



CITY OF NEWPORT BEACH ADMINISTRATIVE HEARING STAFF REPORT

March 5, 2026
Agenda Item No. 1

SUBJECT: Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

PERMITS: X2019-3921, X2022-3922, X2022-0277, X2022-0278

SITE LOCATION: 3100 Breakers Drive

APPLICANT: Russ Schwinn

PROPERTY OWNER: TTDRP LLC

BUILDING INSPECTOR: Jason Rudenick, Senior Building Inspector

PREPARED BY: Tonee Thai, Chief Building Official - 949-718-1867, tthai@newportbeachca.gov

PROJECT SUMMARY

THE PROJECT IS TO CONSTRUCT A NEW 6,260 SF DUPLEX WITH ATTACHED 2,486 SF GARAGE.

CONSTRUCT PERMANENT SHORING AND RETAINING WALL; REFLECTING PONDS AND BIO-RETENTION SYSTEM.

BUILDING PERMIT HISTORY

This project first started with Permit X2019-3921 issued on 02/03/2022 with subsequent permits that have since expired. The referenced permits above are subject to Newport Beach Municipal Code 15.02.095 with initial three-year construction limit expiration date of February 03, 2025.

- The first inspection was on May 25, 2022, for a Pre-Grading Meeting.
- The last inspection was on February 6, 2026, for a Footing and Foundation.
- Please refer to Attachment 1 for detailed permit history.
- Notice of pending Three-Year Construction Limit expiration was sent on Monday, December 2, 2024.

- Please refer to Attachment 2 for detailed notice activities.

BUILDING OFFICIAL EXTENSION

The Chief Building Official granted an extension for a three-year construction time limit on December 16, 2024, with expiration date of February 3, 2026. (Attachment 3).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

PUBLIC NOTICE

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

ATTACHMENTS

Attachment No. 1 – Building Permit History
Attachment No. 2 – Three-Year Construction Limit Notice Activities
Attachment No. 3 – Building Official Extension

Attachment No. 1

Building Inspection History



LINKED PERMIT INSPECTION HISTORY REPORT (2702-2019) FOR CITY OF NEWPORT BEACH

Permit Type:	Plan Check	Application Date:	12/09/2019	Owner:	
Work Class:	New	Issue Date:	02/03/2022	Parcel:	052 120 57
Status:	Approved	Expiration Date:	02/04/2022	Address:	3100 BREAKERS DR NEWPORT BEACH, CA 92625
IVR Number:	156969				

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
Inspection Location: 3100 BREAKERS DR							
Permit: E2022-0058							
06/29/2022	06/29/2022	Legacy Inspection	E2022-0058-A0030 04090	Approved		No	Complete
	06/29/2022	Temporary Power Pole	E2022-0058-A0030 04089	Approved		No	Complete
Permit: X2019-3921							
05/25/2022	05/25/2022	Call Inspector for Pre-Grading Meeting	X2019-3921-A0029 89523	Approved		No	Complete
11/28/2022	11/28/2022	Masonry Pre-Grout/Wall Steel	iBLD-017953-2022	Partial Pass	Rick La Bare	Yes	Incomplete
04/13/2023	04/13/2023	Masonry Pre-Grout/Wall Steel	iBLD-012906-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-017953-2022							
05/01/2023	05/01/2023	WQ-Best Management Practices	iBLD-015546-2023	Partial Pass	Rick La Bare	Yes	Incomplete
10/19/2023	10/19/2023	Masonry Pre-Grout/Wall Steel	iBLD-040172-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-012906-2023							
12/15/2023	12/15/2023	Footings and Foundation	iBLD-048880-2023	Partial Pass	Jason Rudenick	Yes	Incomplete
01/10/2024	01/10/2024	Footings and Foundation	iBLD-001092-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-048880-2023							
01/17/2024	01/17/2024	Footings and Foundation	iBLD-001875-2024	Approved	Jason Rudenick	No	Complete
Reinspection of iBLD-001092-2024							
03/12/2024	03/12/2024	WQ-Best Management Practices	iWQ-009320-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-015546-2023							
08/15/2024	08/15/2024	Area Drains	iBLD-031435-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
09/10/2024	09/10/2024	Other Building	iBLD-034918-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
10/16/2024	10/16/2024	Rough Grade Approval	iBLD-040222-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
01/29/2025	01/29/2025	Masonry Pre-Grout/Wall Steel	iBLD-003448-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-040172-2023							
04/07/2025	04/07/2025	Footings and Foundation	iBLD-012581-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
	04/07/2025	Slab on Deck	iBLD-012743-2025	Partial Pass	Jason Rudenick	Yes	Incomplete

LINKED PERMIT INSPECTION HISTORY REPORT (2702-2019)

Permit Type:	Plan Check	Application Date:	12/09/2019	Owner:	
Work Class:	New	Issue Date:	02/03/2022	Parcel	052 120 57
Status:	Approved	Expiration Date:	02/04/2022	Address:	3100 BREAKERS DR NEWPORT BEACH, CA 92625
IVR Number:	156969				

