



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

May 28, 2026  
Agenda Item No. 6

**SUBJECT:** Dinuzzo Residence Addition (PA2026-0007)  
▪ Modification Permit

**SITE LOCATION:** 715 Patolita Drive

**APPLICANT:** Rose Sweeney, Project Coordination Consultants

**OWNER:** Andrew Dinuzzo, Dinuzzo Family Trust

**PLANNER:** Daniel Kopshever, Assistant Planner  
[dkopshever@newportbeachca.gov](mailto:dkopshever@newportbeachca.gov) or 949-644-3235

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)

### **PROJECT SUMMARY**

The applicant requests a modification permit to allow an approximately 42% addition to an existing 1,773-square-foot single-family dwelling with non-conforming parking. Title 20 (Planning and Zoning) of the Newport Beach Municipal Code (NBMC) limits additions to 10% of the existing gross floor area when the minimum required parking dimensions are not provided. The existing garage is considered non-conforming due to depth, as the garage has an interior clear dimension of approximately 16 feet, and 8-inches instead of the 20-foot depth required. The width of the garage complies with the NBMC (Project).

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving the Modification Permit filed as PA2026-0007 (Attachment No. ZA 1).

## **DISCUSSION**

- The property is developed with a 2,220-square-foot, single-unit dwelling constructed in 1955. The existing residence is single-story with an attached two-car garage.
- The Property is located in the R-1 (Single-Unit Residential) Zoning District, which allows for single-unit residential development on a single legal lot.
- The existing interior garage dimensions measure 20 feet, 8 inches wide by 18 feet, 9 inches deep. A washer and drier impacting the 18 feet and 9 inches of depth will be removed as a result of the project. The existing garage was compliant with the NBMC development standards at the time of construction. Prior to the changes to the NBMC, each parking space was required to have a minimum interior width of 8-feet, 3-inches and a minimum interior depth of 18 feet. As a result of the comprehensive zoning code update in 2010, Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC was updated to require that a two-car garage on a lot 40 feet wide or greater be constructed to a minimum of 20 feet wide by 20 feet deep. Therefore, the two-car garage is now substandard in size and is considered legal nonconforming
- The Zoning Code limits additions to residential structures with nonconforming parking dimensions to 10% of the existing floor area within a 10-year period. Section 20.38.060(2) (Nonconforming Parking – Dimensions or Type of Parking Spaces) of the NBMC allows for larger additions subject to the approval of a modification permit.
- Development along Patolita Drive consists of one-story single-unit dwellings. The proposed areas of addition will not exceed the maximum height allowed by the zoning district, is consistent with the design and height of other properties in the neighborhood, and will comply with all other applicable development standards such as floor area, open volume, and setbacks.
- The proposed 758-square-foot addition is to accommodate the construction of two new bedrooms, a bathroom, laundry room, and additional living room space. Expanding the depth of the garage towards the front property line is not feasible as the garage is built to the front setback, and the proposed addition does not affect the rear wall of the garage. Increasing the depth of the garage to satisfy current parking requirements would result in a negligible benefit and would require major structural alterations resulting in a significant increase in the scope of work.
- An additional alternative is to reduce the size of the addition to no more than 10% of the existing floor area of the structure as authorized under Section 20.38.060(A)

(Nonconforming Parking), of the NBMC. Given the intent of the project is to provide two new bedrooms, a laundry room, bathroom and an expanded living room in an existing one-story single-unit dwelling, a redesign to reduce the size of the addition to 177 square feet will significantly impact the objectives of the project and would not provide similar benefits to the applicant.

- The existing garage provides two useable garage spaces that are 1-foot, 3-inches less than the required depth, therefore fulfilling the intent of the Zoning Code by providing adequate parking onsite. Approval of the Modification Permit allows the applicant to continue using the existing two-car garage, which has not proven detrimental to the occupants or neighbors of the dwelling.
- The proposed addition will result in a total floor area that is less than the maximum allowed by the NBMC, as the proposed structure (including garage) is only 2,960 square feet where in R-1 the maximum total floor area is two times the buildable area of the lot, or 10,260 square feet maximum in this case.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

The Class 1 exemption authorizes minor alterations to existing structures involving negligible or no expansion of use. The Project involves a minor addition to an existing single-unit dwelling with no increase in parking demand. Therefore, the Project is a negligible intensification of use and the Class 1 exemption is applicable.

The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.


### **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

**APPEAL PERIOD:**

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



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Daniel Kopshever, Assistant Planner

JP/djk

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## RESOLUTION NO. ZA2026-###

### A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A MODIFICATION PERMIT FOR AN ADDITION GREATER THAN 10 PERCENT TO AN EXISTING SINGLE-UNIT DWELLING WITH A NONCONFORMING TWO-CAR GARAGE LOCATED AT 715 PATOLITA DRIVE (PA2026-0007)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Rose Sweeney (Applicant), with respect to property located at 715 Patolita Drive, and legally described as Lot 74 of Tract No. 1700 of Irvine Terrace (Property), requesting approval of a modification permit.
2. The Applicant requests a modification permit to allow an approximately 42% addition to an existing 1,773-square-foot single-unit dwelling with non-conforming parking. Title 20 (Planning and Zoning) of the Newport Beach Municipal Code (NBMC) limits additions to 10% of the existing gross floor area when the minimum required parking dimensions are not provided. The existing garage is considered non-conforming due to depth, as the garage has an interior clear dimension of approximately 16-feet, 8-inches instead of the 20-foot depth required. The width of the garage complies with the NBMC (Project).
3. The Property is categorized as RS-D (Single Unit Residential Detached) by the Land Use Element of the General Plan and is located within the R-1 (Single-Unit Residential) Zoning District.
4. The Property is not located within the coastal zone.
5. A public hearing was held on May 28, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with Chapter 20.62 (Public Hearings) of the NBMC. Evidence, both written and oral, was presented to and considered by, the Zoning Administrator at this hearing.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.
2. This exemption allows additions up to 10,000 square feet where public services and utilities are available, and the area is not considered environmentally sensitive. The proposed Project is a 758-square-foot addition to an existing single-unit dwelling in a developed neighborhood and is not within an environmentally sensitive area.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050 (E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

#### Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

#### Facts in Support of Finding:

1. Development along Patolita Drive consists primarily of single-story, single-unit dwellings. The existing single-unit dwelling was constructed in 1955, in compliance with development standards in effect at that time.
2. The maximum allowed square footage for the Property is 10,260. The Project will increase the floor area of the dwelling by 758 square feet, to a total of 2,531 square feet.
3. The areas of addition will not exceed the maximum height allowed by the zoning district, which is 24 feet for flat elements and 29 feet for a sloped roof. The proposed height is consistent with the design and height of other properties in the neighborhood.
4. The proposed addition will comply with minimum setbacks which are 15 feet in the front, 4 feet on the sides, and 10 feet in the rear.
5. The existing development on the Property is a single-unit dwelling and no additional dwelling units are proposed. Therefore, the Project does not result in a change to the density or intensity of the Property that would be incompatible with surrounding development.

