



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

November 13, 2025  
Agenda Item No. 3

**SUBJECT:** Murray Residence (PA2025-0072)  
• Coastal Development Permit

**SITE LOCATION:** 2608 Cove Street

**APPLICANT:** Brandon Architects

**OWNERS:** John William Murray and Sindy Lin Murray

**PLANNER:** Jerry Arregui, Assistant Planner  
949-644-3219 or jarregui@newportbeachca.gov

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached (RSD-C) (10.0 – 19.9 DU/AC)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

### **PROJECT SUMMARY**

A request for a coastal development permit (CDP) to demolish an existing 1,111-square-foot, single-unit dwelling, including an attached one-car garage, and to construct a new 1,422-square-foot, three-story, single unit dwelling with a 402-square-foot two car garage. The project also includes landscaping, hardscaping, and site walls. The project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested. All improvements authorized by his CDP will be located on private property.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_\_ approving the Coastal Development Permit filed as PA2025-0072 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is located within the China Cove neighborhood and is located adjacent to the China Cove Beach as shown in Figure 1 below.



*Figure 1: Oblique Image of Subject Property and Surrounding Area*

- The property is located within the Single-Unit Residential (R-1) Coastal Zoning District, which allows single-unit residential development on a single legal lot. A single-unit dwelling is proposed and is therefore consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- A CDP is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area
- The property consists of one legal lot and is currently developed with an 891-square-foot, single-unit dwelling with a 220-square-foot one-car garage.
- The neighborhood is predominantly developed with two- and three-story single-unit dwellings. The project's design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.

- The proposed single-unit dwelling and accessory structures conform to all applicable development standards including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

| <b>Table 1 – Development Standards</b>   |                                |                                |
|------------------------------------------|--------------------------------|--------------------------------|
| <b>Development Standard</b>              | <b>Standard</b>                | <b>Proposed</b>                |
| <b>Setbacks (min.)</b>                   |                                |                                |
| Front (Cove Street)                      | 5 feet                         | 5 feet                         |
| Side                                     | 3 feet                         | 3 feet                         |
| Rear                                     | 10 feet                        | 10 feet                        |
| <b>Floor Area Limit (max.)</b>           | 1,825 square-feet              | 1,825 square-feet              |
| <b>3<sup>rd</sup> Floor Limit (max.)</b> | 183 square-feet                | 177 square feet                |
| <b>Parking (min.)</b>                    | 2-car garage                   | 2-car garage                   |
| <b>Height (max.)</b>                     | 24-foot flat<br>29-foot sloped | 24 feet flat<br>29 feet sloped |
| <b>Open Volume (min.)</b>                | 183 square-feet                | 685 square-feet                |

### *Hazards*

- While the subject property does not directly abut a shoreline, it is adjacent to a portion of the China Cove Beach, situated in the Newport Beach Bay Entrance Channel, and may be subject to coastal hazards such as flooding, runup and erosion. A Coastal Hazards Report was prepared for the project by Skelly Engineering, dated October 20, 2024. The report concludes that the project is reasonably safe from shoreline erosion due to the lack of waves or wakes that can erode sand from the beach. The report also concludes that the project will be reasonably safe from future sea level rise, assuming an increase up to 12.2 feet based on the North American Vertical Datum of 1988 (NAVD 88) (the likely range for sea level rise over the 75-year design life of the structure based on intermediate-height risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2024 Update). The finished floor elevation of the first floor of the proposed structure is 12.55 NAVD 88, which complies with the minimum 9.0-foot NAVD 88 elevation standard for new structures and exceeds the sea level rise scenario. Based on the data provided, the study concludes that coastal hazards will not significantly impact the property over the next 75 years and there is no anticipated need for a shore protection device over the life of the project.
- Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC requires the property owner to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c)

(General Site Planning and Development Standards) of the NBMC. These requirements are included as Condition of Approval Nos. 8 and 9 and will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.

- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

#### *Water Quality*

- The property is located adjacent to a sandy beach and is within proximity to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and minimize pollution of runoff and coastal waters derived from construction chemicals and materials.
- The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

#### *Public Access and Views*

- The property is located within the first public road and the sea. Section 21.30A.040 (Determination of Public Access/ Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-unit dwelling with a new single-unit dwelling. Therefore, the project does not involve a change in land use or intensity that will result in increased demand for public access and recreation opportunities. The project's new two-car garage is expected to enhance coastal access opportunities by providing an additional on-site parking space which reduces the reliance on street parking, which would instead be used by coastal visitors.
- The property is located adjacent to the China Cove public beach. Lateral access to the beach is provided directly in front of the property at the street end of Cove Street. Vertical access to the beach is provided at the street end of Fernleaf Avenue. The project is located entirely within the confines of private property and does not include any features that would obstruct coastal access along these



routes. The project will improve the coastal access along Cove Street by removing existing unpermitted encroachments into right-of-way, including planters and patio furniture.

- The property is located within the vicinity of coastal view roads and coastal viewpoints as identified in the Coastal Land Use Plan (CLUP), for which the potential to degrade those views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC.
  - a. The property is located approximately 200 feet from Ocean Boulevard, which is identified as a coastal view road by the CLUP. Ocean Boulevard is situated approximately 58 to 68 feet above the elevation of the property. Additionally, there are several two- and three-story single-unit dwellings between the property and Ocean Boulevard, which are situated up to 38 feet above the elevation of the property, which resulting in higher surrounding building elevations. Additionally, several two-story single-unit dwellings are located in front of the property along the China Cove Beach, which limit views of the beach from the 2500 and 2600 block of Ocean Boulevard.
  - b. The nearest identified coastal viewpoint is approximately 450 feet to the north of the property and is located at the corner of Ocean Boulevard and Carnation Avenue, however the project is not visible from that location due to the intervening development. The property is also with the vicinity of other coastal viewpoints including Lookout Point, located approximately 550 feet south of the property and West Jetty View Park, located approximately 1,000 feet west of the property across the Newport Beach Bay Entrance Channel.
  - c. Site evaluation revealed that the property is visible from portions of Ocean Boulevard, Lookout Point and portions of West Jetty View Park. While the project replaces a single-story dwelling with a new three-story dwelling, the project design complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope that is consistent and visually blends in with the existing pattern of development within the China Cove neighborhood. As designed, the project will not negatively impact the existing coastal views from the locations identified above and as shown in Figure 2 below. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.



Figure 2: Coastal Viewpoints and Coastal View Roads within Vicinity of Project

- The project serves as an opportunity to enhance an aging structure built in 1949 with a new building that includes a high quality contemporary coastal design, typical of new developments throughout the City. The design includes the use of large balconies and decks and incorporates glass guardrails and large windows to soften the façade and provides more than the required open volume resulting in a substantial amount of articulation to reduce the massing.

## **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family dwellings and additions of up to 10,000 square feet to existing structures. The project consists of the demolition of a single-unit dwelling and the construction of a new single-unit dwelling located in the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

## **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the

subject property at least 10 days before the scheduled hearing, consistent with the provisions of the NBMC. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

**APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Jerry Arregui  
Assistant Planner

BMZ/ja

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|--------------|------|------------------|
| Attachments: | ZA 1 | Draft Resolution |
|              | ZA 2 | Vicinity Map     |
|              | ZA 3 | Project Plans    |

# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2025-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND CONSTRUCT A NEW SINGLE-UNIT DWELLING WITH AN ATTACHED TWO-CAR GARAGE LOCATED AT 2608 COVE STREET (PA2025-0072)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Brandon Architects (Applicant) on behalf of John William Murray and Sindy Lin Murray (Owners), concerning the property located at 2608 Cove Street and legally described as Lot 5 and a portion of Lot 13 of Block A32 of the Corona del Mar Tract (Property).
2. The Applicant requests a coastal development permit (CDP) to demolish an existing 1,111-square-foot, one-story single-unit dwelling, including an attached one-car garage, and to construct a new 1,422-square-foot, three-story, single unit dwelling with an attached 402-square-foot two-car garage. The project also includes landscaping, hardscaping, and site walls (Project). The Project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested. All improvements authorized by this CDP will be located on private property.
3. The Property is categorized as Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan category is Single Unit Residential Detached – 10.0 - 19.9 DU/AC (RSD-C), and it is located within the Single-Unit Residential (R-1) Coastal Zoning District
5. A public hearing was held on November 13, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with Chapter 21.62 (Public Hearings) of the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment.



2. Class 3 exempts the demolition of up to three single-unit dwellings and additions of up to 10,000 square feet to existing structures. The Project consists of the demolition of a single-unit dwelling and the construction of a new single-unit dwelling located in the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

#### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

#### Facts in Support of Finding:

1. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 1,825 square feet and the proposed floor area is 1,825 square feet.
  - b. The Project provides the minimum required setbacks, which are five feet along the front property line abutting Cove Steet, four feet along each side property line, and 10 feet along the rear property line abutting 2609 Way Lane.
  - c. The highest guardrail is 24 feet from established grade (12.73 feet based on the North American Vertical Datum of 1988 NAVD [NAVD 88]) and the highest ridge is 29 feet from established grade, which complies with the maximum height requirements.
  - d. The Project includes a two-car garage, complying with the minimum two-car garage parking requirement for single-unit dwelling with less than 4,000 square-feet of habitable floor area.
  - e. The Project proposes a minimum top of slab elevation of 12.55 feet NAVD 88 which complies with the minimum 9.0-foot NAVD 88 top of slab elevation requirement for interior living areas of new structures.

2. The neighborhood is predominantly developed with two- and three-story, single-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
3. A Coastal Hazards and Bulkhead Conditions Report was prepared for the Project by Skelly Engineering, dated October 20, 2024. The report utilizes the latest adopted Sea Level Rise Guidance: 2024 Update provided by the State of California. While the Property does not directly abut a shoreline, it is adjacent to a portion of the China Cove Beach, situated in the Newport Beach Bay Entrance Channel, and thus may be subject to coastal hazards such as flooding, runup, and erosion. The report concludes that the Project is reasonably safe from shoreline erosion due to being over 200 feet from the shoreline and the lack of waves or wakes, which have allowed the beach to maintain its 100-foot width over the last 50 years. The report also analyzes future sea level rise scenarios assuming an increase in the maximum bay water level (7.7 feet NAVD 88) over the next 75 years (i.e., the life of the structure) of about 4.5 feet, resulting in a projected bay water elevation of 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure based on intermediate-high risk aversion estimates). The finished floor elevation of the first floor of the proposed structure is 12.55 NAVD 88, which complies with the minimum 9.0-foot NAVD 88 elevation standard for new structures and exceeds the sea level rise scenario. Based on the data provided, the study concludes that coastal hazards will not significantly impact the Property over the next 75 years and there is no anticipated need for a shore protection device over the life of the Project.
4. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC, the Owners will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Owners will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC. These requirements are included as Condition of Approval Nos. 8 and 9 which will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.
5. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
6. The Property is located adjacent to a sandy beach and is within proximity of coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The Project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features.

designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

7. The Project landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. Condition of Approval No. 17 requires that landscaping be designed to provide drought tolerant and non-invasive plant species with water efficient irrigation. A final landscape plan shall be reviewed and approved prior to the issuance of a building permit to verify invasive species are not planted.
8. The Property is located within the vicinity of coastal view roads and coastal viewpoints as identified in the Coastal Land Use Plan (CLUP), for which the potential to degrade those views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC.
  - a. The Property is located approximately 200 feet from Ocean Boulevard, which is identified as a coastal view road by the CLUP. Ocean Boulevard is situated approximately 58 to 68 feet above the elevation of the Property. Additionally, there are several two- and three-story single-unit dwellings between the Property and Ocean Boulevard, which are situated up to 38 feet above the elevation of the Property, which results in higher surrounding building elevations. Additionally, several two-story single-unit dwellings are located in front of the Property along the China Cove Beach, which limit views of the beach from the 2500 and 2600 block of Ocean Boulevard.
  - b. The nearest identified coastal viewpoint is approximately 450 feet to the north of the Property and is located at the corner of Ocean Boulevard and Carnation Avenue, however the Project is not visible from that location due to the intervening development. The Property is also with the vicinity of other coastal viewpoints including Lookout Point, located approximately 550 feet south of the Property and West Jetty View Park, located approximately 1,000 feet west of the Property across the Newport Beach Bay Entrance Channel.
  - c. Site evaluation revealed that the Property is visible from portions of Ocean Boulevard, Lookout Point and portions of West Jetty View Park. While the Project replaces a single-story dwelling with a new three-story dwelling, the Project design complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards, maintains a building envelope that is consistent and visually blends in with the existing pattern of development within the China Cove neighborhood. As designed, the Project will not negatively impact the existing coastal views from the locations identified above; therefore, it does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.
9. The Project serves as an opportunity to enhance an aging structure built in 1949 with a new building that includes a high quality contemporary coastal design, typical of new developments throughout the City. The design includes the use of large balconies and decks and incorporates glass guardrails and large windows to soften the façade and provides more than the required open volume resulting in a substantial amount of articulation to reduce the massing.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The Property is located between the first public road and the sea. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bears a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project replaces an existing single-unit dwelling with a nonconforming one-car garage with a new single-unit dwelling with a two-car garage, consistent with the existing neighborhood pattern of development and applicable development standards. Therefore, the Project does not involve a change in land use or intensity that will result in increased demand for public access and recreation opportunities. The Project's new two-car garage is expected to enhance coastal public access opportunities by providing an additional on-site parking space and thereby reducing the Property's demand for public street parking that could otherwise be used by the public.
2. The Property is located adjacent to the China Cove public beach. Lateral access to the beach is provided directly in front of the Property at the street end of Cove Street. Vertical access to the beach is provided at the street end of Fernleaf Avenue. The Project is located entirely within the confines of private property and does not include any features that would obstruct coastal access along these routes. The Project includes the removal of existing unpermitted encroachments into Cove Street right-of-way, including planters and patio furniture, which will improve the existing coastal access along Cove Street.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment, and that the exceptions to this Exemption do not apply.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit filed as PA2025-0072, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local

Coastal Program Implementation Plan), of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in accordance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 13<sup>TH</sup> DAY OF NOVEMBER 2025.**

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Liz Westmoreland, AICP, Zoning Administrator

**EXHIBIT “A”**

**CONDITIONS OF APPROVAL**

*(Project-specific conditions are in italics)*

**Planning Division**

1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.
3. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
4. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
5. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
6. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit “A” shall be incorporated into the Building Division and field sets of plans.
7. This Coastal Development Permit shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
8. *Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the Owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.*
9. *Prior to the issuance of a building permit, the Owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its*

*boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.*

10. This Coastal Development Permit does not authorize any development on or beyond the beach area adjacent to the Property.
11. This Coastal Development Permit does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
12. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
13. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
14. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
15. Debris from demolition shall be removed from work areas each day and removed from the Property within 24 hours of the completion of the Project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
16. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
17. Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
18. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

19. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
  - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, 2 or 1 short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
20. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturday, Sundays, or Holidays.
21. All noise generated by the proposed use shall comply with Chapter 10.26 (Community Noise Control) and other applicable noise control requirements of the NBMC.
22. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
23. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
24. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Murray Residence, including but not limited to, the Coastal Development Permit filed as PA2025-0072**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action,



suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

### **Building Division**

25. Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.
26. Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.
27. Prior to the issuance of a building permit, the final Water Quality and Hydrology Plan/ Water Quality Management Plan (WQHP/WQMP) shall be reviewed and approved by the Building Division. Implementation shall comply with the approved Construction Pollution Prevention Plan and WQHP/WQMP and any changes could require separate review and approval by the Building Division.

### **Public Works Department**

28. All private improvements and items within Cove Street right-of-way including, but not limited to, planters, fencing, and patio furniture shall be removed.
29. A new sewer cleanout shall be installed on the existing sewer lateral per City Standard 406.
30. A portion of the Cove Street right-of-way shall be reconstructed per City Standard 140.
31. An encroachment permit and agreement shall be required for the proposed colored concrete walkway along the existing three-foot wide storm drain easement.

### **Fire Department**

32. The installation of a residential fire sprinkler system complying with the National Fire Protection Association (NFPA) 13D shall be installed.

## **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



---

Coastal Development Permit  
PA2025-0072

**2608 Cove Street**

# **Attachment No. ZA 3**

Project Plans

[illegible]

**MURRAY BEACH HOUSE**

**T-1.0**

**T-1.0**

- LEGEND
- BLOCK WALL
  - AC — ASPHALT PAVEMENT
  - ACU — AIR CONDITION UNIT
  - AD — AREA DRAIN
  - BS — BOTTOM OF STEP
  - CATV — CABLE TV BOX
  - CL — CENTERLINE
  - EG — EDGE OF GUTTER
  - EP — EDGE OF PAVEMENT
  - FF — FINISHED FLOOR
  - FFG — FINISHED FLOOR GARAGE
  - FL — FLOWLINE
  - FS — FINISHED SURFACE
  - GM — GAS METER
  - NG — NATURAL GROUND
  - SDMH — STORM DRAIN MANHOLE
  - TC — TOP OF CURB
  - TS — TOP OF STEP
  - TW — TOP OF WALL
  - TWS — TOP OF WALL STEP
  - VF — VINYL FENCE
  - WM — WATER METER
  - ( ) — EXISTING ELEVATION
  - — SEARCHED, FOUND NOTHING; SET NOTHING
  - — FOUND 12" IRON PIPE WITH PLUG STAMPED "L.S. 4384"
  - ⊕ T.B.M. — TEMPORARY BENCHMARK SET ON A CABLE TV BOX (CATV) ELEVATION = 11.52 FEET
- CONCRETE SURFACE

TITLE REPORT/EASEMENT NOTES

2608 COVE STREET

CORONA DEL MAR, CA 92625

(APN: 052-042-23)

TITLE REPORT PROVIDED BY

CHICAGO TITLE, ORDER NUMBER

5802200814-05

- ITEM 6: ALL EASEMENTS, OFFERS AND DEDICATIONS AS SHOWN ON THE OFFICIAL TRACT MAP OF CORONA DEL MAR, RECORDED IN M.M. 3/41-42.
- ITEM 7: **(NO EASEMENTS, OFFERS OR DEDICATIONS AFFECTING PROPERTY, NOT PLOTTED HEREON)**
- ITEM 8: EASEMENTS OVER THE ROADS AND HIGHWAYS AND DESIGNATED UPON THE MAP OF SAID CORONA DEL MAR FOR ROAD PURPOSES, PIPE LINES, ELECTRIC RAILROAD OR ANY OTHER FORM OF PAIL TRANSPORTATION AND FOR POLE LINES, RECORDED DECEMBER 12, 1911 IN BOOK 234, PAGE 190 OF DEEDS.
- ITEM 9: **(AFFECTS PROPERTY, BLANKET IN NATURE, NOT PLOTTED HEREON)**
- ITEM 10: **(AFFECTS PROPERTY, PLOTTED HEREON)**

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 5 OF BLOCK A-32 OF CORONA DEL MAR TRACT, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 3, PAGES 41-42, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOT 13 OF BLOCK A-32 OF CORONA DEL MAR TRACT, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 3, PAGES 41-42, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF 13 AS CONTAINED WITHIN THE LINES OF THE LAND DESCRIBED IN THE DEED TO MINETTE VOGEL MILLER, RECORDED IN BOOK 7735, 887, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF SAID LOT; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE 53.30 FEET; THENCE SOUTHEASTERLY 31.92 FEET TO A POINT ON THE SOUTHEASTERLY LINE THEREOF, DISTANT SOUTHWESTERLY 53.30 FEET FROM THE MOST EASTERLY CORNER OF SAID LOT; THENCE NORTHEASTERLY ALONG THE SOUTHWESTERLY LINE 53.30 FEET TO THE MOST EASTERLY CORNER; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE 31.92 FEET TO THE POINT OF BEGINNING.

BENCHMARK INFORMATION

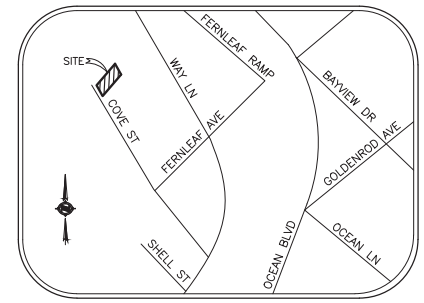
BENCHMARK NO. TIDM-1

RECOVERY NOTE BY OCS 2001 - FOUND 3.34" BRASS U.S. COAST AND GEODETIC SURVEY DISK STAMPED "No 1 1520" FLUSH IN SANDSTONE ROCK OUTCROPPING. MONUMENT IS LOCATED SOUTHWEST OF THE T-JUNCTION OF OCEAN BOULEVARD AND DAHLIA AVENUE, AT THE NEWPORT BAY ENTRANCE CHANNEL, 11.4 METERS (37.4 FT.) SOUTHWEST OF THE SOUTHWEST WALL OF THE WILLIAM D. KERKOFF LABORATORY, 6.1 METERS (20.0 FT.) NORTHWEST OF TIDAL BENCHMARK 2, 6.1 METERS (20 FT.) SOUTHEAST OF THE SOUTHEAST EDGE OF A SMALL PIER LEADING FROM THE WEST CORNER OF THE LAB TO THE WALL AROUND THE SOUTHWEST END OF THE LAB. THE STATION IS 2.4 METERS BELOW THE HEIGHT OF THE WALL.

ELEVATION: 10.190 FEET (NAVD88), YEAR LEVELED 2011

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF COVE STREET HAVING A BEARING OF N09°22'25"W PER RS 2011-1033, RSB 2534G.

