

Attachment No. PC 3

Project Plans

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ROGUE COLLECTIVE

Tenant Improvement & Event Space

Creative Offices

Matthew Barnes / Owner

858 Production Place
Newport Beach California 92663

PROJECT TEAM

OWNER / APPLICANT: Matthew Barnes 852 & 858 Production Place Newport Beach, California, 92660 Contact: Matthew Barnes P: (949) 207-9582 E: matt@roguecreatives.com	ARCHITECT/DESIGN PROFESSIONAL IN CHARGE: Angle Architecture 17848 Sky Park Circle, Suite D Irvine, California, 92614 Contact: Timothy Rhoads P: (808) 280-5961 E: timrhoadsra@gmail.com	PLUMBING / MECHANICAL ENGINEER: AG Engineering Group, Inc. 4667 MacArthur Blvd., Suite 460 Newport Beach, California, 92660 Contact: Greg Aliberti P: (951) 218-9759 E: greg@agengineeringgroup.com	BUILDING & SAFETY DEPT.: City of Newport Beach 100 Civic Center Drive Newport Beach, California 92660 (949) 644-3309
TENANT LANDLORD: PCCP, LLC 10100 Santa Monica Blvd Suite 1000 Los Angeles, California, 90067 P: (310) 414-2004 Contact: Greg Eberhardt gerberhardt@pccpllc.com			

DEFERRED SUBMITTALS:

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

1. A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED ACCORDING TO NFPA 13 STANDARD PER 2022 CFC 900.2.1.1.
2. A WATERFLOW MONITORING (FIRE ALARM) SYSTEM SHALL BE INSTALLED PER NFPA 72 AND 2022 CFC 907.
3. AN UNDERGROUND WATER SUPPLY SHALL BE INSTALLED PER NFPA 24 AND 2022 CFC 903.

SPECIAL INSPECTION:

1. ALL FIELD WELDING.
2. A 325 HIGH STRENGTH BOLTS.
3. EPOXY DOWELS AT FOUNDATION.
4. SHEAR PANELS WITH NAILING 4" O.C. OR LESS (TYPE 9 OR GREATER SHEAR WALLS)
5. FLOOR OR ROOF DIAPHRAGMS WITH NAILING 4" O.C. OR LESS.
6. HARDY FRAME HFY PANELS AND HARDY MOMENT FRAMES.

SEPERATE PERMITS:

1. A/C UNIT INSTALLATION SHALL REQUIRE SEPARATE REVIEW AND PERMIT.

TEMPERED GLASS:

ALL TEMPERED GLASS SHALL BE ETCHED MARKED.

UTILITY:

SOUTHERN CALIFORNIA EDISON APPROVAL IS REQUIRED FOR METER LOCATION PRIOR TO INSTALLATION.

CONSTRUCTION & DEMOLITION WASTE:

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 CAL-GREEN CODE.

CAL-OSHA:

A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5-FEET AND FOR SHORING AND UNDERPINNING.

PROJECT CODE ANALYSIS

Occupancy Groups: B-OFFICE
 Occupancy Separation: 1-HR Required - B-Occupancy to A-Occupancy -Sprinklered & S-Occupancy -Sprinklered
 1-Story - Construction Type: III-B 2-HR - Tilt-Up Concrete Perimeter Walls
 Sprinklers Required: NO Due to Less than 100 Occupant Load - NOTE: FIRE SPRINKLERS ARE INSTALLED & EXISTING
 Required Exits: Suite 852 - 2 Exits Required for 29-Occupant Load / Suite 858 - 2 Exits Required for 26-Occupant Load
 Common Path of Egress Travel Distance: Suite 852 - 75 Feet / Suite 858 - 75 Feet

BUILDING CODE INFORMATION

BUILDING	2022 CALIFORNIA BUILDING CODE (CBC)
MECHANICAL	2022 CALIFORNIA MECHANICAL CODE (CMC)
PLUMBING	2022 CALIFORNIA PLUMBING CODE (CPC)
ELECTRICAL	2022 CALIFORNIA ELECTRICAL CODE (CEC)
GREEN BUILDING	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)
ENERGY	2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES)

MUNICIPALITY CITY OF NEWPORT BEACH REGULATIONS AND ORDINANCES (NBMC)

STATE OF CALIFORNIA REQUIREMENTS

- AT THE TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO INSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.

OCCUPANCY GENERAL NOTES:

NOTE: POSTING OF OCCUPANT LOAD
 EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OR BUSINESS OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR BY THE AUTHORIZED AGENT.

OCCUPANCY CALCULATION:

BASED ON OCCUPANCY SUMMARY TABLE 506.2

TYPE III B - B OCCUPANCY (NS) ALLOWABLE AREA = 19,000 SQ. FT.
 ACTUAL AREA = 9,936 SQ. FT.

'B' - OFFICE AREAS: OCCUPANT LOAD FACTOR = 150
 8,301 SQ. FT. / 150 SQ. FT. PER OCCUPANT = 55 OCCUPANTS

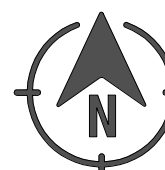
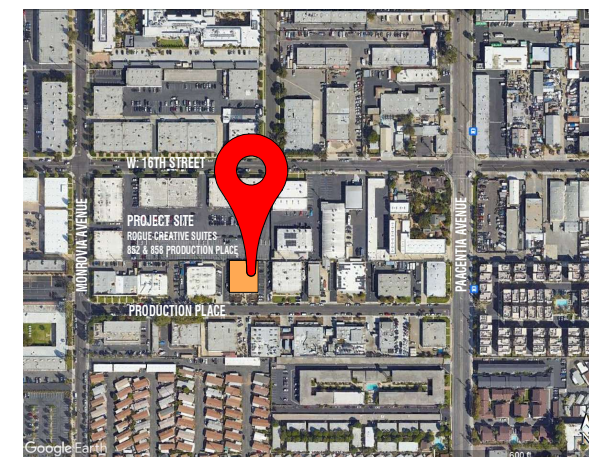
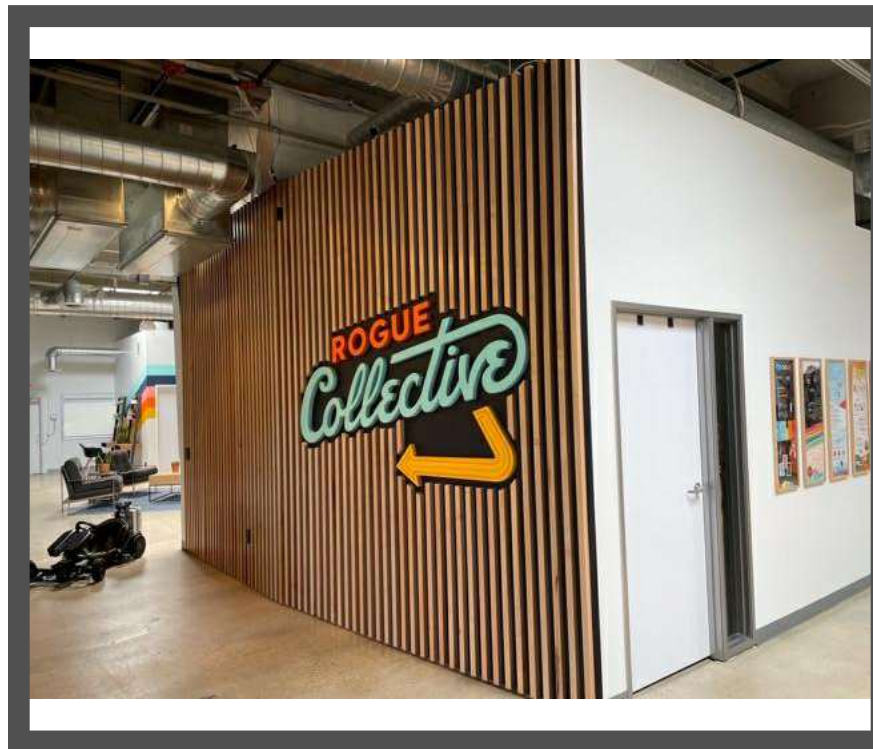
ACCESSORY AREAS-RESTROOMS / CORRIDORS / BREAKROOM AREAS:
 395 SQ. FT. / 0 SQ. FT. PER OCCUPANT = 0 OCCUPANTS

UTILITY AREAS-UTILITY / STORAGE / JANITORIAL:
 326 SQ. FT. / 0 SQ. FT. PER OCCUPANT = 0 OCCUPANTS

TOTAL = 55 OCCUPANTS

OCCUPANCY & PARKING SUMMARY

SUITE	SPACE	OCCUPANCY	USE	GROSS SQ. FT.	NET SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
852	STUDIO	B	BUSINESS	830 SQ. FT.	617 SQ. FT.	150	6
	THE HUB (OPEN AREA)	B	BUSINESS	2,099 SQ. FT.	1,875 SQ. FT.	150	13
	CORRIDOR	B	BUSINESS	177 SQ. FT.	177 SQ. FT.	0 (SHARED)	0 (SHARED)
	OFFICES	B	BUSINESS	720 SQ. FT.	600 SQ. FT.	150	5
	CONFERENCE	B	BUSINESS	245 SQ. FT.	245 SQ. FT.	150	2
	RECORDING	B	BUSINESS	88 SQ. FT.	80 SQ. FT.	150	1
	MEN'S & WOMEN'S RESTROOM	B	ACCESSORY	234 SQ. FT.	200 SQ. FT.	200	2
	BREAKROOM	B	ACCESSORY	192 SQ. FT.	157 SQ. FT.	0 (SHARED)	0 (SHARED)
	STORAGE	S	ACCESSORY	119 SQ. FT.	119 SQ. FT.	0 (SHARED)	0 (SHARED)
	JANITORIAL	U	ACCESSORY	38 SQ. FT.	29 SQ. FT.	0 (SHARED)	0 (SHARED)
TOTAL:			4,968 SQ. FT.	4,099 SQ. FT.		29 OCCUPANTS	
858	CONFERENCE	B	BUSINESS	347 SQ. FT.	290 SQ. FT.	150	2
	SECRET LAIR (OPEN AREA)	B	BUSINESS	2,357 SQ. FT.	2,125 SQ. FT.	150	15
	CORRIDOR	B	BUSINESS	93 SQ. FT.	93 SQ. FT.	0 (SHARED)	0 (SHARED)
	OFFICES	B	BUSINESS	1,048 SQ. FT.	950 SQ. FT.	150	7
	LOBBY	B	BUSINESS	204 SQ. FT.	185 SQ. FT.	250	1
	RECEPTION	B	BUSINESS	93 SQ. FT.	78 SQ. FT.	150	1
	WOMEN'S RESTROOM	U	ACCESSORY	123 SQ. FT.	123 SQ. FT.	0 (SHARED)	0 (SHARED)
	UTILITY	U	ACCESSORY	46 SQ. FT.	46 SQ. FT.	0 (SHARED)	0 (SHARED)
TOTAL:			4,968 SQ. FT.	3,890 SQ. FT.		26 OCCUPANTS	
GRAND TOTALS:			9,936 SQ. FT.	7,989 SQ. FT.		55 OCCUPANTS	



N.T.S.

VICINITY MAP

INDEX OF DRAWINGS

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- G1.3 EGRESS & CODE COMPLIANCE PLAN
- G1.4 ADA ACCESSIBILITY DETAILS

ARCHITECTURAL

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MECHANICAL

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- M-1.2 T-24 COMPLIANCE FORMS
- M-1.3 T-24 COMPLIANCE FORMS
- MD-2.0 MECHANICAL DEMOLITION FLOOR PLAN
- MD-2.0 MECHANICAL DEMOLITION ROOF PLAN
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- M-4.0 MECHANICAL DETAILS
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BUILDING OWNERSHIP

MARILYN CLARK, CRAYTON VAL CLARK AND CAMDON CLARK EBERHARDT, CO-TRUSTEES OF THE BY-PASS TRUST UNDER THE E. VAL CLARK FAMILY TRUST DATED JULY 22, 1986 AS TO AN UNDIVIDED 50% INTEREST; CRAYTON VAL CLARK, TRUSTEE OF THE NEWCASTLE 2012 IRREVOCABLE TRUST AS TO AN UNDIVIDED 25% INTEREST; CAMDON CLARK EBERHARDT, TRUSTEE OF THE CLARK EBERHARDT IRREVOCABLE TRUST, AS TO AN UNDIVIDED 25% INTEREST

LANDLORD TENANT IMPROVEMENT APPROVAL

YES DATE: _____ SIGNATURE: _____

PERMIT / BID ISSUE

C.U.P. PA2023-0103
 C.N.B. Plan Check No. xxx-2022
 Project No. 2104
 Date: 08.06.2025



ANGLE ARCHITECTURE
 4343 VON KARMAN AVENUE SUITE 100-E
 NEWPORT BEACH, CALIFORNIA 92660
 949.280.5961
 www.anglearchitecture.com/sustainability

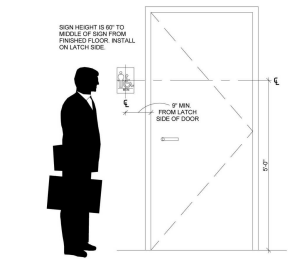


A1-TS

PROJECT SCOPE

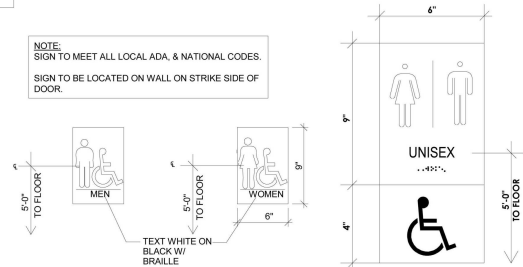
Tenant Improvement to Existing 9,500 Sq. Ft. Offices & Event Space
 Use: Offices & Event Space Occupancy: A2 / B / S2. Construction Type: V B

COVER PAGE & TITLE SHEET

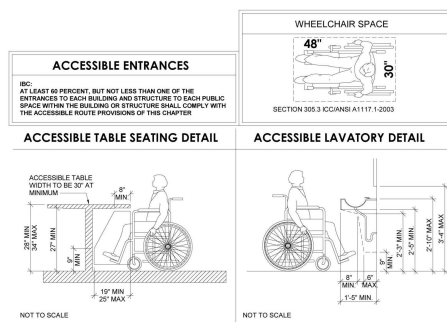


3 ACCESSIBLE SIGN DETAIL
N.T.S.

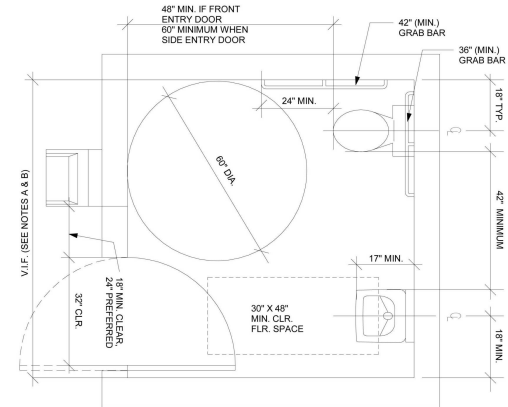
NOTE: SIGN TO MEET ALL LOCAL, ADA, & NATIONAL CODES. SIGN TO BE LOCATED ON WALL ON STRIKE SIDE OF DOOR.



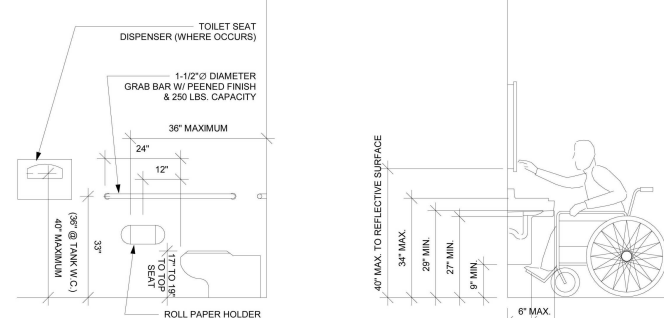
2 PUBLIC RR DOOR SIGN DETAIL
N.T.S.



1 ACCESSIBLE ILLUSTRATIONS
1/4" = 1'-0"



PLAN



ELEVATIONS

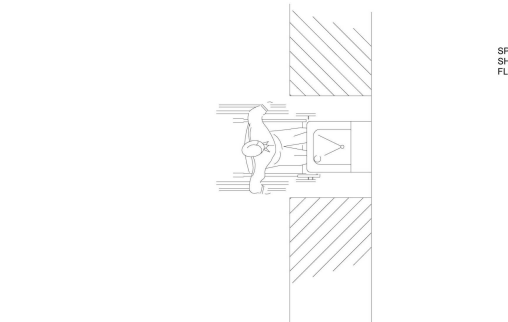
SINGLE ACCOMMODATION SANITARY FACILITIES

There shall be sufficient space in the toilet room for a wheelchair measuring 30" wide by 48" long to enter the room and permit the door to close. (sec. 1115b.3.2 (1))

There shall be in the room a clear floor space of at least 60" in diameter, or a 1-shaped space complying with figures 11b-12(a) or (b), no door shall encroach into this space. (sec. 1115b.3.2 (1) fig 11b-1a)

The water closet shall be located in a space which provides a minimum 28" wide clear space from a fixture or a minimum 32" wide clear space from a wall at one side. The other side shall provide 18" from the centerline of the water closet to the wall. A minimum 48" clear space shall be provided in front of the water closet. (sec. 1115b.4.1 fig 11b-1 a)

All doors, fixtures and controls shall be on an accessible route with a minimum clear width of 36" except at doors. If a person in a wheelchair must make a turn around an obstruction, the minimum clear width of the accessible route shall be as shown in figure 11b-5e. (sec. 1115b.3.1 & 3.2)



PLAN

RECESSED FOUNTAINS

DRINKING FOUNTAINS - NOTES

In new construction, where more than one drinking fountain or water cooler is provided on a floor, 50% of those provided shall comply with plumbing code section 1507 and shall be on an accessible route. (sec. 1117b.4.6 (1))

Drinking fountains shall be located completely within alcoves or otherwise positioned so as not to encroach into pedestrian ways. The alcove in which the water fountain is located shall be not less than 32" in width and 19" in depth. (sec. 1115b.4.6 (3) fig 11b-3)

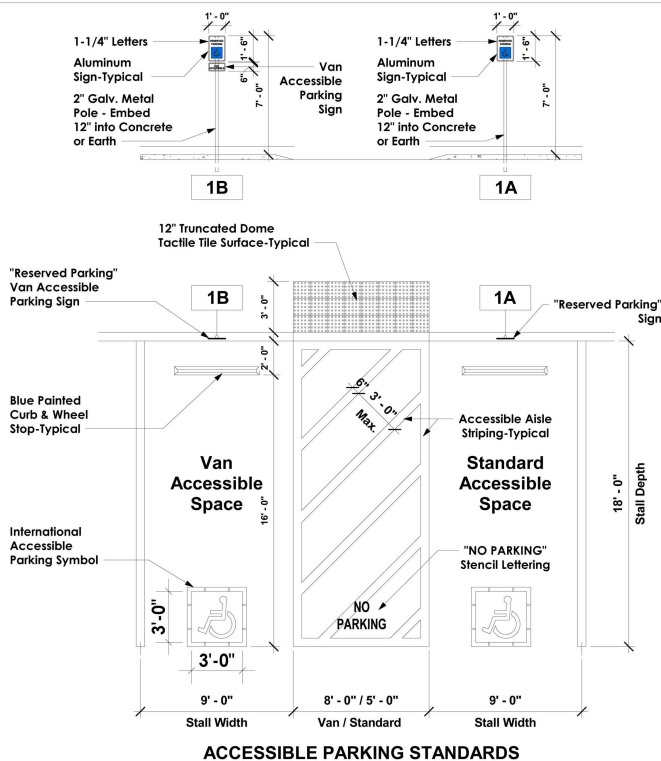
Drinking fountains shall be a minimum of 18" in depth and there shall be a clear and unobstructed knee space under the drinking fountain not less than 27" in height and 8" in depth the depth measurement being taken from the front edge of the fountain. (sec. 1115b.4.6 (2) fig. 11b-3)

There shall be toe clearance of 9" in height above the floor, and 17" in depth from the front edge of the fountain. (sec. 1115b.4.6 (2))

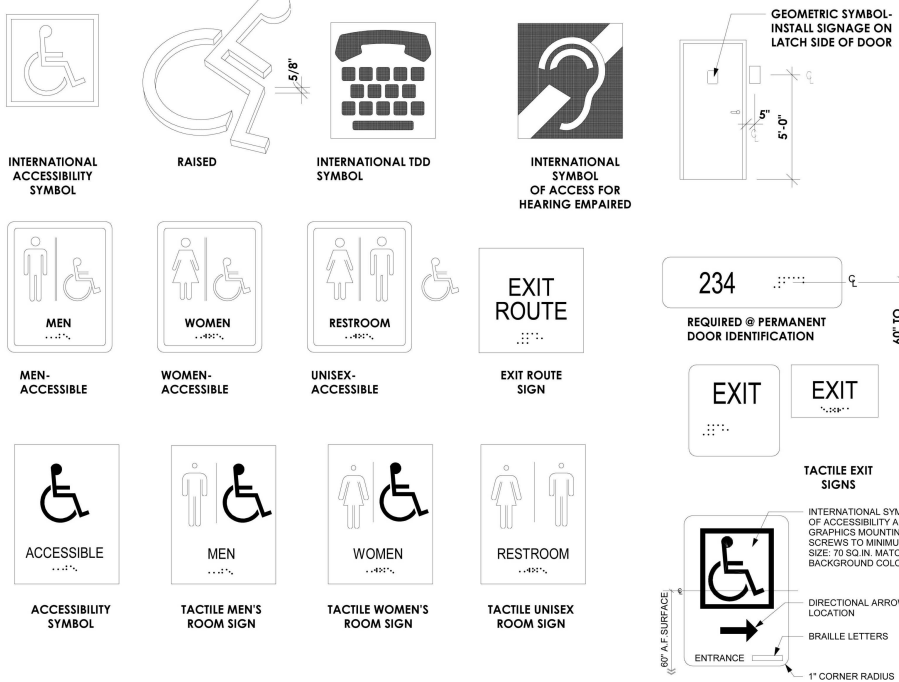
A side approach drinking fountain is not acceptable. (sec. 1115b.4.6 (2))