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
05/08/2025	05/08/2025	Masonry Pre-Grout/Wall Steel	iBLD-017685-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-003448-2025					
	05/08/2025	Rough Electric Residential	iBLD-018202-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
	05/08/2025	Rough Plumbing & Pan Test	iBLD-018203-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
05/13/2025	05/13/2025	Masonry Pre-Grout/Wall Steel	iBLD-018569-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-017685-2025					
06/11/2025	06/11/2025	Slab On Grade	iBLD-023322-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
	06/11/2025	Soil Pipe	iBLD-023323-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
07/24/2025	07/24/2025	Masonry Pre-Grout/Wall Steel	iBLD-029818-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-018569-2025					
08/26/2025	08/26/2025	Underground Electrical	iBLD-034720-2025	Approved	Jason Rudenick	No	Complete
09/15/2025	09/15/2025	Footings and Foundation	iBLD-037582-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-012581-2025					
10/28/2025	10/28/2025	Slab on Deck	iBLD-045009-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-012743-2025					
12/17/2025	12/17/2025	Area Drains	iBLD-003054-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-031435-2024					
	12/17/2025	Other - Electrical	iBLD-003057-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
	12/17/2025	Sewer	iBLD-003056-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
01/07/2026	01/07/2026	Masonry Pre-Grout/Wall Steel	iBLD-000195-2026	Partial Pass	Jordan Wiley	Yes	Incomplete
		Reinspection of iBLD-029818-2025					
02/03/2026	02/03/2026	Masonry Pre-Grout/Wall Steel	iBLD-004341-2026	Partial Pass	Jason Rudenick	Yes	Incomplete
		Reinspection of iBLD-000195-2026					
02/06/2026	02/06/2026	Footings and Foundation	iBLD-005100-2026	Partial Pass	David Reed	Yes	Incomplete
		Reinspection of iBLD-037582-2025					

Permit: X2019-3922

05/24/2022	05/24/2022	Call Inspector for Pre-Grading Meeting	X2019-3922-A0029 89102	Partial Pass		No	Incomplete
05/25/2022	05/25/2022	Call Inspector for Pre-Grading Meeting	X2019-3922-A0029 89763	Partial Pass		No	Incomplete
06/22/2022	06/22/2022	Masonry Pre-Grout/Wall Steel	X2019-3922-A0030 01442	Partial Pass		No	Incomplete
06/28/2022	06/28/2022	Masonry Pre-Grout/Wall Steel	X2019-3922-A0030 03509	Partial Pass		No	Incomplete

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IVR Number:	156969				

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
06/29/2022	06/29/2022	Footings and Foundation	X2019-3922-A0030 04082	Partial Pass		No	Incomplete
07/07/2022	07/07/2022	Footings and Foundation	iBLD-000011-2022	Partial Pass	Rick La Bare	Yes	Complete
07/14/2022	07/14/2022	Erection Pads	iBLD-000704-2022	Partial Pass	Rick La Bare	Yes	Incomplete
	07/14/2022	Masonry Pre-Grout/Wall Steel	iBLD-000627-2022	Not Ready for Inspection	Rick La Bare	Yes	Complete
07/15/2022	07/15/2022	Other Building	iBLD-000951-2022	Partial Pass	Rick La Bare	Yes	Incomplete
08/08/2022	08/08/2022	Masonry Pre-Grout/Wall Steel	iBLD-003698-2022	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-000627-2022							
09/08/2022	09/08/2022	Erection Pads	iBLD-007684-2022	Cancelled	Rick La Bare	Yes	Complete
Reinspection of iBLD-000704-2022							
	09/08/2022	Masonry Pre-Grout/Wall Steel	iBLD-007681-2022	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-003698-2022							
10/04/2022	10/04/2022	Masonry Pre-Grout/Wall Steel	iBLD-011116-2022	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-007681-2022							
10/27/2022	10/27/2022	Masonry Pre-Grout/Wall Steel	iBLD-014297-2022	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-011116-2022							
11/23/2022	11/23/2022	Masonry Pre-Grout/Wall Steel	iBLD-017826-2022	Correction	Rick La Bare	Yes	Complete
Reinspection of iBLD-014297-2022							
02/01/2023	02/01/2023	Masonry Pre-Grout/Wall Steel	iBLD-003754-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-017826-2022							
05/01/2023	05/01/2023	Footings and Foundation	iBLD-015549-2023	Partial Pass	Rick La Bare	Yes	Incomplete
07/10/2023	07/10/2023	Footings and Foundation	iBLD-025534-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-015549-2023							
10/09/2023	10/09/2023	Masonry Pre-Grout/Wall Steel	iBLD-038245-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of iBLD-003754-2023							
03/04/2024	03/04/2024	Footings and Foundation	iBLD-007951-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-025534-2023							
03/12/2024	03/12/2024	WQ-Best Management Practices	iWQ-009323-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
08/15/2024	08/15/2024	Area Drains	iBLD-031436-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
05/27/2025	05/27/2025	Masonry Pre-Grout/Wall Steel	iBLD-020000-2025	Partial Pass	Jason Rudenick	Yes	Complete

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IVR Number:	156969				

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Reinspection of iBLD-038245-2023							
06/11/2025	06/11/2025	Footings and Foundation	iBLD-022667-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-007951-2024							
	06/11/2025	Under Slab/Floor Plumbing	iBLD-022668-2025	Partial Pass	Jason Rudenick	Yes	Incomplete
01/07/2026	01/07/2026	Masonry Pre-Grout/Wall Steel	iBLD-000196-2026	Partial Pass	Jordan Wiley	Yes	Incomplete
Reinspection of iBLD-020000-2025							
Permit: X2022-0276							
05/25/2022	05/25/2022	Final Building	X2022-0276-A0029 89529	Approved		No	Complete
	05/25/2022	WQ-Best Management Practices	X2022-0276-A0029 89524	Approved		No	Complete
Permit: X2022-0277							
01/31/2023	01/31/2023	Other Building	iBLD-003654-2023	Partial Pass	Rick La Bare	Yes	Incomplete
07/10/2023	07/10/2023	WQ-Best Management Practices	iBLD-025161-2023	Partial Pass	Rick La Bare	Yes	Incomplete
03/21/2024	03/21/2024	WQ-Best Management Practices	iWQ-010697-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-025161-2023							
Permit: X2022-0278							
11/30/2022	11/30/2022	Insulation/Densglass	iBLD-018397-2022	Not Ready for Inspection	Rick La Bare	Yes	Complete
04/13/2023	04/13/2023	WQ-Best Management Practices	iBLD-013278-2023	Partial Pass	Rick La Bare	Yes	Incomplete
05/11/2023	05/11/2023	WQ-Best Management Practices	iBLD-017212-2023	Approved	Rick La Bare	No	Complete
Reinspection of iBLD-013278-2023							
03/12/2024	03/12/2024	Area Drains	iBLD-009334-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
08/15/2024	08/15/2024	Area Drains	iBLD-031434-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-009334-2024							
09/10/2024	09/10/2024	Footings and Foundation	iBLD-034508-2024	Cancelled	Jason Rudenick	Yes	Complete



