



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

May 15, 2025
Agenda Item No. 4

SUBJECT: Burcher Residence (PA2024-0237)
▪ Coastal Development Permit

SITE LOCATION: 2104 East Balboa Boulevard

APPLICANT: EBTA Architects

OWNER: Burcher Family Trust

PLANNER: Oscar Orozco, Associate Planner
949-644-3219, oorozco@newportbeachca.gov

LAND USE AND ZONING

- **General Plan:** RS-D (Single Unit Residential Detached)
- **Zoning District:** R-1 (Single-Unit Residential)
- **Coastal Land Use Category:** RSD-B (Single Unit Residential Detached) (6.0-9.9 DU/AC)
- **Coastal Zoning District:** R-1 (Single-Unit Residential)

PROJECT SUMMARY

A coastal development permit (CDP) to allow the demolition of an existing single-unit dwelling and construction of a three-story 8,086-square-foot, single-unit dwelling with an attached 1,053-square-foot 4-car garage and a 3,376-square-foot subterranean basement. The project includes reinforcement and raising of the existing bulkhead. Additionally, the project includes landscape, hardscape, and drainage. The project complies with all applicable development standards and no deviations are requested. All improvements authorized by this CDP will be located on private property.

The subject property is bisected by the coastal permit jurisdiction boundary, resulting in a portion of the single-unit dwelling, front patio accessory improvements, and the bulkhead improvements within California Coastal Commission's permit jurisdiction. This Coastal Development Permit is intended to cover portions of the project within the City's permit authority as designated in the Local Coastal Program (Title 21 of the Newport Beach Municipal Code).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit filed as PA2024-0237 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, and the property is not eligible for a waiver for de minimis development because the property is located in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-unit dwelling. The neighborhood is predominantly developed with two- and three-story, single unit residences. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.

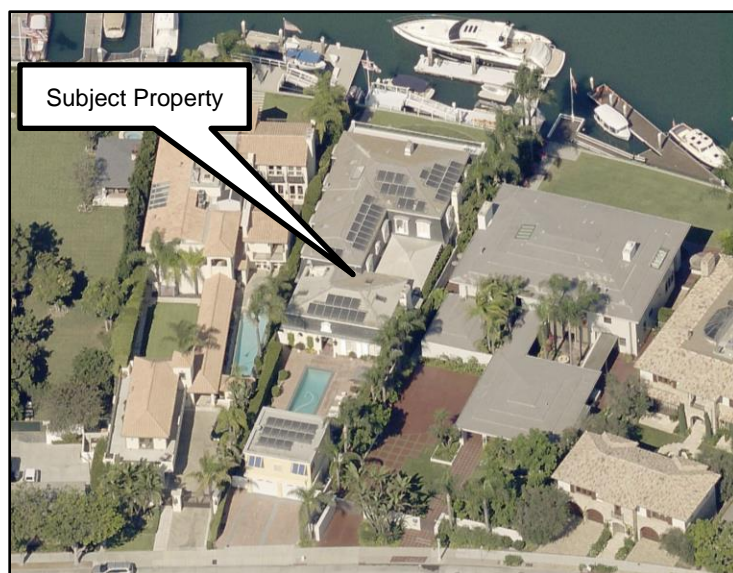


Figure 1: Oblique Aerial image of Neighborhood

- The proposed single-unit dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (street)	0 feet	20 feet 5 inches
Front (water)	30 feet	30 feet
Sides	4 feet	4 feet
Allowable Floor Area (max.)	19,424 square feet	9,139 square feet
Allowable 3rd Floor Area (max.)	1,456 square feet	1,013 square feet
Open Space (min.)	1,456 square feet	3,745 square feet
Parking (min.)	3-car garage	4-car garage
Height (max.)	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

Hazards

- A Coastal Hazards Report and Sea Level Rise Analysis was prepared by PMA Consulting, Inc. dated December 17, 2024, for the project. The maximum bay water elevation is 7.7 feet North American Vertical Datum of 1988 (NAVD 88) and may exceed the current top of bulkhead elevation of 8.77 feet NAVD 88 during high tide or storm events. The report analyzes future sea level rise scenarios assuming a 3.2-foot increase in the maximum water level over the next 75 years (i.e., the life of the structure). Therefore, the sea level is estimated to reach approximately 10.9 feet NAVD 88 (the likely range for sea level rise over the 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update).
- On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet (NAVD 88) with a design for adaptability elevation of 14.4 feet NAVD 88. The project has been conditioned to raise the bulkhead to an elevation of 10.9 feet NAVD 88. PMA Consulting, Inc. has confirmed the bulkhead can be raised up to 14.4 feet NAVD 88 if needed and in compliance with the updated guidelines.
- Once the existing bulkhead is reinforced and raised per the report's recommendations, flooding, wave run-up, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. Flood shields (sandbags and other barriers) can be deployed across the openings to protect and prevent flooding to the structure. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the

reinforced and raised bulkhead. Therefore, the project has been conditioned to raise the bulkhead up to 10.9 feet NAVD 88.

- The finished floor elevation of the proposed single-unit dwelling is 11.26 feet NAVD 88, which complies with the minimum 9.00-foot NAVD 88 elevation standard. The report concludes that the project will be safe from flooding hazards for the next 75 years with the reinforced bulkhead.
- Under Newport Beach Municipal Code (NBMC) Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection), the property owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Waiver of Future Protection is included as a condition of approval that will need to be satisfied before the final building inspection.
- The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards). The Acknowledgement of Coastal Hazards is included as a condition of approval that will need to be satisfied before the issuance of building permits.
- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property is adjacent to coastal waters. Under Section 21.35.030 (Construction Pollution Prevention Plan) of the Municipal Code, a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. A CPPP has been provided, and construction plans and activities will be required to adhere to the CPPP.
- Under Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP/WQMP) is required. A WQHP/WQMP has been prepared for the project by

W.H. Civil dated March 13, 2025. The WQHP/WQMP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.

Public Access and Views

- The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-unit dwelling located on a standard R-1 lot with a new single-unit dwelling. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoints are the West Jetty View Park, the public beach southeast of the County of Orange Harbor Patrol and a fire access/utility road off Bayside Drive adjacent to the entrance of Bayside Place. The project site is not visible from the West Jetty View Park. The Project site is visible from the public beach southeast of the County of Orange Harbor Patrol and the fire access/utility road off Bayside Drive adjacent to the entrance of Bayside Place. However, the project will replace an existing single-unit dwelling with a single-unit dwelling that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. The proposed single-family residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Additionally, the project does not contain any unique features that could degrade the visual quality of the coastal zone.
- Vertical access to the bay and beach is available at street ends throughout the Balboa Peninsula, including K Street approximately 650 west of the subject property. Lateral access is available on the beach on the south side of the Balboa Peninsula. The project does not include any features that would obstruct access along these routes.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

The Class 3 exemption includes the demolition and construction of limited numbers of new, small structures, including one single-family residence. The project consists of the demolition of an existing single-unit dwelling and construction of a new three-story 8,086-square-foot, single-unit dwelling with an attached 1,053-square-foot 4-car garage and a 3,376-square-foot subterranean basement.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource

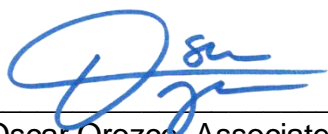
PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Newport Beach Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Oscar Orozco, Associate Planner

LAW/oo

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND CONSTRUCT A NEW THREE-STORY, SINGLE-UNIT DWELLING INCLUDING A BASEMENT AND ATTACHED GARAGE LOCATED AT 2104 EAST BALBOA BOULEVARD (PA2024-0237)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by EBTA Architects, with respect to property located at 2104 East Balboa Boulevard, requesting approval of a coastal development permit.
2. The lot at 2104 East Balboa Boulevard is legally described as Parcel 2 of Resubdivision No. 250.
3. The applicant requests a coastal development permit to allow the demolition of an existing single-unit dwelling and construction of a three-story 8,086-square-foot, single-unit dwelling with an attached 1,053-square-foot 4-car garage and a 3,376-square-foot subterranean basement. The project includes reinforcement and raising of the existing bulkhead. Additionally, the project includes landscape, hardscape, and drainage. The project complies with all applicable development standards and no deviations are requested. All improvements authorized by this Coastal Development Permit (CDP) will be located on private property.
4. The subject property is bisected by the coastal permit jurisdiction boundary resulting in a portion of the property within the California Coastal Commission's permit jurisdiction. This Coastal Development Permit is intended to cover portions of the project within the City's permit authority as designated in the certified Local Coastal Program (LCP) (Title 21 of the Newport Beach Municipal Code).
5. The subject property is designated RS-D (Single Unit Residential Detached) by the General Plan Land Use Element and is located within the R-1 (Single-Unit Residential) Zoning District.
6. The subject property is located within the coastal zone. The Coastal Land Use Plan category is RSD-B (Single Unit Residential Detached) (6.0-9.9 DU/AC) and it is located within the R-1 (Single-Unit Residential) Coastal Zoning District.
7. A public hearing was held on May 15, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. The Class 3 exemption includes the demolition and construction of limited numbers of new, small structures, including one single-family residence. The project consists of the demolition of an existing single-unit dwelling and construction of a new three-story 8,086-square-foot, single-unit dwelling with an attached 1,053-square-foot 4-car garage and a 3,376-square-foot subterranean basement.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 19,424 square feet and the proposed floor area is 9,139 square feet.
 - b. The proposed development provides the minimum required setbacks, which are 0 feet along the front property line abutting Balboa Boulevard, 4 feet along each side property line, and 30 feet along the front property line on the waterfront.
 - c. The highest guardrail is 24 feet from the established grade of 11.82 feet North American Vertical Datum of 1988 (NAVD88) and the highest ridge is no more than 29 feet from the established grade, which complies with the maximum height requirements.

- d. The project includes garage parking for a total of four vehicles, complying with the minimum three-car garage parking requirement for single-unit dwellings with more than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with two- and three-story, single-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development.
3. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by PMA Consulting, Inc. dated December 17, 2024, for the project. The maximum bay water elevation is 7.7 feet North American Vertical Datum of 1988 (NAVD 88) and may exceed the current top of bulkhead elevation of 8.77 feet NAVD 88 during high tide or storm events. The report analyzes future sea level rise scenarios, assuming a 3.2-foot increase in the maximum water level over the next 75 years (i.e., the life of the structure). Therefore, the sea level is estimated to reach approximately 10.9 feet NAVD 88 (the likely range for sea level rise over the 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update). Once the existing seawall/bulkhead is reinforced and raised per the report's recommendations, flooding, wave run-up, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the reinforced/capped bulkhead. Therefore, the project has been conditioned to raise the bulkhead up to 10.9 feet NAVD 88.
4. On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any bulkhead structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet (NAVD 88) with a design for adaptability elevation of 14.4 feet (NAVD 88). The Project has been conditioned to raise the bulkhead to an elevation of 10.9 feet (NAVD 88). Additionally, the Coastal Hazards Report prepared by PMA Consulting, Inc. confirms that the bulkhead design can be raised to 14.4 feet (NAVD 88) if needed to comply with the updated guidelines.
5. The finished floor elevation of the proposed single-unit residence is 11.26 feet (NAVD88), which complies with the minimum 9.00-foot (NAVD88) elevation standard.
6. Under NBMC Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection), the property owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Waiver of Future Protection is included as a condition of approval that will need to be satisfied before the final building inspection.
7. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) (General Site Planning and

Development Standards). The Acknowledgement of Coastal Hazards is included as a condition of approval that will need to be satisfied before the issuance of building permits.

8. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
9. The Property is located adjacent to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The Project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
10. Under Municipal Code Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP/WQMP) is required. A WQHP/WQMP has been prepared for the project by W.H. Civil dated March 13, 2025. The WQHP/WQMP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.
11. Proposed landscaping complies with Implementation Plan Section 21.30.075 (Landscaping). A condition of approval is included that requires drought-tolerant species. Before the issuance of building permits, the final landscape plans will be reviewed to verify that invasive species are not planted.
12. The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoints are the West Jetty View Park, the public beach southeast of the County of Orange Harbor Patrol and a fire access/utility road off Bayside Drive adjacent to the entrance of Bayside Place. The project site is not visible from the West Jetty View Park. The Project site is visible from the public beach southeast of the County of Orange Harbor Patrol and the fire access/utility road off Bayside Drive adjacent to the entrance of Bayside Place. However, the project will replace an existing single-unit dwelling with a single-unit dwelling that complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. The proposed single-family residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Additionally, the project

does not contain any unique features that could degrade the visual quality of the coastal zone.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

13. The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-unit dwelling located on a standard R-1 lot with a new single-unit dwelling. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
14. Vertical access to the bay and beach is available at street ends throughout the Balboa Peninsula, including K Street approximately 650 west of the subject property. Lateral access is available on the beach on the south side of the Balboa Peninsula. The project does not include any features that would obstruct access along these routes.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit (PA2024-0237), subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 Local Coastal Program (LCP) Implementation Plan, of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 15TH DAY OF MAY 2025.