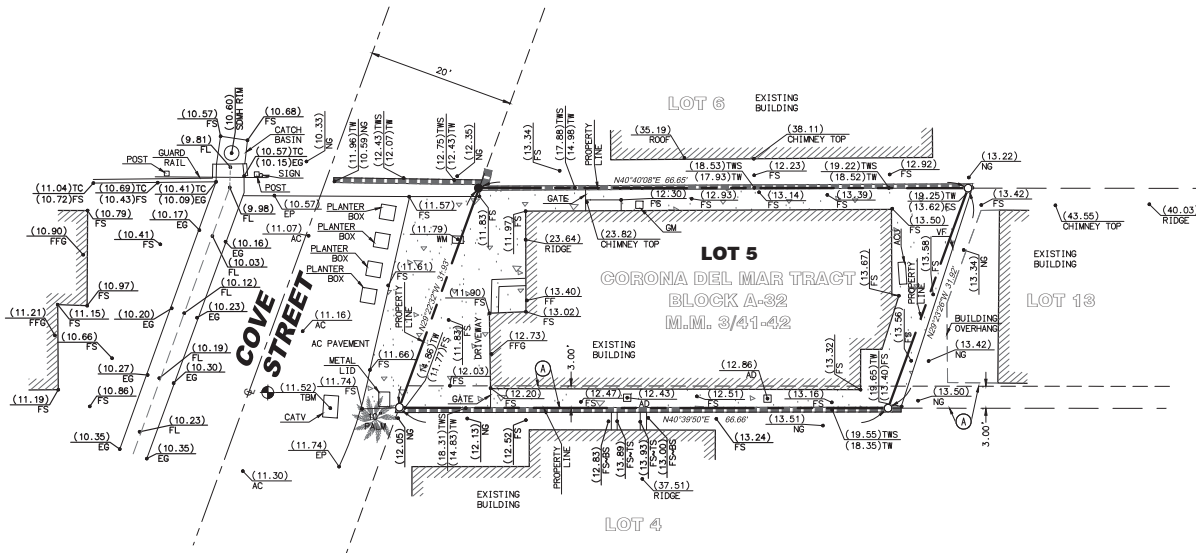


VICINITY MAP

NO SCALE

GRAPHIC SCALE

1 INCH = 8 FT.



PAUL D. CRAFT, P.L.S. 6516  
LICENSE RENEWAL DATE 12/31/26

10/2/2025  
DATE

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

|                  |         |                  |       |                          |       |                   |         |          |
|------------------|---------|------------------|-------|--------------------------|-------|-------------------|---------|----------|
| PROJECT SURVEYOR | DATE    | 3/16/2025        | SCALE | 1" = 8'                  | DRAWN | J. A. H.          | CHECKED | P. D. C. |
| TOPOGRAPHIC MAP  |         | 2608 COVE STREET |       | CORONA DEL MAR, CA 92625 |       | (APN: 052-042-23) |         |          |
| SHEET TITLE      | PROJECT | 1 OF 1           |       |                          |       |                   |         |          |

|           |             |          |
|-----------|-------------|----------|
| REVISIONS | DATE        | APPROVED |
| NO.       | DESCRIPTION | P. D. C. |
| 1         |             |          |

APEX LAND SURVEYING INC.  
NEWPORT BEACH, CALIFORNIA 92660  
PHONE: 714/488-9006  
APEX@LBSI.COM

PROJECT NO. 24005

MURRAY RESIDENCE

2608 Cove St.  
Corona Del Mar, CA 92625

CITY OF  
NEWPORT BEACH

NOTES:

- 1. Encroachment permit and agreement shall be obtained for decorative hardscape with in storm drain easement and right of way.
- 2. Remove existing patio furniture and fence within the right of way.
- 3. Refer to project precise grading plan for drainage and grading.

CONTACTS

OWNER: JOHN AND SINDY MURRAY  
2608 Cove St.  
Corona Del Mar, CA 92625

PROJECT DATA

ADDRESS:  
2608 Cove St. Corona Del Mar, CA 92625

LEGAL DESCRIPTION:  
APN: 052-042-23  
lot 5, Corona Del Mar tract, block A-32, M.M 3/41-42  
Corona Del Mar, County of Orange, State of California

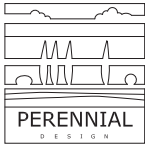
SCOPE OF WORK

New hardscape and landscape for proposed single family residence

170 Square feet of landscape area  
(Exempt from N.E.L.O.)

LIST OF DRAWINGS

|      |                |
|------|----------------|
| LC-1 | HARDSCAPE PLAN |
| LC-2 | DIMENSION PLAN |
| LP-1 | PLANTING PLAN  |
| LL-1 | LIGHTING PLAN  |



LANDSCAPE DESIGN  
by Christine Duffy  
Ph. 949.287.3459  
www.perennial-design.com

MURRAY RESIDENCE  
2608 Cove St.  
Corona Del Mar, CA 92625

REVISIONS:

|       |          |
|-------|----------|
| DATE: | 07.28.25 |
| DATE: | 09.18.25 |
| DATE: | 10.01.25 |
| DATE: | 10.29.25 |

DRAWN BY: C. DUFFY

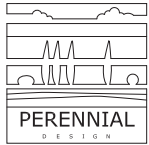
DATE: 06.03.25

SCALE: 1/4" = 1'-0"

SHEET TITLE:

TITLE  
SHEET

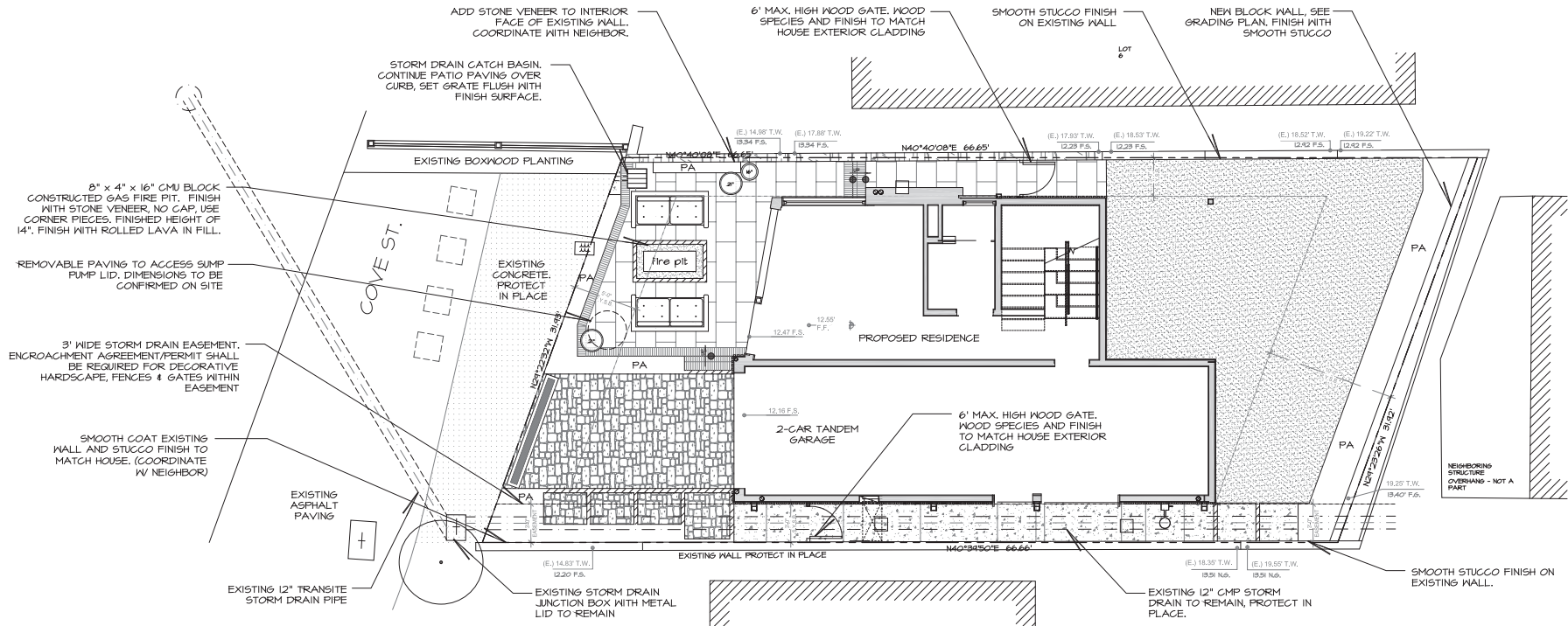




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# MURRAY RESIDENCE

2608 Cove St.  
Corona Del Mar, CA 92625



## LEGEND:

- PA = PLANTING AREA
- [Symbol] = WATER METER
- [Symbol] = HOSE BIBB
- [Symbol] = UTILITY BOX
- [Symbol] = ELECTRIC METER
- [Symbol] = AIR CONDITIONER
- [Symbol] = ELECTRIC OUTLET
- [Symbol] = IRRIGATION CONTROL VALVE

- [Symbol] INDICATES STEP  
= TYP. 6" RISE UNLESS OTHERWISE NOTED
- [Symbol] = ARCHITECTURAL POTTERY TO BE PLUMBED FROM BELOW FOR DRAINAGE AND IRRIGATION WHEN POSSIBLE

### NOTE

STONE LAYOUTS PROVIDED AS CONCEPTUAL SCHEMATIC. CONTRACTOR TO PROVIDE LAYOUT IN KEEPING WITH ILLUSTRATED CONCEPT. DO NOT CUT RANDOM STONE TO FIT.

## PAVING MATERIAL KEY & SPECIFICATIONS:

- STONE PAVING:** Chauvet Limestone 16" x random length x 5/8" tiles set in mortar over reinforced concrete sub base and grouted, color tbs. Apply matte sealer per manuf. specs  
Vendor: Eco Outdoor 855-413-1413
- CONCRETE PAVING:** Concrete colored with Scofield chromix admixture C-20, limestone and finished with Top Cast surface retardant #3. Saw cut expansion joints as shown
- COBBLE PAVING:** Endicott filetti stone paving set in mortar over reinforced concrete paving and grouted, color tbs.  
Vendor: Eco Outdoor 855-413-1413
- GRAVEL:** 2"-3" OF 3/8" crushed pea gravel set over weed cloth on compacted soil and enclosed with black steel edging.  
Vendor: Resource Building Material - 714-842-1500
- STEP RISE & RUN:** 2" X 3" X 1 3/8" pendell batons set in mortar over reinforced concrete sub base and grouted, grout color tbs.

## FINISHES:

- STONE VENEER:**  
Natural stone thin veneer match stone veneer on house
- SMOOTH STUCCO:**  
Color to match house

### NOTE

CONTRACTOR TO VERIFY BASE PLAN IN THE FIELD AND NOTIFY DESIGNER OF ANY DISCREPANCIES.

### NOTE

ALL CONFIRMED POTTERY TO BE DRIPPED, DRAINED AND SLEEVED FOR LOW VOLTAGE LIGHTING FROM BOTTOM OF POT WHEN NEW HARDSCAPE IS INVOLVED.

ALLOW 2" DISTANCE BETWEEN POTTERY RIM AND WALLS WHEN DETERMINING STUB & DRAIN LOCATIONS. (POT DIAMETERS NOTED).

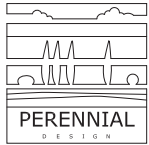
| REVISIONS: |              |
|------------|--------------|
| DATE:      | 04.05.25     |
| DATE:      | 10.01.25     |
| DATE:      | 10.24.25     |
| DRAWN BY:  | C. DUFFY     |
| DATE:      | 06.09.25     |
| SCALE:     | 1/4" = 1'-0" |



SHEET TITLE:  
**HARDSCAPE PLAN**

SHEET NO.:  
**LC-1**





LANDSCAPE DESIGN  
by Christine Duffy  
Ph. 949.287.3459  
www.perennial-design.com

