



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

Agenda Item No. 4

**SUBJECT:** Zinc Café Temporary Outdoor Dining Patio and Hours of Operation (PA2026-0039)  
▪ Limited Term Permit

**SITE LOCATION:** 3222 East Coast Highway

**APPLICANT & OWNER:** Joanna Carlini, CDM Partners LLC

**PLANNER:** Laura Rodriguez, Assistant Planner  
[lrodriguez@newportbeachca.gov](mailto:lrodriguez@newportbeachca.gov), 949-644-3216

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Corridor Commercial (CC)
- **Zoning District:** Commercial Corridor (CC)

### **PROJECT SUMMARY**

A request for a limited term permit (LTP) to remodel and expand the existing outdoor dining patio and to extend the hours of operation at Zinc Café and Market. The Café component and outdoor patio are currently permitted to operate from 7 a.m. to 8:30 p.m., daily, and the outdoor dining patio area is limited to 250 square feet. The LTP is requested to temporarily increase the amount of outdoor dining area by 251 square feet, for a total area of 501 square feet, and to temporarily extend the hours of operation for the Café and patio until 11 p.m., daily. The Market component is authorized to operate from 7 a.m. to 10 p.m., daily, and no changes are proposed to the market operation. If approved, the LTP would allow the Café to operate with these enhanced characteristics for up to one year. The Café would maintain its Type 41 (On-Sale Beer and Wine Eating Pace) Alcoholic Beverage Control (ABC) License that was previously authorized.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Resolution No. \_\_\_\_ approving the Limited Term Permit filed as PA2026-0039 (Attachment No. ZA 1).

**DISCUSSION**

- Zinc Café and Market is located within the Corona del Mar (CdM) commercial corridor.
- Surrounding development primarily consists of commercial uses, such as retail and restaurants, and residential uses at the rear of the property. Zinc Café employees are required to park at the Bayside municipal parking lot, approximately 250 feet south of the property.

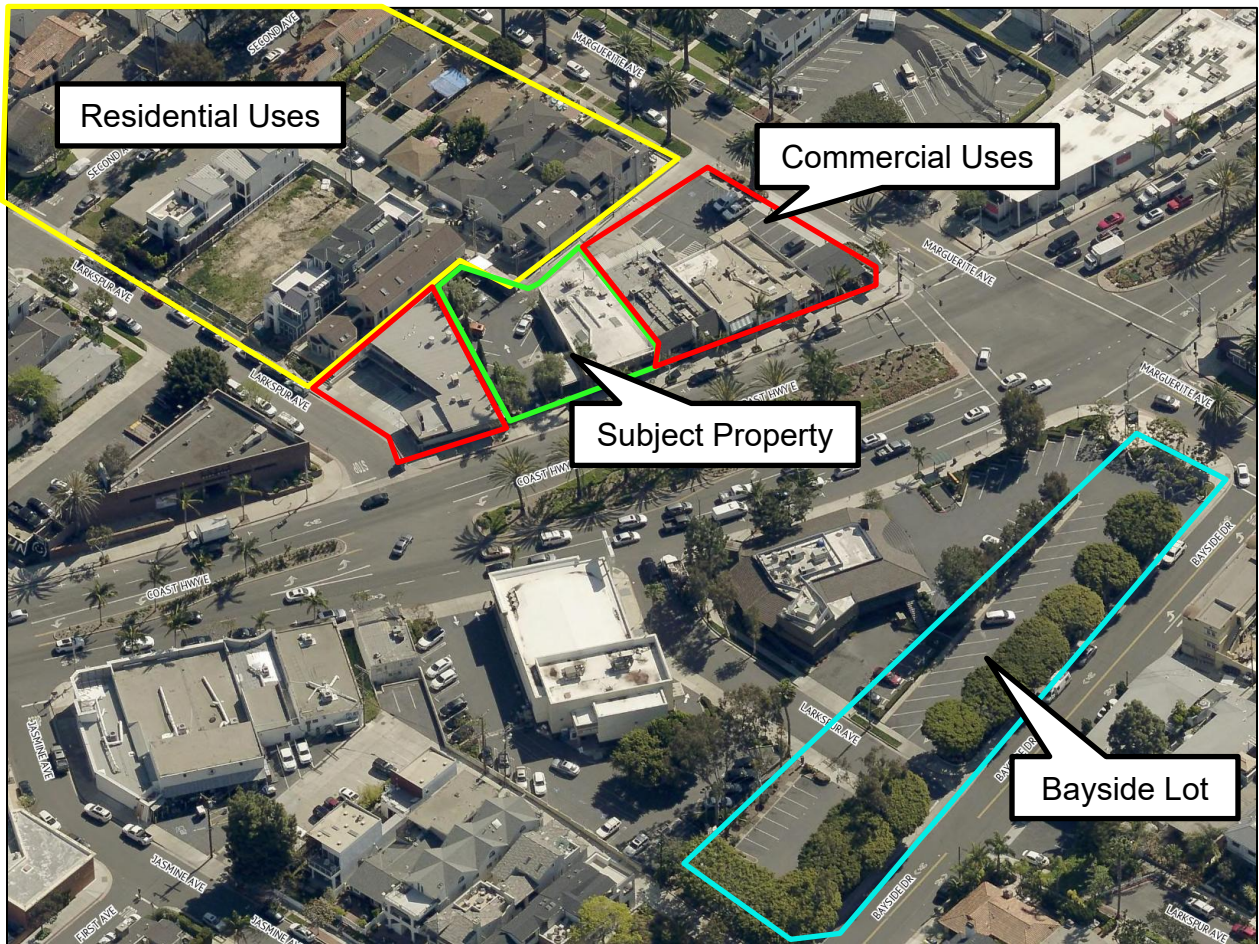


Figure 1: Aerial Image of subject property (green), surrounding commercial (red), residential uses (gold), and Bayside Municipal Lot (blue)

- The development was originally permitted in 2002 as a restaurant and market. It's current approval is PA2003-225 which allows a Type 41 (On-Sale Beer and Wine Eating Place) ABC License, a café closing time of 8:30 p.m., a market closing time of 10 p.m., a parking reduction to 11 onsite required spaces, and a requirement for employees to park at the Bayside Lot (as shown in Figure 1 (above)).

- The current hours of operation are between 7 a.m. to 8:30 p.m. daily. The applicant is requesting a closing hour of 11 p.m. The existing outdoor dining area is 250 square feet. The applicant is in process of securing a building permit for the proposed patio improvement (XC2026-0014). The project would allow for additional outdoor seating and a patio double in size at 501 square feet. However, the increase in size does not affect the existing 11 spaces on the property.
- The increased patio area would not cause a parking impact during peak demand. Parking studies previously done in the CdM Corridor demonstrated that the typical peak parking demand occurs around lunch time between the hours of 12 p.m. to 12:30 p.m. Since the project site is located in the CdM Corridor, patrons that work or live within walking distance to the subject property are anticipated to be the Café's customers. It is unlikely that the proposed project would increase the quantity of traffic since the restaurant already operates with an outdoor dining patio. Additionally, the project is limited in duration for up to a one-year term. The CdM corridor also provides public parking along East Coast Highway.
- Within the CdM corridor, there are nearby restaurants with outdoor dining patios. For example, Gina's Pizza, located at 420 Iris Avenue operates until 9 p.m.; Chipotle Mexican Grill, located at 3050 East Coast Highway operates until 10 p.m.; El Cholo Restaurant, located at 3250 East Coast Highway operates until 11 p.m. Out of the three restaurants, the outdoor dining patio for Gina's Pizza and Chipotle, are approximately 50 feet to 80 feet away from residential properties, respectively. In comparison, the subject property's outdoor dining patio is approximately 70 feet away from residential properties. While El Cholo also has an outdoor dining patio that operates until 11 p.m., it is shielded between buildings and buffered from residential properties by two parking lots. El Cholo's outdoor patio is also 116 feet away from residential properties.
- As analyzed in the draft resolution, which is included as Attachment ZA 1, Condition of Approval No. 5 authorizes a closing time of 10 p.m. for the café and patio. This condition of approval is substantiated by staff's analysis of nearby restaurants with similar configurations and is also compatible with the 10 p.m. closure for the market portion as authorized by PA2003-225.
- During the review of the project, the Code Enforcement Division identified that the current restaurant operator has not consistently purchased the employee parking permits, as required by Use Permit No. 2001-040, as amended (PA2003-225). Condition of Approval No. 3 requires the Applicant to remedy the active code case prior to the LTP being effective.
- The expanded seating area within the patio is temporary. The LTP will allow the applicant the opportunity to analyze the success and economic viability of the patio. Condition of

Approval No. 9 requires the applicant to apply for the appropriate permit should the outdoor dining area be permanently retained.

- The project has been reviewed by all applicable City departments, which have provided conditions of approval in Exhibit “A” of the Draft Resolution.
- The project is in alignment with the goals of the comprehensive land use and mobility study of the Corona del Mar Commercial Corridor (CdM Study) launched by the City in the Summer of 2024. The CdM Study looked at finding ways to enhance and improve the CdM commercial corridor and help create a successful, vibrant, lively, walkable and connected “main street” destination. The City is in process of implementing the zoning changes required to streamline restaurant permitting. The LTP will allow the applicant the opportunity to implement the recommendations of the CdM Study on a temporary basis, prior to the adoption of any code amendments.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3 because it has no potential to have a significant effect on the environment.

The Class 1 exemption includes the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use. The project authorizes temporary alterations to the restaurant’s existing outdoor dining area and its operational characteristics. Therefore, the Class 1 exemption is applicable.

The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### **PUBLIC NOTICE**

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

**APPEAL PERIOD:**

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Laura Rodríguez, Assistant Planner  
JP/lr

Attachments:      ZA 1      Draft Resolution  
                         ZA 2      Vicinity Map  
                         ZA 3      Project Description  
                         ZA 4      Project Plans

# **Attachment No. ZA 1**

Draft Resolution

**RESOLUTION NO. ZA2026-###**

**A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A LIMITED TERM PERMIT TO TEMPORARILY EXPAND AN OUTDOOR DINING PATIO AND EXTEND THE HOURS OF OPERATION FOR AN EXISTING EATING AND DRINKING ESTABLISHMENT LOCATED AT 3222 EAST COAST HIGHWAY (PA2026-0039)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Joanna Carlini of CDM Partners, LLC (Applicant), concerning property located at 3222 East Coast Highway and legally described as Parcel 1 under Lot Line Adjustment No. 2002-012 (Property) requesting approval of a limited term permit (LTP).
2. The Applicant proposes to remodel and expand the existing outdoor dining patio and to extend the hours of operation at Zinc Café and Market. The Café component and outdoor patio are currently permitted to operate from 7 a.m. to 8:30 p.m., daily, and the outdoor dining patio area is limited to 250 square feet. The LTP is requested to temporarily increase the amount of outdoor dining area by 251 square feet, for a total area of 501 square feet, and to temporarily extend the hours of operation for the Café and patio until 11 p.m., daily. The Market component is authorized to operate from 7 a.m. to 10 p.m., daily, and no changes are proposed to the market operation. If approved, the LTP would allow the Café to operate with these enhanced characteristics for up to one year (Project).
3. The Property is categorized as Corridor Commercial (CC) by the Land Use Element of the General Plan and is located within the Commercial Corridor (CC) Zoning District.
4. The Property is not located within the coastal zone, therefore, a coastal development permit is not required.
5. On January 17, 2002, the Planning Commission approved Use Permit No. UP2001-040 (PA2001-221), allowing the operation of a gourmet café with an outdoor dining patio and a take-out market, now known as Zinc Café and Market, in a commercial building formerly occupied by a retail business. UP2001-040 authorized the Café and patio to operate until 6 p.m. and the Market to operate until 10 p.m. UP2001-040 also authorized a reduction in required off-street parking from 29 to 11 spaces.
6. On March 18, 2004, the Planning Commission approved an amendment to UP2001-040 (PA2003-225), authorizing the addition of alcohol sales through a Type 41 (On-Sale Beer and Wine Eating Place) Alcoholic Beverage Control (ABC) License and increasing hours of operation for the Café and patio components from 6 p.m. to 8:30 p.m., daily, with no changes to the Market. The amendment was called for review by the City Council.

7. On April 13, 2004, the City Council upheld the decision of the Planning Commission to approve UP2001-040, as amended (PA2003-225), establishing a closing hour of 8:30 p.m. for the Café. As part of their approval, the City Council added a condition of approval requiring the Café operator to purchase employee parking permits and require employees to park in the Bayside municipal lot. Zinc Café and Market currently operate pursuant to this approval.
8. A public hearing was held on May 28, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

## SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is exempt from the California Environmental Quality Act (CEQA) under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Class 1 exemption includes the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use. The Project will temporarily increase the Café's operating hours and expand its outdoor dining patio. The additional hours and capacity represent a negligible expansion of use given that the Property operates as a Café and is surrounded by similar development. Therefore, the Class 1 exemption is applicable.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

## SECTION 3. REQUIRED FINDINGS.

By Section 20.52.040(G) (Limited Term Permits – Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

### Finding:

- A. *The operation of the limited duration use at the location proposed and within the time period specified would not be detrimental to the harmonious and orderly growth of the City, nor endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the requested limited duration use;*

Facts in Support of Finding:

1. The Property is located within the Corona del Mar (CdM) commercial corridor. Directly to the east and west of the Property is a dry-cleaning service and two restaurants. Residential uses are located at the rear of the Property. Several nearby restaurants within the CdM commercial corridor, including Gina's Pizza located at 420 Iris Avenue, Chipotle Mexican Grill located at 3050 East Coast Highway, and El Cholo located at 3520 East Coast Highway, have similar outdoor dining patios which are open until 9 p.m., 10 p.m., and 11 p.m. respectively.
2. The outdoor dining patio for Gina's Pizza and Chipotle Mexican Grill are located approximately 50 to 80 feet away from residential uses, respectively. The outdoor dining patio for El Cholo is not oriented toward residential uses and 130 feet away from residential. It is oriented towards East Coast Highway and the adjacent commercial building at 3512 East Coast Highway.
3. The Project would remodel the patio by removing existing landscape planters and reconfigure the space to create 251 additional square feet of outdoor dining area. The Café and patio operate in a self-seating manner. Customers may order indoors or wait for a server to arrive and take their order. The expanded patio will function like the existing operation.
4. While the Applicant has requested a later closing hour of 11 p.m., Condition of Approval No. 5 limits the Café and patio to a 10 p.m. closing hour. This is consistent with the 10 p.m. closing time for the Market, as established by PA2003-225, and nearby outdoor dining patios that are similarly oriented towards residential uses. While one restaurant within the CdM corridor, El Cholo, has an outdoor dining patio that is authorized to operate until 11 p.m., it is shielded between buildings, oriented toward Coast Highway, and buffered from the nearest residential uses by two parking lots.
5. Table 2-4 of Section 20.20.020 (Commercial Zoning Districts Land Uses and Permit Requirements) defines late hours as facilities that offer service and are open to the public past 11:00 p.m. any day of the week. In this case, the Project does not introduce a new use, such as a bar or nightclub, does not modify the existing ABC License, and does not introduce unique characteristics, such as live entertainment or late hours, which have the increased potential for noise impacts to nearby residential uses. The Café has operated with outdoor dining since 2002 and with a lack of noise complaints, and the expanded patio area with a later closing hour is not anticipated to be detrimental to surrounding neighborhood.
6. The Code Enforcement Division reviewed the Project and indicated that there is an active case for the Café. The case regarded employees not parking within the Bayside municipal lot, which is violation of PA2003-225. Condition of Approval No. 8 requires the operator of the Café to purchase parking permits for the employees and remedy the violation prior to implementation of the Project.