The drinking fountain bubbler shall be activated by a control which is easily operated by a handicapped person, such as a hand-operated level type control located within 6" of the front of the fountain, a push bar control along the front of the drinking fountain, etc. (sec. 1115b.4.6 (4) fig 11b-3)

The bubbler outlet orifice shall be located within 6" of the front of the drinking fountain and shall be within 36" of the floor. The water stream from the bubbler shall be substantially parallel to the front edge of the drinking fountain. (sec. 1115b.4.6 (4) fig 11b-3)



ACCESSIBLE PARKING STANDARDS



SIGNS & IDENTIFICATION - NOTES

The international symbol of accessibility shall consist of a white figure on a blue background. The blue shall be equal to color no. 15090 in Federal standard 595b. (sec. 1117b.5.1 (2))

Letters and numbers on signs shall have a width-to-height ratio of between 3:5 and 1:1 and a stroke width-to-height ratio between 1:5 and 1:1. (sec. 1117b.5.3)

Characters and symbols shall contrast with their background, either light characters on a dark background or dark characters on a light background. (sec. 1117b.5.2)

When raised characters or symbols are used, they shall conform to the following: (sec. 1117b.5.5)

Letters and numbers on signs shall be raised 1/32" minimum and shall be sans-serif uppercase characters accompanied by grade 2 braille. (sec. 1117b.5.5.1)

Raised characters or symbols shall be a minimum of 5/8" high. (sec. 1117b.5.5.2)

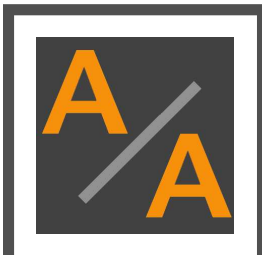
Pictorial symbol signs (pictograms) shall be accompanied by the equivalent verbal description placed directly below the pictogram. The border dimension of the pictogram shall be a minimum of 6" in height. (sec. 1117b.5.5.3)

Contracted grade 2 braille shall be used wherever braille symbols are specifically required in other portions of these regulations. Dots shall be 1/16" on centers in each cell with 2/16" space between cells. Dots shall be raised a minimum of 1/64" above the background. (sec. 1117b.5.6)

All building entrances that are accessible to and usable by persons with disabilities and at every major junction along or leading to an accessible route of travel shall be identified with a sign displaying the international symbol of accessibility and with additional directional signs, as required, to be visible to persons along approaching pedestrian ways. (sec. 1117b.5.7b, 1127b.3)

When permanent identification is provided for rooms and spaces, raised letters shall be provided and shall be accompanied by braille in conformance with sections 1117b.5.6 through 1117b.5.6.3. Signs shall be installed on the wall adjacent to the latch side of the door. Where there is no wall space on the latch side, including at double leaf doors, signs shall be placed on the nearest adjacent wall, preferably on the right, mounting height shall be 60" above the finished floor to the centerline of the sign. Mounting location shall be determined so that a person may approach within 3" of signage without encountering protruding objects or standing within the swing of a door. (sec. 1117b.5.7)

Pole supported pedestrian traffic control buttons shall be identified with color coding consisting of a textured horizontal yellow band 2" in width encircling the pole, and a 1" wide dark border band above and below the yellow band. Color coding should be placed immediately above the control button. Control buttons shall be located no higher than 48" above the surface adjacent to the pole. (sec. 1117b.5.9)



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Architect: Angle Architecture
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Irvine, California, 92614
timrhoadstra@gmail.com
(808) 280-5961

No.	Description	Date



Creative Offices
Owner: Matt Barnes

ROGUE COLLECTIVE

858 Production Place
Newport Beach California 92663

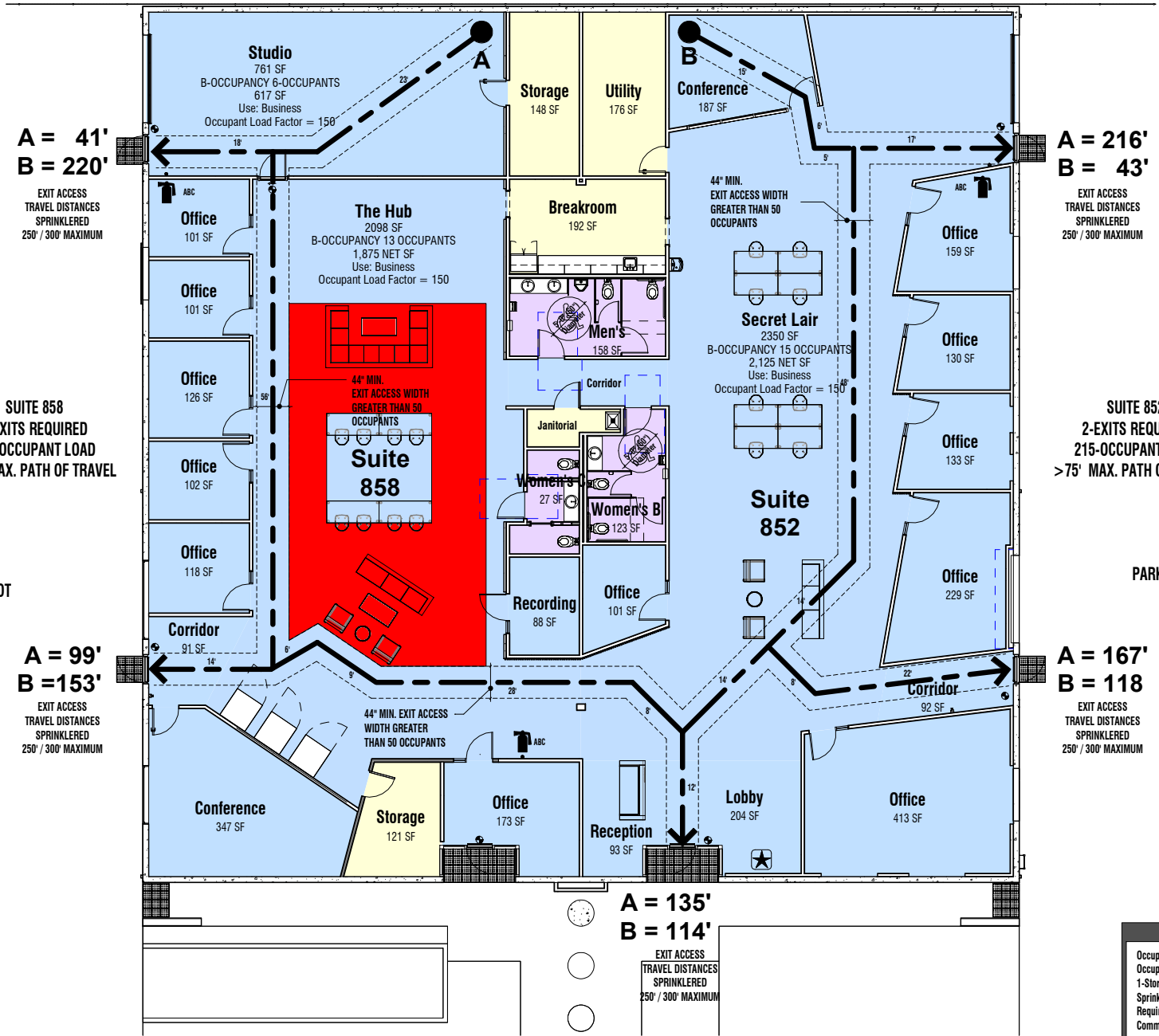
PERMIT / BID ISSUE

C.U.P. PA2023-0103
C.N.B. Plan Check No. 2023 - xxxx

Project No. 2104
Date: 08.06.2025

**PROJECT INFO,
SYMBOLS & CODE
COMPLIANCE**

G1.0



WALL LEGEND

WALL TYPE (Symbol)	EXISTING NON-RATED METAL STUD WALL TO REMAIN
WALL TYPE (Symbol)	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
WALL TYPE (Symbol)	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL 19-102
(Symbol)	EXISTING WALL TO BE DEMOLISHED

OCCUPANCY GENERAL NOTES:

NOTE: POSTING OF OCCUPANT LOAD
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EXITING CALCULATION & SYMBOLS:

MAXIMUM TRAVEL DISTANCE ALLOWED: - SPRINKLERED = 250 / 300 FEET
 MAXIMUM TRAVEL DISTANCE PROVIDED: - SPRINKLERED = 220 FEET

DEFINES EXIT ACCESS TRAVEL DISTANCE IN LINEAL FT.

DEFINES EXIT ACCESS TRAVEL WIDTH IN INCHES

MIN. EXIT ACCESS TRAVEL WIDTH FOR OCCUPANT LOAD LESS THAN (50) = 36" FOR OCCUPANT LOAD GREATER THAN (50) = 44"

LEGEND:

(Symbol)	ILLUMINATED EXIT SIGN LOCATION
(Symbol)	DENOTES OCCUPANT LOAD SIGN LOCATION SEE DETAIL 4 9-1.01
(Symbol)	ABC CLASS FIRE EXTINGUISHER NOTE: COORDINATE ALL FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH THE LOCAL FIRE AUTHORITY.
(Symbol)	STROBE FIRE ALARM PULL BOX LOCATION

PROJECT CODE ANALYSIS

Occupancy Groups: B-OFFICE
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 1-Story - Construction Type: III-B 2-HR - Tilt-Up Concrete Perimeter Walls
 Sprinklers Required: NO Due to Less than 100 Occupant Load - NOTE: FIRE SPRINKLERS ARE INSTALLED & EXISTING
 Required Exits: Suite 852 - 2 Exits Required for 29-Occupant Load / Suite 858 - 2 Exits Required for 26-Occupant Load
 Common Path of Egress Travel Distance: Suite 852 - 75 Feet / Suite 858 - 75 Feet

NET SPECIAL USE-PUBLIC EVENT AREA LEGEND:

RED AREA DENOTES AREA OF LIMITED NET PUBLIC EVENT SPACE ACCESS-STANDING SPACE OCCUPANT LOAD FACTOR: 1 PERSON PER 5 SQ. FT.

SUITE 852 LIMITED OPEN AREA: 150 SQ. FT. / OCCUPANT LOAD 150 MAX. TOTALS: 750 NET SQ. FT. / 150 - OCCUPANTS - MAX.

OCCUPANCY CALCULATION SUMMARY:

OCCUPANCY SEPARATION: SPRINKLERED FOR A-2 TO S-2 = 1-HOUR SPRINKLERED FOR B TO A-2 = 1-HOUR TOTAL OCCUPANTS: 402 (SUITE 852-156 OCCUPANTS) + (SUITE 858-215 OCCUPANTS) = 402 OCCUPANTS
 MINIMUM GROSS COMPONENT WIDTH:
 156 X 0.2 = 31.2 INCHES
 215 X 0.2 = 43.0 INCHES

OCCUPANCY CALCULATION:

'A'-2 - THE HUB / THE SECRET LAIR / STUDIO & CORRIDOR AREAS: 4,943 SQ. FT. / 15 SQ. FT. PER OCCUPANT = 330 OCCUPANTS

'A' OR 'B' - OFFICES / CONFERENCES / RECORDING / LOBBY AREAS: 1,768 SQ. FT. / 150 SQ. FT. PER OCCUPANT = 12 OCCUPANTS

'B' - BREAKROOM / LOBBY AREAS: 489 SQ. FT. / 200 SQ. FT. PER OCCUPANT = 3 OCCUPANTS

'B' - RESTROOMS / S-2 STORAGE / UTILITY / JANITORIAL AREAS: 1,822 SQ. FT. / 0 SQ. FT. PER OCCUPANT = 0 OCCUPANTS

TOTAL = 104 OCCUPANTS

OCCUPANCY & PARKING SUMMARY

SUITE	SPACE	OCCUPANCY	USE	GROSS SQ. FT.	NET SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	PARKING RATIO (PER C.N.B.)	PARKING REQUIRED	PARKING PROVIDED
852	STUDIO	B	BUSINESS	830 SQ. FT.	617 SQ. FT.	150	6	1 PER 4 OCCUPANTS	1.5 SPACES	1.5 SPACES
	THE HUB (OPEN AREA)	B	BUSINESS	2,099 SQ. FT.	1,875 SQ. FT.	150	13	1 PER 4 OCCUPANTS	3.25 SPACES	4 SPACES
	CORRIDOR	B	BUSINESS	177 SQ. FT.	177 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
	OFFICES	B	BUSINESS	720 SQ. FT.	600 SQ. FT.	150	5	1 PER 4 OCCUPANTS	1.25 SPACES	1.25 SPACES
	CONFERENCE	B	BUSINESS	245 SQ. FT.	245 SQ. FT.	150	2	1 PER 4 OCCUPANTS	0.5 SPACE	0.5 SPACES
	RECORDING	B	BUSINESS	88 SQ. FT.	80 SQ. FT.	150	1	1 PER 4 OCCUPANTS	0.5 SPACE	0.5 SPACES
	MEN'S & WOMEN'S RESTROOM	B	ACCESSORY	234 SQ. FT.	200 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
	BREAKROOM	B	ACCESSORY	192 SQ. FT.	157 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
	STORAGE	S	ACCESSORY	119 SQ. FT.	119 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
	JANITORIAL	U	ACCESSORY	38 SQ. FT.	29 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
TOTAL:				4,968 SQ. FT.	4,099 SQ. FT.		29 OCCUPANTS		7 SPACES	9 SPACES
858	CONFERENCE	B	BUSINESS	347 SQ. FT.	280 SQ. FT.	150	2	1 PER 4 OCCUPANTS	0.5 SPACES	1 SPACE
	SECRET LAIR (OPEN AREA)	B	BUSINESS	2,357 SQ. FT.	2,125 SQ. FT.	150	15	1 PER 4 OCCUPANTS	3.75 SPACES	4 SPACES
	CORRIDOR	B	BUSINESS	93 SQ. FT.	93 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
	OFFICES	B	BUSINESS	1,848 SQ. FT.	950 SQ. FT.	150	7	1 PER 4 OCCUPANTS	1.75 SPACES	2 SPACES
	LOBBY	B	BUSINESS	204 SQ. FT.	185 SQ. FT.	150	1	1 PER 4 OCCUPANTS	0.25 SPACE	1 SPACE
	RECEPTION	B	BUSINESS	93 SQ. FT.	78 SQ. FT.	150	1	1 PER 4 OCCUPANTS	0.25 SPACE	1 SPACE
	WOMEN'S RESTROOM	U	ACCESSORY	123 SQ. FT.	123 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
	UTILITY	U	ACCESSORY	46 SQ. FT.	46 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES
TOTAL:				4,968 SQ. FT.	3,890 SQ. FT.		26 OCCUPANTS		7 SPACES	9 SPACES
GRAND TOTALS:				9,936 SQ. FT.	7,989 SQ. FT.		55 OCCUPANTS		15 SPACES	18 SPACES

EXIT SIGN REQUIREMENTS:

RAISED CHARACTER AND BRAILLE EXIT SIGNS. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:

- EACH GRADE-LEVEL EXTERIOR EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1011.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT."
- EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1011.1, AND THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 "EXIT STAIR DOWN" "EXIT STAIR UP"
 "EXIT RAMP DOWN" "EXIT STAIR DOWN"
- EACH EXIT DOOR THAT IS REQUIRED TO COMPLY WITH SECTION 1011.1, AND THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
- EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO COMPLY WITH SECTION 1011.1, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE."
- EACH EXIT DOOR THROUGH A HORIZONTAL EXIT THAT IS REQUIRED TO COMPLY WITH SECTION 1011.1, SHALL BE IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."
- RAISED CHARACTER AND BRAILLE EXIT SIGNS SHALL COMPLY WITH CHAPTER 11A, SECTION 1143A OR CHAPTER 11B, SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5.
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.
- ANY ROOM HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS WHERE FIXED SEATS ARE NOT INSTALLED, AND WHICH IS USED FOR ASSEMBLY, CLASSROOM, DINING, DRINKING OR SIMILAR PURPOSES, SHALL HAVE THE CAPACITY OF THE ROOM POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT FROM THE ROOM. POSTING SHALL BE BY MEANS OF A DURABLE SIGN HAVING A CONTRASTING COLOR FROM THE BACKGROUND TO WHICH IT IS ATTACHED. SIGNS SHALL BE OF AN APPROVED TYPE AND SHALL BE MAINTAINED IN A LEGIBLE MANNER BY THE OWNER OR HIS AUTHORIZED AGENT AND SHALL INDICATE THE NUMBER OF OCCUPANTS PERMITTED FOR EACH ROOM USE. NO PERSON SHALL DEFACE OR REMOVE SUCH SIGNS EXCEPT AS AUTHORIZED BY THE ENFORCING AGENCY.

EXIT ANALYSIS NOTES:

ALL BUILDING SPACES ARE FULLY OCCUPIED AT THE SAME TIME.
 POINT OF FIRE OCCURRENCE ALWAYS RESTRICTS ONE PATH OF EGRESS, FIGURED AT THE FURTHEST END OF PATHWAY TO CAUSE A MAXIMUM EGRESS TOWARDS OTHER EXITS.
 THE QUANTITY OF PERSONS EXITING IS DIVIDED EQUALLY AMONG THE REMAINING EXITS FROM THE FOLLOWING:

EGRESS WIDTH PER PERSON CAPACITY (SECTION 1005, 2019 CBC)
 CORRIDORS SHALL BE 1 HOUR FIRE RATED PER TABLE 1018.1 AND SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 709 AS REQUIRED BY SECTION 1018.1

EXIT GENERAL NOTES:

- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED (1008.1 AND 1008.2)
- ILLUMINATION EMERGENCY POWER IS REQUIRED FOR THE MEANS OF EGRESS PATH (1008.3.2 AND 1008.3.3)
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE (1008.2.1)
- EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
 A. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS
 B. EXTERIOR EGRESS COMPONENTS
 C. INTERIOR EXIT DISCHARGE ELEMENTS.
 D. EXTERIOR LANDINGS.



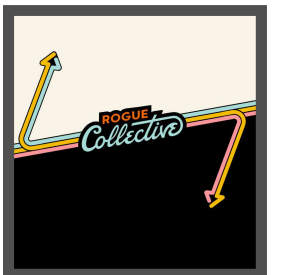
17848 SKY PARK CIRCLE SUITE D
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No.	Description	Date



Creative Offices
 Owner: Matt Barnes

ROGUE COLLECTIVE
 858 Production Place
 Newport Beach California 92663

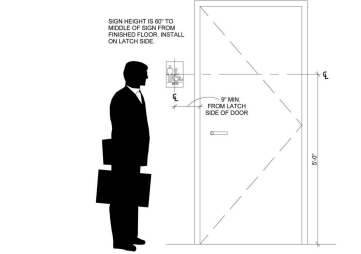
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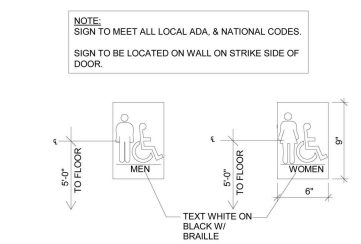
Project No. 2104
 Date: 08.06.2025

EGRESS & CODE COMPLIANCE PLAN

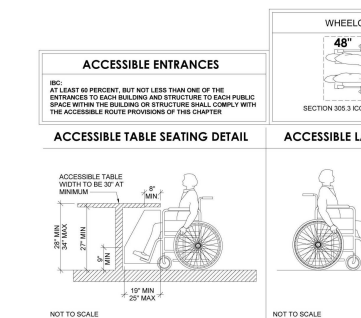
G1.3



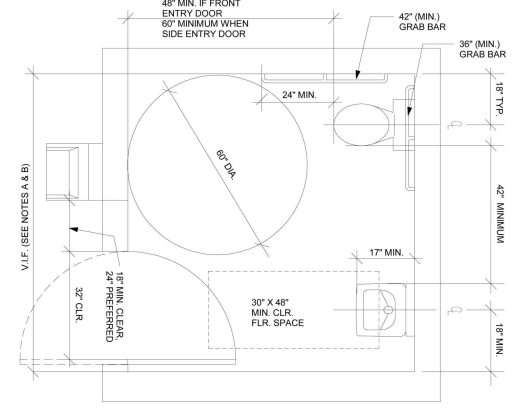
3 ACCESSIBLE SIGN DETAIL
N.T.S.



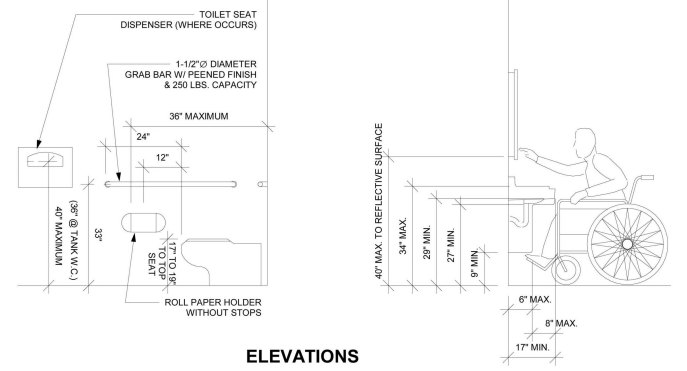
2 PUBLIC RR DOOR SIGN DETAIL
N.T.S.