#### Finding:

- B. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

#### Facts in Support of Finding:

1. The interior dimensions of the existing two-car garage were compliant with the development standards in place at the time of construction. Previously, the NBMC required each parking space to have a minimum width of 8 feet, 3 inches and a minimum interior depth of 18 feet. The garage currently provides 20 feet and 8 inches of width

and approximately 16 feet and 8 inches of depth. As a result of the comprehensive zoning code update in 2010, Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC was updated to require that a two-car garage on a lot 40 feet wide or greater be constructed to a minimum of 20 feet wide by 20 feet deep. Therefore, the two-car garage is now substandard in size and is considered legal non-conforming.

2. The Project does not include any changes to the front or the rear wall of the garage. The front wall of the garage is sited against the required front yard setback, therefore expanding the garage towards the front property line is not feasible. Relocating the rear wall of the garage would be costly, would significantly increase the scope of the Project, and would only gain 1 foot, 3 inches of garage depth.
3. The granting of the Modification Permit is necessary to allow a reasonable addition to an existing dwelling that was constructed in compliance with garage standards in effect at the time of original construction. Additionally, a washer and dryer at the rear wall of the existing garage results in the current interior clear space of 16 feet and 8 inches in depth. The Project will relocate the washer and dryer allowing for approximately 18 feet and 3 inches of depth. The Project will result in an addition which is consistent with what neighboring properties are able to construct.

Finding:

- C. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. Section 20.40.040 (Off-street Parking Spaces Required) of the NBMC provides that a single-unit residence with less than 4,000 square feet of floor area requires a two-car garage and a residence larger than 4,000 square feet in area requires a three-car garage. Because the Project does not trigger an additional required parking space, it does not intensify the non-conforming parking condition.
2. The existing garage provides two usable parking spaces, thereby fulfilling the intent of the NBMC that a single-unit dwelling under 4,000 square feet in area provide two off-street parking spaces. Approval of the Modification Permit will allow the Owner to continue using the existing two-car garage without expanding it. Further, its current configuration has proven adequate and not detrimental to either the occupants or the neighbors of the dwelling. The Project will not create a demand for on-street parking in the area.
3. The Project will accommodate the construction of two new bedrooms, a bathroom, laundry room, and additional living room space to the single-story residence. Expanding the depth of the garage towards the front property line is not feasible as the garage is built to the front setback. The rear of the garage shares a wall with the kitchen and expanding the garage towards the kitchen would require removing the counter tops, stove, oven, and refrigerator at the expense of existing floor area of the dwelling and would significantly increase the scope of the Project to gain 1-foot, 3-inches of garage

depth. This alternative would make the Project infeasible and is inconsistent with the purpose and intent of the Zoning Code.

Finding:

- D. *There are no alternatives to the modification permit that could provide similar benefits to the Applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. An alternative to granting the modification permit is to require the garage be brought into compliance with current NBMC standards. Bringing the garage into compliance with the NBMC would provide a negligible benefit, and it would unreasonably require significant alterations to the structure well beyond the scope of the planned addition. Fact 1 in support of Finding C is hereby incorporated by reference.
2. An additional alternative is to reduce the size of the addition to no more than 10% of the existing floor area of the structure, as authorized under Section 20.38.060 (A) (Nonconforming Parking) of the NBMC. Given the intent of the Project is to provide two new bedrooms, a bathroom, laundry room and an addition the living room of a single-story residence, a redesign to reduce the size of the addition to 177 square feet will significantly impact the objectives of the Project and would not provide similar benefits to the Applicant.
3. The Project is not anticipated to cause any detrimental effects to the neighborhood. The Project complies with all development standards, apart from minimum parking space depth, and two cars will be able to park within the garage.

Finding:

- E. *The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. The proposed addition would maintain all required setbacks and will provide adequate protection for light, air, and privacy. The addition will not preclude access to the dwelling and will be consistent in scale with other single-story dwellings in the neighborhood. The minimum required open volume is 770 square feet, and the proposed open volume after the addition is over 2,000 square feet.
2. The proposed addition will result in a total floor area that is less than the maximum allowed by NBMC, as the proposed structure (including garage) is only 2,960 square feet where the maximum floor area allowed is 10,260 square feet. Thus, the proposed addition would not result in a change in intensity that is inconsistent with the provisions of the NBMC.

3. The proposed addition maintains more than the minimum 3-foot side yard for fire access in accordance with Section 20.30.110 (A)(1)(c) (Setbacks Regulations and Exceptions) of the NBMC.
4. The approval of this Modification Permit is conditioned such that the Applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes. The Building Division has reviewed the proposed project and added conditions of approval.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The exceptions to this categorical exemption under Section 15300.2 of the CEQA Guidelines are not applicable.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Modification Permit filed as PA2026-0007, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 20 (Planning and Zoning), of the NBMC.

**PASSED, APPROVED, AND ADOPTED THIS 28TH DAY OF MAY 2026**

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Liz Westmoreland, AICP, Zoning Administrator

**EXHIBIT "A"**

**CONDITIONS OF APPROVAL**

**PLANNING**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. Each parking space within the garage shall be permanently available and maintained for parking purposes. The interior clear dimensions (20 feet, 8 inches wide by 18 feet, 9 inches deep) shall be kept clear of obstructions including cabinets, shelving, or similar that may impact the ability to adequately park two vehicles.
3. The Project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
4. The Applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Modification Permit.
5. Demolition beyond the approved scope of work requires Planning Division approval prior to commencement of work. Approval of revisions to Project plans are not guaranteed. Any changes in the current scope of work may require the garage structure to be demolished and redeveloped in conformance with the current Zoning Code Development Standards.
6. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
7. Should the Property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
8. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with Section 20.54.060 (Time Limits and Extensions) of the NBMC.
9. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Regulations) of the NBMC and other applicable noise control requirements of the NBMC.
10. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.

11. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Dinuzzo Residence Addition including, but not limited to, the Modification Permit filed as PA2026-0007**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

### **PUBLIC WORKS**

12. The existing driveway approach shall be plugged and replaced with full height curb, gutter, and sidewalk per City Standard 165.
13. The proposed driveway approach shall be constructed per City Standard 163.
14. A new sewer cleanout shall be installed on the existing sewer lateral per City Standard 406.