Finding:

- B. *The subject lot is adequate in size and shape to accommodate the limited duration use without material detriment to the use and enjoyment of other properties located adjacent to and in the vicinity of the lot*

Facts in Support of Finding:

1. The Property is 0.19 acre in size. The Property has direct access to East Coast Highway and an alley at the rear of the Property, which provides access to Marguerite Avenue. Access to the Property will not be affected by the Project, as the Project will remodel the existing patio without expanding the footprint.
2. The Applicant is currently pursuing a building permit (XC2026-0014) to remodel the Café, patio, and Market and is required to re-stripe the existing parking lot. The re-striping will maintain the 11 required parking spaces. The Project will not result in a reduction of available onsite parking spaces.
3. While the physical improvements to the patio are permanent, the reconfigured seating within the patio is temporary. The Project will allow the Applicant to analyze the success of an expanded seating area and additional hours. Condition of Approval No. 9 requires the Applicant to reduce the number of seats on the patio or apply for use permit amendment at the end of the LTP.
4. The Project's proposed seating layout was reviewed by the Building Division, which verified that the patio expansion would not affect pedestrian circulation. The Public Works Department and Fire Department also reviewed the Project and had no objections.
5. Pursuant to Table 3-5 (Nonresidential Projects – Minimum Storage Areas Required) of Section 20.30.120 (Solid Waste and Recyclable Materials Storage) of the NBMC, structures with a gross floor area of up to 5,000 square feet require a 32-square-foot trash enclosure. The existing trash enclosure on the Property is approximately 93 square feet and not only complies with the minimum size requirement but provides additional area to accommodate any additional waste generated from the Project.

Finding:

- C. *The subject lot is adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that the limited duration use would or could reasonably be expected to generate;*

Facts in Support of Finding:

1. The Property is within the CdM commercial corridor and serves the surrounding CdM community. While limited parking is available on-site, the Property's location within the

CdM commercial corridor and nearby businesses and its proximity to residential uses encourages customers to walk to the Café.

2. The Property is within a fully developed neighborhood that is adequately served by East Coast Highway, residential streets, and alley ways. Given that the Property has operated as a café with an outdoor patio since 2002 with no traffic or site circulation issues, the Project is not anticipated to generate traffic volumes high enough to cause circulation issues.
3. Fact 2 in Support of Finding B is hereby incorporated by reference.

Finding:

- D. Adequate temporary parking to accommodate vehicular traffic to be generated by the limited duration use would be available either on-site or at alternate locations acceptable to the Zoning Administrator; and*

Facts in Support of Finding:

1. Previous parking studies within the CdM Corridor have consistently demonstrated that the typical peak parking demand occurs between 12 p.m. and 12:30 p.m. i.e., lunch time. The Café currently operates until 8:30 p.m., i.e. within the peak demand period, with 11 onsite spaces. Despite the peak parking demand during lunchtime, it is anticipated that the additional customers will be from nearby areas surrounding the CdM Corridor. Based on the surrounding vicinity, customers have the option of using on-site parking, bike racks, and public parking. Additionally, it is anticipated that customers will be from nearby offices and residents within walking distance to the Café.
2. Zinc Café and Market was originally approved with a parking waiver, thereby reducing the number required on-site parking spaces to 11. Pursuant to Table 3-10 of Section 20.40.040 (Off-Street Parking Spaces Required) of the NBMC, restaurants require parking spaces at a rate of one space per 100 square feet of gross floor area, and one space per 150 square feet for outdoor dining areas. The Project proposes expanding the existing outdoor dining area by 251 square feet. The total size of the outdoor dining area would be 501 square feet, and four parking spaces would be required should the outdoor dining area be permanently retained. The Café already operates with an outdoor dining area, and the proposed expansion of the outdoor dining area is limited in duration. Although the Café would operate during peak parking demands, the Project is unlikely to increase the quantity of traffic that would generate a parking demand on-site.
3. Additionally, the Property is abutting East Coast Highway, which provides additional public parking for customers wishing to participate in other commercial activities within the CdM commercial corridor and then visit the Café.
4. Condition of Approval No. 8 requires the operator of the Café to purchase employee parking permits and employees are required to park across the Property at Bayside Lot, thereby preserving adjacent on-street spaces for customers.

Finding:

- E. *The limited duration use is consistent with all applicable provisions of the General Plan, any applicable specific plan, the Municipal Code, and other City regulations*

Facts in Support of Finding

1. The Property is categorized as Commercial Corridor (CC) by the Land Use Element of the General Plan. The CC designation is intended to provide a range of neighborhood-serving retail and service uses along street frontages that are located and designed to foster pedestrian activity. The Project involves remodeling an existing outdoor dining patio at an existing Café and a later closing hour. The Project is consistent with the CC land use categorization as it will enhance a neighborhood serving amenity.
2. The Property is zoned CC. A Café with no late hours is a permitted use, subject to the approval of a minor use permit. In this case, the Café including the existing outdoor patio, is authorized through PA2003-225. Additionally, temporary uses are permitted within the CC Zoning District, subject to the approval of an LTP. Therefore, the Project is consistent with the intent of the CC Zoning District and the permitted uses.
3. The Project temporarily increases the space within an existing outdoor dining patio and temporarily increases the Café's operating hours until 10 p.m., which is consistent with the operating hours for the Market authorized under PA2003-225. The Café and Market will continue to be complementary to and consistent with other commercial uses within the CdM commercial corridor.
4. The Project is consistent with the following General Plan Land Use goal and policy:
  - a. ***Land Use Element Goal 2. A living, active, and diverse environment that complements all lifestyles and enhances neighborhoods, without compromising the valued resources that make Newport Beach unique. It contains a diversity of uses that support the needs of residents, sustain and enhance the economy, provide job opportunities, serve visitors that enjoy the City's diverse recreational amenities, and protect its important environmental setting, resources, and quality of life***

The Project is revitalizing an existing Café and will continue to provide an opportunity for anyone who lives and works in the neighborhood to socially gather at the Café. Extending operating hours to be consistent with similar restaurants supports the ongoing economic vitality of a local business, and provide additional dining options to the area that contribute to the City's economic success.

- b. ***Land Use Element Policy LU 2.4 (Economic Development). Accommodate uses that maintain or enhance Newport Beach's fiscal health and account for market demands, while maintaining and improving the quality of life for current and future residents.***

The Project's enhanced operational characteristics during the one-year term will enable the Café to provide evening dining services to residents and visitors. Staff believe the 10 p.m. closure is compatible with the Use Permit's conditions of approval which authorizes the market portion to close at 10 p.m. The 10 p.m. closure is also similar to restaurants with an outdoor dining patio orienting towards residential such as Gina's Pizza, located at 420 Iris Avenue, and Chipotle Mexican Grill, located at 3050 East Coast Highway. Neither of these restaurants are permitted to operate with late hours (after 11 p.m.).

5. Council Policy D-9 recognizes the need to balance economic development objectives with protection of the environment and the health and safety of the community. The policy recognizes the need to provide effective and efficient structures for implementing economic programs, utilizing staffing to provide healthy, thriving businesses, and maintain a healthy economy while preserving the unique commercial villages in Newport Beach. The proposed limited term permit would support a local business and economic prosperity while maintaining the unique character of the CdM community.
6. The Property is not located within a specific plan area.

#### SECTION 4. DECISION.

#### **NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Limited Term Permit filed as PA2026-0039, subject to the conditions outlined in Exhibit "A" which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal is filed with the City Clerk by the provisions of Title 20 (Planning and Zoning), of the Newport Beach Municipal Code.

**PASSED, APPROVED, AND ADOPTED THIS 28<sup>TH</sup> DAY OF MAY, 2026.**

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Liz Westmoreland, AICP, Zoning Administrator

**EXHIBIT "A"****CONDITIONS OF APPROVAL**

*(Project-specific conditions are in italics)*

**Planning Division**

1. The temporary outdoor dining area shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval, except as modified by applicable conditions of approval.
2. *All conditions of approval from Use Permit No. 2001-040 as amended (PA2003-225) shall be adhered to, except as modified by this approval (PA2026-0039).*
3. *The LTP shall be effective for up to a one-year term, commencing upon conclusion of the appeal period or the resolution of Code Enforcement Case No. I25-2608, whichever occurs later.*
4. *The expanded outdoor dining area shall not exceed 501 square feet in area.*
5. *The hours of operation for the Café and outdoor patio shall be limited to 7 a.m. to 10 p.m., daily.*
6. *The hours of operation for the Market shall be limited to 7 a.m. to 10 p.m., daily as authorized by Use Permit No. 2001-040.*
7. *There shall be no use of amplified sound or live entertainment in the outdoor dining area.*
8. *The Applicant shall ensure the operator of the Café purchases employee parking permits within 30 days of the limited term permit being approved. Employees shall be required to park in Bayside municipal parking lot as authorized by Use Permit No. 2001-040. The Code Enforcement Division will follow up with the Applicant within 30 days of the Limited Term Permit's approval to ensure compliance.*
9. *Approval of this LTP does not constitute a permanent approval to operate with an expanded outdoor patio or a permanent 10 p.m. closing time for the Café and patio. Permanent expansion and extended hours require the Applicant to apply for the appropriate permit, as specified in the NBMC.*
10. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
11. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be cause for the revocation of this LTP.

12. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
13. The Applicant shall adhere to all applicable State of California and Orange County Health Care Agency guidelines for the safe operation of the outdoor dining area.
14. The Applicant shall comply with all federal, state, and local laws, and all conditions of the Alcoholic Beverage License. Material violation of any of those laws or conditions in connection with the use may be cause for revocation of the LTP.
15. This LTP may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
16. Any change in operational characteristics, expansion in the area, or other modification to the approved plans, shall require an amendment to this LTP.
17. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans before issuance of the building permits.
18. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control), under Sections 10.26.025 (Exterior Noise Standards) and 10.26.030 (Interior Noise Standards), and other applicable noise control requirements of the NBMC.
19. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or leasing agent.
20. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
21. The exterior of the business shall be always maintained free of litter and graffiti. The owner or operator shall provide for daily removal of trash, litter debris, and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.
22. The Applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance

with the provisions of Title 14, including all future amendments (including Water Quality related requirements).

23. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. on weekdays and Saturdays and between the hours of 10:00 p.m. and 9:00 a.m. on Sundays and Federal holidays unless otherwise approved by the Director of Community Development and may require an amendment to this Use Permit.
24. Storage outside of the building in the front or at the rear of the property shall be prohibited, except for the required trash container enclosure.
25. A Special Events Permit is required for any event or promotional activity outside the normal operating characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.
26. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 (Planning and Zoning) of the NBMC.
27. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the **Zinc Café and Market Outdoor Dining Patio and Hours of Operation including, but not limited to, Limited Term Permit filed as PA2026-0039**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing the such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

### **Public Works Department**

28. Parking lot striping shall comply with City Standard No. 805.

### **Building Division**

29. The Project shall comply with Table 506.2 of the California Building Code (CBC).

30. An accessible path of travel from the parking lot and public right-of-way to the Café shall be required per 11B-202.5 of the CBC. Accessible elements that are part of travel are as follows:
  - a. A primary entrance to the building and facility.
  - b. Toilet and bathing facilities serving the area.
  - c. Drinking fountains serving the area.
  - d. Public telephones serving the area, and
  - e. Signs
  
31. Circulation paths contiguous to vehicular traffic shall physically be separated from vehicular traffic per 11B-250.1 of the CBC. Detectable warning cannot be on the vehicular way and landing, and shall be a minimum of three feet.
  
32. Plumbing fixtures shall comply with Table 422.1 of the California Plumbing Code.

# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



Limited Term Permit  
(PA2026-0039)  
**3222 East Coast Highway**

# **Attachment No. ZA 3**

Project Description

## **PROJECT DESCRIPTION AND JUSTIFICATION**

3222 East Coast Highway

The applicant requests approval to allow minor modifications to the existing outdoor patio area and to temporarily extend the permitted hours of operation.

### Patio Improvements

The outer perimeter of the approved patio will not change in size. The modification consists of replacing approximately 200 square feet of existing area within the approved patio footprint that is currently planter with concrete hardscape to improve circulation and seating flexibility and to accommodate a newly constructed ADA ramp onto the patio. No expansion beyond the currently approved patio boundary is proposed.

### Parking

The number of on-site parking spaces will remain unchanged. No parking spaces will be removed or reconfigured.

### Hours of Operation

The applicant requests authorization for the restaurant, including patio dining, to operate until 11:00 p.m., indoors and on the patio, seven days per week. No changes to the alcohol license or entertainment operations are proposed. The existing use permit was obtained over 20 years ago and has significantly disrupted the ability to have dinner service.

### Duration

The Limited Term Permit is requested for a period of twelve (12) months from the date of approval.

### Findings

The proposed limited duration use will not be detrimental to the surrounding neighborhood. The patio perimeter is not expanding, parking remains unchanged, and the use remains a neighborhood-serving restaurant within a commercial corridor. The site is adequately served by surrounding streets and existing parking, and the request is consistent with the General Plan and Municipal Code.

# **Attachment No. ZA 4**

Project Plans

ASSESSOR'S MAP



CODE REFERENCES

ALL THE WORK WILL BE DONE IN COMPLIANCE WITH THE 2025 CALIFORNIA BUILDING CODES 2025 CALIFORNIA MECHANICAL CODES 2025 CALIFORNIA ELECTRICAL CODES 2025 CALIFORNIA PLUMBING CODES 2025 CALIFORNIA GREEN BUILDING STANDARDS CODE 2025 CALIFORNIA ENERGY CODES 2025 CALIFORNIA ADMINISTRATIVE CODE 2025 CALIFORNIA FIRE CODE 2025 CALIFORNIA EXISTING BUILDING CODE 2025 CALIFORNIA GREEN BUILDING STANDARDS CODE 2025 CALIFORNIA CODE, HEALTH AND SAFETY CODE CITY OF NEWPORT BEACH MUNICIPAL CODES

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2025 EDITION OF THE CALIFORNIA BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF NEWPORT BEACH.
- THE INTENDED PROJECT WILL BE DELIVERED FOR A COMPLETE AND HABITABLE BUILDING PROJECT.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER OR CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- SUBMIT, PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE APPLICABLE. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. THE OWNER WILL FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE SEE SCOPE OF WORK FOR EXCEPTIONS.
- GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED AND INSPECTED FOR COMPLIANCE WITH MINIMUM QUALITY STANDARDS BEFORE ENCAPSULATED INTO THE BUILDING.

SYMBOLS

	DETAIL REFERENCE		SECTION REFERENCE
	REVISION NUMBER		INTERIOR ELEVATION REFERENCE
	ELEVATION MARKER		DOOR REFERENCE NUMBER
	GRIDLINE DIMENSION		WALL TYPE NUMBER
	GRIDLINE		EQUIPMENT REFERENCE NUMBER
	EQUIPMENT NUMBER		MATERIAL TAG
	CEILING HEIGHT		ROOM NAME
	KEYNOTE		ROOM NUMBER

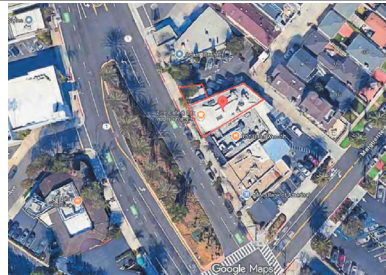
# ZINC CAFE & MARKET EXTERIOR RENOVATIONS

3222 EAST COAST HWY., CORONA DEL MAR, CA 92625

NOTE :

NO TREES ARE BEING REMOVED OR DAMAGED FROM THE SITE DURING CONSTRUCTION.