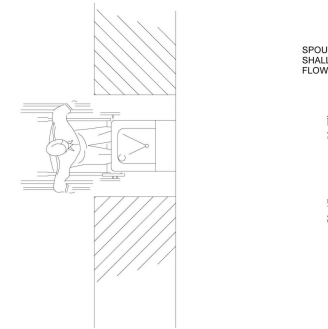
1 ACCESSIBLE ILLUSTRATIONS
1/4" = 1'-0"



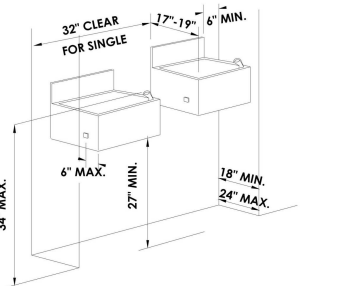
PLAN



ELEVATIONS



PLAN



RECESSED FOUNTAINS

SINGLE ACCOMMODATION SANITARY FACILITIES

There shall be sufficient space in the toilet room for a wheelchair measuring 30" wide by 48" long to enter the room and permit the door to close. (sec. 1115b.3.2 (1))

There shall be in the room a clear floor space of at least 60" in diameter, or a shaped space complying with figures 11b-12(a) or (b), no door shall encroach into this space. (sec. 1115b.3.2 (1) fig 11b-1a)

The water closet shall be located in a space which provides a minimum 28" wide clear space from a fixture or a minimum 32" wide clear space from a wall at one side. The other side shall provide 18" from the centerline of the water closet to the wall. A minimum 48" clear space shall be provided in front of the water closet. (sec. 1115b.4.1 fig 11b-1-a)

All doors, fixtures and controls shall be on an accessible route with a minimum clear width of 36" except at doors. If a person in a wheelchair must make a turn around an obstruction, the minimum clear width of the accessible route shall be as shown in figure 11b-5a. (sec. 1115b.3.1 & 3.2)

DRINKING FOUNTAINS - NOTES

In new construction, where more than one drinking fountain or water cooler is provided on a floor, 50% of those provided shall comply with plumbing code section 1507 and shall be on an accessible route. (sec. 1117b.4.6 (1))

Drinking fountains shall be located completely within alcoves or otherwise positioned so as not to encroach into pedestrian ways. The alcove in which the water fountain is located shall be not less than 32" in width and 18" in depth. (sec. 1115b.4.6 (3) fig 11b-3)

Drinking fountains shall be a minimum of 18" in depth and there shall be a clear and unobstructed knee space under the drinking fountain not less than 27" in height and 9" in depth the depth measurement being taken from the front edge of the fountain. (sec. 1115b.4.6 (2) fig 11b-3)

There shall be toe clearance of 9" in height above the floor, and 17" in depth from the front edge of the fountain. (sec. 1115b.4.6 (2))

A side approach drinking fountain is not acceptable. (sec. 1115b.4.6 (2))

The drinking fountain bubbler shall be activated by a control which is easily operated by a handicapped person, such as a hand-operated level type control located within 6" of the front of the fountain, a push bar control along the front of the drinking fountain, etc. (sec. 1115b.4.6 (4) fig 11b-3)

The bubbler outlet orifice shall be located within 6" of the front of the drinking fountain and shall be within 36" of the floor. The water stream from the bubbler shall be substantially parallel to the front edge of the drinking fountain. (sec. 1115b.4.6 (4) fig 11b-3)

SIGNS & IDENTIFICATION - NOTES

The international symbol of accessibility shall consist of a white figure on a blue background. The blue shall be equal to color no. 15090 in federal standard 599b. (sec. 1117b.5.1 (2))

Letters and numbers on signs shall have a width-to-height ratio of between 3:5 and 1:1 and a stroke width-to-height ratio between 1:5 and 1:1.0. (sec. 1117b.5.2)

Characters and numbers on signs shall be sized according to the viewing distance from which they are to be read. The minimum height is measured using an upper case X. Lower case characters are permitted, for signs suspended or projected above the finish floor in compliance with section 1121b, the minimum character height shall be 3". (sec. 1117b.5.4)

Characters and symbols shall contrast with their background, either light characters on a dark background or dark characters on a light background. (sec. 1117b.5.2)

When raised characters or symbols are used, they shall conform to the following: (sec. 1117b.5.5)

Letters and numbers on signs shall be raised 1/32" minimum and shall be sans-serif uppercase characters accompanied by grade 2 braille. (sec. 1117b.5.5.1)

Raised characters or symbols shall be a minimum of 5/8" high. (sec. 1117b.5.5.2)

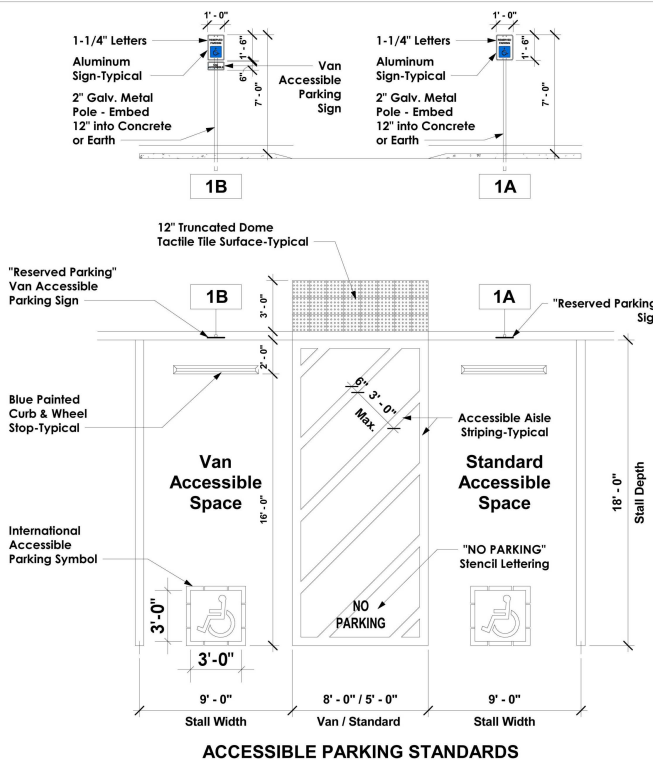
Pictorial symbol signs (pictograms) shall be accompanied by the equivalent verbal description placed directly below the pictogram. The border dimension of the pictogram shall be a minimum of 6" in height. (sec. 1117b.5.5.3)

Contracted grade 2 braille shall be used wherever braille symbols are specifically required in other portions of these regulations. Dots shall be raised 1/10" on centers in each cell with 2/10" space between cells. Dots shall be raised a minimum of 1/40" above the background. (sec. 1117b.5.6)

All building entrances that are accessible to and usable by persons with disabilities and at every major junction along or leading to an accessible route of travel shall be identified with a sign displaying the international symbol of accessibility and with additional directional signs, as required, to be visible to persons along approaching pedestrian ways. (sec. 1117b.5.7 & 1127b.3)

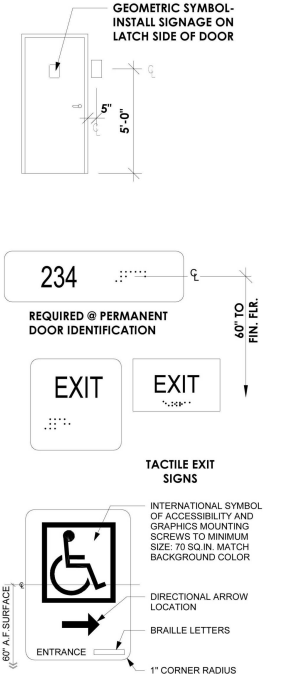
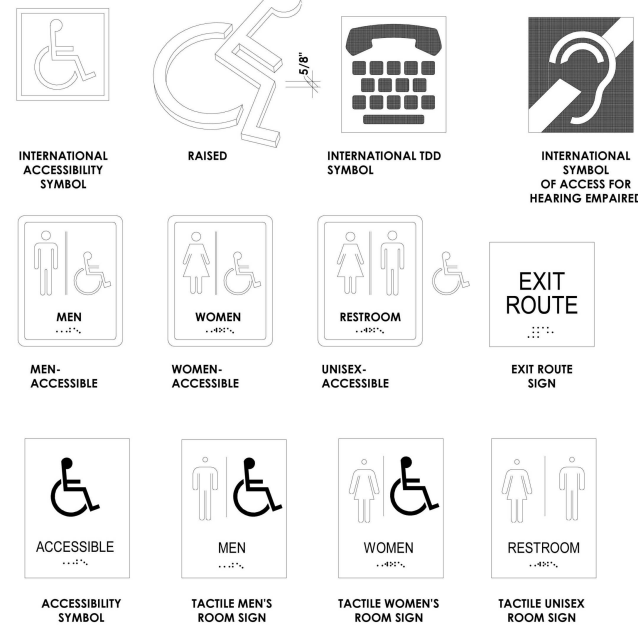
When permanent identification is provided for rooms and spaces, raised letters shall be provided and shall be accompanied by braille in conformance with sections 1117b.5.6 through 1117b.5.8.3. Signs shall be installed on the wall adjacent to the latch side of the door. Where there is no wall space on the latch side, including at double leaf doors, signs shall be placed on the nearest adjacent wall, preferably on the right, mounting height shall be 60" above the finished floor to the centerline of the sign. Mounting location shall be determined so that a person may approach within 3" of signage without encountering protruding objects or standing within the swing of a door. (sec. 1117b.5.7)

Pole supported pedestrian traffic control buttons shall be identified with color coding consisting of a textured horizontal yellow band 2" in width encircling the pole, and a 1" wide dark border band above and below the yellow band. Color coding should be placed immediately above the control button. Control buttons shall be located no higher than 48" above the surface adjacent to the pole. (sec. 1117b.5.9)



ACCESSIBLE PARKING STANDARDS

ADA ACCESSIBILITY DETAILS
1/2" = 1'-0"



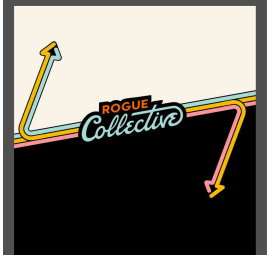
17848 SKY PARK CIRCLE SUITE D
IRVINE, CALIFORNIA 92614
(808) 280-5961
www.anglearchitecture.wixsite.com/sustainability



Owner: The Rogue Collective
Contact: Matt Barnes
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Newport Beach, California, 92663
matt@roguecreatives.com
(949) 207-9582

Architect: Angle Architecture
Contact: Timothy Rhoads
17848 Sky Park Circle, Suite D
Irvine, California, 92614
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No.	Description	Date

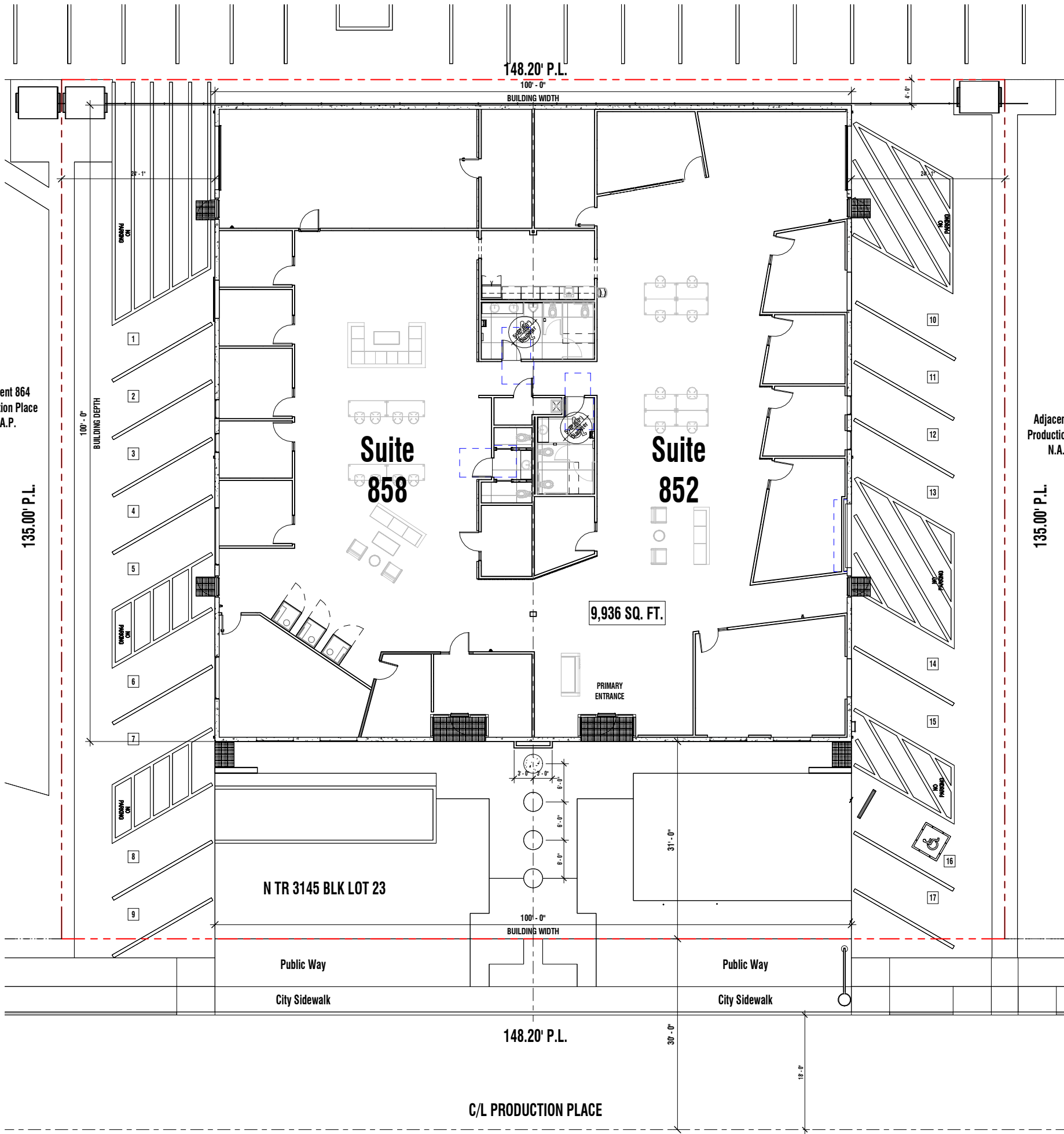


Creative Offices
Owner: Matt Barnes
ROGUE COLLECTIVE
858 Production Place
Newport Beach California 92663

PERMIT / BID ISSUE
C.U.P. PA2023-0103
C.N.B. Plan Check No. 2023 - xxxx
Project No. 2104
Date: 08.06.2025

ADA ACCESSIBILITY DETAILS

G1.4



Adjacent 864
Production Place
N.A.P.

135.00' P.L.

148.20' P.L.

100'-0"
BUILDING WIDTH

Suite
858

Suite
852

9,936 SQ. FT.

PRIMARY
ENTRANCE

N TR 3145 BLK LOT 23

Public Way

City Sidewalk

Public Way

City Sidewalk

148.20' P.L.

30'-0"

18'-0"

C/L PRODUCTION PLACE

Adjacent 844
Production Place
N.A.P.

135.00' P.L.

SITE PLAN GENERAL NOTES:

- ELECTRICAL SERVICE TO BE UNDERGROUND FOR NEW CONSTRUCTION.
- SERVICE EQUIPMENT AND SUB-PANELS TO HAVE A MINIMUM 30" WIDE X 36" DEEP CLEAR WORK SPACE.
- FIELD INSPECTORS TO REVIEW AND APPROVE UNDERGROUND SERVICE REQUIREMENTS PRIOR TO PLACING ANY CONCRETE.
- POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREE-STANDING STRUCTURES REQUIRE SEPERATE SUBMITTAL REVIEW AND PERMITS.
- POOL DESIGN TO BE SUBMITTED FOR REVIEW UNDER SEPERATE PLAN CHECK.
- DISTANCE FROM FACE OF FOUNDATION AND ROUGH STUD FRAMING TO PROPERTY LINE TO BE CONSIDERED ZONING SETBACK MEASUREMENT.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB & GUTTER AND ALLEY / STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN EXISTING UTILITY EASEMENTS.
- A CITY ENCROACHMENT AGREEMENT PERMIT IS REQUIRED FOR ALL NON-STANDARD PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT - OF - WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.
- PROVIDE NEW SEWER CLEAN OUT ON EXISTING LATERAL PER CITY STANDARD. THE SEWER CLEAN OUT SHALL BE LOCATED IN THE RIGHT-OF-WAY AREA.
- A PERMIT IS REQUIRED FOR EXCAVATION DEEPER THAN 5' AND FOR SHORING AND UNDER PINNING.
- SOUTHERN CALIFORNIA EDISON APPROVAL IS REQUIRED FOR METER LOCATION PRIOR TO INSTALLATION.
- FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 36" FROM EXISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK.
- NOTE: A/C CONDENSERS TO BE LOCATED IN THE SIDEYARDS OR AT ROOF TOP.

PARKING ALLOCATION SUMMARY

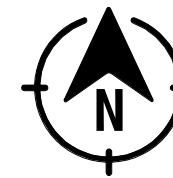
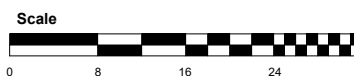
TENANT	ADDRESS	GROSS SQ. FT.	USE	OCCUPANCY
ROGUE COLLECTIVE (852)	852 Production Place	4,968	INDUSTRY/OFFICE	A2/B/S2
ROGUE COLLECTIVE (858)	858 Production Place	4,968	INDUSTRY/OFFICE	A2/B/S2

PARKING DEMAND (PER TENANT)		
TENANT	PARKING RATIO (PER C.N.B.)	MAX. OCCUPANTS
ROGUE COLLECTIVE (852)	1 PER 4 OCCUPANTS	156
ROGUE COLLECTIVE (858)	1 PER 4 OCCUPANTS	215
TOTAL:	371 OCCUPANTS	93 SPACES

PARKING AVAILABLE	PARKING AGREEMENT:
On-Site Parking Lot: 16 Standard Spaces 1 H/C Van Space 17 Total Spaces	'Beach Riot' Parking Lot: 828 Production Place 5 Standard Parallel Spaces 5 Total Spaces
17 SPACES ON SITE	5 SPACES OFF SITE
GRAND TOTAL:	22 SPACES

PROJECT SCOPE Tenant Improvement to Existing 9,500 Sq. Ft. Offices & Event Space
Use: Offices & Event Space Occupancy: A2 / B / S2 Construction Type: V B

1 SITE PLAN
1/8" = 1'-0"



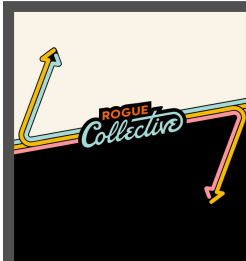
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ROGUE COLLECTIVE

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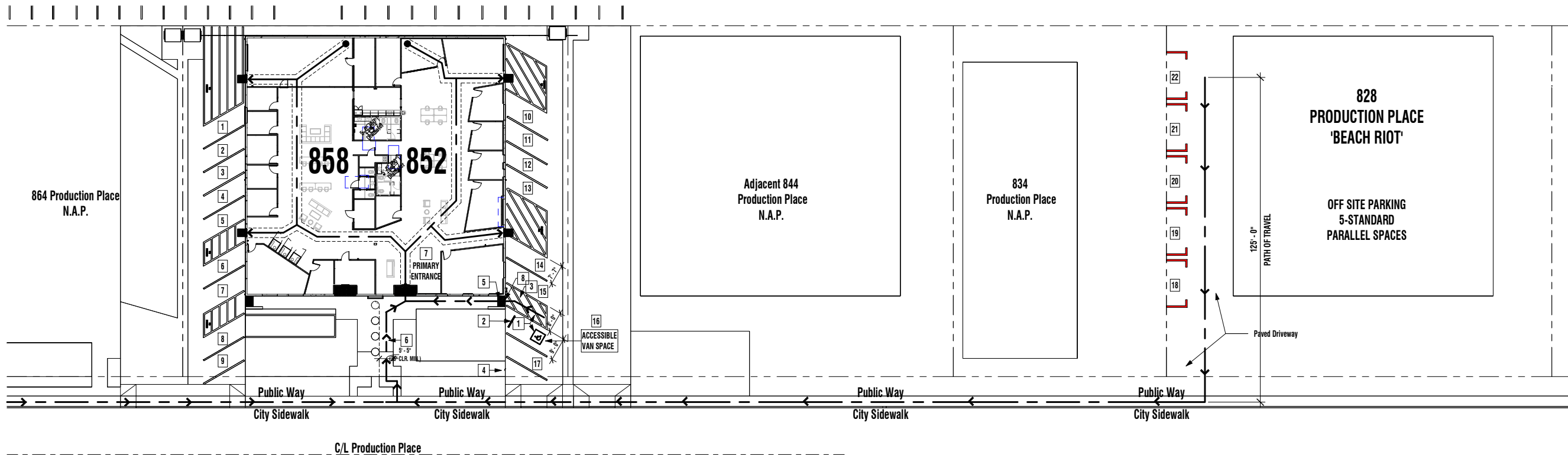
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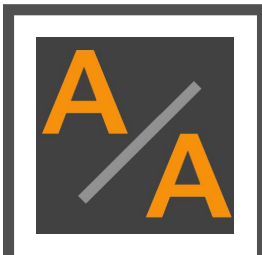
Project No. 2104
Date: 08.06.2025

SITE PLAN

A0.00



- ACCESSIBILITY SITE KEYNOTES:**
1. EXISTING ACCESSIBLE PARKING SPACE W/ UNIVERSAL HANDICAP SYMBOL AND "NO PARKING" LOADING ZONE
 2. EXISTING ACCESSIBLE BLUE PAINTED CURBS OR WHEEL STOPS AT ACCESSIBLE PARKING
 3. EXISTING VAN SPACE WITH \$250 FINE SIGN
 4. EXISTING STD. UNAUTHORIZED SIGN SEE DETAIL ⁴ HCI
 5. EXISTING TRUNCATED DOMES BETWEEN PATH OF TRAVEL AND VEHICULAR WAY. EXISTING TRANSITION IS SMOOTH & LEVEL AND FLUSH AT ZERO ELEVATION.
 6. EXISTING PATH-OF-TRAVEL WITH LEVEL CLEAR PATH, SLIP-RESISTANT WITH 5% MAX. RUNNING SLOPE AND 2% MAX. CROSS SLOPE.
 7. EXISTING PRIMARY ENTRANCE-COMPLIES WITH DETAIL ³ HCI
 8. FLAT "0" (ZERO) ELEVATION, FLUSH TRANSITION FROM VEHICULAR WAY.



