



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

January 16, 2020  
Agenda Item No. 3

**SUBJECT:** Monica Lisa Corporation Duplex (PA2019-178)  
▪ Coastal Development Permit No. CD2019-046

**SITE LOCATION:** 912 and 912 1/2 East Ocean Front

**APPLICANT:** Vevian Tawfik

**OWNER:** Monica Lisa Corporation

**PLANNER:** Melinda Whelan, Assistant Planner  
949-644-3221 or mwhelan@newportbeachca.gov

### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** RT (Two-Unit Residential)
- **Zoning District :** R-2 (Two-Unit Residential)
- **Coastal Land Use Plan Category:** RT-D (Two-Unit Residential – 20.0-29.9 DU/AC)
- **Coastal Zoning District:** R-2 (Two-Unit Residential)

### **PROJECT SUMMARY**

A request for a coastal development permit to allow the demolition of an existing duplex and the construction of a new 3,413-square-foot, two-unit residence including a 726-square-foot, attached four-car garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, and drainage devices. The proposed residence complies with all applicable development standards including height, setbacks, and floor area limits. No deviations are requested.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit No. CD2019-046 (Attachment No. ZA 1).

**DISCUSSION**

*Land Use and Development Standards*

- The subject property is located in the R-2 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City’s Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The existing nonconforming duplex does not currently provide alley access; however, in 2013, the property owner dedicated 15 feet of their property to the City for the purpose of constructing an alley at the rear of the site. Several other properties along this stretch have also provided dedications to allow a complete alley connection between A and B Streets to be constructed in the future. The adjacent property at 914 East Ocean Front provided an alley dedication in 2015. Project implementation will result in the construction of a portion of the alley extension to serve this site and adjacent property at 914 East Ocean Front. The Public Works Department has reviewed the preliminary garage and alley design, found it acceptable, and will review the final design during plan check of the duplex.
- The property currently consists of one legal lot developed with a two-unit residence. The neighborhood is predominantly developed with two- and three-story, single- and two-unit residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.
- The proposed duplex and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front	6 feet	6 feet
Sides	3 feet	3 feet
Rear	0 feet	0 feet
<b>Allowable Floor Area (max.)</b>	3,452 square feet	3,413 square feet
<b>Allowable 3<sup>rd</sup> Floor Area (max.)</b>	345 square feet	344 square feet
<b>Open Space (min.)</b>	259 square feet	266 square feet
<b>Parking (min.)</b>	2-car covered and 2-car garage	4-car garage
<b>Height (max.)</b>	24 feet flat roof 29 feet sloped roof	24 feet flat roof 29 feet sloped roof

*Hazards*

- The development fronts the public boardwalk along East Ocean Front along Peninsula Park, greater than 500 feet from the shoreline.
- A Coastal Hazards Report and Sea Level Rise Analysis was prepared by GeoSoils, Inc., dated October 4, 2019 for the project. The current maximum tide water elevation is 7.7 feet North American Vertical Datum of 1988 (NAVD88). According to the report, the estimated sea level rise at the site appears to be between 3.2 and 5.1 feet over the next 75 years utilizing different probabilistic scenarios, accounting for water levels rising in the range of 10.9 to 12.8 feet NAVD88. The Newport Beach City Council approved the use of the high estimate of the “low risk aversion” scenario, which is 3.2 feet by the year 2100, or 3.1 feet by 2096. Therefore, the sea level is estimated to likely reach approximately 10.9 feet NAVD88 over the next 75 years (i.e. the life of the structure). The report concludes that the proposed project is reasonably safe from shoreline erosion due to the lack of wave or wakes that can erode sand from the beach. There is a very wide (greater than 500 feet) sandy beach in front of the property. The current mean high tide line is over 500 feet from the site and it is unlikely that over the life of the structure that the mean high tide line will reach within 300 feet of the property. The finished floor elevation of the first floor of the proposed structure is 12.4 feet (NAVD88), which complies with the minimum 9.0-foot (NAVD88) elevation standard for new structures and exceeds the future likely sea level rise scenario of 10.9 feet NAVD88.
- Pursuant to Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to the issuance of building permits for construction
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

### *Water Quality*

- The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather run-off and minor rain event run-off on-site. Any water not retained on-site is directed to the City's storm drain system.

### *Public Access and Views*

- The project site is located between the nearest public road and the sea or shoreline. NBMC Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project replaces an existing legal non-conforming duplex located on a standard R-2 lot with a new two-unit residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- Vertical access to the beach is available near the site along A and B Streets. Lateral access is available on the beach and the boardwalk adjacent to the site on East Ocean Front.
- During construction, any construction personnel will be required to utilize private property for staging and no materials can be stored off-site in the public right-of-way (including the boardwalk). The project does not include any features that would obstruct access along these routes. To ensure there are no impacts to public access, the project has been conditioned to require the submission of a construction management plan, reviewed and approved by the Public Works Department, demonstrating the applicant will have sufficient and guaranteed access to the site through private property. This plan shall also include any areas necessary for storage of construction equipment and materials.
- The project site is located adjacent to and immediately south of Peninsula Park, which is a designated public viewpoint in the Coastal Land Use Plan and offers public views of the beach and the ocean.
- Site evaluation (per Section 21.30.100 of the NBMC) revealed that the proposed three-story design is consistent with the existing neighborhood pattern of development for one- and two-unit dwellings, and will not affect the existing views afforded from Peninsula Park. The project will replace an existing nonconforming duplex with a new duplex that complies with all applicable development standards, including the third-floor design requirements that restrict square footage on the third floor in terms of size and location. There are no views currently through the project

site, as it is developed with an existing two-story duplex. The public viewpoint is intended to provide views of the ocean and beach.

- Opportunities to enhance the visual quality of the coastal zone were also reviewed. The front of the proposed residence, which is visible from the boardwalk and Peninsula Park, will contain substantial architectural treatment and visual interest, in keeping with the design guidelines of the Zoning Code. The new structure would comply with required setbacks, and provide an additional setback along the front of the property on the first floor, beyond what is required by code. The design includes modulation of volume throughout the structure and low walls that prevent the appearance of the site being walled off from the park and streets. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to existing public views.

### **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of residence duplex and the construction of a new 3,413-square-foot, two-unit residence.

### **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

### **APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Melinda Whelan  
Assistant Planner

JM/msw

Attachments:      ZA 1      Draft Resolution  
                         ZA 2      Vicinity Map  
                         ZA 3      Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## RESOLUTION NO. ZA2020-###

### A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING COASTAL DEVELOPMENT PERMIT NO. CD2019-046 TO DEMOLISH AN EXISTING DUPLEX AND CONSTRUCT A NEW THREE-STORY, TWO-UNIT RESIDENCE AND ATTACHED FOUR-CAR GARAGE LOCATED AT 912 AND 912 1/2 EAST OCEAN FRONT (PA2019-178)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Vevian Tawfik, with respect to property located at 912 and 912 1/2 East Ocean Front, requesting approval of a coastal development permit.
2. The lot at 912 and 912 1/2 East Ocean Front is legally described as Lot 21 of Block 14 of the Balboa Tract and a portion of the East Ocean Front right-of-way abandoned per Resolution 2013-18 recorded on 02-27-13.
3. The applicant proposes to demolish an existing duplex and the construct a new 3,413-square-foot, two-unit residence including a 726-square-foot, attached four-car garage. The proposed development also includes additional appurtenances such as walls, fences, patios, hardscape, and drainage devices. The proposed residence complies with all applicable development standards including height, setbacks, and floor area limits. No deviations are requested. .
4. The subject property is designated RT (Two-Unit Residential) by the General Plan Land Use Element and is located within the R-2 (Two-Unit Residential) Zoning District.
5. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RT-D (Two-Unit Residential – 20.0-29.9 DU/AC) and it is located within the R-2 (Two-Unit Residential) Coastal Zoning District.
6. A public hearing was held on January 16, 2020, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 13503, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.



2. Class 3 exempts the demolition of up to three single-family residences and additions of up to 10,000 square feet to existing structures. The proposed project consists of the demolition of an existing duplex and the construction of a new 3,413-square-foot, two-unit residence and attached 726-square-foot, four-car garage.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings and Decision) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

#### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

#### Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 3,452 square feet and the proposed floor area is 3,413 square feet.
  - b. The proposed development provides the minimum required setbacks, which are 6 feet along the front property line abutting East Ocean Front, 3 feet along each side property line and 0 feet along the new rear property line abutting the alley dedication area.
  - c. The highest guardrail is less than 24 feet from established grade (11.45 feet NAVD88) and the highest ridge is no more than 29 feet from established grade, which comply with the maximum height requirements.
  - d. The project includes a four-car garage, complying with the minimum four-car parking requirement for duplexes.
2. The neighborhood is predominantly developed with two- and three-story, single- and two-unit residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development.

3. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by GeoSoils, Inc., dated October 4, 2019, for the project. The current maximum tide water elevation is 7.7 feet NAVD88 (North American Vertical Datum of 1988 (NAVD88)). According to the report, the estimated sea level rise at the site appears to be between 3.2 and 5.1 feet over the next 75 years utilizing different probabilistic scenarios, accounting for water levels rising in the range of 10.9 to 12.8 feet NAVD88. The Newport Beach City Council approved the use of the high estimate of the “low risk aversion” scenario, which is 3.2 feet by the year 2100, or 3.1 feet by 2096. Therefore, the sea level is estimated to likely reach approximately 10.9 feet NAVD88 over the next 75 years (i.e. the life of the structure). The report concludes that the proposed project is reasonably safe from shoreline erosion due to the lack of wave or wakes that can erode sand from the beach. There is a very wide (greater than 500 feet) sandy beach in front of the property. The current mean high tide line is over 500 feet from the site and it is unlikely that over the life of the structure that the mean high tide line will reach within 300 feet of the property. The finished floor elevation of the first floor of the proposed structure is 12.4 feet (NAVD88), which complies with the minimum 9.0-foot (NAVD88) elevation standard for new structures and exceeds the future likely sea level rise scenario of 10.9 feet NAVD88.
4. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv), the property owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c). Both requirements are included as conditions of approval that will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.
5. The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
6. The property is located adjacent to Peninsula Park and the beach. The subject site is approximately 560 feet from the ocean. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived by construction chemicals and materials. The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event run-off on-site. Any water not retained on-site is directed to the City’s storm drain system.
7. Proposed landscaping complies with Implementation Plan Section 21.30.075. A condition of approval is included that requires drought-tolerant species. Prior to issuance

of building permits, the final landscape plans will be reviewed to verify invasive species are not planted

8. Site evaluation (per Section 21.30.100 of the NBMC) revealed that the proposed three-story design is consistent with the existing neighborhood pattern of development for one- and two-unit dwellings, and will not affect the existing views afforded from Peninsula Park. The project will replace an existing nonconforming duplex with a new two-unit residence that complies with all applicable development standards, including the third floor design requirements that restrict square footage on the third floor in terms of size and location. There are no views currently through the project site, as it is developed with an existing two-story duplex. The public viewpoint is intended to provide views of the ocean and beach.
9. Opportunities to enhance the visual quality of the coastal zone were also reviewed. The front of the proposed residence, which is visible from the boardwalk and Peninsula Park, will contain substantial architectural treatment and visual interest, in keeping with the design guidelines of the Zoning Code. The new structure would comply with required setbacks, and provide an additional setback along the front of the property beyond what is required by code. The design includes modulation of volume throughout the structure and low walls that prevent the appearance of the site being walled off from the park and streets. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts to existing public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline. NBMC Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact, and be proportional to the impact. In this case, the project replaces an existing legal nonconforming duplex located on a standard R-2 lot with a new two-unit residence. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. Vertical access to the beach is to the beach is available near the site along A and B Streets. Lateral access is available on the beach and the boardwalk adjacent to the site on East Ocean Front.
3. During construction, any construction personnel will be required to utilize private property for staging and no materials can be stored off-site in the public right-of-way (including the boardwalk). The project does not include any features that would obstruct access along

these routes. To ensure there are no impacts to public access, the project has been conditioned to require the submission of a construction management plan, reviewed and approved by the Public Works Department, demonstrating the applicant will have sufficient and guaranteed access to the site through private property. This plan shall also include any areas necessary for storage of construction equipment and materials.

**SECTION 4. DECISION.**

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit No. CD2019-046, subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 16<sup>TH</sup> DAY OF JNAUARY, 2020.**

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James Campbell, Zoning Administrator

**EXHIBIT "A"****CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Prior to the issuance of the Certificate of Occupancy, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.
3. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. This letter shall be scanned into the plan set prior to building permit issuance.
4. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
5. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
6. The final alley design shall be approved by Public Works prior to building permit issuance. The design shall ensure that the garage finish floor (at the garage door) shall be 6-inches above the alley flow line.
7. This Coastal Development Permit does not authorize any development seaward of the private property.
8. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak

nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:

- A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
9. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented prior to and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
  10. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
  11. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
  12. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
  13. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
  14. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
  15. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
  16. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious

to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

17. Prior to the issuance of building permits, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.
18. Prior to the issuance of building permits, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.
19. Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
20. Prior to issuance of a building permit, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Coastal Development file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Coastal Development Permit.
21. Prior to the issuance of building permits, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
22. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
23. Prior to the issuance of building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
24. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
25. This Coastal Development Permit No. CD2019-046 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
26. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents

from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Monica Lisa Corporation Duplex including, but not limited to, Coastal Development Permit No. CD2019-046 (PA2019-178). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.



# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP

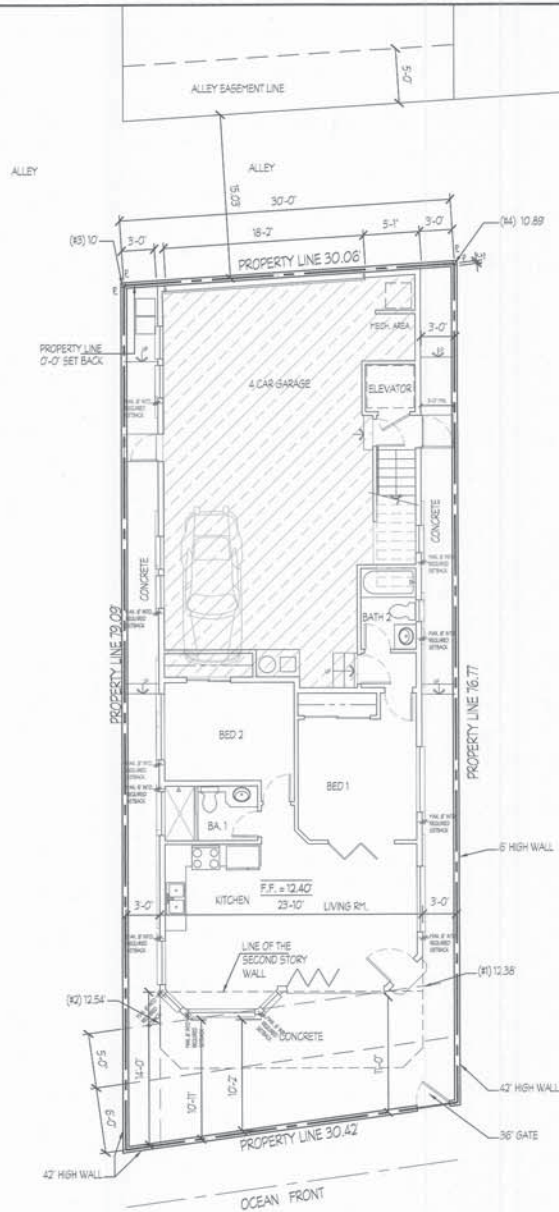


Coastal Development Permit No. CD2019-046  
PA2019-178

**912 and 912 1/2 East Ocean Front**

# **Attachment No. ZA 3**

Project Plans



**SITE PLAN**  
SC: 3/16"-1'-0"

**NOTES**

- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE DEVELOPER AND ENGINEER'S ATTENTION IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.  
THESE PLANS SHALL COMPLY WITH 2018 CALIFORNIA RESIDENTIAL CODE, 2018 CBC, 2018 CBC, 2018 DEC, 2018 CFC, 2018 CFC, 2018 CFC, 2018 CFC, 2018 ENERGY CODE AND NEWPORT BEACH-PUNJICUNG CODE.
- ADDITIONAL PERMIT WORKSHEETS REQUIRED FOR THE FOLLOWING:  
FISHWAY OR CONCRETE FENCES OVER 3.5 HIGH.
- A CALIFORNIA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 AND FOR SHIELDING AND UNDERPINNING.
- SETBACKS SHALL BE MEASURED FROM FACE OF FINISH.

**MISCELLANEOUS NOTES**

- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (PDS 3.2 CMC)
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE EXPIRED SHALL BE REAPPLIED FOR AND AN EXTENSION FEE IS REQUIRED FOR EACH YEAR. WHEN A PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE. (PDS 3.2 CMC)
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEW, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE AND APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC. 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
- AUTOMATIC GARAGE DOOR OPENER BY "LIFTMASTER" NO. 3565, 03/20 LISTED.
- CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER FINISH OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRACE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED ON THE SUB-FLOOR. (PDS 3.1 C)
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCRETE, BEFORE FUTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION.
- FOR 3 STORY HOMES, A WATER DEPARTMENT APPROVED BACKFLOW PREVENTER MUST BE INSTALLED. COORDINATE WITH THE WATER DEPARTMENT PRIOR TO SUBMITTING SPRINKLER PLANS FOR REVIEW.
- ALL FENCES, WALLS, AND OTHER DETACHED OR ATTACHED STRUCTURES EXCEEDING 36 INCHES IN HEIGHT REQUIRE SEPARATE PERMITS AND REVIEW. THIS INCLUDES RATIO COVERS, SWIMMING POOLS, RETAINING WALLS, AND ENCLOSURE.

**FIRE DEPARTMENT NOTES**

- MAINLAND JOBSITE SAFETY DURING CONSTRUCTION AS PER CHAPTER 33 OF 2013 CALIFORNIA FIRE CODE.
- ADDRESS NUMBERS MUST BE PLACED OVER THE EXTERIOR OF THE MAIN ENTRANCE AS PER CITY SPECIFICATION. ADDR. ADDRESS NUMBERS SHALL BE A "MINIMUM OF 4" HIGH NUMBERS WITH A "MINIMUM 3/8" STROKE AND THEY MUST CONTRAST WITH THE BACKGROUND.
- DISCOVERY OF SOIL CONTAMINATION, COMPLETES, ETC., MUST BE REPORTED TO THE FIRE DEPARTMENT IMMEDIATELY AND ALL WORK STOPPED UNTIL APPROVAL IS PROCESSED IS OBTAINED FROM THE FIRE DEPARTMENT.
- FOR FIRE DEPARTMENT INSPECTIONS, CALL (714) 393-6626 AT LEAST 3 DAYS IN ADVANCE TO SCHEDULE INSPECTIONS.
- BUILDING WILL BE EQUIPPED WITH FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D.

**SCOPE OF WORK**

NEW DUPLEX RESIDENCE WITH 7 BEDROOMS, 5 BATHS WITH ATTACHED 4-CAR GARAGE.

**MECHANICAL NOTES**

- COVER RETURN AND SUPPLY OPENINGS WITH PLASTIC OR SHEET METAL.
- WAP OR PROJECT EQUIPMENT STORED ON THE JOBSITE FOR FUTURE INSTALLATION.
- IF NECESSARY PLAN FOR ALTERNATE SPACE CONDITIONING SYSTEMS DURING CONSTRUCTION.
- THE POSITIVE CONTENT OF CONSTRUCTION MATERIALS PRIOR TO APPROVAL TO ENCLOSE WALL AND FLOOR CAVITIES WITH DRYWALL OR OTHER SURFACES. (A.500.3 C855C)

**LANDSCAPE NOTES**

- CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT IRRIGATOR RAIN SENSORS OR COMPLICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S).
- OUTDOOR WATER USE-AUTOMATIC BREAKDOWN SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED SHALL BE AVAILABLE AT THE TIME OF FINAL INSPECTION. (A.304 C855C)

**STRUCTURAL OBSERVATION**

- ENGINEER OR ARCHITECT OF RECORD SHALL OBSERVE THAT ALL FOUNDATION HARDWARE PER PLAN IS IN PLACE PRIOR TO INSPECTION OTHER THAN HARDWARE THAT IS PLACED DURING POUR UNLESS OTHERWISE NOTED.
- ENGINEER OF RECORD SHALL OBSERVE THAT ALL SHEAR WALLS AND METAL HARDWARE ARE PER PLAN UNLESS OTHERWISE NOTED.
- THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR STRUCTURAL DESIGN TO PERFORM STRUCTURAL OBSERVATION PER SEC. 200.2. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNERS REPRESENTATIVE. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT OF THE DEFICIENCIES THAT HAVE BEEN MADE AND CERTIFIED ANY REPORTED DEFICIENCIES THAT TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

**DEFERRED SUBMITTALS**

- DEFERRED SUBMITTALS TO BE REVIEWED BY THE PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.
- FIRE SPRINKLER PLANS - OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
  - SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER ASHRAE STD. 275. SOUND LEVELS, NOT EXCEED 50 DBA (25 DBA WITH 1" SPACER, 65 DBA WITH 2" SPACER AND NEIGHBORS CONSENT) PER SECTION 26.048 OF THE NBPC. LOCATION OF FURNISHMENT TO BE AT ADJACENT PROPERTY PARTY DIVISION. LOCATE EQUIPMENT IN EQUIPMENT WELL, ON ROOF IF NECESSARY.