SATELLITE



PROJECT INFORMATION

BUILDING ADDRESS: 3222 EAST COAST HWY., CORONA DEL MAR (NEWPORT BEACH), CA 92625  
 ZONING: CC - COMMERCIAL CORRIDOR  
 APN: 459-195-19  
 CONSTRUCTION TYPE: V-B  
 FIRE SPRINKLERS: NO  
 FIRE ALARM: YES  
 NUMBER OF FLOORS: 1  
 EXISTING USE: COMMERCIAL  
 PARCEL USE CODE: B - NO CHANGES

LEGAL DESCRIPTION: N TR 1045 BLK LOT 2 TRACT NO 1045 LOTS 2 AND 3  
 LAND AREA: 8,395 SQFT

TENANT AREA: EXISTING GFA: 2,895 SQFT  
 EXISTING TOTAL NET AREA 2,703 SQFT  
 AREA OF RENOVATIONS: INTERIOR: 600 SQFT EXTERIOR 5,468 SQFT

<p>A. BUILDING AREA SUMMARY (CBC CHAPTER 5)                  CONSTRUCTION TYPE: V-B (NON-RATED, UNPROTECTED)                  OCCUPANCY CLASSIFICATION: GROUP B (BUSINESS)                  ALLOWABLE AREA PER CBC TABLE 506.2: 9,000 SF (BASE ALLOWABLE)                  ACTUAL AREA OF TENANT SPACE: 2,895 SF                  BUILDING STATUS: EXISTING                  CONCLUSION: THE ACTUAL TENANT AREA IS WITHIN THE ALLOWABLE AREA LIMITS SPECIFIED BY CBC TABLE 506.2 FOR GROUP B OCCUPANCY AND TYPE V-B CONSTRUCTION. THE TOTAL AGGREGATE AREA OF THE BUILDING DOES NOT EXCEED THE MAXIMUM PERMISSIBLE AREA FOR THIS CONSTRUCTION TYPE.</p>	PER CALIFORNIA PLUMBING CODE (CPC) TABLE 422.1	
	<p>DESCRIPTION</p>	MALE
OCCUPANT LOAD	30	29
WATER CLOSETS REQUIRED	1	1
WATER CLOSETS PROVIDED	1	1
LAVATORIES REQUIRED	1	1
LAVATORIES PROVIDED	1	1
<p>OCCUPANT LOAD = 59 OCCUPANTS                  OCCUPANT LOAD DISTRIBUTION = 50% MALE / 50% FEMALE                  MALE: 59 (2 = 39.5 → 29)                  FEMALES: 51 (2 = 39.5 → 29)                  PLUMBING FIXTURES CALCULATED PER CPC TABLE 422.1.                  FEMALE FIXTURE COUNT INCREASED PER CPC TABLE 422.1 FOOTNOTE #3 WHERE APPLICABLE.</p>		

- SCOPE OF WORK:
- GENERAL SUMMARY
    - Tenant Improvement (TI) of an existing commercial building at 3222 E Coast Hwy. The project consists of a complete interior remodel to create an open-concept space, exterior building envelope upgrades, and comprehensive site improvements to the patio and parking areas for full ADA and code compliance.
  - DEMOLITION & INTERIOR REMODEL
    - Partition Removal: Demolition of existing interior non-load-bearing walls and decorative wood paneling to facilitate a new open floor plan.
    - Entry Relocation: Removal of existing storefront/entry sections and adjacent interior walls to accommodate a new street-level (flush) entry for improved accessibility.
    - Structural Removal: Demolition of existing exterior concrete stairs connecting the parking lot to the patio area.
    - Patio Demo: Removal of the existing wood-framed patio cover.
  - BUILDING ENVELOPE & EXTERIOR
    - Glazing Upgrades: Installation of a new vinyl-framed sliding window at the front dining area facing the public sidewalk.
    - Patio Access: Replacement of existing rear doors with a new sliding glass door assembly for patio access.
    - Storefront Modification: Relocation and installation of new entry doors to align with the exterior sidewalk grade (Path of Travel).
  - SITE IMPROVEMENTS & PATIO
    - Patio Structure: Installation of a new aluminum-framed patio cover system.
    - Landscaping: Infilling of existing at-grade planters with new concrete slab-on-grade to increase usable floor area.
    - Property Line Modifications: New opening in the existing low-profile masonry wall at the front property line to create a new pedestrian entry.
    - Fencing/Gates: Installation of a new half-height (36" to 42") decorative metal pedestrian gate at the property line.
  - ACCESSIBILITY (ADA) & PATH OF TRAVEL
    - Ramp Construction: Installation of a new ADA-compliant concrete ramp with handrails, replacing the former stairs between the parking area and patio.
    - Parking Lot Upgrades: Re-stripping and re-configuration of the existing parking lot, including the designation of ADA-compliant van-accessible stalls and updated signage.
    - Egress & Access: Modification of the main entry to eliminate vertical thresholds and provide a level landing at the public right-of-way.
  - SITE UTILITIES & SECURITY
    - Trash Management: Relocation of the existing trash enclosure area to comply with city screening and access requirements.
    - Vehicular Access: Installation of a new metal sliding vehicular gate at the parking lot entrance.

SHEET INDEX

<p>ARCHITECTURAL</p> <p>T-1 COVER PAGE - CHANGE OF USE UNIT</p> <p>T-1.1 APPROVE UP AMENDMENT</p> <p>GB1.0-1.3 CALIFORNIA GREEN BUILDING STANDARDS CODE</p> <p>1 PRECISE GRADING PLAN TITLE SHEET</p> <p>2 DEMOLITION PLAN</p> <p>3 PRECISE GRADING PLAN</p> <p>4 EROSION CONTROL PLAN</p> <p>DW.1 DETECTABLE WARNING SURFACE DETAILS</p> <p>A1.0 EXISTING SITE PLAN</p> <p>A1.1 PROPOSED SITE PLAN</p> <p>A1.2 PROPOSED CODE ANALYSIS</p> <p>A1.3 PROPOSED NET AREAS ANALYSIS</p> <p>A1.4 PROPOSED CODE COMPLIANCE PLAN</p> <p>A1.5 PROPOSED DOOR PLAN, NOTES &amp; DETAILS</p> <p>BD.1 BATHROOM DETAILS</p> <p>A2.0 EXISTING ELEVATIONS</p> <p>A2.1 PROPOSED ELEVATIONS</p> <p>HD.1 HANDRAIL DETAILS</p> <p>A3.0 PROPOSED SECTIONS</p> <p>D1.0 ADA 1</p> <p>D1.1 ADA 2</p> <p>D1.2 ENLARGED BATHROOM DETAILS</p> <p>TELESCOPIC SLIDING GATE - (2) PANEL SYSTEM</p> <p>S1 ELEVATION / SPECS</p> <p>S2 ELEVATION / SPECS</p> <p>TYPICAL DETAIL - FOR PERMIT APPROVAL</p> <p>S2 ELEVATION / SPECS</p>	<p>STRUCTURAL</p> <p>S0.1 STRUCTURAL GENERAL NOTES</p> <p>S0.2 STRUCTURAL GENERAL NOTES</p> <p>S0.3 STRUCTURAL TYPICAL DETAILS</p> <p>S1.0 FOUNDATION PLAN</p> <p>S2.0 ROOF FRAMING PLAN</p> <p>S3.0 STRUCTURAL DETAILS</p> <p>S4.0 FOUNDATION DETAILS</p> <p>HFMF1 HFMF GENERAL NOTES</p> <p>HFMF2 HFMF FRAME DETAILS</p> <p>HFMF3 HFMF FRAME DETAILS</p> <p>REFERENCE SHEETS - UP2003-032</p> <p>R1.0 REFERENCE SHEET 1</p> <p>R1.1 REFERENCE SHEET 2</p> <p>R1.2 REFERENCE SHEET 3</p> <p>R1.3 REFERENCE SHEET 4</p> <p>R1.4 REFERENCE SHEET 5</p> <p>SOLID PATIO COVER</p> <p>1 GENERAL NOTES, SHEET INDEX</p> <p>2 PLAN VIEW</p> <p>3 ELEVATIONS</p> <p>4 CONNECTION DETAILS</p> <p>5 COMPONENTS</p>
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OPERATIONAL AUTHORITY: THIS FACILITY IS AUTHORIZED TO OPERATE UNDER USE PERMIT UP2003-032. ALL IMPROVEMENTS SHOWN IN THIS SUBMITTAL ARE INTENDED TO MAINTAIN COMPLIANCE WITH THE ORIGINAL USE PERMIT CONDITIONS.

DIRECTORY

<p>TENANT:</p> <p>CDM PARTNERS, LLC                  cdmpartners@charter.net</p> <p>DESIGN COMPANY:</p> <p>JEAN PRESCOTT STUDIO                  110 NEWPORT CENTER DR.                  NEWPORT BEACH, CA 92660                  (627) 527 - 7588                  INFO@JEANPRESCOTT@GMAIL.COM</p>	<p>STRUCTURAL</p> <p>K&amp;K ENGINEERING &amp; DEVELOPMENT                  17595 HARVARD AVENUE, SUITE C-734, IRVINE, CA 92614                  email:Tel: (310) 404-1834</p> <p>STRUCTURAL CONSULTANT: MCPHERSON ENGINEERING                  8240 Limonite Ave. Jurupa Valley, CA 92509                  Phone: (909) 566-0066                  PATIO COVER SYSTEM MANUFACTURER: FOUR SEASONS BUILDING PRODUCTS                  (627) 527 - 7588</p> <p>SUPPLIER/ DEALER: PATIO WAREHOUSE                  Local Service Center: Buena Park 6450 Caballero Blvd Buena Park, CA 90620                  Phone: (800) 457-9959</p>
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UNIT OF APPLICATION



110 NEWPORT CENTER DR.  
 NEWPORT BEACH, CA 92660  
 info@jeanprescott.com  
 www.jean-prescott.com  
 627-527-7588

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PROJECT FOR:  
**ZINC CAFE & MARKET  
 EXTERIOR RENOVATIONS  
 3222 EAST COAST HWY.  
 CORONA DEL MAR, CA 92625**

CLIENT  
**CDM PARTNERS LLC  
 T. 949-632-6363**

PROJECT DESIGNER:  
**JEANNICE CARRILLO**

PROFESSIONAL SIGNATURE  
*JEANNICE CARRILLO*  
**JEAN-PRESCOTT**

ISSUE AND REVISIONS  
 11-20-25

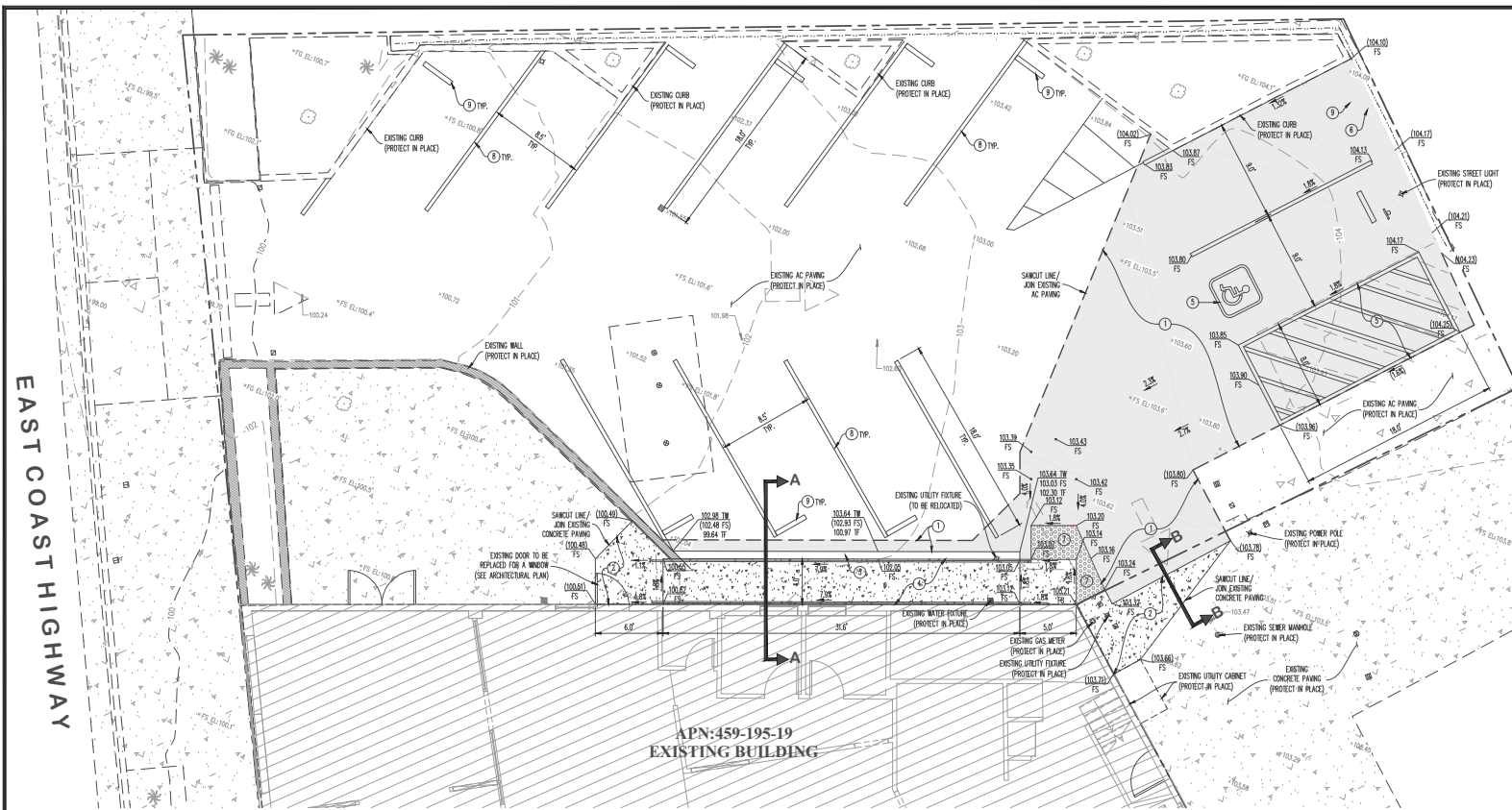
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12-20-25	2ND FULL VERSION
02-27-26	3RD REVISION
03-12-26	4TH REVISION
05-14-26	5TH REVISION

JURISDICTION APPROVAL

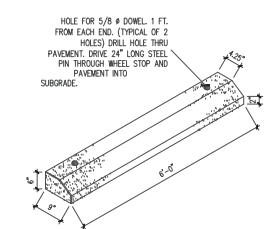
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SHEET NUMBER

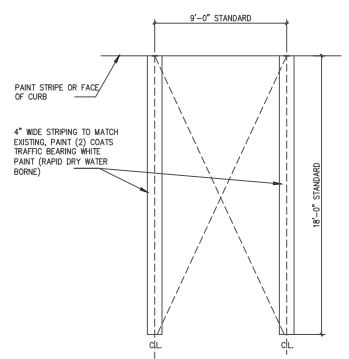
**T-1**



APN: 459-195-19  
EXISTING BUILDING



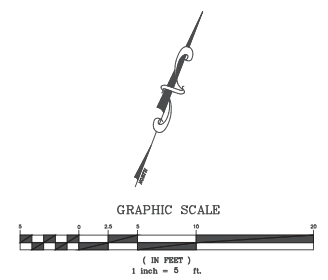
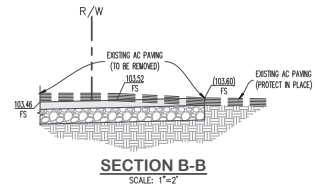
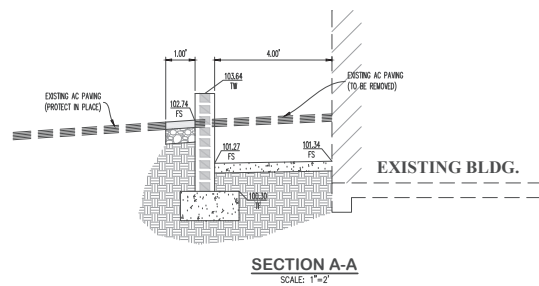
CONCRETE WHEELSTOP DETAIL  
SCALE: NOT TO SCALE



STRIPING DETAIL  
SCALE: NOT TO SCALE

**CONSTRUCTION NOTES**

1. CONSTRUCT 3" AC PAVING OVER 4" AGGREGATE BASE. MATCH EXISTING SECTION.
2. CONSTRUCT CONCRETE PAVING. MATCH EXISTING SECTION.
3. CONSTRUCT MASONRY RETAINING WALL PER SEPARATE PERMIT.
4. CONSTRUCT ACCESSIBLE RAMP WITH HANDRAIL PER ARCHITECTURAL PLAN.
5. PAINT ACCESSIBLE PARKING SYMBOL AND STRIPING PER ARCHITECTURAL PLAN DETAIL 1 AND 2 ON SHEET D1.1.
6. INSTALL ACCESSIBLE PARKING SIGN PER ARCHITECTURAL PLAN DETAIL 4 ON SHEET D1.1.
7. INSTALL TRUNCATED DOMES PER ARCHITECTURAL PLAN DETAIL 3 ON SHEET D1.1.
8. PAINT 4" WIDE WHITE TRAFFIC BEARING STRIPE (BLUE AT ACCESSIBILITY STALLS) (2 COATS MIN.). SEE DETAIL 1 ON SHEET 3.
9. INSTALL CONCRETE WHEEL STOP PER DETAIL 2 ON SHEET 3.