### **FIRE**

15. An automatic fire sprinkler system shall be provided if determined to be required by the Fire Division upon building permit plan check review.

# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



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Modification Permit (PA2026-0007)  
**715 Patolita Drive**

# **Attachment No. ZA 3**

Project Plans







CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SINGLE HOUSE ADDITION  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2025-09-08T13:20:37:07-00  
Input File Name: Y25-7612-rb622x

C718-P8F-01-E  
(Page 1 of 13)

GENERAL INFORMATION table with columns for Item, Project Name, Item, Standards Version, etc.

COMPLIANCE RESULTS table with columns for Item, Description, Status.

Registration Number: 425-P0102744654-000-000-0000000-0000  
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SINGLE HOUSE ADDITION  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2025-09-08T13:20:37:07-00  
Input File Name: Y25-7612-rb622x

C718-P8F-01-E  
(Page 2 of 13)

ENERGY USE SUMMARY table with columns for Energy Use, Standard Design Energy, Proposed Design Energy, Margin, etc.

Registration Number: 425-P0102744654-000-000-0000000-0000  
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SINGLE HOUSE ADDITION  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2025-09-08T13:20:37:07-00  
Input File Name: Y25-7612-rb622x

C718-P8F-01-E  
(Page 3 of 13)

ENERGY USE INTENSITY table with columns for Gross EUI, Net EUI, Standard Design, Proposed Design, Margin, etc.

REQUIRED SPECIAL FEATURES table with columns for Item, Description, Status.

HERS FEATURE SUMMARY table with columns for Item, Description, Status.

BUILDING - FEATURES INFORMATION table with columns for Zone Name, Zone Type, HVAC System Name, etc.

Registration Number: 425-P0102744654-000-000-0000000-0000  
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SINGLE HOUSE ADDITION  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2025-09-08T13:20:37:07-00  
Input File Name: Y25-7612-rb622x

C718-P8F-01-E  
(Page 4 of 13)

OPaque SURFACES table with columns for Name, Zone, Construction, Azimuth, Orientation, etc.

OPaque SURFACES - CATHEDRAL CEILING table with columns for Name, Zone, Construction, Azimuth, etc.

Registration Number: 425-P0102744654-000-000-0000000-0000  
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SINGLE HOUSE ADDITION  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2025-09-08T13:20:37:07-00  
Input File Name: Y25-7612-rb622x

C718-P8F-01-E  
(Page 5 of 13)

ATTC table with columns for Name, Construction, Type, Roof Area, etc.

FENESTRATION / GLAZING table with columns for Name, Type, Surface, Orientation, Azimuth, etc.

Registration Number: 425-P0102744654-000-000-0000000-0000  
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SINGLE HOUSE ADDITION  
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2025-09-08T13:20:37:07-00  
Input File Name: Y25-7612-rb622x

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(Page 6 of 13)

SLAB FLOORS table with columns for Name, Zone, Area, Perimeter, Edge Insul., etc.

OPaque SURFACE CONSTRUCTIONS table with columns for Construction Name, Surface Type, Construction Type, etc.

Registration Number: 425-P0102744654-000-000-0000000-0000  
HERS Provider: CHEERS



REVISIONS BY

Vertical text on the right side of the page, likely a revision log or contact information.

SINGLE HOUSE ADDITION  
715 FATOLITA DR.  
NEWPORT BEACH, CA 92625

Date: 9/8/2025  
Scale:  
Drawn:  
Job #: Y25-7612  
Sheet: 1  
RESIDENTIAL  
T24 SHEET  
Of 3 Sheets











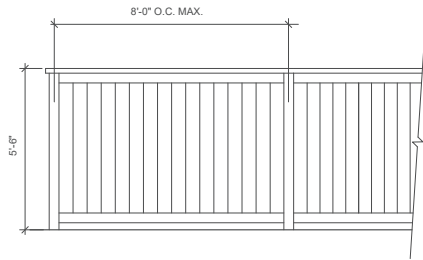




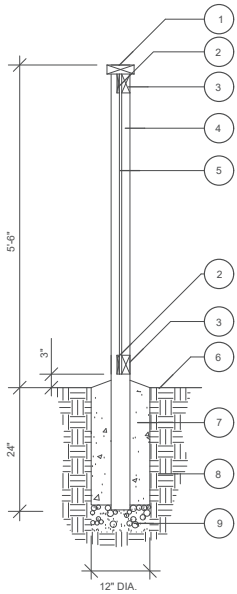








FRONT ELEVATION  
1/2"=1'-0"

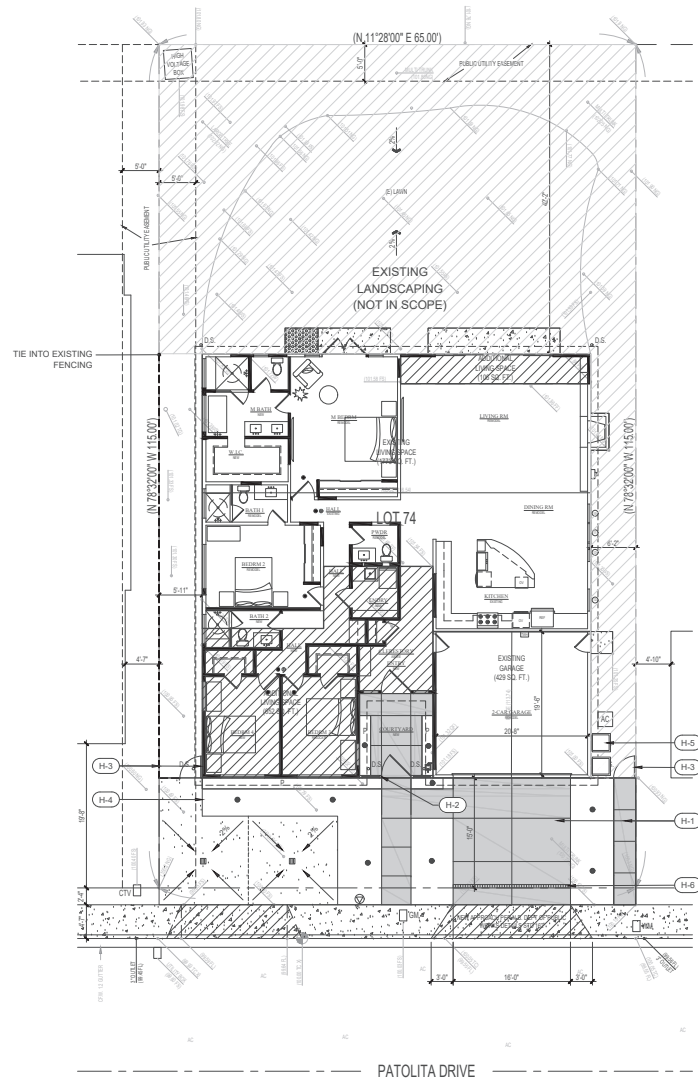


FENCE SECTION  
1"=1'-0"