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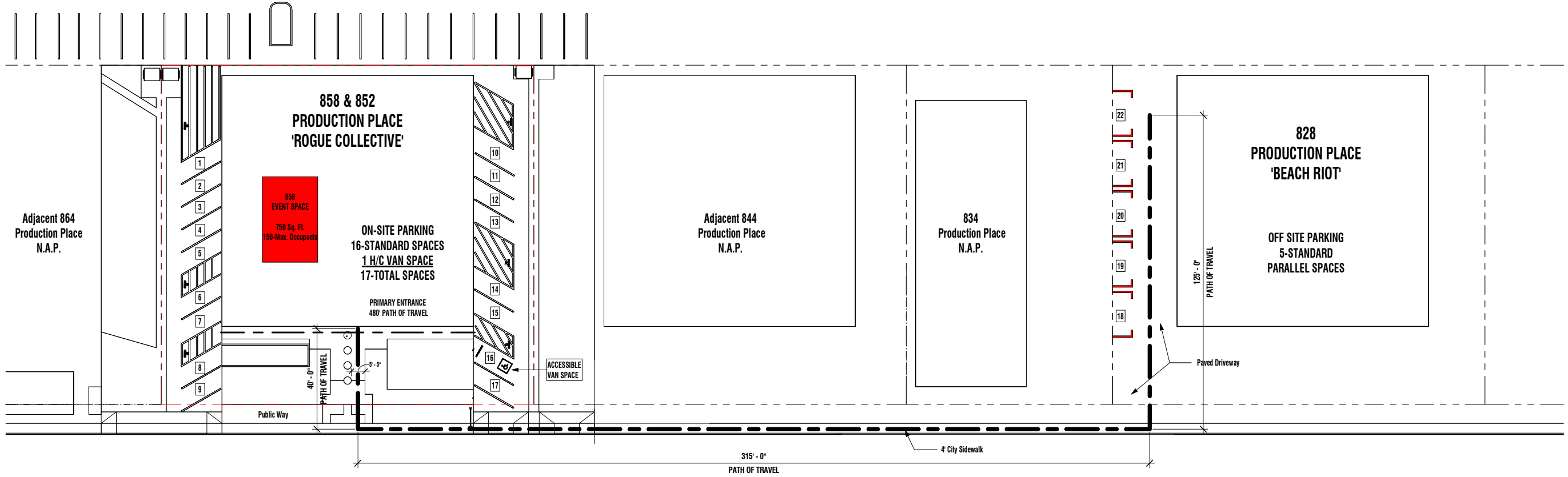
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ACCESSIBILITY SITE PLAN

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C/L PRODUCTION PLACE

PARKING ALLOCATION SUMMARY

TENANT	ADDRESS	GROSS SQ. FT.	USE	OCCUPANCY
ROGUE COLLECTIVE (852)	852 Production Place	4,968	INDUSTRY/OFFICE	A2/B/S2
ROGUE COLLECTIVE (858)	858 Production Place	4,968	INDUSTRY/OFFICE	A2/B/S2

AREA OF LIMITED NET PUBLIC EVENT SPACE ACCESS-STANDING SPACE OCCUPANT LOAD FACTOR: 1 PERSON PER 5 SQ. FT.

Newport Beach "Chapter 20.52 - Off-Street Parking and Loading Standards":
 "Assembly/Meeting Facilities - 1 per 3 Seats or 1 per 35 Sq. Ft. used for Assembly Purposes."
 Parking Calculation - Based on Standing Space and NO Seats
 Total Event Space Square Feet / 35 Square Feet / 1 Parking Space. 750 SQ. FT. / OCCUPANT LOAD 150 MAX.
 750 Sq. Ft. / 35 Sq. Ft. = 22 Parking Spaces for Event - Required. 750 NET SQ. FT. / 150 - OCCUPANTS - MAX.

TOTAL REQUIRED: 22 SPACES

PARKING AVAILABLE	PARKING AGREEMENT:
On-Site Parking Lot: 16 Standard Spaces 1 H/C Van Space 17 Total Spaces	'Beach Riot' : 828 Production Place 5 Standard Parallel Spaces 5 Total Spaces
17 SPACES ON SITE	5 SPACES OFF SITE
TOTAL PROVIDED: 22 SPACES	



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No.	Description	Date

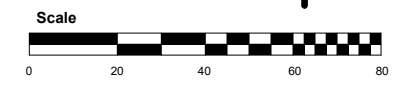
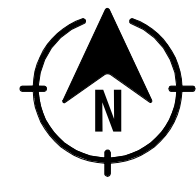


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PARKING ALLOCATION PLAN

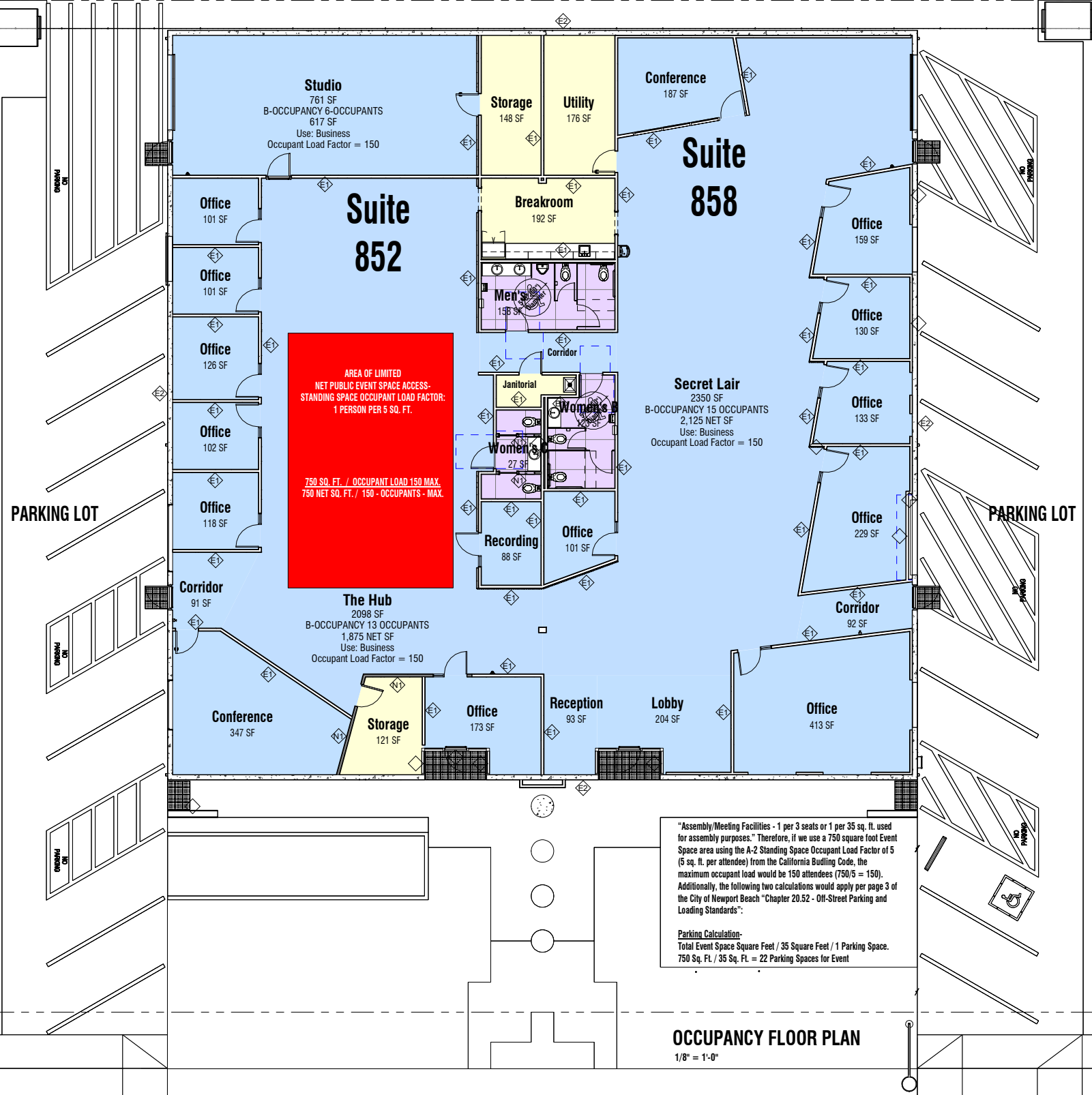
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1 PARKING ALLOCATION PLAN
 1" = 20'-0"

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"Assembly/Meeting Facilities - 1 per 3 seats or 1 per 35 sq. ft. used for assembly purposes." Therefore, if we use a 750 square foot Event Space area using the A-2 Standing Space Occupant Load Factor of 5 (5 sq. ft. per attendee) from the California Building Code, the maximum occupant load would be 150 attendees (750/5 = 150). Additionally, the following two calculations would apply per page 3 of the City of Newport Beach "Chapter 20.52 - Off-Street Parking and Loading Standards":

Parking Calculation:
Total Event Space Square Feet / 35 Square Feet / 1 Parking Space.
750 Sq. Ft. / 35 Sq. Ft. = 22 Parking Spaces for Event

- Breakroom
- Conference
- Corridor
- Lobby
- Men's
- Office
- Reception
- Recording
- Secret Lair
- Storage
- Studio
- The Hub
- Utility
- Women's B
- Women's C

OCCUPANCY FLOOR PLAN
1/8" = 1'-0"

OCCUPANCY & PARKING SUMMARY											
SUITE	SPACE	OCCUPANCY	USE	GROSS SQ. FT.	NET SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	PARKING RATIO (PER C.N.B.)	PARKING REQUIRED	PARKING PROVIDED	
852	STUDIO	B	BUSINESS	830 SQ. FT.	617 SQ. FT.	150	6	1 PER 4 OCCUPANTS	1.5 SPACES	1.5 SPACES	
	THE HUB (OPEN AREA)	B	BUSINESS	2,098 SQ. FT.	1,875 SQ. FT.	150	13	1 PER 4 OCCUPANTS	3.25 SPACES	4 SPACES	
	CORRIDOR	B	BUSINESS	177 SQ. FT.	177 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	OFFICES	B	BUSINESS	720 SQ. FT.	600 SQ. FT.	150	5	1 PER 4 OCCUPANTS	1.25 SPACES	1.25 SPACES	
	CONFERENCE	B	BUSINESS	245 SQ. FT.	245 SQ. FT.	150	2	1 PER 4 OCCUPANTS	0.5 SPACES	0.5 SPACES	
	RECORDING	B	BUSINESS	88 SQ. FT.	80 SQ. FT.	150	1	1 PER 4 OCCUPANTS	0.5 SPACES	0.5 SPACES	
	MEN'S & WOMEN'S RESTROOM	B	ACCESSORY	234 SQ. FT.	200 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0.5 SPACES	
	BREAKROOM	B	ACCESSORY	192 SQ. FT.	157 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	STORAGE	S	ACCESSORY	119 SQ. FT.	119 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	JANITORIAL	U	ACCESSORY	38 SQ. FT.	29 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	TOTAL:				4,968 SQ. FT.	4,099 SQ. FT.		29 OCCUPANTS		7 SPACES	9 SPACES
858	CONFERENCE	B	BUSINESS	347 SQ. FT.	290 SQ. FT.	150	2	1 PER 4 OCCUPANTS	0.5 SPACES	1 SPACE	
	SECRET LAIR (OPEN AREA)	B	BUSINESS	2,357 SQ. FT.	2,125 SQ. FT.	150	15	1 PER 4 OCCUPANTS	3.75 SPACES	4 SPACES	
	CORRIDOR	B	BUSINESS	93 SQ. FT.	93 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	OFFICES	B	BUSINESS	1,048 SQ. FT.	950 SQ. FT.	150	7	1 PER 4 OCCUPANTS	1.75 SPACES	2 SPACES	
	LOBBY	B	BUSINESS	204 SQ. FT.	185 SQ. FT.	150	1	1 PER 4 OCCUPANTS	0.25 SPACES	1 SPACE	
	RECEPTION	B	BUSINESS	93 SQ. FT.	78 SQ. FT.	150	1	1 PER 4 OCCUPANTS	0.25 SPACES	1 SPACE	
	WOMEN'S RESTROOM	U	ACCESSORY	123 SQ. FT.	123 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	UTILITY	U	ACCESSORY	46 SQ. FT.	46 SQ. FT.	0 (SHARED)	0 (SHARED)	-	0 SPACES	0 SPACES	
	TOTAL:				4,968 SQ. FT.	3,890 SQ. FT.		26 OCCUPANTS		7 SPACES	9 SPACES
	GRAND TOTALS:				9,936 SQ. FT.	7,989 SQ. FT.		55 OCCUPANTS		15 SPACES	18 SPACES

NET SPECIAL USE-PUBLIC EVENT AREA LEGEND:

DENOTES AREA OF LIMITED NET PUBLIC EVENT SPACE ACCESS-STANDING SPACE OCCUPANT LOAD FACTOR: 1 PERSON PER 5 SQ. FT. SUITE 852 LIMITED OPEN AREA ----- 750 SQ. FT. / OCCUPANT LOAD 150 MAX. TOTAL: 750 NET SQ. FT. / 150 - OCCUPANTS - MAX.

WALL LEGEND

WALL TYPE	EXISTING NON-RATED METAL STUD WALL TO REMAIN
WALL TYPE	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
WALL TYPE	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL
WALL TYPE	EXISTING WALL TO BE DEMOLISHED



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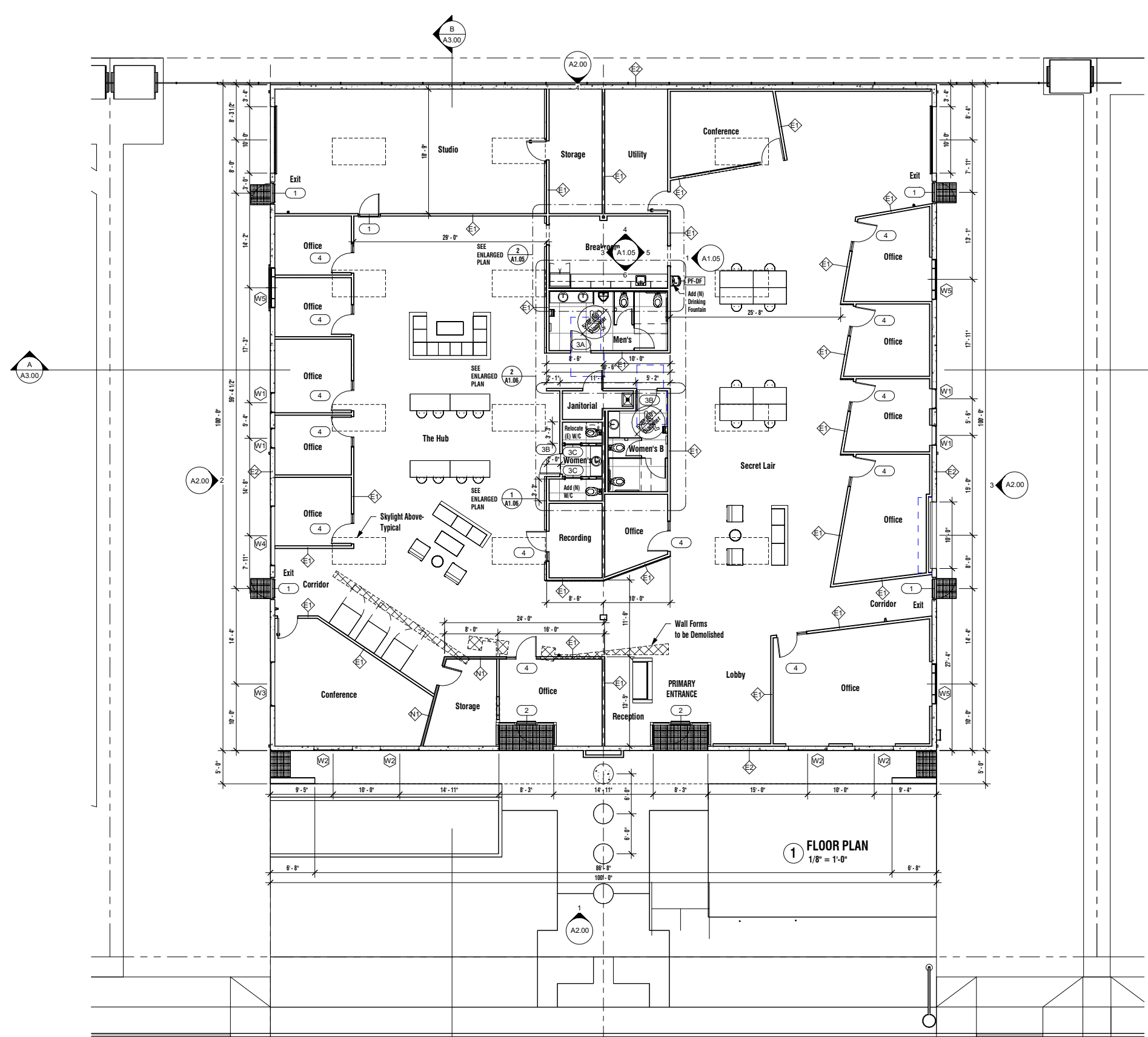


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OCCUPANCY & PARKING SUMMARY

A1.00



1 FLOOR PLAN
1/8" = 1'-0"

WINDOW SCHEDULE							
Mark	Size	Family	Description	Count	Width	Height	Comments
W1	3026	Single Fixed	Fixed Glass	4	3'-0"	2'-0"	
W2	6630	Single Fixed	Fixed Glass	4	6'-0"	4'-0"	
W3	6840	Single Fixed	Fixed Glass	1	6'-0"	4'-0"	
W4	4090	Single Fixed	Fixed Glass	1	9'-0"	9'-0"	
WS	6630	Triple Fixed	Fixed Glass	3	6'-0"	3'-0"	

PLUMBING FIXTURE COUNT REQUIREMENTS:

CPC 422.0 MINIMUM NO. OF REQUIRED FIXTURES
for A-2 Assembly Occupancy (See Note 2.)

WATER CLOSETS (FIXTURES PER PERSON) (See Note 3.)

- Male
1: 1-50
2: 51-150
3: 151-300
4: 301-400

URINALS (FIXTURES PER PERSON) (See Note 3.)

- Male
1: 1-200
2: 201-300
3: 301-400
4: 401-600

LAVATORIES (FIXTURES PER PERSON) (See Note 5, 6.)

- Male
1: 1-150
2: 151-200
3: 201-400
Over 400, add 1 fixture for each additional 300 Males.

WATER CLOSETS (FIXTURES PER PERSON) (See Note 3.)

- Female
1: 1-25
2: 26-50
3: 51-100
4: 101-200
5: 201-300
6: 301-400
Over 400, Add 1 Fixture for each additional 250 Males and 1 Fixture for each Additional 125 Females.

LAVATORIES (FIXTURES PER PERSON) (See Note 5, 6.)

- Female
1: 1-150
2: 151-200
3: 201-400
Over 400, Add 1 Fixture for each Additional 250 Males and 1 Fixture for each Additional 200 Females.

DRINKING FOUNTAINS/FACILITIES (FIXTURES PER PERSON)

- 1: 1-250
2: 251-500
3: 501-750
Over 750, Add 1 Fixture for each Additional 500 Persons.

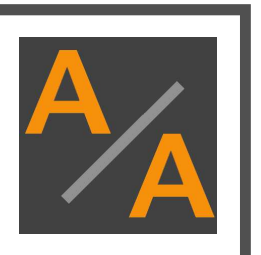
OTHER:
1 Service Sink or Laundry Tray

- Notes:**
- The Figures shown are based upon One Fixture being the Minimum Required for the Number of Persons Indicated or any fraction thereof.
 - A Restaurant is Defined as a Business that Sells Food to be Consumed on the Premises. The Number of Occupants for a Drive-In Restaurant shall be considered as equal to the Number of Parking Stalls. Hand-Washing Facilities shall be available in the Kitchen for Employees.
 - The total number of Required Water Closets for Females shall be not less than the total number of Required Water Closets and Urinals for Males. [BSC] This Requirement shall not apply when Single Occupancy Toilet Facilities are provided for each Sex in an A or E Occupancy with an Occupant load of less than 50. Either the Required Urinal shall be Permitted to be Omitted or If installed, the Urinal Shall Not Require a Second Water Closet to be provided for the Female.
 - For each Urinal Added in excess of the Minimum Required, One Water Closet shall be Permitted to be Deducted. The number of Water Closets shall not be reduced to less than Two-Thirds of the Minimum Requirement.
 - Group Lavatories that are 24 lineal inches (610 mm) of Wash Sink or 18 inches (457 mm) of a Circular Basin, where provided with Water Outlets for such space, shall be considered equivalent to One Lavatory.
 - Metering or Self-Closing Faucets shall be installed on Lavatories intended to serve the Transient Public.
 - [BSC, DSA-AC, DSA-SS, DSA-SS/CC, HCD 1 & HCD 2, OSHPD 1, 2, 3, 4 & 5] in accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.