# MURRAY RESIDENCE

2608 Cove St.  
Corona Del Mar, CA 92625

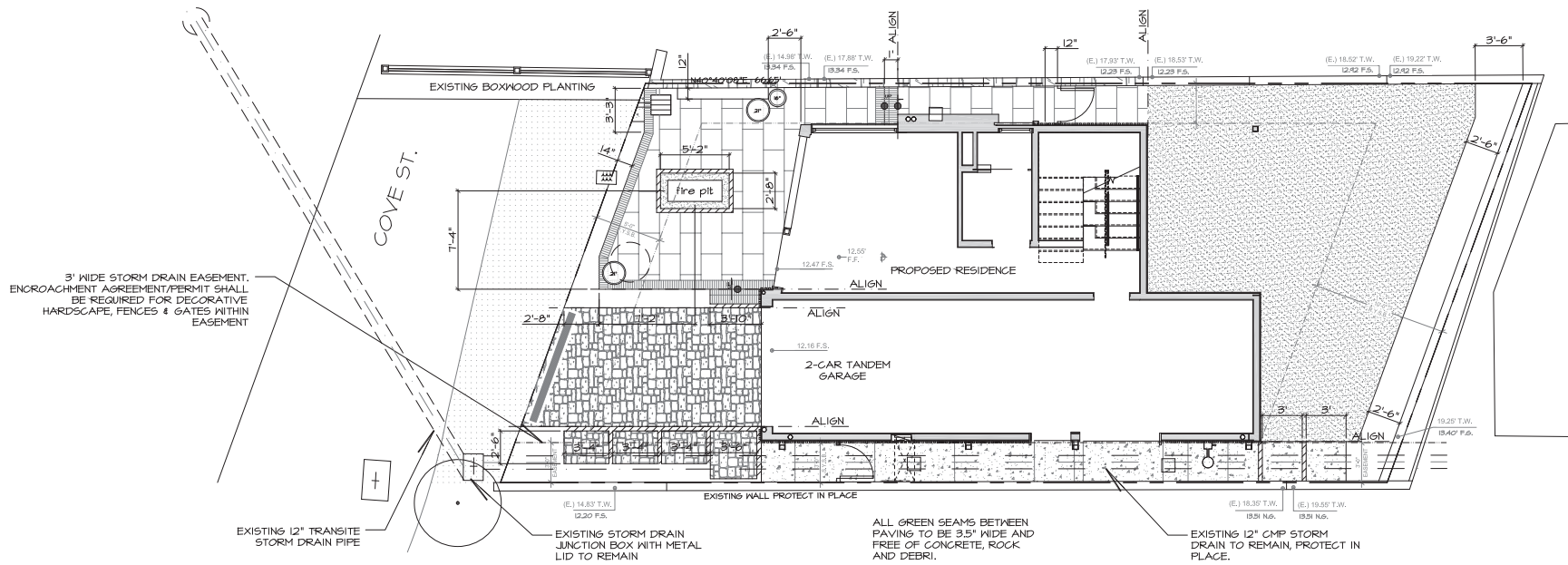
REVISIONS:  
DATE: 10.01.25  
DATE: 10.24.25  
DRAWN BY: C. DUFFY

DATE: 06.09.25  
SCALE: 1/4" = 1'-0"



SHEET TITLE:  
DIMENSION  
PLAN

SHEET NO.:  
LC-2



## NOTE

STONE LAYOUTS PROVIDED AS  
CONCEPTUAL SCHEMATIC.  
CONTRACTOR TO PROVIDE  
LAYOUT IN KEEPING WITH  
ILLUSTRATED CONCEPT. DO NOT  
CUT RANDOM STONE TO FIT.

## NOTE:

CONTRACTOR TO VERIFY BASE PLAN IN THE FIELD  
AND NOTIFY DESIGNER OF ANY DISCREPANCIES.

## NOTE

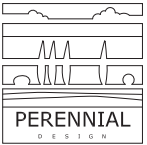
ALL CONFIRMED POTTERY TO BE DRIPPED,  
DRAINED AND SLEEVED FOR LOW VOLTAGE  
LIGHTING FROM BOTTOM OF POT WHEN NEW  
HARDSCAPE IS INVOLVED.

ALLOW 2" DISTANCE BETWEEN POTTERY RIM AND  
WALLS WHEN DETERMINING STUB & DRAIN  
LOCATIONS. (POT DIAMETERS NOTED).

## DRAINAGE NOTES:

1. All on-lot construction/hardscape surfaces shall have positive surface drainage of one percent (1%) minimum.
2. All landscape areas shall have positive surface drainage of two percent (2%) minimum.
3. All surface drainage shall be directed away from Dwelling walls and adjoining property lines.
4. All rear yard, side yard and obstructed front yard areas must surface drain to area drains/catch basins which must, in turn, tie into the sub surface drain line.
5. The roof gutters at the downspouts must connect to the drain line or inlets installed by the Merchant Builder.
6. All on-lot drainage features and systems must adhere to all applicable codes.





LANDSCAPE DESIGN  
by Christine Duffy  
Ph. 949.287.3459  
www.perennial-design.com

# MURRAY RESIDENCE

2608 Cove St.  
Corona Del Mar, CA 92625

|            |              |
|------------|--------------|
| REVISIONS: |              |
| DATE:      | 10.21.25     |
| DRAWN BY:  | C. DUFFY     |
| DATE:      | 06.03.25     |
| SCALE:     | 1/4" = 1'-0" |

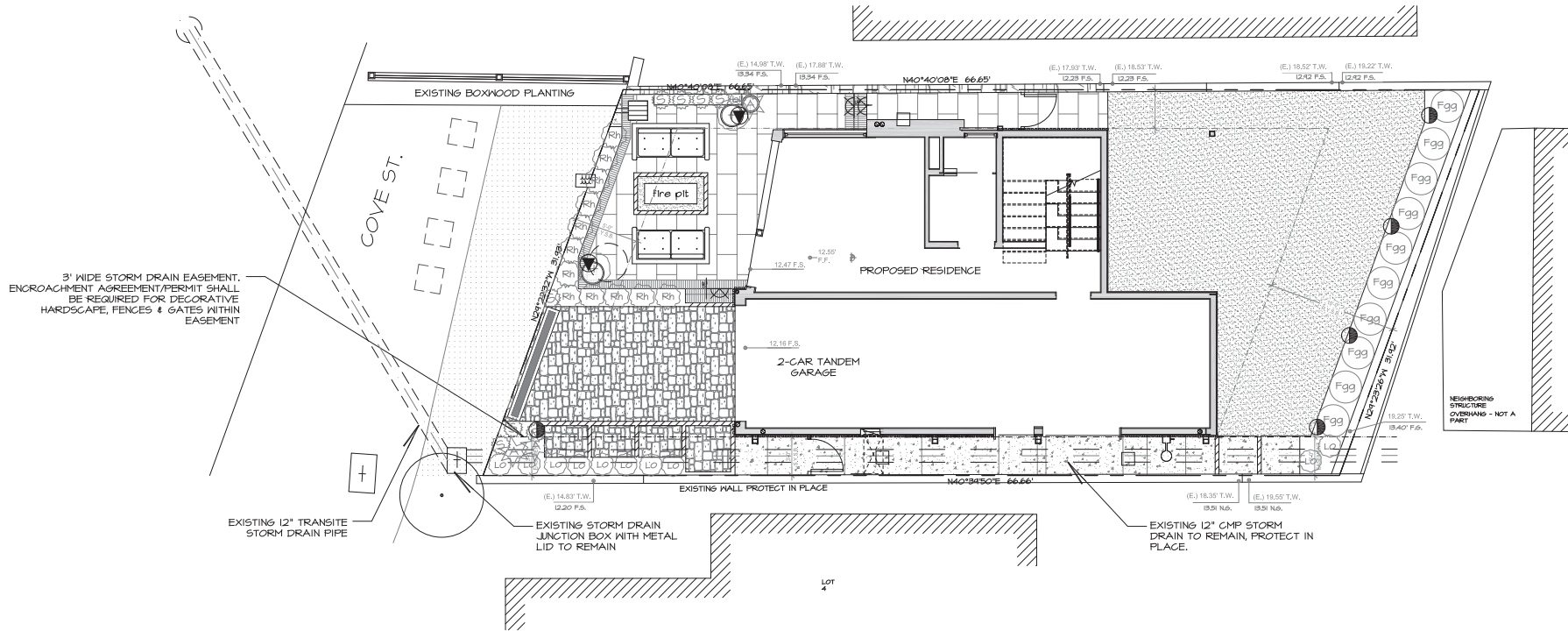


SHEET TITLE:

LIGHTING  
PLAN

SHEET NO.:

LL-1



## LIGHTING LEGEND

| SYMBOL | DESCRIPTION                                     | QTY. |
|--------|-------------------------------------------------|------|
| ●      | PATHWAY LIGHT<br>TOP LIGHTS: TOP-PL-303-MBR-LED | 5    |
| XX     | STEP LIGHT<br>TOP LIGHTS: TOP-SL-550-MBR-LED    | 3    |
| ▼      | MINI UP LIGHT<br>TOP LIGHTS: TOP-UL-114-MBR-LED | 2    |

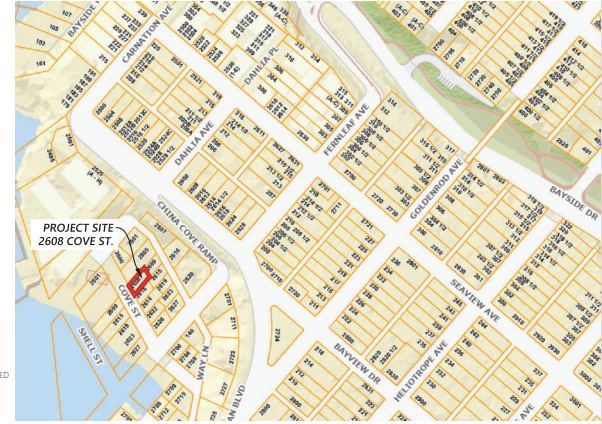
ALL FIXTURES AVAILABLE FROM BRETT BROWNING AT TOP LIGHTS INC.  
CELL: (949) 422-4563 OFFICE: (877) 867-5596 OR EMAIL: BRETT@TOPLIGHTSINC.COM

## LIGHTING NOTES

1. Lighting plan is schematic. Plans indicate number and type of fixtures only. Location shown is approximate. Specific placement of all lighting fixtures to be verified in the field by designer.
2. 10 Gauge low voltage cable is recommended.
3. Gauge cable, maximum run lengths shall be 100ft (Double 10-2 or larger cables such as #8-2 can be used when runs must exceed 100 ft).
4. Cables shall be installed at 6 inches minimum depth and should follow natural barriers such as sidewalk, edges, sprinklers, runs etc. Whenever possible, split-type trench shall be used to bury cable in existing planters.
5. 36" inches of excess cable shall be buried at each fixture to allow for fixture adjustment as plant material matures.
6. Wiring and transformer location shall be reviewed by contractor for possible power constraints and best location.
7. Contractor shall be fully responsible for proper wiring, cable access, proper installation, power distribution and best location to enhance the overall design.
8. No exterior lighting shall be placed or maintained upon any lot so as to cause an unreasonable glare or illumination upon any other private lot.

CITY OF NEWPORT BEACH, CALIFORNIA  
COUNTY OF ORANGE  
PRECISE GRADING PLAN

2608 COVE STREET  
NEWPORT BEACH, CA 92625  
APN: 052-042-23



VICINITY MAP  
NO SCALE

SHEET INDEX

- C1 TITLE SHEET
- C2 GRADING PLAN
- C3 STORM DRAIN PLAN
- C4 CONST. POLLUTION PREVENTION PLAN
- C5 GEOTECHNICAL NOTES
- C6 GEOTECHNICAL NOTES (CONT'D)

EARTHWORK QUANTITIES

|                 |     |                      |
|-----------------|-----|----------------------|
| RAW CUT         | 22  | CUBIC YARDS          |
| RAW FILL        | 7   | CUBIC YARDS          |
| OVER EXCAVATION | 100 | CUBIC YARDS          |
| SHRINKAGE 3%    | 3   | CUBIC YARDS          |
| NET             | 10  | CUBIC YARDS (EXPORT) |

GEOTECHNICAL CERTIFICATION

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE FOLLOWING SOILS REPORT FOR THIS PROJECT

ENTITLED: GEOTECHNICAL ENGINEERING INVESTIGATION

PROJECT No: 681425-01  
DATED: MARCH 7, 2025

FIRM NAME: COAST GEOTECHNICAL, INC.