SIDEYARD FENCING DETAIL

1. 2 X 6 CAP
2. 1/2 X 4 TRIM (TOP AND BOTTOM)
3. 2 X 4 STRINGER (TOP AND BOTTOM)
4. 4 X 4 REDWOOD OR CEDAR POST @ 8'-0" O.C. - TO BE LOCATED AT TOP AND TOE OF SLOPE WHERE OCCURS
5. 1 X 6 #1 GRADE CEDAR VERTICAL BOARDS (BUTT JOINTED)
6. FINISH GRADE
7. CONCRETE FOOTING
8. COMPACTED SUBGRADE
9. GRAVEL BASE

NOTES:  
FENCING TO MATCH EXISTING AND PAINTED TO MATCH EXISTING COLOR.



PATOLITA DRIVE

**CONSTRUCTION LEGEND:**

- H-1 CONCRETE PAVING AT DRIVEWAY AND WALKWAYS
- H-2 42" HIGH MAX. DECORATIVE WOOD FENCE & GATES. REFER TO ARCHITECTURAL PLANS FOR ELEVATIONS.
- H-3 6'-0" HIGH WOOD FENCING/GATES (MATCH EXISTING) SEE DETAIL THIS SHEET.
- H-4 METAL HEADER
- H-5 TRASH RECEPTACLE STORAGE
- H-6 TRENCH DRAIN

**SYMBOL LEGEND**

- |    |                      |      |                                                                                                            |
|----|----------------------|------|------------------------------------------------------------------------------------------------------------|
| DS | DOWNSPOUT            | BW   | BOTTOM OF WALL                                                                                             |
| WM | EXISTING WATER METER | EXTG | EXISTING DIRECTION OF FLOW TO BE 2% MINIMUM AT PLANTING AREAS & 1% AT HARDSCAPE UNLESS INDICATED OTHERWISE |
| GM | EXISTING GAS METER   |      | 4" ATRIUM DRAIN                                                                                            |
|    |                      |      | 6" BRASS AREA DRAIN                                                                                        |
|    |                      |      | GRADE BREAK                                                                                                |

**CONSTRUCTION NOTES:**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND ADJUST AS NECESSARY WHILE MAINTAINING THE DESIGN CONCEPT.
2. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO BEGINNING ANY WORK AND CONTACT LANDSCAPE ARCHITECT FOR AUTHORIZATION IF MODIFICATIONS ARE NECESSARY.
3. PAVING CONTRACTOR SHALL COORDINATE WITH DRAINAGE CONTRACTOR, IRRIGATION CONTRACTOR AND ELECTRICIAN TO ENSURE THAT ALL SLEEVES AND CROSSINGS ARE PROVIDED PRIOR TO PLACING OF PAVING, CONCRETE, ETC.
4. VERIFY WITH THE PROJECT SOILS ENGINEER THE NEED FOR REINFORCING, BASE MATERIALS, PRESATURATION, ETC., FOR WALKS, PATIOS, FOOTINGS, ETC.
5. EXPANSION JOINTS OCCUR AT BOTTOM OF STEPS, CHANGE IN DIRECTION OF CONCRETE WALKS, ADJACENT TO BUILDINGS AND WHERE NEW CONCRETE PAVING ABUTS EXISTING SIDEWALKS AND/OR CURBS. THE RECOMMENDED SPACING FOR EXPANSION JOINTS IN WALKS IS 16'-0" O.C. FOR CONTINUOUS WALKS UNLESS OTHERWISE RECOMMENDED BY SOILS ENGINEER.
6. SCORE JOINTS OCCUR WHERE SHOWN ON PLAN AND AS NECESSARY TO MINIMIZE AND CONTROL CRACKING OF CONCRETE PAVING.
7. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
8. FINISH SURFACE OF CONCRETE TO BE 1/2" MINIMUM BELOW STUCCO SCREED; VERIFY IN FIELD AND ADJUST GRADES IF NECESSARY TO ACHIEVE THIS.
9. SLEEVE ALL UNDERGROUND WIRE FOR LOW VOLTAGE LIGHTING.

REVISED

**kb**  
Kami Bishop  
Landscape Architect  
Mission Viejo, CA 92692  
(949) 878-0321  
bishopkami@gmail.com



This and all other project documents and plans, estimates and designs incorporated herein, are instruments of service. All project documents are the registered property of Kami Bishop, Landscape Architect and cannot be lawfully used in part or whole for any project or project except as described in the contractual agreement between the client and Kami Bishop, Landscape Architect.

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DINUZO RESIDENCE  
715 PATOLITA DRIVE  
NEWPORT BEACH, CALIFORNIA

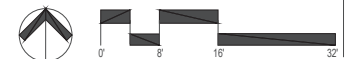
CONSTRUCTION &  
DRAINAGE  
PLAN

SHEET NO

L-1

OF 3 SHEETS

SCALE: 1/8" = 1'-0"  
DATE: 4/13/2024  
DRAWN BY: kb



PATOLITA DRIVE					4/3/2026	
<b>MAXIMUM APPLIED WATER ALLOWANCE:</b>						
TOTAL MAWA=(Eto)(0.7)[(0.55 x LA) + (0.45 x SLA)]						
Eto	factor	ETAF	AREA			12,742 Gal./Yr
LA	45.4	0.7	0.55	729	=	12,742
SLA	45.4	0.7	0.45	0	=	0
TOTAL ESTIMATED APPLIED WATER USED: 12,545 Gal./Yr						
TOTAL EAWU=(Eto x 0.7) x [(HA x PF)/IE] + SLA] 17 ccf/yr						
Calculations :						
Percentage of MAWA used : 98%						
Hydrozone #1 (Low Shrub Drip)						
(	45.4	x	0.70	x	$\left[ \frac{(HA)}{250} \times \frac{(PF)}{0.81} \right] + 0$	= 1,962 Gal./Yr
Hydrozone #2 (Mod Shrub Drip)						
(	45.4	x	0.70	x	$\left[ \frac{(HA)}{185} \times \frac{(PF)}{0.81} \right] + 0$	= 2,903 Gal./Yr
Hydrozone #3 (Mod Turf HE Spray)						
(	45.4	x	0.70	x	$\left[ \frac{(HA)}{294} \times \frac{(PF)}{0.73} \right] + 0$	= 7,679 Gal./Yr