REV. NO.	DATE	DESCRIPTION	APPROVED BY

DATE OF ISSUE: **03-06-2026**  
 DESIGNED BY: **SC**  
 DRAWN BY: **SC**  
 CHECKED BY: **KMS**  
 APPROVED BY: **[Signature]**



ENGINEER'S SEAL: **SCOTT C. KOHN**  
 PREPARED BY: **SAMIN ENGINEERING SERVICES, INC.**  
 2007 TRIPLE HILLS DRIVE, SUITE A, OROVILLE, CA 95966  
 TEL: 916/3922100 FAX: 916/3921410  
 PREPARED UNDER THE DIRECT SUPERVISION OF: **[Signature]**  
 DATE: **04-23-2026**  
 RICE#44180 EXP: 06/25/27

PROPERTY OWNER: **CDM PARTNERS, LLC**

**ZINC CAFE & MARKET**  
 3222 EAST COAST HIGHWAY,  
 CORONA DEL MAR, CA 92625  
**PRECISE GRADING PLAN**

SHEET 3 OF 4  
 DWG NO.  
 JOB NO.  
 170263-001

PROJECT FOR:  
**ZINC CAFE & MARKET  
EXTERIOR RENOVATIONS  
3222 EAST COAST HWY.  
CORONA DEL MAR, CA 92625**

CLIENT  
CDM PARTNERS LLC  
T. 949-632-6363

PROJECT DESIGNER:  
JEANNICE CARRILLO

PROFESSIONAL SIGNATURE  
*JEANNICE CARRILLO  
JEAN-PRESCOTT*

ISSUE AND REVISIONS

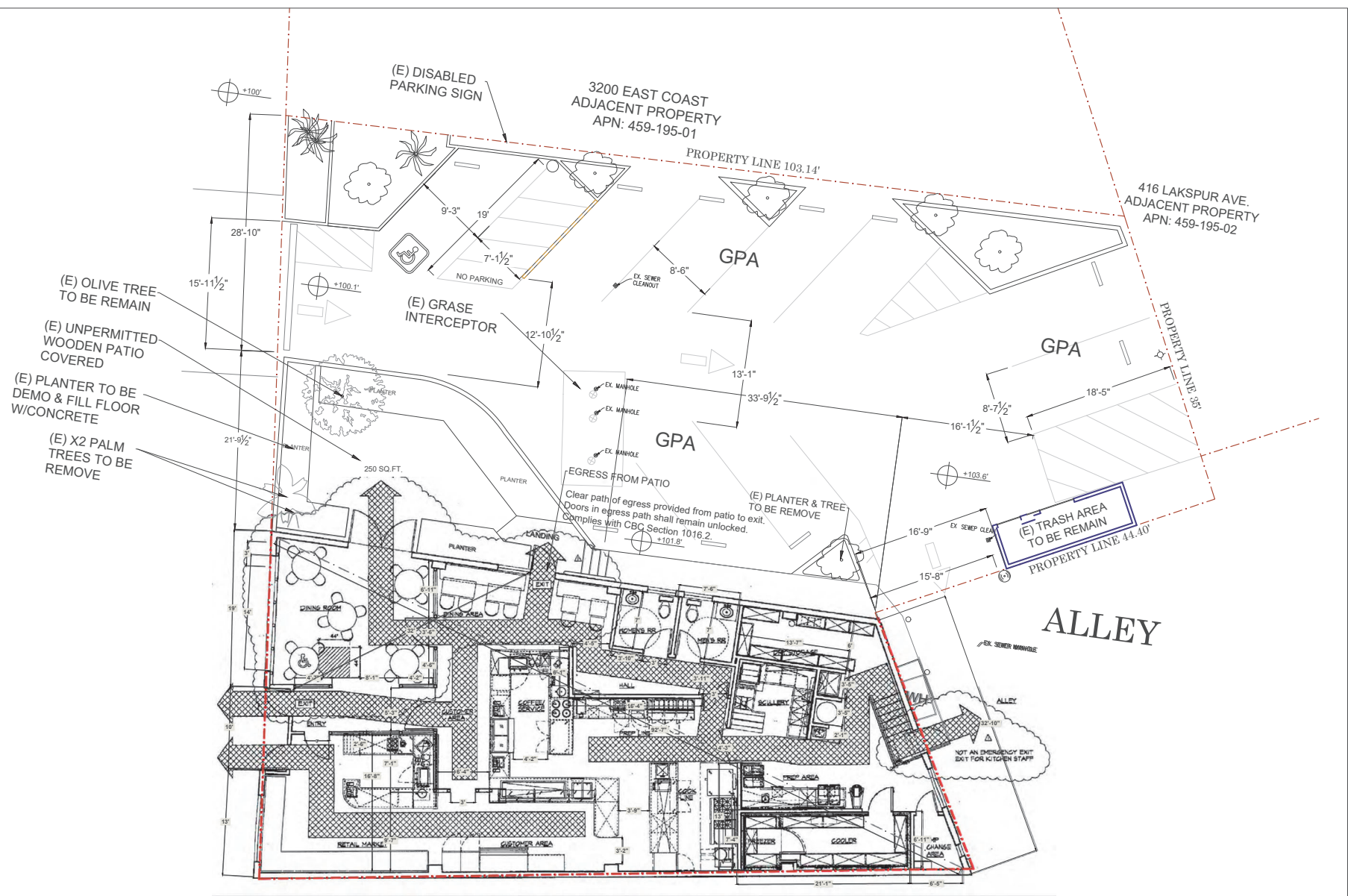
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02-27-26	3RD REVISION
03-12-26	4TH REVISION
05-14-26	5TH REVISION

JURISDICTION APPROVAL

EXISTING  
SITE PLAN

SHEET NUMBER

**A1.0**



NOTE: CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND NOTIFY ENGINEER OR DESIGNER OF ANY DISCREPANCIES.



POSTS:  
4" x 4" x 0.125"  
ALUMINUM  
STRUCTURAL POSTS  
SET IN 3000 PSI  
CONCRETE FOOTINGS  
BELOW FROST LINE

(N) SLIDING  
GATE  
HEIGHT: 5'-0"  
PER APPROVED  
SHOP  
DRAWINGS.  
(N) TOW-AWAY SIGN  
SEE DETAIL 5/D1.1

(N) CONCRETE  
FLOOR ADDITION  
58 ft<sup>2</sup>

(N) PEDESTRIAN  
HALF-HEIGHT  
GATE

(N) 14' x 5'-10 1/2"  
WINDOW  
SILL HEIGHT FROM  
FLOOR: 3'

PARKING COUNT:  
STANDARD SPACES: 10  
VAN ACCESSIBLE SPACE: 1

TOTAL SPACES: 11

**LEGENDS**

- PROPERTY LINE
- GPA - GENERAL PARKING AREA
- SIDEWALK
- EXTERIOR WALLS
- GRASS
- PARKING BY DISABLED PERMIT ONLY
- CURB
- ACCESSIBLE ROUTE (105 LN.FT.)
- NEW STEEL BOLLARDS
- FLOOR AREA OF PATIO (500 SQ.FT.)

BOLLARD INSTALLATION NOTES (CBC 11B-250.1)

- PHYSICAL SEPARATION: Pedestrian circulation paths shall be physically separated from vehicular traffic by permanent bollards per CBC 11B-250.1.
- SPECIFIED MODEL: Reliance Foundry Model R-7101 (Fixed Steel Pipe Bollard) or approved equal.
- DIMENSIONS: 4-1/2" diameter steel pipe (Schedule 40), 36" height above finished grade.
- INSTALLATION: Bollards shall be permanently embedded in a concrete footing (min. 12" deep) or as per manufacturer's structural specifications.
- SPACING: Bollards shall be spaced at 60" (5'-0") maximum on center. Spacing shall be consistent to prevent vehicle entry while allowing free passage for wheelchairs.
- ACCESSIBLE ROUTE: A minimum clear width of 48" shall be maintained for the accessible path of travel behind the line of bollards.
- FINISH: High-visibility safety yellow or powder-coated finish with reflective tape for visual contrast.

(E) ACCESSIBLE PATH OF TRAVEL FROM PUBLIC: 48" min clear width for walkway 5% max slope at the accessible route 2% max slope at the accessible route

(E) DISABLED PARKING SIGN

3200 EAST COAST  
ADJACENT PROPERTY  
APN: 459-195-01

(N) DISABLED SIGN POST  
SEE SHEET D1.1, DETAILS 4 & 5

416 LAKSPUR AVE.  
ADJACENT PROPERTY  
APN: 459-195-02

PROPERTY LINE 103.14'

PROPERTY LINE 35'

THE PROPOSED PARKING LAYOUT UTILIZES 60-DEGREE ANGLED STALLS. STALL AND AISLE DIMENSIONS SHALL COMPLY WITH CITY OF NEWPORT BEACH MUNICIPAL CODE REQUIREMENTS. REFER TO CIVIL PLANS FOR EXACT GEOMETRY AND FINAL STRIPING LAYOUT

Contractor to provide a detectable warning product sample to the Building Inspector for approval of color contrast with finish surface.

Accessible Path of Travel from Accessible Parking to Entrance

(N) HANDRAILS PLACED ON EACH SIDE OF RAMP SEE 7/D1.1

(E) TRASH AREA TO BE REMAIN

**TRASH AND RECYCLING ENCLOSURE TECHNICAL NOTES**

1. SCOPE AND COMPLIANCE:  
- THE TRASH ENCLOSURE IS DESIGNED IN ACCORDANCE WITH HBAC SECTION 20.30.120.0. IT IS INTENDED TO SERVE AN A-2 OCCUPANCY (RESTAURANT) WITH A GROSS FLOOR AREA (GFA) OF 2,627 SQ. FT.
2. AREA CALCULATIONS:  
- MINIMUM REQUIRED AREA: 96 SQ. FT. (PER CODE TABLE FOR GFA < 5,000 SQ. FT.)  
- PROVIDED INTERIOR AREA: 94 SQ. FT. APPROX. (17'-11" x 5'-2" EXTERIOR)  
- THE PROVIDED AREA EXCEEDS THE MINIMUM REQUIREMENT TO ENSURE ADEQUATE SPACE FOR SEPARATE RECYCLING, RECYCLING AND ORGANIC WASTE CONTAINERS.
3. STRUCTURAL CHARACTERISTICS:  
- WALLS CONSTRUCTED OF 4" CMU MASONRY BLOCKS WITH A FINISHED HEIGHT OF 7'-4" AFF.  
- ROOF COVER PERMANENT NON-COMBUSTIBLE METAL ROOF COVER SUPPORTED BY INDEPENDENT STEEL COLUMNS ANCHORED TO THE MASONRY STRUCTURE.  
- VENTILATION: THE ROOF IS ELEVATED 2" ABOVE THE TOP OF THE WALLS, PROVIDING A CONTINUOUS OPEN GAP FOR PERMANENT CROSS-VENTILATION WHILE MAINTAINING FULL OVERHEAD PROTECTION FROM PRECIPITATION.  
- ROOF SLOPE: THE COVER IS INSTALLED WITH A 4% MINIMUM SLOPE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING.  
- GATES: HEAVY-DUTY METAL ACCESS GATES WITH SELF-CLOSING MECHANISMS AND CANE BOLTS TO SECURE GATES IN CLOSED POSITIONS.
4. SANITARY AND DRAINAGE REQUIREMENTS:  
- FOUNDATION: THE ENCLOSURE IS CONSTRUCTED ON A BASED REINFORCED CONCRETE SLAB WITH AN INTEGRATED 2" FRENCH DRAIN BEHIND AT THE ENTRANCE TO CONTAIN WASH-DOWN WATER.  
- DRAINAGE: THE INTERIOR FLOOR IS SLOPED TOWARD A CENTRAL FLOOR DRAIN (FSD). SEWER CONNECTION: ALL DISCHARGE FROM THE FLOOR DRAIN IS HARD-PLUMBED TO THE SANITARY SEWER SYSTEM VIA A CITY-APPROVED SAND AND GRADE INTERCEPTOR. DISCHARGE TO THE PUBLIC STORM DRAIN SYSTEM IS STRICTLY PROHIBITED.
5. ACCESSIBILITY AND MANEUVERING:  
- THE ENCLOSURE IS LOCATED ON AN ACCESSIBLE ROUTE.  
- A MINIMUM CLEARANCE IS MAINTAINED IN FRONT OF THE ENCLOSURE TO ALLOW FOR WASTE COLLECTION VEHICLE MANEUVERING WITHOUT OBSTRUCTING REQUIRED PARKING STALLS OR ACCESSIBLE PATHS OF TRAVEL.

(N) RAMP  
SLOPE: 7.9%

Provide 4" minimum vertical curb separation between accessible circulation path and vehicular traffic per CBC 11B-250.

Provide both directions and accept a 4" tall level curb with a minimum 1:2 slope.

INSTALL TRUNCATED CONES DETAIL 3 ON SHEET D1-1

EX. SEWER MANHOLE

STORAGE 19'6" x 6'4" / 108 ft<sup>2</sup>

BATH 7'1" x 7'1" / 72 x 71 ft<sup>2</sup>

STORAGE 19'6" x 6'4" / 108 ft<sup>2</sup>

WH

PROPERTY LINE 89.67'

3224 EAST COAST  
ADJACENT PROPERTY  
APN: 459-195-16

PARKING MANEUVERABILITY NOTE:

- PARKING STALL CONFIGURATION:  
A TURNING RADIUS OF 15'-7" HAS BEEN MAINTAINED AT THE MOST RESTRICTED POINT TO ENSURE ADEQUATE MANEUVERING FOR PASSENGER VEHICLES. THIS RADIUS EXCEEDS THE MINIMUM TURNING REQUIREMENTS FOR COMPACT AND STANDARD SEDANS, ALLOWING FOR EFFICIENT EGRESS IN A SINGLE MOTION WITHOUT ENCRoACHING INTO ADJACENT STALLS OR OBSTRUCTING THE PUBLIC RIGHT-OF-WAY.

