deficiencies have been corrected. Final inspection or other acceptance of the structural system by the Chief Building Official, or designee, will not occur until the final structural observation report is received.





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 8/11/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sd-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	GARAGE LEVEL FOUNDATIONS	8/11/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E. Digitally signed by Steven Sheppard, S.E.  
 Date: 2022.08.11 16:56:02 -07'00'

8/11/22

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



## **STRUCTURAL OBSERVATION REPORT INSTRUCTIONS**

When structural observation is required for a project, the structural observer shall perform site visits at significant construction stages throughout the progress of the work. Site visit frequency shall allow for correction of observed deficiencies without substantial effort or uncovering of the completed work. Structural observation site visits shall be performed for each construction stage identified on the approved construction documents.

The structural observer may utilize the City of Newport Beach "Structural Observation Report" form, or a similarly formatted report, to record the required observation visits. If the City's form is not used the alternate report shall be on the structural observer's letterhead, state the site address, plan check and permit numbers, stages and elements observed, date observed, and complete contact information for the structural observer. All structural observation reports, regardless of form used, shall include the license stamp and wet signature of the structural observer responsible for the project.

### **OBSERVED DEFICIENCIES**

When a deficiency is noted, the structural observer shall give copies of the completed structural observation report to the owner or owner's representative, project contractor, and the Chief Building Official or designee.

The contractor shall resolve all deficiencies prior to final inspection or acceptance of the structural work by the Chief Building Official, or designee.

### **FINAL STRUCTURAL OBSERVATION REPORT**

The structural observer shall submit a final structural observation report to the Chief Building Official, or designee, upon completion of the structural system. The final structural observation report shall state that the structural system conforms to the approved construction documents and that all previously observed deficiencies have been corrected. Final inspection or other acceptance of the structural system by the Chief Building Official, or designee, will not occur until the final structural observation report is received.



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

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## Structural Observation Report

Project Address: 540 Hazel Drive	Report Date: 3/7/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Steven T. Sheppard	SO E-mail Address: steve@sdc-engineering.com	SO Telephone #: 949-481-9669	SO License / Reg. #: S5446

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	Grade Beams	3/7/22
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

**ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.**

**OBSERVED DEFICIENCIES AND COMMENTS:**

REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT:**

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Steven Sheppard, S.E. Digitally signed by Steven Sheppard, S.E.  
Date: 2022.03.07 12:23:33 -08'00'

**3/7/22**

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.





# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: December 1, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input checked="" type="checkbox"/> Other: wall stem	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	as noted below	12-01-21

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Reinforcement and components for the wall stem construction of all ~~shotcrete~~ concrete portions of the side yard site walls

CONCRETE

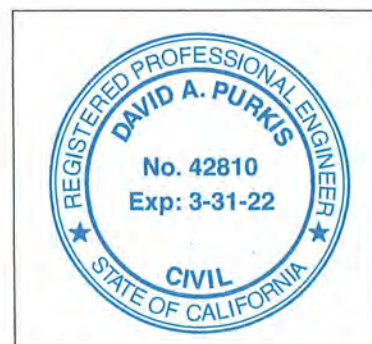
REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



STAMP OF STRUCTURAL OBSERVER

[Handwritten Signature]

12-01-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

**STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.**

Note: Top of Wall elevations shall remain as depicted on approved plans. CMU only to be used for free-standing wall sections above grade.

Vertical Steel per Table 'A'

8" CMU (Solid Grout)

8"CMU option to replace above grade concrete sections of the Site Retaining Wall with Integrated Temporary Shoring at 540 Hazel Drive, Corona del mar, California

Table A

Height of CMU	Vertical Steel
up to 4'	#4's @ 16" OC
up to 6'	#5's @ 16" OC
up to 8'	#5's @ 8" OC

center

Property Line  
(Where occurs; all construction activity to remain on the subject property)

Existing/Finished Grade



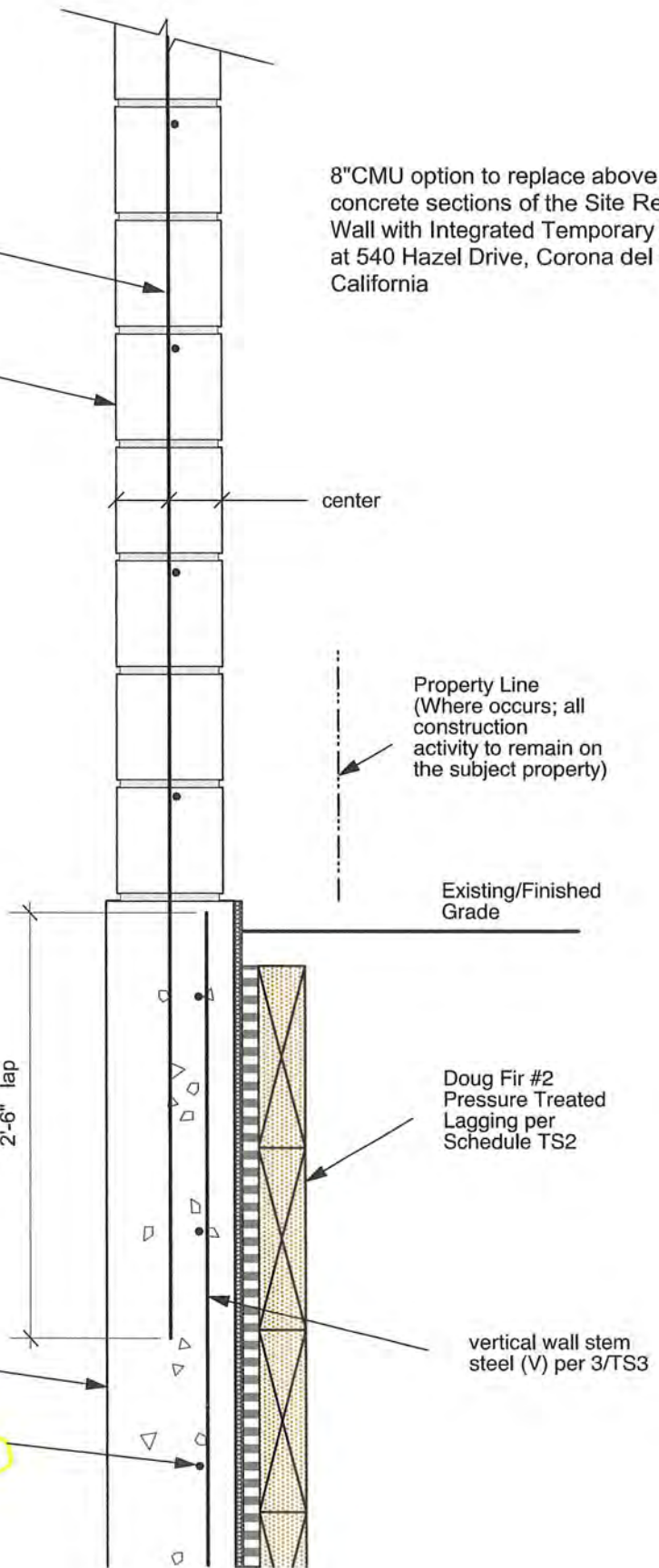
2'-6" lap

Doug Fir #2 Pressure Treated Lagging per Schedule TS2

9" Wall stem per 3/TS3

vertical wall stem steel (V) per 3/TS3

Horizontal steel #4's @ 16" oc







**CITY OF NEWPORT BEACH**  
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## Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: November 12, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	11-12-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

**ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.**

**OBSERVED DEFICIENCIES AND COMMENTS:**

Reinforcement set for retaining wall grade beams are in accordance with the project plans and direction of the undersigned engineer. The shoring/site wall grade beams are approved for concrete placement from a structural viewpoint.

REPORT CONTINUED ON ATTACHED PAGES.

**FINAL STRUCTURAL OBSERVATION REPORT:**

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
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11-12-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

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**CITY OF NEWPORT BEACH**  
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 100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

## Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: August 25, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	8-25-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Wide flange beams for remaining solder piles

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

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- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

08-25-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form Structural Observation Report & Instructions





**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

## Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: July 12, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

**PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)**

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<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	7-12-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Wide flange beams for soilder piles SP8 & SP9

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

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07-12-21

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

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# CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

### Structural Observation Report

Project Address: 540 Hazel Dr.	Report Date: July 1, 2021	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Christensen / Brown	Owner's Mailing Address (if different from site):	Owner's Telephone #:	CNB Plan Check #: 2530-2018
Full Name of Structural Observer (SO): David Purkis	SO E-mail Address: purkeng@sbcglobal.net	SO Telephone #: 949.510.8648	SO License / Reg. #: RCE 42810

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<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete		
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input checked="" type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	per list below	6-21-21
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

OBSERVED DEFICIENCIES AND COMMENTS:

Wide flange beams for soilder piles:

SP 1, SP 2, SP 3, SP 4, SP 10, SP 11, SP 12

REPORT CONTINUED ON ATTACHED PAGES.

FINAL STRUCTURAL OBSERVATION REPORT:

**The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.**

I declare that the following statements are true to the best of my knowledge:

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2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

[Signature]

07-01-21



STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

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City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - BLDG

\*X2021~2910\*

COMB Permit : X2021-2910

Project No : 2538-2021

Issued Date : 12/16/2021

Inspection Area : 6

INSPECTOR

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 12/16/2024 OR PERMIT WILL BE INVALID
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 540 HAZEL DR NB
Description: SFR BLOCK WALL 6' X 30 LF & RETAINING WALL 8' X 4LF (INSIDE P/L, MARKERS ON SITE)
Legal Desc.: N TR 673 BLK B LOT 27

Owner: CHRISTENSEN
Address: 133 WILLOWBEND IRVINE CA 92612
Phone:
Applicant: ALLEN SCOTT
Address: 3419 VIA LIDO #455 NEWPORT BEACH CA 92663
Phone: 949-466-0900

Contractor: GRAYSTONE CUSTOM BLDERS INC
Address: 3419 VIA LIDO STE 455 NEWPORT BEACH CA 92663
Phone: 949-466-0900
Con State Lic: 971085
Lic Expire: 03/31/2022
Bus Lic: BT30040057
Lic Exp Date: 03/31/2022

Architect:
Address:
Phone: State Lic:
Engineer: SHEPPARD STEVEN THOMAS
Address: 28782 EL MIO LANE MISSION VIEJO CA 92692
Phone: 949-481-9669 State Lic: S-005446

Code Edit : 2019
Type of Construction: VB
Occupancy Group: U
Added /New sq.ft. Bldg: 0
Added /New sq. ft. Garage: 0
No of Stories: 0
No of Units : 0
Bldg Height: 0
Bldg Sprinklers:
Flood Zone: X

Worker's Compensation Insurance
Carrier: STATE FUND
Policy No: 9216106
Expire: 08/15/2022

Building Setbacks Rear: 10'
Front: 5'
Left: 4'
Right: 4'
Use Zone:
Parking Spaces: 0

Designer:
Address:
Phone:
Special Conditions: LANDSLIDE AREA
FIRE HAZ SERVERTY ZONE
HIGH DENSITY ZONE
Fire Hazard Zone : N

NO CONSTRUCTION NOISE ON THE WEEKEND

Table with 4 columns: Fee Category, Amount, Fee Category, Amount. Includes Construction Valuation (\$11,000.00), Building Permit Fee (\$263.00), Plan Check Fee (\$228.81), and various taxes and department fees. Total Fee: \$492.81.

PROCESSED BY: BS
ZONING APPROVAL: MSW
GRADING APPROVAL:

PUBLIC WORKS APPROVAL:
PLAN CHECK BY: MK
APPROVAL TO ISSUE:



**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do  all of or  portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
 By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.  
 Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class See front License No \_\_\_\_\_ Date X 12/16 Contractor Signature X [Signature]

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier See front Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_  
 Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant X [Signature] Date X 12/16

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent X [Signature] Print Property Owner's or Authorized Agent's Name X Scott Allen Date X 12/16

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input checked="" type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: <u>X [Signature]</u>	





# City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone (949)644-3288  
Inspection Requests Phone (949)644-3255  
Combination Type - BLDG



## COMB Permit : X2018-3246

Project No : 2530-2018

Issued Date : 10/15/2020

Inspection Area : 56

**PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 10/16/2023 OR PERMIT WILL BE INVALID**  
Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays or Holidays

Job Address: 540 HAZEL DR NB  
Description: SFR RETAINING WALLS 97 LF X 14' HIGH MAX INSIDE P/L \*MARKERS ON SITE\*  
Legal Desc.: N TR 673 BLK B LOT 27

Owner: CHRISTENSEN FRANK DANA  
Address: 544 HAZEL DR  
CORONA DEL MAR, CA 92625  
Phone: 949-933-4488  
Applicant: AUSTIN PAT  
Address: 2732 E. COAST HWY STE B  
NEWPORT BEACH, CA 92625  
Phone: 949-718-3528

Contractor: GRAYSTONE CUSTOM BLDRS INC  
Address: 3419 VIA LIDO STE 455  
NEWPORT BEACH CA 92663  
Phone: 949-466-0900  
Con State Lic: 971085  
Lic Expire: 03/31/2022  
Bus Lic: BT30040057  
Lic Exp Date: 03/31/2021

Architect: CHILDS CYNTHIA  
Address: 2732 E COAST HWY #B  
CORONA DEL MAR CA 92625  
Phone: 949-718-3528 State Lic: C022985  
Engineer: SHEPPARD STEVEN THOMAS  
Address: 28782 EL MIO LANE  
LAGUNA NIGUEL CA 92692  
Phone: 949-481-9669 State Lic: S-005446

INSPECTOR

Code Edit : 2016  
Type of Construction:  
Occupancy Group: U  
Added /New sq.ft. Bldg: 0  
Added /New sq. ft. Garage: 0  
No of Stories: 0  
No of Units : 0  
Bldg Height: 0  
Bldg Sprinklers:  
Flood Zone:

Worker's Compensation Insurance  
Carrier: STATE FUND  
Policy No: 9216106  
Expire: 08/15/2021

Building Setbacks Rear: 10'  
Front: 5'  
Left: 4'  
Right: 4'

Use Zone: Parking Spaces: 0 Fire Hazard Zone:

THIS PERMIT IS IN  
FINAL STATUS  
ONLY INS. IS OTHER  
BUILDING  
APP BY DRR 8/11/21  
?