PLUMBING FIXTURES PROVIDED:

Occupant Load = 150 Persons		
Water Closets Required-Male: 2	Water Closets Required-Female: 4	Urinals Required-Male: 1
Water Closets Provided-Male: 2	Water Closets Provided-Female: 4	Urinals Provided-Male: 1
Lavatories Required-Male: 1	Lavatories Required-Female: 1	
Lavatories Provided-Male: 2	Lavatories Provided-Female: 2	
Drinking Fountains Required: 1		
Drinking Fountains Provided: 1		
Other: (Service Sink) Required: 1		
Other: (Service Sink) Provided: 1		

WALL LEGEND	
WALL TYPE [Symbol]	EXISTING NON-RATED METAL STUD WALL TO REMAIN
WALL TYPE [Symbol]	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
WALL TYPE [Symbol]	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL [Symbol]
[Symbol]	EXISTING WALL TO BE DEMOLISHED



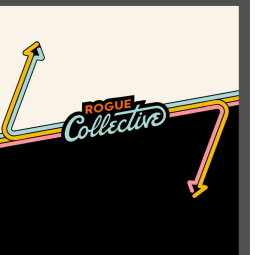
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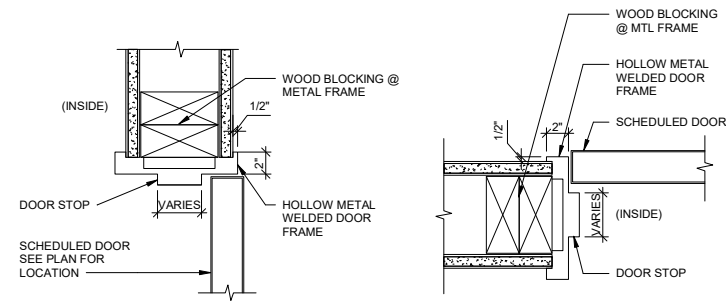


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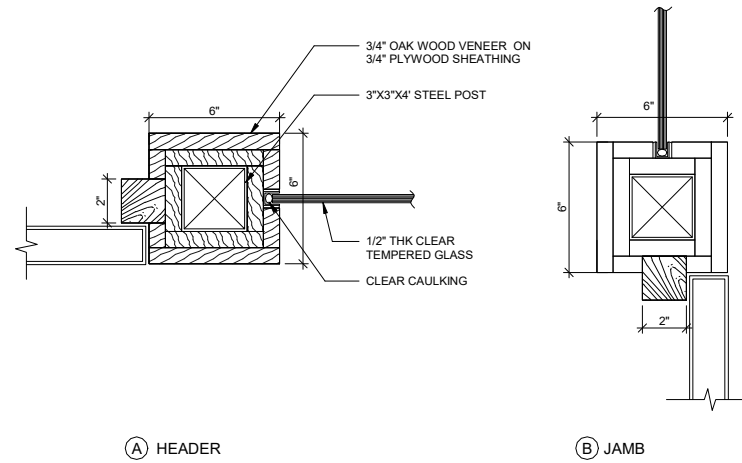
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OFFICE FLOOR PLAN

A1.01



1 | TYPE A DOOR DETAILS
N.T.S.

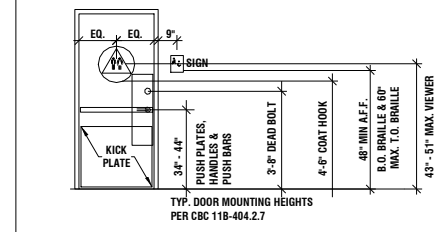
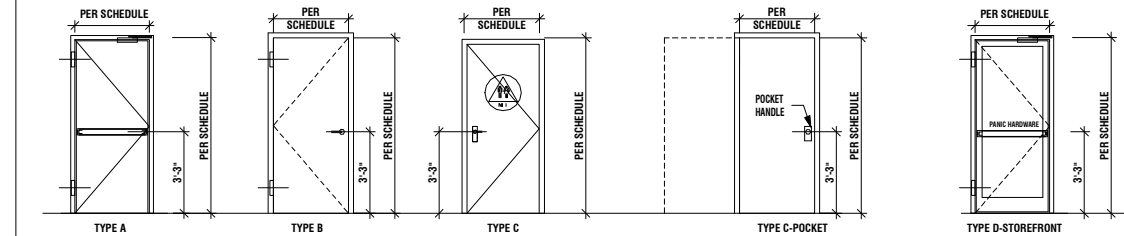


2 | TYPE B DOOR DETAILS
N.T.S.

NUMBER	LOCATION	DOOR				FRAME				DETAIL		HARDWARE			REMARKS			
		WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	GLASS	PRVD	INSTR.	MATL.	FIN.	HEAD	JAMB		TYPE	PRVD	INSTR.
1	SIDE ENTRY / EXIT (METAL)	3'-0"	7'-0"	1 3/4"	A	METAL	PAINT	-	(E)	(E)	ALUM.	PT6	1A/A9-01	1B/A9-01	1	(E)	(E)	EXISTING PANIC HARDWARE-SELF CLOSING 20 MIN. ASSEMBLY-SEE NOTE 3 BELOW
2	FRONT ENTRY (STOREFRONT)	3'-0"	7'-0"	1 3/4"	D	ALUM	ANOD	TEMP.	(E)	(E)	ALUM.	-	1A/A9-01	1B/A9-01	1	(E)	(E)	EXISTING PANIC HARDWARE-SELF CLOSING 20 MIN. ASSEMBLY-SEE NOTE 3 BELOW
3A	MEN'S RESTROOM A	3'-0"	6'-8"	1 3/4"	C	H.M.	PAINT	-	(E)	(E)	H.M.	PT6	2A/A9-01	2B/A9-01	2	(E)	(E)	SEE DETAILS 2 & 3 SHEET G1.0 ACCESSIBILITY DETAILS FOR SIGNAGE
3B	WOMEN'S RESTROOMS B & C	3'-0"	(V.I.F)	1 3/4"	C	H.M.	PAINT	-	(E)	(E)	H.M.	PT6	2A/A9-01	2B/A9-01	2	(E)	(E)	SEE DETAILS 2 & 3 SHEET G1.0 ACCESSIBILITY DETAILS FOR SIGNAGE
3C	WOMEN'S RESTROOM C	3'-0"	6'-8"	1 3/4"	C-POCKET	WD.	PAINT	-	(E)	(E)	POCKET	PT6	2A/A9-01	2B/A9-01	2	(N)	(N)	NEW POCKET DOOR
4	OFFICES, STORAGE & UTILITY	3'-0"	7'-0"	1 3/4"	B	H.M.	PAINT	-	(E)	(E)	H.M.	PT6	2A/A9-01	2B/A9-01	2	(E)	(E)	SELF CLOSING 20 MIN. ASSEMBLY-SEE NOTE 3 BELOW

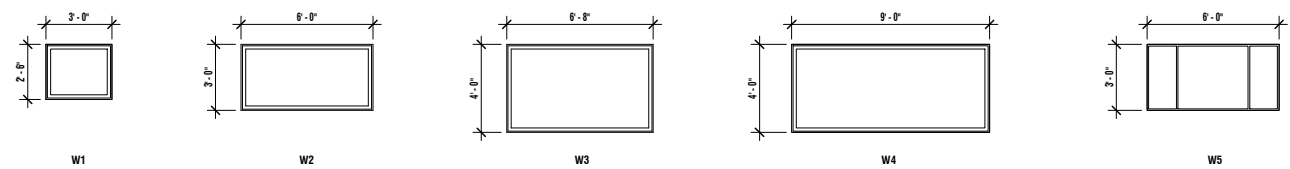
H/W SET #	DESCRIPTION	MANUFACTURER	MODEL# / REFERENCE	FINISH	QUANTITY (DOOR SET)
ENTRY/EXIT (METAL) / STOREFRONT GLASS ENTRY DOOR(S) WITH LOCK					
1	DOOR PULL	FORMS + SURFACES	CUSTOM IRON PULL	SATIN STAINLESS	2
	PIVOT HINGE	CRL OR EQUAL	PHAGLBS (SET OF PH34/PH20A/PH10C/PH70/1NT403/AMR205)	BRUSHED STAINLESS	2-SETS
	DOOR CLOSER	CRL OR EQUAL	CONCEALED DOOR CLOSER - 90 DEG. HOLD OPEN/ ADA COMPLIANT W/ADA BACK CHECK	BRUSHED STAINLESS	1
	LOCK SET		CONFIRM PANIC / FIRE EXIT HARDWARE	BRUSHED STAINLESS	3-SETS
	FLOOR CLOSER	CRL		BRUSHED STAINLESS	1
	DOOR STOP	IVES		BRUSHED STAINLESS	1
				DOME -TYPE FLOOR DOOR STOP #438	
RESTROOM / OFFICE DOOR					
2	DOOR PULL	CUSTOM	CUSTOM IRON PULL	ANTIQUE BRONZE	2
	CYLINDER	CORBIN RUSSWIN	MATCH TO LOCKSET		1
	DOOR CLOSER	NORTON	8501 M (METAL COVER)	T.B.D	1
	HINGES	STANLEY	FBB191 (32D) (ANSIA5112)	T.B.D	1-SET
	DOOR STOP	IVES		T.B.D	1
			DOME -TYPE FLOOR DOOR STOP #438		

- ALL DOOR SILLS SHALL BE NO GREATER THAN 1/2" IN HEIGHT AND THE LEVEL OF THE SILL BE NO GREATER THAN 1" [VERT.] TO 2 [HORIZ.] TYP.
- CONTRACTOR TO PROVIDE REINFORCING AT HINGE SIDE OF DOOR AS REQUIRED TO PREVENT SAGGING.
- ALL FIRE RATED DOORS AND FRAMES INTO ONE-HOUR CORRIDOR TO BEAR APPROVED LABELS AND BE MIN. 20-MIN RATED WITH TIGHT FITTING SMOKE & DRAFT CONTROL ASSEMBLIES WITH SELF OR AUTOMATIC CLOSURES. [CBC 716.2.2.2].
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL ITEMS OF HARDWARE. SEE HARDWARE SCHEDULE FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION OF ALL DOORS.
- DOOR SUPPLIER TO FIELD VERIFY AND/OR COORDINATE PARTITION THICKNESS WITH THE GENERAL CONTRACTOR PRIOR TO SUBMISSION OF SHOP DRAWINGS.
- CONTRACTOR TO PROVIDE AND INSTALL ALL HARDWARE IN COMPLIANCE WITH ANSI AND ADA REQUIREMENTS. ALL HARDWARE SHALL BE INSTALLED NO MORE THAN 48" A.F.F.
- ALL FRAMES TO BE WELDED.
- REFER TO MECHANICAL DRAWINGS FOR THE UNDERCUT OF DOORS AND LOUVERS THROUGH DOORS.
- PROVIDE SILENCERS WITHIN ALL H.M. FRAMES. 3 PER JAMB.
- G.C. TO INSURE THAT EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OF EFFORT.
- EXIT DOOR TO BE CONFIRMED BY G.C. PRIOR TO PURCHASE, SIZE MIN. OF 3'-0" X 6'-8" AND BE CAPABLE OF OPENING 90 DEGREES AND SHALL BE SO MOUNTED THAT THE EXIT WAY IS NOT LESS THAN 32"
- G.C. TO INSURE THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 1/2 LBS.
- ALL LOCK CYLINDERS TO BE KEYPED TO BUILDING MASTER. COORDINATE KEYING WITH APPROVED VENDOR.
- FOR ALL SPACES THAT WILL NOT BE KEYPED TO BUILDING MASTER, A KEY IS TO BE PROVIDED TO LANDLORD FOR STORAGE IN THE SECURITY BOX.



CBC 11B-404.2.7 Door and Gate Hardware Requirements:
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH SECTION 11B-309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (864 MM) MINIMUM AND 44 INCHES (1118 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

Mark	Size	Window Type	Description	Count	Width	Height	Thermal Resistance (R)	Heat Transfer Coefficient (U)	Comments
W1	3029	Single Fixed	Fixed Glass	4	3'-0"	2'-0"	1.5394 (h-h ²)/BTU	0.6496 BTU/(h-h ² -F)	
W2	6030	Single Fixed	Fixed Glass	4	6'-0"	4'-0"	1.5394 (h-h ²)/BTU	0.6496 BTU/(h-h ² -F)	
W3	6040	Single Fixed	Fixed Glass	1	6'-0"	4'-0"	1.5394 (h-h ²)/BTU	0.6496 BTU/(h-h ² -F)	
W4	4090	Single Fixed	Fixed Glass	1	9'-0"	9'-0"	1.5394 (h-h ²)/BTU	0.6496 BTU/(h-h ² -F)	
W5	6030	Triple Fixed	Fixed Glass	3	6'-0"	3'-0"			



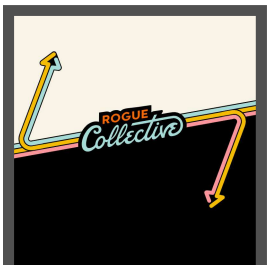
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DOOR & WINDOW SCHEDULE & DETAILS

A1.03



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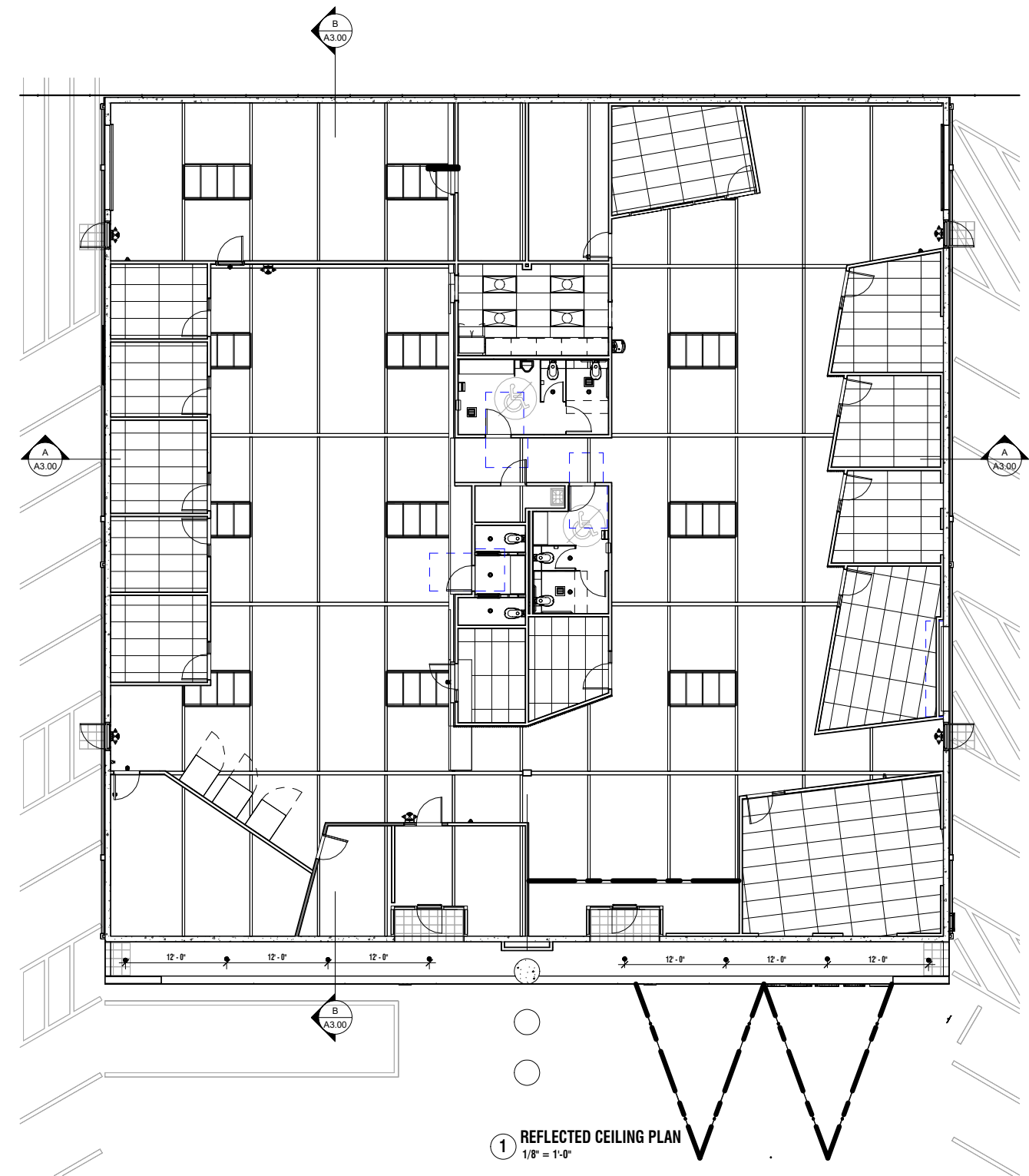


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REFLECTED CEILING PLAN

A1.04



1 REFLECTED CEILING PLAN
1/8" = 1'-0"

CEILING FINISH LEGEND

- GYPSUM / PAINTED CEILING
- ACOUSTICAL CEILING TILE - PER 2 & 3 /A-5.03
- SOFFITED GYPSUM CEILING AREAS
1-HR CONSTRUCTION - PER 4 /A-5.03
- EXTERIOR PLASTER CEILING
- CEILING FINISH DESIGNATION

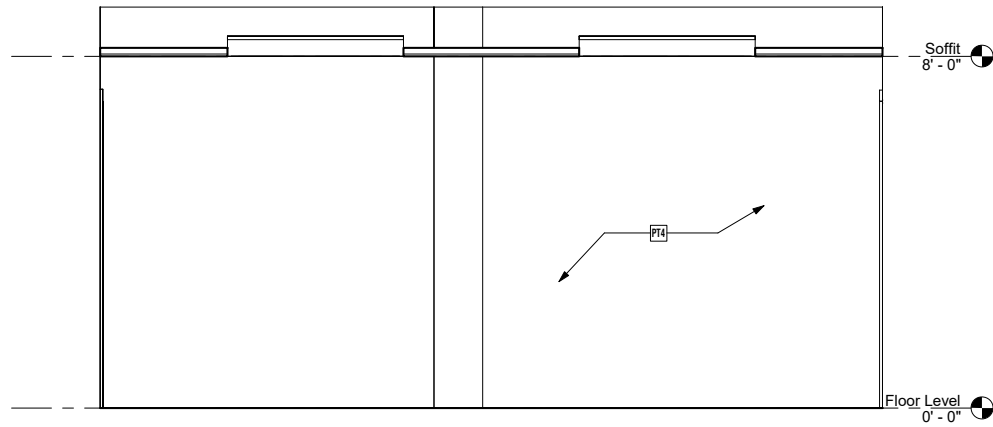
SEE A-1.02 FLOOR / WALL / CEILING FINISH SCHEDULE FOR SPECIFICATIONS
SEE A-1.04 REFLECTED CEILING PLAN FOR MORE INFORMATION

NOTE: PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES WITH PT1.

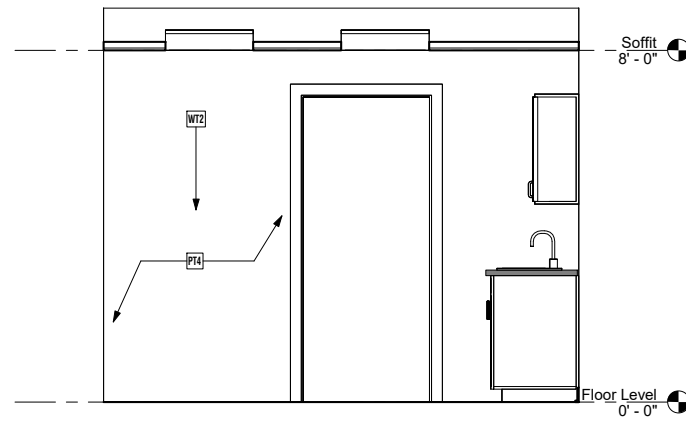
REFLECTED CEILING NOTES

- SEE MECHANICAL AND ELECTRICAL PLANS FOR DETAILED INFORMATION.
- SEE FINISH SCHEDULE FOR MORE INFORMATION NOT SHOWN ON THIS SHEET.
- CENTER EMERGENCY EXIT SIGNS AND LIGHTS ABOVE DOORS, U.I.D.
- LIGHTING FIXTURES ON TRACKS TO BE CENTERED AND EQUALLY SPACED, U.I.D.
- TRACKS ALONG FACE OF WALL TO BE 4 IN. TYPICAL OFFSET FROM WALL THROUGHOUT.
- FOR CEILING AND SOFFIT DETAILS SEE SHEET A5.03 CEILING DETAILS.
- COORDINATE DUCT LOCATIONS AND DIFFUSER SIZES WITH MECHANICAL DRAWINGS.
- BOTTOM OF DIFFUSERS TO BE FLUSH WITH CEILING SURFACE AND TO BE PAINTED TO MATCH THE CEILING FINISH. VERIFY IN FIELD (W/F) AND WITH ARCHITECT.
- GENERAL CONTRACTOR (GC) TO VERIFY IN FIELD ACCESS PANEL SIZE AND LOCATION (IF OCCURS) AS REQUIRED FOR PLUMBING/MECHANICAL/ELECTRICAL EQUIPMENT. GC TO SUBMIT LOCATION, SIZE AND SPECIFICATION TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- FOR ADDITIONAL INFORMATION, REFER TO ELECTRICAL SHEETS FOR EMERGENCY LIGHTING, EXIT SIGN LOCATIONS AND ADDITIONAL LIGHTING FIXTURES.