**INDEX OF DRAWINGS**

- |     |                            |
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| T-1 | TITLE SHEET                |
| A-1 | FIRST FLOOR PLAN & NOTES   |
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| A-3 | ROOF PLAN                  |
| A-4 | EXTERIOR ELEVATIONS        |
| A-5 | EXTERIOR ELEVATIONS        |
| A-6 | SECTION A-E B              |
| A-7 | SECTION C-D E              |
| A-8 | FLOOR AREA CALCULATIONS    |

**CONSULTANTS**

**ARCHITECT:**  
The Louie Group  
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Huntington Beach,  
CA. - 92648

REVISIONS	BY

PLANNING  
ARCHITECTURE  
STRUCTURAL  
MECHANICAL  
ELECTRICAL  
LANDSCAPE

PROJECT: 1914-1915  
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E: info@monicalisa.com

**PROJECT ANALYSIS**

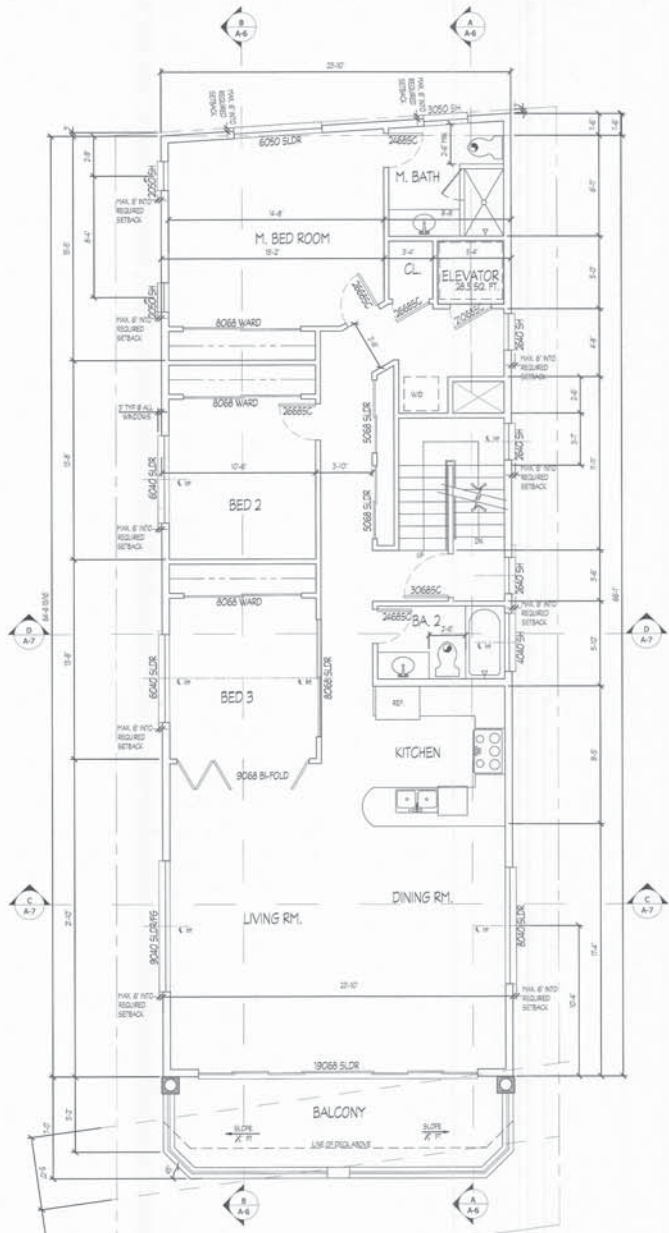
ZONE:	R-2
OCCUPANCY GROUP:	R-3U
TYPE OF CONSTRUCTION:	I-V SPRINKLERED
LOT SIZE:	2343.79 SQ. FT.
LOT COVERAGE:	1633.12 SQ. FT. (1.70 %)
BUILDABLE AREA:	1726.325Q. FT.
MAXIMUM FLOOR AREA:	3452.64 SQ. FT.
1st FLOOR RESIDENCE:	844.86 SQ. FT.
2nd FLOOR RESIDENCE:	1488.00 SQ. FT.
3rd FLOOR RESIDENCE:	343.81 SQ. FT. MAX.
RESIDENCE TOTAL:	2686.67 SQ. FT.
GARAGE:	726.40 SQ. FT.
FLOOR AREA SHOWN:	3413.07 SQ. FT.
STARWELL:	138.60 SQ. FT.
NEW OPEN DECK:	535.63 SQ. FT.
MINIMUM OPEN VOLUME AREA:	259 SQ. FT.
OPEN VOLUME PROVIDED:	366 SQ. FT.
LANDSCAPING:	0 SQ. FT.
NO. OF BEDROOMS:	7
NO. OF BATHROOMS:	5
ENCLOSED PARKING:	4
MINIMUM SET BACK REQUIREMENTS:	
REAR:	0
FRONT:	6'-0"
SIDE:	3'-0"

PROPOSED NEW RESIDENCE AT 912 E. OCEAN FRONT FOR:  
**MONICA LISA CORPORATION**  
278 E. LINCOLN AVENUE,  
ANAHEIM, CA 92806  
(714) 393-6626

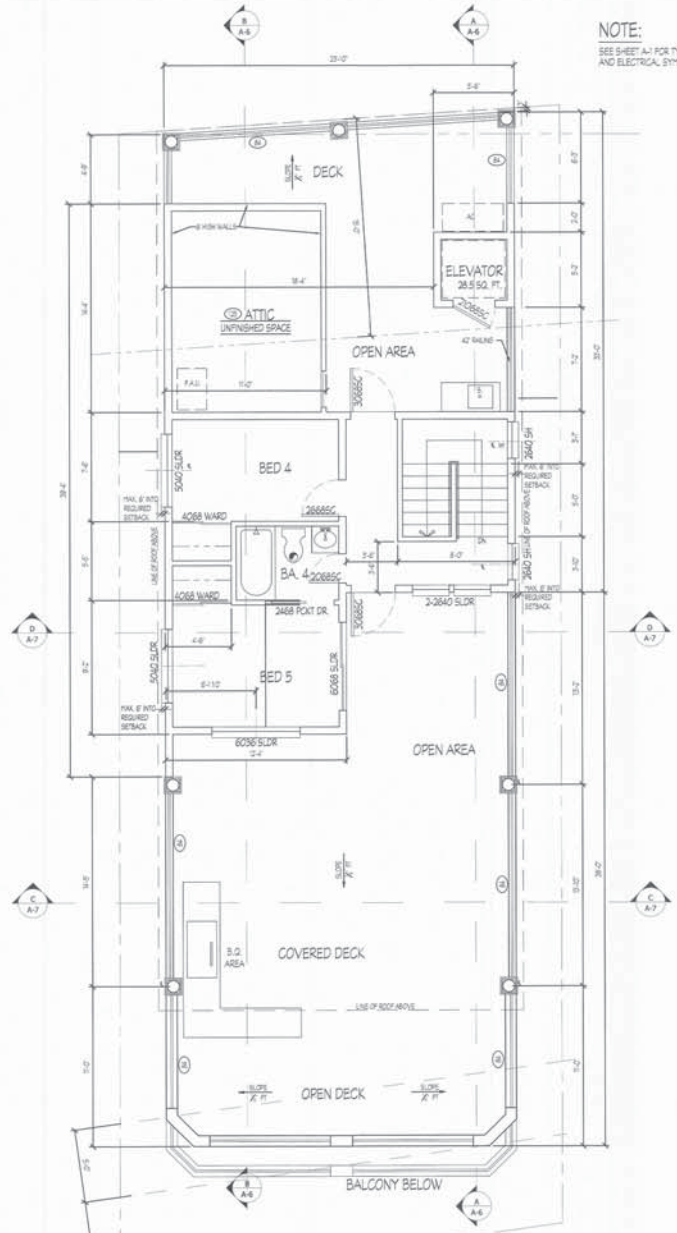
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T-1





SECOND FLOOR PLAN - UNIT 2  
5C-7/1-0'



THIRD FLOOR PLAN - UNIT 2  
5C-7/1-0'

NOTE:  
SEE SHEET A-1 FOR TYPICAL NOTES  
AND ELECTRICAL SYMBOLS.

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A-2
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SHEETS

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**EXTERIOR ELEVATION NOTES**

- 1 CLASS 'X' ASPHALT SHINGLES BY 684-389
- 2 1/2" DIA. SCREENED VENT HOLES BY 6206 RESISTANT PHS, PESH OR 2PT. E.L.V. TYP. FINISHED TO S.F.P. AND TO SURF.
- 3 ROOFATIC CORNER VENTS, TYP. 1/2" DIA. VENT FOR EASY ROOFING, 4" DIA. VENTS ARE REQUIRED FOR ANY ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED.
- 4 21 ROOF DOWNS, TYP.
- 5 1/2" SAND STUCCO
- 6 1/2" SMOOTH STUCCO OR 1/2" CLASS 'D' PAPER - USE 2" AFTER OVER 5" W. TYP. VERIFY LOCATION.
- 7 2" TILES AND DOWNSPOUTS.
- 8 1/2" FLASHING AT ALL DOOR AND WINDOW HEADS, TYP.
- 9 1/2" WEATHER BOARD, TYP.
- 10 1/2" FLASHING, TYP.
- 11 STONE VENER, BOARD & BATTEN
- 12 2" DIA. CAP - VERIFY TYPE.

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Group 18  
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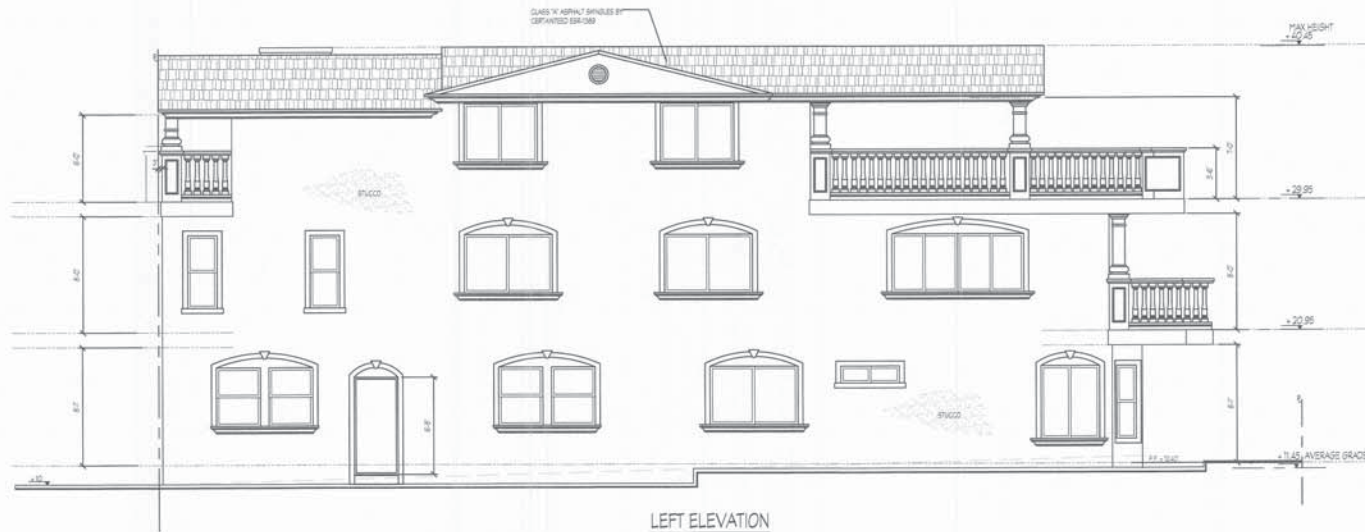
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**EXTERIOR ELEVATION NOTES**

- 1 CLASS 'X' ASPHALT SHINGLES BY SPAN-1000
- 2 1/2" ON EXTERIOR VENT HOLES IN GIRDERS RESISTANT TO MIN. PERM. WINDS (MIN. TOP FINISHED G.I.P. AREA REQUIRED)
- 3 ROOF ATIC CORNER VENTS, TOP 1/2" VENT FOR EVERY 200 SQ. FT. OF ATIC AREA REQUIRED FOR ANY ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES PERMITTED
- 4 ALL ROOF SLOPE - 1/4"
- 5 2" SHIM STUDS
- 6 2" SHIM STUDS TO BE CLASS 'D' PAPER - USE 2 - LAYERS OVER 6" W. TOP VENT LOCATION
- 7 BUTTER AND COMPOUND
- 8 1/4" FLANGES AT ALL DOOR AND WINDOW HEADS - 1/4"
- 9 1/4" NEEP SLOPE - 1/4"
- 10 1/4" FLANGING - 1/4"
- 11 STONE VENER
- 12 BOARD & BATTEN
- 13 2x4 GIP - VERIFY TYPE

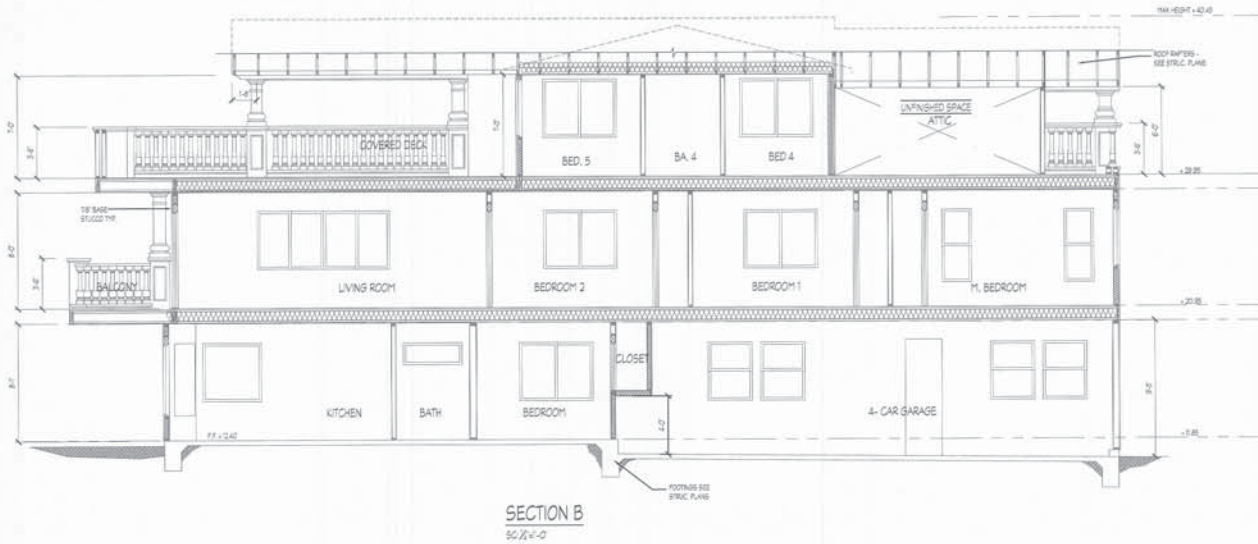
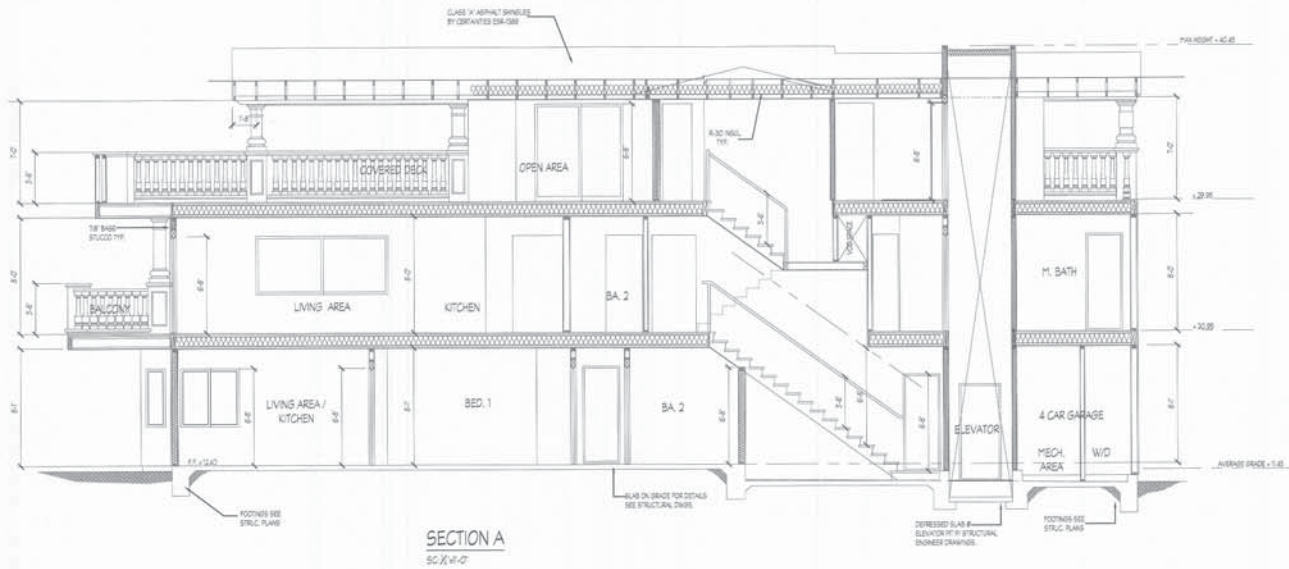
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**SECTIONS NOTES:**

- 1 CLASS IV ASPHALT SHINGLES BY OSB-308
- 2 ROOF ATTIC DORMER VENTS - 1/2" 1x6, FT. KICK EVERY 24" 3/4" OF ATTIC AREA REQUIRED FOR AREAS WITH 30" HEAD CLEARANCE
- 3 1" R-1 ROOF EDGE - TYP.
- 4 2" STUCCO @ 1/4" CLASS 1" FIBER - USE 2 - LAYERS OVER R-1 - TYP.
- 5 42" HIGH BALUS WITH 1/4" 3" TYP. OPENINGS - TYP.
- 6 1" FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 7 1" WEST SCROED 2x4 BA. FIN. - TYP.
- 8 1" FLASHING
- 9 1" ROOF RAFTER CAP - TYP.
- 10 1" ROOF DRAIN OVER/ON DRAIN BUTTER AND DOWNSPOUT
- 11 STUCCO ROOF
- 12 R-30 INSULATION
- 13 5/8" BAYBAY BARBER PLYWOOD ROOF SHEATHING (1/4" 1/2")
- 14 FRAMING - SEE STRUCTURAL
- 15 FOUNDATION - SEE STRUCTURAL
- 16 1/2" DYE BRD.
- 17 3/4" DYE BRD. (1-HOUR)
- 18 3/4" BAYBAY BARBER PLYWOOD MUST BE USED AS FIN. OF ROOF SHEATHING
- 19 1" R-1 PLYWOOD SHEATHING

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Landscape  
Landscape

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**SECTIONS NOTES:**

- 1. GABLE W/ APPROX 8 INCHES BY 8 INCHES
- 2. ROOF AT 1/2 CORNER LEVELS - TYP. 1/2" X 10" AT 12" ON CENTER
- 3. 2" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 4. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 5. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
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- 14. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 15. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 16. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 17. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 18. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 19. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER
- 20. 1" X 4" STUDS WITH 1/2" X 10" AT 12" ON CENTER