Construction Valuation: <b>\$40,000.00</b>					
Building Permit Fee: <b>\$1,358.00</b>	Excise Tax: <b>\$0.00</b>	Planning Department -	Fire Department	Fire Inspection: <b>\$0.00</b>	
Plan Check Fee: <b>\$590.73</b>	Additional Fee: <b>\$0.00</b>	Plan check Fee: <b>\$0.00</b>	Fire Plan Rev: <b>\$0.00</b>	Demolition Fee	
Overtime Plan Ck: <b>\$0.00</b>	Grading Bonds Fee: <b>\$0.00</b>	Fair Share: <b>\$0.00</b>	In-lieu Housing Fee: <b>\$0.00</b>	Building Dept Adm: <b>\$0.00</b>	
Investigation Fee: <b>\$0.00</b>	Grading PC Consultant: <b>\$0.00</b>	SJH Trans: <b>\$0.00</b>	Public Works Department -	General Service: <b>\$0.00</b>	
Record Management: <b>\$0.00</b>	Grading Permit Fee: <b>\$0.00</b>	In-lieu Housing Fee: <b>\$0.00</b>	Park Dedication: <b>\$0.00</b>	Refund Deposit: <b>\$0.00</b>	
Energy Compliance: <b>\$0.00</b>	Grading PC Fee: <b>\$0.00</b>	Public Works Department -	P/W Plan Check: <b>\$0.00</b>	Grading Bond: <b>\$0.00</b>	
CA Seismic Safety: <b>\$0.00</b>	WQ Insp. Fee: <b>\$0.00</b>	San Dist: <b>\$0.00</b>	NMUSD Fee: <b>\$0.00</b>		
Disabled Access: <b>\$0.00</b>	Electrical %: <b>\$0.00</b>				
Hazardous Mat: <b>\$0.00</b>	Mechanical %: <b>\$0.00</b>				
Building Green Fee: <b>\$2.00</b>	Plumbing %: <b>\$0.00</b>				
<b>TOTAL FEE : \$1,950.73</b>		Plan Check Fee: <b>\$405.00</b>	Fee Due at Permit Issuance: <b>\$1,545.73</b>		

PROCESSED BY: \_\_\_\_\_  
ZONING APPROVAL: \_\_\_\_\_  
GRADING APPROVAL: \_\_\_\_\_

PUBLIC WORKS APPROVAL: \_\_\_\_\_  
PLAN CHECK BY: \_\_\_\_\_  
APPROVAL TO ISSUE: \_\_\_\_\_



**OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do  all of or  portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_  
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date 10/15/2020 Contractor Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. \_\_\_\_\_

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant \_\_\_\_\_ Date 10/15/2020

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent \_\_\_\_\_ Print Property Owner's or Authorized Agent's Name Michael Terry Date 10/15

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE:	



**City of Newport Beach**

Community Development Department - Building Division  
100 Civic Center Drive, Newport Beach, CA 92660  
Permit Counter Phone: (949) 718-1888  
newportbeachca.gov/civic  
Combination Type -  
Work Class - Other



**Pool Permit : S2024-0033**

Plan Check No : PC2024-0523  
Issued Date : 04/18/2024  
Final Date:  
Permit Status: Issued  
Inspection Area : 6

**PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE**  
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

**Job Address :** 540 HAZEL DR  
**Description :** SFR (N) SPA AT DECK 74 SF (X2018-3245)

**Legal Desc :** N TR 673 BLK B LOT 27

**Owner :** FRANK DANA & MICHELLE- CHRISTENSEN & BROWN  
**Address :** 540 HAZEL DR  
NEWPORT BEACH, CA 92625  
**Phone :** (949) 717-7100

**Contractor :** INFINITY POOL SERVICE  
**Address :** 28295 CAMINO ESTRIBO  
TEMECULA, CA 92590  
**Phone :** (714) 262-9164  
**Con State Lic :** 891370  
**Lic Expire :** 02/28/2025  
**Bus Lic :** BT30053051  
**Bus Lic Expire :** 11/30/2024

**Architect :**  
**Address :**  
**Phone :**  
**State Lic :**

**Applicant :** SARAH BLATARIC  
**Address :** 31 TESSERA AV  
LAKE FOREST, CA 92610  
**Phone :** (949) 408-8676

**Engineer :** MCCARTHY ROBERT JAMES  
**Address :** 23 CORPORATE PLAZA #150  
NEWPORT BEACH, CA 92660  
**Phone :** (949) 629-2530

**Owner/Builder :**  
**Address :**  
**Phone :**

**Workers' Compensation Insurance**  
**Carrier :** EXEMPT - NO EMPLOYEES  
**Policy No :** EXEMPT  
**W. C. Expire :**

**Designer :**  
**Address :**  
**Phone :**

**Code Edition :** 2022  
**Type of Construction :**  
**Occupancy Groups :** U  
**Bldg Height :**

**Fire Sprinklers :** NO  
**Fire Hazard Zone :** YES  
**No of Units :** 1  
**No of Stories :**

**Construction Valuation :** \$25,000.00  
**Added/New/TI sq. ft. Bldg :** 0  
**Alteration sq. ft. Bldg :**  
**Added/New sq. ft. Garage :** 0

**Building Setbacks :** Front: 5, Side: 4, Side: 4, Rear: 10  
**Flood Zone :** X  
**Use Zone :** R-1 - Single-Unit Residential

**PROCESSED BY :** RM

**INSPECTOR**

**SPECIAL CONDITIONS:** HIGH DENSITY; LANDSLIDE; VHFSZ, FIRE HAZ ZONE



**OWNER-BUILDER DECLARATION**

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I, as owner of the property, or my employees with wages as their sole compensation, will do ( ) all of or ( ) portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law).

I am exempt from licensure under the Contractors' State License Law for the following reason: \_\_\_\_\_

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Property Owner or Authorized Agent \_\_\_\_\_

Date \_\_\_\_\_

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class \_\_\_\_\_ License No \_\_\_\_\_ Date 4/18/24 Contractor Signature [Signature]

**WORKERS' COMPENSATION DECLARATION**

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Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Applicant [Signature]

Date 4/18/24

**DECLARATION REGARDING CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent [Signature]

Print Property Owner's or Authorized Agent's Name SADAM BEATARIK Date 4/18/24

ACTION	DATE	BY	DECLARATION OF COMPLIANCE WITH CODE OF FEDERAL REGULATIONS PART 61 OF TITLE 40 AND AQMD RULE 1403	FOR OFFICE USE ONLY
PERMIT EXPIRED			<input type="checkbox"/> I SUBMITTED ASBESTOS NOTIFICATION TO	All required alarms, latches gates and fences which serve as part of a pool/spa barrier, shall be in place prior to approval to fill pool/spa & shall remain in place & be maintained for the life of the pool.
PERMIT CANCELLED			<input type="checkbox"/> EPA	
PERMIT EXTENDED			<input type="checkbox"/> AQMD	
PERMIT FINAL CERTIFICATE OF OCCUPANCY ISSUED			<input type="checkbox"/> ASBESTOS NOTIFICATION IS NOT APPLICABLE TO PROPOSED DEMOLITION SIGNATURE: _____	



**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: September 6, 2022

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Site Observation of Slab Subgrade

R McCarthy Consulting, Inc. (RMC) was onsite on August 22nd to observe and document the slab subgrade for the proposed upper and lower level slabs for the proposed new residential construction. The slab subgrade excavation exposed bedrock material (Monterey Formation) consisting of yellowish brown to pale gray fine-grained sandstone, shallow terrace deposits over bedrock consisting of medium dense to dense silty sand, and sand-cement slurry. In addition the interior slab trenches were backfilled with on-site silty sand. Gravel was placed per the approved plans as a capillary break.

The subject slab subgrade and are considered geotechnically acceptable for placement of steel and concrete.

Our services do not include verification of line and grade for the slab areas, which is responsibility of others.

Robert McCarthy  
Principal Engineer



**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: August 4, 2022

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Site observation of footing excavations

Arrived on site this morning to test and observe the footing excavations at the request of the general contractor and the concrete contractor. The concrete contractor excavated the footing trenches in the upper street grade pad prior to my arrival on site. The excavations extended a minimum of 24 inches below the adjacent grade in the retaining wall backfill and terrace deposits. The wall backfill material consisted of a lean cement slurry placed earlier in the project. The soils in the bottoms of the trenches yielded less than one inch when probed under weight. The terrace deposits consisted of a yellowish to reddish brown clayey sand.

Based upon our observations, it is our opinion that, from a geotechnical standpoint the soils and backfill materials in the footing excavations are in general compliance with the recommendations of this firm and are considered suitable for the installation of the steel reinforcement and concrete.

It is our understanding that line and grade will be determined by others.

The contractor was also preparing the slab underlayment for the lower pad at the time of our site visit. The contractor backfilled the relatively shallow (6-12 inches deep) interior plumbing trenches with shading sand.

Respectfully Submitted,

R McCarthy Consulting, Inc.

Stephan Cousineau, Staff Engineer





# R MCCARTHY CONSULTING, INC

February 25, 2022

Frank Christensen and Michelle Brown  
113 Willowbend  
Irvine, CA 92612

File No: 8235-10  
Report No: R5-8235

Subject: **Geotechnical Review of Survey Data**  
Termination of Survey Monitoring  
Property Line Shoring  
540 Hazel Drive  
Corona del Mar, California

**Permit No.: X2018-3245**

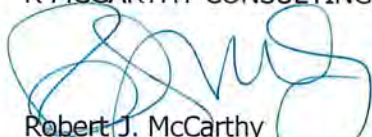
We have reviewed the Monitoring Reports provided by Apex Land Surveying, Inc. for the time period April, 2021 through January, 2022. The reports include horizontal and vertical positions of monitoring points established on the shoring soldier piles, walls and hardscape behind the shoring and excavation. Based on our review, it is our opinion that the movements indicated in the Apex Monitoring Reports are within the expected design tolerance limits for the shoring and excavations. It is our further opinion that no further remedial action is required at this time. The perimeter site walls are essentially constructed to a sufficient degree and are in place for retention along the property lines. Daily survey monitoring is not necessary from a geotechnical standpoint.

This review has been conducted in accordance with generally accepted practice in the engineering geologic and soils engineering field. No further warranty, expressed or implied, is made as to the conclusions and professional advice included in this report.

Thank you for this opportunity to be of service. If you have any questions, please contact this office.

Respectfully submitted,

R MCCARTHY CONSULTING, INC.



Robert J. McCarthy  
Principal Engineer, G. E. 2490  
Registration Expires 3-31-22  
Date Signed: 2/25/22





## **Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: February 15, 2022

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Grade Beam Excavations for Proposed Structure

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the concrete contractor Ruben (Ekedal) to observe and document the proposed structure grade beam excavations. I observed that the contractor had excavated for grade beams along the lower rear portion and middle of the proposed structure. The excavations were observed to be a minimum of 24 inches below adjacent grades exposing yellow brown sandstone bedrock and approximately 30 inches wide, as anticipated with the approved foundation plans by SDC Engineering. The excavations were observed to connect all the recently installed structure caissons observed under the RMC office. Excavations were observed to step up in 2-4 foot blocks from the lower building pad grade to the middle portion building pad grade.

Based upon our observations, it is our opinion that, from a geotechnical standpoint, the grade beam excavations for the proposed structure were prepared in general compliance with the recommendations of this firm and are considered suitable for the installation of steel reinforcement and concrete.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,  
R McCarthy Consulting, Inc.  
Griffin McMullen, Staff Geologist

A handwritten signature in blue ink that reads 'Griffin McMullen'.



**Field Memorandum**

Client: Frank Christenson & Michelle Brown

Date: November 2, 2021

Project Address: 540 Hazel Drive, City of Newport Beach CA

Project No. 8235-10

Subject: Observation of Site Conditions & Erosion Control Recommendations

Peter Anderson of R McCarthy Consulting (RMC) Inc, was onsite at the request of the building contractor (Mr. Mike Terry- Greystone Custom Builders) and the City of Newport Beach geotechnical consultant (Mr. Sergio Gutierrez) to observe the existing site conditions and provide recommendations for erosion control during interim grading conditions. The City of Newport Beach building inspector previously expressed concern regarding the potential for soil runoff into Buck Gully along the east edge of the site. After reviewing the site conditions, we recommend that all loose spoils along the lower slope be removed and a sandbag and plastic catchment basin be constructed at the lowest pad level to intercept and contain any surface water before it flows over the descending slope. If required, water should be pumped back up to Hazel Drive and discharged in an appropriate manner. Additional erosion control measures should also be implemented per the erosion control plan and the recommendations of the civil engineer and the City of Newport Beach.

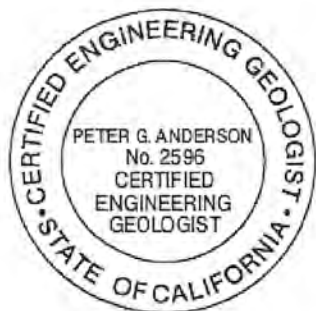
Spoils piles generated during future onsite excavations and/or grading should be periodically removed from the site and/or sandbagged and protected with plastic if left onsite for extended periods of time or during periods of anticipated adverse weather.

An RMC field representative should be onsite to periodically review site conditions during future excavation/grading operations.

Respectfully submitted,

R McCarthy Consulting, Inc.

Peter Anderson CEG 2596



A handwritten signature in black ink, appearing to read "Peter Anderson".

**FIELD MEMORANDUM**

CLIENT/CONTRACTOR: Christensen /  
Graystone Custom Builders Inc.

Date 8-30-21

File No. 8235-10

Activity Observation of Soldier Pile Excavations

Permit No. X2018-3245

Comments:

SITE ADDRESS: 540 Hazel Dr.

I was on site this morning at the request of the general contractor (Graystone) and drilling contractor (Drilco) to observe and document the shoring pile excavations and additionally, provide vibration monitoring during on site drilling. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A. Purkis, dated March 9, 2021. The following ~~exc~~ shoring pile excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Shoring Pile #	Date	Diameter (in)	Temp. Slurry Pit Elev. (ft)	Design Tip Elevation (ft)	Drill Depth		
					Min <del>Tip</del> Elevation (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP13	8-30-21	30	137.59	118	19.59	22.0	115.59

This memorandum is not intended to verify steel length or reinforcement. Our services do not include verification of line and grade which we understand was checked by others.

BY: Griffin McMullen  
Staff Geologist



**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: August 27, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

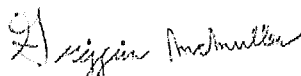
Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP5	8-27-21	30	139.5	106	33.5	36	103.5

Hard drilling conditions were observed near the surface with a cemented grey sandstone bedrock outcrop observed in the upper 4 feet. Intermittent hard and soft bedrock drilling conditions were observed to the depth of approximately 22 feet below surface, where the bedrock was observed to be a yellow brown sandstone and drilling progressed more quickly. No significant caving or water/seepage was encountered during drilling.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,  
 R McCarthy Consulting, Inc.  
 Griffin McMullen, Staff Geologist



**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: August 26, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP6	8-26-21	30	139.38	111	28.38	30	109.38

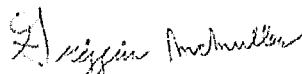
Conditions were generally as anticipated with bedrock consisting of yellow brown sandstone encountered at surface grades. Hard drilling conditions were observed to the depth of approximately 20 feet below surface, where the bedrock was observed to be an orange brown sandstone and drilling progressed more quickly. No significant caving or water/seepage was encountered during drilling.

Drilco began drilling excavations for soldier pile SP-5 this afternoon. Hard drilling conditions were observed near the surface with a cemented grey sandstone bedrock outcrop observed in the upper 4 feet. Multiple drill attempts were made to the excavation in the upper 4 feet to maintain the proposed orientation for the shoring pile. The contractor drilled SP-5 to 14 feet below surface grades when drilling operations stopped at the end of the day.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,  
 R McCarthy Consulting, Inc.  
 Griffin McMullen, Staff Geologist



**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: August 24, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP7	8-24-21	30	138.53	111	27.53	28.5	110.03

Conditions were generally as anticipated with bedrock consisting of yellow brown sandstone encountered at surface grades. Hard drilling conditions were observed to the depth of approximately 22 feet below surface where the bedrock was observed to be an orange brown sandstone and drilling progressed more quickly. No significant caving or water/seepage was encountered during drilling.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,  
 R McCarthy Consulting, Inc.  
 Griffin McMullen, Staff Geologist





**Daily Field Memorandum**

Client: Frank Christensen & Michelle Brown

Date: July 9, 2021

Contractor: Graystone Custom Builders, Inc

Project No. 8235-10

Project Address: 540 Hazel Dr., Corona del Mar, CA

Subject: Observation of Caisson Excavation for Proposed Perimeter Shoring

Griffin McMullen of R McCarthy Consulting (RMC) was onsite at the request of the General Contractor (Graystone) and the drilling contractor (Drilco) to observe and document the caisson excavations. RMC is additionally providing vibration monitoring during onsite drilling. Excavations were observed as indicated below. The reference drawings are the Site Retaining Wall with Integrated Shoring Structural Plan prepared by David A Purkis, PE, dated March 9, 2021. The following caisson excavations were drilled to the minimum depths as specified on the approved plans and our recommendations and are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

Caisson #	Date	Diameter (in)	Temp. Slurry Pad Elev. (ft)	Design Tip Elevation (ft)	Minimum Drill Depth (ft)	Final Drilled Depth (ft)	Final Tip Elev. (ft)
SP8	7-9-21	30	151.54	132	19.54	24.0	130.54
SP9	7-9-21	30	150.97	130	20.97	21.0	126.97

Conditions were generally as anticipated with bedrock encountered 15-16 feet below the temporary slurry pad. No significant caving or water/seepage was encountered during drilling.