CC&R'S

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

PUBLIC WORKS NOTES

- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER MUNICIPAL CODES 14.24.020 AND 14.08.030. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED FOR ANY DAMAGE OR UNMAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY 1-6.
- CONTRACTOR REMOVE ALL EXISTING DECORATIVE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL HAVE A MAXIMUM GROWTH CHARACTERISTIC OF 36-INCHES.
- ALL PRIVATE IRRIGATION SPRINKLER HEADS SHALL BE INSTALLED AND POSITIONED IN A MANNER THAT WILL NOT CAUSE IRRIGATION OVERSPRAY ONTO THE PUBLIC RIGHT-OF-WAY.

OWNER

JOHN AND SANDY MURRAY  
2608 COVE ST  
NEWPORT BEACH, CA 92625

CIVIL ENGINEER

WILL ROLPH  
CIVILSCAPES ENGINEERING, INC.  
28052 CAMINO CAPISTRANO, STE 213  
LAGUNA NIGUEL, CA  
949-464-8115  
WILL@CIVILSCAPES.COM

SURVEYOR

APEX LAND SURVEYING, INC.  
NEWPORT BEACH, CA 92660  
714-488-5008  
APEXSLINC@GMAIL.COM

ARCHITECT

BRANDON ARCHITECTS  
151 KALAMUS DR., SUITE G-1  
COSAT MECA, CA 92626  
714-754-4040

SOILS ENGINEER

REFER TO GEOTECHNICAL INVESTIGATION FOR ADDITIONAL INFORMATION:

COAST GEOTECHNICAL, INC.  
1200 WEST COMMONWEALTH AVE  
EL DORADO, CA 92633  
714-870-1511

NOTE:

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR LOT/SETS BEFORE GRADING.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
- DUST SHALL BE CONTROLLED BY WATERING AND/OR JUST PALLIATIVE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING CONSTRUCTION PERIOD.
- WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY, 8:00 AM TO 6:00 PM SATURDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-28 OF THE NBMC.
- NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NBMC.
- THE STAMPED SET OF THE APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- PERMITTEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
- APPROVED SHORING, DRAINAGE PROVISION AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJACENT PROPERTIES DURING THE GRADING OPERATION.
- CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING DEPARTMENT.
- HAIL ROUTES FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NBMC.
- POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDINGS AND SLOPE AREAS.
- FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
- ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC (SDR 35) WITH GULF JOINTS.
- NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE, SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE.

GRADING NOTES

- GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO THE MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TEST SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION ETO SORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILLS SHALL BE KEPT OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
- ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT THE MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CORING OF CONCRETE FLATWORK PLACED OVER UNTESTED BACKFILL TO FACILITATE TESTING.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
- WHERE SUPPORT OR BUTTERING OF CUT AND NATURAL SLOPE IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DRILL LOCATIONS AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
- NOTIFICATION OF NONCOMPLIANCE: IF IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.



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PRECISE GRADING PLAN  
FOR MURRAY BEACH HOUSE  
TITLE SHEET  
2608 COVE STREET  
CORONA DEL MAR, CA 92625

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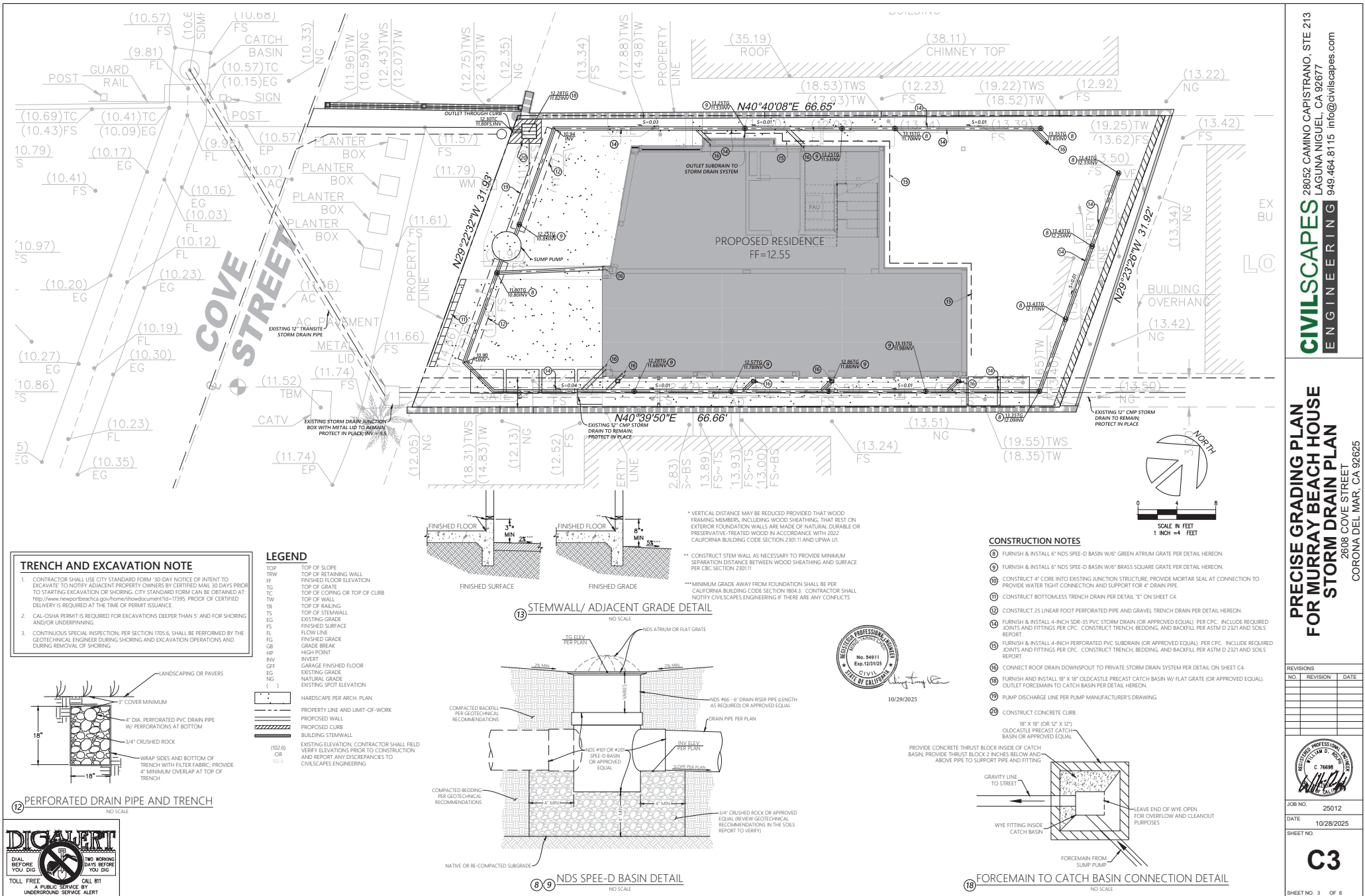
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## COAST GEOTECHNICAL, INC.

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### GEOTECHNICAL DISCUSSION

The site is within an area subject to liquefaction and liquefaction induced settlements under certain seismic events. Under current CBC codes, City policy, and industry standards residential structures subject to seismic hazards are designed to protect life and safety. Under this design objective the requirements of protecting life and safety could be met, but the structure could be damaged. The damage to the structure could range from minimal to being non-functional. The reduction of risk, for the occurrence of structural damage from a seismic event, is generally associated with the structure's foundation system.

Typically the use of a conventional foundation system or a mat foundation system has been utilized in the area.

Based on analysis presented within this report and City guidelines concerning liquefaction study mitigation measures the proposed structure can be developed utilizing the City's "strengthened slab on grade foundation system" for support. This type of foundation system, also referred to as a conventional foundation system, is a minimum design. As the minimum design, this foundation system has the highest risk for occurrence of structural damage to the residence.

The minimum geotechnical requirements for a conventional foundation system are as follows: (1) the structure shall be placed on a mat of compacted fill soil, (2) bottom of all footings shall be 24 inches below grade, (3) foundations shall be continuous or tied together with grade beams, (4) foundations shall be reinforced with a minimum of four #5 bars, two top and two bottom, (5) concrete slabs shall be a minimum of five inch actual thickness with #4 bars at 12 inches on center each way, and (6) footings shall be dowelled into slabs with #4 bars at 24 inches on center. Additional reinforcement may be required if the structural engineer's design is more stringent.

An alternate foundation system typically utilized is a structural mat foundation, which is more rigid than a conventional foundation system, and should be more effective in reducing the risk of structural damage to a structure during a seismic event. Where a mat slab foundation is planned, the slab should be at least twelve inches thick with perimeter footing a minimum of 24 inches below the lowest adjacent grade. Reinforcement shall be determined by the structural engineer.

If the risk associated with either of these foundation systems is not acceptable to the client, the client has the option of utilizing more stringent designs that could decrease the risk of damage to the structure to a level they perceive as acceptable. Some of these designs could consist of soil modifications, grout densification, stone columns, piles placed below liquefiable soils, and other methods. Additional geotechnical exploration and/or analysis would be required to provide geotechnical design recommendation for these mitigation measures, and would be at the request of the client under separate contract.

Grading will be required for support of new foundations as stated within this report.

Development of the site as proposed is considered feasible from a soils engineering standpoint, provided that the recommendations stated herein are incorporated in the design and are

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implemented in the field. The proposed grading and/or construction will not have an adverse effect on adjacent property or vice versa, provided site work is performed in accordance with the guidelines of project geotechnical reports, approved plans, applicable codes, industry standards, City inspections, and required geotechnical observation and testing.

The following recommendations are subject to change based on review of final foundation and grading plans.

### PROPOSED GRADING

Grading plans were not available at the time this report was prepared. It is anticipated that grading will consist mainly of over-excavation and recompaction for uniform support of the foundations and slabs.

### GENERAL GRADING NOTES

All existing structures shall be demolished and all vegetation and debris shall be stripped and hauled from the site. The entire grading operation shall be done in accordance with the attached "Specifications for Grading".

Any import fill materials to the site shall not have an expansion index greater than 20, and shall be tested and approved by our laboratory. Samples must be submitted 48 hours prior to import.

Grading and/or foundation recommendations are subject to modification upon review of final plans by the Geotechnical Engineer. Please submit plans to COAST GEOTECHNICAL, Inc. when available.

### GRADING RECOMMENDATIONS

Removal and recompaction of existing earth materials will be required to provide adequate support for foundations and site improvements. Earthwork for foundation support shall include the entire building pad and shall extend a minimum of three feet outside exterior footing lines.

Based on in place densities and consolidation tests, soils found at a depth of three feet below existing grade and deeper have adequate geotechnical properties to provide adequate support of proposed fills and the structure; as such, removals to a depth of three feet below existing grade or to one foot below proposed footing bottoms, whichever is greater, are anticipated; however, field observations made at the time of grading shall determine final removal limits.

To provide adequate support along property lines excavations shall be sloped at a 1:1 (H:V) gradient from property line down to the excavation bottom. As fill soils are placed the grading contractor shall bench into the 1:1 construction cut to final grade. Temporary excavations along property lines are shown on Plate 4.

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If a mat slab design is utilized, the structural engineer should design the thickness and reinforcement requirements for the mat foundation for the building based on the anticipated loading conditions. The mat foundation slab should be at least twelve inches thick, with perimeter footings a minimum of 24 inches below the lowest adjacent grade. A modulus of subgrade reaction of 100 pci may be used in the design of the mat foundation. Reinforcement shall be determined by the structural engineer. Calculations for the subgrade reaction are provided on Plate 1.

Alternate foundations and/or additional ground modification techniques, for support of the structure, can be addressed upon request of the project manager. All foundation plans are subject to review and approval of the soils engineer.

All foundation bottoms shall be observed and approved by COAST GEOTECHNICAL, Inc. prior to placement of the capillary break.