PLANT PICTURES

TREE



OLEA EUROPAEA 'SWAN HILL'

GROUND COVER



TRACHELOSPERMUM JASMINOIDES

SHRUBS



ARTEMESIA 'POWIS CASTLE'



BUXUS JAPONICA 'GREEN BEAUTY'



DIANELLA 'LITTLE REV'



LAVENDULA 'GOODWIN CREEK'



PENNISETUM ALOPECUROIDES 'HA MELN'



SALVIA LEUCANTHA 'SANTA BARBARA'



WESTRINGIA F. 'GREY BOX'

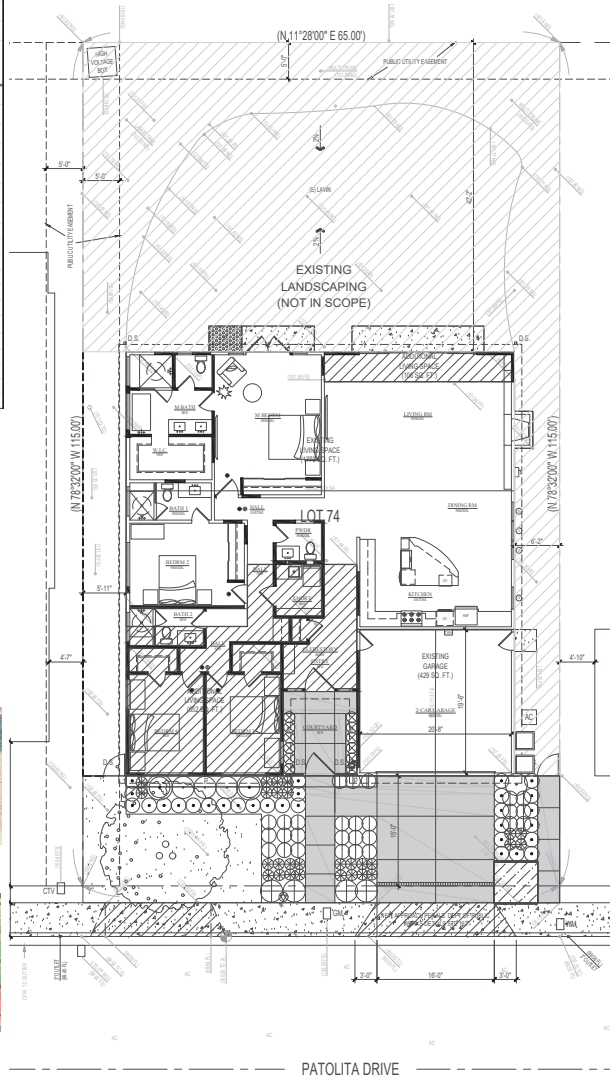


WESTRINGIA F. 'MORNING LIGHT'

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWELD.

*K. Bishop*  
LANDSCAPE ARCHITECT

4/3/2026  
DATE



PLANT PALETTE

TREES

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	WUCOLS
OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	36" BOX MULTI	LOW

SHRUBS

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	WUCOLS
ARTEMESIA 'POWIS CASTLE'	ARTEMESIA	1 GAL.	LOW
BUXUS JAPONICA 'GREEN BEAUTY'	BOXWOOD	5 GAL.	MOD
DIANELLA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL.	LOW
LAVANDULA 'GOODWIN CREEK'	GOODWIN CREEK LAVENDER	5 GAL.	LOW
PENNISETUM ALOPECUROIDES 'HA MELN'	DWARF FOUNTAIN GRASS	5 GAL.	MOD
SALVIA LEUCANTHA 'SANTA BARBARA'	SANTA BARBARA MEXICAN SAGE	5 GAL.	LOW
WESTRINGIA F. 'GREY BOX'	COAST ROSEMARY	5 GAL.	LOW
WESTRINGIA F. 'MORNING LIGHT'	COAST ROSEMARY	15 GAL.	LOW

GROUND COVER

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	WUCOLS
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	PLUGS @ 8" OC	MOD

SODDED TURF GRASS

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	WUCOLS
ST. AUGUSTINE	ST. AUGUSTINE	SOD	MOD

REHABILITATED FRONT YARD LANDSCAPE AREA: 1,124 SF (72%)  
TOTAL FRONT YARD AREA: 1,545 SF

NOTES:

- LANDSCAPE PLANTING TO COMPLY WITH NEWPORT BEACH LANDSCAPE DESIGN STANDARDS & WATER EFFICIENT LANDSCAPE ORDINANCE PRESCRIPTIVE COMPLIANCE OPTION (CHAPTER 14.17 OF THE MUNICIPAL CODE).
- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).
- A MINIMUM THREE INCH (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
  - AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA.
  - IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
  - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
  - MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
  - ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC2014, "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARDS." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 892-2014.
- FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS AND HANDRAILS OR ANY COMBINATIONS THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA(S).
- LANDSCAPE CERTIFICATION IS REQUIRED. APPLICANT MUST PROVIDE:
  - THIRD PARTY STAMPED AND SIGNED CERTIFICATE OF COMPLETION.
  - THIRD PARTY AUDIT.
  - CROSS-INSTALLATION IRRIGATION SCHEDULE AND MAINTENANCE SCHEDULE.