The caisson excavation shafts should be kept clean of loose soil and debris prior to placement of steel and concrete. Caisson excavation shafts should be safely protected by adequate covering at the surface to keep shafts clean and as a health safety measure. If water is present at the time of the pour, concrete should be pumped into the shaft from the bottom to displace the water to the surface. This memorandum is not intended to verify steel length or reinforcement.

Our services do not include verification of line and grade for the subject caissons which we understand was checked by others.

Respectfully Submitted,  
R McCarthy Consulting, Inc.  
Griffin McMullen, Staff Geologist





**FIELD MEMORANDUM**

Frank Christensen and Michelle Brown

July 7, 2021

CLIENT/ CONTRACTOR: \_\_\_\_\_

C/O Graystone Custom Builders, Inc.

Date \_\_\_\_\_

File No. \_\_\_\_\_ 8235-10

observation of soldier pile excavation clear outs

Activity \_\_\_\_\_

Permit No. \_\_\_\_\_

**Comments:**

**SITE ADDRESS:** \_\_\_\_\_

I was on site this morning at the request of the general contractor (Graystone) to observe the soldier pile excavations for the proposed shoring. Excavations for shoring piles SP-1, SP-2, SP-3, SP-4, SP-10, SP-11, and SP-12 were previously drilled to the minimum depth as specified on the approved plans by David A. Purkis dated March 9, 2021. Excavations for SP-3 and SP-4 were cleared of loose debris recently, as excavations have been open for over a month. Approximately 2-3 feet of loose debris were cleared from SP-3 and SP-4, bringing the excavations to the minimum depths as specified on the approved plans. All previously drilled soldier pile excavations were verified to be to the minimum depths.

Please refer to the plan for \_\_\_\_\_

The soldier pile excavations mentioned above are considered acceptable from a geotechnical viewpoint for placement of reinforcing steel and concrete.

BY: Griffin McMullen  
Staff Geologist



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658  
[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

**SPECIAL INSPECTION REPORT**

Project Address: 540 Hazel

Permit Number: \_\_\_\_\_

Inspection Type (s): Welding

Inspection Date (s): 10/19/2022  Periodic  Continuous

Describe Inspection, Including Location(s):
<p>Observed field welding of full penetration at moment frame and beam connections. Certified welders were observed for proper welding techniques. Completed welds were verified for size, length, location, and are free from visible defects.</p> <p>Certified Welder Information:            Terry A. Aldinger            #P001400            Ex. 09/18/2024</p>

List Tests Made:

Total Inspection Time Each Day:						
Date:	10/19/2022					
Hours:	8					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

<b>Special Inspector Signature:</b>	<b>Date:</b>
	10/19/2022
<b>Print Full Name:</b>	<b>Newport Beach Registration No.:</b>
Christopher J. Whelan	NB-0661

SpecialInspectionReport 08/25/2015



43583 Anatra Place, Indio, CA. 92203  
 (949) 289-5039





**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING DIVISION**

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[www.newportbeachca.gov](http://www.newportbeachca.gov) | (949) 644-3200

**SPECIAL INSPECTION REPORT**

Project Address: Christensen/Brown Residence. 540 Hazel Drive, Newport Beach, CA

Permit Number: X2018-3245

Inspection Type (s): Reinforcing Steel

Inspection Date (s): 8/15/22  Periodic  Continuous

Describe Inspection, Including Location(s):
Observed the placement of reinforcing steel for street level garage pad and ordinary footings per details on sheet S6. Rebar was verified for size, lap, location and clearance.

Total Inspection Time Each Day:						
Date:	8/15/22					
Hours:	Min					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

<b>Special Inspector Signature:</b>	<b>Date:</b>
<i>P Gilpin</i>	8/15/22
<b>Print Full Name:</b>	<b>Newport Beach Registration No.:</b>
Peter Gilpin	NB-0381



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**SPECIAL INSPECTION REPORT**

Project Address: Christensen/Brown Residence. 540 Hazel Drive, Newport Beach, CA

Permit Number: X2018-3245

Inspection Type (s): Chemical Anchors

Inspection Date (s): 8/11/22  Periodic  Continuous

**Describe Inspection, Including Location(s):**

Observed the placement of #5 reinforcing steel dowels - street level footings to existing P.I.P walls using Simpson Set XP epoxy (Lot # 1000191574, exp 9/23). Prior to placement verified min embed and proper cleaning of holes using nylon brush and compressed air. Area of work rear entry area and rear of garage area.

**Total Inspection Time Each Day:**

Date:	8/11/22					
Hours:	Min					

**List All Items Requiring Correction (Include Previously Listed Uncorrected Items):**

**Comments:**

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

<b>Special Inspector Signature:</b>	<b>Date:</b>
<i>P Gilpin</i>	8/11/22
<b>Print Full Name:</b>	<b>Newport Beach Registration No.:</b>
Peter Gilpin	NB-0381





**DEPUTY I INSPECTION**

1-800-DEPUTY I  
Gen Contr: Gray Stone  
Sub-Contr: Ekdal  
SDC

**Report of Special Inspection**

Project Name & Address Christensen/Brown Residence/540 Hazel, Newport Beach

Permit Number X2018-3245

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 6/23/2022 [ ] Periodic [ **X** ] Continuous

Describe Inspection Made, including Locations:  
Verified placement of reinforcement for cast in place retaining wall and footing (bio retention) at the foundation per plan. Size and reinforcement of retaining wall and footing dependent on and in strict accordance with corresponding details on 4 of S12.

List Tests Made: \_\_\_\_\_

Total Inspection Time Each Day:

Date	6/23/22						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:  
High strength steel used per specs and codes.  
Reinforcement clearances achieved and maintained throughout.  
Reinforcement secured and in place at time of inspection.  
Minimum lap distances achieved throughout.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: *Thomas George* Date 6/23/22

Print Full Name: Thomas George Registration No. NB-0617



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DEPUTY 1 INSPECTION  
 1-800-DEPUTY1

Gen Contr: Graystone  
 Sub-Contr: EKella

**SPECIAL INSPECTION REPORT**

Project Address: Christensen Res - 540 Hazel Dr.  
 Permit Number: X2018-3245  
 Inspection Type (s): RIC  
 Inspection Date (s): 3/3/22 ( ) Periodic ( ) Continuous

**Describe Inspection, including Location(s):**  
Checked Foundation G.B.'s & Vert. Reins for Bsmt Walls  
Details on S7

**List Tests Made:**

Total Inspection Time Each Day:						
Date:	<u>3/3/22</u>					
Hours:	<u>4</u>					

**List All Items Requiring Correction (Include Previously Listed Uncorrected Items):**

**Comments:**  
All steel correct - tied to maintain position & clearances  
No deficiencies noticed

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

<b>Special Inspector Signature:</b> <u>John Owen</u>	<b>Date:</b> <u>3/3/22</u>
<b>Print Full Name:</b> <u>John Owen</u>	<b>Newport Beach Registration No.:</b> <u>NB-0402</u>
<u>NB-0402</u>	





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DEPUTY 1 INSPECTION  
 1-800-DEPUTY1

Gen Contr: Greystone  
 Sub-Contr: Ekdal

**SPECIAL INSPECTION REPORT**

Project Address: Christensen/Brown Residence @ 540 Hz 2 e 1  
 Permit Number: 2020.2361  
 Inspection Type (s): RC - Site wall Reinforcement  
 Inspection Date (s): 12/1/21 ( ) Periodic ( ) Continuous

**Describe Inspection, Including Location(s):**  
Inspected reinforcement @ east and west stem site walls above grade beam per plan page TS3/detail #10.

**List Tests Made:**  
Reinforcement observation only

**Total Inspection Time Each Day:**

Date:	<u>12/1/21</u>				
Hours:	<u>AM</u>				

**List All Items Requiring Correction (Include Previously Listed Uncorrected Items):**  
No exceptions taken

**Comments:**  
Rebar complies with plan specifications for steel size, spacing, configuration and placement per plan. Rebar w/o detect or deleterious coating.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

<b>Special Inspector Signature:</b>	<b>Date:</b>
<u>[Signature]</u>	<u>12/1/21</u>
<b>Print Full Name:</b>	<b>Newport Beach Registration No.:</b>
<u>Shawn Ward</u>	<u>NB-0743</u>



DEPUTY 1 INSPECTION

1-800-DEPUTY1

Gen Contr:

Gray Stone

Sub-Contr:

Ekdal

David APurkis

**Report of Special Inspection**

Project Name & Address Christensen/Brown Residence/540 Hazel, Newport Beach

Permit Number X2018-3245

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 11/10/21 [ ] Periodic [  ] Continuous

Describe Inspection Made, including Locations:

Verified placement of reinforcement of grade beams through soldier piles at shoring wall per TS2 of the shoring structural plan. Size and reinforcement of grade beams/ protruding steel for wall reinforcement in strict accordance with corresponding detail 10 of TS3.

List Tests Made:

Total Inspection Time Each Day:

Date	11/10/21						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

- High strength used per specs and codes.
- Reinforcement clearances achieved and maintained throughout.
- Reinforcement secured and in place at time of inspection.
- Minimum lap distances achieved throughout.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed:

Date 11/10/2021

Print Full Name: Thomas George

Registration No. NB-0617





**CITY OF NEWPORT BEACH**  
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**SPECIAL INSPECTION REPORT**

Project Address: Kristensen/Brown Residence, 540 Hazel Drive, Newport Beach, CA.

Permit Number: X2018-3245

Inspection Type (s): Shoring Steel

Inspection Date (s): 8/25/21  Periodic  Continuous

Describe Inspection, including Location(s):
Verified WF beams for shoring piles # 5, 6, 7, 13. 2 - W18 X 92, 2- W14 X 109. Beams were verified for size, length with clearances to be verified at time of concrete placement. Verified mill certs. Details on sheet TS2.

Total Inspection Time Each Day:					
Date:	<u>8/25/21</u>				
Hours:	<u>Min</u>				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

Special Inspector Signature:	Date:
<i>P Gilpin</i>	8/25/21
Print Full Name:	Newport Beach Registration No.:
Peter Gilpin	NB-0381

SpecialInspectionReport 8-24-15



**CITY OF NEWPORT BEACH**  
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DEPUTY 1 INSPECTION  
 1-800-DEPUTY1

Gen Contr: Craystone  
 Sub-Contr: Dulco/Exedat

**SPECIAL INSPECTION REPORT**

Project Address: Christensen / Brown Residence @ 540 Hazel Dr  
 Permit Number: X2020-2361  
 Inspection Type (s): RC - Shoring Pile Placement  
 Inspection Date (s): 7/12/21 ( ) Periodic (  ) Continuous

**Describe Inspection, Including Location(s):**  
 Inspected the delivery and placement of (2) Wide Flange Shoring Beams notated on plan page TS-2 as SP-8 and SP9 - both are W14x90. Mill certs were verified and field measured for conformity to plan specs

**List Tests Made:**  
 Steel Check and placement verification

**Total Inspection Time Each Day:**

Date:	7/12/21				
Hours:	AM				

**List All Items Requiring Correction (Include Previously Listed Uncorrected Items):**  
 No exceptions taken

**Comments:**  
 Beams placed in respective excavations w/ clearances maintained per plan. Reinforcement w/o deteriorous coating or excessive rust.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

<b>Special Inspector Signature:</b> 	<b>Date:</b> 7/12/21
<b>Print Full Name:</b> Shawn Ward	<b>Newport Beach Registration No.:</b> NB-0743



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**SPECIAL INSPECTION REPORT**

Project Address: Christensen/Brown Residence. 540 Hazel Drive, CDM, CA

Permit Number: X2020-2361

Inspection Type (s): Shoring Caissons

Inspection Date (s): 7/7/21  Periodic  Continuous

Describe Inspection, Including Location(s):
Verified the placement of WF beams at temp shoring caissons # 1,2,3,4,10,11,12. Details sheet TS2. Steel beams were verified for size, length, location and clearance. Pre pour reinforcing steel verification.

Total Inspection Time Each Day:						
Date:	<u>7/7/21</u>					
Hours:	<u>Min</u>					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

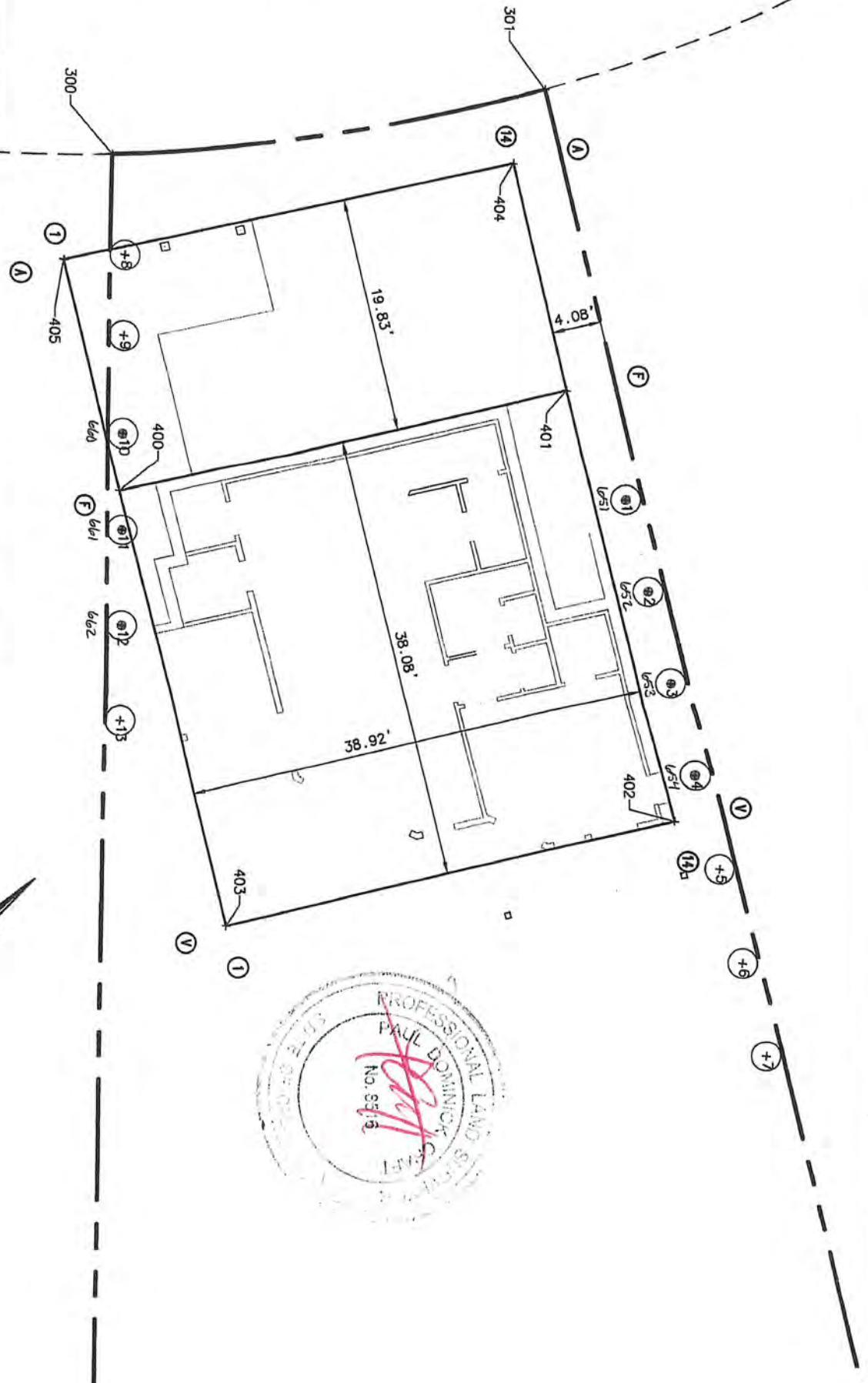
Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