### FOUNDATIONS - SECONDARY STRUCTURES

Property line walls, planter walls, and other incidental foundations may utilize conventional foundation design.

Continuous spread footings or isolated pads placed a minimum depth of 24 inches below lowest adjacent grade may utilize an allowable bearing value of 1,500 pounds per square foot. This value is for dead plus live load and may be increased 1/3 for total including seismic and wind loads where allowed by code.

Where isolated pads are utilized, they shall be tied in two directions into adjacent foundations with grade beams.

Footing excavations shall be observed by a representative of COAST GEOTECHNICAL, Inc. prior to placement of steel or concrete to verify competent soil conditions. If unacceptable soil conditions are exposed mitigation will be recommended.

Foundations shall be reinforced with a minimum of four #5 bars, two top and two bottom. The structural engineer's recommendations for reinforcement shall be utilized where more severe.)

### LATERAL DESIGN

Lateral restraint at the base of footings and on slabs may be assumed to be the product of the dead load and a coefficient of friction of 0.35. Passive pressure on the face of footings may also be used to resist lateral forces. A passive pressure of zero at the surface of finished grade, increasing at the rate of 300 pounds per square foot of depth to a maximum value of 3,000 pounds per square foot, may be used for compacted fill at this site. Calculations are provided on Plate H. If passive pressure and friction are combined when evaluating the lateral resistance, then the value of the passive pressure should be limited to 2/3 of the values given above.

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During earthwork operations, a representative of COAST GEOTECHNICAL, INC. shall be present to verify compliance with these recommendations. Subsequent to approval of the excavation bottom, the area shall be scarified six inches, mixed with Portland cement, moisture conditioned as needed, and compacted to a minimum of 90% relative compaction.

Due to the caving nature of the on-site sands, it is highly recommended that all fill be mixed with Portland cement to reduce, but not eliminate, the potential of caving of the foundation excavations. Typically, a 2-3% by volume mixture of cement is sufficient to reduce the caving potential of foundation excavations. Preventing the foundation excavations from being surcharged by foot traffic and equipment will also help to reduce caving potential.

Grading for hardscape areas shall consist of removal and recompaction of loose surficial soils. Removal depths are estimated at one to two feet. Earthwork shall be performed in accordance with previously specified methods.

### FOUNDATIONS - RESIDENCE

The proposed structures shall be supported by a mat foundation or a conventional foundation system.

Conventional foundations shall utilize spread footings and/or isolated pad footings placed a minimum depth of 24-inches below lowest adjacent grade utilizing an allowable bearing value of 1,800 pounds per square foot. This value is for dead plus live load and may be increased 1/3 for total including seismic and wind loads where allowed by code. The structural engineer's reinforcing requirements should be followed if more stringent. Calculations are provided on Plate G.

Where isolated pads are utilized, they shall be tied in two directions into adjacent foundations with grade beams.

The minimum width of footings shall be 12-inches wide for one-story construction, 15-inches wide for two-story construction, and 18-inches wide for three-story construction.

It is recommended that all footings be reinforced with a minimum of four No.5 bars (two top and two bottom). The structural engineer's reinforcing requirements should be followed if more stringent.

Footing excavations shall be observed by a representative of COAST GEOTECHNICAL, INC., prior to placement of steel or concrete to verify competent soil conditions. If unacceptable soil conditions are exposed mitigation will be recommended.

Geotechnical recommendations for foundation reinforcement are given under the liquefaction section of this report.

## COAST GEOTECHNICAL, INC.

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### FLOOR SLABS

Slab on grades shall be designed in accordance with current CBC codes.

Site soils are non plastic.

Minimum geotechnical recommendations for slab design are five inches actual thickness with #4 bars at 12 inches on center each way. Slabs shall be tied into perimeter foundations with #4 bars at 24 inch centers. Structural design may require additional reinforcement and slab thickness.

Subgrade soils shall exhibit a minimum relative compaction of 90% to the depth determined by the geotechnical engineer. The soil should be kept moist prior to casting the slab. However, if the soils at grade become disturbed during construction, they should be brought to approximately optimum moisture content and rolled to a firm, unyielding condition prior to placing concrete.

COAST GEOTECHNICAL, Inc. to verify adequacy of subgrade soils prior to placement of sand or visqueen.

Section 4.503.2.1 of the California Green Code requires the use of a capillary break between the slab subgrade and vapor barrier. The capillary break material shall comply with the requirements of the local jurisdiction and shall be a minimum of four inches in thickness. Geotechnically coarse clean sand is acceptable; however, some localities require the use of four inches of gravel (1/2-inch or larger clean aggregate). If gravels are used, a vapor barrier with a permeance of less than 0.01perms (consistent with ACI 302.2R-06) such as 15 mil. Stego Wrap Vapor Barrier, or equivalent, should be considered, and a qualified water proofing specialist should be consulted. The vapor barrier should be underlain by the above described capillary break materials and filter cloth. The capillary break materials should be compacted to a uniform condition prior to placement of the recommended filter cloth and vapor barrier. The vapor barrier should be properly lapped and sealed.

Slab areas should be underlain by a vapor retarder consisting of an engineered plastic film (as described by ASTM-E-1745). In areas where a moisture sensitive floor covering will be used and/or where moisture infiltration is not desirable, a vapor barrier with a permeance of less than 0.01perms (consistent with ACI 302.2R-06) such as 15 mil. Stego Wrap Vapor Barrier, or equivalent, should be considered, and a qualified water proofing specialist should be consulted. The vapor barrier should be underlain by the above described capillary break materials and filter cloth. The capillary break materials should be compacted to a uniform condition prior to placement of the recommended filter cloth and vapor barrier. The vapor barrier should be properly lapped and sealed.

### SEISMIC DESIGN

Based on the 2022 CBC and ASCE7-16, the following seismic design parameters are provided. These seismic design values were determined utilizing latitude 33.59713 and longitude -117.87848 and calculations from the ASCE Hazards Report Design Tool. Data output is attached in Appendix B. A site class D-Default was assigned to site earth materials.

## PRECISE GRADING PLAN FOR MURRAY BEACH HOUSE GEOTECHNICAL NOTES

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ENGINEERING



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- The  $F_v$ ,  $S_{M1}$ , and  $S_{D1}$  are calculated based on Table 11.4-2 of ASCE7-16 as shown on Plate X. Since  $S_1$  is more than 0.2, the project structural engineer shall perform required calculations to make sure that a site response analysis is not required according to 11.4.8 of ASCE7-16.

The maximum total post-construction static settlement is anticipated to be on the order of 1/2 inch. Differential settlements are expected to be less than 1/2 inch, measured between adjacent structural elements over a distance of 40 feet. Seismic induced settlements are addressed under previous sections.

Subsidence over the site is anticipated to be negligible. Shrinkage of reworked materials should be in the range of 5 to 10 percent.

Results of expansion tests indicate that the near surface soils have a very low expansion potential. The very low recommendations on the accompanying Expansive Soil Recommendations Chart, Plate A, shall be utilized in the design.

All utility line backfills, both interior and exterior, shall be compacted to a minimum of 90% relative compaction and shall require testing at a maximum of two-foot vertical intervals.

Utility lines shall be placed at appropriate depths. Shallow pipes can be damaged by the forces imposed by compacting backfill soils. If shallow pipes are not capable of withstanding the forces of backfill compaction, slurry backfill will be recommended.

Hardscape and slab subgrade areas shall exhibit a minimum of 90% relative compaction to a depth of at least one foot. Deeper removal and recompaction may be required if unacceptable conditions

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We will be pleased to provide additional input with respect to foundation design once methods of construction have been determined.

Grading and foundation should be reviewed by this office prior to commencement of grading so that appropriate recommendations, if needed, can be made.

Areas to receive fill should be observed when unsuitable materials have been removed and prior to placement of fill. Fill should be observed and tested for compaction as it is placed.

During construction, a number of reviews by this office are recommended to verify site geotechnical conditions and conformance with the intentions of the recommendations for construction. Although not all possible geotechnical observation and testing services are required. The following site reviews are advised, some of which will probably be required by the City of Newport Beach:

- ## AGENCY REVIEW

All soil, geologic and structural aspects of the proposed development are subject to the review and approval of the governing agency(s). It should be recognized that the governing agency(s) can dictate the manner in which the project proceeds. They could approve or deny any aspect of the proposed improvements and/or could dictate which foundation and grading options are acceptable. Supplemental geotechnical consulting in response to agency requests for additional information could be required and will be charged on a time and materials basis.

This report presents recommendations pertaining to the subject site based on the assumption that the subsurface conditions do not deviate appreciably from those disclosed by our exploratory excavations. Our recommendations are based on the technical information, our understanding of the proposed construction, and our experience in the geotechnical field. We do not guarantee the performance of the project, only that our engineering work and judgments meet the standard of care of our profession at this time.

In view of the general conditions in the area, the possibility of different local soil conditions may exist. Any deviation or unexpected condition observed during construction should be brought to the

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An on-site soil sample showed a soluble sulfate content of 51 ppm, which is a negligible sulfate exposure. Based on the current ACI 318-19, Table 19.3.1.1, the sulfate content is an S0 classification to sulfate corrosion. Concrete with Type II 2,500 psi may be utilized; however, the saltwater environ may cause damage to exposed concrete and a designed concrete should be considered.

Positive drainage should be planned for the site. Drainage should be directed away from structures via non-erodible conduits to suitable disposal areas. The structure should utilize roof gutters and down spouts tied directly to yard drainage.

Pipes used for storm/site water drainage should be stout enough to withstand the force of compaction of the soils above. This force can be considerable, causing some weaker pipes to collapse. Drainage pipes shall have a smooth interior. Pipes with a corrugated interior can cause the buildup of deleterious matter, which can impede or block the flow of site waters and, as such, are not recommended. All storm/site water drainage pipes should be in conformance with the requirements of Table 1102.5 of the California Plumbing Code.

Unlined flowerbeds, planters, and lawns should not be constructed against the perimeter of the structure. If such landscaping (against the perimeter of a structure) is planned, it should be properly drained and lined or provided with an underground moisture barrier. Irrigation should be kept to a minimum.

The current CBC recommends five percent slope away from structures for landscape areas within ten feet of the residence. Hardscape areas shall be sloped a minimum of two percent where within ten feet of the residence unless allowed otherwise by the building official. Minimum drainage shall be one percent for hardscape areas and two percent for all other areas.

We do not recommend the use of infiltration best management practice (BMP) such as bottomless trench drains, infiltration trenches, infiltration basins, dry wells, permeable pavements or similar systems designed primarily to percolate water into the subsurface soils within five feet of foundations. Due to the physical characteristics of the site earth materials, infiltration of waters into the subsurface earth materials has a risk of adversely affecting below grade structures, building foundations and slabs, and hardscape improvements. From a geotechnical viewpoint surface drainage should be directed to the street.

The WQMP requirement shall be addressed by the Civil Engineer.

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attention of the Geotechnical Engineer. In this way, any supplemental recommendations can be made with a minimum of delay necessary to the project.

If the proposed construction will differ from our present understanding of the project, the existing information and possibly new factors may have to be evaluated. Any design changes and the finished plans should be reviewed by the Geotechnical Consultant. Of particular importance would be extending development to new areas, changes in structural loading conditions, postpone development for more than a year, or changes in ownership.

This report is issued with the understanding that it is the responsibility of the owner, or of his representative, to ensure that the information and recommendations contained herein are called to the attention of the Architects and Engineers for the project, and incorporated into the plans and that the necessary steps are taken to see that the contractors and subcontractors carry out such recommendations in the field.

This report is subject to review by the controlling authorities for this project.