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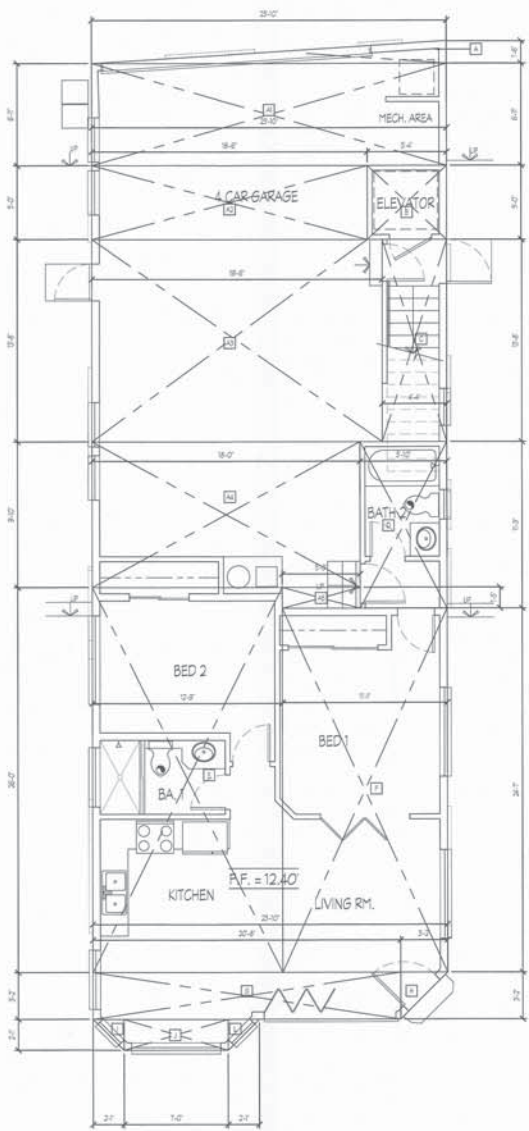


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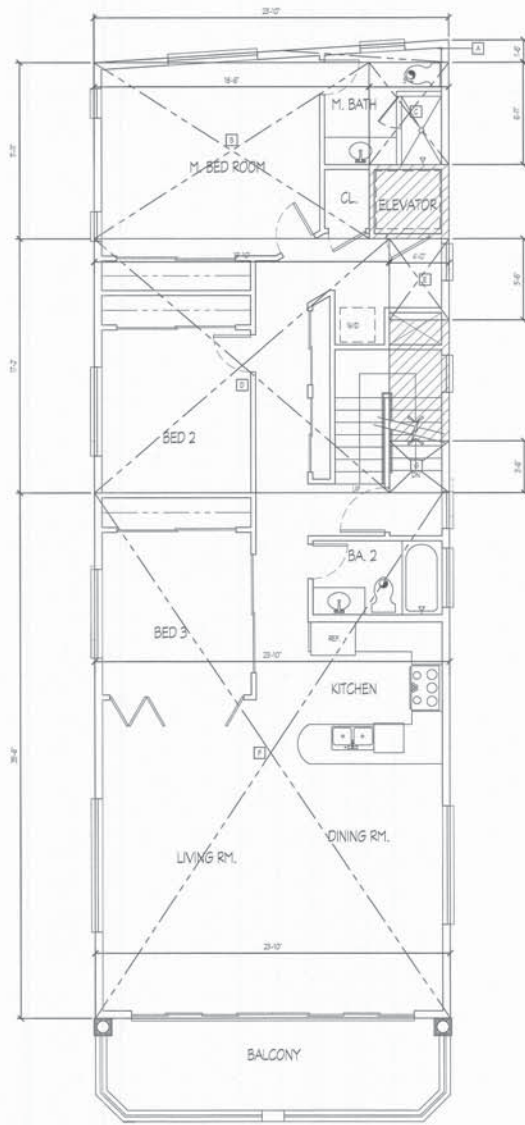
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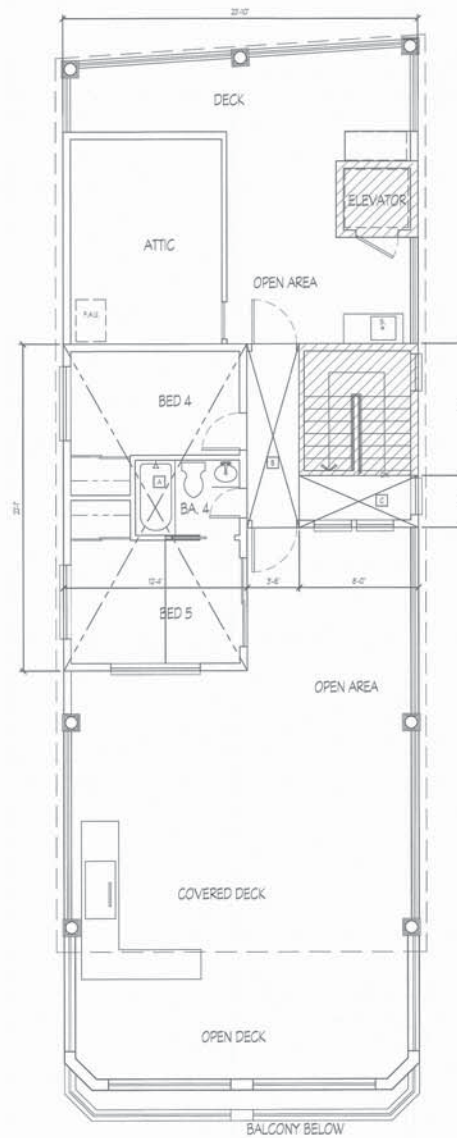
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FIRST FLOOR PLAN - UNIT 1  
SC: 1/8"=1'-0"



SECOND FLOOR PLAN - UNIT 2  
SC: 1/8"=1'-0"



THIRD FLOOR PLAN - UNIT 2  
SC: 1/8"=1'-0"

FIRST FLOOR AREAS CALCULATIONS

A	(28'-0" x 1'-4")	18.95 SQ. FT.
B	23'-0" x 6'-1"	84.78 SQ. FT.
C	18'-4" x 5'-2"	82.42 SQ. FT.
D	18'-4" x 12'-4"	208.40 SQ. FT.
E	18'-2" x 8'-0"	177.78 SQ. FT.
F	5'-3" x 1'-0"	7.44 SQ. FT.
G	TOTAL GARAGE	128.40 SQ. FT.
H	5'-4" x 5'-0"	26.87 SQ. FT.
I	4'-4" x 3'-4"	39.39 SQ. FT.
J	5'-0" x 5'-0"	69.66 SQ. FT.
K	12'-8" x 28'-0"	357.58 SQ. FT.
L	17'-1" x 26'-7"	272.48 SQ. FT.
M	20'-4" x 3'-2"	65.39 SQ. FT.
N	3'-2" x 3'-2"	5.07 SQ. FT.
O	(20'-0" x 2'-0")	2.00 SQ. FT.
P	(10'-0" x 2'-0")	1.00 SQ. FT.
Q	(2'-0" x 2'-0")	2.00 SQ. FT.
R	TOTAL LIVING	848.80 SQ. FT.

SECOND FLOOR AREAS CALCULATIONS

A	(28'-0" x 1'-4")	18.95 SQ. FT.
B	18'-4" x 11'-1"	202.39 SQ. FT.
C	5'-4" x 6'-0"	32.47 SQ. FT.
D	19'-0" x 17'-2"	340.90 SQ. FT.
E	4'-0" x 3'-4"	22.56 SQ. FT.
F	23'-0" x 28'-4"	642.08 SQ. FT.
G	4'-0" x 3'-4"	14.00 SQ. FT.
H	TOTAL LIVING	1488.20 SQ. FT.

THIRD FLOOR AREAS CALCULATIONS

A	12'-4" x 22'-1"	272.88 SQ. FT.
B	3'-4" x 12'-0"	40.80 SQ. FT.
C	8'-0" x 3'-0"	24.00 SQ. FT.
D	TOTAL LIVING	348.00 SQ. FT. MAX.

LEGEND:  
 NOT A PART

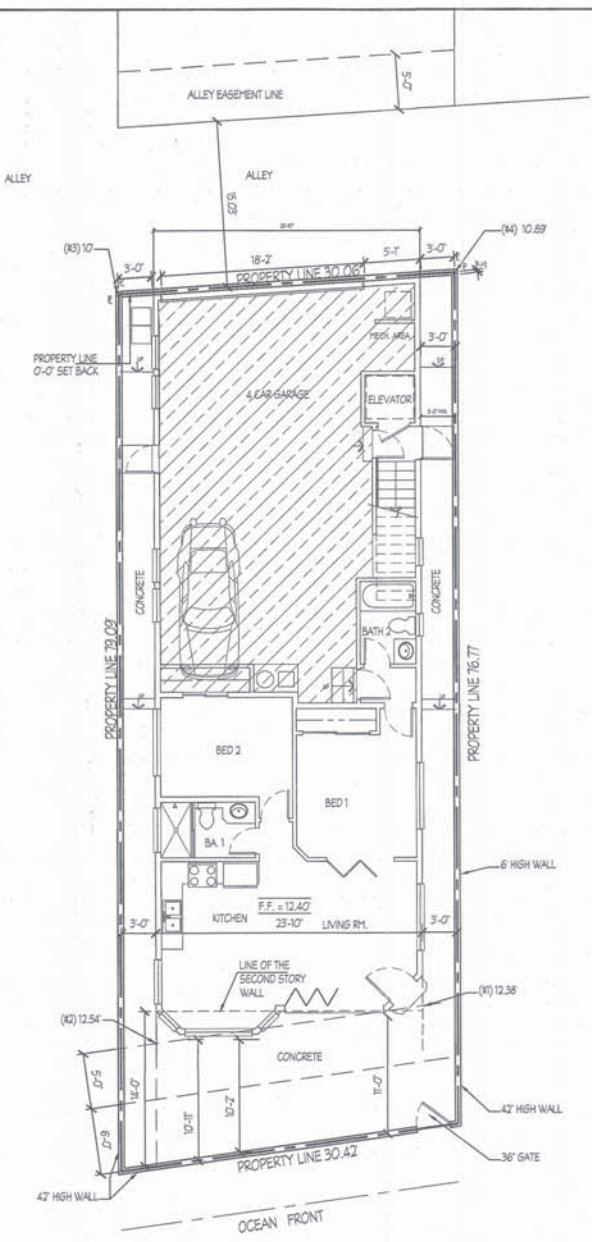
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**LANDSCAPE PLAN**  
 S.C. 3/16" = 1'-0"

REVISIONS	BY

ARCHITECTURE

PLANNING

Life Group

1990 Colburn Drive • Huntington Beach, CA 92648  
 Phone: (714) 641-2221  
 Email: landscape@lifegroup.com

PROPOSED NEW RESIDENCE AT 910 E. OCEAN FRONT FOR:  
**MONICA LISA CORPORATION**  
 278 E. LINCOLN AVENUE,  
 ANAHEIM, CA, 92805  
 (714) 393-6626

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
<b>LP-1</b>
OF SHEETS

ALL PROJECT DOCUMENTS - DESIGN, ARCHITECTURE AND EXHIBITS INCORPORATED OR REFERENCED BY ORIGINAL SPECIFICATIONS AND OTHER DOCUMENTS ARE THE PROPERTY OF THE LEASER GROUP - ARCHITECTS. ALL PROJECT DOCUMENTS SHALL BE LOANED ONLY ON THE SPECIFIC PROJECT OR PURCHASE ORDERED BY THE CONTRACTUAL AGREEMENT BETWEEN THE LEASER GROUP - ARCHITECTS AND THE CLIENT. NO PROJECT DOCUMENTS SHALL BE LOANED OR REPRODUCED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE LEASER GROUP - ARCHITECTS.

**COMPANIES AND AGENCIES SERVING THIS PROJECT ARE AS FOLLOWS:**

**WATER/SEWER:**  
 CITY OF NEWPORT BEACH UTILITIES DEPARTMENT  
 949 W 16TH STREET  
 NEWPORT BEACH, CA 92663  
 PH: (949) 644-3011

**POWER:**  
 SOUTHERN CALIFORNIA EDISON CO.  
 1241 GRAND AVENUE  
 SANTA ANA, CA 92705  
 PH: (800) 327-3031

**GAS:**  
 SOUTHERN CALIFORNIA GAS CO.  
 PO BOX 3150  
 SAN DIMAS, CA. 91773  
 PH: (800) 427-2200

**TELEPHONE:**  
 PACIFIC BELL  
 2828 E. CORONADO ST., 2ND FLOOR  
 ANAHEIM, CA. 92807  
 PH: (714) 666-5415

**CABLE:**  
 TIME WARNER CABLE  
 200 PAULMARINO AVENUE  
 COSTA MESA, CA. 92626  
 PH: (800) 333-7830

**SCHOOL DISTRICT:**  
 NEWPORT-MESA UNIFIED SCHOOL DISTRICT  
 2985 BEAR STREET  
 COSTA MESA, CA. 92626  
 PH: (714) 424-5000

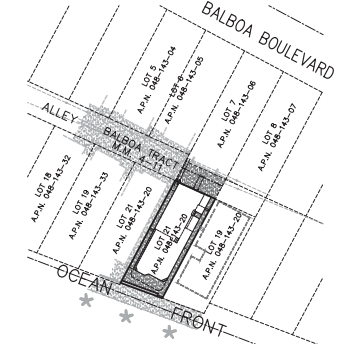


**VICINITY MAP**  
 NO SCALE



SCALE: 1"=40'

**CITY OF NEWPORT BEACH, CALIFORNIA**  
**PRECISE GRADING PLAN**  
**MONICA LISA CORPORATION**  
**DUPLEX**  
**912 EAST OCEAN FRONT**  
**A.P.N. 048-143-20**



**EARTHWORK QUANTITY ESTIMATE:**

QUANTITIES	CUT	FILL
	45 C.Y.	45 C.Y.
		(INCLUDING LOSSES)

**NOTE:**  
 SEE SOILS REPORT FOR ACCURATE SOILS RESPONSE FACTORS. QUANTITIES SHOWN ABOVE ARE ESTIMATES ONLY.

**LEGAL DESCRIPTION:**

LOT 21 OF BALBOA TRACT BLOCK 14 AS RECORDED IN BOOK 4, PAGE 11, MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA

**BASIS OF BEARING:**

THE BASIS OF BEARING FOR THIS PROJECT IS THE CENTERING OF OCEAN FRONT PER PARCEL MAP NO. 85-385 BOOK 218, PAGES 9-10 BEING N69°06'53"W.

**DOCUMENTATION:**

1. AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
2. A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
3. A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

**CONSTRUCTION NOTES:**

- 1 REMOVE EXISTING BUILDING
- 2 REMOVE EXISTING CONCRETE
- 3 REMOVE EXISTING WOOD DECK
- 4 REMOVE EXISTING BRICK PAVERS
- 5 INSTALL 6" DIA. P.V.C. PIPE, SCHEDULE 40 (OR EQUIVALENT) SLOPE AT 1.0% MIN GRADE.
- 6 INSTALL 24" DIA "HIGH FLOW-WELL" DRYWELL WITH "FLOW-WELL" COVER.
- 7 NEW MASONRY WALL PER 914 E. OCEAN FRONT GRADING PLANS.
- 8 CONSTRUCT 6" THICK CONCRETE ALLEY PER CITY OF NEWPORT BEACH STD-140-L.
- 9 CONSTRUCT 4" THICK CONCRETE PAVING.
- 10 CONSTRUCT DRAINAGE SMALE DRAIN AT 1.0% IN CONCRETE.
- 11 SIDEWALK AREA TO DRAIN AT 1.0% MINIMUM, 2.0% MAXIMUM GRADE.
- 12 INSTALL 4" NDS SPEE-D CATCH BASIN WITH BRASS GRATE IN SIDEWALK AREA.
- 13 CONSTRUCT PLANTER WALL PER ARCHITECTURAL PLANS.
- 14 PROVIDE MINIMUM DISTANCE BETWEEN EXTERIOR FINISH GRADE AND BOTTOM OF TREATED SILL PLATES FOLLOWS: a. 3" TO CONCRETE FINISH b. 8" TO SOIL.
- 15 CONSTRUCT BUILDING STEM WALL PER ARCHITECTURAL PLANS.
- 16 ABANDON EXISTING WATER METER AND SERVICE AT MAIN PER CITY STANDARDS.
- 17 INSTALL SEWER LATERAL WITH CLEANOUT PER CITY STANDARD STD-406-L.
- 18 GAS COMPANY TO INSTALL NEW GAS METER.
- 19 PROPOSED ELECTRICAL METER - COORDINATE POINT OF CONNECTION WITH S.C.E.
- 20 INSTALL NEW 1" WATER METER AND SERVICE PER CITY STANDARD STD-502-L.

**ESTIMATED QUANTITIES:**

977 S.F.
547 S.F.
186 S.F.
255 S.F.
157 L.F.
2 EA.
438 S.F.
715 S.F.
30 L.F.
8 EA.
27 L.F.
31 L.F.
1 EA.
2 EA.
1 EA.
1 EA.
2 EA.

**SOILS ENGINEER APPROVAL:**

THESE PLANS HAVE BEEN REVIEWED FROM A GEOTECHNICAL STANDPOINT ONLY. BASED ON THAT REVIEW, IT APPEARS THE PLANS ARE IN GENERAL CONFORMANCE WITH RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THE PROJECT BY R. MCCARTHY CONSULTING, INC.

**SOILS ENGINEER:**  
 R. MCCARTHY CONSULTING, INC.  
 CONTACT: ROBERT MCCARTHY  
 23 CORPORATE PLAZA, SUITE 150  
 NEWPORT BEACH, CA 92660  
 PH: (949) 629-2529

ROBERT J. MCCARTHY, G.E., 2490 \_\_\_\_\_ DATE \_\_\_\_\_

**HARRINGTON GEOTECHNICAL CLEARING AND GRADING RECOMMENDATIONS:**

THE FOLLOWING RECOMMENDATIONS REFLECT OUR BEST ASSESSMENT OF PROJECT CONDITIONS AND REQUIREMENTS BASED ON ANALYSIS AND EVALUATION OF RESULTS REPORTED HEREIN. THESE RECOMMENDATIONS ARE PROVIDED SUBJECT TO REVIEW OF GRADING AND FOUNDATION PLANS AND LOADS, AND TO CONFIRMATION OF ANTICIPATED CONDITIONS DURING GRADING AND/OR FOUNDATION CONSTRUCTION. ADDITIONAL RECOMMENDATIONS MAY BE PROVIDED IF DIFFERING CONDITIONS ARE ENCOUNTERED.

**SITE CLEARING AND GRADING:**

AFTER DEMOLITION OF THE EXISTING IMPROVEMENTS, ALL RESULTING DEBRIS SHOULD BE REMOVED SO AS NOT TO CONTAMINATE THE SOIL DURING GRADING. ANY DISTURBED SOIL AT THE BOTTOM OF THE ORIGINAL POOL CAVITY SHOULD BE REMOVED.

IN ORDER TO DEVELOP INCREASED, UNIFORM SUPPORT FOR THE NEW IMPROVEMENTS, THE SOIL THROUGHOUT THE SITE SHOULD BE REMOVED AND/OR SCARIFIED IN PLACE, MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT, AND MECHANICALLY COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% BASED ON THE RESULTS OF COMPACTION TESTS PERFORMED IN ACCORDANCE WITH ASTM TEST METHOD D1557.

THE POOL CAVITY SHOULD BE FILLED WITH SOIL PLACED IN THIN LOOSE LIFTS, MOISTURE CONDITIONED AND COMPACTED AS INDICATED ABOVE. IF IMPORTED SOIL IS NEEDED TO COMPLETE FILLING THE CAVITY IT SHOULD BE GRANULAR SOIL SIMILAR TO SITE MATERIAL AND SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO BEING BROUGHT ON-SITE. FINAL ACCEPTANCE OF THE IMPORT SHOULD BE BASED ON ON-SITE REVIEW/TESTING.

ALL ADDITIONAL FILL REQUIRED TO ACHIEVE FINISHED GRADE ELEVATIONS SHOULD CONSIST OF APPROVED IMPORT AND SHOULD BE COMPACTED AS RECOMMENDED ABOVE.

THE FOREGOING RECOMMENDATIONS ARE TENTATIVE AND SUBJECT TO SOME REVISION AFTER THE SITE GRADING AND FOUNDATION PLANS HAVE BEEN COMPLETED AND SENT TO THIS OFFICE FOR GEOTECHNICAL REVIEW. AFTER OUR REVIEW HAS BEEN COMPLETED, A LETTER/REPORT WILL BE ISSUED CONFIRMING THESE RECOMMENDATIONS OR PROVIDING REVISED RECOMMENDATIONS.

**GRADING OBSERVATIONS AND TESTING:**

GRADING AND COMPACTION OPERATIONS SHOULD BE OBSERVED AND TESTED BY MEMBERS OF OUR STAFF SO THAT ANTICIPATED SOIL CONDITIONS CAN BE CONFIRMED AND THE RECOMMENDATIONS CONTAINED HEREIN AND/OR IN THE GRADING/PLAN REVIEW LETTER/REPORT VALIDATED. IF DEEMED NECESSARY AS A RESULT OF CHANGED CONDITIONS, SUPPLEMENTAL RECOMMENDATIONS MAY BE PROVIDED DURING GRADING. RESULTS OF THESE OBSERVATIONS AND TESTS SHOULD BE PROVIDED IN THE FINAL REPORT WHICH SHOULD INCLUDE A STATEMENT BY THE GEOTECHNICAL ENGINEER CONCERNING THE ADEQUACY OF THE COMPLETED WORK.