<b>Special Inspector Signature:</b>	<b>Date:</b>
<i>P Gilpin</i>	<u>7/7/21</u>
<b>Print Full Name:</b>	<b>Newport Beach Registration No.:</b>
Peter Gilpin	NB-0381

**HAZEL DRIVE**

Y: P. D. C.  
 DATE: 4/05/2021  
 FILE: 8512 OXLEY CIRCLE  
 HUNTINGTON BEACH, CA 92646  
 PHONE: (714)488-5008  
 FAX: (714)333-4440  
 PROJECT SURVEYOR:  
**APEX LAND SURVEYING, INC.**  
 540 HAZEL DRIVE  
 NEWPORT BEACH, CA  
 LOCATION:  
 STAKING EXHIBIT SHEET NO.  
 2 OF 2







**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658  
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DEPUTY 1 INSPECTION  
 1-800-DEPUTY1

Gen Contr: Graystone  
 Sub-Contr: Akedal

**SPECIAL INSPECTION REPORT**

Project Address: 12020-2361  
 Permit Number: Christensen/Brown Residence @ 540 Hazel Drive  
 Inspection Type (s): RC - W Shoring Beams  
 Inspection Date (s): 5/10/21 ( ) Periodic (X) Continuous

**Describe Inspection, Including Location(s):**  
 Inspected (7) W beams for the temp shoring operation noted on plan page TS2 as SP#1-4 and #10-12. SP#1-4 noted on pile schedule as w/8X192 and SP#10-12 noted as 14X109.

**List Tests Made:**  
 Reinforcement verification

**Total Inspection Time Each Day:**

Date:	<u>5/10/21</u>				
Hours:	<u>AM</u>				

**List All Items Requiring Correction (Include Previously Listed Uncorrected Items):**  
 No exceptions taken

**Comments:**  
 W beams delivered for the aforementioned beams conform to plan for construction, as verified by mill certs, beam tags and field measurements. Geological verification by others. No exceptions taken.

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

<b>Special Inspector Signature:</b> 	<b>Date:</b> <u>5/10/21</u>
<b>Print Full Name:</b> <u>Shawn Ward</u>	<b>Newport Beach Registration No.:</b> <u>NB-0743</u>

## **Attachment No. 2**

Three-Year Construction Limit Notice Activities

## PERMIT ACTIVITY REPORT (X2018-3245) FOR CITY OF NEWPORT BEACH

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
<b>10/16/2023</b>					
	Generic Activity	BUILDING OFFICIAL APPROVAL	ACT-002355-2023	365 DAYS EXTENSION GRANTED. NEW 3-YEAR CONSTRUCTION TIME LIMIT EXPIRATION DATE IS 10/14/2024.	Tonee Thai
	Generic Activity	APPLICATION SUBMITTE	ACT-002354-2023	APPLICATION SUBMITTED ON 09/25/2023.	Tonee Thai
<b>10/09/2023</b>					
	Generic Activity		ACT-002301-2023	Spoke with Mike Terry on Friday October 6th and informed him that the 3 year application needs to be signed by the homeowner and not by Mike the GC.	David Reed
<b>11/02/2023</b>					
	Generic Activity	3-YEAR DEADLINE EXTENSION	ACT-002571-2023	MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank
<b>02/14/2024</b>					
	LOCKSTEP PERMIT WORK IN PROGRESS	Changed to issued		Expiration date per Energov was 05/05/2024 - not sure why it was in Expired	Rick La Bare
<b>08/21/2024</b>					
	Generic Activity	Posting 3yr letter	ACT-003203-2024	Posted 3 yr letter on property 08/14/2024	Rick La Bare
	Generic Activity	Returned	ACT-003204-2024	GC came in, Directed him to pay fee at Revenue and include any supporting documents upon his submittal (this was 08/20/2024)	Rick La Bare
<b>08/22/2023</b>					
	Generic Activity		ACT-001865-2023	Spoke with GC (Michael Terry) and reminded him of our conversation 2 weeks ago concerning him coming down to City Hall to drop off the 3 year extension application and supporting documents. Mike stated he remembered the conversation and will be down by the end of the week or first part of next week to drop off the application.	David Reed
<b>09/25/2023</b>					

# PERMIT ACTIVITY REPORT (X2018-3245)

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
	Generic Activity		ACT-002120-2023	I spoke to Mike terry this morning, he stated he was bringing ion the 3-year extension application this morning	Steven Lane

09/09/2024

	Generic Activity	Received	ACT-003415-2024	Received application with supporting documents for hearing officer and turned infor review	Rick La Bare
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## **Attachment No. 3**

Building Official Extension



**CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
www.newportbeachca.gov | (949) 644-3200

**Three Year Construction Time Limit Extension  
Building Official Application**

Project Address: 540 Hazel		Receipt No.: 15664-0001	
Permit No.: X2018-3245	Original Permit Issued Date: 10/15/2020	Extension Fee: \$214	Date Fee Paid: 9/25/23
<b>PETITIONER/PROPERTY OWNER INFORMATION</b>			
Name (Must be payor of fees): Michael Terry		Company Name: Graystone Customer Builders, Inc.	
Street Address: 3419 Via Lido, #455		City: Newport Beach	State: CA Zip Code: 92663
Email: michaelterry@mac.com		Phone: 949-466-0900	
<b>PROJECT INFORMATION</b>			
Length of extension requested: 12 Months		New end date if request is approved: 10/15/2024	
Previous Extension(s) Granted? (Y/N): N/A		If Yes, How Many?: N/A	
Description of Work Under Permit:	New Single Family Residence		
Reason for Extension Request	(Attach Supporting Documents as Needed) Supply chain delay's specifically with window's & doors Additionally, we experienced extensive delay's due to record breaking rainfall during comprehensive shoring & caisson work. We also were forced to stop work due to a legal dispute with a neighbor that has since been resolved. We are currently on a fantastic trend moving forward & I am encouraged that we should not experience any additional delay's.		
<b>I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.</b>			
Petitioner's Signature: <i>W. Brown</i>		Relationship to Property Owner: <i>owner</i>	Date: 09 / 22 / 2023
<b>FOR STAFF USE ONLY</b>			
Department Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied			
Conditions of Approval or Comments:	365 DAYS EXTENSION GRANTE. PERMITS SHALL EXPIRE ON 10/14/2024 UNLESS ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER.		
Building Inspector Reviewed:	Name: DAVID REED	Signature: <i>David Reed</i>	Date: 10/19/23
Building Official Approval:	Name: <i>TONEE THAI</i>	Signature: <i>[Signature]</i>	Date: 10/16/23





**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915  
 www.newportbeachca.gov | (949) 644-3200

RECEIVED BY  
 COMMUNITY  
 DEVELOPMENT

SEP 25 2023

**Three Year Construction Time Limit Extension**  
**Building Official Application**

CITY OF  
 NEWPORT BEACH

Project Address:	540 Hazel			Receipt No.:	15664-0001		
Permit No.:	X2018-3245	Original Permit Issued Date:	10/15/2020	Extension Fee:	\$214	Date Fee Paid:	09/25/23
<b>PETITIONER/PROPERTY OWNER INFORMATION</b>							
Name (Must be payor of fees):			Company Name:				
Michael Terry			Graystone Customer Builders, Inc.				
Street Address:			City:	State:	Zip Code:		
3419 Via Lido, #455			Newport Beach	CA	92663		
Email:			Phone:				
michaleterry@mac.com			949-466-0900				
<b>PROJECT INFORMATION</b>							
Length of extension requested:		12 Months					
New end date if request is approved:		10/15/2024					
Previous Extension(s) Granted? (Y/N):		N/A		If Yes, How Many?:		N/A	
Description of Work Under Permit:	New Single Family Residence						
Reason for Extension Request	(Attach Supporting Documents as Needed) Supply chain delay's specifically with window's & doors Additionally, we experienced extensive delay's due to record breaking rainfall during comprehensive shoring & caisson work. We also were forced to stop work due to a legal dispute with a neighbor that has since been resolved. We are currently on a fantastic trend moving forward & I am encouraged that we should not experience any additional delay's.						
<i>I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.</i>							
Petitioner's Signature:		Relationship to Property Owner:			Date:		
		General Contractor			09 / 22 / 2023		
<b>FOR STAFF USE ONLY</b>							
Department Action:							
<input type="checkbox"/> Approved <input type="checkbox"/> Denied							
Conditions of Approval or Comments:							
Building Inspector Reviewed:	Name:	Signature:	Date:				
	DAVID REED		/ /				
Building Official Approval:	Name:	Signature:	Date:				
			/ /				

## Delay's @ 540 Hazel

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**From:** Michael Terry [michaeleterry@mac.com](mailto:michaeleterry@mac.com)  
**To:** Reed, David [DReed@newportbeachca.gov](mailto:DReed@newportbeachca.gov)  
**Cc:** Lane, Steve [slane@newportbeachca.gov](mailto:slane@newportbeachca.gov)  
**Date:** Tue, Sep 26, 2023, 6:32 AM  
 Window & Door Order.pdf 570 KB  
Window & Door Delivery.pdf 72 KB

**[EXTERNAL EMAIL]** DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Dave,

I am attaching the email communication with the window & door manufacturer per your request.


Please note this was only one component that contributed to the delay @ 540 Hazel. We experienced numerous delay's throughout the process @ this site including legal neighbor battles causing stop work as well as a very rainy 2021/2022. As you may recall this site is situated on a steep hillside with numerous caisson's & substantial shoring.

I have had my license on a lot of new single family homes in the city of Newport Beach & have never experienced delay's like this. I am confident we have turned a corner & are progressing in a positive direction to completion.

Please let me know if you need any additional information.

Michael  
Graystone Custom Builders, Inc.  
(949) 466-0900



**From:** Steve Hernandez SHernandez@spi-ind.com   
**Subject:** 540 HAZEL DRIVE  
**Date:** June 6, 2022 at 8:23 AM  
**To:** Michael Terry michaeleterry@mac.com

SH

Hi Michael,

Master bedroom window changed to 2 awnings below. I requested CAD drawings. Should have them back by Weds at the latest.

Please Note: Due to supply chain issues, all lead times will be approximate only. We may have shipping delays and back orders. Please be patient.

Thank you,  
Steve Hernandez  
Territory Manager  
Sierra Pacific Windows  
949-560-5665  
9803 Research Drive,  
Irvine Ca, 92618  
www.SierraPacificWindows.com

[https://www.instagram.com/s/aGlnaGxpZ2h0OjE3ODU0MzE4NTA4NTMwMzQ3?utm\\_medium=copy\\_link](https://www.instagram.com/s/aGlnaGxpZ2h0OjE3ODU0MzE4NTA4NTMwMzQ3?utm_medium=copy_link)

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12202261.pdf

From: **Steve Hernandez** SHernandez@spi-ind.com  
Subject: Tues Delivery  
Date: March 4, 2023 at 10:17 AM  
To: michaeleterry@mac.com

SH

Hi Mike. Heads-up I will be out of town until Weds of next week, and will not be able to be there for your delivery on Tues between 8-10 for Hazel. If you need anything please call our office at 949-788-4920. Talk soon...

*Please Note: Due to the large increase in sales volume and supply chain shortages, all lead times will be approximate. We may have shipping delays and back orders. Your patience is greatly appreciated.*

Thank you,  
**Steve Hernandez**  
Territory Manager  
**SIERRA PACIFIC WINDOWS**  
A Division of Sierra Pacific Industries  
Phone (949) 560-5665  
Showroom Address:  
9803 Research Drive, Irvine, Ca. 92618  
[SierraPacificWindows.com](http://SierraPacificWindows.com)



**Sierra Pacific Windows**

Territory Manager  
 9803 Research Drive  
 Irvine, Ca 92618  
 (949)788-4920 (Office)  
 (949)293-6162 (Cell)  
 (949) 788-4928 (Fax)  
 dwaltmire@spi-ind.com

**CUSTOMER COPY**

Order Number 10611309

Page 1 of 19

Terms: Cash on Delivery  
 Required Deposit: \$58,100.00  
 PO # :  
 Job # :  
 Permit # :  
 Box Screens: No  
 Box Hardware: Yes

Direct Ship: No  
 Add-On to:  
 Subdivision:  
 Tract Number:  
 Property Location: 540 HAZEL DRIVE  
 CORONA DEL MAR, CA 92625-

April 14, 2022  
 4:04 PM  
 Original Order Date

**Sold To:**

Graystone Custom Builders  
 3419 VIA LIDO SUITE 455  
 NEWPORT BEACH, CA 92663-\_\_\_\_  
 (949)466-0900-Work  
 (949)675-4537-Fax  
 MIKE TERRY  
 michaeleterry@mac.com

**Ship To:**

FRANK CHRISTENSEN MICHELLE  
 BROWN  
 540 HAZEL DRIVE  
 CORONA DEL MAR, CA 92625-

**Property Owner:**

FRANK CHRISTENSEN MICHELLE BROWN  
 540 HAZEL DRIVE  
 CORONA DEL MAR, CA 92625-

**Lender:**

**Order Check List**

Species	Jamb Size	Drawing Page(s)	Owners Manual/SPW Warranty	Color(s) (Clad) in order
Quantity	Primed vs Natural	O/S Purchase lead time	Installation Instructions	023 Black 2605
Operation	Exterior Trim	O/S Purchase warranty	Shop Drawings	
Rough Opening	Hardware	WUI Compliant	(Exterior) (Interior) Distressed	
Glazing / Lites	Screens	Terms and Conditions	Traditional Contemporary	

**Warranty Information**

[2] [3] [16] [17]

**Modified Limited Warranty**

(Applies to these line item numbers)

**Order Summary**

**WARNING:** This product can expose you to chemicals including silicon dioxide, which is known to the State of California to cause cancer and methanol, which is known to the State of California to cause birth defects or reproductive harm. For more information go to [www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov).

(This order is subject to the terms and conditions printed on the back page. Please read them before signing.)