Benjamin M. Zdeba, AICP, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**Planning Division

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *Prior to final building permit inspection, the existing seawall shall be reinforced and capped to 10.90 feet (NAVD 88) and capable of being raised up to 14.4 feet (NAVD 88), in compliance with the City of Newport Beach Waterfront Project Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The existing seawall shall be reinforced consistently with the recommendations provided in the Coastal Hazards Report and Sea Level Rise Analysis prepared by PMA Consulting, Inc. dated December 17, 2024 .*
3. *Prior to building permit issuance for any improvements within the California Coastal Commission's jurisdiction, an Approval in Concept (AIC) from the City and separate authorization from the California Coastal Commission (CCC) is required.*
4. *This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to public trust shall require a coastal development permit (CDP) approved by the California Coastal Commission (Coastal Commission). Prior to the issuance of building permits, the Applicant shall provide a copy of said coastal development permit or CDP waiver or documentation from the Coastal Commission that subject improvements are not subject to the permit requirements of the Coastal Act and/or not located within the permit jurisdiction of the Coastal Commission.*
5. *Prior to the final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns*
6. *Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation,*

attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the development. This letter shall be scanned into the plan set before building permit issuance.

7. No demolition or construction materials, equipment debris, or waste shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
8. This Coastal Development Permit does not authorize any development seaward of the private property.
9. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
10. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
11. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
12. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

13. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
14. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
15. The project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
16. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
17. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
18. *Prior to the issuance of building permits, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
19. *Prior to the issuance of building permits, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.*
20. *Prior to issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
21. *Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
22. *Prior to the issuance of building permits, the final WQHP/WQMP shall be reviewed and approved by the Building Division. The implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.*
23. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

24. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
25. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) and other applicable noise control requirements of the Newport Beach Municipal Code.
26. *Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.*
27. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
28. This Coastal Development Permit (PA2024-0237) shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
29. To the fullest extent permitted by law, the Applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Burcher Residence, including but not limited to, Coastal Development Permit (PA2024-0237)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Public Works Department

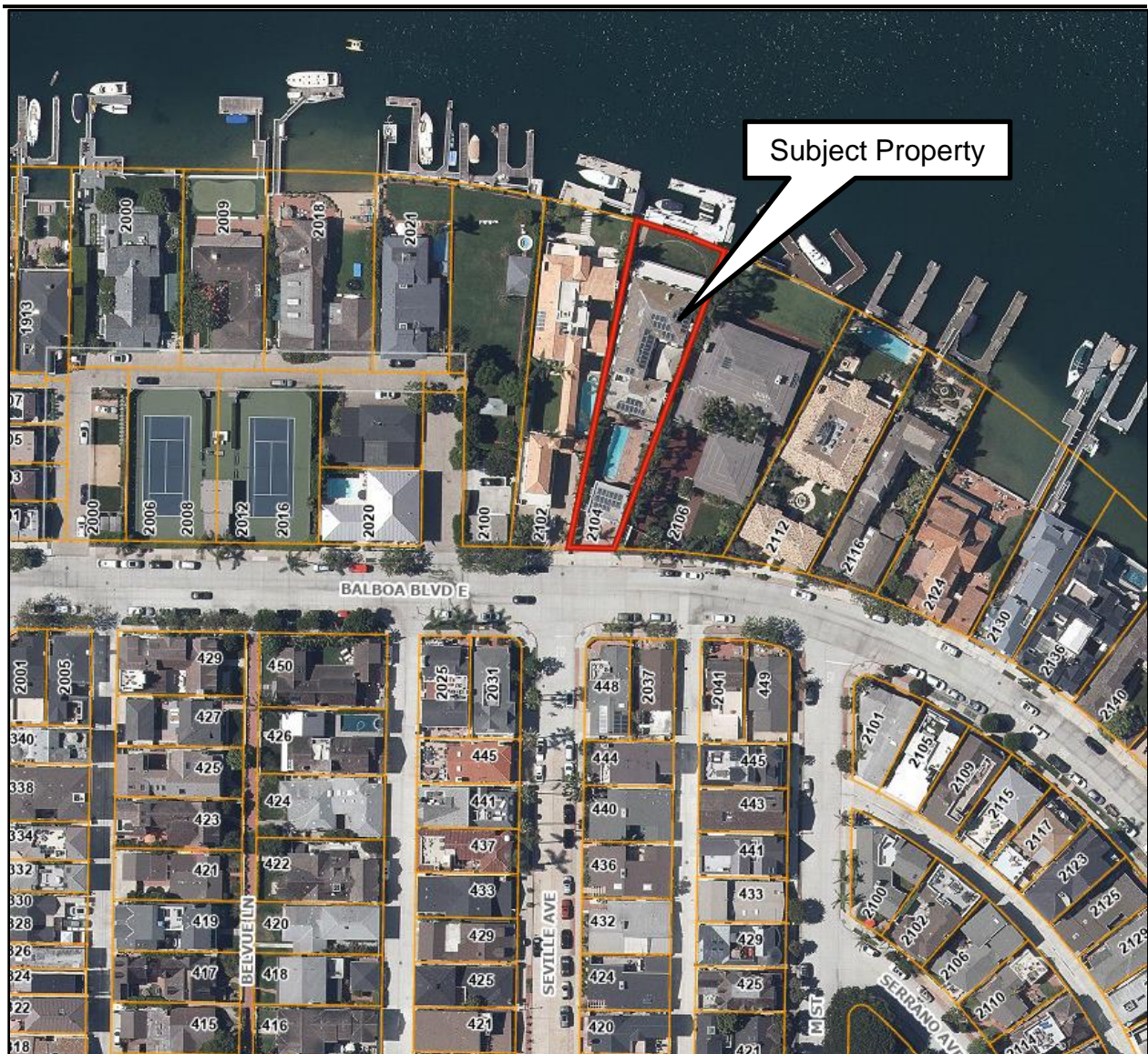
30. *Prior to the building permit final*, the Applicant shall install a new sewer clean out on the existing sewer lateral per City Standard 406.
31. *Prior to the issuance of a building permit*, the Applicant shall install a new driveway per City Standard 162. The existing driveway does not comply with City Standard 162 or City Council Policy L-2. The maximum width of the approach bottom is 20 feet.

32. Prior to the issuance of a building permit, the proposed decorative driveway shall be consistent with City Council Policy L-6 and owner shall obtain an encroachment permit and encroachment agreement.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit
PA2024-0237
2104 East Balboa Boulevard

Attachment No. ZA 3

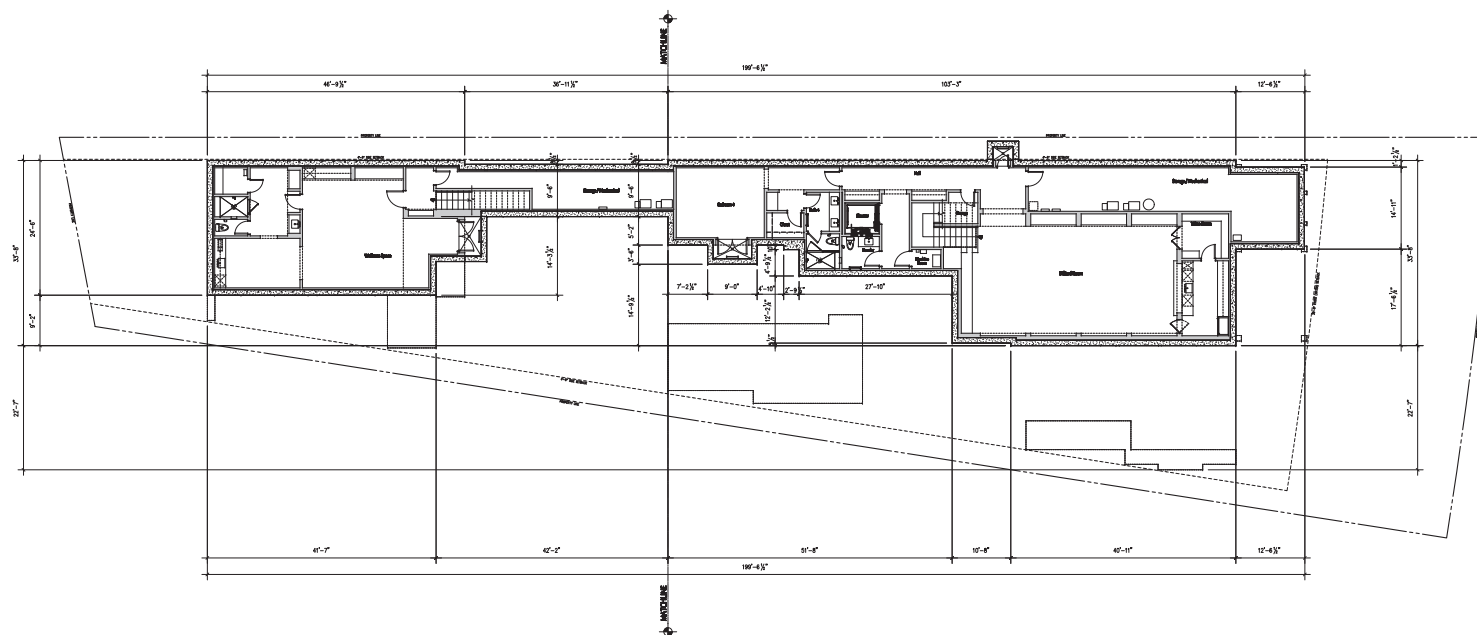
Project Plans



Forest Studio
1211 Laurel Avenue
Suite 1
Logan, Nevada 89021
(408) 727-2000
info@foreststudio.com

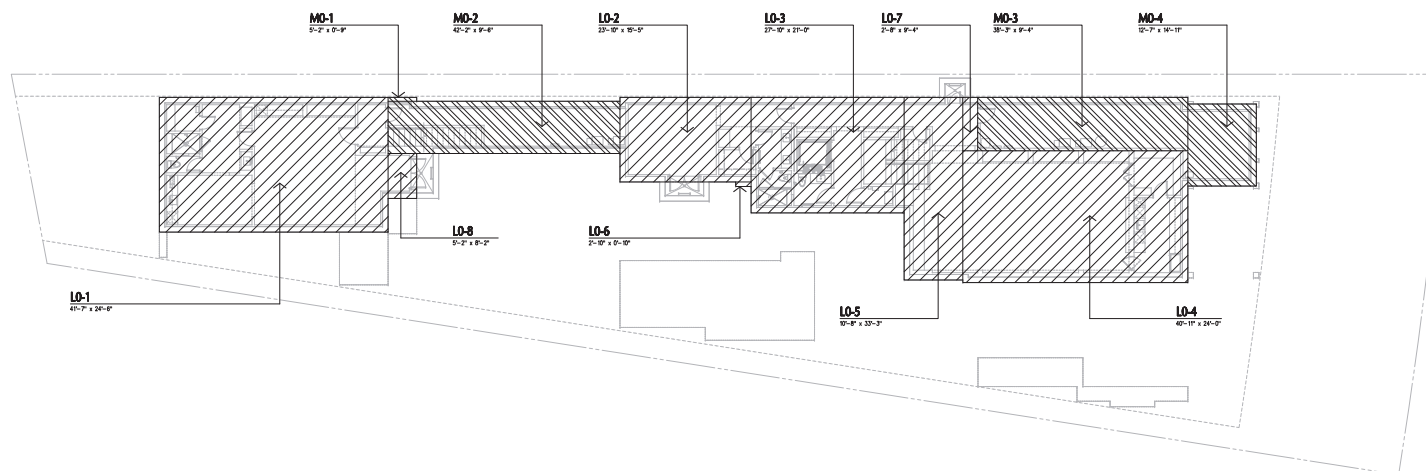
2104 Balboa Blvd. E.
Newport Beach
California

Overall Basement Floor Plan



Overall Basement Floor Plan

SCALE: $1/8" = 1'-0"$



Basement Area Tabulations

Livable		
L0-1	1,058.7	S.F.
L0-2	367.2	S.F.
L0-3	584.4	S.F.
L0-4	901.8	S.F.
L0-5	354.5	S.F.
L0-6	2.4	S.F.
L0-7	24.8	S.F.
L0-8	42.2	S.F.
Total	3,726.0	S.F.

Mechanical		
MO-1	3.8	S.F.
MO-2	400.6	S.F.
MO-3	357.0	S.F.
MO-4	187.6	S.F.
Total	949.0	S.F.