- MANEUVERABILITY JUSTIFICATION:  
A TURNING RADIUS OF 15'-7" HAS BEEN MAINTAINED AT THE MOST RESTRICTED POINT TO ENSURE ADEQUATE MANEUVERING FOR PASSENGER VEHICLES. THIS RADIUS EXCEEDS THE MINIMUM TURNING REQUIREMENTS FOR COMPACT AND STANDARD SEDANS, ALLOWING FOR EFFICIENT EGRESS IN A SINGLE MOTION WITHOUT ENCRoACHING INTO ADJACENT STALLS OR OBSTRUCTING THE PUBLIC RIGHT-OF-WAY.

- COMPACT STALL COMPLIANCE:  
THE USE OF 8'-6" WIDE COMPACT STALLS IS LIMITED TO THE PERCENTAGE PERMITTED BY THE LOCAL ZONING CODE FOR COMMERCIAL/Private USE.

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

PROPERTY LINE 35'

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110 NEWPORT CENTER DR.  
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PROJECT FOR:  
**ZINC CAFE & MARKET  
EXTERIOR RENOVATIONS  
3222 EAST COAST HWY.  
CORONA DEL MAR, CA 92625**

CLIENT  
CDM PARTNERS LLC  
T. 949-632-6363

PROJECT DESIGNER:  
JEANNICE CARRILLO

PROFESSIONAL SIGNATURE  
JEANNICE CARRILLO  
JEAN-PRÉCOTT

ISSUE AND REVISIONS  
11-20-25

DATE	OBJECT
12-12-25	1ST EDITION
12-20-25	2ND FULL VERSION
02-27-26	3RD REVISION
03-12-26	4TH REVISION
05-14-26	5TH REVISION

JURISDICTION APPROVAL

PROPOSED SITE PLAN

SHEET NUMBER

**A1.1**

ALLEY



SCALE: 3/16" = 1'-0"

PROPOSED SITE PLAN

SCALE: 3/16" = 1'



**NOTES**

1. ALL OTHER DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT.
2. ALL EXIT DOORS SHALL REQUIRE ONLY ONE OPERATED TO OPEN. EQUIPPED ONLY WITH NO KNOWLEDGE, SINGLE ACTION HARDWARE, LOCKS THAT REQUIRE KEYS OR ADDITIONAL ACTIONS TO OPERATE (SUCH AS MANUAL BOLTS) ARE NOT PERMITTED. SEE 10B 1.1.4, 10B 1.1.5.
3. FOR DOOR MANEUVERING CLEARANCE, SEE SHEET D1.0

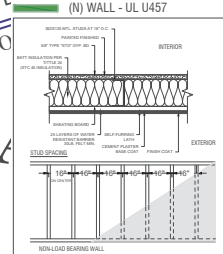
**PLUMBING FIXTURE JUSTIFICATION COMPLIANCE NOTE**  
 OCCUPANCY GROUP B (BUSINESS) TOTAL OCCUPANT LOAD: 59 (30 M / 29 F)

1. EXISTING CONDITION: THE SUBJECT TENANT SPACE WAS ORIGINALLY PERMITTED AND APPROVED UNDER PRE-2013 CALIFORNIA PLUMBING CODE (CPC) CYCLES WITH TWO (2) EXISTING ACCESSIBLE RESTROOMS.
2. FIXTURE ANALYSIS & CODE COMPLIANCE: WATER CLOSETS: PER 2022 CPC TABLE 422.1, A TOTAL OF 3 W.C. WOULD BE REQUIRED FOR A NEW CONSTRUCTION OF THIS LOAD. HOWEVER, PER CBC SECTION 102.6 (EXISTING STRUCTURES), THE EXISTING LEGAL PLUMBING CONFIGURATION SHALL BE PERMITTED TO CONTINUE IN USE AS NO CHANGE IN OCCUPANCY CLASSIFICATION OR INCREASE IN FLOOR AREA IS PROPOSED UNDER THIS SCOPE OF WORK. URINALS: PER 2022 CPC TABLE 422.1, URINALS ARE NOT A MANDATORY REQUIREMENT FOR GROUP B OCCUPANCIES BUT A PERMISSIBLE SUBSTITUTE FOR A PORTION OF THE REQUIRED WATER CLOSETS. NO URINAL IS PROPOSED DUE TO PHYSICAL, SITE CONSTRAINTS AND EXISTING NON-CONFORMING LEGAL STATUS. LAVATORIES: TWO (2) EXISTING LAVATORIES PROVIDED (1 PER RESTROOM).
3. CONCLUSION: NO ALTERATIONS, PLUMBING FIXTURE REPLACEMENTS, OR WALL MOVEMENTS ARE PROPOSED FOR THE EXISTING RESTROOMS. ALL EXISTING FIXTURES ARE TO REMAIN IN THEIR CURRENT CONFIGURATION AS PREVIOUSLY PERMITTED.

Contractor to provide a detectable warning product sample to the Building Inspector for approval of color contrast with finish surface.

**EXIT SIGNAGE SPECIFICATIONS (CBC 1013):**

- ILLUMINATION: ALL EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AND CONNECTED TO AN EMERGENCY POWER SOURCE (BATTERY BACKUP) PROVIDING A MINIMUM OF 90 MINUTES OF OPERATION PER CBC 1013.3.
- GRAPHICS: EXIT SIGNS SHALL HAVE RED LETTERS ON A CONTRASTING BACKGROUND. LETTERS SHALL BE NOT LESS THAN 6 INCHES HIGH WITH A 0.75-INCH STROKE WIDTH PER CBC 1013.6.1.
- DIRECTIONAL INDICATORS: DIRECTIONAL CHEVRONS SHALL BE PROVIDED ON SIGNS WHERE THE EXIT IS NOT IMMEDIATELY VISIBLE TO INDICATE THE DIRECTION OF EGRESS TRAVEL PER CBC 1013.2.
- TACTILE EXIT SIGNS: TACTILE EXIT SIGNS (BRAILLE) COMPLYING WITH CBC 11B-703 SHALL BE PROVIDED AT EACH EXIT DOORWAY TO THE EXTERIOR PER CBC 1013.4.



- THE EXISTING WALLS ARE METAL STUD WALLS, WITH STANDARD GYPSUM BOARD.

**FIRE NOTES:**

ALL MATERIALS THAT MAKE UP ELEMENTS THAT MUST BE FIRE RESISTANT ARE INDICATED ACCORDING TO ICC SECTION 721, TABLES 721.1(1), 721.1(2), 721.1(3).

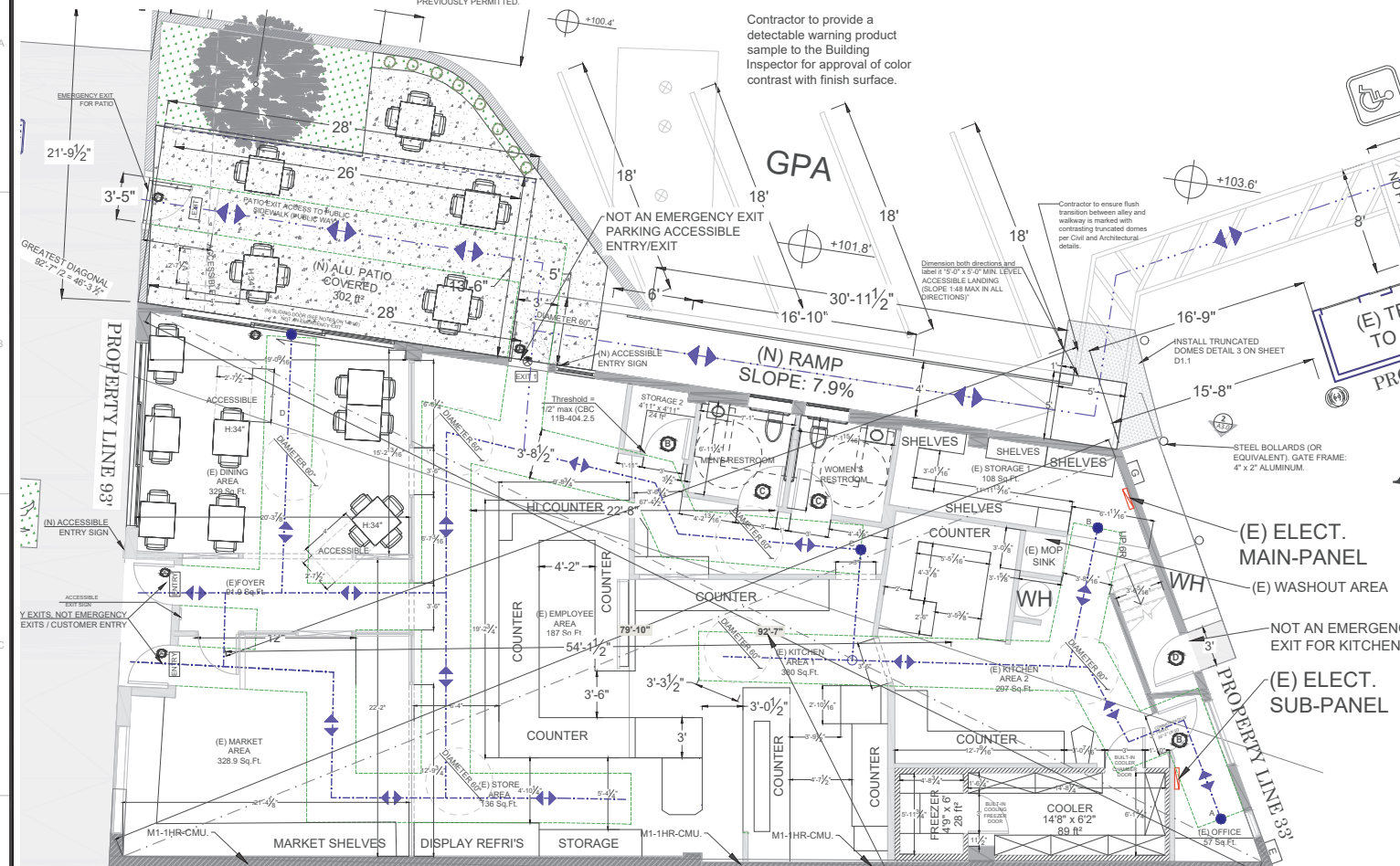
- The exit corridor may only be used as a means of egress, with a 1-hour fire resistance rating. Existing walls, floors, and ceilings were constructed as fire barriers in accordance with Section 707.

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- (E) (N) ONE HOUR FIRE RATED WALL



**TRAVEL DISTANCE CALCULATION**

- POINT A - EGRESS PATH OF TRAVEL TO EXIT 1: 113'-11" (<200', OK)
- POINT B - EGRESS PATH OF TRAVEL TO EXIT 1: 104'-05" (<200', OK)
- POINT C - EGRESS PATH OF TRAVEL TO EXIT 1: 97'-02" (<200', OK)
- POINT D - EGRESS PATH OF TRAVEL TO EXIT 1: 27'-02" (<200', OK)



**OCCUPANCY LOAD**  
 BASED ON TABLE 1004.5

1. DINING AREA 1 OCC. / 15 S.F. = 329 / 15 = 22	7. STORAGE AREAS 1 OCC. / 300 S.F. = 132 / 300 = 1
2. MARKET AREA 1 OCC. / 60 S.F. = 329 / 60 = 5.5	8. OFFICE 1 OCC. / 150 S.F. = 57 / 150 = 1
3. EMPLOYEE AREA 1 OCC. / 150 S.F. = 187 / 150 = 1.25	<b>TOTAL INTERIOR ..... 38 OCCUP</b>
4. STORE AREA 1 OCC. / 300 S.F. = 136 / 300 = 1	10. PATIO COVERED (OUTDOOR) 1 OCC. / 15 S.F. = 302 / 15 = 21
5. KITCHEN AREAS 1 OCC. / 200 S.F. = 677 / 200 = 3.4	<b>TOTAL ..... 59 OCCUP</b>
6. WALK-IN FREEZER 1 OCC. / 300 S.F. = 117 / 300 = 1	

**A. BUILDING AREA SUMMARY (CBC CHAPTER 5)**  
 CONSTRUCTION TYPE: V-B (NON-RATED, UNPROTECTED) OCCUPANCY CLASSIFICATION: GROUP B (BUSINESS)  
 ALLOWABLE AREA PER CBC TABLE 506.2: 9,000 SF (BASE ALLOWABLE)  
 ACTUAL AREA OF TENANT SPACE: 2,895 SF  
 BUILDING STATUS: EXISTING  
 CONCLUSION: THE ACTUAL TENANT AREA IS WITHIN THE ALLOWABLE AREA LIMITS SPECIFIED BY CBC TABLE 506.2 FOR GROUP B OCCUPANCY AND TYPE V-B CONSTRUCTION. THE TOTAL AGGREGATE AREA OF THE BUILDING DOES NOT EXCEED THE MAXIMUM PERMISSIBLE AREA FOR THIS CONSTRUCTION TYPE.

- 1. Exit Requirements (Interior)**  
 The building interior has a calculated occupant load of 38 persons. Per CBC Table 1006.2.1, we have two exits.
- 2. Outdoor Area Independence (CBC 1004.7)**  
 The Outdoor Covered Patio (302 SF) is provided with an independent means of egress directly to the public way. Per CBC 1004.7, this occupant load (21) is not added to the building's occupant load for the purpose of determining the number of required exits from the building interior.
- 3. Plumbing Fixture Compliance (CPC 422.1)**  
 Plumbing fixtures are provided based on the aggregate occupant load of 59 persons (Interior + Exterior) per the California Plumbing Code. Total fixtures provided: (2) All-Gender ADA Water Closets, (2) Lavatories, and (1) Urinal. See plumbing justification note on this sheet

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**EXTERIOR RENOVATIONS**  
**3222 EAST COAST HWY.**  
**CORONA DEL MAR, CA 92625**