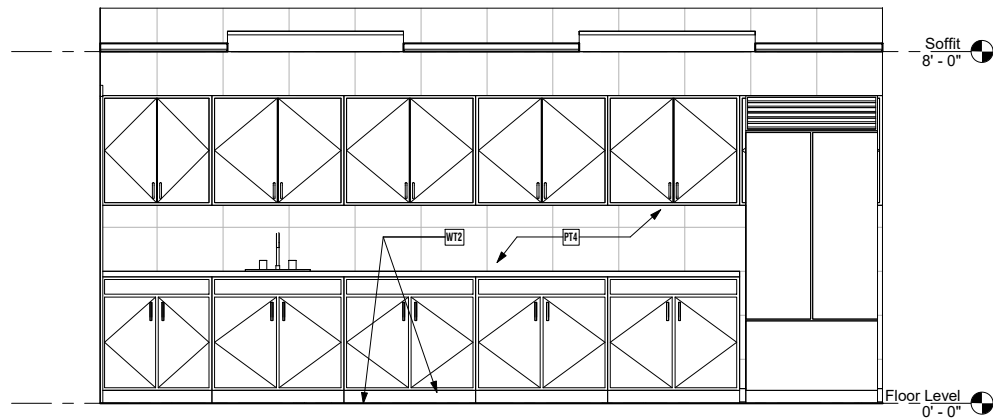
NOTE: GC TO VERIFY IN FIELD ALL EXISTING CEILING HEIGHTS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
GC TO CONFIRM THERE IS AVAILABLE HEIGHT CLEARANCE FOR CEILING HEIGHTS AS SHOWN.



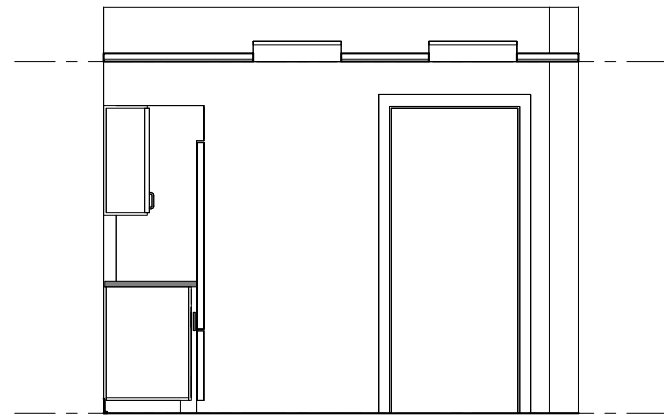
4 BREAKROOM-NORTH
1/2" = 1'-0"



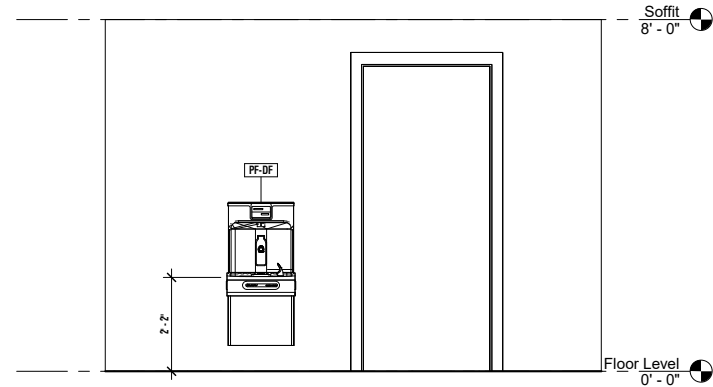
5 BREAKROOM-EAST
1/2" = 1'-0"



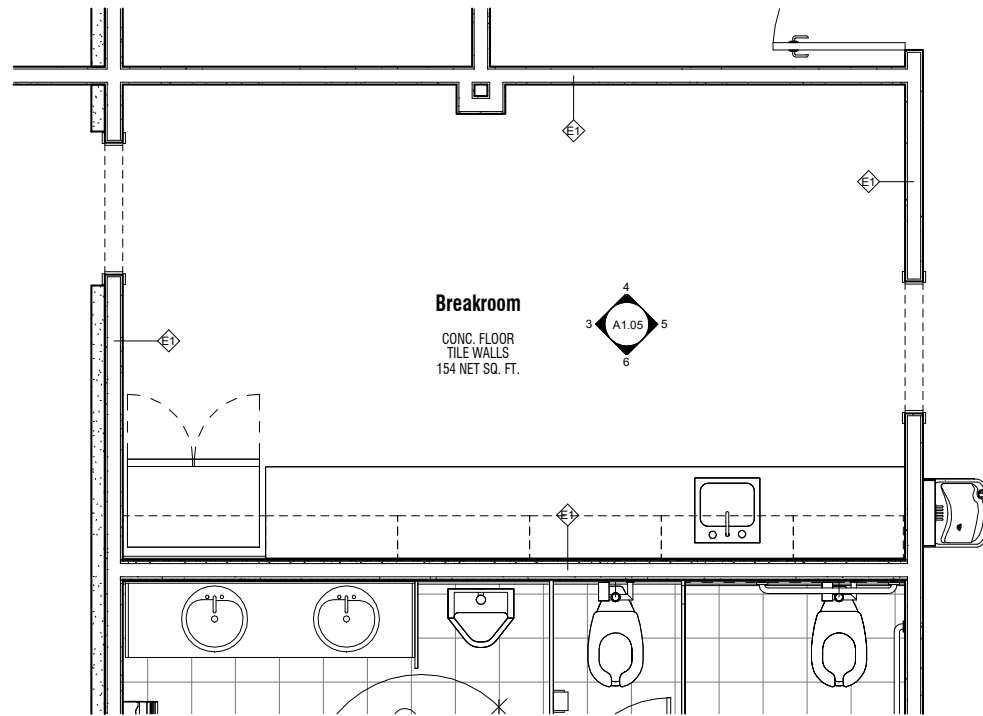
6 BREAKROOM-SOUTH
1/2" = 1'-0"



3 BREAKROOM-WEST
1/2" = 1'-0"



1 BREAKROOM-FOUNTAIN
1/2" = 1'-0"



2 BREAKROOM ENLARGED PLAN
1/2" = 1'-0"

WALL LEGEND	
WALL TYPE (E1)	EXISTING NON-RATED METAL STUD WALL TO REMAIN
WALL TYPE (E2)	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
WALL TYPE (N1)	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL (D-102)
---	EXISTING WALL TO BE DEMOLISHED



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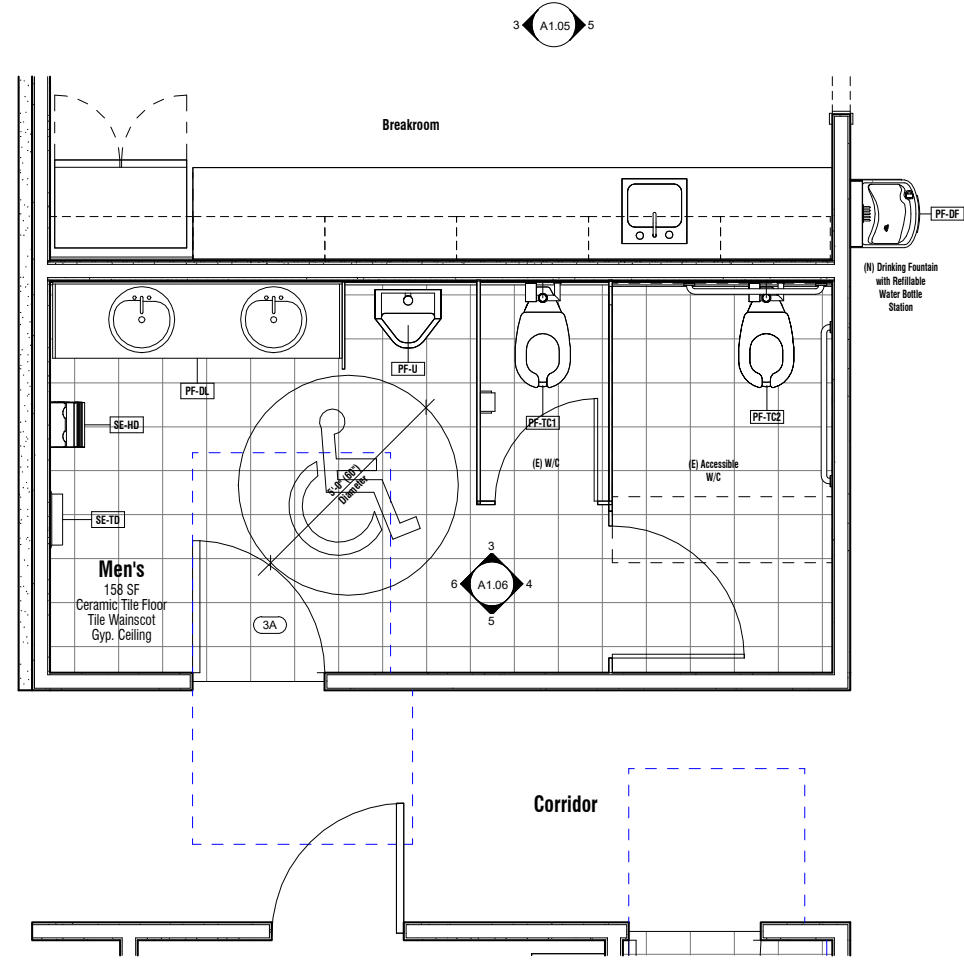


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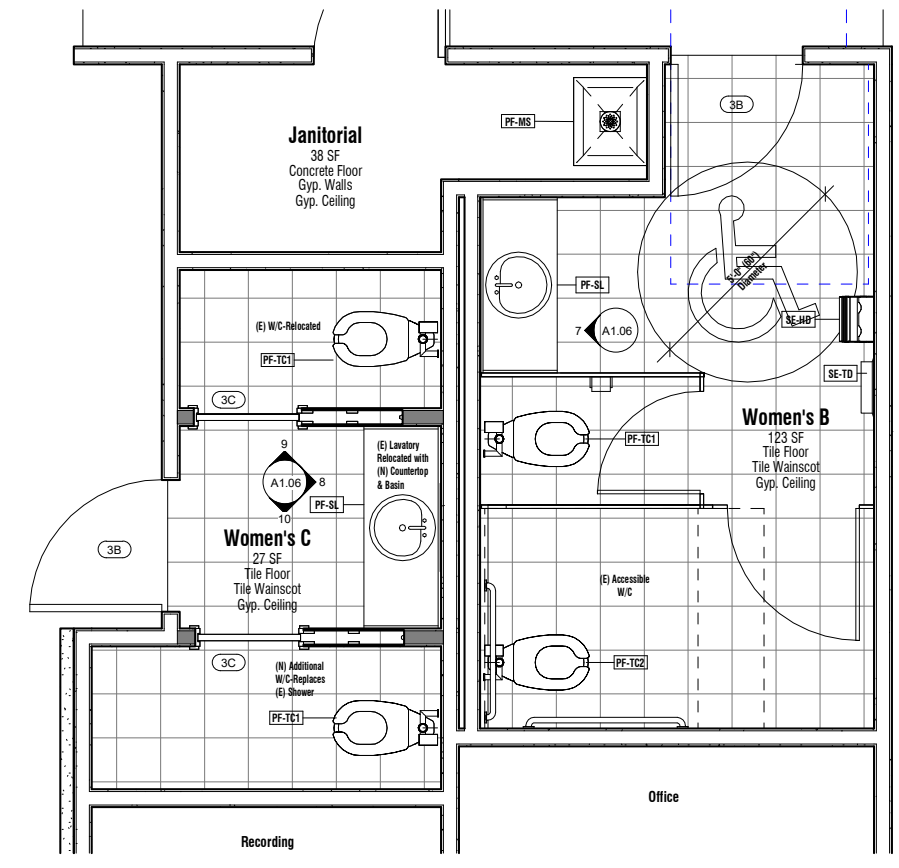
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BREAKROOM - ENLARGED PLAN

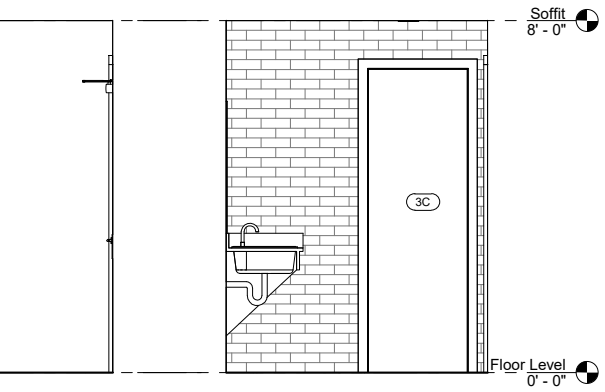
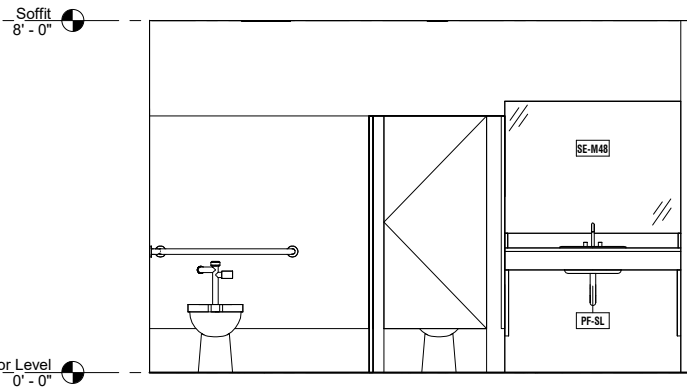
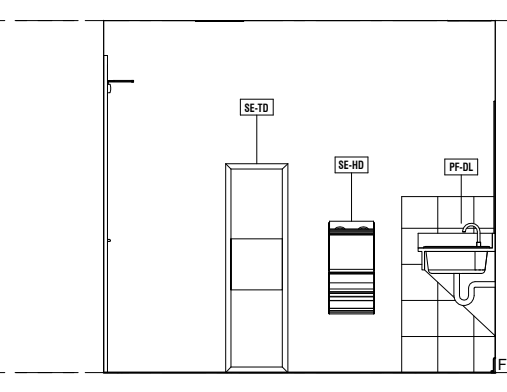
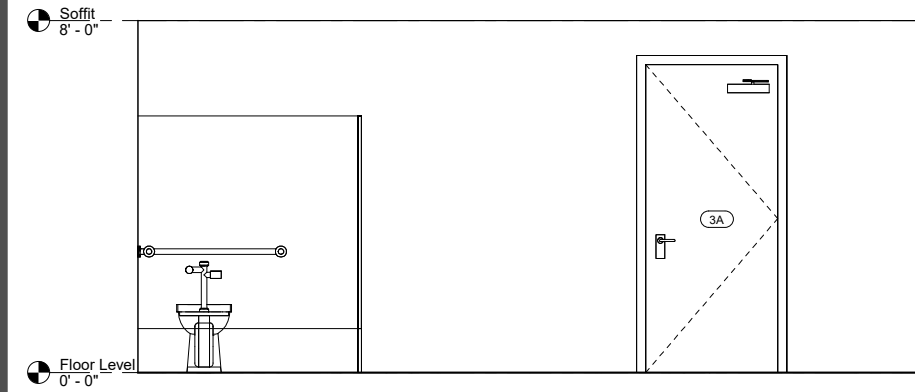
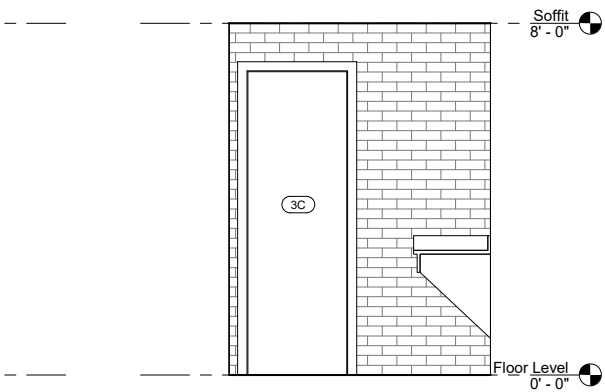
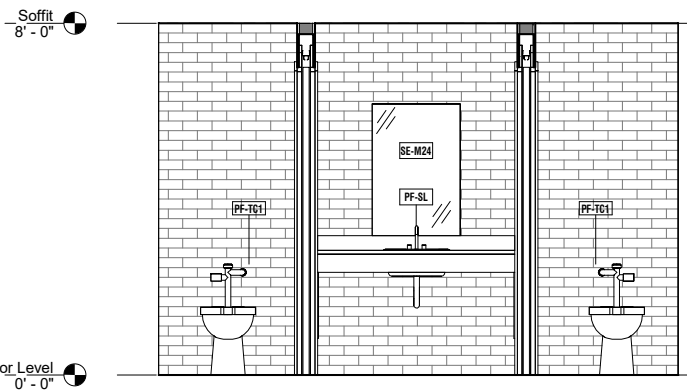
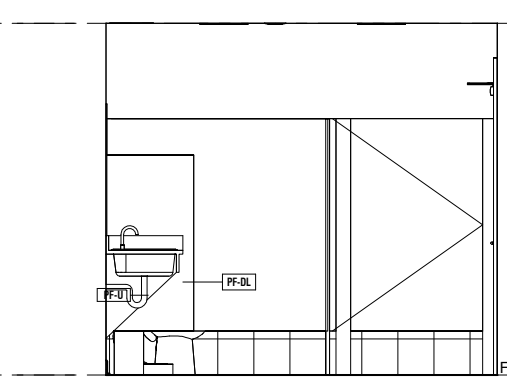
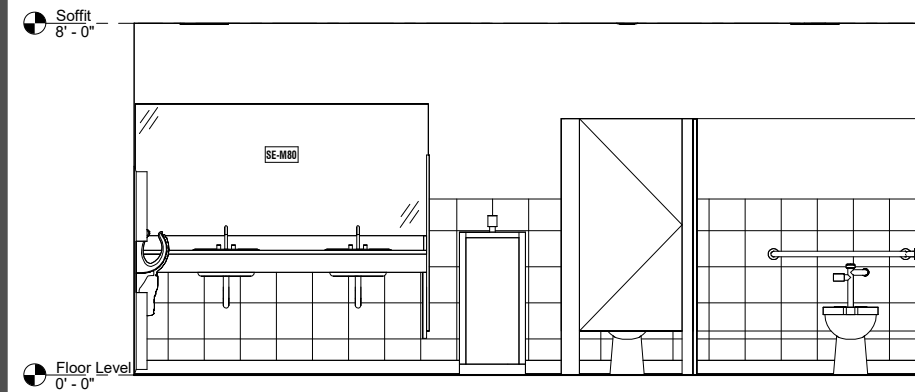
A1.05



2 MENS RESTROOM-A ENLARGED PLAN
1/2" = 1'-0"



1 WOMEN' RESTROOMS B & C-ENLARGED PLAN
1/2" = 1'-0"



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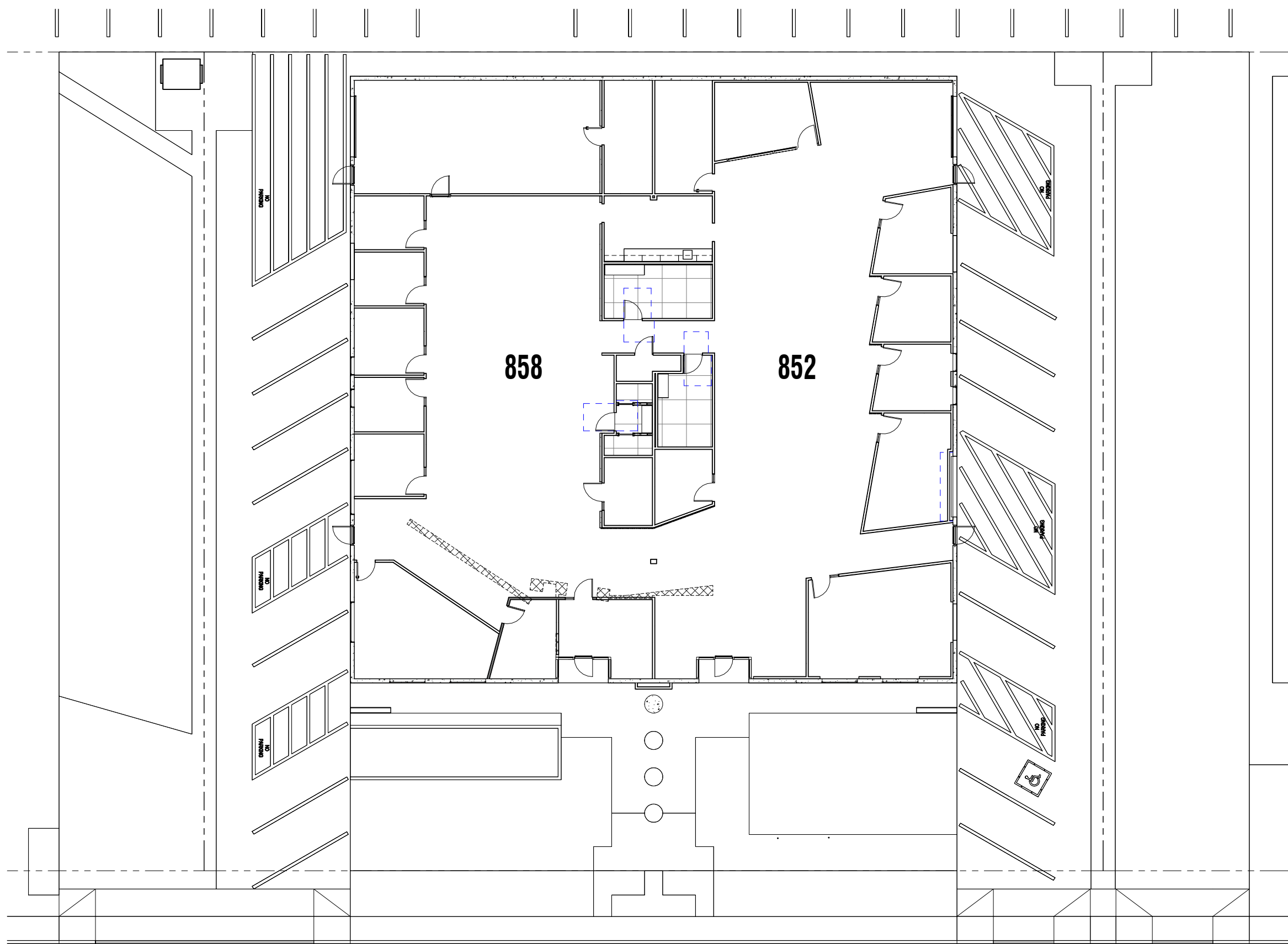
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RESTROOMS-ENLARGED PLANS