City of Newport Beach - Building Division

100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone (949)644-3288
Inspection Requests Phone (949)644-3255
Combination Type - MFP ELEC GRAD MECH PLUM



COMB Permit : X2019-3921

Project No : 2702-2019

Issued Date : 02/03/2022

Inspection Area : 5

PERMIT EXPIRES 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION. PROJECTS MUST BE COMPLETED BY 02/03/2023 OR PERMIT WILL BE INVALID

Construction Hours: Monday - Friday 7:00 a.m. to 6:30 p.m. and Saturday from 8:00 a.m. to 6:00 p.m. No work on Sundays and Holidays

Address: 3100 BREAKERS DR NB
Description: NEW DUPLEX/GARAGE 6,260 SF/ 2,486 SF
Legal Desc.: TR 1026 LOT 5 R/S 12-35

Owner: TTD RP, LLC
Address: 14511 MYFORD RD STE100
TUSTIN CA 92780
Phone: 714-323-6650

Applicant: NGUYEN ANNA
Address: 31511 CAMINO CAPISTRANO STE A
SAN JUAN CAPISTRANO CA 92675
Phone: 949-496-8991

Code Edit: 2016
Type of Construction: V-B-SPR
Occupancy Group: R3/U
Added / New sq. ft. Bldg: 6260
Added / New sq. ft. Garage: 2486
No of Stories: 4
No of Units: 2
Bldg Height: 0
Bldg Sprinklers: Y
Load Zone: X

Contractor: R J SCHWINN ASSOCIATES INC
Address: 233 VIA MALAGA DRIVE
SAN CLEMENTE CA 92673
Phone: 949-683-2889

Con State Lic: 861593
Lic Expire: 07/31/2023
Bus Lic: BT30077817
Lic Exp Date: 01/31/2023

Worker's Compensation Insurance
Carrier: STATE FUND
Policy No: 9033570
Expire: 11/07/2022

Building Setbacks
Front: 10' (FRONT)
Left: 5' (BREAKERS)
Right: 4'

Use Zone: R-2 Parking Spaces: 0

Construction Valuation: \$1,154,000.00

Building Permit Fee: \$9,820.00
Plan Check Fee: \$6,751.00
Overtime Plan Ck: \$0.00
Investigation Fee: \$0.00
Record Management: \$248.00
Energy Compliance: \$303.00
CA Seismic Safety: \$323.12
Disabled Access: \$0.00
Hazardous Mat: \$0.00
Building Green Fee: \$47.00

Excise Tax: \$1,836.66
Additional Fee: \$1,072.00
Grading Bonds Fee: \$0.00
Grading PC Consultant: \$4,396.02
Grading Permit Fee: \$2,183.00
Grading PC Fee: \$964.98
WQ Insp. Fee: \$1,220.00
Electrical %: \$2,570.88
Mechanical %: \$2,019.97
Plumbing %: \$1,652.71

Planning Department -
Plan check Fee: \$520.00
Fair Share: \$1,454.00
SJH Trans: \$0.00
In-lieu Housing Fee: \$0.00
Public Works Department -
Park Dedication: \$0.00
P/W Plan Check: \$1,421.00
San Dist: \$2,030.00
NMUSD Fee: \$9,317.76

Fire Department
Fire Inspection: \$0.00
Fire Plan Rev: \$0.00
Demolition Fee: \$0.00
Building Dept Adm: \$0.00
General Service: \$0.00
Refund Deposit: \$0.00
Grading Bond: \$0.00

Fee Due at Permit Issuance: \$39,262.46

TOTAL FEE: \$50,151.10

RECEIVED BY:

ONLINE APPROVAL:

RADING APPROVAL:

SP4

PUBLIC WORKS APPROVAL:

PLAN CHECK BY:

APPROVAL TO ISSUE:

INTW

NO CONSTRUCTION ON THE WEEKEND

Architect: R J SCHWINN ASSOCIATES INC
Address: 233 VIA MALAGA DRIVE
SAN CLEMENTE CA 92673
Phone: 949-683-2889

Engineer: WONG ARIV NATHANIEL
Address: 180 S PROSPECT AVE #110
TUSTIN CA 92780
Phone: 714-838-9898

Designer: SUMICH GEOFF
Address: 31511 CAMINO CAPISTRANO STE A
SAN JUAN CAPISTRANO CA 92675
Phone: 949-496-8991