**CLIENT**  
 CDM PARTNERS LLC  
 T. 949-632-6363

**PROJECT DESIGNER:**  
 JEANNETTE CARRILLO

**PROFESSIONAL SIGNATURE**  
 JEANNETTE CARRILLO  
 JEAN-PRÉCOTT

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**JURISDICTION APPROVAL**

**PROPOSED CODE ANALYSIS**

SHEET NUMBER  
**A1.2**

PROPOSED CODE ANALYSIS SCALE: 1/4"=1'-0" - A1.3

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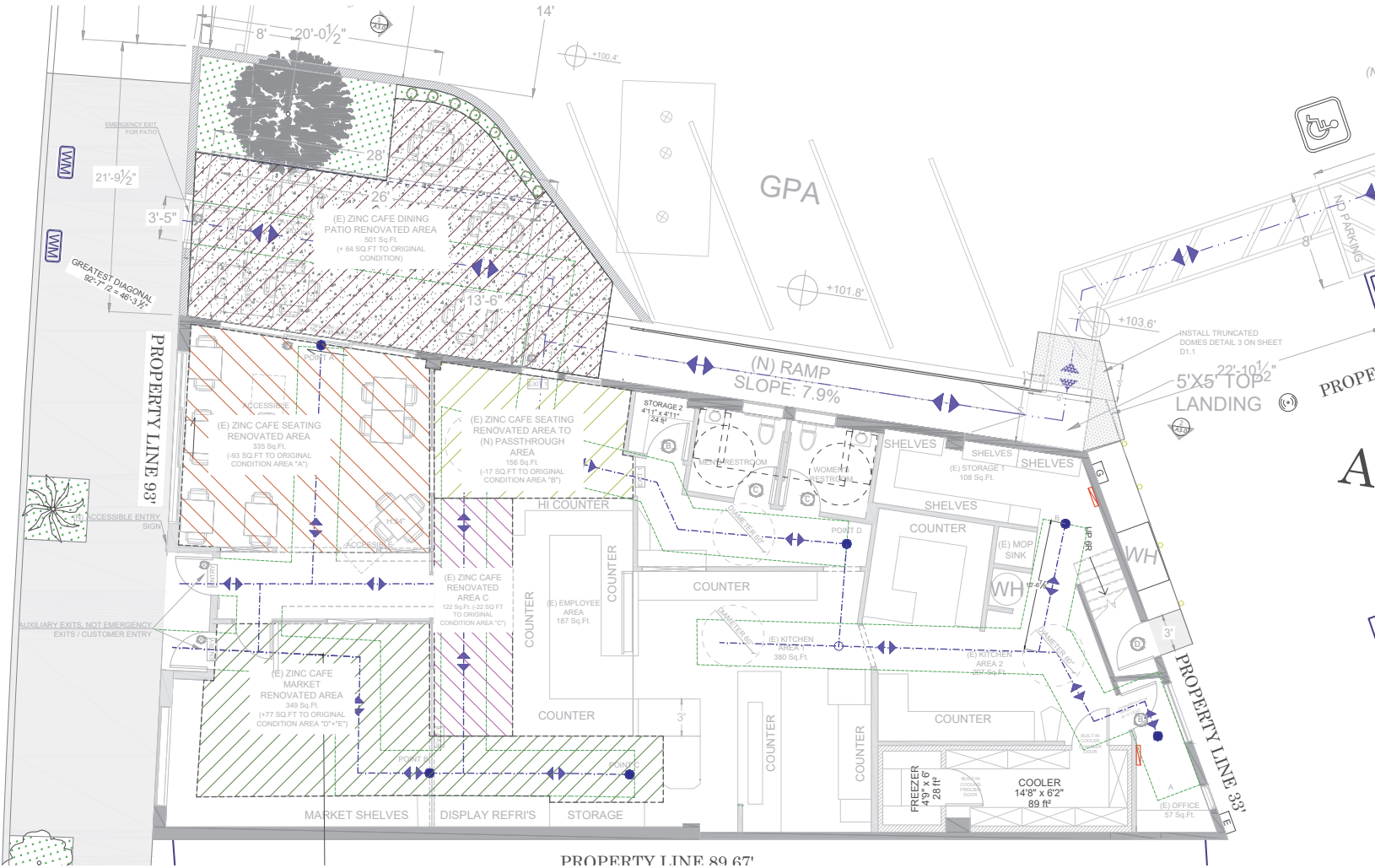
JURISDICTION APPROVAL

**PROPOSED  
NET AREAS  
ANALYSIS**

SHEET NUMBER

**A1.3**

F O R N A C H T U R E



**NET PUBLIC AREA COMPLIANCE NOTE:**

ALL PUBLIC OCCUPANCY AREAS INDICATED ON THESE PLANS REPRESENT THE ACTUAL "NET AREA" OF THE ESTABLISHMENT. CALCULATIONS ARE BASED STRICTLY ON CLEAR, UNOBSTRUCTED FLOOR SPACE ACCESSIBLE TO THE PUBLIC FOR DINING AND CIRCULATION. IN ACCORDANCE WITH LOCAL ZONING STANDARDS AND PROJECT-SPECIFIC REQUIREMENTS, ALL NON-USABLE AREAS—INCLUDING BUT NOT LIMITED TO FIXED PLANTERS, STRUCTURAL COLUMNS, SERVICE COUNTERS, AND RESTRICTED BACK-OF-HOUSE ZONES—HAVE BEEN EXCLUDED FROM THE NET AREA TOTALS TO ENSURE FULL COMPLIANCE WITH THE LIMITATIONS SET FORTH IN CONDITION OF APPROVAL #8.

**ORIGINAL CONDITIONS APPROVED:**

AREA A (C\*) = 428 sq  
 AREA B (C\*) = 173 sq  
 AREA C (C\*) = 144 sq  
 AREA D (C\*) = 63 sq  
 AREA E (C\*) = 207 sq  
 } counted off!

outdoor patio = 454 sq based up architect's drawing & scope  
 Total = 1454 sq 1453 sq with buffer

**SUMMARY:**

	(E)	(P)	DIFF.
MARKET AREA (D & E)*	272 Sq.Ft.	349 Sq.Ft.	+77 Sq.Ft.
ZINC CAFE AREA C	144 Sq.Ft.	122 Sq.Ft.	-22 Sq.Ft.
ZINC CAFE AREA B**	173 Sq.Ft.	156 Sq.Ft.	-17 Sq.Ft.
ZINC CAFE AREA A	428 Sq.Ft.	335 Sq.Ft.	-93 Sq.Ft.
ZINC CAFE PATIO AREA**	437 Sq.Ft.	501 Sq.Ft.	+64 Sq.Ft.

(P) PUBLIC TOTAL AREA 1,454 Sq.Ft. 1,463 Sq.Ft. +9 Sq.Ft.

\*-1 REMOVAL OF ESPRESSO BAR: THE PREVIOUSLY EXISTING ESPRESSO BAR HAS BEEN PERMANENTLY REMOVED FROM THE MARKET SCOPE. THIS SPACE HAS BEEN CONVERTED INTO OPEN PUBLIC AREA, INTEGRATED INTO THE MAIN MARKET CIRCULATION. THE TOTAL ACCESSIBLE NET PUBLIC AREA HAS BEEN CALCULATED ACCORDINGLY TO REFLECT THIS CHANGE IN USE, ENSURING THE UNOBSTRUCTED FLOOR AREA REMAINS WITHIN THE LIMITS PREVIOUSLY APPROVED UNDER THE PROJECT'S CONDITIONS OF APPROVAL.  
 \*-2 REMOVAL OF SEATING AREA & CIRCULATION UPDATE: THE PREVIOUSLY DESIGNATED SEATING AREA HAS BEEN PERMANENTLY REMOVED FROM THE FLOOR PLAN. THIS SPACE HAS BEEN RECONFIGURED AS A MULTIPURPOSE CIRCULATION ZONE FOR EMPLOYEE AND CUSTOMER ORDER PICK-UP. BY ELIMINATING THIS SEATING ZONE, THE PROJECT INCREASES THE CLEAR FLOOR SPACE, ENHANCING AN UNOBSTRUCTED PATH OF TRAVEL AND IMPROVING ESPRESSO EFFICIENCY. THIS RECONFIGURATION REMAINS IN FULL COMPLIANCE WITH THE MAXIMUM PUBLIC OCCUPANCY LIMITS MANDATED BY THE CITY.  
 \*-3 OUTDOOR PATIO AREA CALCULATION REFERENCE: THE PROPOSED OUTDOOR PATIO BOUNDARIES AND DIMENSIONS HAVE BEEN ESTABLISHED USING THE ORIGINAL APPROVED SITE PLANS AS A PRIMARY REFERENCE. THE FINAL AREA CALCULATIONS PRESENTED IN THIS SUBMITTAL ARE BASED ON DETAILED MEASUREMENTS TAKEN BOTH FROM THE RECORD DRAWINGS AND THROUGH ON-SITE VERIFICATION. THIS DUAL-METHOD APPROACH ENSURES THAT THE PROPOSED 454 SQ. FT. LAYOUT ACCURATELY REFLECTS THE PHYSICAL SITE CONDITIONS WHILE REMAINING CONSISTENT WITH THE HISTORICAL LAND USE PERMITS.

**ZINC CAFE & MARKET  
EXTERIOR RENOVATIONS  
3222 EAST COAST HWY.  
CORONA DEL MAR, CA 92625**

PROJECT FOR:

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CDM PARTNERS LLC  
T. 949-632-6363

PROJECT DESIGNER:  
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PROFESSIONAL SIGNATURE  
*JEANNICE CARRILLO*  
JEAN-PRESCOTT

ISSUE AND REVISIONS  
11-20-25

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JURISDICTION APPROVAL

PROPOSED  
CODE COMPLIANCE  
PLAN

SHEET NUMBER

**A1.4**

DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT ALL REQUIRED LOCATIONS IN COMPLIANCE WITH CBC SECTION 11B-705.

DETECTABLE WARNING PRODUCT SHALL BE ARMOR-TILE (ENGINEERED PLASTICS INC.) OR APPROVED EQUAL.

PRODUCT SHALL BE DSA-AC APPROVED AND COMPLY WITH CCR TITLE 24.

COLOR SHALL BE FEDERAL YELLOW.

INSTALLATION SHALL COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

SUBMITTALS SHALL INCLUDE DSA-AC APPROVAL, TECHNICAL DATA, INSTALLATION INSTRUCTIONS, AND MANUFACTURER'S WARRANTY (MINIMUM 5 YEARS).

**PLUMBING FIXTURE ANALYSIS**

Occupancy: Assembly A-2 (Restaurant)

Total Occupant Load: 59 occupants

Occupant Distribution:

Male: 30  
Female: 29

Required Plumbing Fixtures (per CPC Table 422.1):

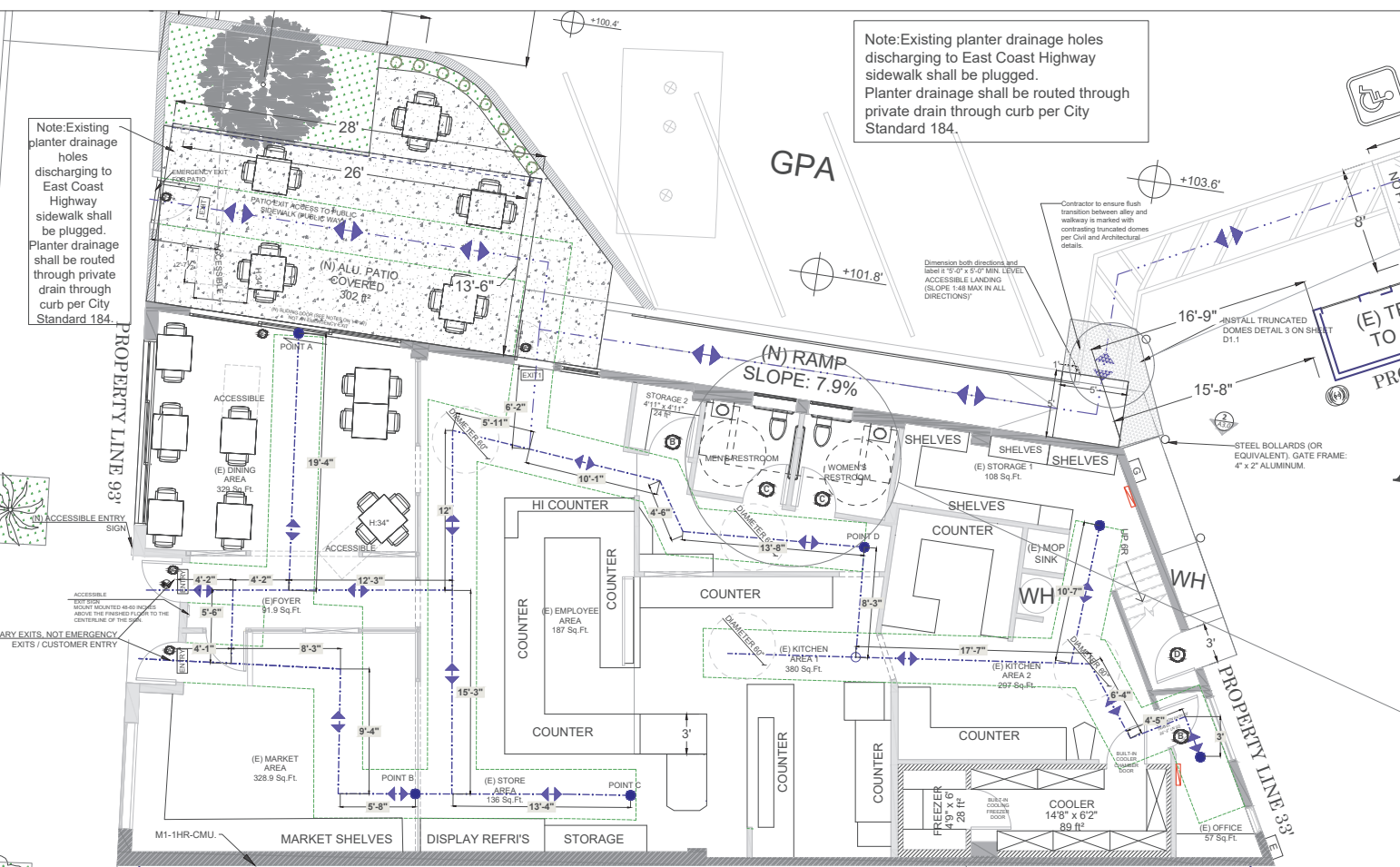
Water Closets:  
Male: 1  
Female: 1  
Lavatories:  
Male: 1  
Female: 1

Provided Plumbing Fixtures:  
Two (2) single-user, all-gender restrooms provided.  
Each restroom includes 1 water closet and 1 lavatory.

Total Provided:  
Water Closets: 2  
Lavatories: 2

Note:  
Single-user, all-gender restrooms are permitted to be counted toward the required fixtures for both male and female occupants.

Conclusion:  
Provided plumbing fixtures comply with CPC Table 422.1.



Note: Existing planter drainage holes discharging to East Coast Highway sidewalk shall be plugged. Planter drainage shall be routed through private drain through curb per City Standard 184.

Note: Existing planter drainage holes discharging to East Coast Highway sidewalk shall be plugged. Planter drainage shall be routed through private drain through curb per City Standard 184.

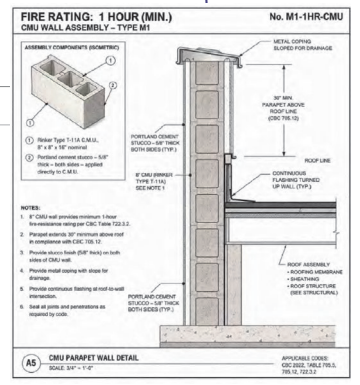
PROPERTY LINE 89.67'  
EGRESS TRAVEL DISTANCE TABLE (FINAL)

Per California Building Code (CBC)

POINT TO EXIT 1 (FT-IN)

POINT A	55' - 8"
POINT B	69' - 3"
POINT C	52' - 8"
POINT D	34' - 5"
POINT E	74' - 0"

**HATCH**



Note: Exit access doors shall have panic hardware in assembly occupancy with occupant load >50. (CBC 1010.2.9)

NOTE:  
 PROVIDE CLEAR FLOOR SPACE AT DOORS PER CBC 11B-404.2.4.1:  
 60" MINIMUM IN DIRECTION OF DOOR SWING  
 48" MINIMUM ON OPPOSITE SIDE  
 PROVIDE 12" MINIMUM CLEAR SPACE BEYOND STRIKE SIDE OF DOOR WHEN EQUIPPED WITH LATCH AND CLOSER.