Project Number 24059
B.D. Submittal 1
Revision 03/07/25
Revision
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Revision
Revision
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Sheet

A2.0



ForestStudio

1002 Forestville Avenue
San Jose, CA
408-938-8800, 877-313-8800
1010 4th St. S2
www.foreststudio.com

2104 Balboa Blvd. E.
Newport Beach
California



Revision _____
Revision _____
Revision _____
Revision _____
Revision _____
Revision _____

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A2.0.1





ForestStudio
311 Forest Studio
1000 7
1000 7
1000 7
1000 7
1000 7

2104 Balboa Blvd. E.
Newport Beach
California

[illegible]

A2.0.2



5 Appliances (Appliances Shown)

- [illegible]

Floor Plan Keynotes



ForestStudi
212 Forest Avenue
Suite 4
Newport, CA 95058
925.864.8832
www.foreststudi.com

2104 Balboa Blvd. E.
Newport Beach
California

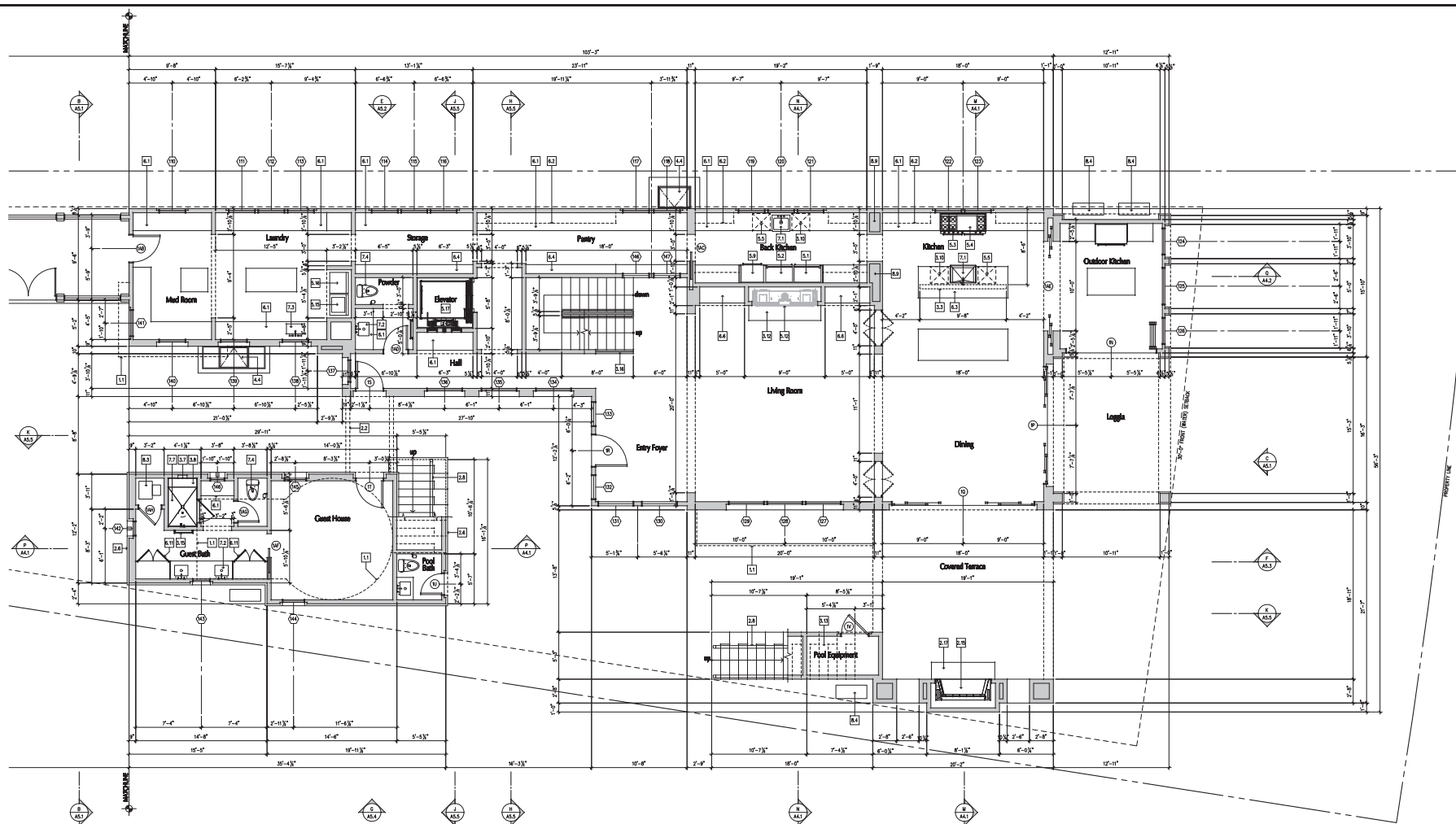
Partial First Floor Plan



Project Number _____ 29015
S.D. Submittal 1 _____
Revision _____ A 03/07/25
Revision _____ A
Revision _____ A
Revision _____ A
Revision _____ A
Revision _____ A
PLOT DATE: 3/13/2025

Sheet

A2.1.2

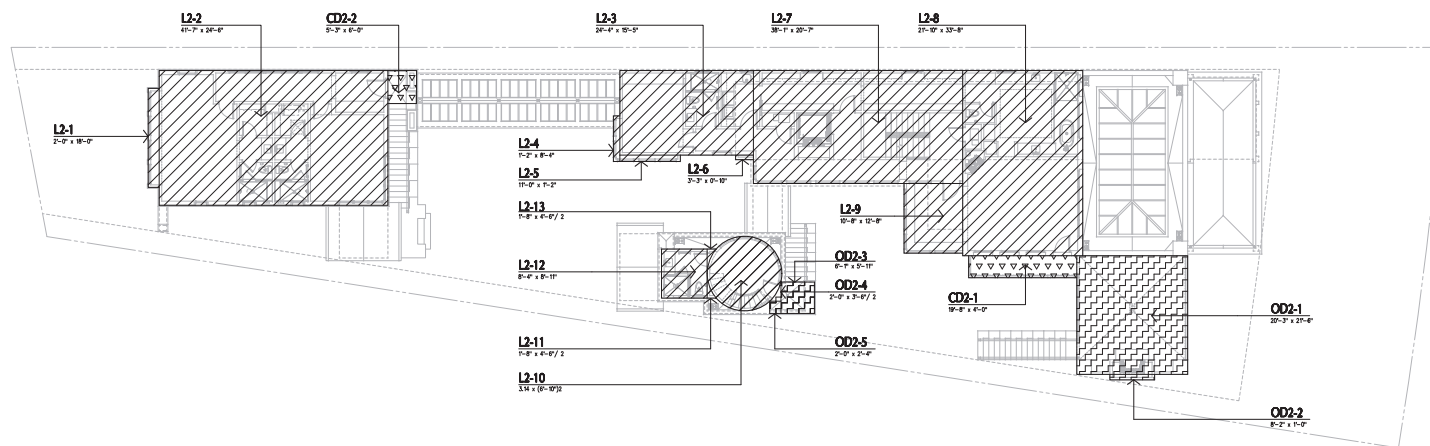
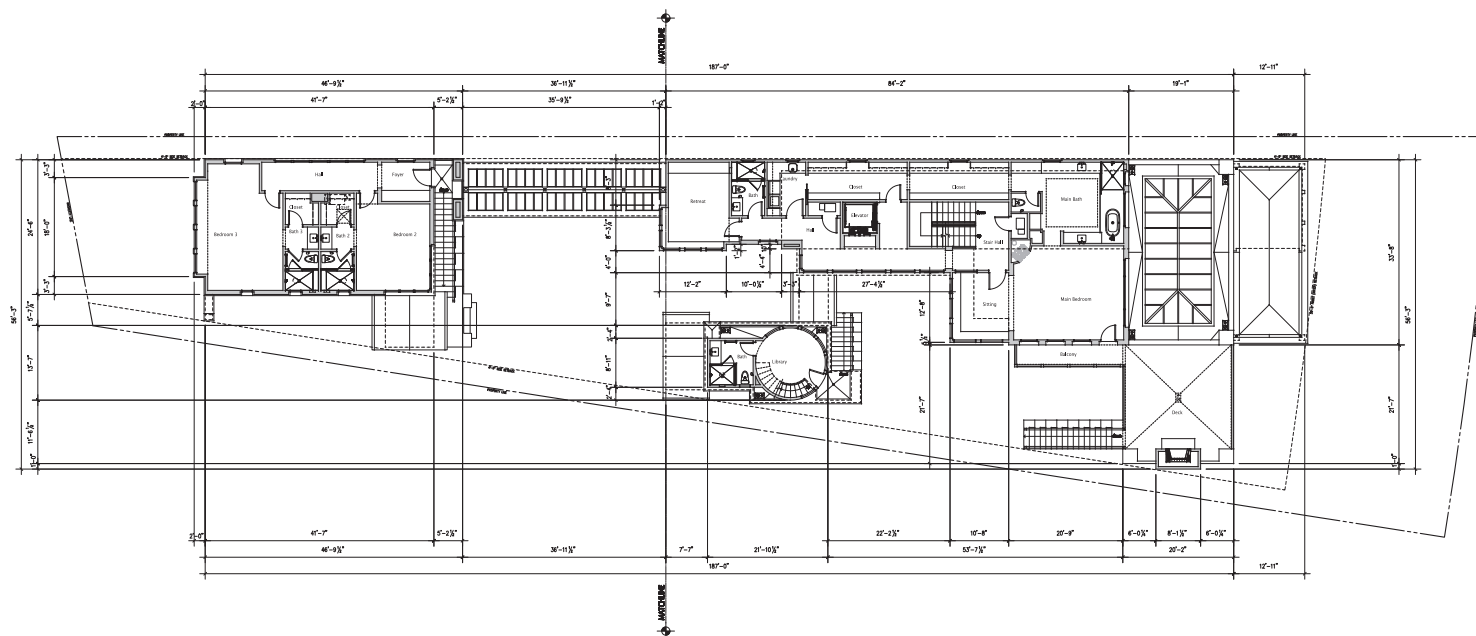


Partial First Floor Plan

SCALE: 1/4" = 1'-0"

- [illegible]

Floor Plan Keynotes



31



ForestStudio

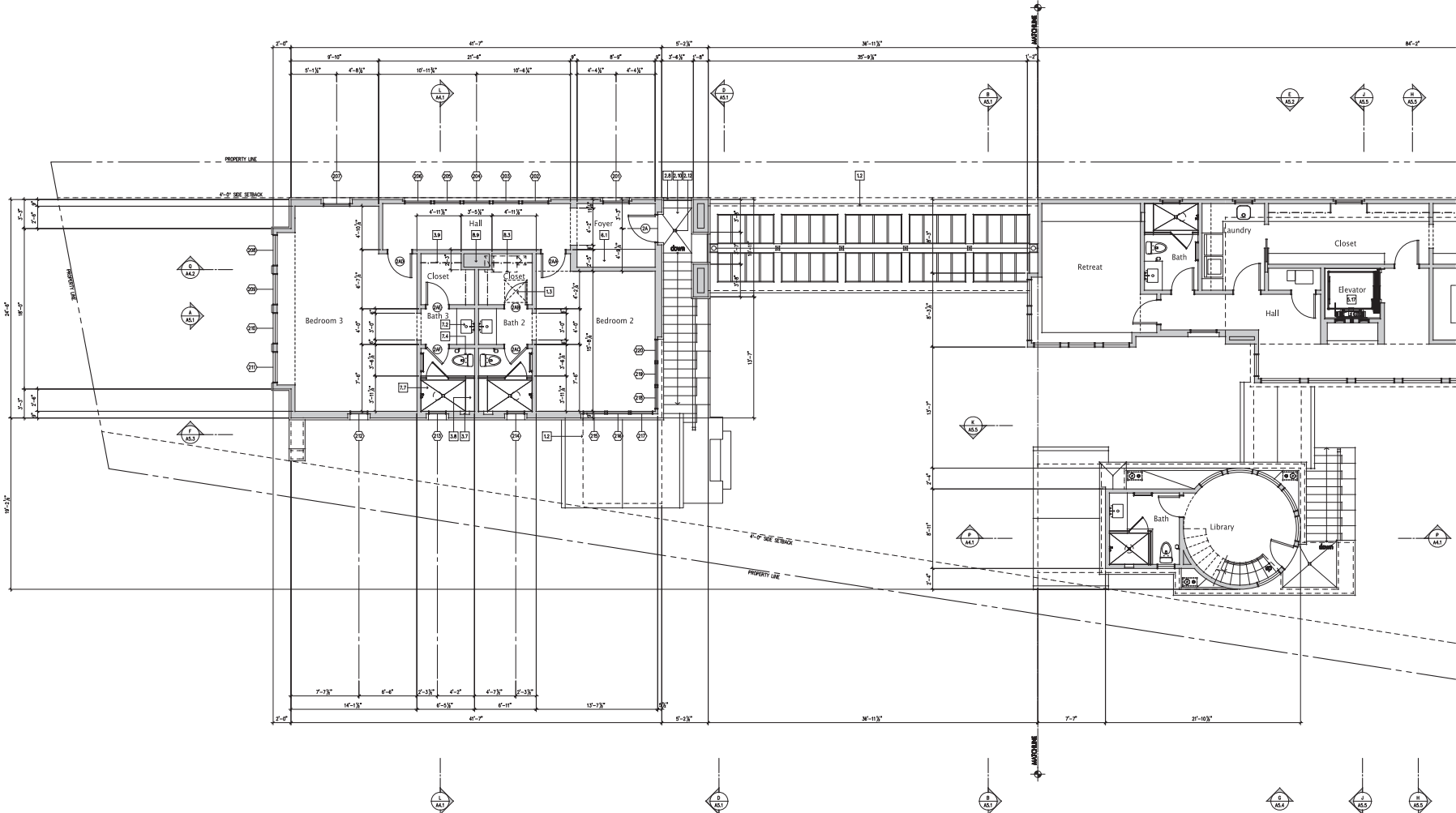
3D Forest Analysis
Version 1
Copyright 2004 by ForestStudio
444 N. 12th St.
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104 Balboa Blvd. E.
Newport Beach
California



Revision	<u>A</u>	<u>03/07/25</u>
Revision	<u>A</u>	
Revision	<u>A</u>	
Revision	<u>A</u>	
Revision	<u>A</u>	
Revision	<u>A</u>	
Revision	<u>A</u>	
LOT DATE:		3/13/2025

A2.2.1



Partial Second Floor Plan

SCALE: 1/4" = 1'-0"

- [illegible]