Special Conditions: Landslide area
High density area
13 R SPRINKS REQ
INSPECTOR

Fire Hazard Zone: N



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915

www.newportbeachca.gov | (949) 644-3200

PRE-GRADE MEETING AGREEMENT

DATE: 5-22-25 JOB ADDRESS: 3100 BREAKERS DRIVE

1. All residential one-unit and two-unit dwelling projects must be completed in a three (3)-year period in accordance with Newport Beach Municipal Code 15.02.095.
2. The grading plan check number for this site is 2019-3921 and will be referred to in all reports, certifications and correspondence.
3. **STOP ORDERS:** Whenever any work is being done contrary to the provisions of the City Codes, the Chief Building Official or his authorized representative may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done and any such persons shall forthwith stop such work until authorized by the Chief Building Official to proceed with the work.
4. The stamped set of approved plans shall be on the job site at all times.
5. **NOTIFICATION OF NONCOMPLIANCE:** If, in the course of fulfilling their responsibilities, the civil engineer, surveyor, the soils engineer, the engineering geologist or the testing agent finds that the work is not being done in conformance with the approved grading plans, the discrepancies shall be reported immediately in writing to the person in charge of the grading work and to the Building Division. Recommendations for corrective measures, if necessary, shall be submitted to the Building Division for approval.
6. When import or export of materials is required, haul routes to and from the site shall be approved by the City Traffic Engineer and hauling procedures shall be in accordance with Chapter 15 of the Newport Beach Municipal Code (NBMC). Contractor shall use Best Management Practices (BMP's) to insure that all water quality issues are addressed.
7. Between October 1 and April 30, erosion control BMP measures shall be in place. During the remainder of the year dry season wind erosion BMP's (dust control) shall be implemented. Sediment control BMP's shall be installed and maintained at all operational storm drain inlets internal to the project. BMP's to control off-site sediment tracking shall be implemented and maintained. Appropriate BMP's to prevent contamination of stormwater from construction activities shall be implemented. A "weather triggered" action plan and the ability to deploy BMP's to protect all exposed portions of the site within 48-hours when the National Weather Service forecasts a 50% or greater chance of rain.
8. All fills shall be compacted throughout to a minimum of 90 percent compaction as determined by ASTM test method 1557 and approved by the soils engineer. Compaction tests shall be performed according to the preliminary soils report.
9. All trench (including interior and exterior utility trenches) and retaining wall backfill shall be compacted throughout to a minimum of 90 percent relative compaction and approved by the soils engineer.
10. Whenever work on which required inspection/testing is covered by additional work without first being inspected/tested, the Chief Building Official shall require by written notice that the work be exposed for examination. The work of exposing and recovering shall not entail or be subject to expense to the City of Newport Beach and will be the sole expense of the Permittee.
11. Landscaping of all slopes and pads shall be in accordance with 15.10.130 of the NBMC.
12. Approved drainage provisions shall be used to protect adjoining properties during the grading operation.

13. The permittee or his agent shall notify the Building Division when the grading operation is ready for each of the following inspections:
- PRE-GRADE MEETING:** When the permittee is ready to begin work, but not less than two days before any grading or brushing is started.
 - DRAINAGE DEVICE INSPECTION:** After forming of terrace drains, down drains or after placement of pipe in subdrains, but before any concrete or filter material is placed.
 - SPECIAL:** _____
 - ROUGH GRADING:** When all rough grading has been completed, the rough grade report shall be provided to the Building Inspector at foundation inspection or sooner based on the Building Inspector's discretion.
 - FINAL:** When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan, professional approvals and the required reports have been submitted.
14. All footing excavations, slab on grade areas and subdrains shall be inspected and approved by the Geotechnical Engineer or Engineering Geologist. Written approval shall be submitted to the Building Inspector.
15. Prior to the start of grading, all permanent property corner monuments shall be in place. Prior to any foundation inspections, proof of recordation of the "corner record" or "record of survey" with the County of Orange shall be provided.
16. The undersigned acknowledge a copy of the above and agree to comply with the Grading Code of the City of Newport Beach, the recommendations of the project soils report and any special requirements of the permit.
17. Prior to foundation inspection a Line and Grade Certificate Form must signed and stamped by the surveyor of record and submitted to the building inspector. A Structural Observation Report may be required.
18. All parties listed below must be present for the pregrade meeting unless approved by the building inspector.
19. All duplex construction requires separate utilities (sewer, water, gas, electrical, fire sprinkler risers).

OWNER/CONTRACTOR: <u>R.J. SCHWIMM ASSOCIATES, INC.</u>		DESIGN CIVIL ENGR.: <u>TOAL ENGINEERING</u>	
By: <u>RUSS SCHWIMM</u>		By: _____	
Address: <u>233 VIA MALAGA SAN CLEMENTE, CA 92673</u>		Address: <u>139 AVENIDA JAVIERO SAN CLEMENTE, CA</u>	
Telephone: <u>949-683-2885</u>		Telephone: <u>949-492-8586</u>	
GEOTECHNICAL ENGINEER: <u>COAST GEOTECHNICAL</u>		GEOLOGIST: <u>COAST GEOTECHNICAL</u>	
By: <u>DAN</u>		By: <u>DAN</u>	
Address: <u>1200W. COMMONWEALTH AVE TULENTON, CA</u>		Address: <u>1200 COMMONWEALTH TULENTON, CA</u>	
Telephone: <u>714-870-1211</u>		Telephone: <u>714-870-1211</u>	
GRADING CONTR.: <u>GREEN LEAF</u>		COORDINATOR: <u>RUSS SCHWIMM</u>	
By: <u>TIM GREEN LEAF</u>		By: <u>RJ. SCHWIMM ASSOCIATES, INC.</u>	
Address: <u>18685 MAIN ST. HUNTINGTON BEACH, CA</u>		Address: _____	
Telephone: <u>714-847-2700</u>		Telephone: <u>949-683-2885</u>	
NEWPORT BEACH REPRESENTATIVE: <u>Joan Ruden</u>		PHONE #: <u>949-644-3262</u>	
INSPECTION REQUESTS: (949) 644-3255			

Newport Beach Construction Hours:

Monday through Friday: 7:00 a.m. to 6:30 p.m.
 Saturdays: 8:00 a.m. to 6:00 p.m.
 No work on Sundays and Holidays



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 926588915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Viktor Meum, P.L.S. License # 8682

Engineer/Surveyor's Address 139 Avenida Navarro, San Clemente CA 92672

Job Address 3100 Breakers Dr (Project D2019-0509, Permit X2019-3922)

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* Top of slab/floor elevation: NA - certification is for shoring wall.

* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

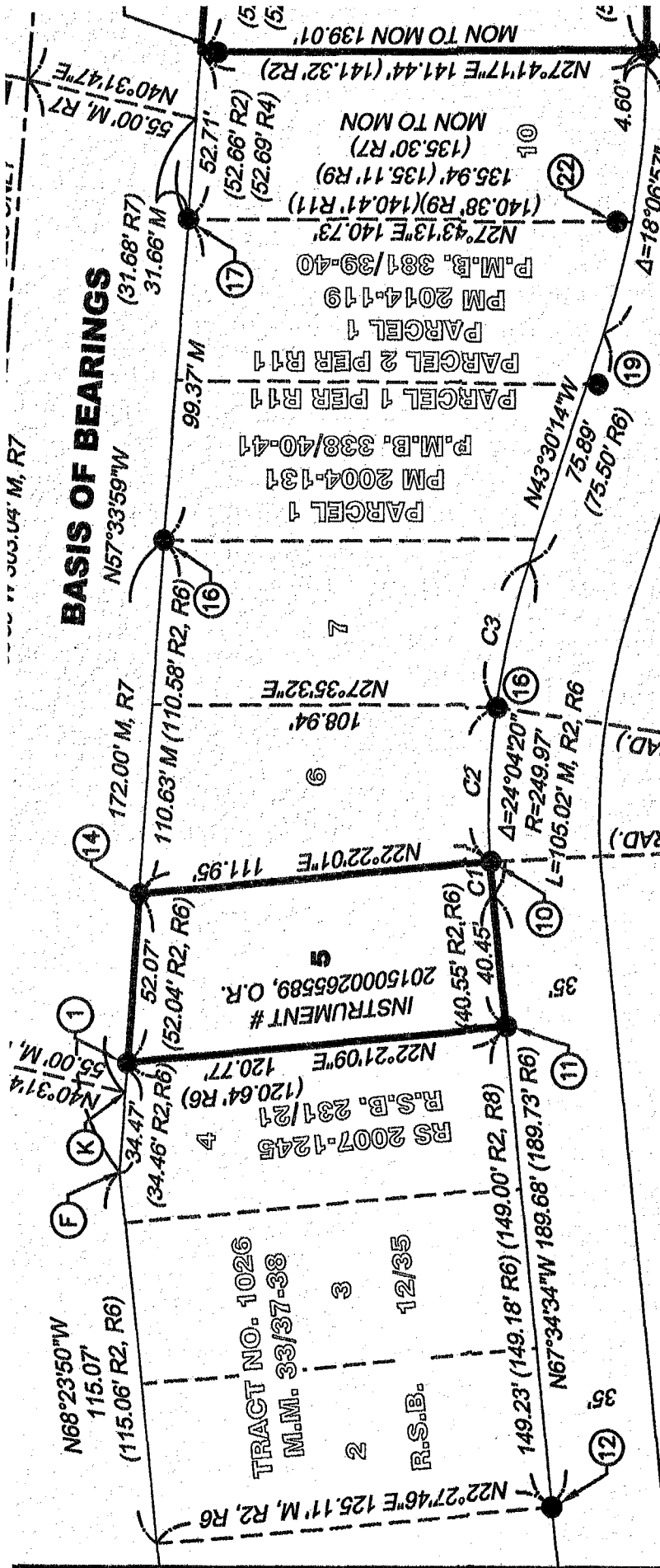
I certify that the setbacks are ☒, --are not ☐,-- per City approved plans.--Describe any deviations
--from plans:--- Shoring wall is entirely within subject site as shown on the attached.

I certify that top of slab/floor elevation(s) is ☐,---is not ☐, per City approved drawings. Describe
--any deviations from plans:

2-5-25
Date

Engineer/Surveyor's stamp and signature

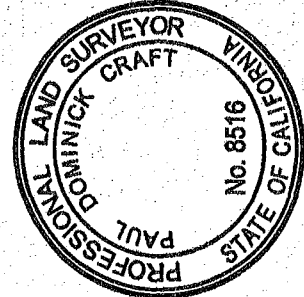




SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF JON AND MELINDA MULLER, IN OCTOBER OF 2015.

Paul D. Craft
 PAUL D. CRAFT, P.L.S. 8516 DATE 1/16/18



Curve Data Table			
Curve #	Delta	Radius	Length
C1	2°28'27"	249.97'	10.79'
(C1)	(2°27'09" R2)	(249.97' R2)	(10.70' R2)
C2	11°07'07"	249.97'	48.36'
(C2)	(11°03'59" R2)	(249.97' R2)	(48.28' R2)
C3	10°30'46"	249.97'	45.87'
(C3)	(10°33'13" R6)	(249.97' R6)	(46.04' R6)

STATEMENT
 THE PURPOSE
 OF THIS MONUMENT
 AS DESCRIBED
 AND 2006000



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3100 Breakers Drive	Report Date: 01.07.2026	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Russ Schwinn	Owner's Mailing Address (if different from site); russ@rjschwinnassociates.com	Owner's Telephone #: (949) 683-2889	CNB Plan Check #: 2702-2019
Full Name of Structural Observer (SO): Ariv Nathaniel Wong	SO E-mail Address: awong@wongandassoc.com	SO Telephone #: (714) 838-9898	SO License / Reg. #: C55045