REVISED

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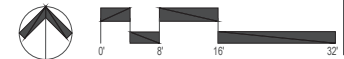
PLANTING PLAN

SHEET NO

L-2

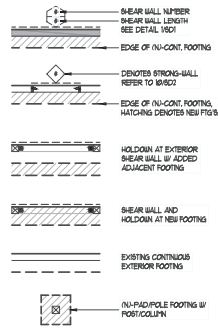
OF 3 SHEETS

SCALE: 1/8" = 1'-0"  
DATE: 4/3/2026  
DRAWN BY: kb



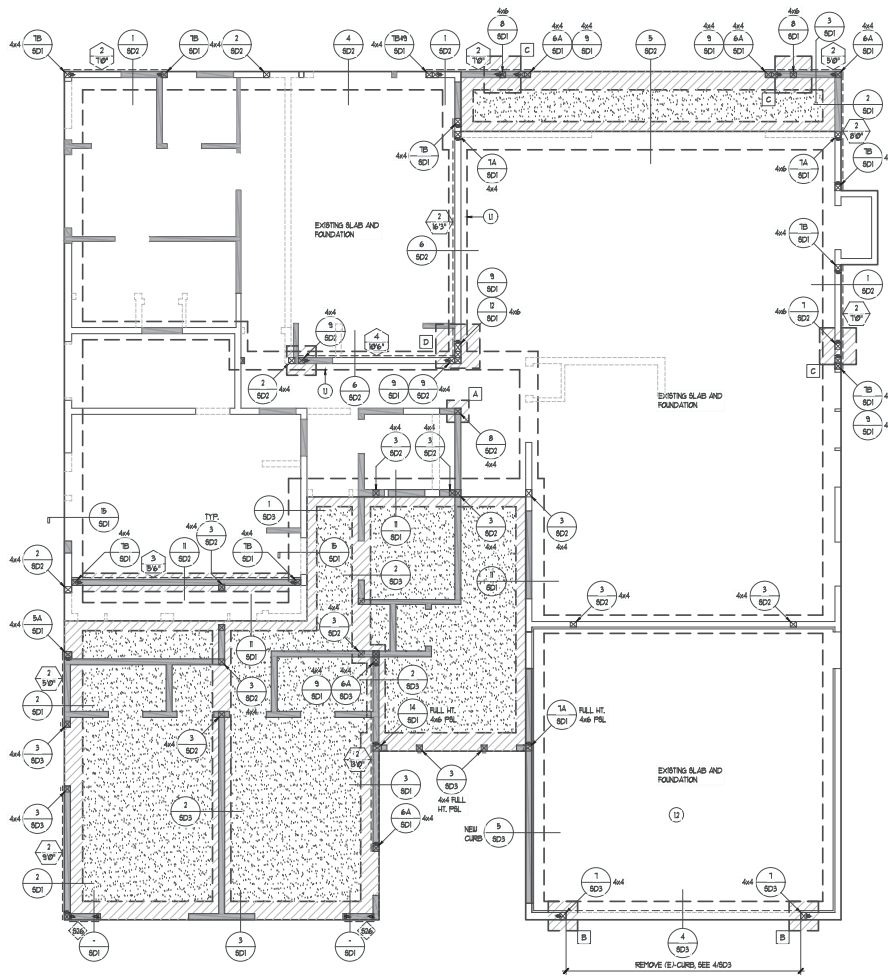


**FOUNDATION LEGEND**



**FOUNDATION SCHEDULE**

MARK	SIZE, TYPE, SPACING
A	1'-6" SQ. x 1'-3" DEEP PAD FOOTING W/ 3/4" BARS EACH WAY AT 18"
B	7'-6" SQ. x 1'-3" DEEP PAD FOOTING W/ 3/4" BARS EACH WAY AT 18"
C	2'-4" SQ. x 1'-3" DEEP PAD FOOTING W/ 3/4" BARS EACH WAY AT 18"
D	3'-0" SQ. x 1'-3" DEEP PAD FOOTING W/ 3/4" BARS EACH WAY AT 18"



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

**FOUNDATION NOTES**

- SEE SHEET 60N AND 60N1 FOR GENERAL NOTES AND TYPICAL DETAILS.
- FOR SIZE OF NEW "W" FOOTINGS AT SHEAR WALL END POSTS SHOWN ON THESE PLANS, REFER TO DETAIL A.
- NEW CONCRETE SLAB (DOT HATCHING ON FOUNDATION PLAN) OF 4" THICK CONCRETE WITH #4 BARS AT 18" ON CENTER EACH WAY AT CENTER OF SLAB. SLAB SHALL BE FORMED OVER A 4" THICK SAND LAYER WITH 10% VAPOR BARRIER (STEGO WRAP OR EQV.) IN THE MIDDLE OF THE SAND LAYER.
- ALL MEMBERS IN THE AREA OF CONSTRUCTION OR INFLUENCED IN ANY WAY DURING CONSTRUCTION THAT ARE NOTED ON PLANS AS EXISTING SHALL BE VERIFIED IN THE FIELD FOR LOCATION, SIZE, AND GRADE. CONTACT THE ENGINEER WITH DISCREPANCIES BEFORE PROCEEDING.
- DIMENSIONS ARE TO CENTERLINE OR FACE OF FOOTINGS. SEE OTHER PLANS FOR LOCATIONS OF POSTS, WALLS, ETC. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- PROVIDE 3x (OR 4x) MEMBERS AT ALL ADJOINING SHEATHING EDGES FOR SHEAR WALLS 14, 19, AND 20. ALL DOUBLE-ENDED SHEAR WALL CONDITIONS, REFER TO DETAIL 802 FOR MORE INFORMATION AND DETAILS 8002 AND 8003 FOR EXISTING CONDITIONS.
- DIMENSIONS ARE NOT INDICATED TO HOLD-DOWN. IT IS THE RESPONSIBILITY OF CONTRACTOR'S SUPERINTENDENT, THE FRAMING CONTRACTOR AND THE CONCRETE CONTRACTOR TO LOCATE THE ANCHORS FOR THE HOLD-DOWNS IN THE EXACT LOCATION, REFER TO DETAILS AND MANUFACTURER'S SPECIFICATIONS FOR PROPER INSTALLATION.
- SPECIAL INSPECTION IS REQUIRED FOR ALL EMPLOY-INSTALLED BOLTS AND DOUELS AND FOR ALL TITEN HD. SEE SOH FOR SPECIAL INSPECTION NOTES.
- SPECIAL INSPECTION IS REQUIRED FOR ALL SHEAR WALLS WHERE NAIL SPACING IS 4" OR LESS. SEE SHEET 60N FOR MORE INFORMATION.
- PERIODIC SPECIAL INSPECTION IS REQUIRED FOR ALL 60N SPIN-STEEL STRONG WALLS (60N). REFER TO SOH FOR MORE INFORMATION.
- THOSE FRAMING MEMBERS CALLED OUT AT EXISTING LOCATIONS ARE INTENDED TO BE THE MINIMUM REQUIREMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING FRAMING.
- PROVIDE FULL-TITLE STUDS AT ALL BEAMS FOR FULL BEARINGS UNLESS NOTED OTHERWISE ON PLANS.
- THE LOCATION OF THE EXISTING FOOTINGS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION. THE SIZE AND LOCATION OF THE FOOTINGS WERE ASSUMED. CONTACT ENGINEER WITH ANY DISCREPANCIES. IF AN ASSUMED EXISTING FOOTING DOES NOT OCCUR UNDER A POST SHOWN ON THE PLANS, CONTACT ENGINEER IMMEDIATELY.
- NEW POSTS SHOWN ON PLANS ARE MINIMUM SIZE. ALL THICKNESSES PREVENTS A CERTAIN POST SIZE. CONTACT ENGINEER FOR ALTERNATE.
- ENSURE ALL NEW FOUNDATIONS ARE FIRMED IN FIRM APPROVED SOILS.
- ALL POSTS WITH HOLD-DOWNS OR STRAPS SHALL BE CONTINUOUSLY EDGE NAILED.
- FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL. SEE WOOD NOTES ON SHEET 60N FOR MORE INFORMATION.
- WHERE A DETAIL IS CALLED OUT AT EXISTING FRAMING IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING CONDITIONS MEET THE SPECIFICATIONS IN THE DETAIL, SUCH AS FRAMING, SHEATHING, WALLS, CONNECTORS, ETC. AND SHALL MAKE CONNECTIONS TO MATCH THE DETAIL.
- FOR THOSE AREAS THAT ARE TO REMAIN DO NOT DAMAGE ANY EXISTING FRAMING MEMBERS, CONNECTORS (HARDWARE), FOUNDATIONS OR SHEATHING DURING CONSTRUCTION.
- ALL MEMBERS MARKED AS EXISTING SHALL BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER. MEMBERS NOT MARKED AS EXISTING SHALL BE NEW MEMBERS AS SPECIFIED ON THE PLANS.
- CONTRACTOR SHALL VERIFY SPECIFIED STRONG-WALL MATCH ARCHITECTURAL HEIGHT AND WIDTH REQUIREMENTS PRIOR TO PURCHASING.
- HOLD-DOWN ANCHORS MUST BE REQUIRED IN PLACE PRIOR TO FOUNDATION INSPECTION AND BE TIGHTENED LAST PRIOR TO COVERING THE WALL FRAMING.
- EXISTING FOUNDATION MAY CONSIST OF A POST-TENSION (PT) SYSTEM. LOCATE ALL TENDONS/ANCHORS IN THE AREAS OF NEW CONSTRUCTION PRIOR TO DRILLING, CUTTING OR PERFORMING ANY NEW CONSTRUCTION. DO NOT DAMAGE EXISTING TENDON/ANCHORS.