Customer Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Weighted Values**

U-Fac: 0.30  
 SHGC: 0.20  
 sq ft: 1,145

Sales Rep Signature: \_\_\_\_\_

Duane Waltmire

Net Total	\$107,842.23
7.75% Tax Rate	\$8,357.77
Labor Charge	\$0.00

**Total \$116,200.00**



Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
1	1	C-PS-060106-2 Patio Slider U-fac: 0.28 SHGC: 0.18 Vt: 0.42 CR: 57 LC-PG25	59 15/16"x108 1/4"	OX	3	BONUS ROOM	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock 1580 Screen SST Rollers BetterVue Spl Trim Sets Verona/2165 Matte Black - Trim Set 023 / 2605 Black Ext:- Screen	No Brickmould No Drip Cap	6" Ship Loose	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
2	1	C-PS-118106-2 Patio Slider Modified Limited Warranty U-fac: 0.28 SHGC: 0.18 Vt: 0.42 CR: 57	117 15/16"x108 1/4"	OX	2	BONUS ROOM	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock 1580 Screen SST Rollers BetterVue Spl Trim Sets Verona/2165 Matte Black - Trim Set 023 / 2605 Black Ext:- Screen	No Brickmould	6" Ship Loose	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
3	1	C-OD-030106-1 Outswing Door Modified Limited Warranty U-fac: 0.30 SHGC: 0.17 Vt: 0.38 CR: 61	32 9/16"x107 15/16"	R	C	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Keyed Lock Adj Hinges Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
CUSTOMER CHANGED FROM WINDOW TO DOOR.														
4	1	C-WA-5418-1 Urban Awning Box Mull @Plant Item #:5(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	54 3/4"x96 3/4"	X	B	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
5	1	C-WCP-5478-1 Urban Casement Picture Box Mull @Plant Item #:4(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 4	S	B	CASITA	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
6	1	C-WA-3018-1 Urban Awning Box Mull @Plant Item #:7(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	30 3/4"x96 3/4"	X	1	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
CUSTOMER CHANGE FROM DOOR TO WINDOWS														



Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
27	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:26(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 26	R	F	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
28	1	C-WC-3054-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	60 3/4"x54 3/4"	LR	E	DINING	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
29	1	C-ID-3296-1 Inswing Door U-fac: 0.28 SHGC: 0.17 Vt: 0.38 CR: 63	34 7/16"x98 1/2"	L	17	DINING	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Keyed Lock Adj Hinges No Screen OR Forever Bz - Hinges Dallas OR Forever Bz - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
30	1	C-WC-3054-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x54 3/4"	R	D	DINING	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
31	1	C-ID-6490-2 Inswing Door U-fac: 0.28 SHGC: 0.17 Vt: 0.38 CR: 63	67 5/16"x92 1/2"	AI	26	BED 3	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Adj Hinges No Screen Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
32	1	C-WC-2748-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	54 3/4"x48 3/4"	LR	V	BED 3	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		

itm	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
20	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:21(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	I	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
21	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:20(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 20	L	I	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
22	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:23(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	H	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
23	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:22(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 22	R	H	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
24	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:25(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	G	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
25	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:24(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 24	R	G	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
26	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:27(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	F	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		156

ltn	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
14	1	C-WA-3618-1 Urban Awning Box Mull @Plant Item #:15(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	36 3/4"x96 3/4"	X	K	GREAT ROOM	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
CHANGED WIDTH DUE TO WIDTH OF STACKING DOOR														
15	1	C-WCP-3678-1 Urban Casement Picture Box Mull @Plant Item #:14(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 14	S	K	GREAT ROOM	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
16	1	C-MSSP-054 3/16108-3 Multi-Slide Stacking Plus Drawing Required Modified Limited Warranty U-fac: 0.36 SHGC: 0.19 Vt: 0.44 CR: 41	156"x110 3/8"	0XX	19	GREAT	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock Square Pull 1 1/8 Sill Stop Keyed Finger Pull OR Forever Bz - Trim Set	No Brickmould No Drip Cap		Clad: 023 / 2605 Black Pine Primed Int-White 2 1/4" Panel CoreGuard Std		
Note: Due to the low profile interior sill stop, this door does not carry a rating for water infiltration. Each installation must be evaluated for potential of water intrusion due to exposure, elevation, climate zone and location in building. Protection afforded by special installation techniques including stepped sill applications and substantial overhangs can help offset potential for water intrusion.														
17	1	C-MSSP-058 3/16108-3 Multi-Slide Stacking Plus Drawing Required Modified Limited Warranty U-fac: 0.36 SHGC: 0.19 Vt: 0.44 CR: 41	168"x110 3/8"	XXO	18	GREAT	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Keyed Lock Square Pull 1 1/8 Sill Stop Keyed Finger Pull OR Forever Bz - Trim Set	No Brickmould No Drip Cap		Clad: 023 / 2605 Black Pine Primed Int-White 2 1/4" Panel CoreGuard Std		
Note: Due to the low profile interior sill stop, this door does not carry a rating for water infiltration. Each installation must be evaluated for potential of water intrusion due to exposure, elevation, climate zone and location in building. Protection afforded by special installation techniques including stepped sill applications and substantial overhangs can help offset potential for water intrusion.														
18	1	C-WCP-3618-1 Urban Casement Picture Box Mull @Plant Item #:19(T) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	36 3/4"x96 3/4"	S	J	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
CHANGED WIDTH TO MATCH OTHER WINDOWS														
19	1	C-WC-3678-1 Urban Casement Box Mull @Plant Item #:18(B) U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 18	R	J	KITCHEN	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int:- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		

Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
7	1	C-WCP-3078-1 Urban Casement Picture Box Mull @Plant Item #6(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 6	S	1	CASITA	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
8	1	C-WA-4818-1 Urban Awning Box Mull @Plant Item #9(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	48 3/4"x96 3/4"	X	A	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
9	1	C-WCP-4878-1 Urban Casement Picture Box Mull @Plant Item #8(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 8	S	A	CASITA	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
10	1	C-H3DH-3072-1 H3 Double Hung 2.0 Sash Split: 50/50 U-fac: 0.30 SHGC: 0.21 Vt: 0.49 CR: 56 LC-PG50	30"x72"	X	BB	CASITA	Blk Warm Edge Insulated Argon LoE-366 Tempered	1 Lite	2-Locks FlexScreen BetterVue Screen Applied White - Hardware	No Brickmould No Sill Nose No Drip Cap	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf Vinyl Nail Fin Flush Jamb CoreGuard Std Vinyl Int Beige		
11	1	C-WCP-6060-1 Urban Casement Picture U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58 CW-PG45	60 3/4"x60 3/4"	S	N	ENTRY	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
12	1	C-WC-3648-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	36 3/4"x48 3/4"	R	M	VEST	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
13	1	C-WC-3048-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x48 3/4"	L	L	POWDER	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		158



Itm	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
33	1	C-WA-4218-1 Urban Awning Box Mull @Plant Item #:34(T) U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	42 3/4"x78 3/4"	X	U	HALL	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
34	1	C-WCP-4260-1 Urban Casement Picture Box Mull @Plant Item #:33(B) U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 33	S	U	HALL	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
35	1	C-WC-3654-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	36 3/4"x54 3/4"	L	T	OFFICE	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
36	1	C-WC-3654-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	36 3/4"x54 3/4"	R	S	OFFICE	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
37	1	C-WC-3654-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	36 3/4"x54 3/4"	R	R	OFFICE	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
38	1	C-WCP-108018-1 Urban Casement Picture Box Mull @Plant 1/2" Inter-Lock(T) Drawing Required U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	108 3/4"x91 1/4"	S	Q	MST BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		

Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
39	1	HORZ 1/2" INTER-LOCK Item #:38(B) Item #:40(T) Item #:41(T) Item #:42(T) * Priced By Factory	See Item # 38	O	Q	MST BATH				No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White No Int Kerf 1/2" Inter-Lock 1-Pc Ext Cvr CoreGuard Std		
40	1	C-WC-2472-1 Urban Casement Box Mull @Plant 1/2" Inter-Lock(B) Item #:41(R) Drawing Required U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 38	L	Q	MASTER BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
41	1	C-WCP-6072-1 Urban Casement Picture Box Mull @Plant 1/2" Inter-Lock(B) Item #:40(L) Item #:42(R) Drawing Required U-fac: 0.28 SHGC: 0.23 Vt: 0.54 CR: 58	See Item # 38	S	Q	MST BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
42	1	C-WC-2472-1 Urban Casement Box Mull @Plant 1/2" Inter-Lock(B) Item #:41(L) Drawing Required U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	See Item # 38	R	Q	MST BATH	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
43	1	C-OD-3096-1 Outswing Door U-fac: 0.30 SHGC: 0.17 Vt: 0.38 CR: 61 LC-PG40	32 9/16"x97 15/16"	L	25	MASTER	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:4 5/8" Kick:6 13/16"	1 Lite	Adj Hinges Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
44	1	C-WA-3018-3 Urban Awning Box Mull @Plant 1/2" Inter-Lock(T) Drawing Required U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58	90 3/4"x91 1/4"	XXX	P	MASTER	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		

Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
45	1	HORZ 1/2" INTER-LOCK Item #44(B) Item #46(T) * Priced By Factory	See Item # 44	O						No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White No Int Kerf 1/2" Inter-Lock 1-Pc Ext Cvr CoreGuard Std		
46	1	C-DGP-9072-1 Direct Glaze Plus Box Mull @Plant 1/2" Inter-Lock(B) Drawing Required U-fac: 0.25 SHGC: 0.24 Vt: 0.57 CR: 60	See Item # 44	O	P	MASTER	Blk Warm Edge Insulated Argon LoE-366 Temp Ext	1 Lite	No Hardware No Screen	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Cntmp Profile Shdw Bd Stop Primed Int-White Interior Kerf CoreGuard Std		
47	1	C-WC-3072-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	60 3/4"x72 3/4"	LR	O	MASTER	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr BetterVue Screen Applied White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
TALLEST FRENCH CSMT														
48	1	C-WC-3648-2 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59	72 3/4"x48 3/4"	LR	Z	STAIRS	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr BetterVue Screen Applied White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
TALLEST FRENCH CSMT														
49	1	C-WC-3054-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x54 3/4"	L	Y	BED 2	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
50	1	C-WC-3054-1 Urban Casement U-fac: 0.29 SHGC: 0.21 Vt: 0.48 CR: 59 CW-PG40	30 3/4"x54 3/4"	R	X	BED 2	Blk Warm Edge Insulated Argon LoE-366 Temp Ext Cntmp Bead	1 Lite	TSL Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		

Item	Qty	Product Code	Rough Opening Width x Height (Inches)	Oper	Sym	Location	Glaze Options	Lite or Grille Pattern	Hardware	Exterior Trim	Jamb Size (inches)	Additional Options		
51	1	C-ID-6490-2 Inswing Door U-fac: 0.28 SHGC: 0.17 Vt: 0.38 CR: 63	67 5/16"x92 1/2"	AI	27	BED 2	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead Head:4 5/8" Stile:3 3/8" Kick:6 13/16"	1 Lite	Adj Hinges No Screen Matte Black - Hinges Dallas Matte Black - Trim Set Brown - Weatherstrip	No Brickmould	6"	Clad: 023 / 2605 Black Pine Primed Int-White Interior Kerf CoreGuard Std		
52	1	C-WA-3030-1 Urban Awning U-fac: 0.30 SHGC: 0.21 Vt: 0.48 CR: 58 CW-PG55	30 3/4"x30 3/4"	X	W	BATH 3	Blk Warm Edge Insulated Argon LoE-366 Tempered Cntmp Bead	1 Lite	Stainless Hdw Cntmp Hnd/Cvr OS_Screen BetterVue White - Hardware White Int- Screen Boxed Hardware	No Brickmould No Sill Nose	6"	Clad: 023 / 2605 Black Pine Narrow Sash Cntmp Profile Primed Int-White Interior Kerf CoreGuard Std		
53	1	OS Screens(28)												
54	1	Boxed Window Hardware -HOLD												
55	1	Gold Level Lock & Slide												



**Abbreviation Key**

**Glaze Options**

Insulated - Insulated Glass  
 SIM DL - Simulated Divided Lite  
 Lami IG-Ext - Laminated Glass to Exterior  
 Lami IG-Int - Laminated Glass to Interior

**Hardware Options**

TSL - Tandem Sash Lock  
 Adj Hinges - Adjustable Hinges  
 BB Hinges - Ball Bearing Hinges  
 Prem Screen - Premium Screen  
 Swing Screen - Swing Door Screen  
 Const Hdw - Construction Hardware  
 Rem Handle - Removable Handle  
 Spl Trim Sets - Special Trim Sets

**Exterior Trim**

SBM = Stucco Brickmould  
 ESN 2 = Extended Sill Nose 2"  
 ESN 3 = Extended Sill Nose 3"

**Additional Options**

ESH = Extended Sill Horn  
 Primed Int. - Primed Interior  
 Clear Int. - Clear Interior  
 Primed Ext. - Primed Exterior  
 Clear Ext. - Clear Exterior  
 Tradl Profile - Traditional Profile  
 Cntmp Profile - Contemporary Profile  
 No Int Kerf - No Interior Kerf  
 Shdw Bd Stop - Shadow Back of Bead Stop

**Warranty Information**

**MODIFIED LIMITED WARRANTY**

Sierra Pacific Windows provides a modified Limited Warranty for certain windows and doors, including, but not limited to:  
 1. Products exceeding their certified test/design size as defined by the Window and Door Manufacturer's Association (WDMA) Hallmark Program.  
 2. Products subjected to conditions exceeding their WDMA Hallmark certified design pressure limitations.  
 Products described in Items 1 and 2 are not certified for air infiltration, water penetration, structural loading, forced entry or hardware load testing. These products carry a warranty on the exterior aluminum clad finish and insulated glass only. Customer is advised to carefully review the Limited Warranty for the specific provisions applicable to the products purchased.  
 3. Products with mill finish aluminum exterior cladding.  
 Products described in Item 3 do not carry coverage under the "Metal Clad-Powder Coated Finishes" portion of the Sierra Pacific Windows Limited Warranty. These products carry a warranty on insulated glass, hardware and wood components only. Customer is advised to carefully review the Mill Finish letter attached for specific provisions applicable to the products purchased.

**Disclaimer Information**

Outside Purchase Items: Warranty covered by product manufacturer's specific warranty. Radius Sedonas: Limited sash opening  
 Sedonas with jambs greater than 4-9/16: Limited screen opening Triple Glaze Units do not include shadow bar

**Terms and Conditions of Sale**

1. TERMS:
  - a. All C.O.D. orders are to be paid in full to the delivery driver with either a Cashier's Check or a personal check, preprinted with the Buyer's name and address, prior to unloading the order. On orders where vouchers are pre-approved, they must be presented to the driver prior to unloading the order.
  - b. No deductions may be taken from the invoice amount unless authorized by Sierra Pacific Windows prior to delivery. Sierra Pacific Windows will not be responsible for any back charges resulting from additional materials or work performed by others (see Warranty for further information)
  - c. Past due balances are subject to 1.5% monthly finance charge.
  - d. Any check or other payment returned to Sierra Pacific as the result of insufficient funds or canceled payment will result in a \$50 processing fee added to the order total.
2. RIGHT TO LIEN:
  - a. In the event the contract amount is not paid in full, Sierra Pacific Windows reserves the right to place a lien or bond which may be asserted under any provision of the law, to secure payment of the contract amount.
3. ATTORNEY FEES:
  - a. ATTORNEY FEES: If any legal action, arbitration or other proceeding is brought for the enforcement of this Agreement, or because of any alleged dispute, breach, default or third party claim of construction defect made in connection with this Agreement, the prevailing party shall be entitled to recover reasonable attorneys' fees, expert fees, costs and expenses it incurred in that action or proceeding.
4. ESTIMATE OR BIDS:
  - a. All pricing is good for 30 days unless specifically noted to the contrary.
  - b. Sierra Pacific Windows assumes no responsibility for errors in take-offs or pricing.
5. ORDERS:
  - a. Upon signing, Customer agrees to all terms and conditions of this contract.
  - b. Orders are subject to delay due to strikes, fire, floods, accidents, or any other cause beyond our control. Sierra Pacific Windows will not be responsible for loss or damage beyond its control.
  - c. Seller is not liable for prospective profits or special indirect, consequential or incidental damages, nor may the recovery of any kind against seller be greater in amount than the purchase price of the specific material sold and causing the alleged loss damage or injury.
6. CHANGE ORDERS:
  - a. Order changes will only be accepted within 3 days of signing the original order.
  - b. Special order items may only be changed or cancelled within 3 days from signing the original order.
  - c. Cancellations may only be made within 3 days from signing the original order.
  - d. Order changes are immediately binding. They do NOT allow an additional 3 days for modification or cancellation.
  - e. Sierra Pacific Windows reserves the right to adjust prices or to add charges for additional costs for order changes made at the request of the buyer at any time following original order acceptance. For example, storage fees for failure to take delivery as scheduled.
  - f. Any change to the order may result in a delayed delivery date.
7. TAILGATE DELIVERY:
  - a. Sierra Pacific Windows is not responsible for labor to unload. Buyer must provide sufficient labor at the job site when driver arrives.
  - b. Back orders will be noted on the paperwork and will deliver as soon as possible.
  - c. Any items missing or damaged must be noted on the driver's paperwork at the time of delivery or it will be assumed complete and in good condition.
  - d. Sierra Pacific Windows is not responsible for goods picked up by buyer in his/her own vehicle.
8. SALES TAX:
  - a. The Sales Tax rate in this quote is estimated at the time of the quote. Customer agrees to pay the actual Sales Tax in effect at the time of delivery of any portion of this order.