**PRE-GRADE MEETING:**

IT IS SUGGESTED THAT A PRE-GRADE MEETING BE ARRANGED AT THE SITE TO DISCUSS THIS REPORT AND PROJECT REQUIREMENTS PRIOR TO COMMENCEMENT OF GRADING.

**CONCRETE QUALITY:**

CONCRETE USED ON THIS PROJECT MAY CONTAIN TYPE II CEMENT AND, PER SECTION 1904.3 OF THE 2007 CALIFORNIA BUILDING CODE, SHOULD COMPLY WITH ACI 318, SECTION 4.3, TABLE 4.3.1.

**CONCRETE FLATWORK:**

EXTERIOR CONCRETE FLATWORK SHOULD BE CONSTRUCTED WITH LOW-SLUMP CONCRETE TO MINIMIZE SHRINKAGE AND SHOULD BE PROVIDED WITH ADEQUATE CONSTRUCTION/EXPANSION JOINTS TO CONTROL CRACKING. NOMINAL REINFORCEMENT IS RECOMMENDED FOR THE NEW DRIVEWAY.

**BACKFILLS:**

IT IS RECOMMENDED THAT BACKFILLS FOR STRUCTURAL ASSESSMENT AND UTILITY TRENCHES BE MECHANICALLY COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION. BACKFILLING OF TRENCHES WITH SAND JETTED OR FLOODED INTO PLACE SHOULD NOT BE ALLOWED.

**CONSTRUCTION OBSERVATIONS:**

IN ADDITION TO PERFORMING OBSERVATIONS AND TESTS DURING SITE CLEARING AND GRADING, IT IS RECOMMENDED THAT A MEMBER OF OUR STAFF OBSERVE, TEST AND GEOTECHNICALLY APPROVE ALL FOUNDATION EXCAVATIONS, UTILITY TRENCH BACKFILLS, AND DRIVEWAY/MISCELLANEOUS CONCRETE FLATWORK SUBGRADE PREPARATION.

**GENERAL:**

1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
2. DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE.
3. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
4. WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NBMC.
5. NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC.
6. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
7. PERMITEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
8. APPROVED SHORING, DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.
9. CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.
10. HAIL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
11. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPE AREAS.
12. FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
13. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 ADS 3000 WITH GLUED JOINTS...
14. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

**EROSION CONTROL:**

1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
3. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT, DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
4. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

**REQUIRED INSPECTIONS:**

1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
2. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

**GRADING FILLS/CUTS:**

1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
2. FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
3. ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TEST SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
4. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
5. FILLS SHALL BE KEYED OR BENCHED INTO ADJACENT MATERIAL.
6. ALL EXISTING FILL SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
7. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
8. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILLS IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
9. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
10. ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CURING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
11. THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
12. LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBMC.
13. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
14. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
15. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE ABILITY OF THE SLOPE AND THE ADJACENT STRUCTURES UPON COMPLETION.
16. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
17. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
18. NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

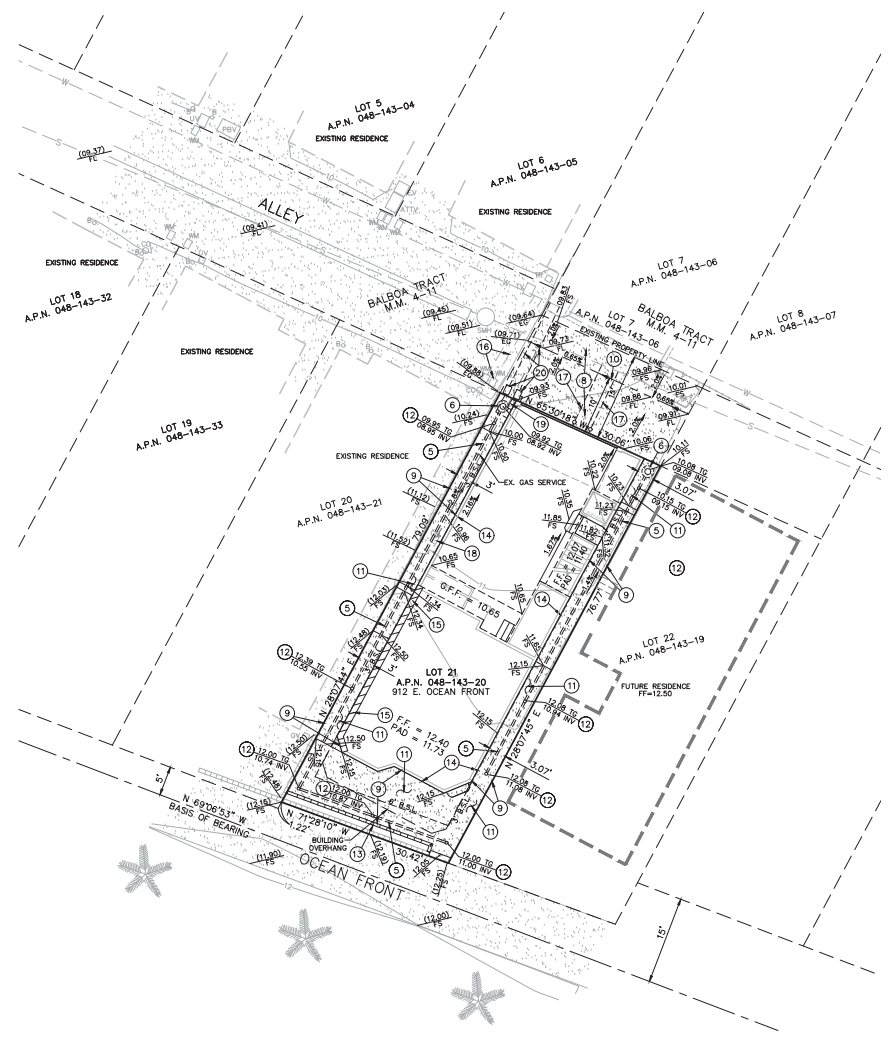
**SURVEY NOTES:**

A PROPERLY LICENSED SURVEYOR OR CIVIL ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY OR OFFSETS BEFORE STARTING GRADING.  
 SURVEYOR OR CIVIL ENGINEER TO FILE CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

**SHEET INDEX:**

SHEET 1 AND 2 - PRECISE GRADING PLAN  
 SHEET 3 - TOPOGRAPHIC MAP

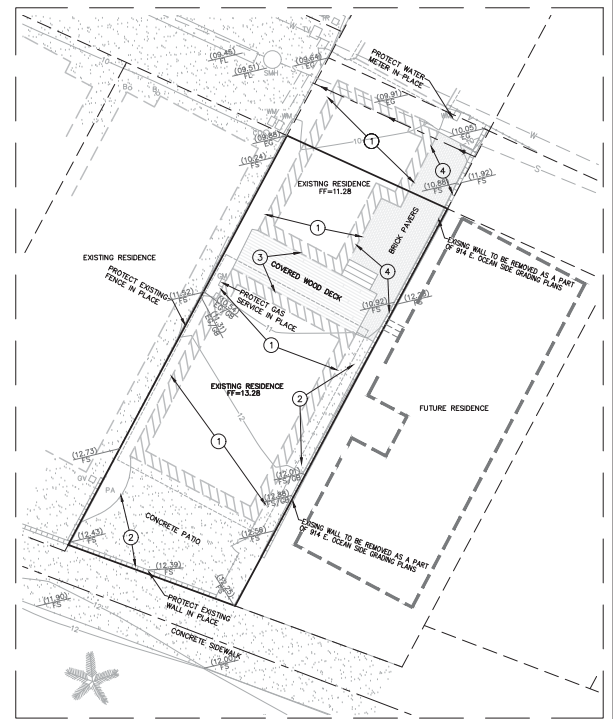
PLAN PREPARED UNDER THE SUPERVISION OF:  BERNHARD MAYER R.C.E. 36866 01/06/20 DATE	 ROBERT J. MCCARTHY, G.E., 2490 _____ DATE _____	 ROBERT J. MCCARTHY, G.E., 2490 _____ DATE _____	SEAL	 ROBERT J. MCCARTHY, G.E., 2490 _____ DATE _____	BENCH MARK: COUNTY OF ORANGE BENCHMARK NO. 1E-116-99 ELEVATION = 7.587	REVISIONS			CITY OF NEWPORT BEACH			PRECISE GRADING PLAN			W.O.
						DRAWN: B.A.M. APPROVED:	DESIGNED: J.B.M. APPROVED BY:	CHECKED: B.K.M.	MONICA LISA CORPORATION DUPLEX A.P.N. 048-143-20 912 EAST OCEAN FRONT NEWPORT BEACH, CA. 92661			SCALE: FILE NO. SHEET 1 of 3			



SCALE: 1"=10'

- CONSTRUCTION NOTES:**
- 1 REMOVE EXISTING BUILDING
  - 2 REMOVE EXISTING CONCRETE
  - 3 REMOVE EXISTING WOOD DECK
  - 4 REMOVE EXISTING BRICK PAVERS
  - 5 INSTALL 6" DIA. P.V.C. PIPE, SCHEDULE 40 (OR EQUIVALENT) SLOPE AT 1.0% MIN GRADE.
  - 6 INSTALL 24" DIA "HIGH FLOW-WELL" DRYWELL WITH "FLOW-WELL" COVER.
  - 7 NEW MASONRY WALL PER 914 E. OCEAN FRONT GRADING PLANS.
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 a. 3" TO CONCRETE FINISH  
 b. 6" TO SOIL
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  - 17 INSTALL SEWER LATERAL WITH CLEANOUT PER CITY STANDARD STD-406-L
  - 18 GAS COMPANY TO INSTALL NEW GAS METER.
  - 19 PROPOSED ELECTRICAL METER - COORDINATE POINT OF CONNECTION WITH S.C.E.
  - 20 INSTALL NEW 1" WATER METER AND SERVICE PER CITY STANDARD STD-502-L.

- LEGEND:**
- INDICATES REMOVE EXISTING DRIVE APPROACH
  - INDICATES SAWCUT AND REMOVE EXISTING PAVEMENT
  - INDICATES EXISTING CONTOUR
  - INDICATES STREET CENTERLINE
  - INDICATES EXISTING BLOCK WALL
  - INDICATES EX STREET RIGHT-OF-WAY
  - INDICATES BOUNDARY LINE
  - INDICATES FLOW LINE
  - INDICATES CONCRETE PAVEMENT
  - INDICATES EXISTING FENCING
  - INDICATES EXISTING PALM TREE
  - INDICATES EXISTING BUILDING
  - INDICATES PAD ELEVATION
  - INDICATES FINISH FLOOR ELEVATION
  - INDICATES GARAGE FINISH FLOOR ELEVATION
  - INDICATES FLOW LINE
  - INDICATES INVERT GRADE
  - INDICATES FINISH SURFACE
  - INDICATES TOP OF GRATE
  - INDICATES WATER METER
  - INDICATES UTILITY VAULT
  - INDICATES CABLE TV VAULT
  - INDICATES TELEPHONE RISER
  - INDICATES GAS METER
  - INDICATES GAS VAULT
  - INDICATES PACIFIC BELL VAULT
  - INDICATES EDISON VAULT
  - INDICATES BOLLARD
  - INDICATES SEWER CLEAN OUT
  - INDICATES SEWER MANHOLE



DEMOLITION PLAN

NOTE:  
ALL DRAIN PIPE SLOPE AT 1.0%  
UNLESS OTHERWISE NOTED

NOTE:  
SURVEYOR TO FILE CORNER RECORD OR RECORD OF SURVEY  
WITH THE OFFICE OF COUNTY SURVEYOR.

PLAN PREPARED UNDER THE SUPERVISION OF: SEAL

BERNHARD K. MAYER R.C.E. 36866 DATE 01/06/20

8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
 PH: (909) 864-3160, FAX: (909) 864-0850

BENCH MARK:  
 COUNTY OF ORANGE BENCHMARK NO.  
 1E-116-99  
 ELEVATION = 7.587

REVISIONS	

CITY OF NEWPORT BEACH

DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M.

APPROVED: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT. PLANNING DEPARTMENT

PRECISE GRADING PLAN

MONICA LISA CORPORATION  
 DUPLEX

A.P.N. 048-143-20  
 912 EAST OCEAN FRONT  
 NEWPORT BEACH, CA. 92661

W.O. SCALE: FILE NO. SHEET 2 of 3

# TOPOGRAPHIC MAP



SCALE: 1"=10'



**LEGEND:**

- INDICATES EXISTING CONTOUR
- INDICATES EXISTING BLOCK WALL
- INDICATES EX LOT LINE
- INDICATES BOUNDARY LINE
- INDICATES CONCRETE PAVEMENT
- INDICATES EXISTING FENCING
- INDICATES EXISTING PALM TREE
- INDICATES EXISTING BUILDING
- INDICATES WATER METER
- INDICATES UTILITY VAULT
- INDICATES CABLE TV VAULT
- INDICATES TELEPHONE RISER
- INDICATES GAS METER
- INDICATES GAS VAULT
- INDICATES PACIFIC BELL VAULT
- INDICATES EDISON VAULT
- INDICATES BOLLARD
- INDICATES SEWER CLEAN OUT
- INDICATES SEWER MANHOLE

PLAN PREPARED UNDER THE SUPERVISION OF:

SEAL:

*Bernhard K. Mayer*  
BERNHARD K. MAYER R.C.E. 36866 DATE 01/06/20



**SITETECH INC.**

8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
PH: (909) 864-3180, FAX: (909) 864-0850

**BENCH MARK:**

COUNTY OF ORANGE BENCHMARK NO.  
1E-116-99  
ELEVATION = 7.587

**REVISIONS**

NO.	DESCRIPTION	DATE

**CITY OF NEWPORT BEACH**

DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M.

APPROVED: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT.

PLANNING DEPARTMENT

**PRECISE GRADING PLAN**

**MONICA LISA CORPORATION  
DUPLEX**

A.P.N. 048-143-20  
912 EAST OCEAN FRONT  
NEWPORT BEACH, CA. 92661

W.O.

SCALE:

FILE NO.

SHEET 3 of 3



**COMPANIES AND AGENCIES SERVICING THIS PROJECT ARE AS FOLLOWS:**

**WATER/SEWER:**  
 CITY OF NEWPORT BEACH  
 UTILITIES DEPARTMENT  
 949 W 16TH STREET  
 NEWPORT BEACH, CA. 92663  
 PH: (949) 644-3011

**TELEPHONE:**  
 PACIFIC BELL  
 2828 E. CORONADO ST., 2ND FLOOR  
 ANAHEIM, CA. 92807  
 PH: (714) 666-5415

**CABLE:**  
 TIME WARNER CABLE  
 200 PAULARINO AVENUE  
 COSTA MESA, CA. 92626  
 PH: (800) 333-7830

**SCHOOL DISTRICT:**  
 NEWPORT-MESA UNIFIED  
 SCHOOL DISTRICT  
 2985 BEAR STREET  
 COSTA MESA, CA. 92626  
 PH: (714) 424-5000

**POWER:**  
 SOUTHERN CALIFORNIA EDISON CO.  
 1241 GRAND AVENUE  
 SANTA ANA, CA 92705  
 PH: (800) 327-3031

**GAS:**  
 SOUTHERN CALIFORNIA GAS CO.  
 PO BOX 3150  
 SAN DIMAS, CA. 91773  
 PH: (800) 427-2200

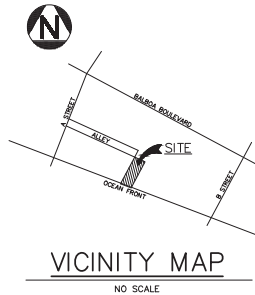
**LEGAL DESCRIPTION:**

LOT 21 OF BALBOA TRACT BLOCK 14 AS RECORDED IN BOOK 4, PAGE 11, MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA

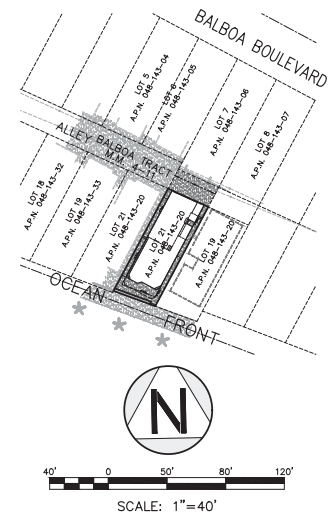
**BASIS OF BEARING:**

THE BASIS OF BEARING FOR THIS PROJECT IS THE CENTERLINE OF OCEAN FRONT PER PARCEL MAP NO. 85-385 BOOK 218, PAGES 9-10 BEING N69°06'53"W.

**OWNER:**  
 MONICA LISA CORPORATION  
 CONTACT: NEVAN TWICK  
 PH: (714) 507-5688  
 EMAIL: vntw@ll22@yahoo.com



# CITY OF NEWPORT BEACH, CALIFORNIA EROSION CONTROL PLAN MONICA LISA CORPORATION DUPLEX 912 EAST OCEAN FRONT A.P.N. 048-143-20



**GENERAL:**

- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
- DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
- WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NBMC.
- NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC.
- THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- PERMITEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
- APPROVED SHORING, DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.
- CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.
- HAUL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
- POSITIVE DRAINAGE SHALL BE MAINTAINED AROUND ALL BUILDING AND SLOPE AREAS.
- FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
- ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 ADS 3000 WITH GLUED JOINTS...
- NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

**EROSION CONTROL**

- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT, DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
- TEMPORARY DESLTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

**REQUIRED INSPECTIONS**

- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTORS WILL BE OUTLINED AT THE MEETING.
- A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTORS WILL BE OUTLINED AT THE MEETING.

**GRADING FILLS/CUTS:**

- STEEPER SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TEST SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILLS SHALL BE KEVED OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILL SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILLS IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
- ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CORING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
- LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBMC.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE ADEQUACY OF THE SLOPE AND THE ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
- NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

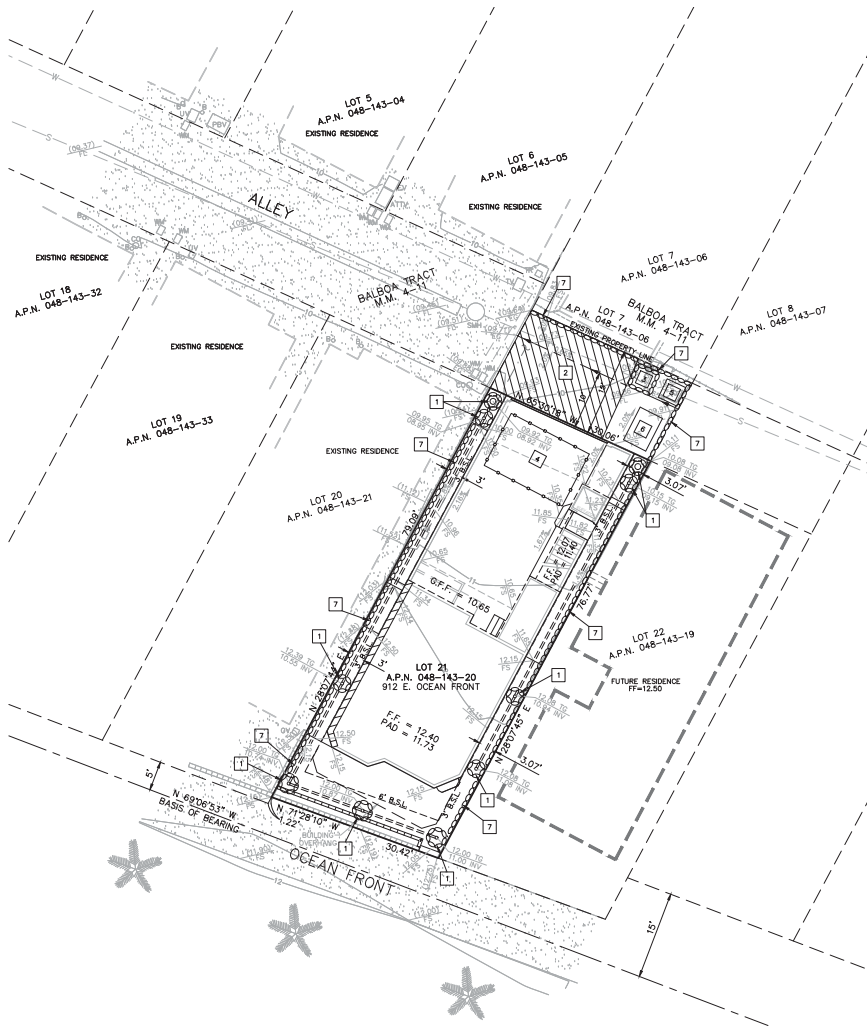
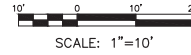
**EROSION CONTROL CONSTRUCTION NOTES:**

QUANTITIES		
1	CONSTRUCT GRAVEL BAG RETENTION BASIN. ARROW DESIGNATES SPILLWAY LOCATION. RETENTION BASIN REQUIRES PERIODIC SEDIMENT REMOVAL.	10 EA.
2	CONSTRUCT TEMPORARY GRAVEL PAD AT ENTRANCE FOR CONSTRUCTION ACCESS. LENGTH = PER CALIFORNIA STORM WATER BMP HANDBOOK TC-1	302 S.F.
3	CONCRETE WASH-OUT PER CALIFORNIA STORM WATER BMP HANDBOOK WM-8.	1 EA.
4	FENCED STORAGE AND DELIVERY AREA PER CALIFORNIA STORM WATER BPM HANDBOOK WM-1	150 S.F.
5	PORTABLE TOILET AREA WITH SECONDARY CONTAINMENT PER CASQA BMP WM-9.	1 EA.
6	DUMPSTER/DISPOSAL AREA PER CASQA BMP WM-5.	1 EA.
7	INSTALL FIBER ROLLS PER CASQA BMP SE-5 OR GRAVEL BAGS (3 HIGH) PER CASQA BMP SE-8 OR SILT FENCE PER CASQA BMP SE-1 AT TOP OR TOE OF SLOPE. PERIODIC SEDIMENT REMOVAL IS REQUIRED.	173 L.F.