Floor Plan Keynotes



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312 Forest Ave. W.
Suite 4
Tapeville, GA 30170
818.484.8132
www.foreststudio.com

2104 Balboa Blvd. E.
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California

Partial Second Floor Plan

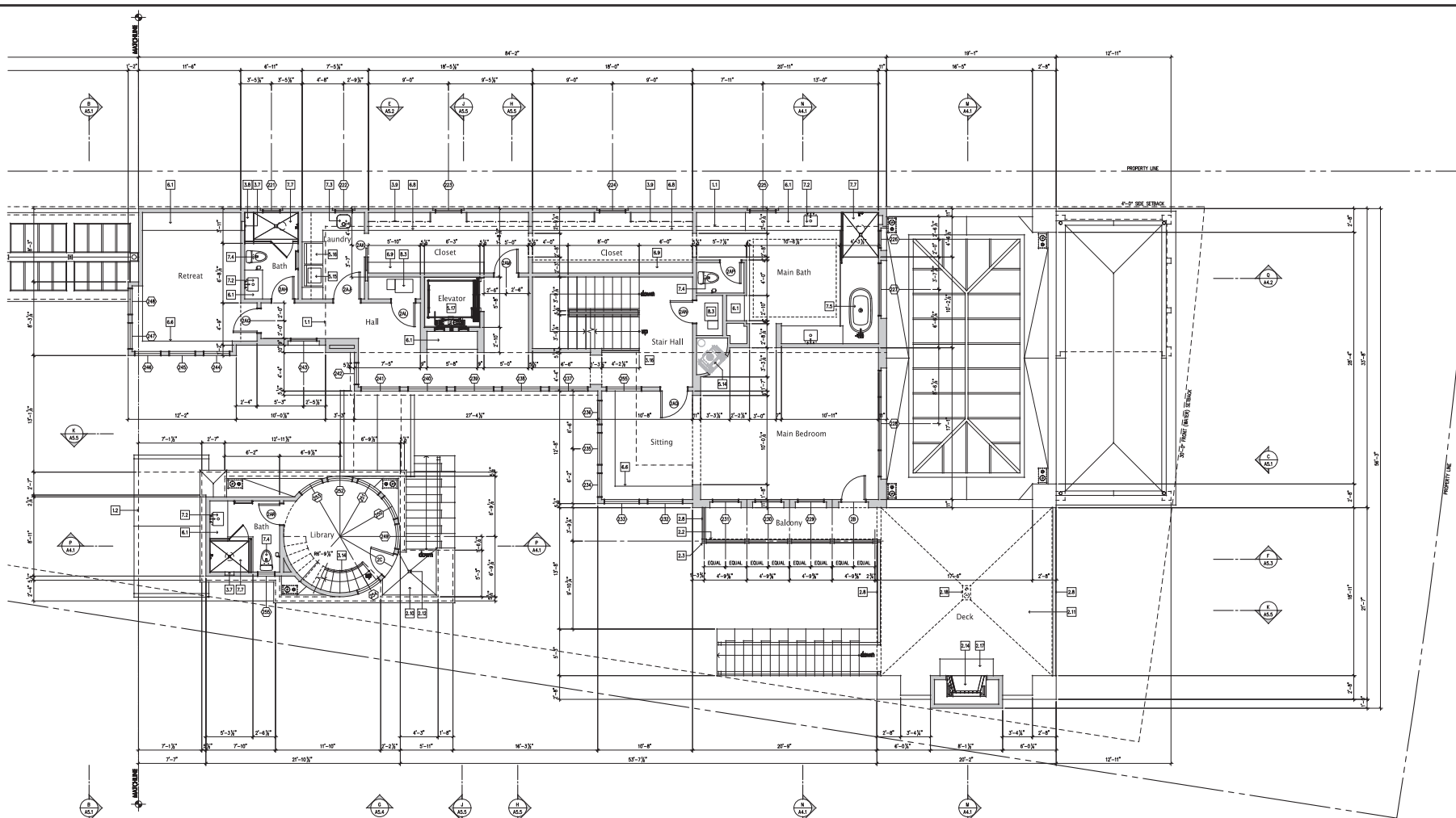
Project Number 24019
B.D. Submittal 1

Revision		△ 03/07/25
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Revision		△
Revision		△
PLOT DATE:		3/13/2025

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A2.2.2



Partial Second Floor Plan

SCALE: 1/4" = 1'-0"

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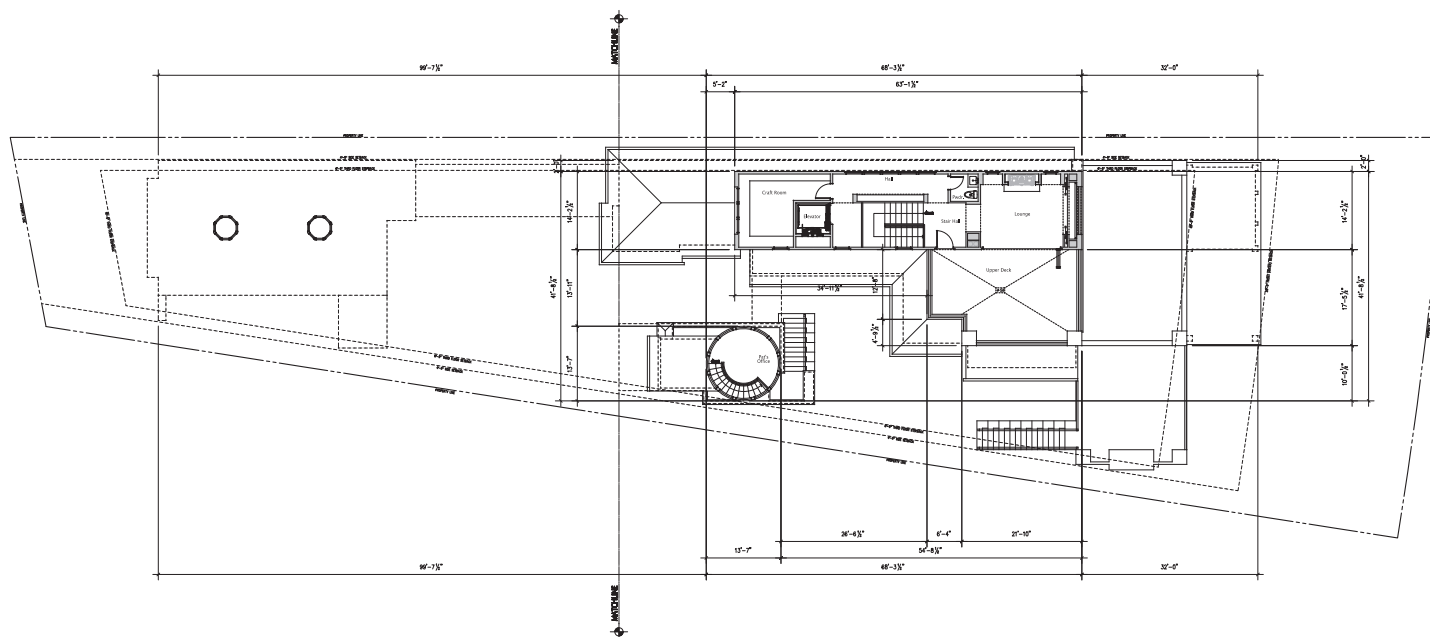
Floor Plan Keynotes



ForestStudi
312 Forest Avenue
Suite 4
Forest Grove, OR 97113
503.261.8222
www.foreststudi.com

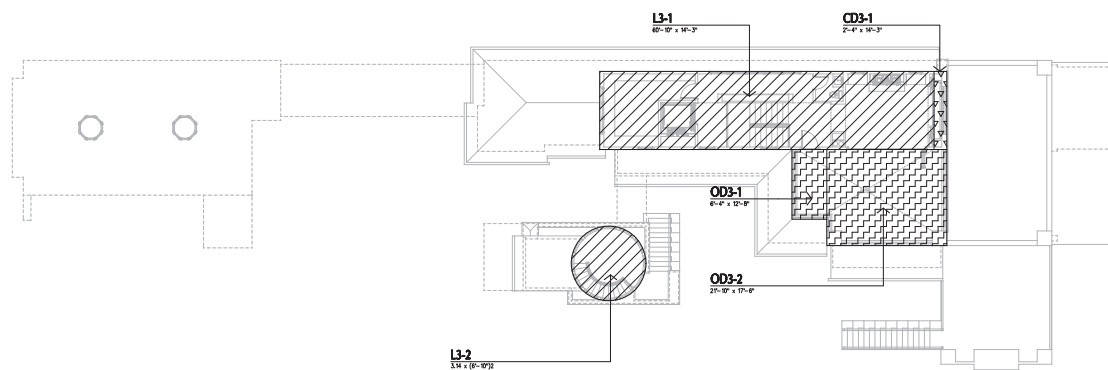
2104 Balboa Blvd. E.
Newport Beach
California

Overall Third Floor Plan



Overall Third Floor Plan

SCALE: 1/8" = 1'-0"










Third Floor Area Tabulations

Livable		
L3-1	866.9	S.F.
L3-2	146.6	S.F.
Total	1,013.5	S.F.
Covered Deck Area		
OD3-1	33.2	S.F.
Total	33.2	S.F.
Open Deck Area		
OD3-1	80.1	S.F.
OD3-2	362.0	S.F.
Total	442.1	S.F.



Project Number 24019
B.D. Submittal 1

Revision  03/07/25
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Revision 

PLOT DATE: 3/13/2025

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A2.3



ForestStudio
100 Forest Avenue
Suite 100
Lynchburg, VA 24502
800.677.3000

2104 Balboa Blvd. E.
Newport Beach
California

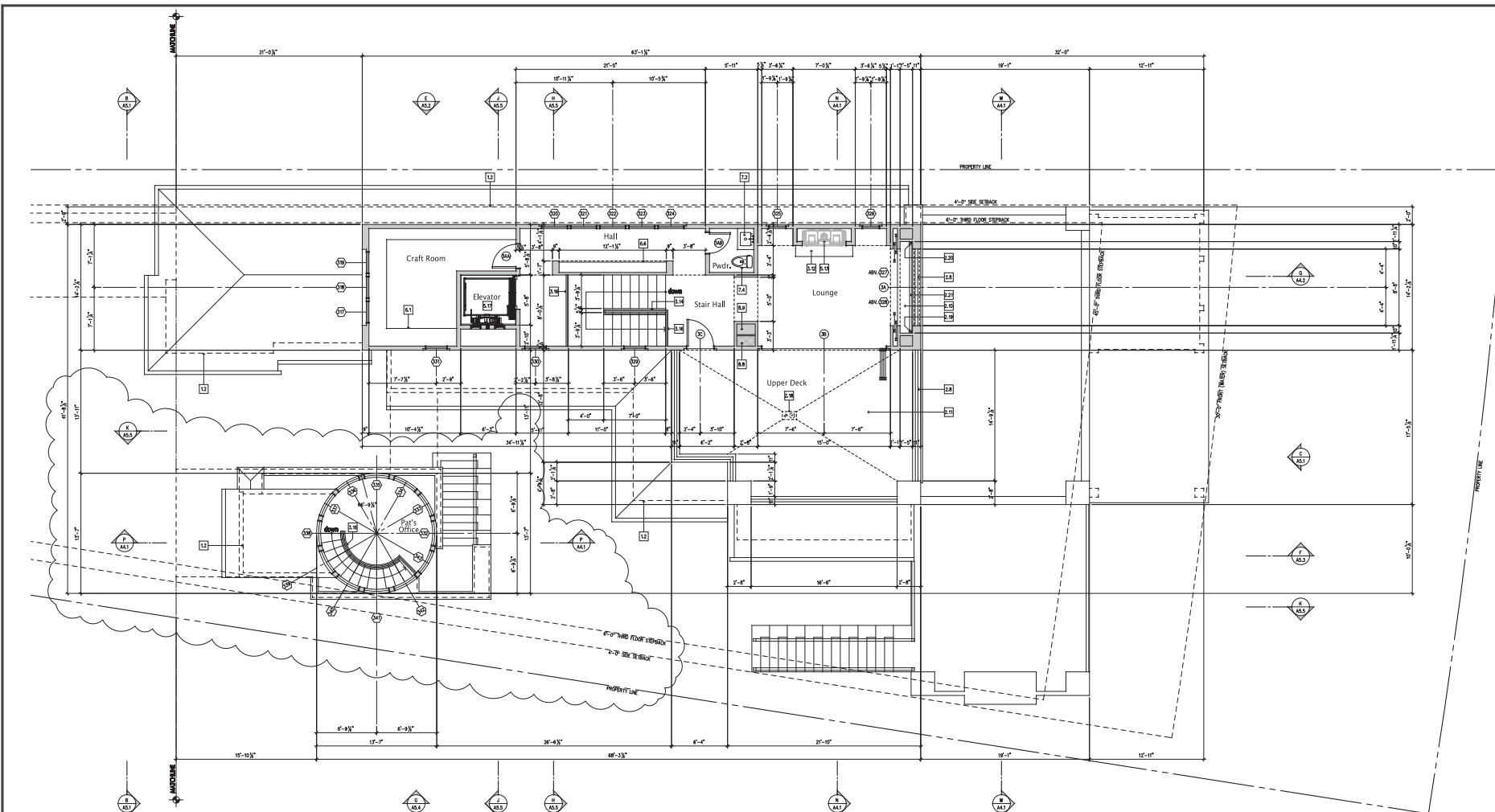
Partial Third Floor Plan



Project Number 24029
B.D. Submittal 1 _____
Revision _____ 03/27/25
Revision _____ △
Revision _____ △
Revision _____ △
Revision _____ △
Revision _____ △
PLOT DATE: 3/13/2025