## SIERRA PACIFIC WINDOWS LIMITED WARRANTY FOR WOOD/CLAD RESIDENTIAL PRODUCTS Effective May 1, 2017

**I. LIMITED WARRANTY FOR RESIDENTIAL PRODUCTS.** This Limited Warranty for Wood/Clad Products (the "Limited Warranty") is provided by Sierra Pacific Windows ("SPW"), on the terms and conditions set forth herein solely for Residential Products as described herein.

- A. **General Eligibility of Residential Products.** Subject to the other terms and conditions set forth herein, Residential products eligible for coverage under this Limited Warranty are limited to certain residential wood and clad window and door products which were (1) manufactured by SPW on or after May 1, 2017, (2) purchased from a SPW salesperson or an authorized dealer of SPW, (3) installed in a single family detached dwelling unit in the United States or Canada in a good and workmanlike manner in accordance with any installation instructions or other specifications of SPW, and (4) satisfying the other terms, conditions and restrictions contained herein ("Residential Products"). Notwithstanding anything contained herein to the contrary, the Limited Warranty shall not apply to, and SPW does not warrant, any Residential Product which is sold subject to another express or implied warranty, whether provided by SPW or a third party, or which is sold in "as-is" condition, as a sample or open box item, as a returned product, in defective, damaged, used, or previously sold condition or otherwise not in new, original and as-manufactured condition. This Limited Warranty is available to the original purchaser of an eligible Residential Product and it is transferable to a subsequent owner of the same real property in which such eligible Residential Product is installed, for the remaining warranty period of such eligible Residential Product as set forth herein.
- B. **Limited Warranty for AAMA 2605 Powder Coated Finishes.**
- i. **Thirty (30) Year Limited Warranty for Cracking or Checking.** Except as otherwise expressly provided herein, SPW warrants that the coating on the metal cladding in Residential Products will be free from cracking or checking, when observed at a distance of ten feet (10') from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 2605-11, resulting from defects in workmanship or materials for a period of thirty (30) years from the date of manufacture of such Residential Product.
- ii. **Twenty-Five (25) Year Limited Warranty for Color Change.** Except as otherwise expressly provided herein, SPW warrants that Residential Products will be free from color change of more than seven (7) Delta E units in accordance with ASTM D2244 resulting from defects in workmanship or materials for a period of twenty-five (25) years from the date of manufacture of such Residential Product.
- iii. **Twenty (20) Year Limited Warranty for Color Change, Chalking, Adhesion Loss.** Except as otherwise expressly provided herein, SPW warrants that the metal cladding in Residential Products will be free from color change of more than five (5) Delta E units in accordance with ASTM D2244, chalking in excess of a number eight (8) rating based on ASTM D4214, and adhesion loss (peeling), that materially and adversely affects the appearance of the surface to which the coating is applied when observed at a distance of ten (10) feet from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 2605-11, resulting from defects in workmanship or materials for a period of twenty (20) years from the date of manufacture of such Residential Product.
- iv. **Coverage Terms.** This Limited Warranty for AAMA 2605 Powder Coated Finishes provides full coverage, in a manner consistent with Section III herein below, for fluoropolymer powder performance for the first twenty (20) years from date of manufacture. For the succeeding ten (10) years, SPW's responsibility for corrective action due to fluoropolymer powder failure will be: years 21 through 24 – 60%; years 25 through 27 – 25%; years 28 through 30 – 5%. Customers' percentage of responsibility for replacement product shall be calculated using current list price of items being replaced; customers' prorated responsibility for cost of repair is based upon SPW's invoiced repair costs; refunds will be based upon original purchase price of the product.
- C. **Ten (10) Year Limited Warranty for AAMA 2604 Powder Coated Finishes:** Except as otherwise expressly provided herein, SPW warrants that the coating on the metal cladding in Residential Products will be free from color change of more than five (5) Delta E units in accordance with ASTM D2244, chalking in excess of a number eight (8) rating based on ASTM D4214, and cracking, checking or adhesion loss (peeling), that materially and adversely affects the appearance of the surface to which the coating is applied when observed at a distance of ten (10) feet from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 2604-10, resulting from defects in workmanship or materials for a period of ten (10) years from the date of manufacture of such Residential Product.
- D. **Five (5) Year Limited Warranty for Anodized Finishes.** Except as otherwise expressly provided herein, SPW warrants that all aluminum clad Residential Product that has been anodized will be free from chalking in excess of a number eight (8) rating based on ASTM D4214, or fading or change in color in excess of five (5) Delta E units based on ASTM D2244, each of which materially and adversely affects the appearance of the surface when observed at a distance of ten (10) feet from the metal surface and inspected at an angle of 90 degrees to the surface as set forth in AAMA 611-12, resulting from defects in workmanship or materials for a period of five (5) years from the date of manufacture of such Residential Product.
- E. **Two (2) Year Limited Warranty: Interior Finish.** Except as otherwise expressly provided herein, SPW warrants that all factory-applied interior paint and stain finishes in Residential Products will be free from material Finish Defects for a period of two (2) years from the original date of manufacture of such Residential Product. For purposes of this Limited Warranty, a "Finish Defect"

shall mean cracking, peeling, delaminating, blistering, flaking, chalking in excess of a numerical rating of six (6) (measured per ASTM D4214) or fading or change in color in excess of five (5) Delta E units (calculated per ASTM D2244).

- F. **Twenty (20) Year Limited Warranty: Wood Deterioration.** Except as otherwise expressly provided herein, SPW warrants that the wood components of a Residential Product, regardless of wood type, shall be free from material wood deterioration caused by decay or insect, including wood rot, for a period of twenty (20) years from the original date of manufacture of such Residential Product.
- G. **Limited Warranty: Hermetic Seals.** Except as otherwise expressly provided herein, SPW warrants the air seal in Residential Products as follows:
- i. **Twenty (20) Year Limited Warranty: Dual Insulated Glass Product.** Except as otherwise expressly provided herein, SPW warrants that the Dual Insulated Glass Product supplied in its Residential Products will be free from the failure of the air seal due solely to defects in workmanship or materials for a period of twenty (20) years from the original date of manufacture of such Residential Product.
- ii. **Ten (10) Year Limited Warranty: Triple Insulated Glass Product.** Except as otherwise expressly provided herein, SPW warrants that the Triple Insulated Glass Product supplied in its Residential Products will be free from the failure of the air seal due solely to defects in workmanship or materials for a period of ten (10) years from the date of manufacture of such Residential Product.
- H. **Ten (10) Year Limited Warranty: FeelSafe™ and Laminated Glass.** Except as otherwise expressly provided herein, SPW warrants that the SPW FeelSafe™ or Laminated Glass in its Residential Product will be free from any material obstructions of vision due to glass delamination from defects in workmanship or materials for a period of ten (10) years from the date of manufacture of such Residential Product.
- I. **Five (5) Year Limited Warranty: Specialty Glass.** Except as otherwise expressly provided herein, SPW warrants that Residential Products with custom or special glazings and/or other specialty, custom or non-standard glass options not listed in our product literature or not generally and regularly manufactured by SPW, and all leaded or decorative glass Residential Products, shall be free from defects in workmanship for a period of five (5) years from the original date of manufacture of such Residential Product.
- J. **Two (2) Year Limited Warranty: Glass Stress Cracks.** Except as otherwise expressly provided herein, SPW warrants that all glass in its Residential Product shall be free from stress cracks from defects in workmanship or materials for a period of two (2) years from the date of manufacture of such Residential Product.
- K. **Ten (10) Year Limited Warranty: General.** Except as otherwise expressly provided herein, SPW warrants that each Residential Product, including its wood components, hardware, weatherstrip and standard screens which accompany the Residential Product (the "Components"), will be free from defects in workmanship or materials which unreasonably affect such Residential Product's normal functioning for a period of ten (10) years from the original date of manufacture of such Residential Product.
- L. **One (1) Year Limited Warranty: Specialty Screens.** Except as otherwise expressly provided herein, SPW warrants that specialty screens (e.g. retractable screens, swing door screens) manufactured by others, not by SPW, for a Residential Product will be free from defects in workmanship or materials which unreasonably affect such specialty screen's normal functioning for a period of one (1) year from the earlier of the original date of manufacture of such specialty screen or the date of manufacture of such Residential Product.

### **II. LIMITATIONS, EXCLUSIONS AND DETAILS OF LIMITED WARRANTY.**

- A. SPW Residential Products are manufactured to certain specifications and ratings, which may include air and water infiltration, structural performance, thermal performance and/or sound transmission. The performance of installed windows and doors as noted on the labels showing National Fenestration Rating Council (NFRC) and Window and Door Manufacturer's Association (WDMA) Hallmark ratings can and will change over time due to environmental conditions, installation technique, maintenance, normal wear and tear, and other factors beyond SPW's control. The initial ratings and specifications are furnished solely to assist the purchaser in comparing products at the time of purchase and are not intended to warrant or guarantee specific field performance at those ratings or specifications as installed or over the life of the Residential Product. These ratings may also apply to single units only, not to mulled configurations.
- B. This Limited Warranty is limited solely to defects in workmanship and materials arising from the production and manufacture of Residential Products by SPW. Whether or not any of the above warranties apply, in whole or in part, to a Residential Product or are excluded shall be determined by SPW in its sole discretion. SPW will not be liable for, and some or none of the above warranties will apply to or cover problems, claims or liabilities, costs, expenses, damages or losses, or other damage or defects caused by, arising from, or related to, any of the following:
1. Failure to follow any directions, recommendations, maintenance and care instructions, and/or guidelines set forth in SPW's Care and Maintenance Guide, any SPW Owner's Manual for a Residential Product, the Anodized Care and Maintenance Guide, or any other guide, direction or similar publication otherwise established by SPW, found at [sierrapacificwindows.com](http://sierrapacificwindows.com)