**DOCUMENTATION:**

- AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND OR FILL MOVED DURING THE OPERATION.
- A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
- A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

PLAN PREPARED UNDER THE SUPERVISION OF:  BERNHARD M. MAYER R.C.E. 36866 DATE: 01/06/20	SEAL: 	 8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592 PH: (909) 864-3160, FAX: (909) 864-0850	BENCH MARK: COUNTY OF ORANGE BENCHMARK NO. 1E-116-99 ELEVATION = 7.587	REVISIONS <table border="1" style="width: 100%; height: 50px;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>									CITY OF NEWPORT BEACH DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M. APPROVED: _____ CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT. PLANNING DEPARTMENT	EROSION CONTROL PLAN MONICA LISA CORPORATION DUPLEX A.P.N. 048-143-20 912 EAST OCEAN FRONT NEWPORT BEACH, CA. 92661	W.O. SCALE: FILE NO. SHEET 1 of 2

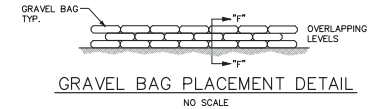
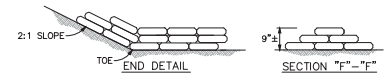


**EROSION CONTROL CONSTRUCTION NOTES:**

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- 7 INSTALL FIBER ROLLS PER CASQA BMP SE-5 OR GRAVEL BAGS (3 HIGH) PER CASQA BMP SE-8 OR SILT FENCE PER CASQA BMP SE-1 AT PROPERTY LINE. PERIODIC SEDIMENT REMOVAL IS REQUIRED.

**LEGEND:**

- - - - - INDICATES EXISTING CONTOUR
- — — — — INDICATES STREET CENTERLINE
- — — — — INDICATES EXISTING BLOCK WALL
- — — — — INDICATES EX STREET RIGHT-OF-WAY
- — — — — INDICATES BOUNDARY LINE
- — — — — INDICATES FLOW LINE
- ▬▬▬▬▬▬ INDICATES CONCRETE PAVEMENT
- ▬▬▬▬▬▬ INDICATES EXISTING FENCING
- ✻ INDICATES EXISTING PALM TREE
- ▭ INDICATES EXISTING BUILDING
- ▭ INDICATES PAD ELEVATION
- ▭ INDICATES FINISH FLOOR ELEVATION
- ▭ INDICATES GARAGE FINISH FLOOR ELEVATION
- FL INDICATES FLOW LINE
- INV INDICATES INVERT GRADE
- FS INDICATES FINISH SURFACE
- TG INDICATES TOP OF GRATE
- WM INDICATES WATER METER
- UV INDICATES UTILITY VAULT
- TV INDICATES CABLE TV VAULT
- TR INDICATES TELEPHONE RISER
- GM INDICATES GAS METER
- GV INDICATES GAS VAULT
- PBV INDICATES PACIFIC BELL VAULT
- EV INDICATES EDISON VAULT
- B INDICATES BOLLARD
- CO INDICATES SEWER CLEAN OUT
- SMH INDICATES SEWER MANHOLE



PLAN PREPARED UNDER THE SUPERVISION OF: SEAL:  
 01/06/20  
 DATE  
 BERNHARD K. MAYER R.C.E. 36866



**SITETECH INC.**  
 8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
 PH: (909) 864-3160, FAX: (909) 864-0850

BENCH MARK:  
 COUNTY OF ORANGE BENCHMARK NO.  
 1E-116-99  
 ELEVATION = 7.587

REVISIONS	

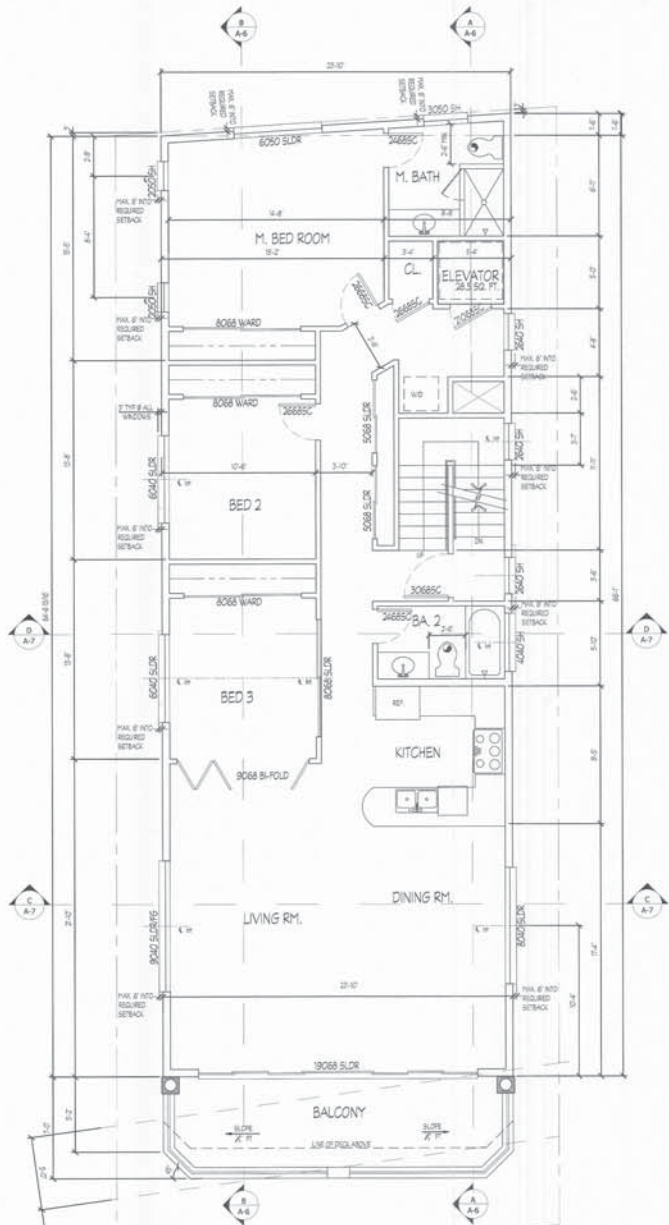
CITY OF NEWPORT BEACH  
 DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M.  
 APPROVED: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_  
 CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT. PLANNING DEPARTMENT

EROSION CONTROL PLAN  
 MONICA LISA CORPORATION  
 DUPLEX  
 A.P.N. 048-143-20  
 912 EAST OCEAN FRONT  
 NEWPORT BEACH, CA. 92661

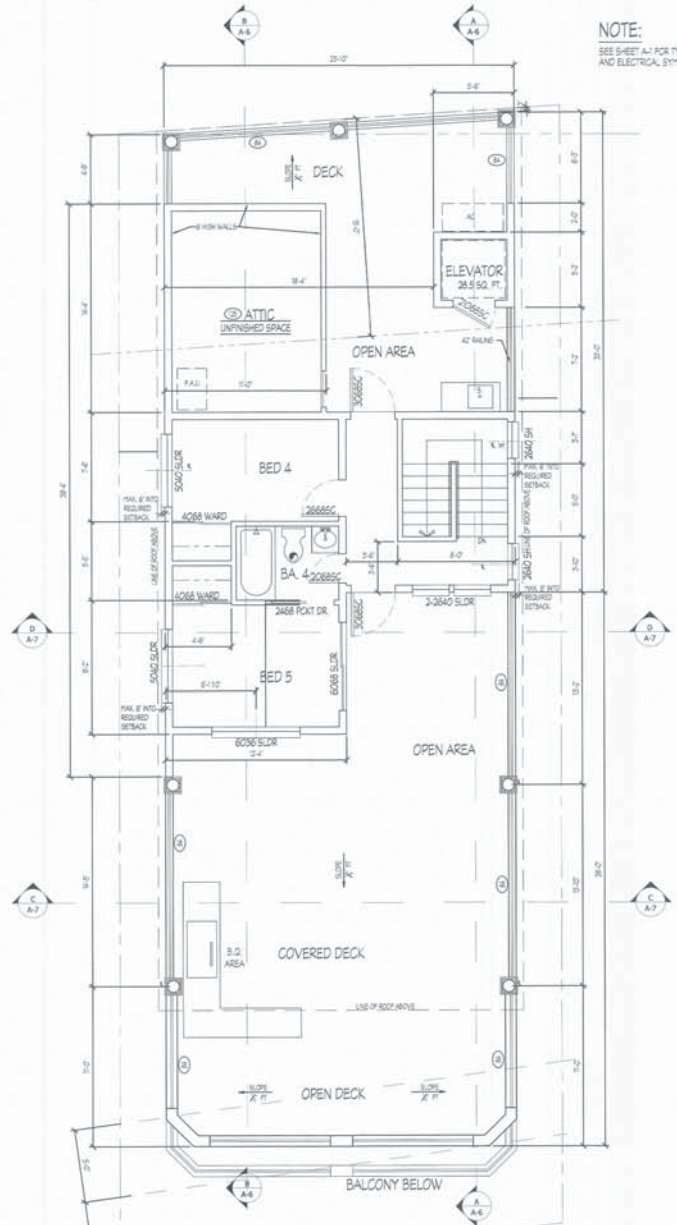
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 FILE NO.  
 SHEET 2 OF 2







SECOND FLOOR PLAN - UNIT 2  
5C-X1-07



THIRD FLOOR PLAN - UNIT 2  
5C-X1-07

NOTE:  
SEE SHEET A1 FOR TYPICAL NOTES  
AND ELECTRICAL SYMBOLS.

REVISIONS	BY

ARCHITECTURE

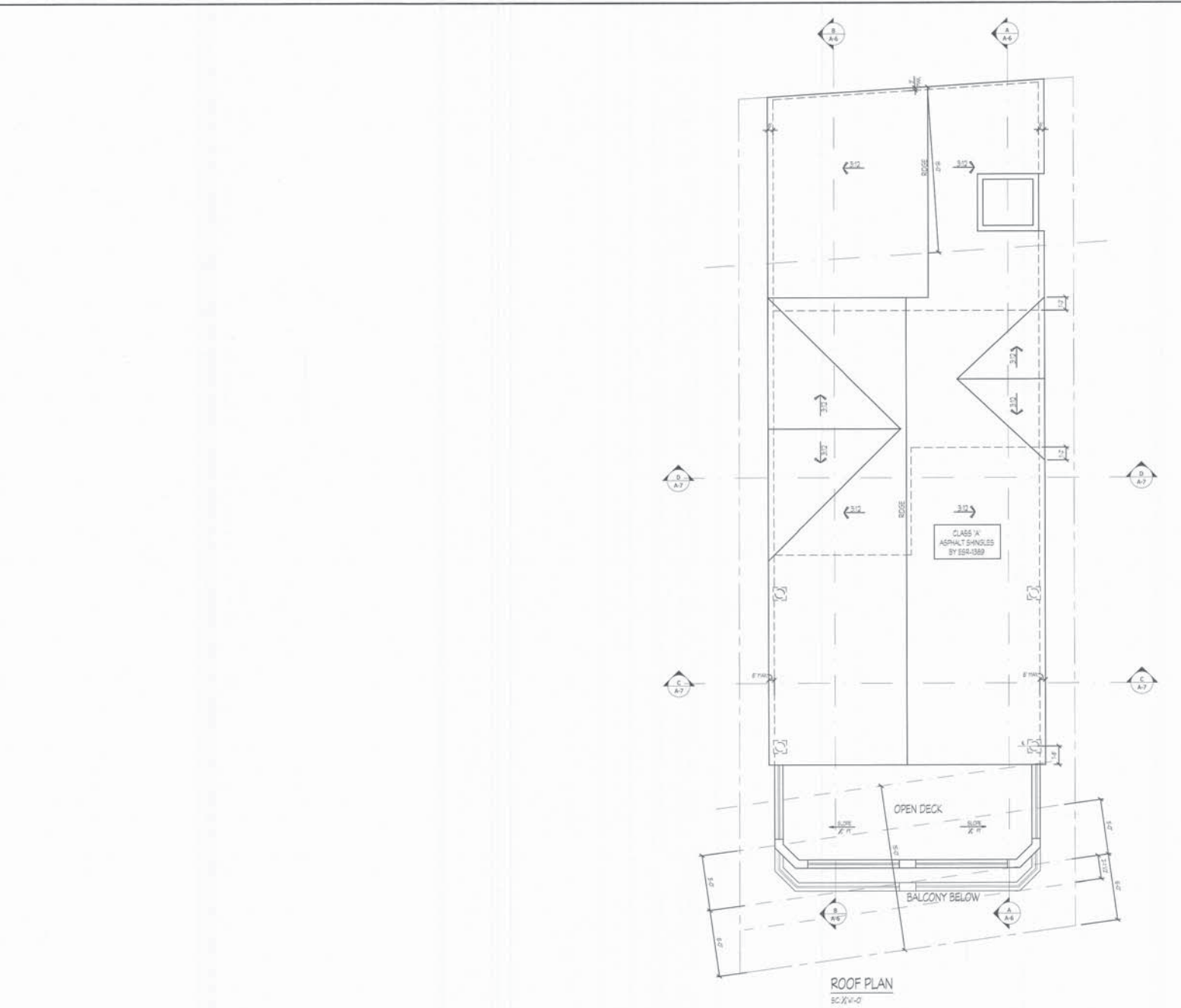
PLANNING

18000 Colton Drive • Huntington Beach, CA 92648  
Phone (714) 514-7000  
E-mail: thecreativegroup.com

PROPOSED NEW RESIDENCE AT 370 E. OCEAN FRONT FOR:  
**MONICA LISA CORPORATION**  
278 E. LINCOLN AVENUE,  
ANNENY, CA 92606  
(714) 393-6036

	DRAWN
	CHECKED
	DATE
	SCALE
	JOB NO.
	SHEET
	A-2
	SHEETS

ALL PROJECT DOCUMENTS, DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS ARE PREPARED BY ARCHITECTS, ENGINEERS, PLANNERS AND OTHER PROFESSIONALS AND REPRESENTATIVES OF FIRMS WHO ARE THE PROPERTY OF THE USER GROUP. ARCHITECTS AND ENGINEERS SHALL BE RESPONSIBLE TO THE PUBLIC. THE PROJECT DOCUMENTS SHALL BE USED BY THE USER GROUP FOR THE PROJECT ONLY AND NOT BE REPRODUCED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE USER GROUP. ARCHITECTS, ENGINEERS, PLANNERS AND OTHER PROFESSIONALS SHALL BE RESPONSIBLE TO THE PUBLIC.



- ROOF PLAN NOTES:**
- CLASS 'A' ASPHALT SHINGLES BY ESA-1589
  - ROOF FUTURE DOWNSPOUTS SHALL BE 7/8" DIA. FOR EVERY 60 SQ. FT. OF AREA REQUIRED FOR AREA WITH 3/8" MIN. CLEARANCE
  - ES 21-1 TO 21-50 4" x 6" SQ. FT. 30.0% CORE RESISTANCE 3/16" MESH 1/4" DIA. TO DOWNSPOUTS WITH CORE RESISTANCE 3/16" MESH 1/4" DIA. TO 21-1 TO 21-50
  - FLASHING 2"x6"
  - 6" ROOF EDGE 2"x6"
  - WATER AND DOWNSPOUTS PER OWNER
  - CHART STRIPS TO ROOF DRAIN AND OVERFLOW DRAIN
  - 2" DIA. FRISK
  - 3/8" DIA. ROOF DRAIN AND OVERFLOW DRAIN, 3/8" DIA. HORIZ. AND 2" DIA. VERT.

**ROOF PLAN**  
SC-X-0

REVISIONS	BY

ARCHITECTURE

PLANNING

LANDSCAPE

CONSTRUCTION

MONICA LISA CORPORATION

1990 Columbia Circle, Huntington Beach, CA 92648  
Phone: (714) 965-6626  
Email: mlcorp@mlcorp.com

PROPOSED NEW RESIDENCE AT 912 E. OCEAN FRONT FOR  
**MONICA LISA CORPORATION**  
 270 E. LINCOLN AVENUE,  
 ANAHEIM, CA 92806  
 (714) 965-6626

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<b>A-3</b>

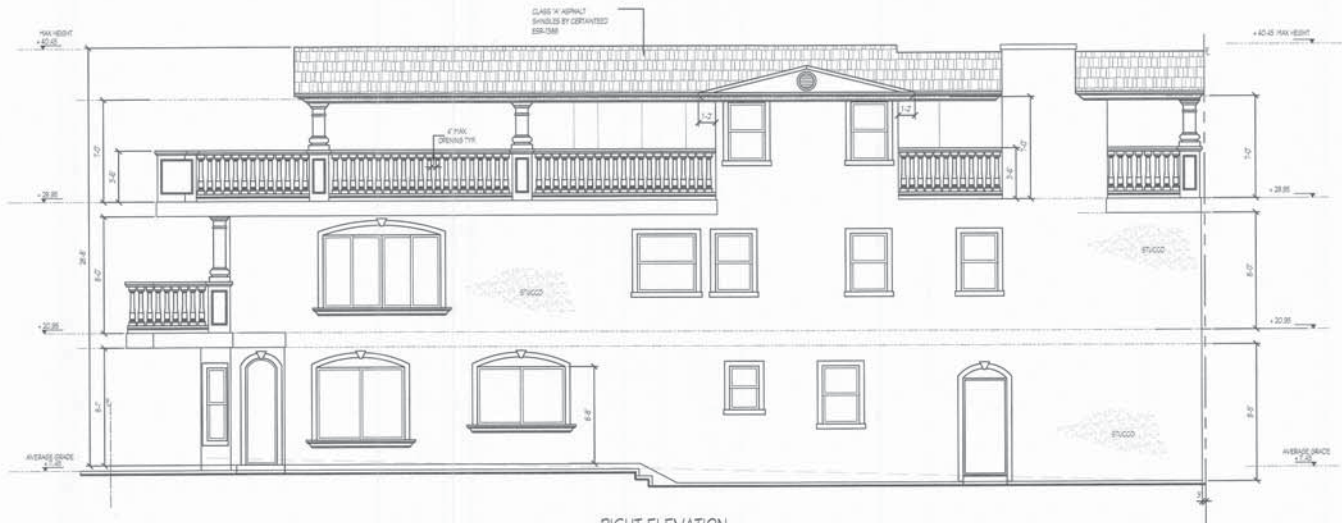
OF SHEETS



REAR ELEVATION  
SC 1/4"=1'-0"



FRONT ELEVATION  
SC 1/4"=1'-0"



RIGHT ELEVATION  
SC 1/4"=1'-0"

EXTERIOR ELEVATION NOTES

- 1 CLASS 'N' ASPHALT SHINGLES BY 684-389
- 2 1/2" DIA. SCREENED VENT HOLES BY 6206 RESISTANT PHS, PESH OR 2" DIA. VENT FINALS TO GAF. BRGD. VERIFY
- 3 ROOFATIC CORNER VENTS, TYP. 1/2" DIA. VENT FOR EASY INSTALLATION. VERIFY LOCATION.
- 4 2" DIA. VENT HOLES REQUIRED FOR ANY ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED.
- 5 21" ROOF DOWNS, TYP.
- 6 1" SAND STUCCO
- 7 1/2" SAND STUCCO OVER CLASS 'D' PAPER - USE 2" AFTER OVER 5" W. TYP. VERIFY LOCATION.
- 8 1/2" TILES AND DOWNSPOUTS.
- 9 1/2" FLASHING AT ALL DOOR AND WINDOW HEADS, TYP.
- 10 1/2" WEATHER BOARD, TYP.
- 11 1/2" WEATHER BOARD, TYP.
- 12 STONE VENER
- 13 BOARD & BATTEN
- 14 2" DIA. CAP - VERIFY TYPE.