**FOUNDATION KEYNOTES**

- (U) EXISTING FOOTING ASSUMED. CONTRACTOR SHALL EITHER VERIFY BEFORE BIDDING AND/OR NOTIFY OWNER OF POTENTIAL ADDITIONAL COSTS PRIOR TO BEING CONTRACTED.
- (D) CONTRACTOR SHALL PROVIDE BLOTTING MATERIAL TOWARDS NEW GARAGE "CAR" DOOR OPENING.

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**MEN KOLODZIEL, PE**  
Civil Engineer  
License No. 12129

**JOB TITLE**

**SHEET TITLE**

09/08/25

**FOUNDATION PLAN**

NO.	DATE	REVISION

PROJECT NO. 25-136

DRAWN BY K.K.

CHECKED BY K.K.

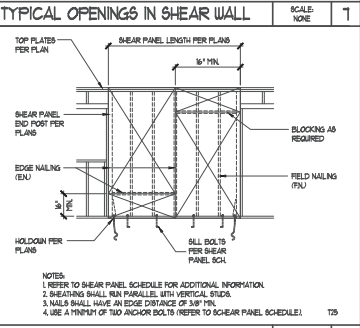
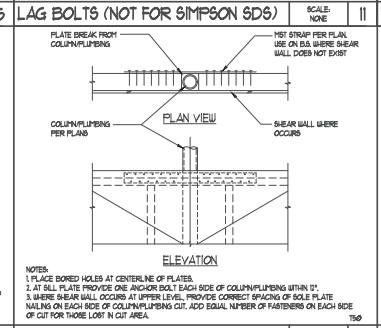
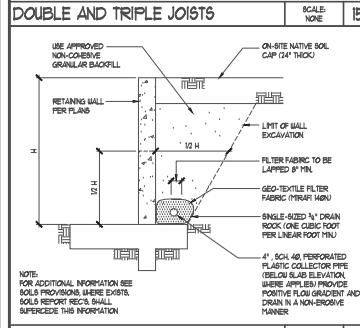
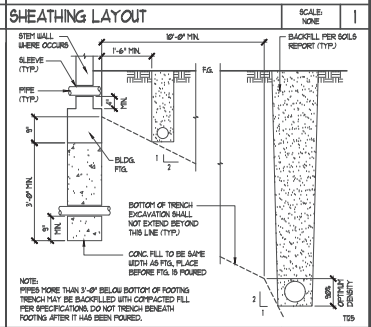
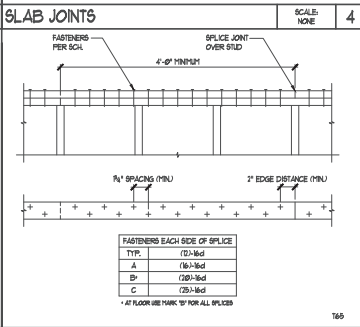
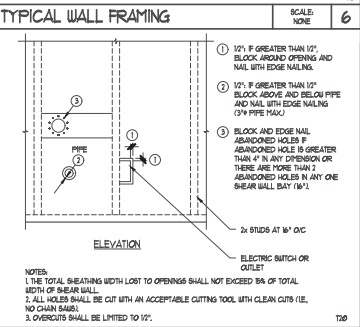
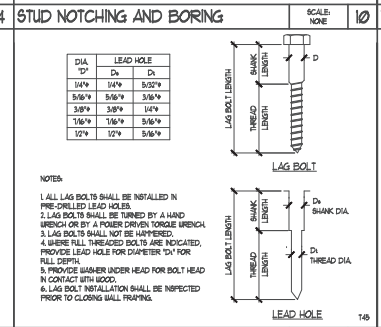
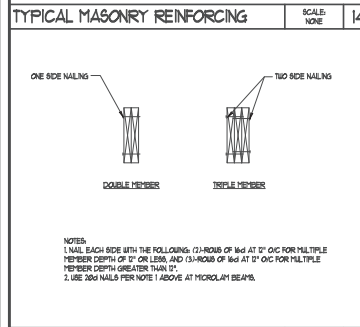
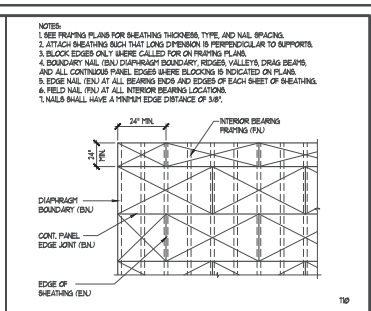
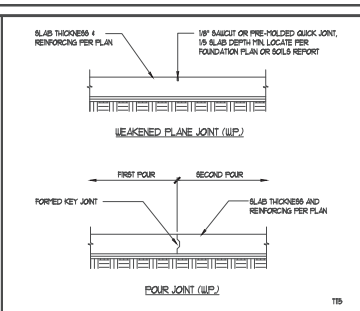
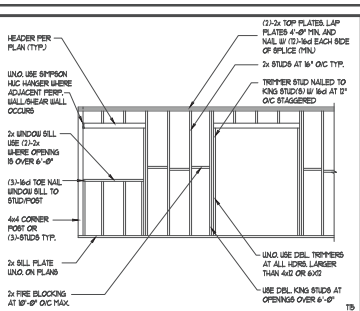
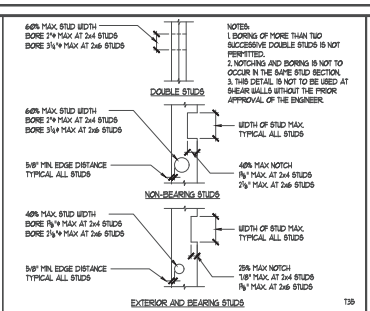
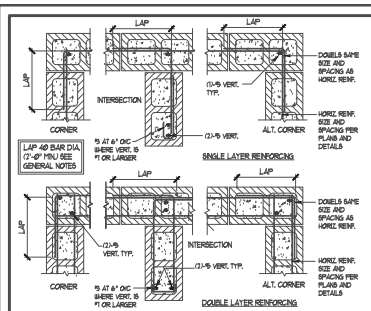
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PRINT DATE 09/08/25