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
☐ Conventional Footings & Slab	☐ Concrete	☐ Steel	☐ Concrete		
☐ Mat Foundation, Prestressed Concrete	☐ Masonry	☐ Concrete	☒ Steel Deck	2nd Flr Concrete wall to slab dowels along line A between grid 1 to 3 and line E between grid 3 to 4.6.	
☐ Caissons, Piles, Grade Beams	☐ Wood or Manuf. Shear Panels	☐ Masonry	☐ Wood		
☒ Other: Wall to Slab Dowels	☐ Other:	☐ Other:	☐ Other:		01.07.2026

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

---NONE---

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

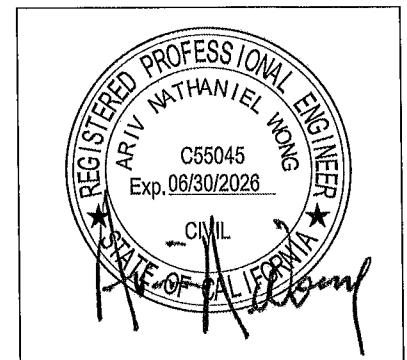
1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Ariv Nathaniel Wong

101.07.2026

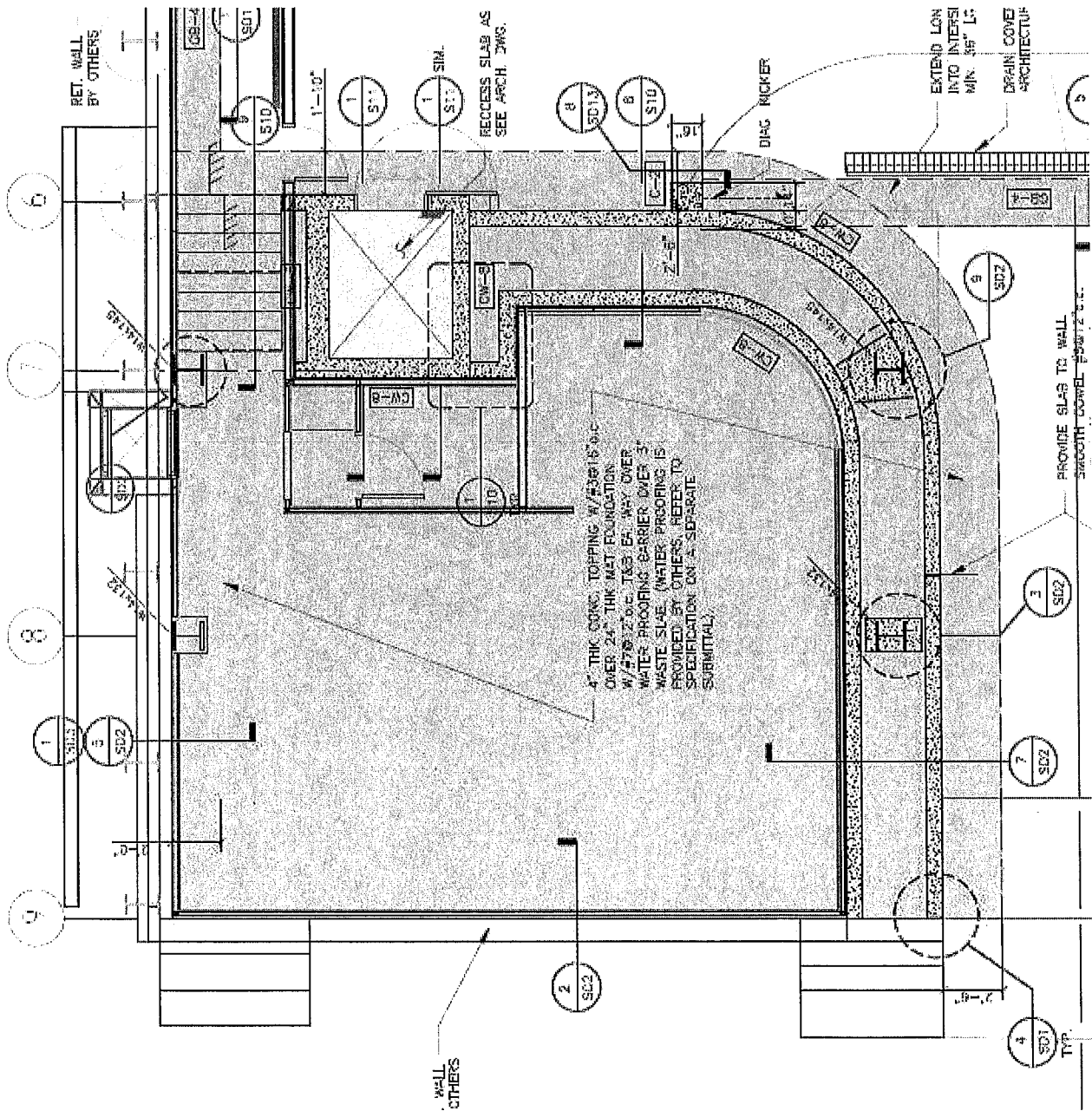
SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.





CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3100 Breakers Drive	Report Date: 06.10.2025	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Russ Schwinn	Owner's Mailing Address (if different from site); russ@rjschwinnassociates.com	Owner's Telephone #: (949) 683-2889	CNB Plan Check #: 2702-2019
Full Name of Structural Observer (SO): Ariv Nathaniel Wong	SO E-mail Address: awong@wongandassoc.com	SO Telephone #: (714) 838-9898	SO License / Reg. #: C55045

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
☐ Conventional Footings & Slab	☐ Concrete	☐ Steel	☐ Concrete		
☒ Mat Foundation, Prestressed Concrete	☐ Masonry	☐ Concrete	☐ Steel Deck	TWO LAYERS OF MATT FOUNDATION - SEE ATTACHED AREA OBSERVED	06.10.2025
☐ Caissons, Piles, Grade Beams	☐ Wood or Manuf. Shear Panels	☐ Masonry	☐ Wood		
☐ Other:	☐ Other:	☐ Other:	☐ Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

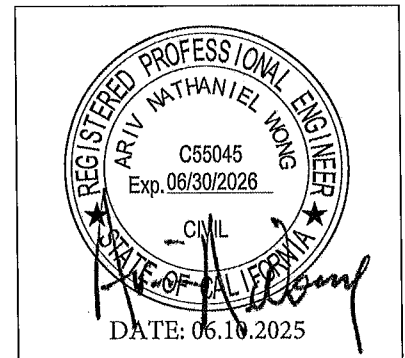
- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
- I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Ariv Nathaniel Wong

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

06.10.2025

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915

www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3100 Breakers Drive	Report Date: 05.13.2025	CNB Inspector Name:	CNB Permit #:
Building Owner Name: Russ Schwinn	Owner's Mailing Address (if different from site); russ@rjschwinnassociates.com	Owner's Telephone #: (949) 683-2889	CNB Plan Check #: 2702-2019
Full Name of Structural Observer (SO): Ariv Nathaniel Wong	SO E-mail Address: awong@wongandassoc.com	SO Telephone #: (714) 838-9898	SO License / Reg. #: C55045

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
☐ Conventional Footings & Slab	Concrete	☐ Steel	☐ Concrete		
☐ Mat Foundation, Prestressed Concrete	☐ Masonry	☐ Concrete	☐ Steel Deck		
☐ Caissons, Piles, Grade Beams	☐ Wood or Manuf. Shear Panels	☐ Masonry	☐ Wood		
☐ Other:	☐ Other:	☐ Other:	☒ Other: Steel Embeds	Steel Ledger Embeds to receive 1st floor deck between Grid Lines 1-4.	05.13.2025

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

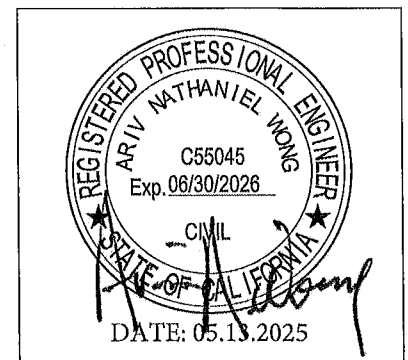
1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
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3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Ariv Nathaniel Wong

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

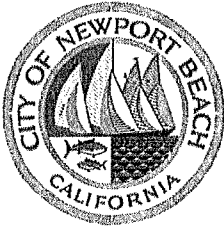
05.13.2025

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3100 BREAKERS DRIVE	Report Date: 1/07/2026	CNB Inspector Name:	CNB Permit #:
Building Owner Name:	Owner's Mailing Address (if different from site);	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Donny Harris - LFA	SO E-mail Address: Donny.Harris@labibfunk.com	SO Telephone #: 213 239 9700	SO License / Reg. #: S5121

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
☐ Conventional Footings & Slab	☐ Concrete	☐ Steel	☐ Concrete		
☐ Mat Foundation, Prestressed Concrete	☐ Masonry	☐ Concrete	☐ Steel Deck		
☐ Caissons, Piles, Grade Beams	☐ Wood or Manuf. Shear Panels	☐ Masonry	☐ Wood		
☒ Other: Permanent shoring concrete wall	☐ Other:	☐ Other:	☐ Other:	Wall reinf. for 2nd lift (1st level to past 2nd level) between SB#4 thru SB#24	01/07/2026

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

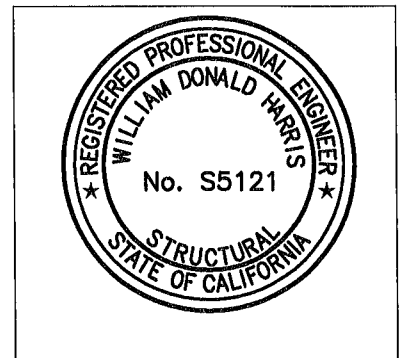
1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

Donny Harris

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

01/07/2026

DATE



STAMP OF STRUCTURAL OBSERVER

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CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION
1-800-DEPUTY1

Gen Contr: RJ Schwinn
Sub-Contr: Drilco

SPECIAL INSPECTION REPORT

Project Address: Breakers Residence @ 3 Breakers Dr.
Permit Number: X2019-3922
Inspection Type (s): RC-W beam placement
Inspection Date (s): 6/22/22 (☒) Periodic (☐) Continuous

Describe Inspection, Including Location(s):
Inspected (2) wide-flange beams and placement thereof @ south elevation showing will notated on plan page SH4 as #29, #27 w/18X50

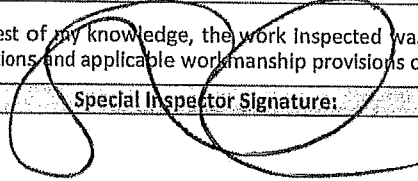
List Tests Made:
Reinforcement verification

Total Inspection Time Each Day:	
Date: <u>6/22/22</u>	
Hours: <u>PM</u>	

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):
No exceptions taken

Comments:
- Beam size confirms to plan as verified by millcuts and field measurements
- Beams set w/ clearances per plan

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature: 	Date: <u>6/22/22</u>
Print Full Name: <u>Shaun Ward</u>	Newport Beach Registration No.: <u>NB-0743</u>

COAST GEOTECHNICAL INC.