REVISIONS	BY

ARCHITECTURE

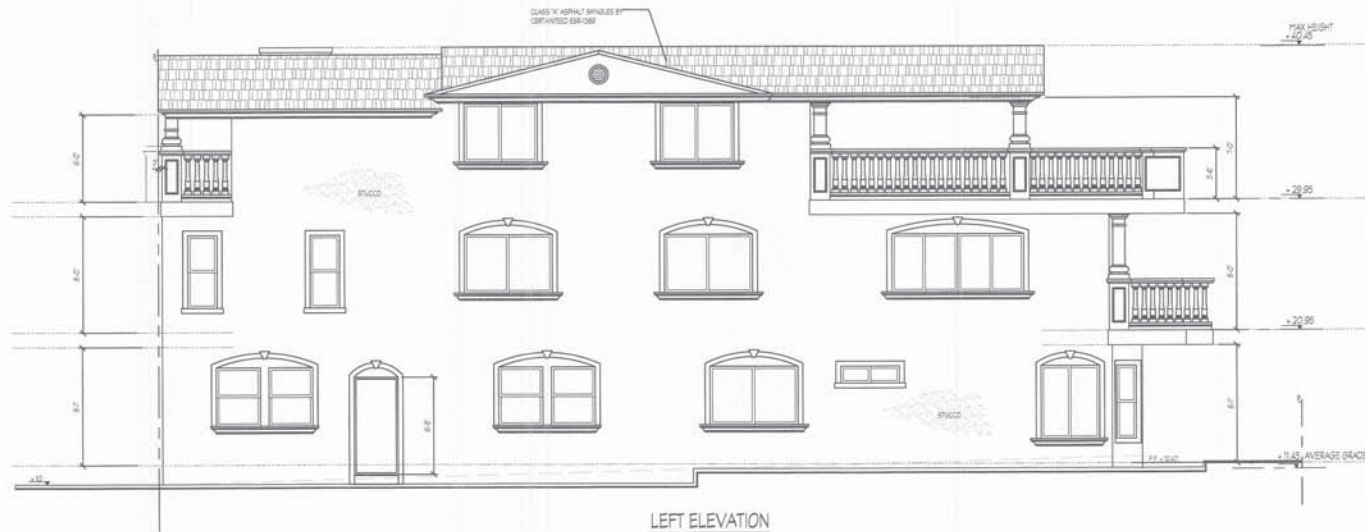
PLANNING

1930 Colburn Court, Huntington Beach, CA 92648  
(714) 395-6636  
Email: info@group18.com

PROPOSED NEW RESIDENCE AT 971 E. OCEAN FRONT DR.  
**MONICA LISA CORPORATION**  
 278 E. LINCOLN AVENUE,  
 ANAHEIM, CA 92806  
 (714) 395-6636

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A-4
OF SHEETS

ALL PROJECT DOCUMENTS - DESIGN, SPECIFICATIONS AND OTHER INFORMATION OR REPRESENTATION OF AN ARCHITECT, ENGINEER OR OTHER PROFESSIONAL PERSON SHALL BE THE PROPERTY OF THE GROUP 18 ARCHITECTURE, INC. PROJECT DOCUMENTS SHALL BE USED ONLY ON THE SPECIFIC PROJECT OR PROJECTS SPECIFIED IN THE CONTRACTUAL AGREEMENT BETWEEN THE GROUP 18 ARCHITECTURE AND THE CLIENT. NO PROJECT DOCUMENTS SHALL BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE GROUP 18 ARCHITECTURE.



**EXTERIOR ELEVATION NOTES**

- 1 CLASS 'X' ASPHALT SHINGLES BY SPAN-1000
- 2 1/2\"/>

REVISIONS	BY

**PLANNING**  
**Lisa M. Loring**  
**ARCHITECTURE**

Lisa M. Loring  
 19000 Culver Drive, Suite 100, San Juan Capistrano, CA 92675  
 Phone: 949.261.8888

PROPOSED NEW RESIDENCE AT 911 E. OCEAN FRONT FOR:

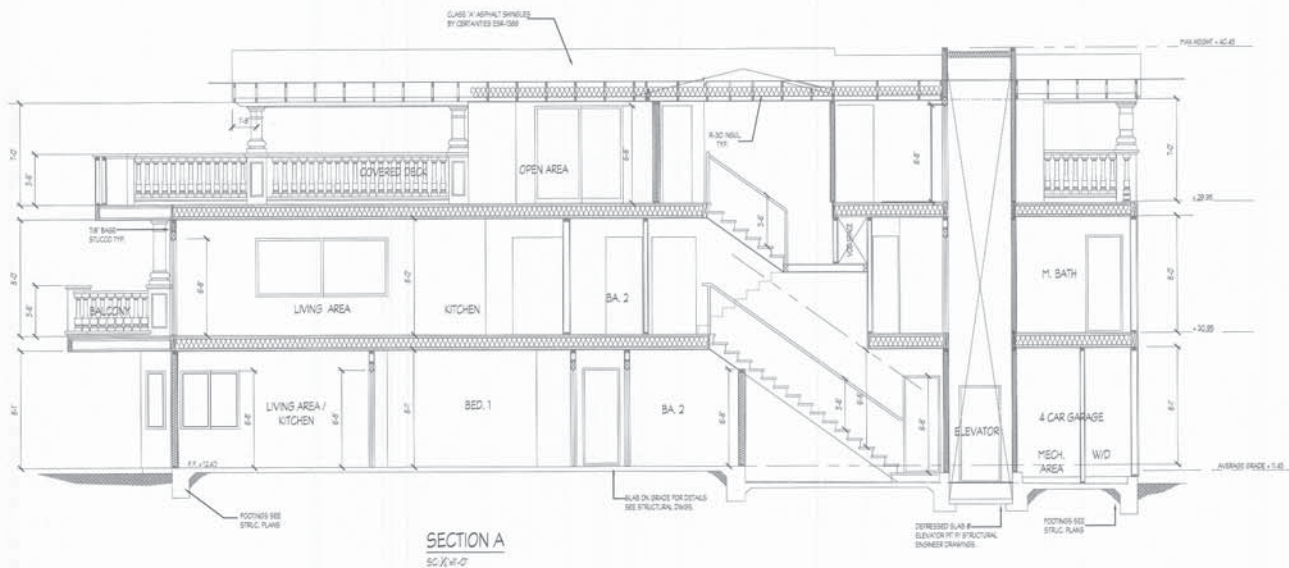
**MONICA LISA CORPORATION**

208 E. LINCOLN AVENUE  
 ANAHEIM, CA 92806  
 (714) 993-6626

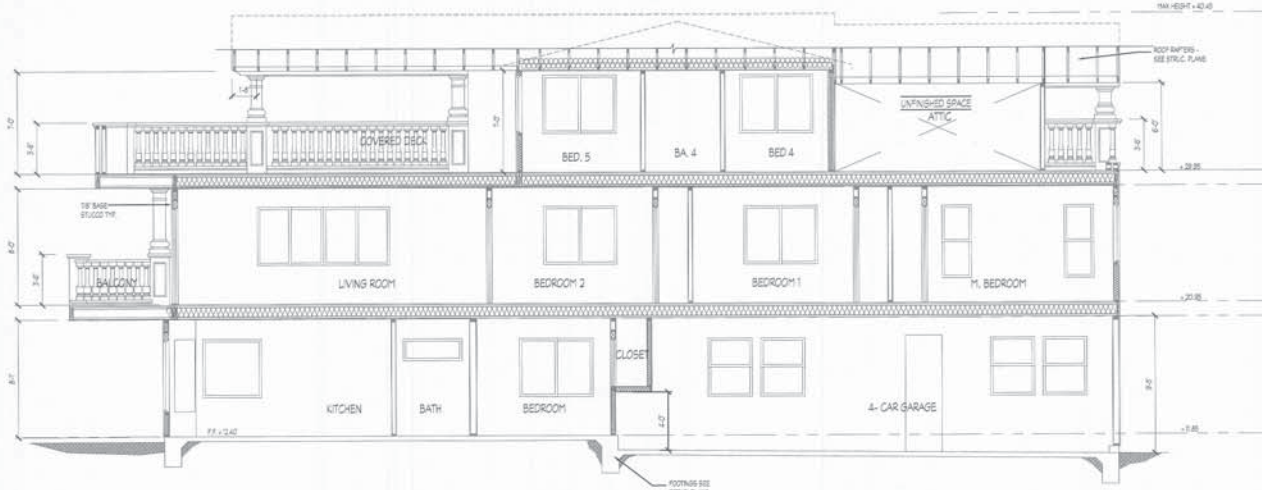
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SECTION A  
SC 1/2"=1'-0"



SECTION B  
SC 1/2"=1'-0"

SECTIONS NOTES:

- 1 CLASS IV ASPHALT SHINGLES BY OSB-308
- 2 R-30 ATTIC INSULATION WITH 1/2" 1x6, 1x8, 1x10 JOIST EVERY 24" O.C. 2" OF ATIC AREA REQUIRED FOR AREAS WITH 30" HEAD CLEARANCE
- 3 1/2" R-10 ROOF EDGE - TYP.
- 4 2" STUCCO OVER 1/2" CLASS 17 PAPER - USE 2 - LAYERS OVER R-10 TYP.
- 5 42" HIGH BALUS WITH 1/4" 3" TYP. OPENINGS - TYP.
- 6 1/2" FLASHING AT ALL DOOR AND WINDOW HEADS - TYP.
- 7 1/2" WEST SCROED 2x4 BA. FIN. - TYP.
- 8 1/2" FLASHING
- 9 1/2" ROOF RAFTER CAP - TYP.
- 10 1/2" ROOF DRAIN OVER 1/2" ON DRAIN BUTTER AND DOWNSPOUT
- 11 STUCCO SLOPE
- 12 R-30 INSULATION
- 13 5/8" X 1/2" SHANK BARBER PLYWOOD ROOF SHEATHING (MIN. 1/2")
- 14 FRAMING - SEE STRUCTURAL
- 15 FOUNDATION - SEE STRUCTURAL
- 16 1/2" DRY BRK.
- 17 5/8" DRY BRK. (1-HOUR)
- 18 1/2" SHANK BARBER PLYWOOD MUST BE USED AS FIN. OF ROOF SHEATHING
- 19 1/2" PLYWOOD SHEATHING

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Landscape  
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PROPOSED NEW RESIDENCE AT 915 E. OCEAN FRONT FOR  
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SECTION C  
SC-XV-D



SECTION D  
SC-XVI-D

SECTIONS NOTES:

- 1. GABLE W/ APPROX 8 INCHES BY 8 INCHES
- 2. ROOF AT 1/2 CORNER LEVELS - TYP. 1/2" X 10" AT CORNERS
- 3. 20 SQ. FT. OF ATTIC AREA REQUIRED FOR ABOVE WITH 30" HEAD CLEARANCE
- 4. #1 L. ROOF SIDES - TYP.
- 5. 3/4" RYGGOOD PINE, CLASS 12" RAVER - USE 3 - LAYERS OVER 6" BY 1" TYP.
- 6. 42" HIGH BALUNS WITH MAX. 3 1/2" SPACINGS - TYP.
- 7. #1 PLANKS AT ALL DOOR AND WINDOW HEADS - TYP.
- 8. 1. NEEP SIKED 20 BA PINE - TYP.
- 9. #1 PLANKS
- 10. #1 ROOF TRIMMED 2" BY 1" TYP.
- 11. #1 ROOF TRIM, OVERLAP DOWN, BUTTER AND DOWNSIDE.
- 12. BRUCCO ROOF.
- 13. 6" INSULATION
- 14. 2" INSULATION
- 15. 2" RADIANT BARBER FLYWOOD ROOF SHEATHING (MIN. 1/2")
- 16. FINISHES - SEE STRUCTURAL
- 17. FOUNDATION - SEE STRUCTURAL
- 18. 12" O.P. BRD
- 19. 8" O.P. BRD (0-HOUR)
- 20. RADIANT BARBER FLYWOOD MUST BE USED AS PART OF ROOF SHEATHING
- 21. 1" RYGGOOD SHEATHING

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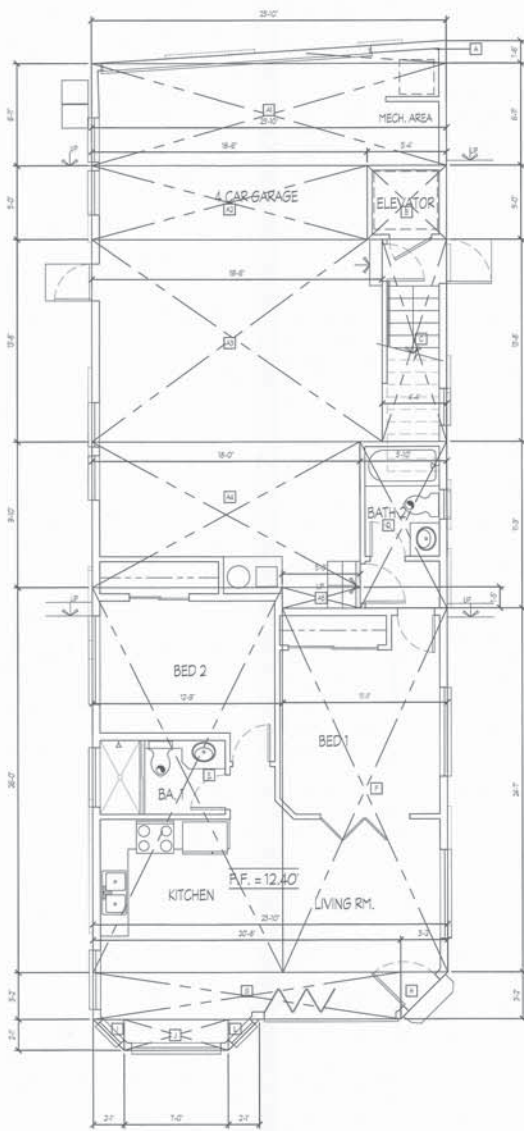
THE GROUP INC.  
ARCHITECTURE

1800 Colburn Court, Suite 100, San Ramon, CA 94583  
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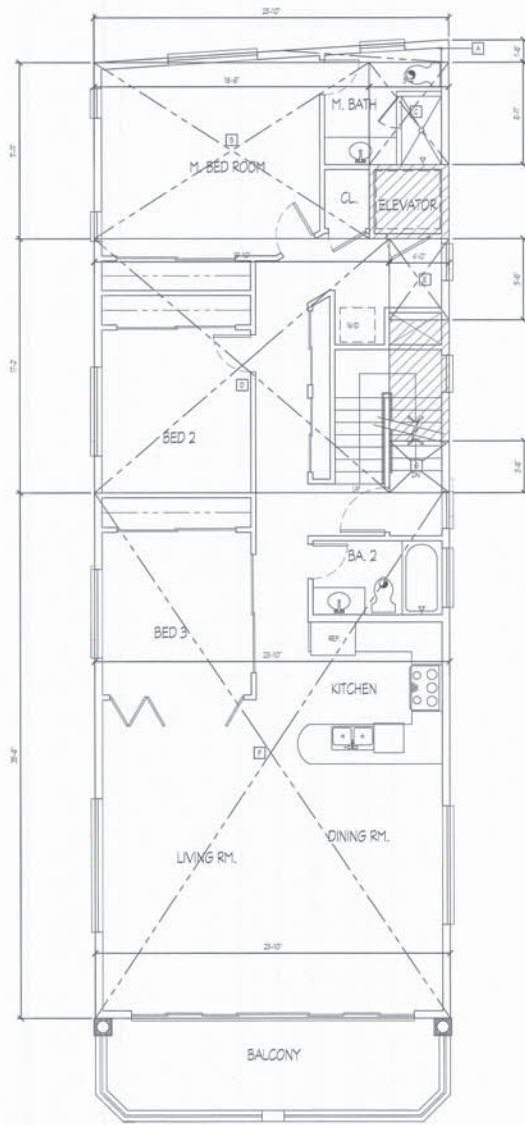
PROPOSED NEW RESIDENCE AT 971 E. OCEAN FRONT DR.  
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 ANIMAS PLAZA #2006  
 (714) 392-6628

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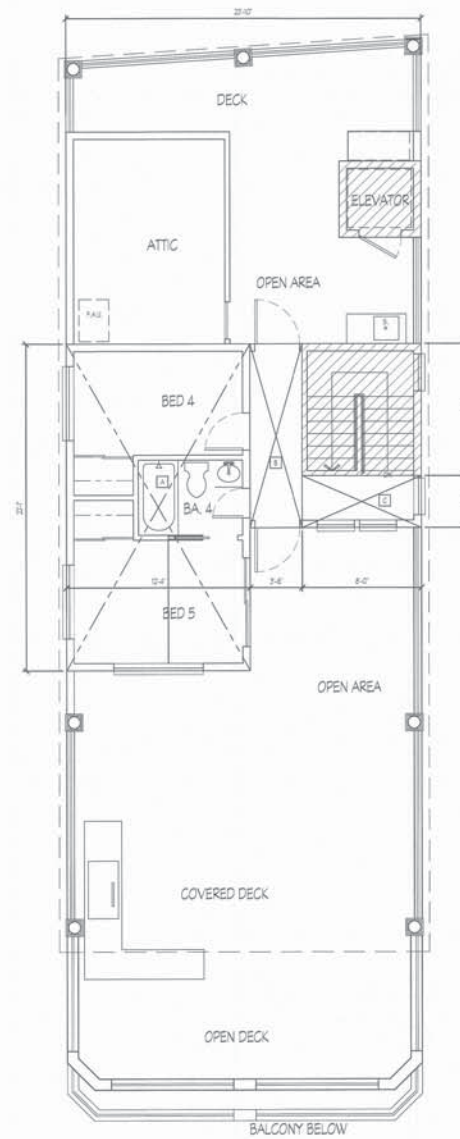
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FIRST FLOOR PLAN - UNIT 1  
SC: 1/8"=1'-0"



SECOND FLOOR PLAN - UNIT 2  
SC: 1/8"=1'-0"



THIRD FLOOR PLAN - UNIT 2  
SC: 1/8"=1'-0"

FIRST FLOOR AREAS CALCULATIONS

A	28'-0" x 1'-4"	18.95 SQ. FT.
B	23'-0" x 6'-1"	84.78 SQ. FT.
C	18'-4" x 5'-2"	82.42 SQ. FT.
D	18'-4" x 12'-4"	208.40 SQ. FT.
E	18'-0" x 8'-0"	144.00 SQ. FT.
F	5'-3" x 1'-0"	7.44 SQ. FT.
G	TOTAL GARAGE	128.40 SQ. FT.
H	5'-4" x 5'-0"	26.87 SQ. FT.
I	4'-4" x 3'-4"	39.39 SQ. FT.
J	5'-0" x 5'-0"	69.66 SQ. FT.
K	12'-8" x 28'-0"	357.92 SQ. FT.
L	11'-1" x 26'-7"	294.83 SQ. FT.
M	20'-4" x 3'-2"	65.28 SQ. FT.
N	3'-2" x 3'-2"	3.07 SQ. FT.
O	20'-0" x 2'-0" x 2	2.00 SQ. FT.
P	10'-0" x 4" x 2'-0" x 2	14.22 SQ. FT.
Q	2'-0" x 2'-0" x 2	2.00 SQ. FT.
R	TOTAL LIVING	848.80 SQ. FT.

SECOND FLOOR AREAS CALCULATIONS

A	28'-0" x 1'-4"	18.95 SQ. FT.
B	18'-4" x 1'-0"	22.28 SQ. FT.
C	5'-4" x 6'-0"	32.47 SQ. FT.
D	19'-0" x 11'-2"	212.60 SQ. FT.
E	4'-0" x 3'-4"	22.56 SQ. FT.
F	23'-0" x 28'-4"	653.08 SQ. FT.
G	4'-0" x 3'-4"	14.00 SQ. FT.
H	TOTAL LIVING	1488.00 SQ. FT.

THIRD FLOOR AREAS CALCULATIONS

A	12'-4" x 22'-0"	272.80 SQ. FT.
B	3'-4" x 12'-0"	41.28 SQ. FT.
C	8'-0" x 3'-0"	24.00 SQ. FT.
D	TOTAL LIVING	338.08 SQ. FT. MAX.