Sheet

A2.3.2



Partial Third Floor Plan

SCALE: $1/4" = 1'-0"$

- [illegible]

Floor Plan Keynotes



EBTA
ARCHITECTS

22 CORPORATE PARK
SUITE 200
IRVINE, CA. 92606
TEL 949.955.3282



Burcher
Residence

2104 Balboa Blvd. E.
Newport Beach
California

Partial Roof Plan



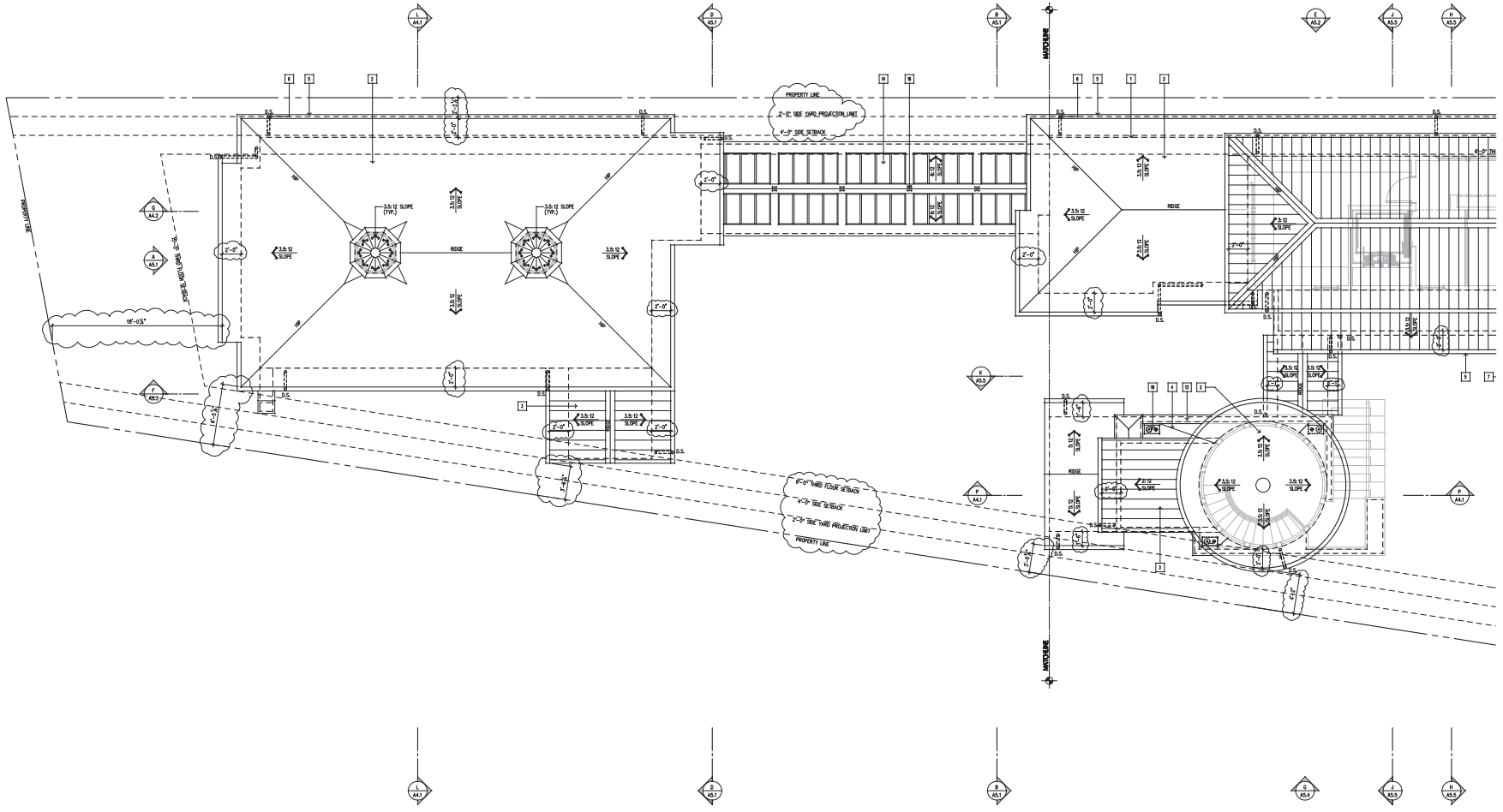
Project Number
S.D. Submitted 1

Revision	A	03/07/20
Revision	B	
Revision	C	
Revision	D	
Revision	E	
Revision	F	

PLST DATE: 3/3/2020

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A3.1.1



Partial Roof Plan

SCALE: 1/4" = 1'-0"

Attic Ventilation Calculations

Roof Plan Keynotes

- 1 DASHED LINE INDICATES LINE OF STUD WALL, SOFFIT OR BEAM
- 2 CORRUGATED METAL SLATE ROOFING (CPL) 1/2" OVER TWO LAYERS OF ASTM D328 TYPE 1 OR 2 (1/2" UNDERLAINING ROOF SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE A CLASS 2 ROOF ASSEMBLY, NEW ORG-2 (OR APPROVED EQUAL)
- 3 TYPICAL METAL FLASHING - "VERSIA-SHAP" FLAT PAN STANDING SEAM METAL ROOF (SEE EVALUATION REPORT NUMBER: UL OR 25013-2) INSTALLED PER MANUFACTURER'S SPECIFICATIONS COLOR: HEAVYWEIGHT COVER FIRE RATING: CLASS 1 UNDERLAINING: "POLYURETHANE" 60 MIL FIRE RESISTANT SELF-ADHESING UNDERLAMENT
- 4 1/2" DIA. HALF ROUND CORROSION RESISTANT METAL ROOF DUTTER WITH 1/4" CORROSION RESISTANT WIRE MESH SCREEN FOR ONE SIDE
- 5 1/2" DIA. CORROSION RESISTANT METAL DOWNSPOUT (DARK BRONZE COLOR)
- 6 26 GAUGE CORROSION RESISTANT METAL VALLEY FLASHING OVER 30" WIDE LAYER OF 22 POUND MINIMUM SURFACE IMPERMEABLE CAP SHEET COMPLYING WITH ASTM D 2202 FOR THE ENTIRE LENGTH OF VALLEY (VALLEY FLASHING SHALL HAVE A THICKNESS NOT LESS THAN 20MP)
- 7 26 GAUGE CORROSION RESISTANT METAL FLASHING AT CHIMNEY PENETRATION
- 8 CHIMNEY CAP
- 9 CORROSION RESISTANT METAL FLASHING AT ALL ROOF TO WALL CONDITIONS
- 10 CORROSION RESISTANT METAL CONCEALED ROOF DUTTER WITH 1/4" CORROSION RESISTANT WIRE MESH SCREEN FOR ONE SIDE
- 11 1/2" DIA. CORROSION RESISTANT METAL CONCEALED DOWNSPOUT
- 12 PARAPET - SEE PLAN FOR HEIGHT
- 13 SOLIDWALL
- 14 FUTURE SOLAR PANEL LOCATIONS
- 15 CORROSION RESISTANT METAL PANEL
- 16 BALCONY OR DECK BELOW
- 17 TYPICAL CLAD BOTTOM OUTLET ROOF DUTTER WITH OVERLAP BY TRANSDUCED IMPERMEABLE WIRE MESH SCREEN OR EQUAL - CORROSION RESISTANT METAL CONCEALED GAST ROOF DRAIN PIPE RUN THROUGH ROOF JOIST AND DOWN ROSE OF COLUMN TO SLAB AT FOUNDATION INTO UNDERGROUND STORM DRAIN SYSTEM OVERLAP JOINT SHALL HAVE SEPARATE GAST ROOF DRAIN CONCEALED IN WALL WITH OUTLET AT 12" ABOVE FINISH WITH RETURNING WIRE DUCT



- Section Keynotes



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Fairfield Station, CA 94503
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California


Exterior Elevations

Project Number 24019
B.D. Submittal 1Revision 03/07/25

Revision _____

Revision _____

Revision _____

Revision _____ 

Revision

Revision

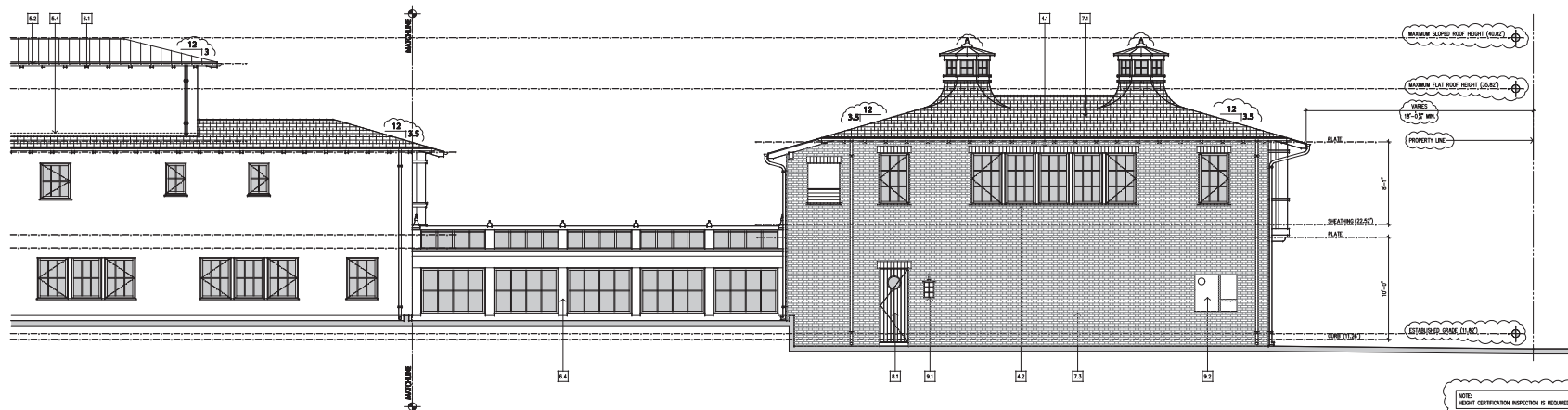
PLOT DATE: 3/13/2025

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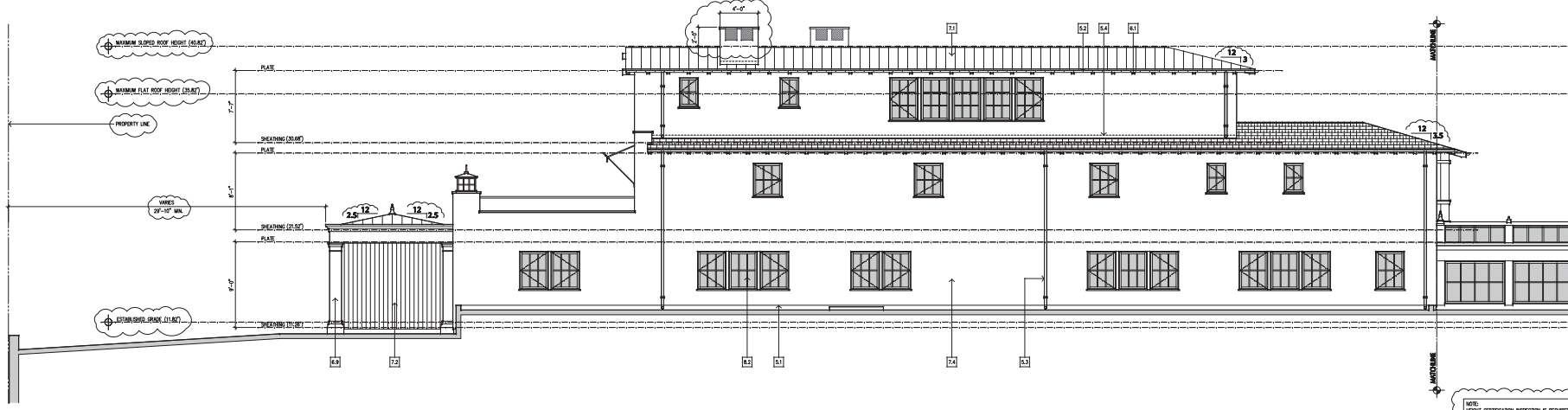
A5.2

TABLE 1



Partial Left Elevation

SCALE : 1/8" = 1'-0"



Partial Left Elevation

SCALE : 1/4" = 1'-0"

- [illegible]

Exterior Elevation Keynotes

Section Keynotes



ForestStudio
2121 Canyon Avenue
Suite 6
Durham, NC 27701
919.486.0222
www.foreststudio.com

2104 Balboa Blvd. E.
Newport Beach
California

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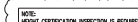
Revision 03/07/25
Revision
Revision
Revision
Revision
Revision

PLOT DATE: 3/13/2025

Sheet
A5.3



SCALE: 1/4" = 1'-0"



SCALE : $1/4" = 1'-0"$

Partial Right Elevation

- [illegible]