A1.06

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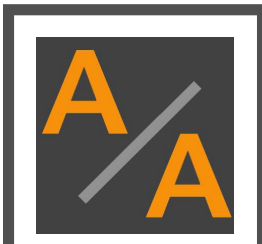


1 EXISTING FLOOR PLAN
1/8" = 1'-0"

WALL LEGEND

WALL TYPE	EXISTING NON-RATED METAL STUD WALL TO REMAIN
WALL TYPE	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
WALL TYPE	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL
	EXISTING WALL TO BE DEMOLISHED

844 Production Place
N.A.P.



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EXISTING & DEMOLITION FLOOR PLAN

A1.10



1 FLOOR FINISH PLAN
3/16" = 1'-0"

FLOORING LEGEND

SYMBOL	FLOORING TYPE	FLOORING AREA:
FL1	STAINED - SEALED CONCRETE	2,185 SF
FL2	NATURAL-SEALED CONCRETE	5,415 SF
[Pattern]	TILE - TRUNCATED DOMES	9 SF

SEE A-1.02 FLOOR / WALL / CEILING FINISH SCHEDULE FOR FLOORING SPECIFICATIONS

WALL LEGEND

[Symbol]	EXISTING NON-RATED METAL STUD WALL TO REMAIN
[Symbol]	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
[Symbol]	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL 1 0-100
[Symbol]	EXISTING WALL TO BE DEMOLISHED

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LICENSED ARCHITECT
TIMOTHY T. RHOADS
C-34428
06-30-27
RENEWAL DATE
STATE OF CALIFORNIA

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FLOOR FINISH PLAN






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1 CEILING FINISH PLAN
3/16" = 1'-0"

CEILING FINISH LEGEND

-  GYPSUM / PAINTED CEILING
-  ACOUSTICAL CEILING TILE - PER 2 & 3 / A-5.03
-  SOFFITED GYPSUM CEILING AREAS
1-HR CONSTRUCTION - PER 4 / A-5.03
-  EXTERIOR PLASTER CEILING
-  CEILING FINISH DESIGNATION

SEE A-1.02 FLOOR / WALL / CEILING FINISH SCHEDULE FOR SPECIFICATIONS
SEE A-1.04 REFLECTED CEILING PLAN FOR MORE INFORMATION

NOTE: PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES WITH PT1.



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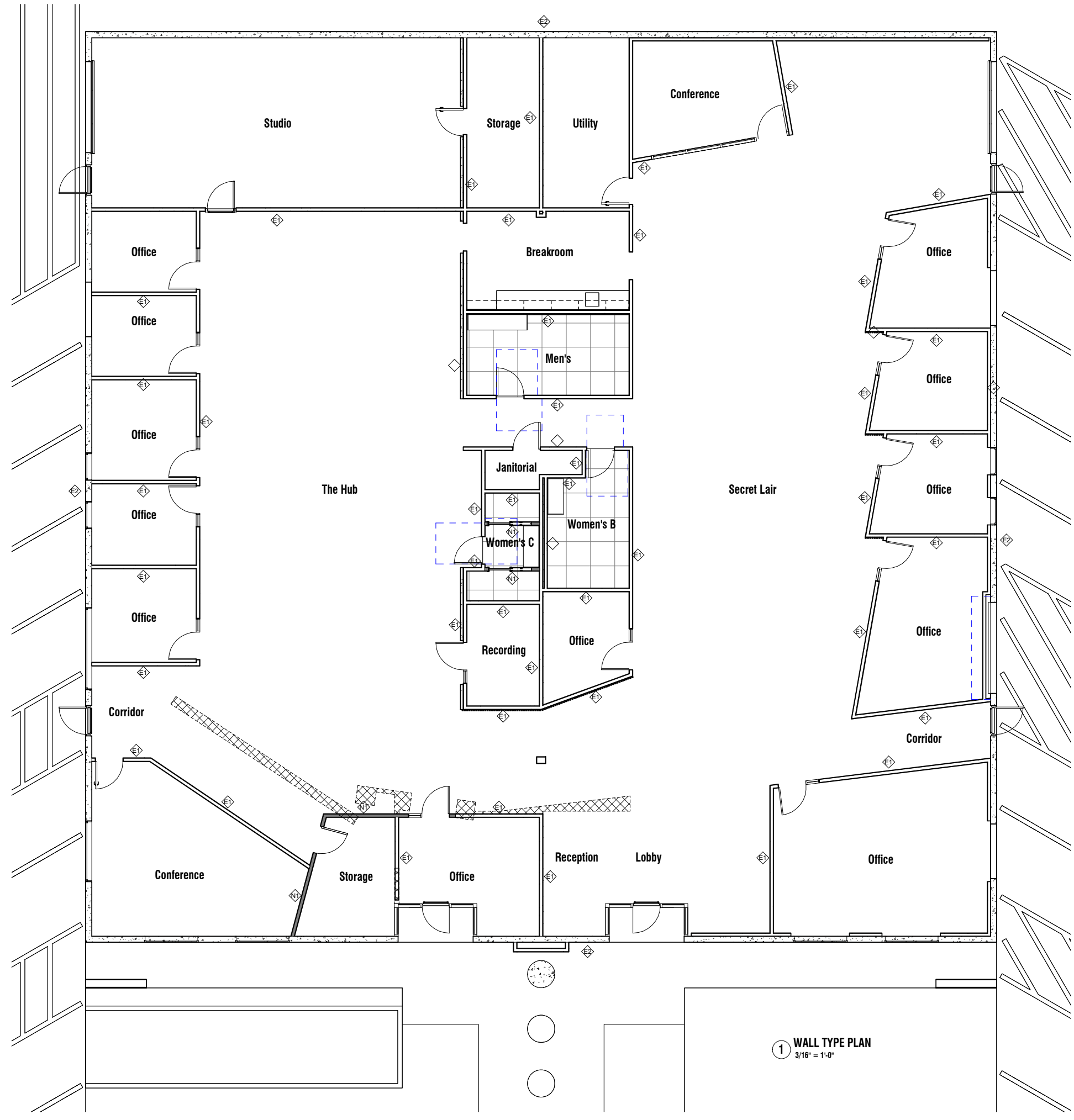
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CEILING FINISH PLAN

A1.12

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1 WALL TYPE PLAN
3/16" = 1'-0"

WALL LEGEND

WALL TYPE	EXISTING NON-RATED METAL STUD WALL TO REMAIN
WALL TYPE	EXISTING 8" - 2-HR. CONC. EXTERIOR WALL
WALL TYPE	NEW 1-HR RATED METAL STUD WALL CONSTRUCTION PER DETAIL 1-B-102
	EXISTING WALL TO BE DEMOLISHED

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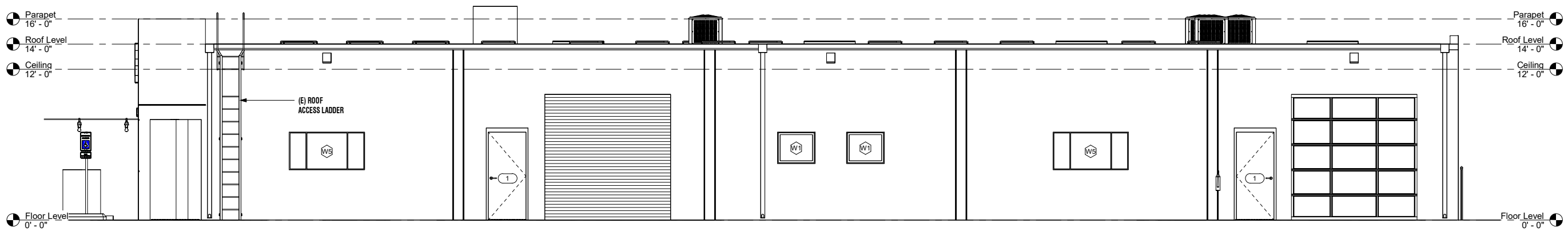
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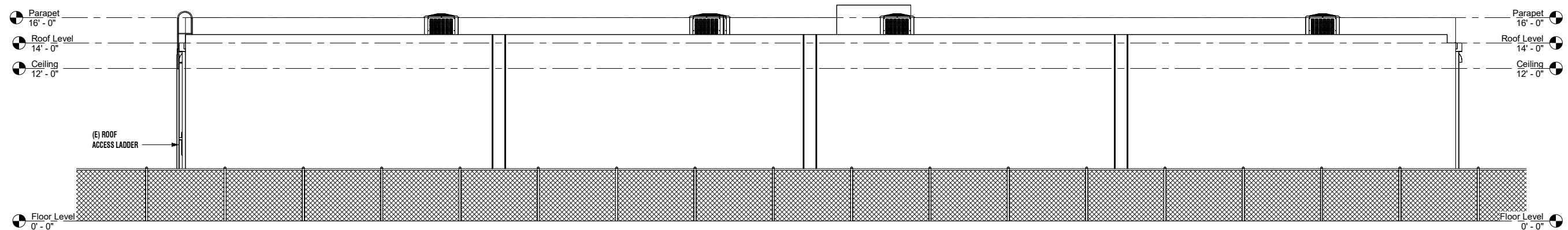
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WALL TYPE FLOOR PLAN

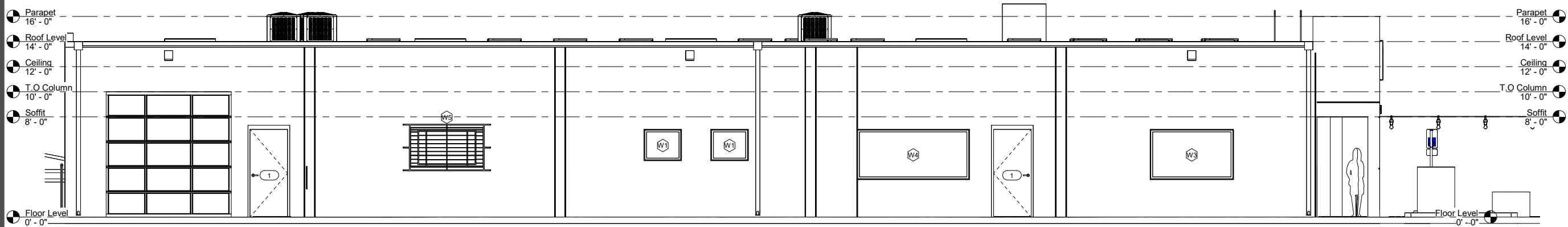
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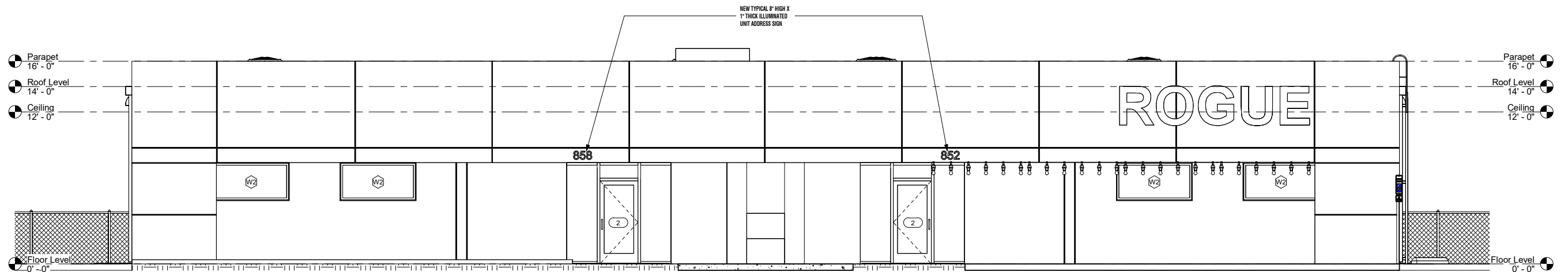
3 EAST (RIGHT) ELEVATION
1/4" = 1'-0"



4 REAR (NORTH) ELEVATION
1/4" = 1'-0"



2 WEST (LEFT) ELEVATION
1/4" = 1'-0"



1 PRODUCTION PLACE-ENTRANCE (SOUTH)
1/4" = 1'-0"



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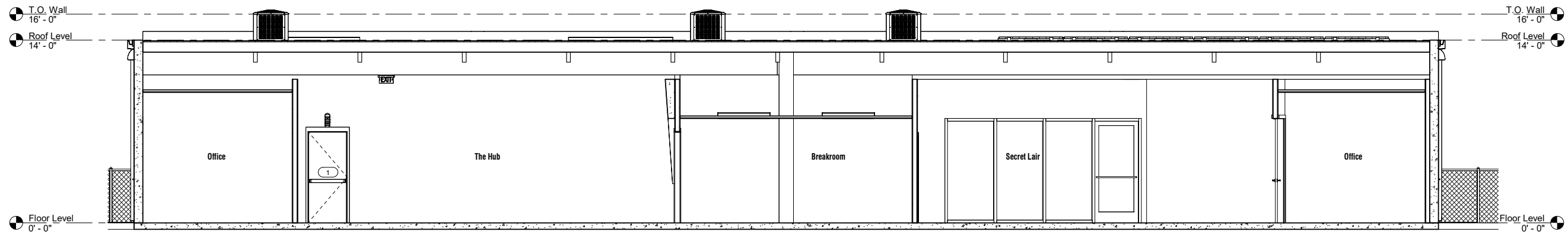
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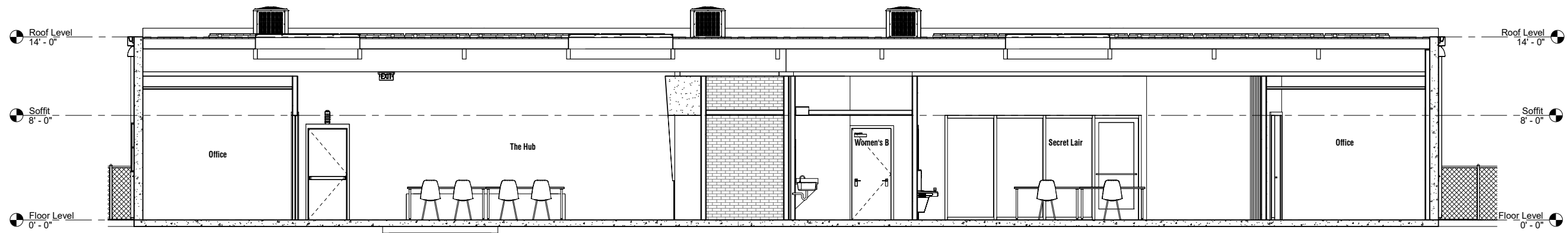
EXTERIOR ELEVATIONS

A2.00

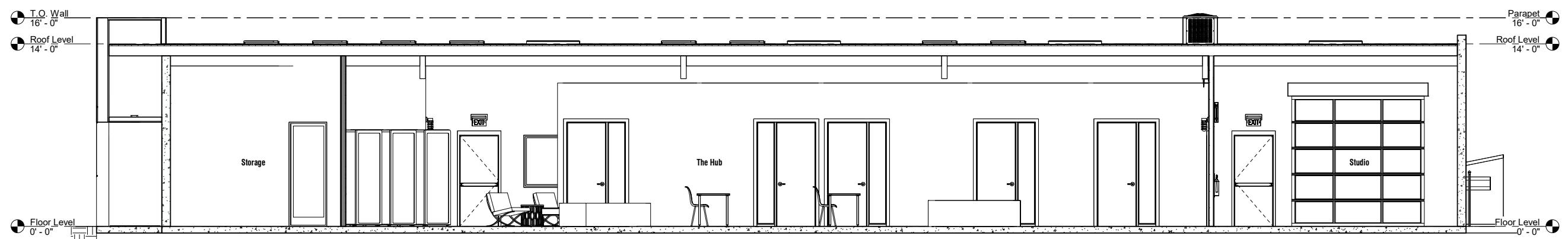
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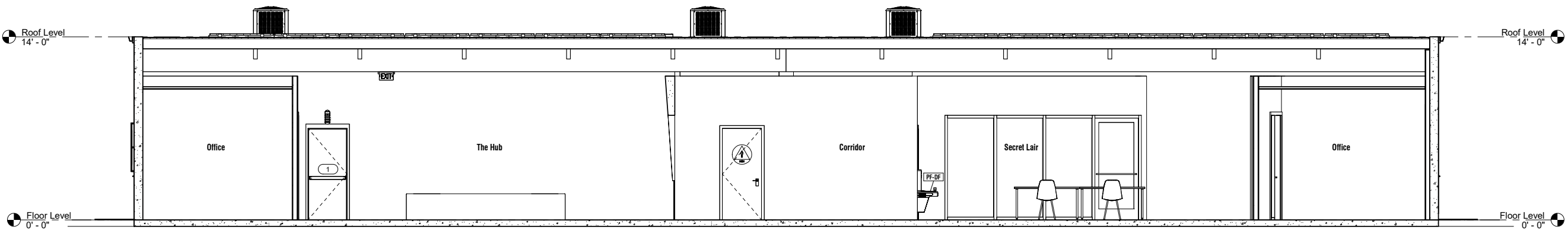
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1/4" = 1'-0"



C SECTION C
1/4" = 1'-0"



B SECTION B
1/4" = 1'-0"



A SECTION A
1/4" = 1'-0"



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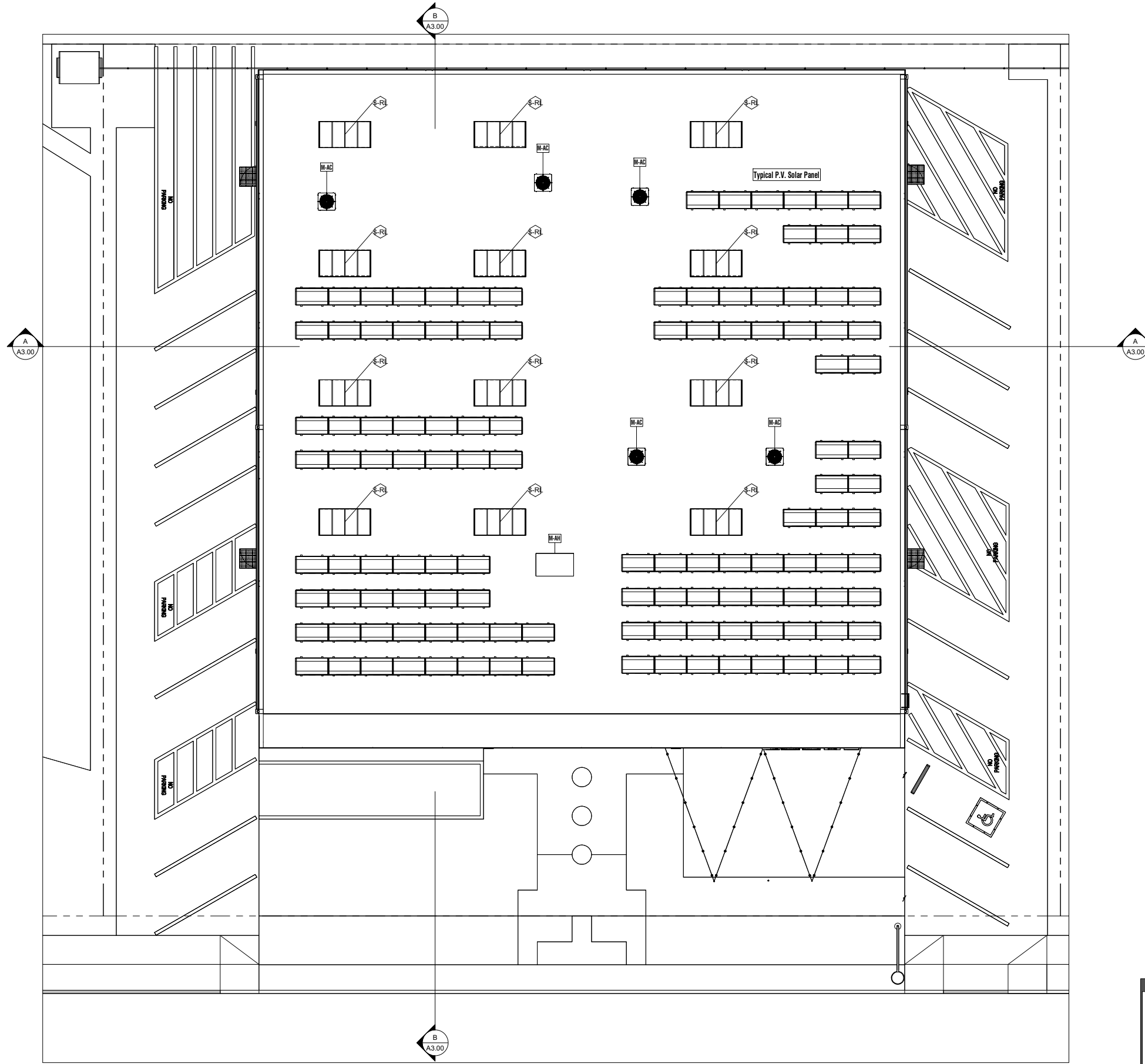
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BUILDING CROSS SECTIONS