LEGEND:  
 NOT A PART

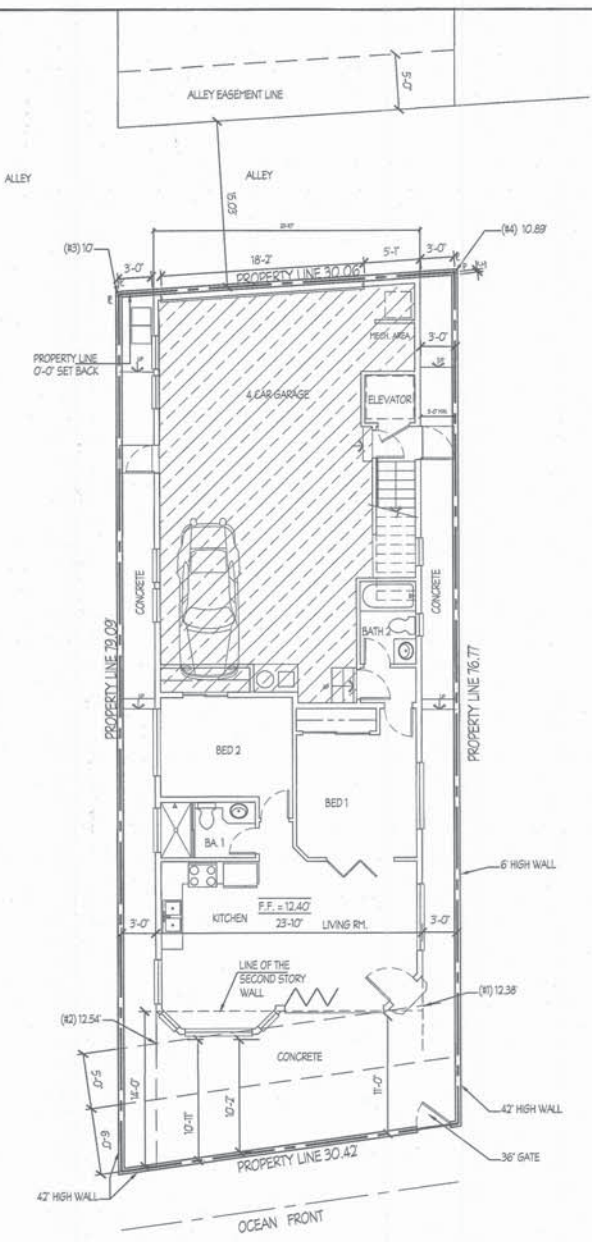
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 THE  
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 Email: theplanninggroup.com

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 (714) 393-6626

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LANDSCAPE PLAN  
80: 3/16" = 1'-0"

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ARCHITECTURE

PLANNING

Life Group

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PROPOSED NEW RESIDENCE AT 910 E. OCEAN FRONT FOR:  
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(714) 393-6626

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**COMPANIES AND AGENCIES SERVING THIS PROJECT ARE AS FOLLOWS:**

**WATER/SEWER:**  
 CITY OF NEWPORT BEACH UTILITIES DEPARTMENT  
 949 W 16TH STREET  
 NEWPORT BEACH, CA. 92663  
 PH: (949) 644-3011

**POWER:**  
 SOUTHERN CALIFORNIA EDISON CO.  
 1241 GRAND AVENUE  
 SANTA ANA, CA 92705  
 PH: (800) 327-3031

**GAS:**  
 SOUTHERN CALIFORNIA GAS CO.  
 PO BOX 3150  
 SAN DIMAS, CA. 91773  
 PH: (800) 427-2200

**TELEPHONE:**  
 PACIFIC BELL  
 2828 E. CORONADO ST., 2ND FLOOR  
 ANAHEIM, CA. 92807  
 PH: (714) 666-5415

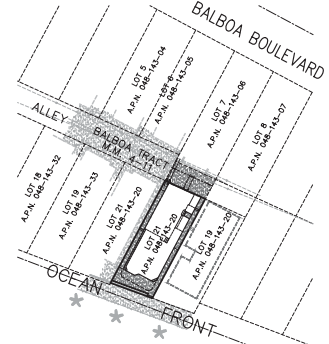
**CABLE:**  
 TIME WARNER CABLE  
 200 PAULMARINO AVENUE  
 COSTA MESA, CA. 92626  
 PH: (800) 333-7830

**SCHOOL DISTRICT:**  
 NEWPORT-MESA UNIFIED SCHOOL DISTRICT  
 2985 BEAR STREET  
 COSTA MESA, CA. 92626  
 PH: (714) 424-5000



VICINITY MAP  
 NO SCALE

# CITY OF NEWPORT BEACH, CALIFORNIA PRECISE GRADING PLAN MONICA LISA CORPORATION DUPLEX 912 EAST OCEAN FRONT A.P.N. 048-143-20



**EARTHWORK QUANTITY ESTIMATE:**

QUANTITIES	CUT	FILL
	45 C.Y.	45 C.Y.
		(INCLUDING LOSSES)

**NOTE:**  
 SEE SOILS REPORT FOR ACCURATE SOILS RESPONSE FACTORS. QUANTITIES SHOWN ABOVE ARE ESTIMATES ONLY.

**LEGAL DESCRIPTION:**

LOT 21 OF BALBOA TRACT BLOCK 14 AS RECORDED IN BOOK 4, PAGE 11, MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA

**BASIS OF BEARING:**

THE BASIS OF BEARING FOR THIS PROJECT IS THE CENTERLINE OF OCEAN FRONT PER PARCEL MAP NO. 85-385 BOOK 218, PAGES 9-10 BEING N69°06'53"W.

**DOCUMENTATION:**

1. AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
2. A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
3. A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

**CONSTRUCTION NOTES:**

1. REMOVE EXISTING BUILDING
2. REMOVE EXISTING CONCRETE
3. REMOVE EXISTING WOOD DECK
4. REMOVE EXISTING BRICK PAVERS
5. INSTALL 6" DIA. P.V.C. PIPE, SCHEDULE 40 (OR EQUIVALENT) SLOPE AT 1.0% MIN GRADE.
6. INSTALL 24" DIA "HIGH FLOW-WELL" DRYWELL WITH "FLOW-WELL" COVER.
7. NEW MASONRY WALL PER 914 E. OCEAN FRONT GRADING PLANS.
8. CONSTRUCT 6" THICK CONCRETE ALLEY PER CITY OF NEWPORT BEACH STD-140-L.
9. CONSTRUCT 4" THICK CONCRETE PAVING.
10. CONSTRUCT DRAINAGE SMALE DRAIN AT 1.0% IN CONCRETE.
11. SIDEWALK AREA TO DRAIN AT 1.0% MINIMUM, 2.0% MAXIMUM GRADE.
12. INSTALL 4" NDS SPEE-D CATCH BASIN WITH BRASS GRADE IN SIDEWALK AREA.
13. CONSTRUCT PLANTER WALL PER ARCHITECTURAL PLANS.
14. PROVIDE MINIMUM DISTANCE BETWEEN EXTERIOR FINISH GRADE AND BOTTOM OF TREATED SILL PLATES FOLLOWS: a. 3" TO CONCRETE FINISH b. 8" TO SOIL.
15. CONSTRUCT BUILDING STEM WALL PER ARCHITECTURAL PLANS.
16. ABANDON EXISTING WATER METER AND SERVICE AT MAIN PER CITY STANDARDS.
17. INSTALL SEWER LATERAL WITH CLEANOUT PER CITY STANDARD STD-406-L.
18. GAS COMPANY TO INSTALL NEW GAS METER.
19. PROPOSED ELECTRICAL METER - COORDINATE POINT OF CONNECTION WITH S.C.E.
20. INSTALL NEW 1" WATER METER AND SERVICE PER CITY STANDARD STD-502-L.

**ESTIMATED QUANTITIES:**

1	977 S.F.
2	547 S.F.
3	186 S.F.
4	255 S.F.
5	157 L.F.
6	2 EA.
7	
8	438 S.F.
9	715 S.F.
10	30 L.F.
11	
12	8 EA.
13	27 L.F.
14	
15	31 L.F.
16	1 EA.
17	2 EA.
18	1 EA.
19	1 EA.
20	2 EA.

**HARRINGTON GEOTECHNICAL CLEARING AND GRADING RECOMMENDATIONS:**

THE FOLLOWING RECOMMENDATIONS REFLECT OUR BEST ASSESSMENT OF PROJECT CONDITIONS AND REQUIREMENTS BASED ON ANALYSIS AND EVALUATION OF RESULTS REPORTED HEREIN. THESE RECOMMENDATIONS ARE PROVIDED SUBJECT TO REVIEW OF GRADING AND FOUNDATION PLANS AND LOADS, AND TO CONFIRMATION OF ANTICIPATED CONDITIONS DURING GRADING AND/OR FOUNDATION CONSTRUCTION. ADDITIONAL RECOMMENDATIONS MAY BE PROVIDED IF DIFFERING CONDITIONS ARE ENCOUNTERED.

**SITE CLEARING AND GRADING:**

AFTER DEMOLITION OF THE EXISTING IMPROVEMENTS, ALL RESULTING DEBRIS SHOULD BE REMOVED SO AS NOT TO CONTAMINATE THE SOIL DURING GRADING. ANY DISTURBED SOIL AT THE BOTTOM OF THE ORIGINAL POOL CAVITY SHOULD BE REMOVED. IN ORDER TO DEVELOP INCREASED, UNIFORM SUPPORT FOR THE NEW IMPROVEMENTS, THE SOIL THROUGHOUT THE SITE SHOULD BE REMOVED AND/OR SCARIFIED IN PLACE, MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT, AND MECHANICALLY COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% BASED ON THE RESULTS OF COMPACTION TESTS PERFORMED IN ACCORDANCE WITH ASTM TEST METHOD D1557.

THE POOL CAVITY SHOULD BE FILLED WITH SOIL PLACED IN THIN LOOSE LIFTS, MOISTURE CONDITIONED AND COMPACTED AS INDICATED ABOVE. IF IMPORTED SOIL IS NEEDED TO COMPLETE FILLING THE CAVITY IT SHOULD BE GRANULAR SOIL SIMILAR TO SITE MATERIAL AND SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO BEING BROUGHT ON-SITE. FINAL ACCEPTANCE OF THE IMPORT SHOULD BE BASED ON ON-SITE REVIEW/TESTING.

ALL ADDITIONAL FILL REQUIRED TO ACHIEVE FINISHED GRADE ELEVATIONS SHOULD CONSIST OF APPROVED IMPORT AND SHOULD BE CONSTRUCTED AS RECOMMENDED ABOVE.

THE FOREGOING RECOMMENDATIONS ARE TENTATIVE AND SUBJECT TO SOME REVISION AFTER THE SITE GRADING AND FOUNDATION PLANS HAVE BEEN COMPLETED AND SENT TO THIS OFFICE FOR GEOTECHNICAL REVIEW. AFTER OUR REVIEW HAS BEEN COMPLETED, A LETTER/REPORT WILL BE ISSUED CONFIRMING THESE RECOMMENDATIONS OR PROVIDING REVISED RECOMMENDATIONS.

**GRADING OBSERVATIONS AND TESTING:**

GRADING AND COMPACTION OPERATIONS SHOULD BE OBSERVED AND TESTED BY MEMBERS OF OUR STAFF SO THAT ANTICIPATED SOIL CONDITIONS CAN BE CONFIRMED AND THE RECOMMENDATIONS CONTAINED HEREIN AND/OR IN THE GRADING/PLAN REVIEW LETTER/REPORT VALIDATED. IF DEEMED NECESSARY AS A RESULT OF CHANGED CONDITIONS, SUPPLEMENTAL RECOMMENDATIONS MAY BE PROVIDED DURING GRADING. RESULTS OF THESE OBSERVATIONS AND TESTS SHOULD BE PROVIDED IN THE FINAL REPORT WHICH SHOULD INCLUDE A STATEMENT BY THE GEOTECHNICAL ENGINEER CONCERNING THE ADEQUACY OF THE COMPLETED WORK.

**PRE-GRADE MEETING:**

IT IS SUGGESTED THAT A PRE-GRADE MEETING BE ARRANGED AT THE SITE TO DISCUSS THIS REPORT AND PROJECT REQUIREMENTS PRIOR TO COMMENCEMENT OF GRADING.

**CONCRETE QUALITY:**

CONCRETE USED ON THIS PROJECT MAY CONTAIN TYPE II CEMENT AND, PER SECTION 1904.3 OF THE 2007 CALIFORNIA BUILDING CODE, SHOULD COMPLY WITH ACI 318, SECTION 4.3, TABLE 4.3.1.

**CONCRETE FLATWORK:**

EXTERIOR CONCRETE FLATWORK SHOULD BE CONSTRUCTED WITH LOW-SLUMP CONCRETE TO MINIMIZE SHRINKAGE AND SHOULD BE PROVIDED WITH ADEQUATE CONSTRUCTION/EXPANSION JOINTS TO CONTROL CRACKING. NOMINAL REINFORCEMENT IS RECOMMENDED FOR THE NEW DRIVEWAY.

**BACKFILLS:**

IT IS RECOMMENDED THAT BACKFILLS FOR STRUCTURAL ASSESSMENT AND UTILITY TRENCHES BE MECHANICALLY COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION. BACKFILLING OF TRENCHES WITH SAND JETTED OR FLOODED INTO PLACE SHOULD NOT BE ALLOWED.

**CONSTRUCTION OBSERVATIONS:**

IN ADDITION TO PERFORMING OBSERVATIONS AND TESTS DURING SITE CLEARING AND GRADING, IT IS RECOMMENDED THAT A MEMBER OF OUR STAFF OBSERVE, TEST AND GEOTECHNICALLY APPROVE ALL FOUNDATION EXCAVATIONS, UTILITY TRENCH BACKFILLS, AND DRIVEWAY/MISCELLANEOUS CONCRETE FLATWORK SUBGRADE PREPARATION.

**GENERAL:**

1. ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
2. DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE.
3. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
4. WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAY; AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NBMC.
5. NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC.
6. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
7. PERMITTEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
8. APPROVED SHORING, DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.
9. CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.
10. HAIL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
11. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPE AREAS.
12. FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
13. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 ADS 3000 WITH GLUED JOINTS...
14. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

**EROSION CONTROL:**

1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
3. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
4. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

**REQUIRED INSPECTIONS:**

1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
2. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

**GRADING FILLS/CUTS:**

1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
2. FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
3. ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TEST SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
4. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
5. FILLS SHALL BE KEYED OR BENCHED INTO ADJACENT MATERIAL.
6. ALL EXISTING FILL SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
7. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
8. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILLS IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
9. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
10. ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CURING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
11. THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
12. LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NBMC.
13. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
14. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
15. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE ABILITY OF THE SLOPE AND THE ADJACENT STRUCTURES UPON COMPLETION.
16. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
17. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
18. NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

**SURVEY NOTES:**

A PROPERLY LICENSED SURVEYOR OR CIVIL ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY OR OFFSETS BEFORE STARTING GRADING.  
 SURVEYOR OR CIVIL ENGINEER TO FILE CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILLS SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

**SHEET INDEX:**

SHEET 1 AND 2 - PRECISE GRADING PLAN  
 SHEET 3 - TOPOGRAPHIC MAP

**SOILS ENGINEER APPROVAL:**

THESE PLANS HAVE BEEN REVIEWED FROM A GEOTECHNICAL STANDPOINT ONLY. BASED ON THAT REVIEW, IT APPEARS THE PLANS ARE IN GENERAL CONFORMANCE WITH RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THE PROJECT BY R. MCCARTHY CONSULTING, INC.

**SOILS ENGINEER:**  
 MONICA LISA CORPORATION  
 R. MCCARTHY CONSULTING, INC.  
 CONTACT: ROBERT MCCARTHY  
 23 CORPORATE PLAZA, SUITE 150  
 NEWPORT BEACH, CA 92660  
 PH: (949) 629-2529

**OWNER:**  
 MONICA LISA CORPORATION  
 CONTACT: VEVIAN TWIFK  
 PH: (714) 507-5668  
 EMAIL: vtwifk@mls29999.com

ROBERT J. MCCARTHY, G.E., 2490 \_\_\_\_\_ DATE \_\_\_\_\_

PLAN PREPARED UNDER THE SUPERVISION OF:

BERNHARD M. MAYER R.C.E. 36866  
 01/06/20  
 DATE



**SITETECH INC.**  
 8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
 PH: (909) 864-3160, FAX: (909) 864-0850

**BENCH MARK:**  
 COUNTY OF ORANGE BENCHMARK NO. 1E-116-99  
 ELEVATION = 7.587

REVISIONS	

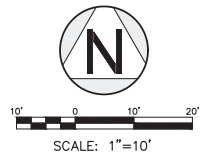
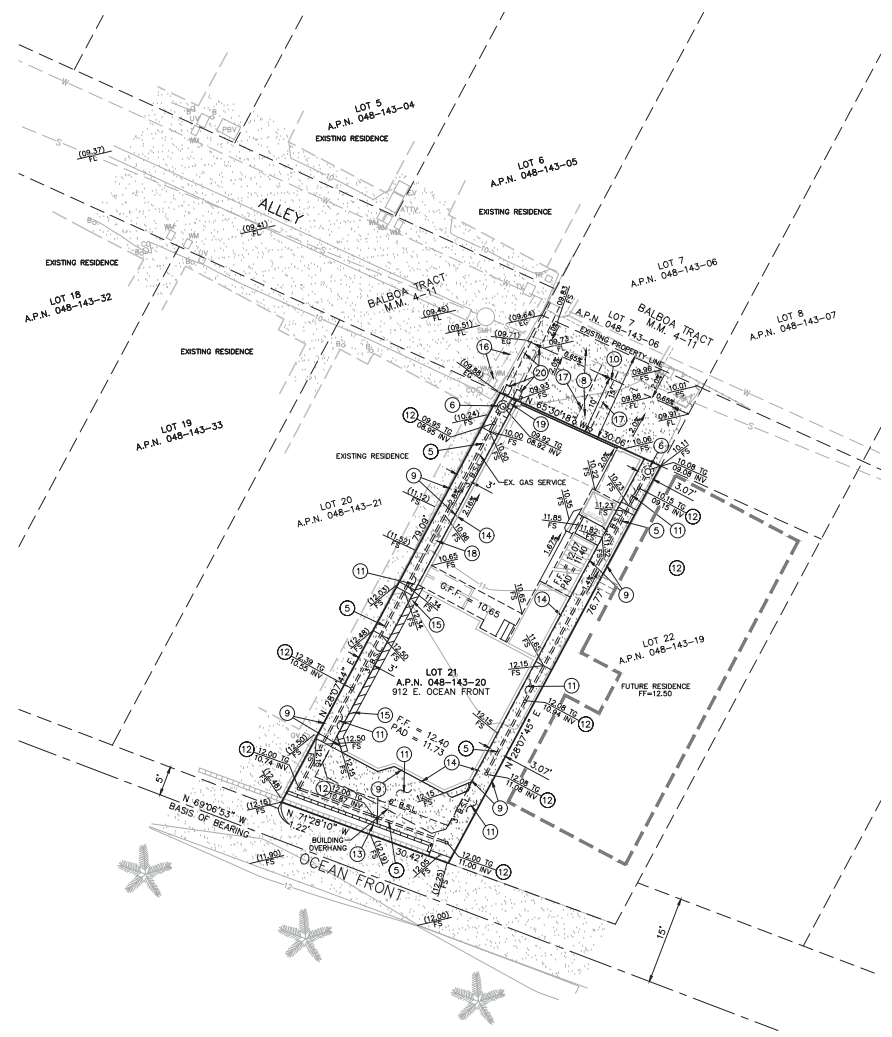
**CITY OF NEWPORT BEACH**

DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M.  
 APPROVED: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_  
 CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT. PLANNING DEPARTMENT

**PRECISE GRADING PLAN**

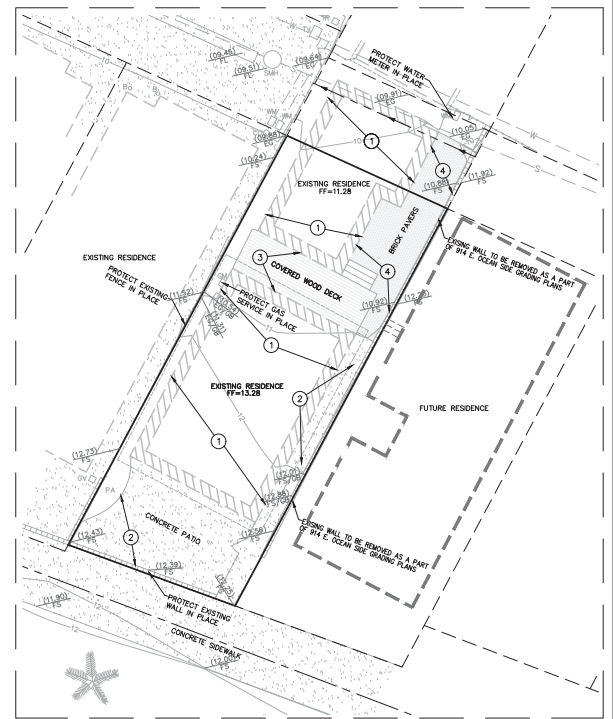
W.O.  
 SCALE:  
 FILE NO.  
 SHEET 1 of 3

MONICA LISA CORPORATION  
 DUPLEX  
 A.P.N. 048-143-20  
 912 EAST OCEAN FRONT  
 NEWPORT BEACH, CA. 92661



- CONSTRUCTION NOTES:**
- 1 REMOVE EXISTING BUILDING
  - 2 REMOVE EXISTING CONCRETE
  - 3 REMOVE EXISTING WOOD DECK
  - 4 REMOVE EXISTING BRICK PAVERS
  - 5 INSTALL 6" DIA. P.V.C. PIPE, SCHEDULE 40 (OR EQUIVALENT) SLOPE AT 1.0% MIN GRADE.
  - 6 INSTALL 24" DIA "HIGH FLOW-WELL" DRYWELL WITH "FLOW-WELL" COVER.
  - 7 NEW MASONRY WALL PER 914 E. OCEAN FRONT GRADING PLANS.
  - 8 CONSTRUCT 6" THICK CONCRETE ALLEY PER CITY OF NEWPORT BEACH STD-140-L.
  - 9 CONSTRUCT 4" THICK CONCRETE PAVING.
  - 10 CONSTRUCT DRAINAGE SWALE DRAIN AT 1.0% IN CONCRETE.
  - 11 SIDEWALK AREA TO DRAIN AT 1.0% MINIMUM, 2.0% MAXIMUM GRADE.
  - 12 INSTALL 4" NDS SPEE-D CATCH BASIN WITH BRASS GRATE IN SIDEWALK AREA.
  - 13 CONSTRUCT PLANTER WALL PER ARCHITECTURAL PLANS.
  - 14 PROVIDE MINIMUM DISTANCE BETWEEN EXTERIOR FINISH GRADE AND BOTTOM OF TREATED SILL PLATES FOLLOWS:  
 a. 3" TO CONCRETE FINISH  
 b. 6" TO SOIL
  - 15 CONSTRUCT BUILDING STEM WALL PER ARCHITECTURAL PLANS.
  - 16 ABANDON EXISTING WATER METER AND SERVICE AT MAIN PER CITY STANDARDS.
  - 17 INSTALL SEWER LATERAL WITH CLEANOUT PER CITY STANDARD STD-406-L
  - 18 GAS COMPANY TO INSTALL NEW GAS METER.
  - 19 PROPOSED ELECTRICAL METER - COORDINATE POINT OF CONNECTION WITH S.C.E.
  - 20 INSTALL NEW 1" WATER METER AND SERVICE PER CITY STANDARD STD-502-L.