Exterior Elevation Keynotes

Section Keynotes



ForestStudio

311 Forest Studio
Suite 1
10000 Research Dr. (2001)
41002-2001
Fax: (702) 636-6100

104 Balboa Blvd. E.
Newport Beach
California

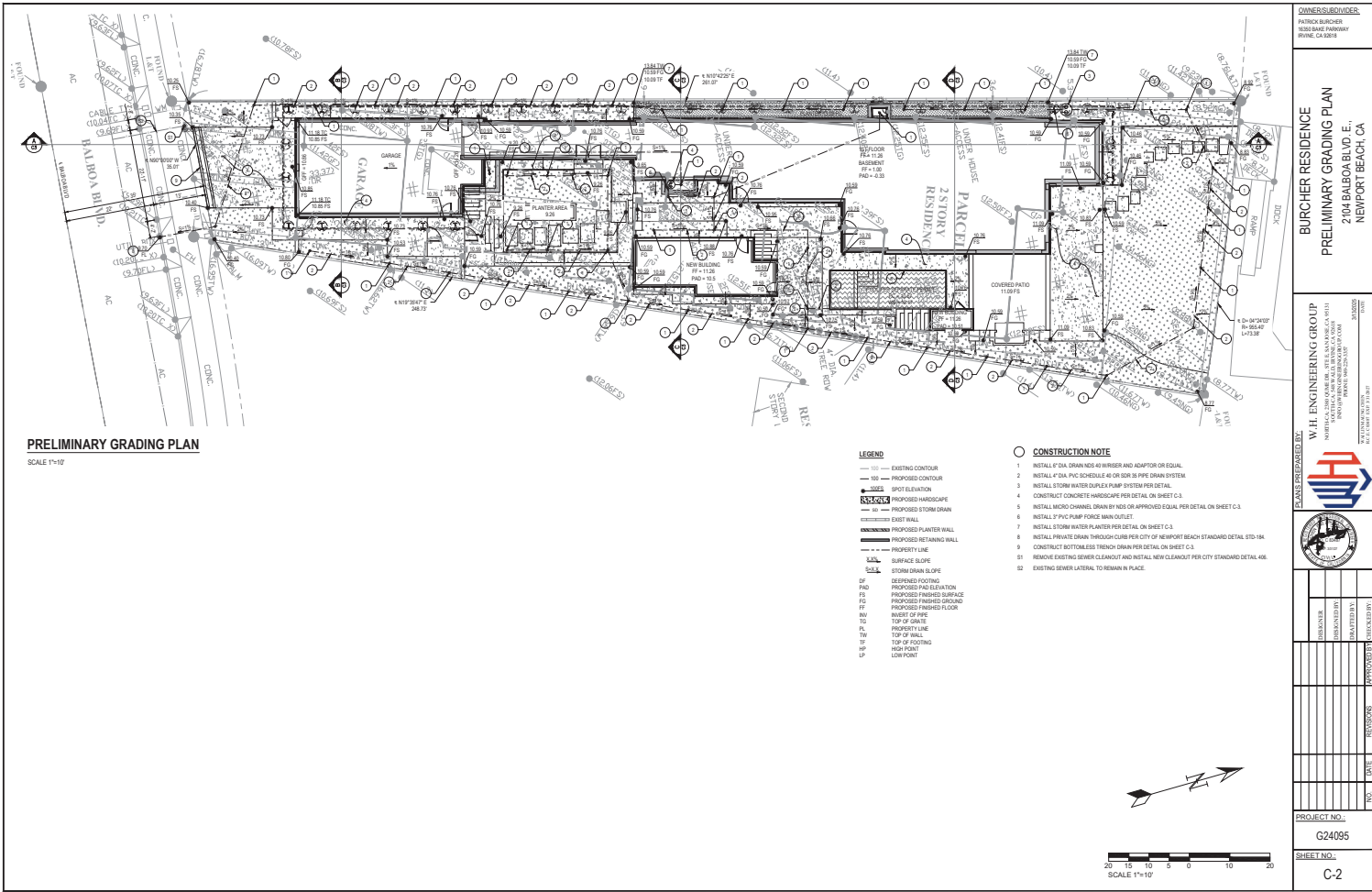
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C.D. Submittal 1	<u> </u>
Revision	A 03/07/25
Revision	A
Revision	A
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Revision	A
PLOT DATE:	3/13/2025

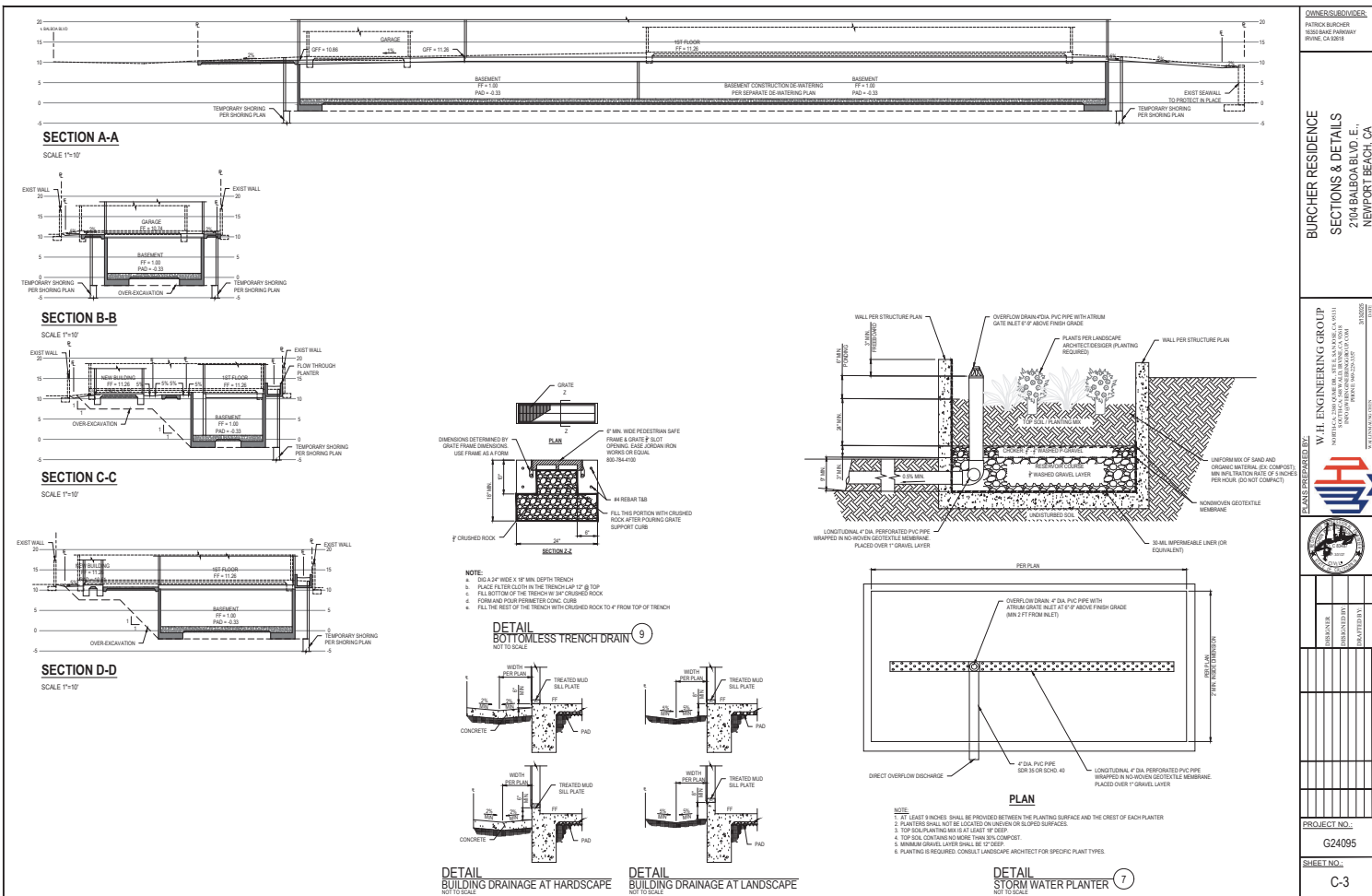
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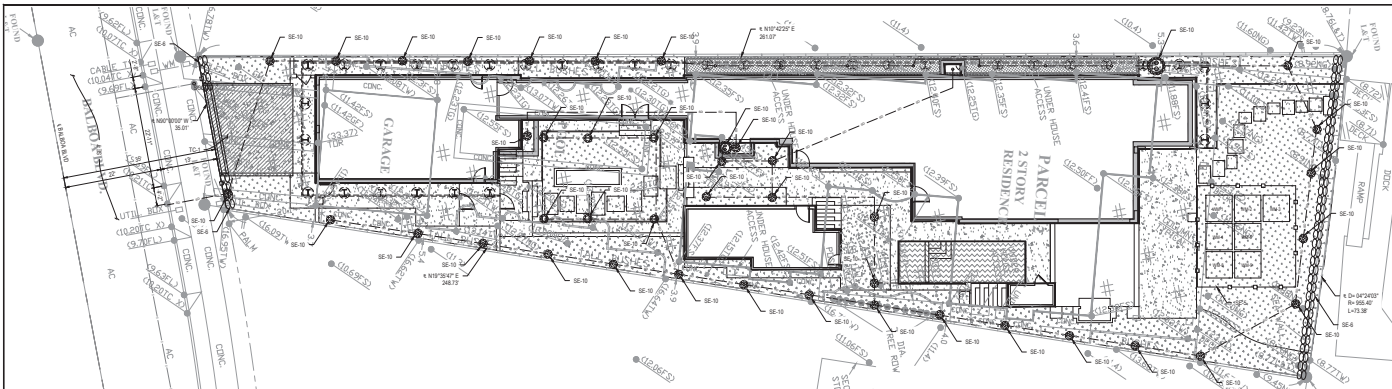
- Section Keynotes



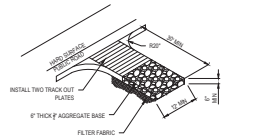




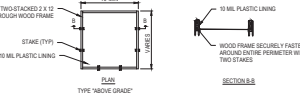
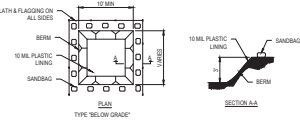
OWNER/SUBMITTER	
PATRICK BURCHER KOSKIBANE PARKWAY RIVERSIDE, CA 92505	
BURCHER RESIDENCE SECTIONS & DETAILS 2104 BALBOA BLVD E., NEWPORT BEACH, CA	
DESIGN PREPARED BY	
W.H. ENGINEERING GROUP 14300 KENNEDY BLVD SUITE 200 IRVINE, CA 92618 PH: 949.261.2000 WWW.WHENGROUP.COM	
DESIGNED BY	
W.H. ENGINEERING GROUP	
CHECKED BY	
W.H. ENGINEERING GROUP	
PROJECT NO.	
G24095	
SHEET NO.	
C-3	



CONSTRUCTION POLLUTION PREVENTION PLAN / EROSION CONTROL PLAN
SCALE 1"=10'

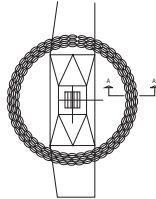


**DETAIL
STABILIZED CONSTRUCTION ENTRANCE**
NOT TO SCALE

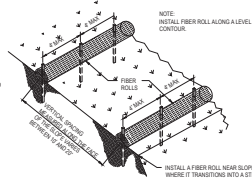


NOTES:
1. ACTUAL LAYOUT DETERMINES IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

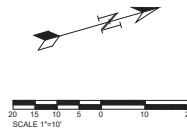
**DETAIL
CONCRETE WASTE MANAGEMENT**
NOT TO SCALE



**DETAIL
GRAVEL BAG FOR INLETS**
NOT TO SCALE



**DETAIL
FIBER ROLLS**
NOT TO SCALE



EROSION CONTROL BMPs

ES-1 SCHEDULING: SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.

TEMPORARY SEDIMENT CONTROL

SE-6 FIBER ROLLS: INSTALL WHERE SHOWN ON PLAN.
SE-6 GRAVEL BAG BERM: INSTALL WHERE SHOWN ON PLAN.
SE-7 STREET SWEEPING AND VACUUMING: STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS.
SE-10 STORM WATER INLET PROTECTION: ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS ON CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.

WIND EROSION CONTROL BMPs

WE-1 WIND EROSION CONTROL: WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS.

TRACKING CONTROL

TC-1 STABILIZED CONSTRUCTION EXIT: FLAME RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET.

NON-STORMWATER MANAGEMENT

NS-1 WATER CONSERVATION PRACTICES: MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES.
NS-3 PAVING AND GRADING OPERATIONS: APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE.
NS-6 ILLEGAL CONNECTION, ILLEGAL DISCHARGE: CONTRACTOR SHALL REPORT ILLEGAL CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON-SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NECESSARY ACTION UNTIL THE RESIDENT ENGINEER PROVIDES A RESPONSE.
NS-7 POTABLE WATER, IRRIGATION: EXERCISE WITH CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES.
NS-8 VEHICLE AND EQUIPMENT CLEANING: ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9 VEHICLE AND EQUIPMENT FUELING: ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE: ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12 CONCRETE CURING: APPLIED TO ALL CONCRETE CONSTRUCTION.
NS-13 CONCRETE FINISHING: APPLIED TO ALL CONCRETE CONSTRUCTION.

WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL

WM-1 MATERIAL DELIVERY AND STORAGE: MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL, BARRED, CONTAINERS AND COVERED FROM RAIN. WIND MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2 MATERIAL USE: MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3 STOCKPILE MANAGEMENT: MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4 SPILL PREVENTION AND CONTROL: AMPLIFY CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5 SOLID WASTE MANAGEMENT: SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-6 CONCRETE WASTE MANAGEMENT: AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-8 SANITARY / SEPTIC WASTE MANAGEMENT: ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

OWNER/SUBOWNER:
PATRICK BURCHER
KESWICK PARKWAY
NEWPORT BEACH, CA 92658

BURCHER RESIDENCE
CONSTRUCTION POLLUTION PREVENTION PLAN
EROSION CONTROL PLAN
2104 BALBOA BLVD E.,
NEWPORT BEACH, CA

DESIGN PREPARED BY:
W.H. ENGINEERING GROUP
14501 14TH AVE. SUITE 100
NEWPORT BEACH, CA 92640
PHONE: 949.261.1111
FAX: 949.261.1112
WWW.WHENGROUP.COM

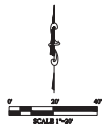


REVISION	DATE	BY	DESCRIPTION
1	01/15/2021	W.H. ENGINEERING GROUP	ISSUED FOR PERMIT

PROJECT NO.:
G24095

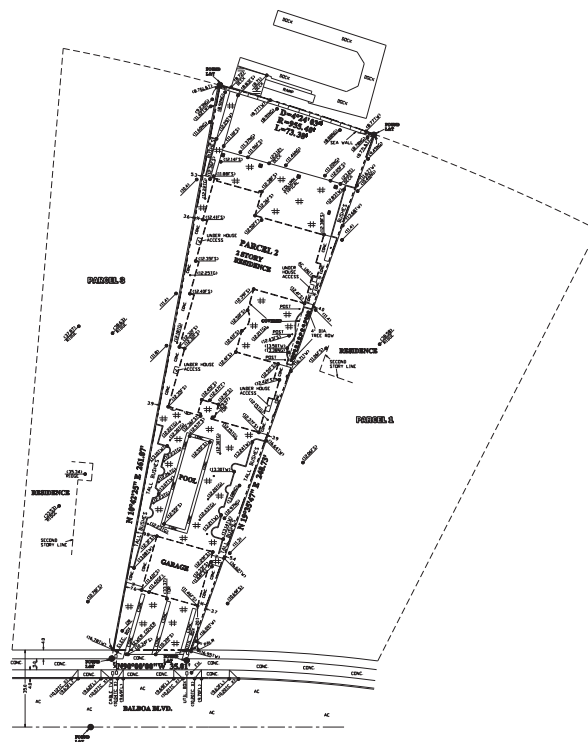
SHEET NO.:
C-4

DATE: 01/15/2021



NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



SYMBOL	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
⊕	BRICK
⊙	BECK
---	WALL
----	BUILDING
----	PROPERTY LINE
-X-	FENCE
⊙	BENCH MARK
A.C.	ASPHALT
CONC.	CONCRETE
C.P.	CURB FACE
E.P.	CONTROL POINT
F.F.	EDGE OF PAVEMENT
F.L.	FINISH FLOOR
F.S.	FLOWLINE
F.S.	FINISHED SURFACE
G.F.	GARAGE FLOOR
G.M.	GAS METER
L&T	LEAD & TAG
M.H.	MAN-HOLE
N.G.	NATURAL GRADE
P	PLANTER
P.P.	POWER POLE
T.C.	TOP OF CURB
T.G.	TOP-GRADE
T.D.R.	TOP OF ROAD
S&W	SPIKE & WASHER
WM	WATER METER



VICINITY MAP
NOT TO SCALE

ADDRESS OF PROJECT
2104 E. BALBOA
NEWPORT BEACH, CA

PREPARED FOR
ROB GIEM

LEGAL DESCRIPTION
PARCEL 2, AS SHOWN ON A MAP
FILED IN PARCEL MAP BOOK 13,
PAGE 47 RECORDS OF ORANGE
COUNTY, CALIFORNIA.
APN 048-240-36

BENCH MARK
DCS BM #NB 14-71
DATUM NAVD83
ELEVATION 7.83

TOPOGRAPHIC SURVEY
JOB: 85-51 DATE: 2/22/22

R&M SURVEYING INC.

RON HEDGEMAN, L.S. 4653
23016 LAKE FOREST DRIVE #409
LAGUNA HILLS, CA 92653
(949) 858-2924 OFFICE
(949) 482-1869 CELL
R&MSURVEYING@CDX.NET



LANDSCAPE DOCUMENTATION PACKAGE

Nord Eriksson

GENERAL CONTRACTOR
R.W Lewis Construction
1863 Bayport Way,
Newport Beach, CA 92663
P: 714.321.4126
Contact: Ray Lewis

SHEET ID	DESCRIPTION	SHEET NO.
T0.00	L0.00 Title Sheet	1 of 3
L1.01	L1.01 Construction Plan	2 of 3
L3.01	L3.01 Planting Plan	3 of 3

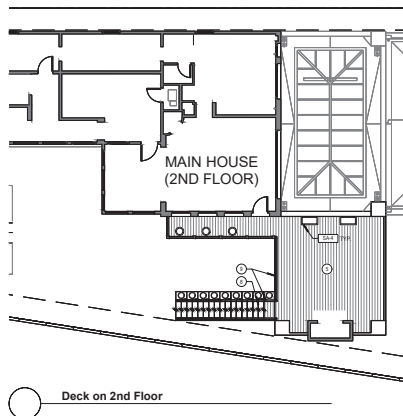
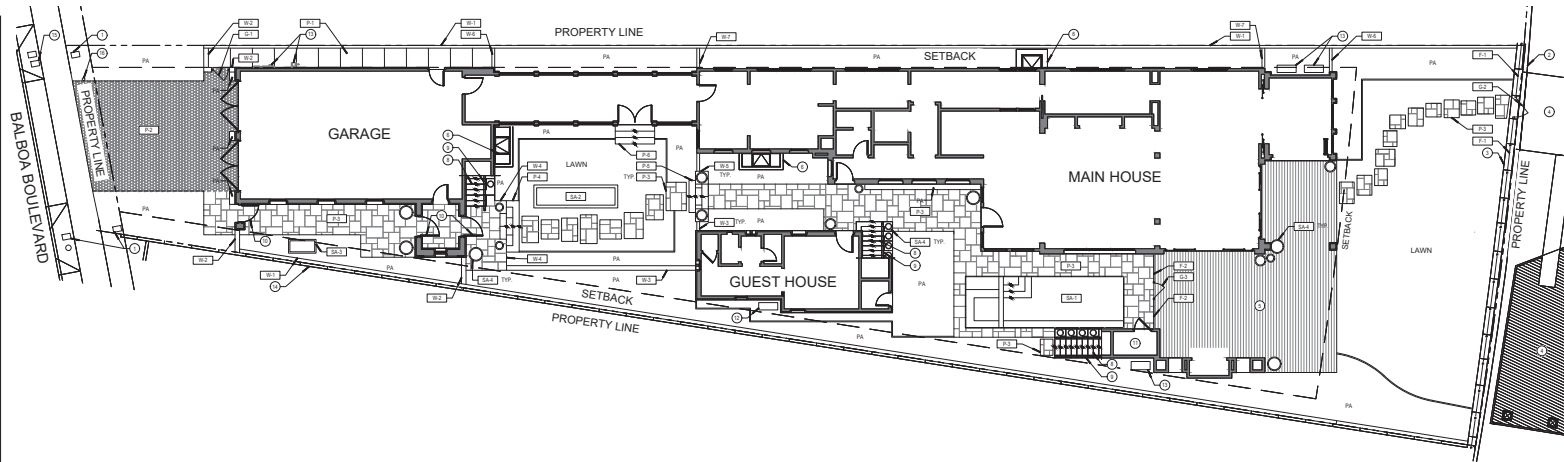
The seal is circular with "REGISTERED LANDSCAPE ARCHITECT" around the top and "STATE OF CALIFORNIA" around the bottom. In the center, it says "No. 10687". Below the number are two horizontal lines for "Expiration date" and "Date". The expiration date is filled in as "12/31/2008" and the date is blank. There is a signature across the middle of the seal.

Revisions	By	Date
AJC Submittal	AA	12/20/24
City Corrections	AA	3/13/25

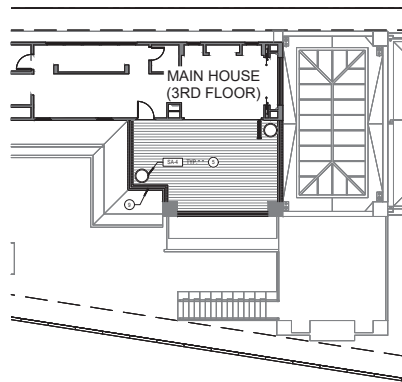
Job Number	E24-032
Design Staff	SH
Project Manager	AA
Principal	NE

T0.00

Plan Check Number: 00500000-PAR6



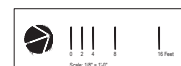
Deck on 2nd Floor



Upper Deck on 3rd Floor

REFERENCE LEGEND	
○	EXISTING UTILITY VALVE TO REMAIN
○	EXISTING CONCRETE BULKHEAD TO REMAIN
○	SEA WALL PER OTHERS
○	PLANTING CIRCLE PER OTHERS
○	WOOD DECK PER OTHERS
○	LIGHT WELL PER ARCHITECT
○	NOT USED
○	EXTERIOR STAIRS PER ARCHITECT
○	EXTERIOR WALKING PER ARCHITECT
○	EXTERIOR GATED PER ARCHITECT
○	POOL EQUIPMENT
○	FOUNTAIN EQUIPMENT
○	MISC EQUIPMENT PER ARCHITECT
○	EXISTING PROPERTY LINE WALL TO REMAIN
○	EXISTING WATER METER TO REMAIN
○	SEWER CLEANOUT
○	CENTER LINE
○	PLANTING AREA
○	TYPICAL
○	FACE OF BUILDING

PAVING LEGEND	
ITEM	DESCRIPTION
1	CONCRETE PAVING
2	COLLECTOR DRIVEWAY
3	STONE PAVING
4	STONE STEPS AT GARAGE PORCH
5	STONE STEPS AT SQUARE PLANTERS
6	STONE STEPS AT STAIR WALL
WALL & FENCE LEGEND	
1	PROPERTY LINE WALL - 8" MAX HT
2	BRICK WALL TO WATCH HOUSE - 8" MAX HT
3	LOW COURTYARD WALL - 18" HT
4	LANDING AT GARAGE PORCH
5	SQUARE PLANTER AT COURTYARD
6	RAISED CONCRETE PLANTER - 30" HT
7	RAISED CONCRETE LID PLANTER - 30" HT
SITE AMENITIES LEGEND	
1	POOL AND SPA
2	LINEAR FOUNTAIN - 18" MAX HT
3	ENTRY FOUNTAIN - 18" MAX HT
4	POUT
GATE LEGEND	
1	SIDE YARD GATE - 12" MAX HT
2	GATE AT GARAGE - 30" HT
3	SELF CLOSING POOL ENCLOSURE
4	POUT
FENCE LEGEND	
1	FENCE AT GARAGE - 30" HT
2	POOL ENCLOSURE FENCE - 40" HT
POOL ENCLOSURE BARRIER NOTES:	
1. EVERY POOL AND OR SPA SHALL BE ENCLOSED BY A BARRIER.	
2. POOL BARRIERS SHALL COMPLY WITH THE FOLLOWING:	
A) 0.8 or greater height above grade, measured from outside of the pool area.	
B) Minimum 40 inches spacing of horizontal members when placed on the outside of the fence.	
C) Maximum 4 inch spacing of vertical members.	
D) Maximum 4 inch spacing of vertical members.	
E) Maximum 2 inch vertical clearance between the bottom of the fence and ground.	
F) Maximum 1.75 inch square chain link mesh, unless provided with slats between the top and bottom which reduce the openings to 1.75 inches or less.	
G) Maximum members shall form openings of 1.75 inches or less.	
H) Gates shall have self-closing, and self-latching mechanisms. Latching mechanism shall be at least 50 inches above the ground.	
I) All gates shall swing out of the pool area in the direction leading to a public way.	