- (collectively, the "SPW Guides"), or the failure to perform regular, normal or routine and other required maintenance to a Residential Product;
2. Residential Products ordered or manufactured as a custom order, special product or otherwise manufactured according to specifications supplied by the consumer or to specifications other than SPW's standard specifications for a Residential Product;
  3. Residential Products having dimensions greater than those listed in SPW's standard offering of sizes;
  4. Residential Products installed in applications or conditions exceeding their WDMA Harkmark certified performance ratings, tested sizes and/or configurations;
  5. Any air infiltration or water penetration damage resulting from non-factory mulled or non-SPW assembled Residential Products;
  6. Improper handling or installation of Residential Products, including failure to follow SPW's installation instructions and/or failure to install in conformance with accepted construction practices or applicable building codes;
  7. Installation of the window or door in its opening in a manner which is not plumb, square and true and adequately shimmed on all sides;
  8. Installation other than vertical (slope glazing);
  9. Installations in sauna, swimming pool or hot tub rooms, boats, greenhouses or other rooms with high humidity conditions and installations in areas with direct, constant water contact, such as a shower or in the path of sprinkler water;
  10. Operational problems or problems related to water and/or air infiltration/leaking as a result of improper or inadequate flashing, improper installation, flaws in building design or defects in construction;
  11. Any Residential Products installed in any face barrier system or exterior insulation finish system using stucco, synthetic stucco, or other materials, unless the owner can demonstrate to SPW's satisfaction, in its sole discretion, that there is an effectively engineered system for the control and drainage of water or moisture vapor;
  12. Stress or strain due to building movement or settlement, including strain which is applied to the window or door by movement of the building or where provisions have not been made in accordance with sound industry practices for adequate expansion or contraction of framing members;
  13. Products that have been altered or removed and reinstalled;
  14. Wood cellular structure failure for any Components with prolonged or excessive exposure to moisture or soil, including failure to store the Residential Product upon delivery in a dry temperate environment prior to installation;
  15. Improper painting, staining, or field finishing maintenance of wood Components, or failure to apply a coating system meeting SPW's standards, recommendations or guidelines or sound industry practices to bare wood surfaces within the lesser of thirty (30) days after purchase, or as otherwise specified by SPW;
  16. Prolonged exposure to weather in the unfinished and/or primed state;
  17. Minute fracturing or surface mars in finishes occurring during the fabrication process;
  18. Failures arising from the failure to periodically cap bead, check and replace weatherstrip and caulking, and to perform regular, normal or routine maintenance of a Residential Product, whether as set forth in the SPW Guides or otherwise;
  19. Variance in color, grain or texture of wood;
  20. Painting or staining of vinyl parts or weatherstrip;
  21. Any Residential Product Installed at an altitude higher than recommended by SPW, whether in the SPW Guides or otherwise;
  22. Any dual insulated glass Products manufactured without capillary tubes and installed at altitudes above 5000 feet without factory pre-approval. Triple glaze insulated glass Products manufactured without capillary tubes and installed at altitudes above 2200 feet;
  23. Rattling of air space grilles;
  24. Scratches, imperfections or blemishes on glass surfaces that do not impair the integrity of the unit, or were not caused by SPW during the manufacturing process, or that do not materially affect normal vision or performance per the guidelines established by ASTM C1036;
  25. Slight imperfections, color variations, wavy or shimmering distortions in the glass related to a laminate interlayer or heat strengthening of the glass;
  26. Any insulated glass unit that has an after-market tint, UV block, or other film or coating applied;
  27. Damage to a Residential Product resulting from any reason other than a manufacturing defect by SPW, including, without limitation, any such damage arising, in whole or in part, from any accident, abusive handling, misuse, or as a result of any cause beyond the control of SPW (e.g. vandalism, fire, flood, earthquake, acts of God or nature, war, civil unrest, natural causes and/or natural disasters, including earthquakes, floods, tornadoes, hurricanes, typhoons or hurricane or typhoon conditions, or any other cause beyond SPW's control);
  28. Condensation, surface fogging or frost on exposed surfaces of Residential Products and any related water damage which may occur as the natural result of humidity within the structure or due to changes in interior/exterior temperatures;
  29. Door warpage of less than 1/4" as measured across the diagonals for doors up to 3'-6" x 7'-0" and/or 3/8" for doors over 3'-6" x 7'-0". This does not refer to the relation of the door panel to the frame or jamb in which it is hung. (NOTE: door warpage may vary as door panels adjust to temperature and humidity in their installed positions.) Action on any claim for warpage may be deferred for up to twelve (12) months at SPW's option to permit conditioning of the door to humidity and temperature ranges at the jobsite;
  30. Door warpage on doors 8 feet and taller, if such doors do not have mullpoint hardware;
  31. Doors with flat, low profile or ADA compliant sills will not be warranted against air and water infiltration;
  32. Normal wear and tear and/or natural weathering of any surfaces, including discoloration of interior or exterior finishes, including hardware finishes;
  33. Corrosion, wear or failure of hardware including loss of functionality in extreme conditions including, but not limited to, seacoast or other corrosive environments, as well as based on elevation, orientation, and altitude;
  34. Finish failures or corrosion of aluminum cladding or damage to other Components caused by contact with caustic chemicals or chemical fumes, including but not limited to industrial cleaning agents, acid-based products, chlorine, salt spray, airborne pollutants, mortar, mortar cleaner, alkali hydroxides and brickwash;
  35. Obstructions of air flow to products, including draperies or storm panels;
  36. Products purchased through SPW that are manufactured by a third party (e.g. electric operators, skylites, custom hardware) are not covered under the terms of this warranty. Refer to product manufacturer's warranty for terms of coverage;
  37. Damage occurring or arising from any reason other than a manufacturing defect by SPW, including, without limitation, installation or delivery;
  38. Windows or doors sold with no hardware, special hardware or hardware to be supplied by others;
  39. Problems caused by modification to the product by others (e.g. modifications made to add alarm systems or remote window operators);
  40. Failure to comply with any other provision of this Limited Warranty.
- C. Inert Gases. Residential Products may contain inert gas, intended to improve the thermal performance of the Residential Product.
1. The migration of an inert gas, such as argon, is a natural process that occurs over time and is not a defect. SPW provides no warranty with respect to the migration of an inert gas.
  2. Argon gas within an insulated glass Residential Product will dissipate over time. The conditions of exposure and manner of use of the Residential Product will affect the rate of dissipation. The best manufacturing techniques cannot guarantee that the initial fill rate of inert gas will be maintained during the Residential Product's lifetime. SPW provides no warranty with respect to the dissipation, rate of dissipation or initial fill rate. If the Residential Product is filled with a capillary tube system, it must be treated as if it is entirely air filled. SPW provides no warranty with respect to the amount or percentage of argon remaining in the insulated glass unit or any thermal performance related to inert gas at any time after manufacture.
- D. Allocation of Risks of Residential Product Performance. Because some water infiltration must be anticipated in all construction, it is imperative that the wall system be designed and constructed to properly manage moisture and that the Residential Products be properly installed. SPW is not responsible for, and provides no warranty with respect to, any claims or damages caused by anticipated or unanticipated water infiltration; deficiencies in building design, construction and maintenance; failure to install SPW products in accordance with SPW Guides; or the use of SPW products in systems, such as barrier wall systems, unless management of moisture within the wall system is adequately incorporated within the design of the system, as determined by SPW in its sole discretion. The determination of the suitability of all building components, including the use of Residential Products, as well as the design and installation of flashing and sealing systems, are the responsibility of the buyer, owner, architect, contractor, installer, or other construction professionals and are not the responsibility of SPW, and SPW disclaims all liability with respect thereto. All risks related to building design and construction, fitness or suitability of Residential Products for a particular purpose, or the maintenance, installation, and use of Residential Products shall be assumed by the buyer and/or owner in conjunction with the architect, contractor, installer, or other construction professionals, and such parties waive and release SPW from any claims or damages related to such risks.
- E. General Residential Product Disclaimers.
1. The performance of the exterior aluminum coated finish, hardware and/or Components may vary based on installation in extreme environments, including but not limited to seacoast and other corrosive environments, as well as based on elevation, orientation, altitude and other atmospheric conditions. Normal, regular maintenance of the product is required to maintain the appearance, to extend the finish life, and to keep the warranty intact.
  2. Fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements and such variation in fading or color is not considered to be a defect, and SPW provides no warranty and hereby disclaims any and all liabilities with respect thereto.
  3. Screens are intended solely as protection from insects and are not designed for or intended to provide safety protection or to prevent falling through an open window, and SPW provides no warranty and hereby disclaims any and all liabilities with respect thereto.
  4. Window opening control devices ("WOCDs") are not a substitute for careful monitoring of children. WOCDs must be checked regularly, as necessary, to determine if they are operating properly. SPW provides no warranty and hereby disclaims any and all liabilities with respect thereto.

### III. WARRANTY RESOLUTION; EXCLUSIVE REMEDY UNDER THIS LIMITED WARRANTY.

- A. In the event the product fails to conform to the express warranties described above within the stated time period, the Residential Product owner's sole and exclusive remedy is that SPW will, at SPW's sole option and discretion, either repair or provide replacement Residential Product or Components for any defective Residential Product or Component, or refund the original purchase price or original catalog list price, whichever is lower, of the defective Residential Product or Component. SPW may, in its sole discretion, substitute a current design for the original Residential Product or Component or otherwise provide a comparable Residential Product as a substitute. If SPW elects to provide a replacement Residential Product or Component, SPW will pay for the freight to deliver the replacement Residential Product or Component to the place where the defective Residential Product or Component was first



delivered from SPW's factory. Any freight or delivery charges beyond that destination will be the Residential Product or Component owner's responsibility. Provision of a replacement Residential Product or Component does not extend the warranty time period for the Residential Product or Component, and the warranty time period of the original Residential Product or Component shall continue to apply. SPW may, in its sole discretion, charge the Residential Product or Component owner a fee for performing an onsite inspection if SPW believes coverage under this Limited Warranty is not clear. SPW may, in its sole discretion, refund any such onsite inspection charge if the subsequent inspection by SPW reveals a defect which is covered by this Limited Warranty.

- B. As more fully set forth in Section IV below, the limited warranties set forth in Section I above are the sole and exclusive warranties provided by SPW with respect to Residential Products. As more fully set forth in Section III (A) above and subject to the terms of this Limited Warranty, the sole and exclusive remedy is repair, replacement or refund. SPW cannot and shall not be liable for any other express or implied warranties, guarantees or representations related to a Residential Product or other remedy made or provided by any distributors, dealers, salespersons or other representatives of SPW in any manner, whether written or oral. NO PARTY IS AUTHORIZED TO EXPAND OR CHANGE THE PROVISIONS OF THIS LIMITED WARRANTY IN ANY MANNER. SPW provides the Residential Products on an "as-is" basis. SPW makes no other representations, statements of fact, promises, guarantees or other warranties of any kind or nature, express or implied, with respect to the Residential Products. Except as expressly set forth herein, SPW disclaims any and all other warranties, express or implied, including any warranty relating to workmanship, merchantability, fitness for particular purpose, freedom from defects, or non-infringement.
- C. **Limited Labor Coverage.** In the event that SPW elects pursuant to Section III (A) above to provide for the repair or replacement of a Residential Product covered by this Limited Warranty, SPW will, at its cost and expense, provide the labor to repair or replace such Residential Product, the extent and/or scope of said repair and replacement shall be decided by SPW in its sole discretion, for a period of two (2) years from the date the Product was manufactured. SPW shall not be responsible for, and shall not bear any cost or expense with respect to, any repainting, refinishing or similar activities related to or arising from the repair or replacement of any Residential Product. For purposes of clarification, SPW will not be responsible for any costs or expenses related to labor for repair or replacement outside of the time period specified above.
- D. **Notice of Warranty Claim.** SPW must receive written notice, containing the information below and at the following addresses, from a Residential Product owner claiming coverage under this Limited Warranty within the warranty period and within ninety (90) days of the date the problem with the Residential Product first became known, or should have been known through the exercise of reasonable care, to such owner. In the event that a Residential Product owner fails to comply with the foregoing, such Residential Product owner shall not be entitled to the benefits of any provision of this Limited Warranty. The notice of claim under this Limited Warranty must contain the following information:
1. The Residential Product owner's name and telephone number;
  2. The original order number;
  3. The address where the Residential Product is installed;
  4. A description of the Residential Product;
  5. Proof of ownership of the single family detached dwelling unit in which the Residential Product is installed;
  6. The name of the SPW Salesperson or Dealer from whom the product was purchased.
  7. A description of the defect and the date of first discovery of the claimed defect.

The foregoing notice shall be delivered to SPW at:

SIERRA PACIFIC WINDOWS	-Or-	SIERRA PACIFIC WINDOWS
Attn: Warranty Claim		Attn: Warranty Claim
11605 Reading Road/PO Box 8489		575 South Whelen Avenue
Red Bluff, CA 96080		Medford, WI 54451

#### IV. DISPUTE RESOLUTION

- A. In order to achieve a quick and final resolution of disputes, You and SPW agree that any dispute or claim of any kind or amount arising out of the sale of windows, doors, and related or associated products ("Residential Products"), or otherwise relating to SPW, shall be resolved as follows, hereinafter "Dispute Resolution Agreement" or "Agreement":
- i. The dispute or claim shall be submitted to mediation, as described herein; and
  - ii. If the mediation does not resolve the dispute or claim in its entirety, then that dispute or claim, or portion thereof, shall be resolved through binding arbitration, as described herein.
- B. Disputes and claims subject to this Agreement include, but are not limited to:
- i. Any alleged breach of contract or breach of the duty of good faith and fair dealing;
  - ii. Any alleged breach of warranty, express or implied;
  - iii. Any alleged construction defect, including any claims brought under Civil Code Section 895 et seq. (generally referred to as "the Right to Repair Act" or "SB 800");
  - iv. Any alleged violation of federal or state law or regulation;
  - v. Any alleged violation of consumer protection or unfair business practice;

- vi. Any alleged tort claim, including but not limited to, claims for negligence, strict liability, or fraud;
  - vii. Any other claims, whether arising in equity or common law, and whether seeking damages, injunctive relief, specific performance, declaratory or equitable relief;
  - viii. Any dispute regarding the enforceability or applicability of this Dispute Resolution Agreement or any term herein;
  - ix. Any dispute regarding the rights, duties and obligations of the parties with respect to this Dispute Resolution Agreement.
- C. **Agreement to Mediate.** You and SPW agree that any dispute or claim arising out of the sale of Residential Products, or otherwise relating to SPW, shall be submitted to non-binding mediation prior to any arbitration proceedings. Either party may commence mediation by notifying the other party in writing of its desire to pursue mediation and the subject of the dispute or claim. The parties will cooperate with one another in selecting a mediator and in scheduling the mediation proceeding. The mediation will be held in Sacramento, California, unless the parties agree otherwise. The parties agree that they will participate in the mediation in good faith. SPW shall be responsible for paying the costs of the mediation. Each party shall be responsible for their own attorney fees and expert fees, if any. All offers, promises, conduct and statements, whether oral or written, made in the course of the mediation by any of the parties, their agents, employees, experts and attorneys, and by the mediator, are confidential, privileged and inadmissible for any purpose, including impeachment, in any arbitration or other proceeding involving the parties, provided that evidence that is otherwise admissible or discoverable shall not be rendered inadmissible or non-discoverable as a result of its use in the mediation.
- D. **Agreement to Arbitrate.** In the event that a dispute or claim arising out of the sale of Residential Products, or otherwise relating to SPW, is not resolved through mediation, You and SPW agree that such dispute or claim shall be resolved through binding arbitration. Arbitration shall be conducted with JAMS, a private alternative dispute resolution business, pursuant to its Comprehensive Arbitration Rules and Procedures and in accordance with the Expedited Procedures in those Rules. SPW shall be responsible for paying the costs of the JAMS arbitration. Each party shall be responsible for their own attorney fees and expert fees, if any. The arbitration will be held in Sacramento, California, unless the parties agree otherwise. Judgment on the arbitration award may be entered in any court having jurisdiction.
- E. **No Jury Trial.** YOU AND SPW AGREE TO WAIVE ANY RIGHT TO A JURY TRIAL AND AGREE TO HAVE ALL DISPUTES HEARD AND DECIDED SOLELY BY THE ARBITRATOR CONDUCTING THE BINDING ARBITRATION.
- F. **No Class Action or Representative Action.** YOU AND SPW AGREE THAT ALL DISPUTES OR CLAIMS SHALL BE BROUGHT ONLY ON AN INDIVIDUAL BASIS, AND SHALL NOT BE BROUGHT AS A REPRESENTATIVE OR CLASS ACTION. THE PARTIES AGREE THAT THE ARBITRATOR SHALL NOT HAVE THE POWER TO CONDUCT THE ARBITRATION AS A REPRESENTATIVE OR CLASS ACTION.
- G. **Limitations on Liability.** You and SPW agree to waive any right to recover indirect, special, incidental or consequential damages or losses, including but not limited to, damages or losses from business interruption, loss of use, loss of business, loss of revenue, or loss of profits. You and SPW agree to waive any right to recover punitive or exemplary damages. You and SPW agree that the arbitrator is not empowered to award such damages. Some states do not allow for the exclusion or limitation of incidental, consequential or indirect damages or losses, so this limitation may not apply to you. You and SPW agree that in no event or circumstance shall the aggregate amount of damages awarded in arbitration(s) exceed the aggregate amount paid to SPW in connection with the sale of the Residential Products; this limit applies regardless of whether damages are awarded in connection with one claim or multiple claims or one arbitration or multiple arbitrations, and regardless of the timeframe over which the claim(s) are made or arbitration(s) instituted.
- H. **Governing Law and Severability.** This Dispute Resolution Agreement and the rights of the parties hereunder shall be governed by and construed in accordance with the laws of the State of California, exclusive of conflict or choice of law rules. The parties acknowledge that this Dispute Resolution Agreement evidences a transaction involving interstate commerce. Notwithstanding the provision in this paragraph with respect to applicable substantive law, any arbitration conducted pursuant to the terms of this Agreement shall be governed by the Federal Arbitration Act (9 U.S.C., Secs. 1-16). In the event any aspect of this Dispute Resolution Agreement is found to be unenforceable or void, the remaining provisions of this Agreement shall remain in full force and effect.
- I. **Opt-Out Procedure.** You may opt-out of this Dispute Resolution Agreement within twelve (12) months from the date of manufacture of your Residential Product by visiting the website [www.sierrapacificwindows.com/optout](http://www.sierrapacificwindows.com/optout) and completing the form to opt-out of this Dispute Resolution Agreement.

(For additional information, including SPW Guides, care and maintenance instructions, installation instructions and previous warranties, refer to [www.sierrapacificwindows.com](http://www.sierrapacificwindows.com) or contact your local Sierra Pacific Windows Service Center or Dealer.



April 14, 2022

To: Graystone Custom Builders  
 3419 VIA LIDO SUITE 455  
 NEWPORT BEACH, CA 92663-\_\_\_\_\_



From: Sierra Pacific Windows  
 Order #: 10611309  
 Re: Implications of Products with Low Profile Sills

To Whom It May Concern,

The intent of this letter is to advise you of the issues inherent to the use of low profile sills on exterior doors and windows. Sierra Pacific products with low profile sills include swing doors with ADA compliant sills; Multi-slide Doors and Windows with flush tracks; Bi-fold Doors and Windows with U-channel or ADA compliant sills; Pivot doors; and Multi-Slide Plus Doors with 1-1/8" back dam.

Due to the design of ADA compliant and low profile sills, products with these sills do not carry a design pressure (DP) rating for air or water infiltration. Furthermore, because of the low profile sill design, these products will not provide the same air or water performance as products with a standard sill height and design configuration and, therefore, are susceptible to air and water leakage.

Sierra Pacific doors with ADA compliant and low profile sills carry a warranty on the metal clad coating and insulated glass as defined by the applicable Sierra Pacific Windows Limited Warranty dated 5/1/17.