We appreciate this opportunity to be of service to you.

Respectfully submitted:  
COAST GEOTECHNICAL, INC.

Whip-frog!

Ming-Tarng Chen  
RCE 54011

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Robert C. Langhurst  
Staff Geologist

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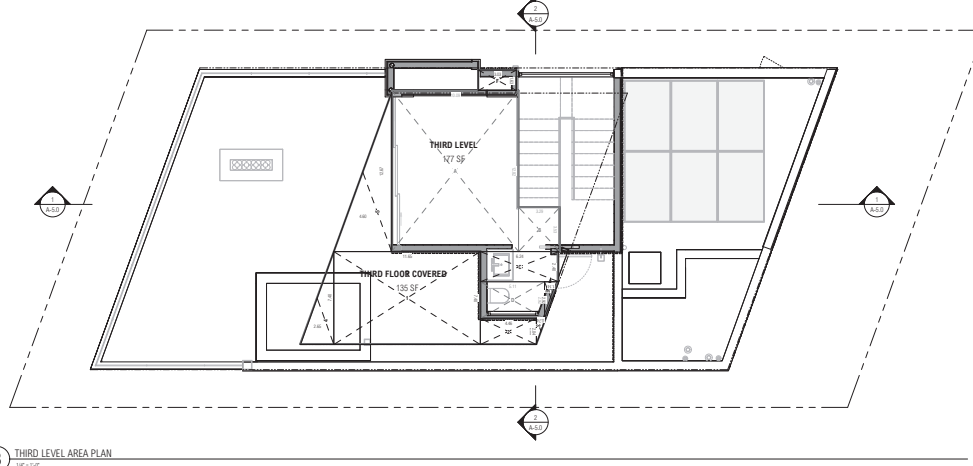
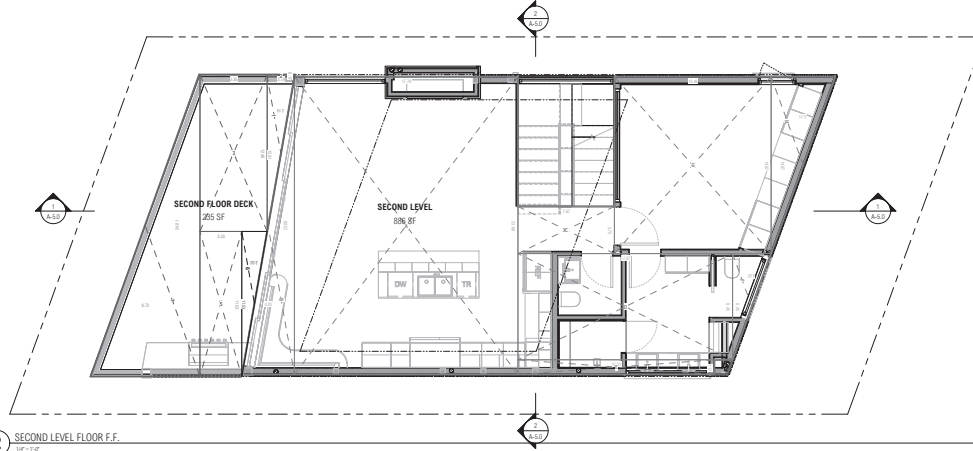
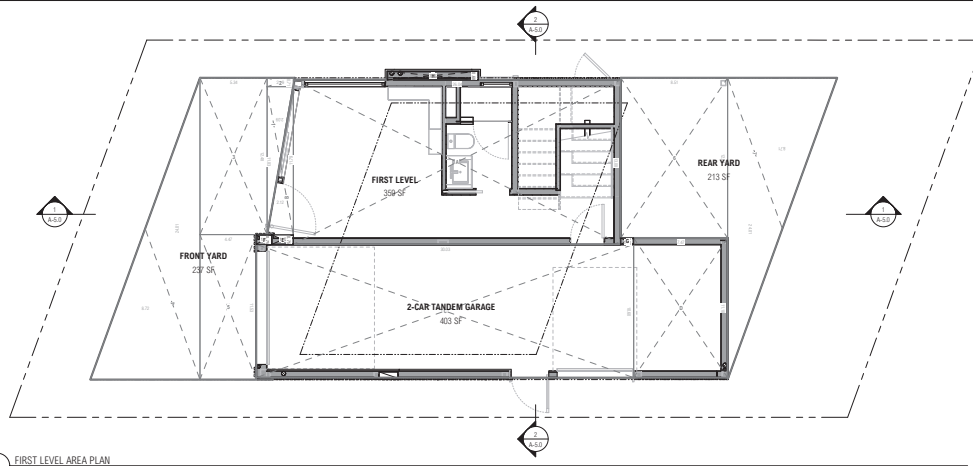
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| BUILDING AREA SCHEDULE |                | FIRST LEVEL OPEN AREA SCHEDULE |               |
|------------------------|----------------|--------------------------------|---------------|
| NAME                   | AREA           | OPEN AREA                      |               |
| 2 CAR TANDEM GARAGE    | 403 SF         | FRONT YARD                     | 23 SF         |
| <b>GARAGE TOTAL</b>    | <b>403 SF</b>  | REAR YARD                      | 213 SF        |
|                        |                | <b>SECOND FLOOR DECK</b>       | <b>255 SF</b> |
| FIRST FLOOR            | 359 SF         | <b>SECOND FLOOR DECK</b>       | <b>255 SF</b> |
| SECOND FLOOR           | 891 SF         | <b>SECOND FLOOR DECK</b>       | <b>255 SF</b> |
| THIRD FLOOR            | 177 SF         | <b>SECOND FLOOR DECK</b>       | <b>255 SF</b> |
| <b>TOTAL TOTAL</b>     | <b>1227 SF</b> | <b>SECOND FLOOR DECK</b>       | <b>255 SF</b> |
|                        |                | <b>SECOND FLOOR DECK</b>       | <b>255 SF</b> |

| BUILDING AREA BREAKDOWN |             |       |        |               |
|-------------------------|-------------|-------|--------|---------------|
| FLOOR                   | AREA SYMBOL | WIDTH | LENGTH | AREA          |
| FIRST FLOOR             | A           | 26.24 | 13.08  | 342 SF        |
| FIRST FLOOR             | B           | 11.79 | 7.17   | 84 SF         |
| FIRST FLOOR             | C           | 30.03 | 10.40  | 312 SF        |
| FIRST FLOOR             | D           | 7.47  | 11.10  | 83 SF         |
| FIRST FLOOR             | E           | 1.75  | 0.75   | 1 SF          |
| FIRST FLOOR             | F           | 1.25  | 0.75   | 1 SF          |
| FIRST FLOOR             | G           | 1.25  | 0.75   | 1 SF          |
| FIRST FLOOR             | H           | 7.75  | 0.75   | 5 SF          |
| FIRST FLOOR             |             |       |        | <b>100 SF</b> |
| SECOND LEVEL            | A           | 17.75 | 23.88  | 421 SF        |
| SECOND LEVEL            | B           | 23.88 | 4.21   | 100 SF        |
| SECOND LEVEL            | C           | 7.87  | 3.75   | 29 SF         |
| SECOND LEVEL            | D           | 17.27 | 8.45   | 146 SF        |
| SECOND LEVEL            | E           | 15.61 | 1.17   | 18 SF         |
| SECOND LEVEL            | F           | 8.45  | 2.87   | 24 SF         |
| SECOND LEVEL            | G           | 12.46 | 14.07  | 175 SF        |
| SECOND LEVEL            | H           | 12.46 | 2.17   | 27 SF         |
| SECOND LEVEL            |             |       |        | <b>636 SF</b> |
| THIRD FLOOR             | A           | 10.20 | 12.52  | 128 SF        |
| THIRD FLOOR             | B           | 2.29  | 2.29   | 5 SF          |
| THIRD FLOOR             | C           | 6.24  | 2.40   | 15 SF         |
| THIRD FLOOR             | D           | 5.11  | 7.82   | 40 SF         |
| THIRD FLOOR             | E           | 2.82  | 1.14   | 3 SF          |
| THIRD FLOOR             | F           | 3.03  | 1.83   | 5 SF          |
| THIRD FLOOR             |             |       |        | <b>177 SF</b> |
| THIRD FLOOR             |             |       |        | <b>177 SF</b> |

| OPEN AREA BREAKDOWN |             |       |        |               |
|---------------------|-------------|-------|--------|---------------|
| FLOOR               | AREA SYMBOL | WIDTH | LENGTH | AREA          |
| FIRST FLOOR         | 1           | 11.83 | 2.29   | 27 SF         |
| FIRST FLOOR         | 2           | 2.29  | 0.71   | 1 SF          |
| FIRST FLOOR         | 3           | 5.34  | 12.46  | 66 SF         |
| FIRST FLOOR         | 4           | 24.01 | 8.72   | 209 SF        |
| FIRST FLOOR         | 5           | 4.47  | 11.53  | 51 SF         |
| FIRST FLOOR         | 6           | 8.51  | 12.74  | 108 SF        |
| FIRST FLOOR         | 7           | 24.01 | 8.71   | 209 SF        |
| FIRST FLOOR         |             |       |        | <b>484 SF</b> |
| SECOND LEVEL        | 1           | 12.31 | 2.19   | 27 SF         |
| SECOND LEVEL        | 2           | 2.19  | 0.17   | 0 SF          |
| SECOND LEVEL        | 3           | 5.25  | 12.46  | 65 SF         |
| SECOND LEVEL        | 4           | 24.01 | 8.72   | 209 SF        |
| SECOND LEVEL        | 5           | 5.25  | 11.53  | 60 SF         |
| SECOND LEVEL        | 6           | 11.53 | 2.01   | 23 SF         |
| SECOND LEVEL        |             |       |        | <b>355 SF</b> |
| SECOND LEVEL        |             |       |        | <b>355 SF</b> |

| THIRD FLOOR AREA    |             |       |        |               |
|---------------------|-------------|-------|--------|---------------|
| FLOOR               | AREA SYMBOL | WIDTH | LENGTH | AREA          |
| THIRD FLOOR         | A           | 10.20 | 12.52  | 128 SF        |
| THIRD FLOOR         | B           | 3.29  | 3.53   | 12 SF         |
| THIRD FLOOR         | C           | 6.24  | 2.40   | 15 SF         |
| THIRD FLOOR         | D           | 5.11  | 2.52   | 13 SF         |
| THIRD FLOOR         | E           | 2.82  | 1.14   | 3 SF          |
| THIRD FLOOR         | F           | 3.03  | 1.83   | 5 SF          |
| THIRD FLOOR COVERED | 1           | 11.83 | 7.40   | 88 SF         |
| THIRD FLOOR COVERED | 2           | 4.46  | 2.29   | 10 SF         |
| THIRD FLOOR COVERED | 3           | 2.24  | 0.71   | 2 SF          |
| THIRD FLOOR COVERED | 4           | 7.40  | 2.29   | 17 SF         |
| THIRD FLOOR COVERED | 5           | 12.07 | 4.07   | 49 SF         |
| THIRD FLOOR COVERED |             |       |        | <b>135 SF</b> |
| THIRD FLOOR COVERED |             |       |        | <b>135 SF</b> |



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COSTA MESA, CA 92626  
714.754.4400  
WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**  
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**PLAN CHECK NO.**  
PAC205-0072