NOTE:  
 ALL DOORS SHALL COMPLY WITH CBC 2025 SECTION 11B-404.  
 DOORS SHALL PROVIDE A MINIMUM CLEAR OPENING WIDTH OF 32 INCHES.  
 MAXIMUM OPENING FORCE SHALL NOT EXCEED 5 POUNDS FOR INTERIOR AND EXTERIOR DOORS, EXCEPT FIRE DOORS (15 POUNDS MAX).  
 ALL DOOR HARDWARE SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.  
 OPERABLE PARTS SHALL BE LOCATED BETWEEN 34" AND 44" ABOVE FINISHED FLOOR.  
 THRESHOLDS SHALL BE 1/2" MAXIMUM IN HEIGHT AND SHALL COMPLY WITH CBC SECTIONS 11B-302 AND 11B-303.  
 PROVIDE DOOR MANEUVERING CLEARANCES PER CBC 11B-404.2.4 AND FIGURES.  
 DOORS SHALL NOT REDUCE REQUIRED EGRESS WIDTH PER CBC 1005.7.1.  
 KICK PLATE (SMOOTH SURFACE) SHALL BE PROVIDED ON PUSH SIDE OF DOORS, 10" MINIMUM ABOVE FINISHED FLOOR.  
 ALL DOORS IN A PATH OF EGRESS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

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 CORONA DEL MAR, CA 92625

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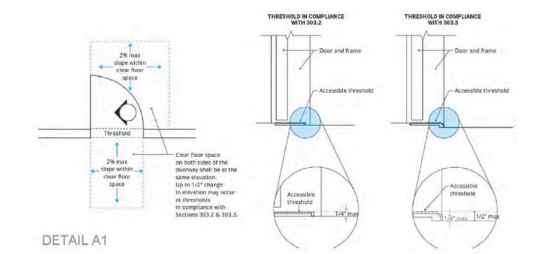
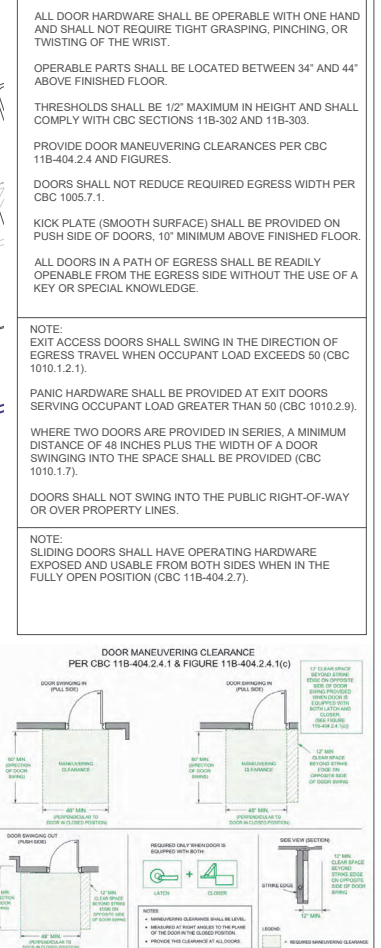
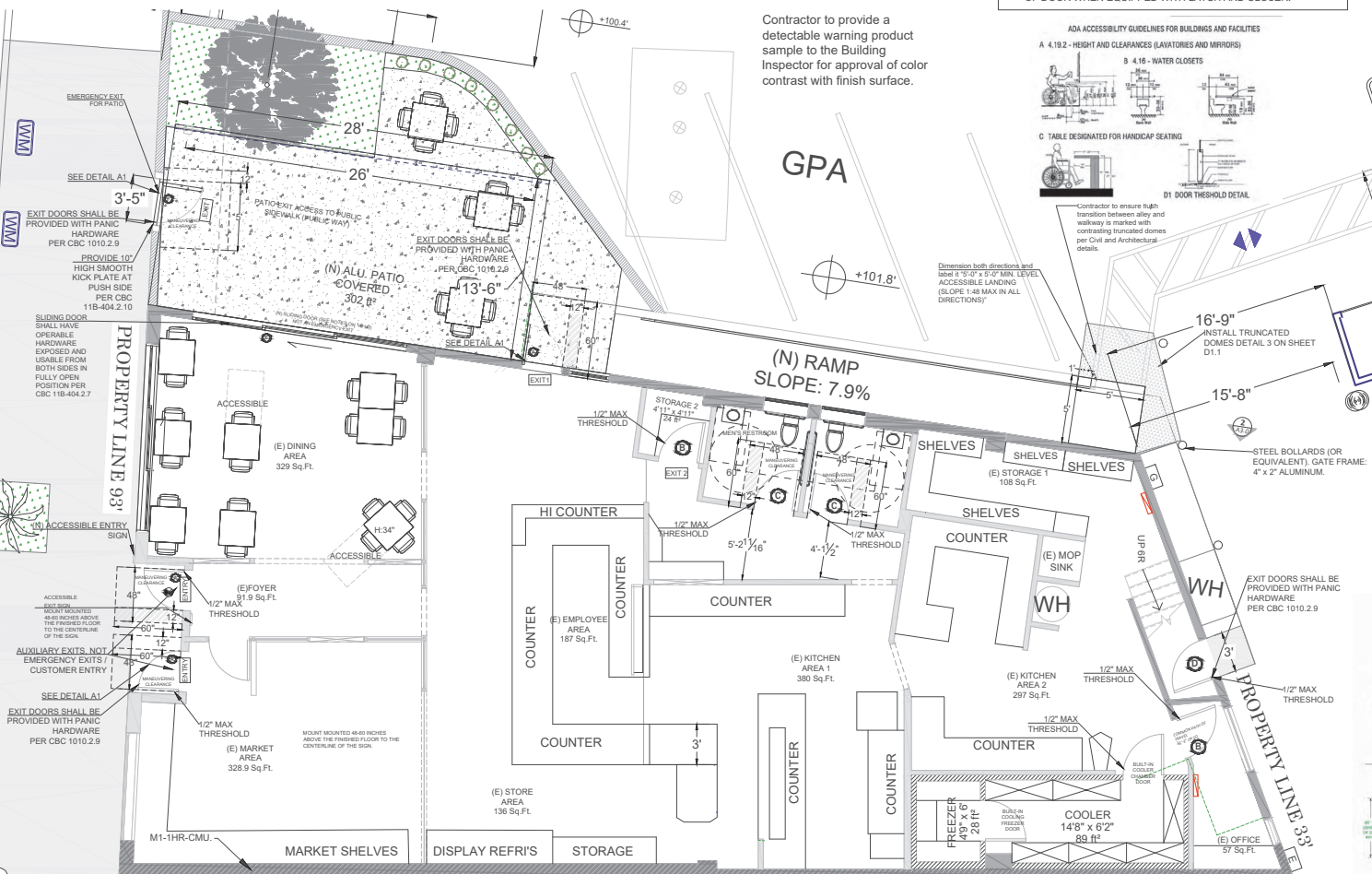
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JURISDICTION APPROVAL

PROPOSED DOOR PLAN, NOTES & DETAILS

SHEET NUMBER

**A1.5**



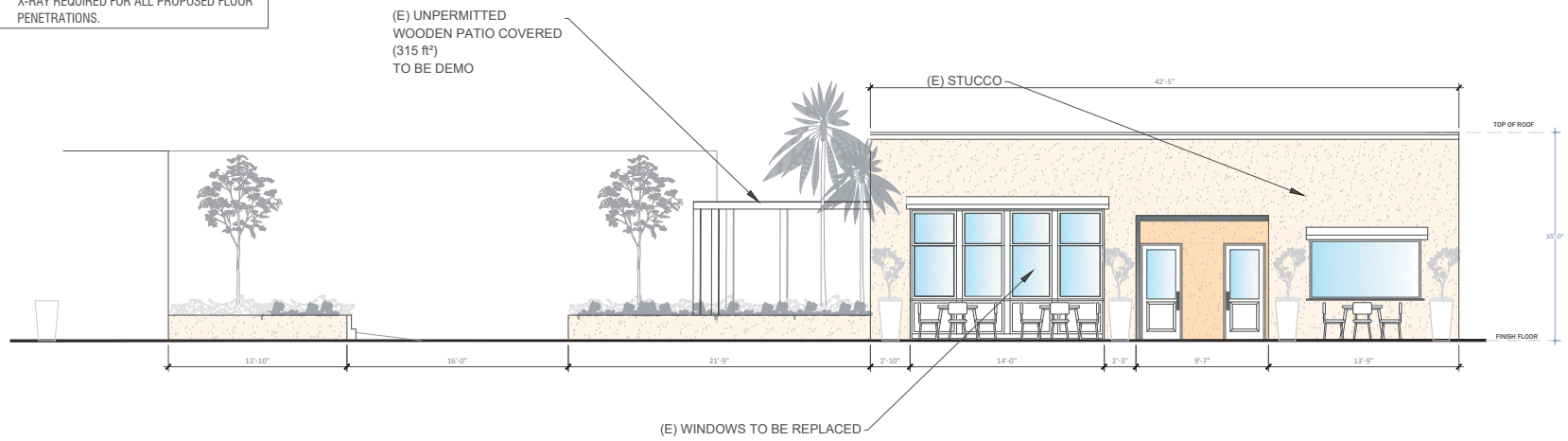
NO.	SIZE	MATL	FRL	TYPE	THK	HOWR. SET	MISCELLANEOUS	REMARKS
EXISTING	3'-0" X 7'-0"	HOLLOW METAL	F.F.	FLUSH	1 3/4"	FIRE-RATED EXIT HARDWARE		
NEW	3'-0" X 7'-0"	WOOD	F.F.	FLUSH	1 3/4"	LEVER		
EXISTING TBR	3'-0" X 7'-0"	WOOD	F.F.	FLUSH	1 3/4"	LEVER		
EXISTING TBR	3'-0" X 7'-0"	HOLLOW METAL	F.F.	FLUSH	1 3/4"	FIRE-RATED EXIT HARDWARE		
NEW	16'-0" X 7'-0"	SLIDING DOOR	F.F.	FLUSH	1 3/4"			DOOR POSITION SWITCH, RIM EXIT DEVICE (PANIC BAR), EXTENSION LEVER FROM HEAVY DUTY SURFACE MOUNTED CLOSER. EXISTING DOOR - TO BE REMAIN, NO CHANGES
NEW	3'-0" X 7'-0"	WOOD	F.F.	FLUSH	1 3/4"	LEVER		DOOR COMPLETES WITH ADA SIGNAGE TO ACCESSIBLE DESIGN. PROVIDES REQUIRED CLEAR WIDTH MANEUVERING CLEARANCES, AND 1/2" MAX THRESHOLD OPERABLE WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING.
NEW	3'-0" X 3'-0"	ALUMINUM DOOR	F.F.	FLUSH	1 3/4"	SINGLE ACTION LATCH, NO MANUAL BOLTS (CBC 1004.2.4)		Outdoor Area Independence (CBC 1004.7.7) on A1.3, AND PATIO EXIT DOOR DISCHARGES DIRECTLY TO PUBLIC SIDEWALK (PUBLIC WAY); EGRESS DOES NOT PASS THROUGH INTERVENING ROOMS (CBC 1004.7.6 & 1016.2)

**NOTES**

- REVISIONS: PROVIDE PANIC HARDWARE ON ALL EXIT DOORS SERVING AN OCCUPANT LOAD OF 50 OR MORE AS WELL AS A DISCHARGE PER CBC 1010.2.9
- ALL GATES AND ALL DOORS SHALL BE CLOSABLE FROM THE EXTERIOR SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR FORCE PER CBC 1010.1.1
- DOOR OPERABLE WITH ONE HAND: DOOR HARDWARE SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. COMPLIANT WITH CBC 11B-404.2.7. LEVERS SHALL FEATURE A RETURN SPRING OR DESIGN TO PREVENT ENGAGEMENT PER CALIFORNIA FIRE CODE REQUIREMENTS.
- DOOR SWINGING AND OCCUPANT COMPLIANCE: PER CBC SECTION 1010.1.2.1 (THE DOORS) SERVING THIS COMMERCIAL SPACE ARE PERMITTED TO SWING INWARD, COMPARED TO THE OPERATION OF DOORS AS THE TOTAL CALCULATED OCCUPANT LOAD FOR THE SERVICE AREA IS LESS THAN 50 PERSONS. THIS CONFIGURATION ENSURES NO ENCROACHMENT INTO THE PUBLIC RIGHT-OF-WAY OR ADJACENT PUBLIC SIDEWALK, COMPLIANT WITH CBC CHAPTER 52
- ACCESSIBLE HARDWARE: ALL DOORS SERVING THIS COMMERCIAL SPACE SHALL BE OPERABLE WITH A SINGLE EFFORT OF 5 LBS. MAXIMUM FORCE, WITHOUT THE NEED FOR TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. COMPLIANT WITH CBC 11B-404.2.7. LEVERS SHALL FEATURE A RETURN SPRING OR DESIGN TO PREVENT ENGAGEMENT PER CALIFORNIA FIRE CODE REQUIREMENTS.
- MANEUVERING CLEARANCES: REQUIRED MANEUVERING CLEARANCES SHALL BE MAINTAINED ON BOTH SIDES OF THE DOOR PER CBC TABLE 11B-404.2.4.1. THE INTERIOR THRESHOLD AND FLOOR LEVEL: DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT AND MUST BE BEVELLED WITH A SLOPE NOT STEEPER THAN 1:2 FLOOR OR GROUND SURFACE ON BOTH SIDES OF THE DOOR SHALL BE LEVEL, MAX. ON SLOPE IN ANY DIRECTION PER CBC 11B-404.2.4

DETAIL A1

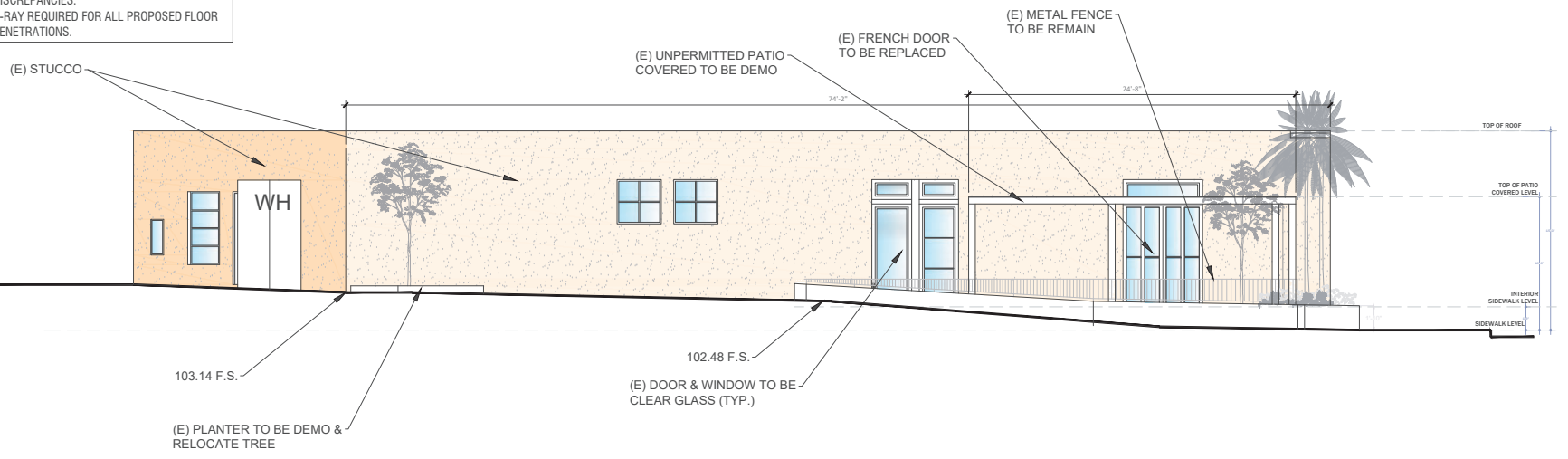
NOTE: CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND NOTIFY ENGINEER OR DESIGNER OF ANY DISCREPANCIES.  
X-RAY REQUIRED FOR ALL PROPOSED FLOOR PENETRATIONS.