A3.00

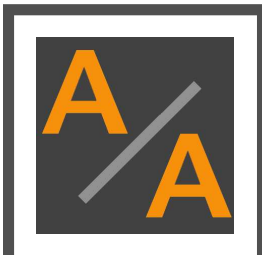
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ROOF WINDOW SCHEDULE						
Roof Window Type	Type	Count	Description	Width	Length	Comments
S-RL	ROOF WINDOW	12	Single Pitch Polycarbonate Translucent Skylight	4'-0"	8'-0"	

ROOF PLAN LEGEND

-  APPROXIMATE CONDENSOR LOCATION
-  APPROXIMATE HEAT PUMP LOCATION
-  APPROXIMATE SKYLIGHT LOCATION
-  TYPICAL PHOTOVOLTAIC PANEL



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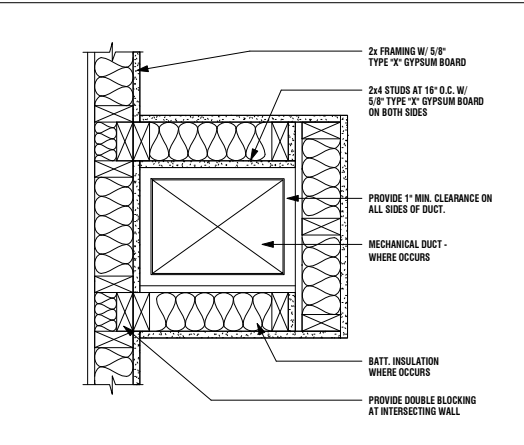
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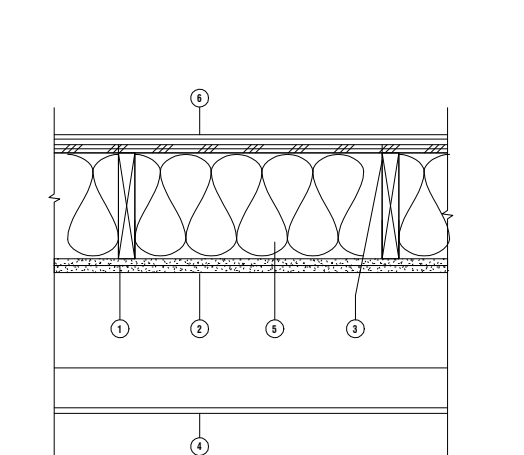
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ROOF PLAN

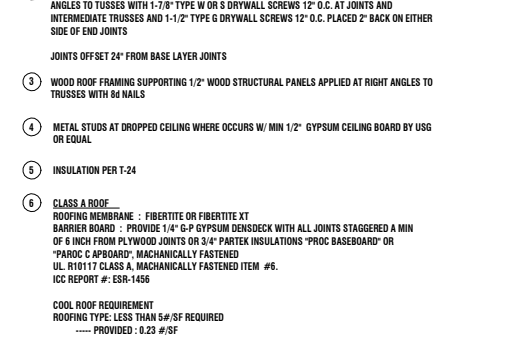
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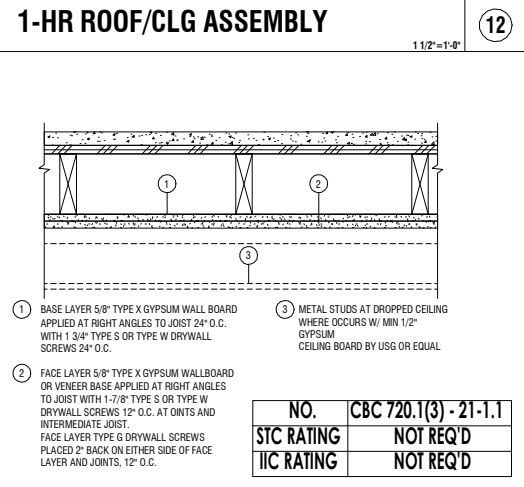
1 HOUR SHAFT 1 1/2"=1'-0" **14**



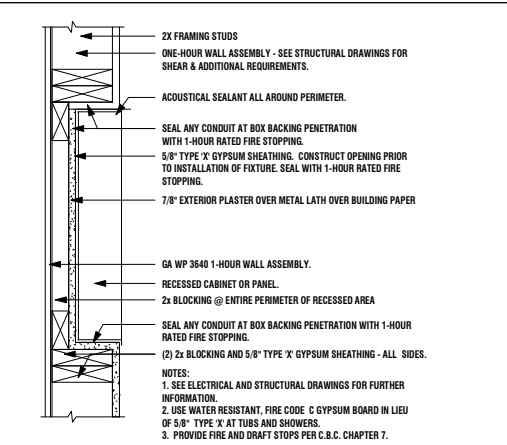
1-HR CORRIDOR WALL PENETRATION 1 1/2"=1'-0" **10**



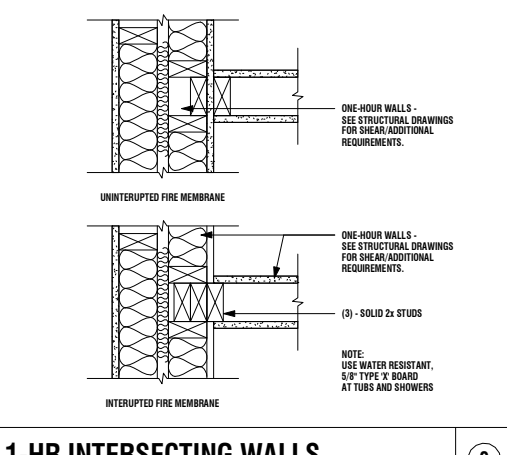
1-HR FIRE BARRIER SHAFT 1 1/2"=1'-0" **6**



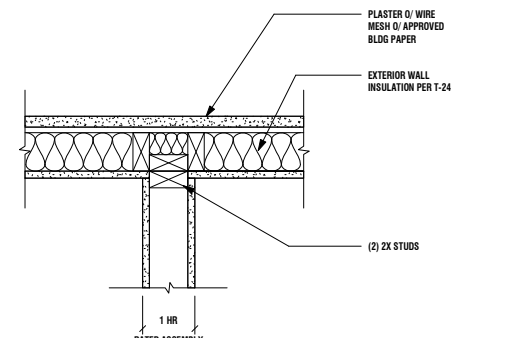
1-HR INTERSECTING WALLS 1 1/2"=1'-0" **9**



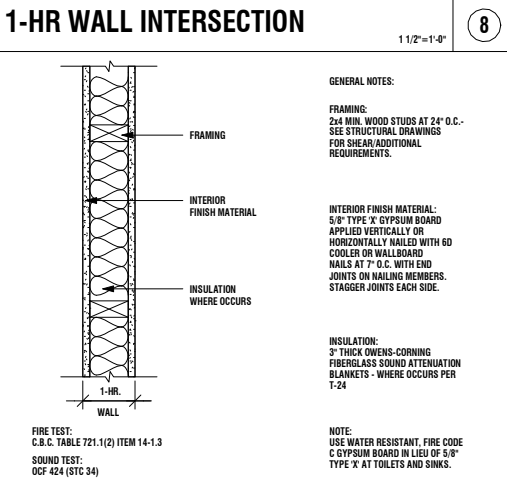
1-HR PENETRATION 3"=1'-0" **5**



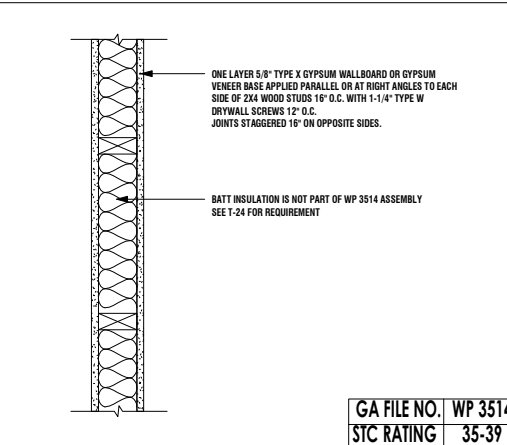
1-HR ROOF/CLG ASSEMBLY 1 1/2"=1'-0" **12**



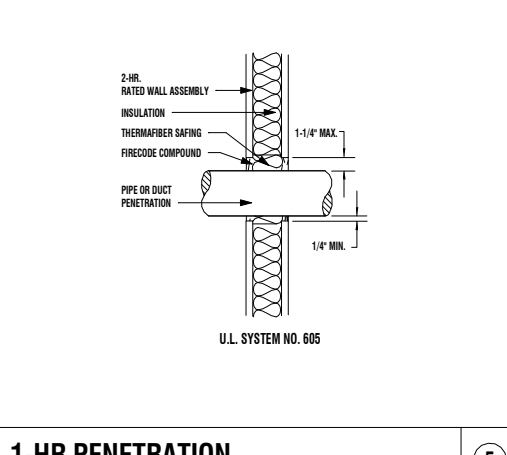
1-HR WALL INTERSECTION 1 1/2"=1'-0" **8**



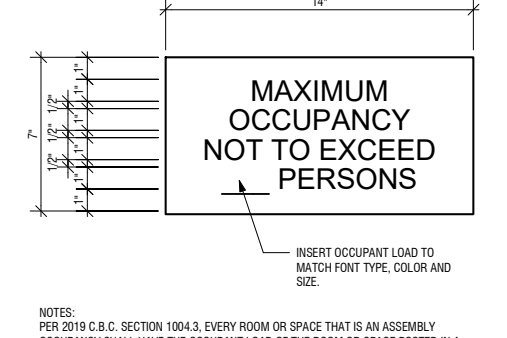
1-HR CORRIDOR / CLG. ASSEMBLY 1 1/2"=1'-0" **11**



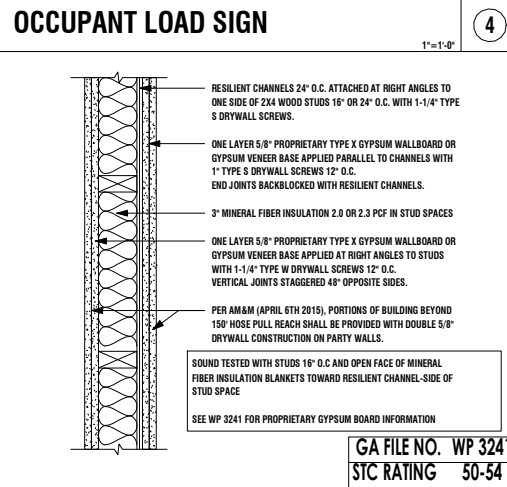
1-HR CORRIDOR WALL PENETRATION 1 1/2"=1'-0" **10**



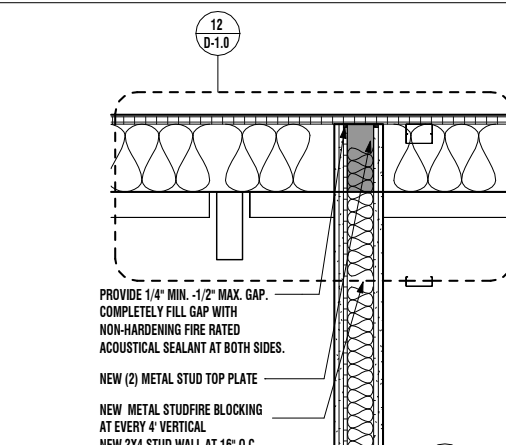
1-HR FIRE BARRIER SHAFT 1 1/2"=1'-0" **6**



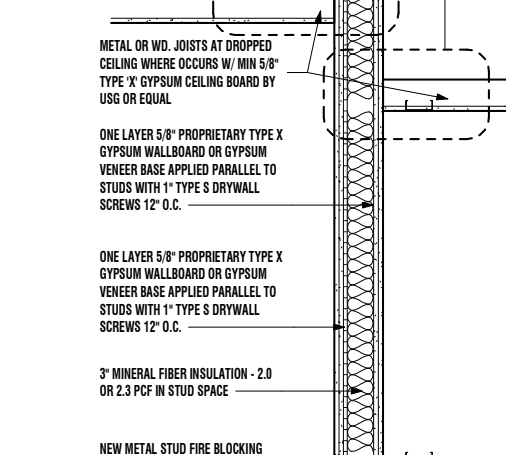
1-HR INTERSECTING WALLS 1 1/2"=1'-0" **9**



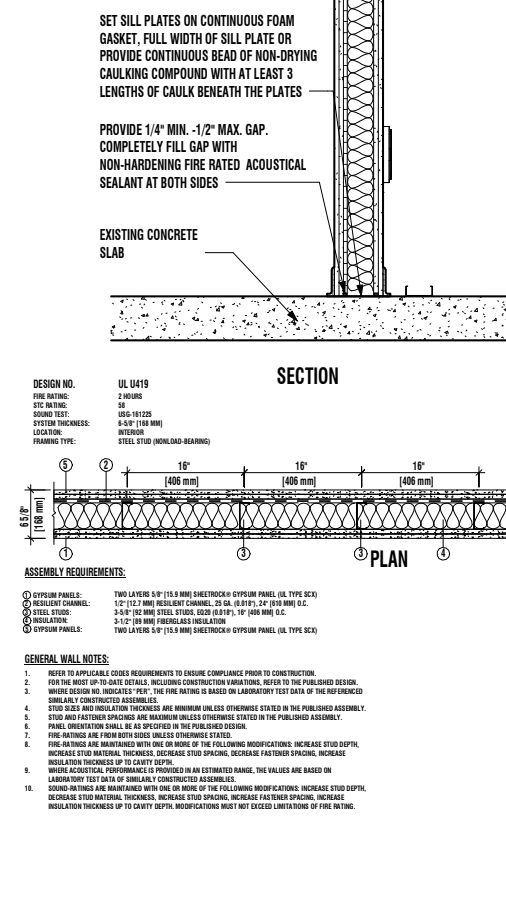
1-HR PENETRATION 3"=1'-0" **5**



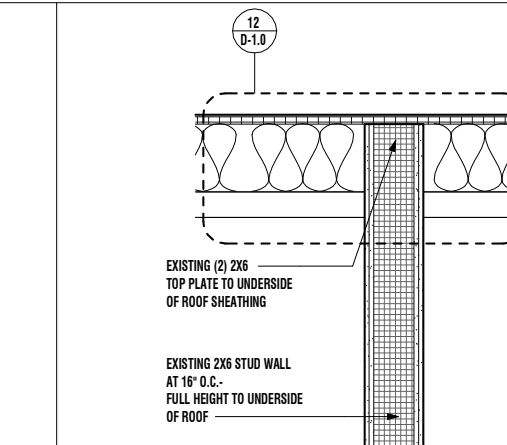
1-HR ROOF/CLG ASSEMBLY 1 1/2"=1'-0" **12**



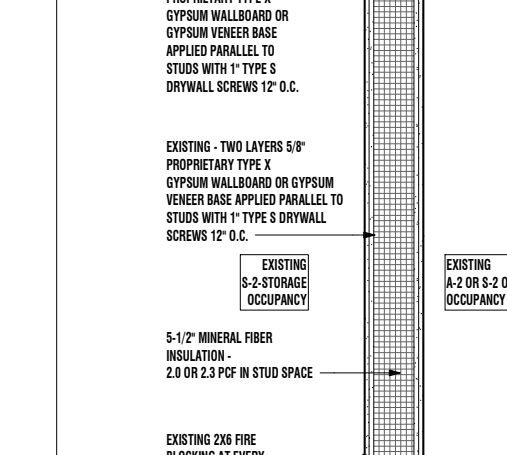
1-HR WALL INTERSECTION 1 1/2"=1'-0" **8**



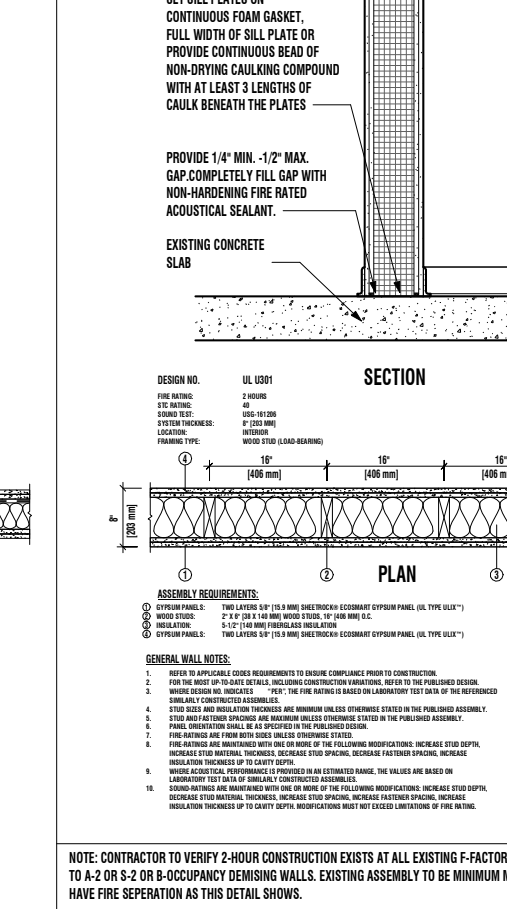
1-HR CORRIDOR / CLG. ASSEMBLY 1 1/2"=1'-0" **11**



2-HR FIRE PARTITION CORRIDOR 1 1/2"=1'-0" **3**



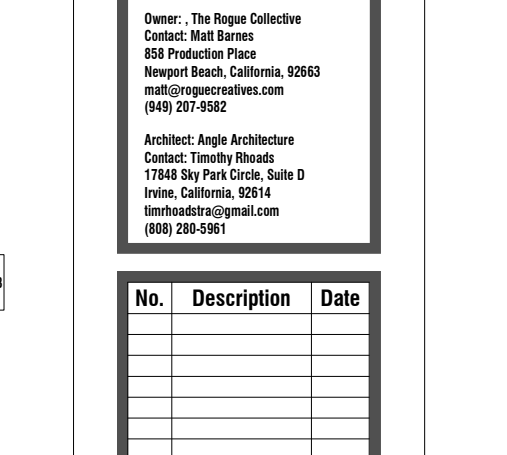
2-HR FIRE PARTITION CORRIDOR 1 1/2"=1'-0" **3**



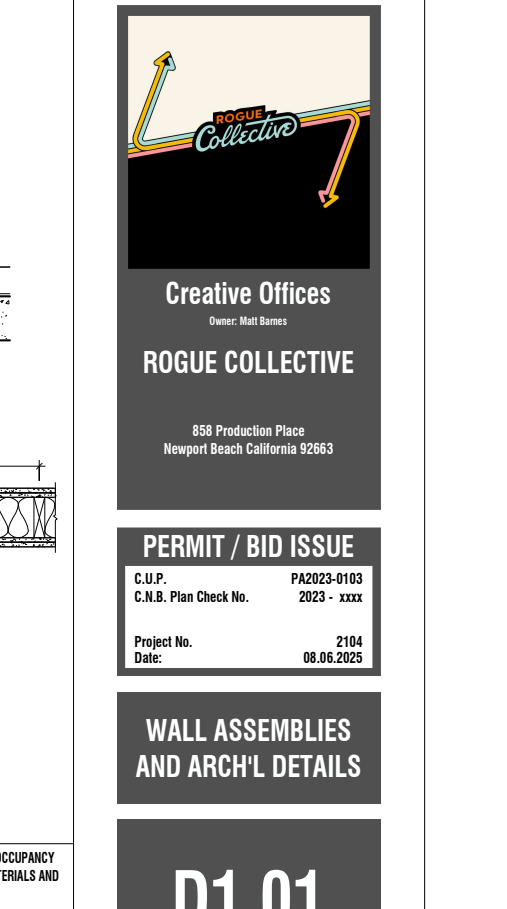
2-HR FIRE PARTITION CORRIDOR 1 1/2"=1'-0" **3**



2-HR FIRE PARTITION CORRIDOR 1 1/2"=1'-0" **3**

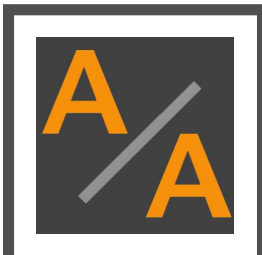


2-HR FIRE PARTITION CORRIDOR 1 1/2"=1'-0" **3**



2-HR FIRE PARTITION CORRIDOR 1 1/2"=1'-0" **3**

(E) 2-HOUR DEMISING WALL ASSEMBLY 1"=1'-0" **1**



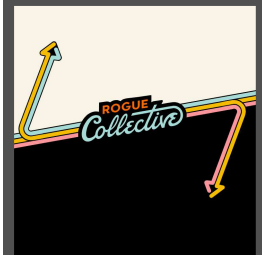
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No.	Description	Date



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PERMIT / BID ISSUE

C.U.P. PA2023-0103
C.N.B. Plan Check No. 2023 - xxxx

Project No. 2104
Date: 08.06.2025

WALL ASSEMBLIES AND ARCH'L DETAILS

D1.01

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