**PROJECT CONTACT**  
GAREY WILSON

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**MURRAY BEACH HOUSE**

**PROJECT ADDRESS:**  
2630 COVE ST., CORONA DEL MAR, CA 92626

**OWNER INFORMATION:**  
JOHN AND SHERY MURRAY  
2630 COVE ST.,  
CORONA DEL MAR, CA 92626

**DATE**  
10/14/2025

**REVISION**  
NO. REVISION DATE

**AREA PLANS**

**A-0.2**



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GABRIEL ORTIZ

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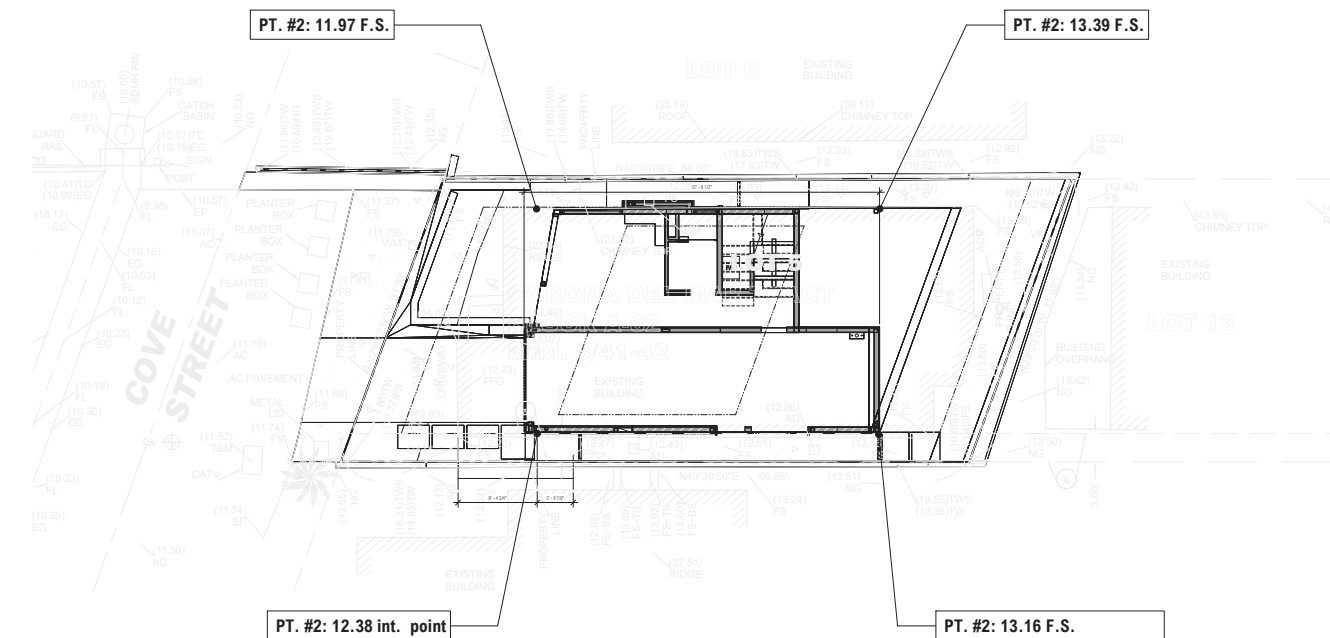
**OWNER INFORMATION:**  
JOHN AND SHERY MURRAY  
2630 COVE ST.  
CORONA DEL MAR, CA 92626

**DATE**  
10/14/2025

**REVISIONS**  
NO. REVISION DATE

**GRADE PLANE EXHIBIT**

**A-0.4**



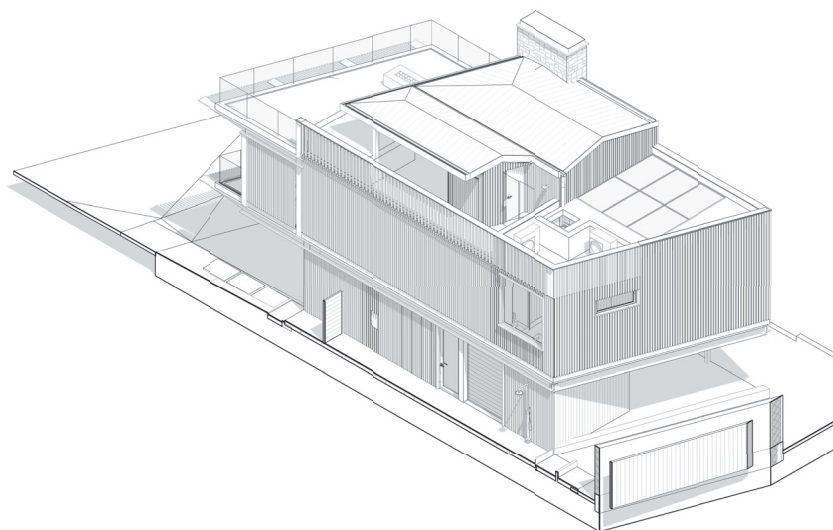
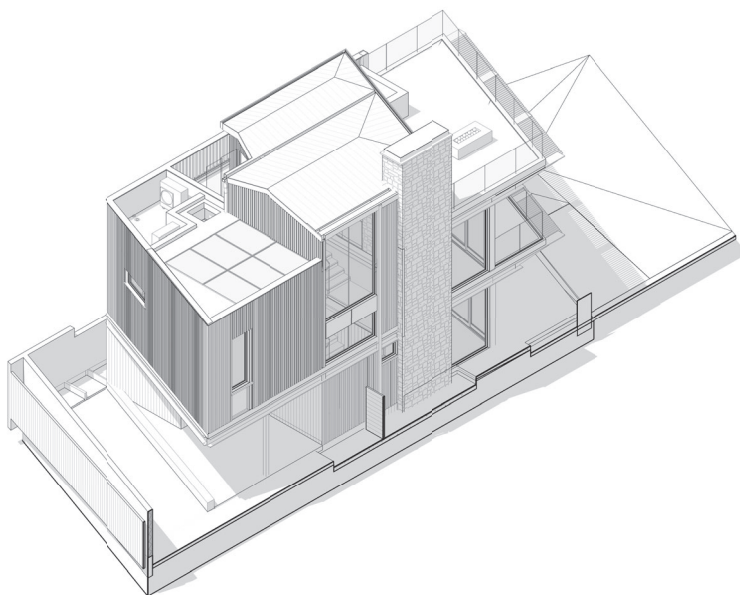
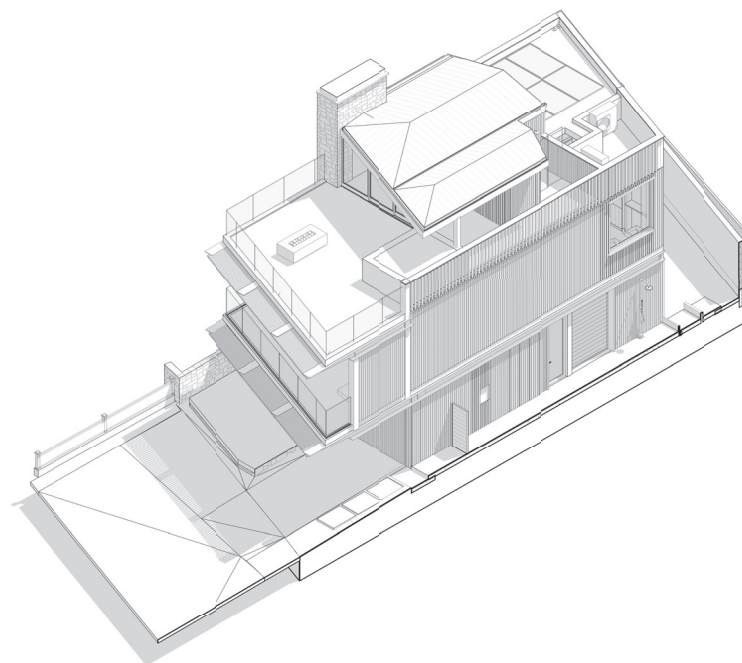
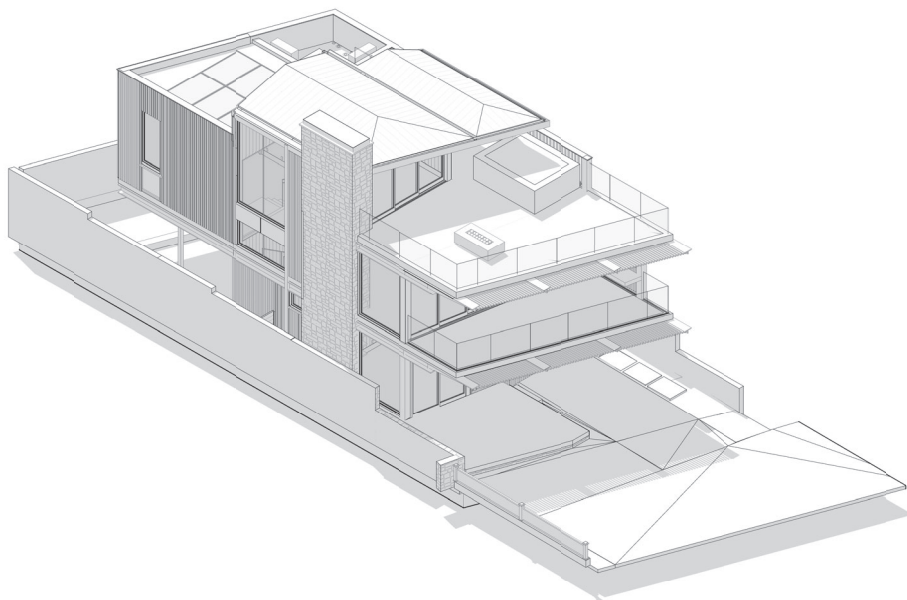
**1** GRADE PLANE EXHIBIT  
1/8" = 1'-0"

**POINT #2: INTERPOLATION POINT**  
 $12.47' - 12.20' = 0.27'$   
 $3.875' \times (0.27' / 12.25') = 0.085'$   
 $12.47' - 0.085' = 12.38'$

**ZONING REQUIRED BUILDABLE AREA:**  
TOTAL ALLOWABLE AREA: 1.5 X 1,216.95 S.F. = 1,825 S.F.

**GRADE PLANE DETERMINATION**  
PT. 1 11.97'  
PT. 2 12.38'  
PT. 3 13.39'  
PT. 4 13.16'  
 $50.9' / 4 = 12.73'$

**AVERAGE SLOPE**  
 $(13.39' - 11.97') / 36.39' = 3.9\%$



## BRANDON ARCHITECTS

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## PROJECT STATUS

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## PLAN CHECK NO.

PA2025-0072

#### PROJECT CONTACT

GABBY UNDA

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**MURRAY BEACH HOUSE**

## PROJECT ADDRESS:

2608 COVE ST., CORONA DEL MAR, CA  
92625

## OWNER INFORMATION:

JOHN AND SINDY MURRAY  
2608 COVE ST.,  
CORONA DEL MAR, CA 92625

## DATE \_\_\_\_\_

10/14/2025

## REVISIONS

| NO. | REVISION | DATE |
|-----|----------|------|
|-----|----------|------|

### 3D VIEWS

## A-1.0



**1** FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0"

**2 SECOND LEVEL FLOOR PLAN**  
1/4" = 1'-0"

[illegible]

**MURRAY BEACH HOUSE**

**BRANDON ARCHITECTS**  
51 KALMUS DRIVE, SUITE G-1  
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PROJECT STATUS  
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**PROJECT ADDRESS:**  
508 COVE ST., CORONA DEL MAR, CA

**OWNER INFORMATION:**  
JOHN AND SINDY MURRAY  
508 COVE ST.,  
ORONA DEL MAR, CA 92625

DATE  
01/14/2025

[illegible]

FIRST & SECOND  
LEVEL FLOOR PLAN

## A-2.0

