- LEGEND:**
- INDICATES REMOVE EXISTING DRIVE APPROACH
  - INDICATES SAWCUT AND REMOVE EXISTING PAVEMENT
  - INDICATES EXISTING CONTOUR
  - INDICATES STREET CENTERLINE
  - INDICATES EXISTING BLOCK WALL
  - INDICATES EX STREET RIGHT-OF-WAY
  - INDICATES BOUNDARY LINE
  - INDICATES FLOW LINE
  - INDICATES CONCRETE PAVEMENT
  - INDICATES EXISTING FENCING
  - INDICATES EXISTING PALM TREE
  - INDICATES EXISTING BUILDING
  - INDICATES PAD ELEVATION
  - INDICATES FINISH FLOOR ELEVATION
  - INDICATES GARAGE FINISH FLOOR ELEVATION
  - INDICATES FLOW LINE
  - INDICATES INVERT GRADE
  - INDICATES FINISH SURFACE
  - INDICATES TOP OF GRATE
  - INDICATES WATER METER
  - INDICATES UTILITY VAULT
  - INDICATES CABLE TV VAULT
  - INDICATES TELEPHONE RISER
  - INDICATES GAS METER
  - INDICATES GAS VAULT
  - INDICATES PACIFIC BELL VAULT
  - INDICATES EDISON VAULT
  - INDICATES BOLLARD
  - INDICATES SEWER CLEAN OUT
  - INDICATES SEWER MANHOLE



DEMOLITION PLAN

NOTE:  
ALL DRAIN PIPE SLOPE AT 1.0%  
UNLESS OTHERWISE NOTED

NOTE:  
SURVEYOR TO FILE CORNER RECORD OR RECORD OF SURVEY  
WITH THE OFFICE OF COUNTY SURVEYOR.

PLAN PREPARED UNDER THE SUPERVISION OF: SEAL

BERNHARD K. MAYER R.C.E. 36866 DATE 01/06/20

**SITETECH INC.**

8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
 PH: (909) 864-3160, FAX: (909) 864-0850

BENCH MARK:  
COUNTY OF ORANGE BENCHMARK NO.  
1E-116-99  
ELEVATION = 7.587

REVISIONS	

CITY OF NEWPORT BEACH

DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M.

APPROVED: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT. PLANNING DEPARTMENT

PRECISE GRADING PLAN

MONICA LISA CORPORATION  
 DUPLEX

A.P.N. 048-143-20  
 912 EAST OCEAN FRONT  
 NEWPORT BEACH, CA. 92661

W.O. SCALE: FILE NO. SHEET 2 of 3

# TOPOGRAPHIC MAP



SCALE: 1"=10'



**LEGEND:**

- INDICATES EXISTING CONTOUR
- INDICATES EXISTING BLOCK WALL
- INDICATES EX LOT LINE
- INDICATES BOUNDARY LINE
- INDICATES CONCRETE PAVEMENT
- INDICATES EXISTING FENCING
- INDICATES EXISTING PALM TREE
- INDICATES EXISTING BUILDING
- INDICATES WATER METER
- INDICATES UTILITY VAULT
- INDICATES CABLE TV VAULT
- INDICATES TELEPHONE RISER
- INDICATES GAS METER
- INDICATES GAS VAULT
- INDICATES PACIFIC BELL VAULT
- INDICATES EDISON VAULT
- INDICATES BOLLARD
- INDICATES SEWER CLEAN OUT
- INDICATES SEWER MANHOLE

PLAN PREPARED UNDER THE SUPERVISION OF:

SEAL:

*B. Mayer*  
BERNHARD K. MAYER R.C.E. 36866 01/06/20 DATE



**SITETECH INC.**

8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
PH: (909) 864-3180, FAX: (909) 864-0850

**BENCH MARK:**

COUNTY OF ORANGE BENCHMARK NO.  
1E-116-99  
ELEVATION = 7.587

**REVISIONS**

NO.	DESCRIPTION	DATE

**CITY OF NEWPORT BEACH**

DRAWN: B.A.M. DESIGNED: J.B.M. CHECKED: B.K.M.

APPROVED: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT.

PLANNING DEPARTMENT

**PRECISE GRADING PLAN**

**MONICA LISA CORPORATION  
DUPLEX**

A.P.N. 048-143-20  
912 EAST OCEAN FRONT  
NEWPORT BEACH, CA. 92661

W.O.

SCALE:

FILE NO.

SHEET **3 of 3**

**COMPANIES AND AGENCIES SERVICING THIS PROJECT ARE AS FOLLOWS:**

**WATER/SEWER:**  
 CITY OF NEWPORT BEACH  
 UTILITIES DEPARTMENT  
 949 W 16TH STREET  
 NEWPORT BEACH, CA. 92663  
 PH: (949) 644-3011

**TELEPHONE:**  
 PACIFIC BELL  
 2828 E. CORONADO ST., 2ND FLOOR  
 ANAHEIM, CA. 92807  
 PH: (714) 666-5415

**CABLE:**  
 TIME WARNER CABLE  
 200 PAULARINO AVENUE  
 COSTA MESA, CA. 92626  
 PH: (800) 333-7830

**SCHOOL DISTRICT:**  
 NEWPORT-MESA UNIFIED  
 SCHOOL DISTRICT  
 2985 BEAR STREET  
 COSTA MESA, CA. 92626  
 PH: (714) 424-5000

**POWER:**  
 SOUTHERN CALIFORNIA EDISON CO.  
 1241 GRAND AVENUE  
 SANTA ANA, CA 92705  
 PH: (800) 327-3031

**GAS:**  
 SOUTHERN CALIFORNIA GAS CO.  
 PO BOX 3150  
 SAN DIMAS, CA. 91773  
 PH: (800) 427-2200

# CITY OF NEWPORT BEACH, CALIFORNIA EROSION CONTROL PLAN MONICA LISA CORPORATION DUPLEX 912 EAST OCEAN FRONT A.P.N. 048-143-20

**GENERAL:**

- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
- DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALLIATIVE
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
- WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NBMC.
- NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC.
- THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- PERMITEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
- APPROVED SHORING, DRAINAGE PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING OPERATION.
- CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICIAL.
- HAUL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
- POSITIVE DRAINAGE SHALL BE MAINTAINED AROUND ALL BUILDING AND SLOPE AREAS.
- FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
- ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 ADS 3000 WITH GLUED JOINTS...
- NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL WASTE AND WASTE SHALL BE REMOVED FROM THE SITE.

**LEGAL DESCRIPTION:**

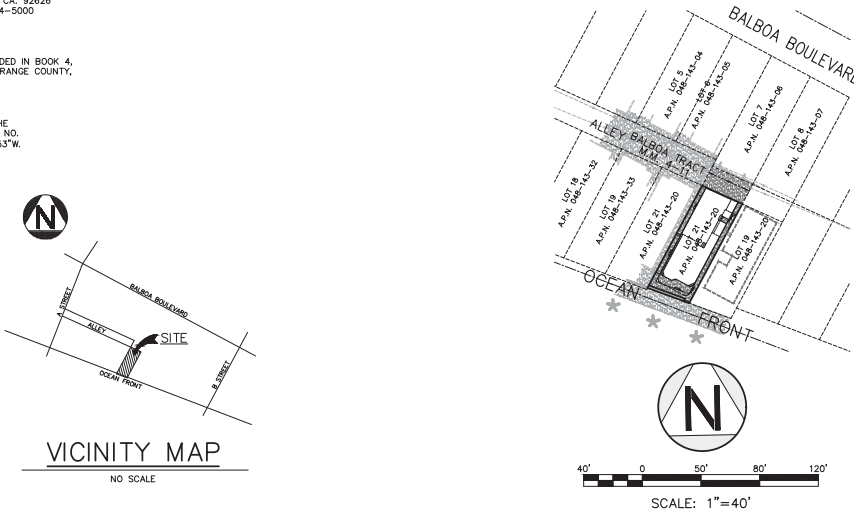
LOT 21 OF BALBOA TRACT BLOCK 14 AS RECORDED IN BOOK 4, PAGE 11, MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA

**BASIS OF BEARING:**

THE BASIS OF BEARING FOR THIS PROJECT IS THE CENTERLINE OF OCEAN FRONT PER PARCEL MAP NO. 85-385 BOOK 218, PAGES 9-10 BEING N69°06'53"W.

**OWNER:**

MONICA LISA CORPORATION  
 CONTACT: NEVAN TWICK  
 PH: (714) 507-5688  
 EMAIL: vnhall22@yahoo.com



**EROSION CONTROL**

- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT, DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
- TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

**REQUIRED INSPECTIONS**

- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTORS WILL BE OUTLINED AT THE MEETING.
- A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTORS WILL BE OUTLINED AT THE MEETING.

**GRADING FILLS/CUTS:**

- STEEPER SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TEST SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILLS SHALL BE KEVED OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILL SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILLS IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
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- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
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**EROSION CONTROL CONSTRUCTION NOTES:**      **QUANTITIES**

1	CONSTRUCT GRAVEL BAG RETENTION BASIN. ARROW DESIGNATES SPILLWAY LOCATION. RETENTION BASIN REQUIRES PERIODIC SEDIMENT REMOVAL.	10 EA.
2	CONSTRUCT TEMPORARY GRAVEL PAD AT ENTRANCE FOR CONSTRUCTION ACCESS. LENGTH = PER CALIFORNIA STORM WATER BMP HANDBOOK TC-1	302 S.F.
3	CONCRETE WASH-OUT PER CALIFORNIA STORM WATER BMP HANDBOOK WM-8.	1 EA.
4	FENCED STORAGE AND DELIVERY AREA PER CALIFORNIA STORM WATER BFM HANDBOOK WM-1	150 S.F.
5	PORTABLE TOILET AREA WITH SECONDARY CONTAINMENT PER CASQA BMP WM-9.	1 EA.
6	DUMPSTER/DISPOSAL AREA PER CASQA BMP WM-5.	1 EA.
7	INSTALL FIBER ROLLS PER CASQA BMP SE-5 OR GRAVEL BAGS (3 HIGH) PER CASQA BMP SE-8 OR SILT FENCE PER CASQA BMP SE-1 AT TOP OR TOE OF SLOPE. PERIODIC SEDIMENT REMOVAL IS REQUIRED.	173 L.F.

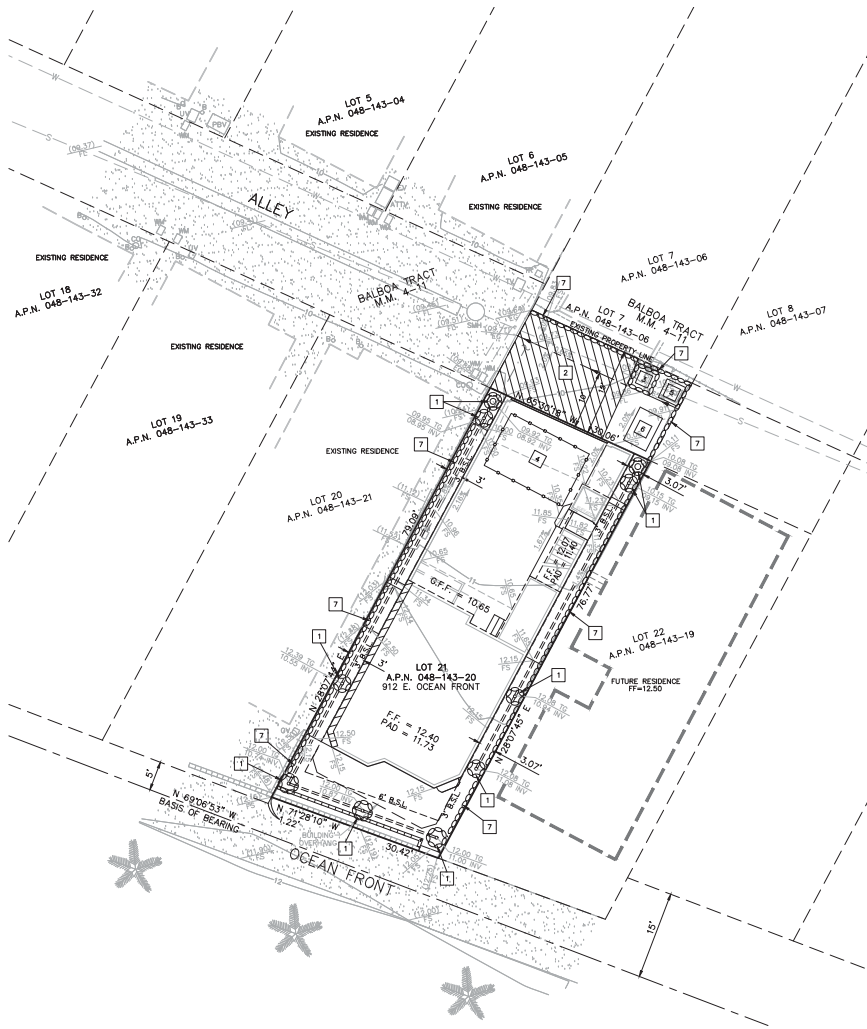
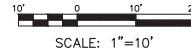
**DOCUMENTATION:**

- AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND OR FILL MOVED DURING THE OPERATION.
- A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
- A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

PLAN PREPARED UNDER THE SUPERVISION OF:  BERNHARD M. MAYER      R.C.E. 36866      DATE: 01/06/20	SEAL: 	 8061 CHURCH STREET    HIGHLAND, CA 92346    PO BOX 592 PH: (909) 864-3160, FAX: (909) 864-0850	BENCH MARK: COUNTY OF ORANGE BENCHMARK NO. 1E-116-99 ELEVATION = 7.587	REVISIONS <table border="1" style="width: 100%; height: 40px;"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>							CITY OF NEWPORT BEACH DRAWN: B.A.M.      DESIGNED: J.B.M.      CHECKED: B.K.M. APPROVED: _____      APPROVED BY: _____ CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT.      PLANNING DEPARTMENT		W.O. SCALE: _____ FILE NO. _____ SHEET 1 of 2
EROSION CONTROL PLAN MONICA LISA CORPORATION DUPLEX A.P.N. 048-143-20 912 EAST OCEAN FRONT NEWPORT BEACH, CA. 92661													

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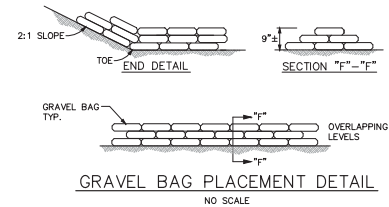


**EROSION CONTROL CONSTRUCTION NOTES:**

- 1 CONSTRUCT GRAVEL BAG RETENTION BASIN. ARROW DESIGNATES SPILLWAY LOCATION. RETENTION BASIN REQUIRES PERIODIC SEDIMENT REMOVAL.
- 2 CONSTRUCT TEMPORARY GRAVEL PAD AT ENTRANCE FOR CONSTRUCTION ACCESS. LENGTH = PER CALIFORNIA STORM WATER BMP HANDBOOK TC-1
- 3 CONCRETE WASH-OUT PER CALIFORNIA STORM WATER BMP HANDBOOK WM-8.
- 4 STORAGE AND DELIVERY AREA PER CALIFORNIA STORM WATER BPM HANDBOOK WM-1
- 5 PORTABLE TOILET AREA WITH SECONDARY CONTAINMENT PER CASQA WM-9.
- 6 DUMPSTER/DISPOSAL AREA PER CASQA BMP WM-5.
- 7 INSTALL FIBER ROLLS PER CASQA BMP SE-5 OR GRAVEL BAGS (3 HIGH) PER CASQA BMP SE-8 OR SILT FENCE PER CASQA BMP SE-1 AT PROPERTY LINE. PERIODIC SEDIMENT REMOVAL IS REQUIRED.

**LEGEND:**

- - - - - INDICATES EXISTING CONTOUR
- — — — — INDICATES STREET CENTERLINE
- — — — — INDICATES EXISTING BLOCK WALL
- — — — — INDICATES EX STREET RIGHT-OF-WAY
- — — — — INDICATES BOUNDARY LINE
- — — — — INDICATES FLOW LINE
- — — — — INDICATES CONCRETE PAVEMENT
- — — — — INDICATES EXISTING FENCING
- — — — — INDICATES EXISTING PALM TREE
- — — — — INDICATES EXISTING BUILDING
- — — — — INDICATES PAD ELEVATION
- — — — — INDICATES FINISH FLOOR ELEVATION
- — — — — INDICATES GARAGE FINISH FLOOR ELEVATION
- FL — — — — — INDICATES FLOW LINE
- INV — — — — — INDICATES INVERT GRADE
- FS — — — — — INDICATES FINISH SURFACE
- TG — — — — — INDICATES TOP OF GRATE
- WM — — — — — INDICATES WATER METER
- UV — — — — — INDICATES UTILITY VAULT
- TV — — — — — INDICATES CABLE TV VAULT
- TR — — — — — INDICATES TELEPHONE RISER
- GM — — — — — INDICATES GAS METER
- GV — — — — — INDICATES GAS VAULT
- PBV — — — — — INDICATES PACIFIC BELL VAULT
- EV — — — — — INDICATES EDISON VAULT
- B — — — — — INDICATES BOLLARD
- CO — — — — — INDICATES SEWER CLEAN OUT
- SMH — — — — — INDICATES SEWER MANHOLE



PLAN PREPARED UNDER THE SUPERVISION OF:



**SITETECH INC.**  
8061 CHURCH STREET HIGHLAND, CA 92346 PO BOX 592  
PH: (909) 864-3160, FAX: (909) 864-0850

**BENCH MARK:**  
COUNTY OF ORANGE BENCHMARK NO.  
1E-116-99  
ELEVATION = 7.587

**REVISIONS**

NO.	DESCRIPTION	DATE

**CITY OF NEWPORT BEACH**

DRAWN: B.A.M.	DESIGNED: J.B.M.	CHECKED: B.K.M.
APPROVED:	APPROVED BY:	
CITY OF NEWPORT BEACH, BUILDING AND SAFETY DEPT.		PLANNING DEPARTMENT

**EROSION CONTROL PLAN**

**MONICA LISA CORPORATION  
DUPLEX**  
A.P.N. 048-143-20  
912 EAST OCEAN FRONT  
NEWPORT BEACH, CA. 92661

W.O.  
SCALE:  
FILE NO.  
SHEET **2 of 2**