There are a variety of design options you can incorporate into your building to help you deal with the potential air and water leakage issues inherent to the design of products with low profile sills, including:

- Design the building to give the doors protection from the weather:
  - Use large overhangs to protect the doors and/or windows
  - Place shade awnings over the doors and/or windows
  - Recess the doors and/or windows back from the outside plane of the building envelope
- In areas adjacent to the doors and/or windows, use materials that are resistant to potential damage from air and water penetration:
  - Tile
  - Slate
  - Concrete
  - Granite
- In areas adjacent to the doors and/or windows, do not specify materials that may be susceptible to damage when exposed to weather:
  - Hardwood
  - Carpet

As your window and door supplier, we want to remain a valued member of your team. We hope that the information included above will clarify the issues that may potentially be caused by the design of ADA compliant and low profile sills. We also hope that this information will help you proactively address the potential leakage issues through the use of creative design solutions.

Sincerely,

Sierra Pacific Windows

**Sierra Pacific Windows**

9803 Research Drive  
Irvine, Ca 92618  
(949)788-4920 (Office)  
(949)293-6162 (Cell)  
(949) 788-4928 (Fax)  
dwaltmire@spi-ind.com

Sold To: Graystone Custom Builders  
3419 VIA LIDO SUITE 455

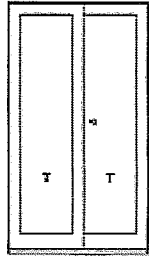
Drawings

April 14, 2022

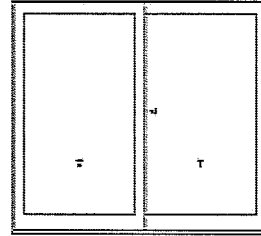
10611309

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Ship To: FRANK CHRISTENSEN MICHELLE  
BROWN  
540 HAZEL DRIVE



1) C-PS-060106-2(OX)  
Qty: 1  
RO: 59 15/16"x108 1/4"  
Jamb: 6"  
Loc: BONUS ROOM  
Sym: 3  
Clad: 023-Black



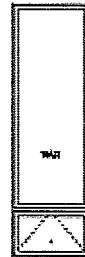
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RO: 117 15/16"x108 1/4"  
Jamb: 6"  
Loc: BONUS ROOM  
Sym: 2  
Clad: 023-Black



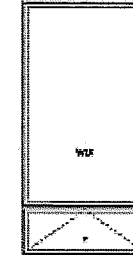
3) C-OD-030106-1(R)  
Qty: 1  
RO: 32 9/16"x107 15/16"  
Jamb: 6"  
Loc: CASITA  
Sym: C  
Clad: 023-Black



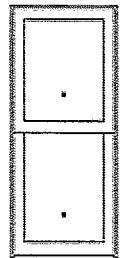
004) C-WA-5418-1(X)  
005) C-WCP-5478-1(S)  
Box Mull @Plant  
Qty: 1  
RO: 54 3/4"x96 3/4"  
Jamb: 6"  
Loc: CASITA  
Sym: B  
Clad: 023-Black



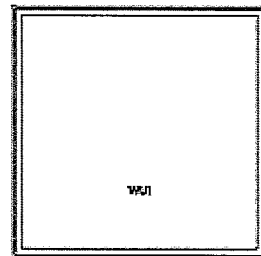
006) C-WA-3018-1(X)  
007) C-WCP-3078-1(S)  
Box Mull @Plant  
Qty: 1  
RO: 30 3/4"x96 3/4"  
Jamb: 6"  
Loc: CASITA  
Sym: 1  
Clad: 023-Black



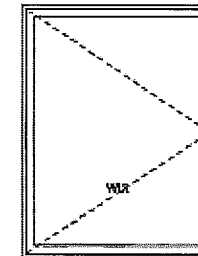
008) C-WA-4818-1(X)  
009) C-WCP-4878-1(S)  
Box Mull @Plant  
Qty: 1  
RO: 48 3/4"x96 3/4"  
Jamb: 6"  
Loc: CASITA  
Sym: A  
Clad: 023-Black



10) C-H3DH-3072-1(X)  
Qty: 1  
RO: 30"x72"  
Jamb: 6"  
Loc: CASITA  
Sym: BB  
Clad: 023-Black  
Sash Split: 50/50



11) C-WCP-6060-1(S)  
Qty: 1  
RO: 60 3/4"x60 3/4"  
Jamb: 6"  
Loc: ENTRY  
Sym: N  
Clad: 023-Black



12) C-WC-3648-1(R)  
Qty: 1  
RO: 36 3/4"x48 3/4"  
Jamb: 6"  
Loc: VEST  
Sym: M  
Clad: 023-Black

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**Sierra Pacific Windows**

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3419 VIA LIDO SUITE 455

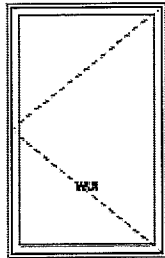
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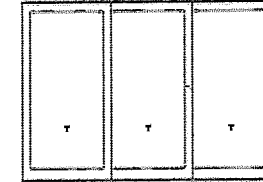
Ship To: FRANK CHRISTENSEN MICHELLE  
BROWN  
540 HAZEL DRIVE



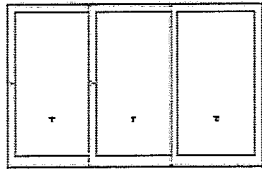
13) C-WC-3048-1(L)  
Qty: 1  
RO: 30 3/4"x48 3/4"  
Jamb: 6"  
Loc: POWDER  
Sym: L  
Clad: 023-Black



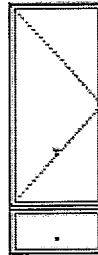
014) C-WA-3618-1(X)  
015) C-WCP-3678-1(S)  
Box Mull @Plant  
Qty: 1  
RO: 36 3/4"x96 3/4"  
Jamb: 6"  
Loc: GREAT ROOM  
Sym: K  
Clad: 023-Black



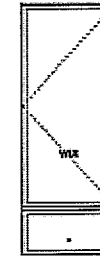
16) C-MSSP-054 3/16108-3  
(OXX)  
Qty: 1  
RO: 156"x110 3/8"  
Loc: GREAT  
Sym: 19  
Clad: 023-Black



17) C-MSSP-058 3/16108-3  
(XXO)  
Qty: 1  
RO: 168"x110 3/8"  
Loc: GREAT  
Sym: 18  
Clad: 023-Black



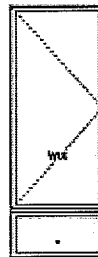
018) C-WCP-3618-1(S)  
019) C-WC-3678-1(R)  
Box Mull @Plant  
Qty: 1  
RO: 36 3/4"x96 3/4"  
Jamb: 6"  
Loc: KITCHEN  
Sym: J  
Clad: 023-Black



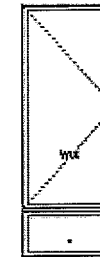
020) C-WCP-3618-1(S)  
021) C-WC-3678-1(L)  
Box Mull @Plant  
Qty: 1  
RO: 36 3/4"x96 3/4"  
Jamb: 6"  
Loc: KITCHEN  
Sym: I  
Clad: 023-Black



022) C-WCP-3618-1(S)  
023) C-WC-3678-1(R)  
Box Mull @Plant  
Qty: 1  
RO: 36 3/4"x96 3/4"  
Jamb: 6"  
Loc: KITCHEN  
Sym: H  
Clad: 023-Black



024) C-WCP-3618-1(S)  
025) C-WC-3678-1(R)  
Box Mull @Plant  
Qty: 1  
RO: 36 3/4"x96 3/4"  
Jamb: 6"  
Loc: KITCHEN  
Sym: G  
Clad: 023-Black



026) C-WCP-3618-1(S)  
027) C-WC-3678-1(R)  
Box Mull @Plant  
Qty: 1  
RO: 36 3/4"x96 3/4"  
Jamb: 6"  
Loc: KITCHEN  
Sym: F  
Clad: 023-Black

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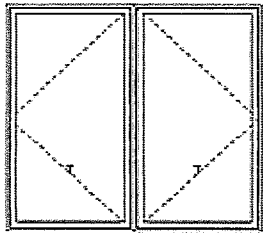
Drawings

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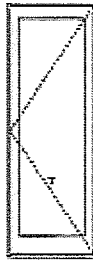
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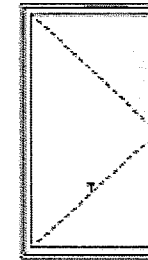
Ship To: FRANK CHRISTENSEN MICHELLE  
BROWN  
540 HAZEL DRIVE



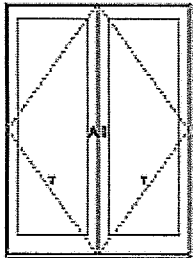
28) C-WC-3054-2(LR)  
Qty: 1  
RO: 60 3/4"x54 3/4"  
Jamb: 6"  
Loc: DINING  
Sym: E  
Clad: 023-Black



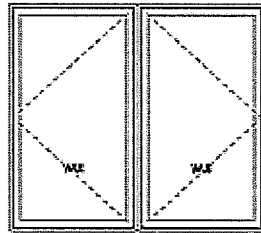
29) C-ID-3296-1(L)  
Qty: 1  
RO: 34 7/16"x98 1/2"  
Jamb: 6"  
Loc: DINING  
Sym: 17  
Clad: 023-Black



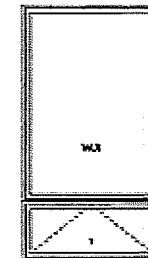
30) C-WC-3054-1(R)  
Qty: 1  
RO: 30 3/4"x54 3/4"  
Jamb: 6"  
Loc: DINING  
Sym: D  
Clad: 023-Black



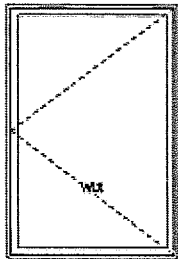
31) C-ID-6490-2(AI)  
Qty: 1  
RO: 67 5/16"x92 1/2"  
Jamb: 6"  
Loc: BED 3  
Sym: 26  
Clad: 023-Black



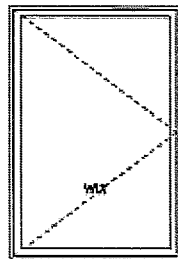
32) C-WC-2748-2(LR)  
Qty: 1  
RO: 54 3/4"x48 3/4"  
Jamb: 6"  
Loc: BED 3  
Sym: V  
Clad: 023-Black



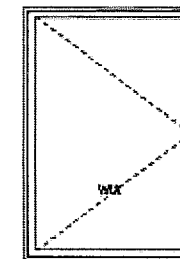
033) C-WA-4218-1(X)  
034) C-WCP-4260-1(S)  
Box Mull @Plant  
Qty: 1  
RO: 42 3/4"x78 3/4"  
Jamb: 6"  
Loc: HALL  
Sym: U  
Clad: 023-Black



35) C-WC-3654-1(L)  
Qty: 1  
RO: 36 3/4"x54 3/4"  
Jamb: 6"  
Loc: OFFICE  
Sym: T  
Clad: 023-Black



36) C-WC-3654-1(R)  
Qty: 1  
RO: 36 3/4"x54 3/4"  
Jamb: 6"  
Loc: OFFICE  
Sym: S  
Clad: 023-Black



37) C-WC-3654-1(R)  
Qty: 1  
RO: 36 3/4"x54 3/4"  
Jamb: 6"  
Loc: OFFICE  
Sym: R  
Clad: 023-Black

All Window/Door operations are viewed from exterior. Pictures are NOT to scale. They are offered as a rough approximation of design and mulling sequence, therefore CAD drawings may still be required on some units.



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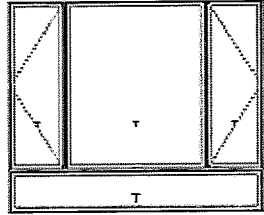
Drawings

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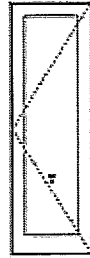
10611309

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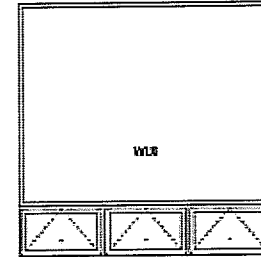
Ship To: FRANK CHRISTENSEN MICHELLE  
BROWN  
540 HAZEL DRIVE



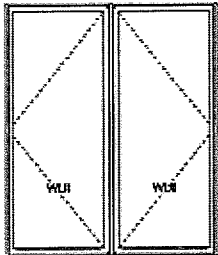
038) C-WCP-108018-1(S)  
039) HORZ 1/2" INTER-LOCK  
040) C-WC-2472-1(L)  
041) C-WCP-6072-1(S)  
042) C-WC-2472-1(R)  
Box Mull @Plant  
Qty: 1  
RO: 108 3/4"x91 1/4"  
Jamb: 6"  
Loc: MST BATH  
Sym: Q  
Clad: 023-Black



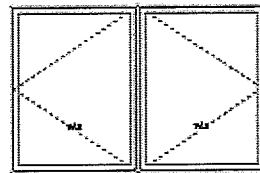
43) C-OD-3096-1(L)  
Qty: 1  
RO: 32 9/16"x97 15/16"  
Jamb: 6"  
Loc: MASTER  
Sym: 25  
Clad: 023-Black



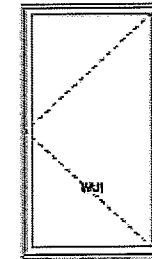
044) C-WA-3018-3(XXX)  
045) HORZ 1/2" INTER-LOCK  
046) C-DGP-9072-1(O)  
Box Mull @Plant  
Qty: 1  
RO: 90 3/4"x91 1/4"  
Jamb: 6"  
Loc: MASTER  
Sym: P  
Clad: 023-Black



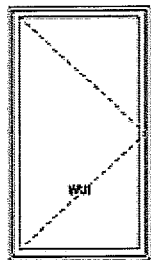
47) C-WC-3072-2(LR)  
Qty: 1  
RO: 60 3/4"x72 3/4"  
Jamb: 6"  
Loc: MASTER  
Sym: O  
Clad: 023-Black



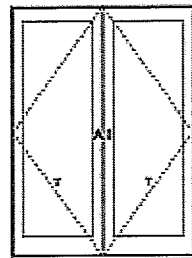
48) C-WC-3648-2(LR)  
Qty: 1  
RO: 72 3/4"x48 3/4"  
Jamb: 6"  
Loc: STAIRS  
Sym: Z  
Clad: 023-Black



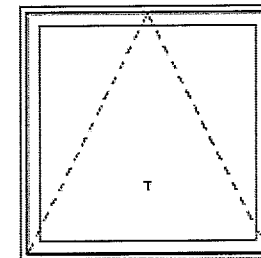
49) C-WC-3054-1(L)  
Qty: 1  
RO: 30 3/4"x54 3/4"  
Jamb: 6"  
Loc: BED 2  
Sym: Y  
Clad: 023-Black



50) C-WC-3054-1(R)  
Qty: 1  
RO: 30 3/4"x54 3/4"  
Jamb: 6"  
Loc: BED 2  
Sym: X  
Clad: 023-Black



51) C-ID-6490-2(AI)  
Qty: 1  
RO: 67 5/16"x92 1/2"  
Jamb: 6"  
Loc: BED 2  
Sym: 27  
Clad: 023-Black



52) C-WA-3030-1(X)  
Qty: 1  
RO: 30 3/4"x30 3/4"  
Jamb: 6"  
Loc: BATH 3  
Sym: W  
Clad: 023-Black