EXISTING WEST ELEVATION

1  
SCALE: 1/4"=1'-0" - A2.0

NOTE: CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND NOTIFY ENGINEER OR DESIGNER OF ANY DISCREPANCIES.  
X-RAY REQUIRED FOR ALL PROPOSED FLOOR PENETRATIONS.



EXISTING NORTH ELEVATION

2  
SCALE: 1/4"=1'-0" - A2.0

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**CDM PARTNERS LLC  
T. 949-632-6363**

PROJECT DESIGNER:  
**JEANNICE CARRILLO**

PROFESSIONAL SIGNATURE  
*JEANNICE CARRILLO  
JEAN-PRESCOTT*

ISSUE AND REVISIONS  
11-20-25

DATE	OBJECT
12-12-25	1ST EDITION
12-20-25	2ND FULL VERSION
02-27-26	3RD REVISION
03-12-26	4TH REVISION
05-14-26	5TH REVISION

JURISDICTION APPROVAL

EXISTING ELEVATIONS

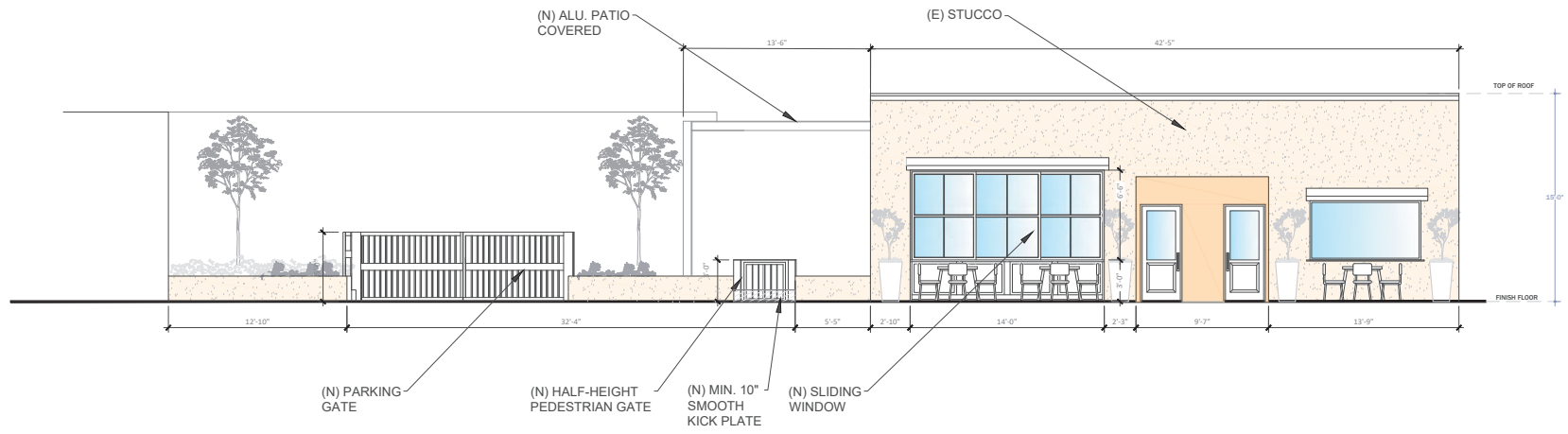
SHEET NUMBER  
**A2.0**

NOTE: CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND NOTIFY ENGINEER OR DESIGNER OF ANY DISCREPANCIES.  
X-RAY REQUIRED FOR ALL PROPOSED FLOOR PENETRATIONS.

OCCUPANT LOAD: 59 OCCUPANTS  
CALCULATED PER CBC TABLE 1004.5

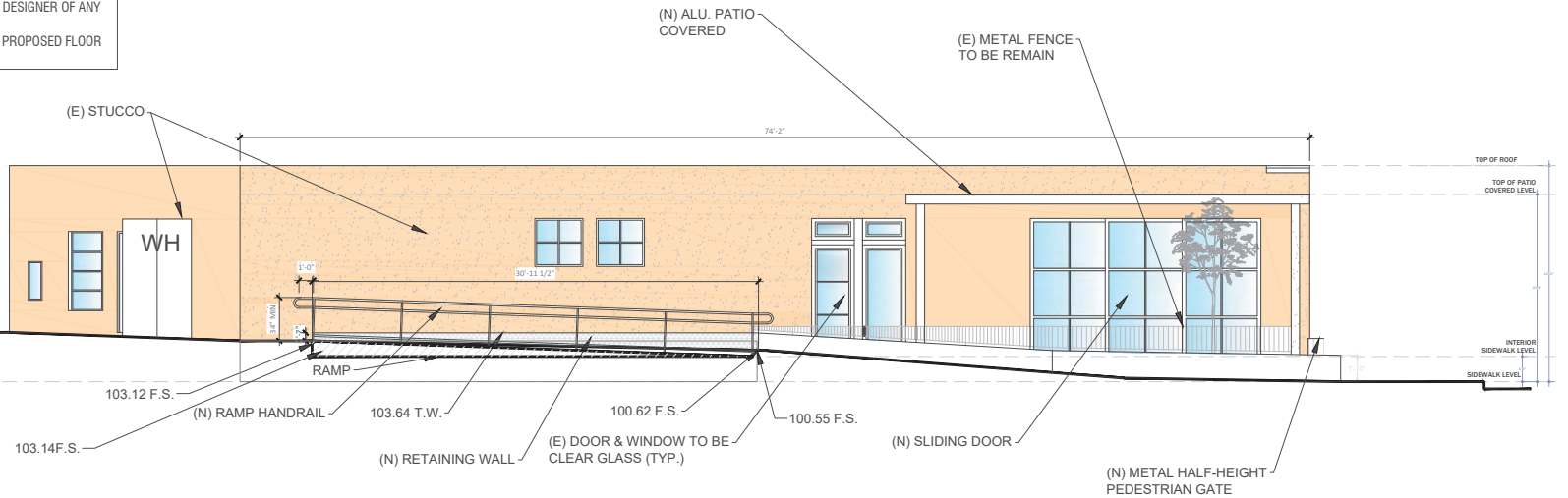
110 NEWPORT CENTER DR.  
NEWPORT BEACH, CA 92660  
info@prescottllc.com  
www.jean-prescottllc.com  
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PROPOSED WEST ELEVATION SCALE: 1/4"=1'-0" - A2.1

NOTE: CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND NOTIFY ENGINEER OR DESIGNER OF ANY DISCREPANCIES.  
X-RAY REQUIRED FOR ALL PROPOSED FLOOR PENETRATIONS.



PROPOSED NORTH ELEVATION SCALE: 1/4"=1'-0" - A2.0

PROJECT FOR:  
**ZINC CAFE & MARKET**  
**EXTERIOR RENOVATIONS**  
**3222 EAST COAST HWY.**  
**CORONA DEL MAR, CA 92625**

CLIENT  
**CDM PARTNERS LLC**  
T. 949-632-6363

PROJECT DESIGNER:  
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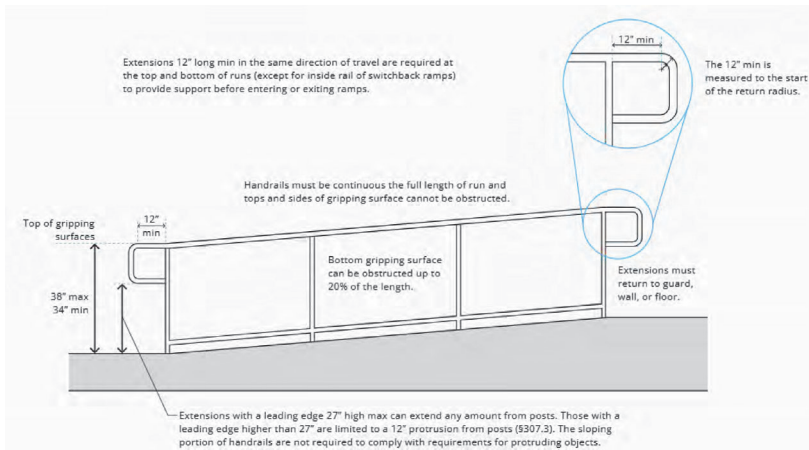
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*JEANNICE CARRILLO*  
*JEAN-PRESCOTT*

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JURISDICTION APPROVAL

PROPOSED ELEVATIONS

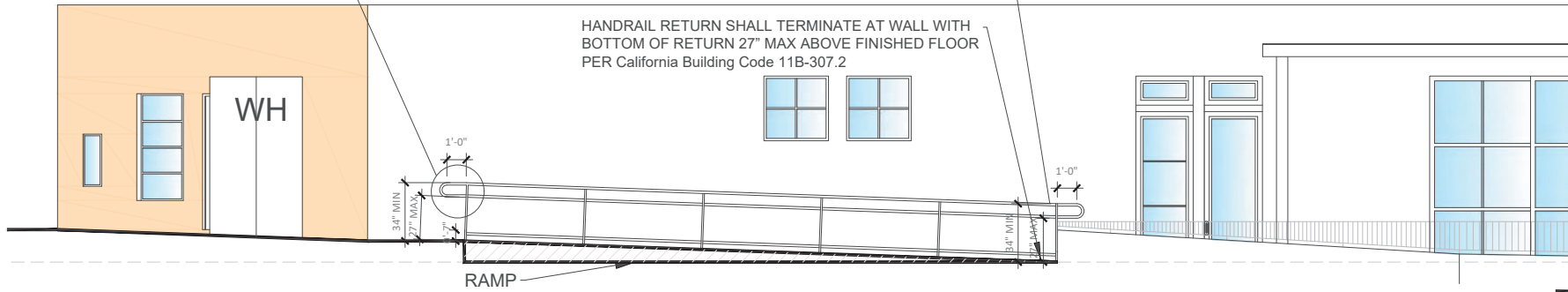
SHEET NUMBER  
**A2.1**



Note:  
HANDRAILS SHALL BE CONTINUOUS AND EXTEND 12" MIN. BEYOND THE TOP AND BOTTOM OF RAMP RUNS IN THE DIRECTION OF TRAVEL. HANDRAIL ENDS SHALL RETURN TO WALL, GUARD, OR FLOOR. HANDRAIL HEIGHT SHALL BE 34" MIN. TO 38" MAX. ABOVE FINISHED FLOOR PER California Building Code 11B-505.10 AND 11B-505.4.

Note:  
HANDRAIL GRIPPING SURFACES SHALL COMPLY WITH California Building Code 11B-505.7. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1-1/4" MIN. TO 2" MAX. OR EQUIVALENT NON-CIRCULAR SHAPE WITH A PERIMETER OF 4" TO 6-1/4" AND A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4". PROVIDE 1-1/2" MIN CLEARANCE FROM ADJACENT WALLS. HANDRAILS LOCATED IN A RECESS SHALL COMPLY WITH CBC CLEARANCE REQUIREMENTS.

HANDRAIL RETURN SHALL TERMINATE AT WALL WITH BOTTOM OF RETURN 27" MAX ABOVE FINISHED FLOOR PER California Building Code 11B-307.2



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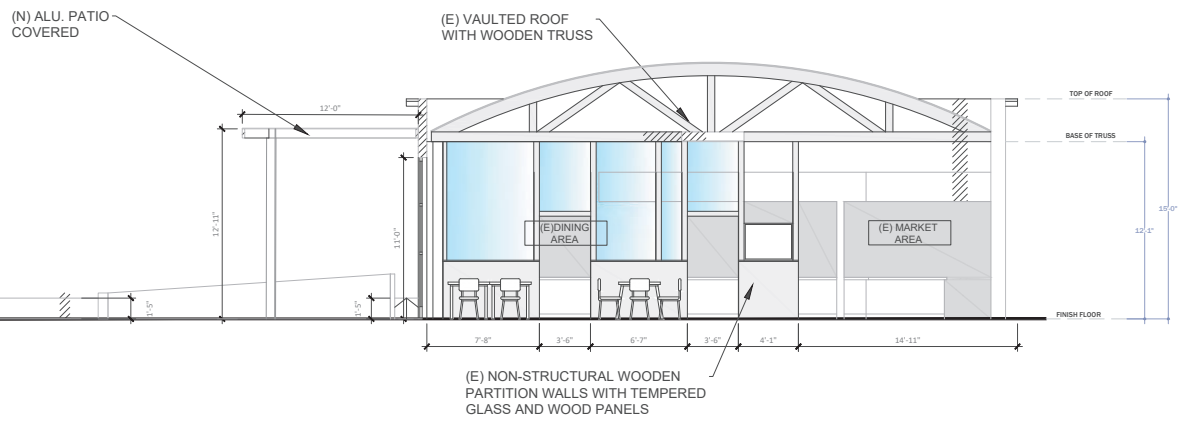
JURISDICTION APPROVAL

HANDRAIL  
DETAILS

SHEET NUMBER

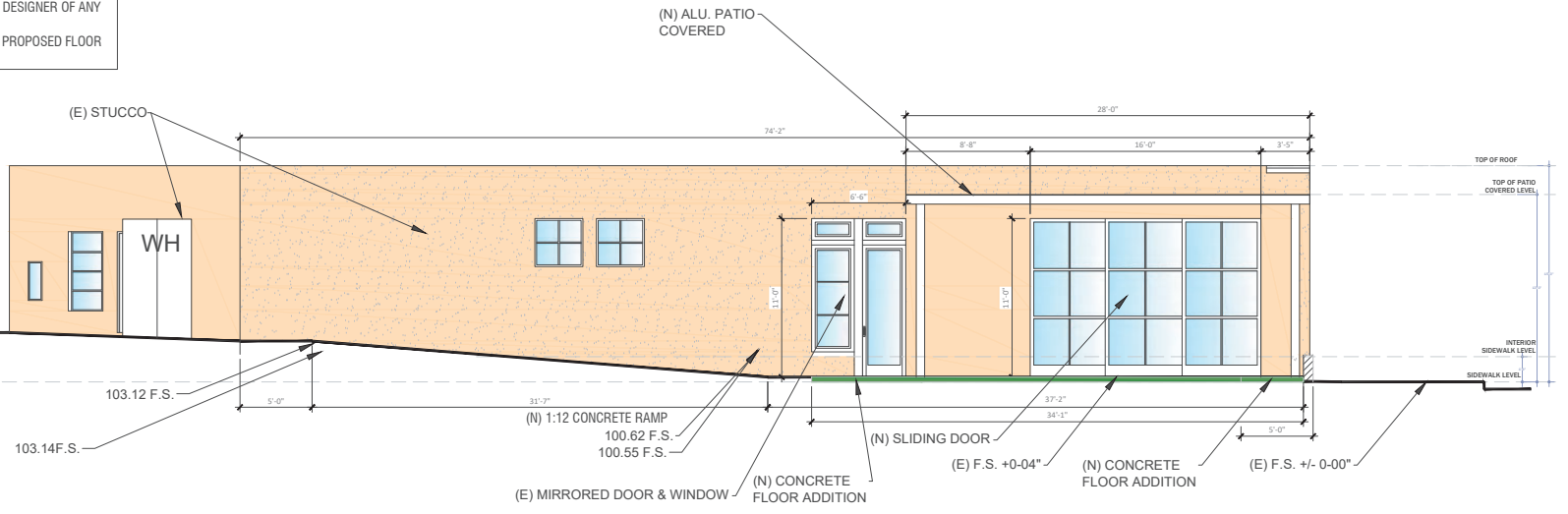
H.1

NOTE: CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND NOTIFY ENGINEER OR DESIGNER OF ANY DISCREPANCIES.  
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PROPOSED WEST SECTION SCALE: 1/4"=1'-0" - A3.0

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PROPOSED NORTH SECTION SCALE: 1/4"=1'-0" - A3.0

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JURISDICTION APPROVAL

PROPOSED SECTIONS

SHEET NUMBER  
**A3.0**