Burcher Residence

2104 E. Balboa Boulevard
Newport Beach, CA 92661
Site Area: X.XX acres

Client
Patrick and Rosemary Burcher
2104 E. Balboa Boulevard,
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T 714.673.6954

EPTDESIGN
ARCHITECTURAL FIRM
1111 CHURCH STREET, SUITE 200
NEWPORT BEACH, CA 92661
(714) 673-6954



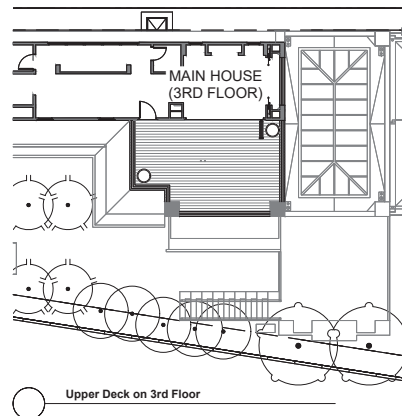
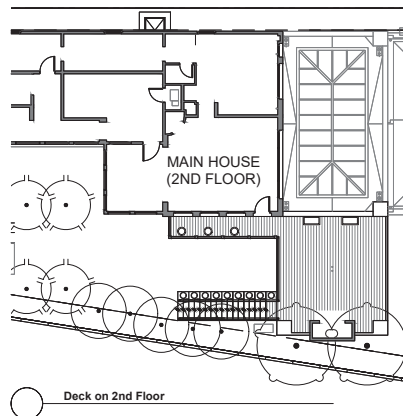
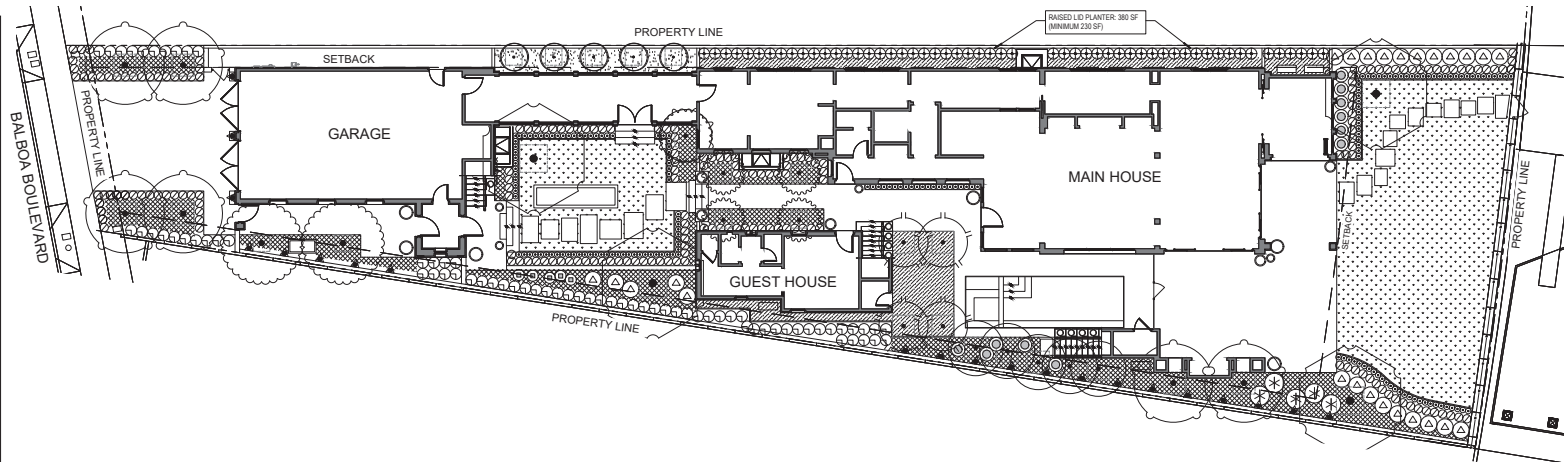
Revisions	By	Date
1. ACI Submittal	AA	12/20/24
2. City Corrections	AA	3/12/25

Job Number: E24-032
Design Staff: SH
Project Manager: AA
Principal: NE

Construction Plan

L1.01

Plan Check Number: 00000000-04-04
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PLANT SCHEDULE							
SYMBOL	BOTANICAL / COMMON NAME	SIZE	WUCOLS	TRUNK	DETAIL	QTY	REMARKS
TREES							
●	ACCA BELLOWIANA PINEAPPLE GUAVA	36"X6"	LOW	STANDARD		4	
●	ACCA BELLOWIANA PINEAPPLE GUAVA	36"X6"	LOW	STANDARD		2	
●	ARIBUTUS UNEDO STRAWBERRY TREE SHRUB	36"X6"	LOW	STANDARD		5	
●	CERCIS OCCIDENTALIS WESTERN REDBUD	48"X6"	LOW	STANDARD		1	
●	LYONOTHAMNUS FLORIBUNDUS CATALINA ROCKWOOD	48"X6"	LOW	STANDARD		4	
●	LYONOTHAMNUS FLORIBUNDUS CATALINA ROCKWOOD	48"X6"	LOW	STANDARD		6	
●	MELALEUCA VIREIFLORA RUPESTRIS	48"X6"	LOW	STANDARD		5	
●	QUERCUS AGRIFOLIA COAST LIVE OAK	60"X6"	VERY LOW	STANDARD		4	
SHRUBS							
○	CARISSA MACROCARPA NATAL PLUM	5 GAL	LOW		30" O.C.	198	
○	CYCLOSTERNUM HEDERIFOLIUM HARDY CYCLAMEN	1 GAL	LOW		12" O.C.	171	
○	LAURUS NOBILIS SWEET BAY	24"X6"	LOW		24" O.C.	73	
○	PRENANDEA CAROLINIANA CAROLINA CHERRY LAUREL	15 GAL	LOW		24" O.C.	54	
○	RHAPHIOLEPIS INDICA BALLERINA	5 GAL	LOW		30" O.C.	25	
○	SANTOLINA CHAMARICYPARISUS LAVENDER COTTON	5 GAL	LOW		24" O.C.	5	
○	TEUCORIUM FRUTICOSUM AZURE BUSH GERANIUM	50	LOW		30" O.C.	11	
○	WESTRINGIA FRUTICOSA SMOKEY COAST ROSEMARY	50	LOW		30" O.C.	5	
VINES/SPALERS							
▲	ANTHEMIS TRICUSPIDATA NEMO RIV	15 GAL	MEDIUM			1	
▲	ROSA CLIMBING ROSE CLIMBING ROSE	15 GAL	LOW		18" O.C.	21	
GROUND COVERS							
■	BACCHARIS PILLULARIS PIGEON POINT	5 GAL	LOW			914 SF	
■	PIGEON POINT COYOTE BRUSH CYNOBACTYLON	FLAT	LOW			1,870 SF	
■	BERMUDAGRASS	36"				320 SF	
■	DECOGNITE GRASS	36"					

Burcher Residence

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Site Area: X.XX acres

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Burcher
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EPTDESIGN
Landscape Architecture
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Revisions	By	Date
ACI Submittal	AA	12/20/24
City Corrections	AA	5/12/25

Job Number: E24-032
Design Staff: SH
Project Manager: AA
Principal: NE

Planting Plan

L3.01

Plan Check Number: 0000000-014444
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STRUCTURAL GENERAL NOTES

GENERAL REQUIREMENTS

1. CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL AND STATE ORDINANCES.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
3. SITE INSPECTION: THE CONTRACTOR SHALL EXAMINE THE PROJECT SITE & SHALL VERIFY ALL IMPROVEMENTS, LOCATIONS & ELEVATIONS OF THE EXISTING UTILITIES, AND SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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BACKFILLING & COMPACTION NOTES

1. ALL BACKFILL SHALL CONFORM TO THE SOILS ENGINEER'S REPORT AND THE CITY OF NEWPORT BEACH SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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STEEL

1. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO A.S.T.M. A572 GRADE 50 OR A.S.T.M. A572 GRADE 60.
2. STEEL PIPE COLUMNS AND OTHER STEEL PIPE STRUCTURAL MEMBERS SHALL CONFORM TO A.S.T.M. A513 GRADE B.
3. STRUCTURAL STEEL TURNING SHALL CONFORM TO A.S.T.M. A500, GRADE B, P = 40.
4. BOLTS SHALL CONFORM TO A.S.T.M. A307, UNLESS NOTED OTHERWISE. WHERE HAZARD SITUATIONS (E.G. ELEVATED, TIES SHALL BE MINIMUM "N" GRADE BOLTS SHALL CONFORM TO A.S.T.M. A307, UNLESS NOTED OTHERWISE.
5. ALL BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. FABRICATION AND ERECTION SHALL CONFORM TO THE 14th EDITION OF A.I.S.C. SPECIFICATIONS.
7. ALL STEEL SHALL BE GALVANIZED OR GALVANNEAL.
8. FABRICATION AND ERECTION SHALL CONFORM TO THE 14th EDITION OF A.I.S.C. SPECIFICATIONS.
9. ALL STEEL SHALL BE GALVANIZED OR GALVANNEAL.
10. FABRICATION AND ERECTION SHALL CONFORM TO THE 14th EDITION OF A.I.S.C. SPECIFICATIONS.

FOUNDATIONS

1. THE CONTRACTOR SHALL ESTABLISH ALL CONSTRUCTION LIMITS AND PROCEED WITH THE EXCAVATION OF ALL FOOTINGS AS CALLED FOR ON THE DRAWINGS.
2. EXCAVATIONS SHALL BEAR ON NATURAL UNDISTURBED UNIFORM EARTH OR ENGINEERED FILL.
3. NO REINFORCING STEEL AND NO CONCRETE SHALL BE PLACED IN ANY EXCAVATION PRIOR TO APPROVAL BY THE BUILDING DEPARTMENT.
4. THE TOP OF ALL EXCAVATIONS SHALL BE PROTECTED AGAINST HEAVY SHORING AND LOOSE AND FROM OVERSIGHT DUE TO RAINFALL OR SURFACE RUN-OFF DURING THE CONSTRUCTION PERIOD.
5. THE SOILS REPORT DESCRIBED UNDER ITEM #15 BELOW SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN THE SOILS REPORT AND CONFER WITH THE BUILDING DEPARTMENT.
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GRADING NOTES

1. THE ANTICIPATED TOTAL VOLUME OF CUT AND FILL FOR SEAWALL CONSTRUCTION IS APPROXIMATELY 10,000 CUBIC YARDS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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CONCRETE

1. ALL CONCRETE MIX DESIGNS CONFORMING TO CHAPTER 19 OF ACI 308-14, TABLE 19.2.2, CATEGORY (C) & CLASS (C) FOR TABLE 19.2.2, SHALL BE SUBMITTED TO THE CITY OF NEWPORT BEACH FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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WELDING

1. ALL WELDING SHALL BE DONE USING THE DESIGNED ELECTRIC ARC PROCESS BY A CERTIFIED WELDER, USING TWO (2) ELECTRODES.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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NAILING AND FASTENERS

1. ALL NAILS AND FASTENERS SHALL BE CORROSION RESISTANT MEETING ASTM A153 CLASS D, HOT DIP GALVANIZED, AND BE ADAPTED WHETHER ON TYPICAL PLASTIC OR METAL.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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ABBREVIATIONS

AC	ADHESIVE CONCRETE	DN	DOWN	HT	HEIGHT	OT	OFFICE	TZ	TOP OF FOOTING
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DP	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM
ACI	AMERICAN INSTITUTE OF CONCRETE TECHNOLOGISTS	DS	DOWN	HLS	HIGH STRENGTH	OPN	OPEN	TOP OF BEAM	TOP OF BEAM

ANCHOR ROBS

1. ALL ANCHOR BOLTS SHALL CONFORM TO A.S.T.M. A307-06 OR 150 TYPE 1 THREADED REBAR AS MANUFACTURED BY DYWIDAG-DAVIDOW.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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GENERAL SPECIAL INSPECTIONS

1. FOR STRUCTURES EXPOSED TO SALT WATER SPLASH OR IMMERSION, REINFORCING STEEL SHALL CONFORM TO ASTM A572, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.

CONCRETE REPAIR

1. AFTER THE REPAIRING OF THE EXISTING SEAWALL IS COMPLETED IN ACCORDANCE WITH THE CITY OF NEWPORT BEACH SPECIFICATIONS, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEWPORT BEACH PRIOR TO THE START OF CONSTRUCTION.
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APPLICABLE SPECIAL HAZARDS

1. LANDSLIDE.
2. FLOOD HAZARD ZONE AEB.



SCOPE OF WORK

1. TO REINFORCE THE EXISTING SEAWALL BY UTILIZING DYWIDAG TIE-BACKS CONNECTING EXISTING CONCRETE CORING TO A NEW CONCRETE DEAMAL.
2. TO CONSTRUCT A NEW CONCRETE STEM WALL ON TOP OF THE EXISTING CORING WITH TOP WALL ELEVATION AT +10.0 NAVD83 AND ADAPTABILITY TO BE BASED IN THE FUTURE TO +14.0 NAVD83.
3. THE ABOVE LISTED CONSTRUCTION SHALL BE DONE FROM LANDSIDE WITHOUT ANY MECHANIZED EQUIPMENT BEYOND THE FACE OF THE SEAWALL.
- NOTE TO THE BIDDERS:
- AFTER THOROUGHLY EXAMINING THE CONSTRUCTION DOCUMENTS AND THE SITE, THE ARCHITECT AND/OR THE ENGINEER IS NOT WRITING REGARDING ALL DISCREPANCIES REQUIRING CLARIFICATION PRIOR TO THE "BID SUBMITTAL".
- IF THE ARCHITECT AND/OR THE ENGINEER IS NOT WRITING AS REQUIRED FOR ITEM #1 ABOVE, IT SHALL MEAN THAT THE CONTRACTOR HAS CONSIDERED ADEQUATE CONSTRUCTION IN HIS BID TO COVER ALL COSTS TO COMPLY WITH THE MOST STRINGENT CONDITIONS.
- THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY DISCREPANCY DISCOVERED AFTER THE "CLOSE OF THE BID".

DATE: 12/17/24
SHEET: 01
OWNER / APPLICANT: PATRICK BURCHER
PROJECT: 2104 EAST BALBOA BLVD., NEWPORT BEACH, CA 92661
STRUCTURAL GENERAL NOTES & VICINITY MAP
PRELIMINARY FOR CDP