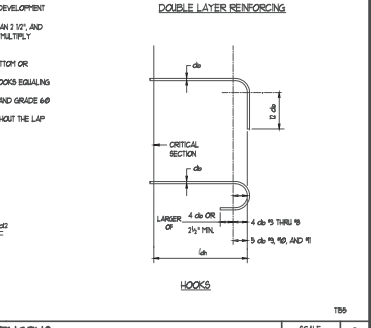
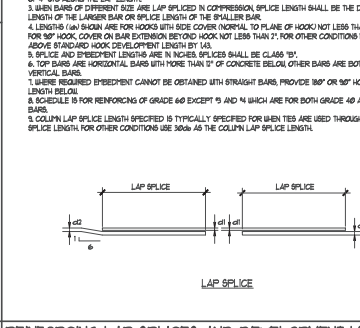
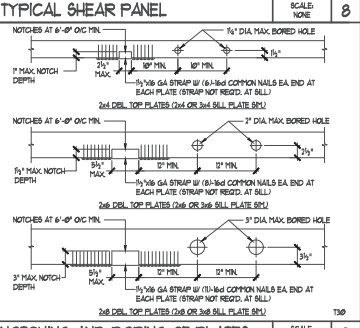
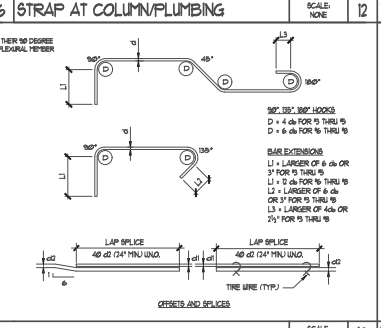
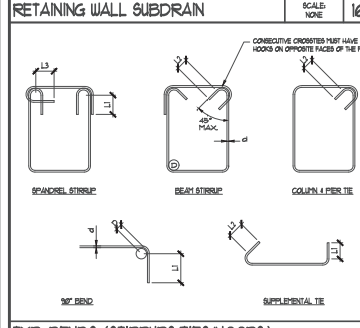
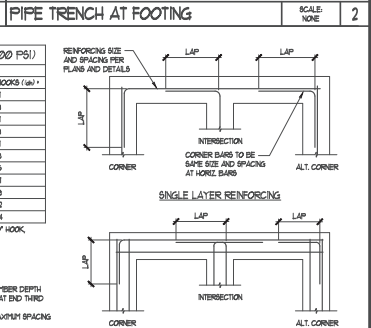
SHEET NO. 51







BAR SIZE	BAR DIA.	LAP SPICE LENGTH (in)	DEVELOPMENT LENGTH (in)
3 GR 40	#3	16	16
4 GR 40	#4	20	20
5	#5	24	24
6	#6	30	30
7	#7	36	36
8	#8	42	42
9	#9	48	48
10	#10	54	54
11	#11	60	60
12	#12	66	66
13	#13	72	72
14	#14	78	78
15	#15	84	84
16	#16	90	90
17	#17	96	96
18	#18	102	102
19	#19	108	108
20	#20	114	114
21	#21	120	120
22	#22	126	126



TYP. BENDS (STIRRUPS/TIES/HOOFS) SCALE: NONE 13

NOTCHING AND BORING OF PLATES SCALE: NONE 9

REINFORCING LAP SPLICES AND DEVELOPMENT LENGTHS SCALE: NONE 3

TYPICAL MASONRY REINFORCING SCALE: NONE 14

STUD NOTCHING AND BORING SCALE: NONE 10

TYPICAL WALL FRAMING SCALE: NONE 6

SLAB JOINTS SCALE: NONE 4

SHEATHING LAYOUT SCALE: NONE 1

DOUBLE AND TRIPLE JOISTS SCALE: NONE 15

LAG BOLTS (NOT FOR SIMPSON 9DS) SCALE: NONE 11

TYPICAL OPENINGS IN SHEAR WALL SCALE: NONE 7

TOP PLATE SPLICE SCALE: NONE 5

PIPE TRENCH AT FOOTING SCALE: NONE 2

RETAINING WALL SUBDRAIN SCALE: NONE 16

STRAP AT COLUMN/PLUMBING SCALE: NONE 12

TYPICAL SHEAR PANEL SCALE: NONE 8

REINFORCING LAP SPLICES AND DEVELOPMENT LENGTHS SCALE: NONE 3

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JOB TITLE: \_\_\_\_\_  
SHEET TITLE: GENERAL DETAILS

DATE: 09/08/25

PROJECT NO. 25-136  
DRAWN BY: K.K.K.  
CHECKED BY: K.K.K.  
SCALE: AS NOTED  
PRINT DATE: 09/08/25  
SHEET NO. \_\_\_\_\_

**SGNI**