1200 W. Commonwealth Ave., Fullerton, CA 92833 ■ Ph: (714) 870-1211 ■ Fax: (714) 870-1222 ■ Email: coastgeotec@sbcglobal.net

Daily Observation Report

INV. _____

HRS. _____

W.O. _____

Date 11/6/23

Name Dennis

Client Arvado

Address 3100 Breakers - 11B

☐ Footings ☐ Key Way ☐ Grading ☐ Swim Pool ☐ Trench ☐ Other

Test No.	Location	Elev. or Depth	Moisture Content %	Dry Density p.c.f.	% Relative Compaction	Test Type	Soil Type

Job Progress and Activity: 1st floor slab - Ducts finish

Removal of 1st floor slab

Excavation started about 7' below street grade

to 3' below 4' Row of Tiebacks. water is

Comments: seeping. See Row 1/2 of Pad.

Excavation will extend until Street with

Lagging to be installed on three sides.

De-watering will be necessary.



DEPUTY INSPECTION

1-800-DEPUTY 1

Gen Contr: RJ Schwinn

Sub-Contr: Drilco

Report of Special Inspection

Project Name & Address Breakers Residence/3100 Breakers, Newport Beach

Permit Number X2019-3921

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 2/7/2023 [] Periodic [X] Continuous

Describe Inspection Made, including Locations:

Observed stressing and seating of (5) TB9, 10/15-17 (row A) at the foundation per structural plans. Tendon stressed to design loads and seated on wedges. Minimum PSI achieved and test accurately recorded on log.

List Tests Made:

Total Inspection Time Each Day:

Date	2/7/2023								
Hours									

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Minimum design PSI achieved and recorded in log.

Jack Calibration per specs and codes.

Tendons/jack clean and free from deleterious materials/debris.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: _____

Print Full Name: _____

Thomas George

Date

2/7/2023

Registration No.

NB-0617



DEPUTY INSPECTION

1-800-DEPUTY1

Gen Contr: RJ Schwin

Sub-Contr: Drilco

Report of Special Inspection

Project Name & Address Breakers Residence/3100 Breakers, Newport Beach

Permit Number X2019-3921

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 2/6/2023 [] Periodic [X] Continuous

Describe Inspection Made, including Locations:

Observed stressing and seating of (3) TB11-13 at the foundation per structural plans.
Tendon stressed to design loads and seated on wedges. Minimum PSI achieved and test accurately recorded on log.

List Tests Made:

Total Inspection Time Each Day:

Date	2/6/2023						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Minimum design PSI achieved and recorded in log.

Jack Calibration per specs and codes.

Tendons/jack clean and free from deleterious materials/debris.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed:

Date

2/6/2023

Print Full Name:

Thomas George

Registration No.

NB-0617

21

**DEPUTY INSPECTION**

1-800-DEPUTY1

Gen Contr: **HJ Schwinn**Sub-Contr: **Drilco****Burnett and Young****Report of Special Inspection****Project Name & Address** Breakers Residence/3100 Breakers, Newport Beach**Permit Number** X2019-3921**Inspection Type(s)** Reinforced Concrete**Inspection Date(s)** 8/5/22 [] Periodic [X] Continuous**Describe Inspection Made, including Locations:**

Observed placement of soldier pile and concrete (4500PSI) for (1) soldier piles at shoring wall per SH-1 of the shoring plan. Pile size and placement dependent on and in strict accordance with details 2 of SH-4. SP24

List Tests Made: 4(4X8)-cylinders cast**Total Inspection Time Each Day:**

Date	8/5/2022						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed**Comments:**

Soldier pile clearances achieved and Maintained.

Soldier piles supported from top.

Standing water pumped from caisson prior to concrete placement.

All concrete was placed per specs and codes.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed:**Date**

8/5/22

Print Full Name: Thomas George**Registration No.**

NB-0617

**DEPUTY INSPECTION**

1-800-DEPUTY

Gen Contr: RJ Schwinn

Sub-Contr: Drilco

Burnett and Young

Report of Special Inspection

Project Name & Address Breakers Residence/3100 Breakers, Newport Beach

Permit Number X2019-3921

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 7/28/22 [] Periodic [X] Continuous

Describe Inspection Made, including Locations:

Observed placement of soldier pile and concrete (4500PSI) for (1) soldier piles at shoring wall per SH-1 of the shoring plan. Pile size and placement dependent on and in strict accordance with details 2 of SH-4. SP5

List Tests Made: 4(4X8)-cylinders-cast

Total Inspection Time Each Day:

Date	7/28/2022						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Soldier pile clearances achieved and Maintained.

Soldier piles supported from top.

Standing water pumped from caisson prior to concrete placement.

All concrete was placed per specs and codes.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed:

Date

7/28/22

Print Full Name:

Thomas George

Registration No.

NB-0617



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

SPECIAL INSPECTION REPORT

Project Address: 3100 Breakers Drive, Newport Beach, CA

Permit Number: X2019-3921

Inspection Type (s): Concrete

Inspection Date (s): 10/3/22

☐

Periodic

☒

Continuous

Describe Inspection, Including Location(s):

Observed the placement and consolidation of 8 cubic yards of concrete, mix design 45W/C1, supplied by Gary Bale and placed at shoring pile #18. One set of 4 test samples was taken - ticket # 377479, slump 5", PSI 4500, concrete temp 78F.

Total Inspection Time Each Day:

Date:	10/3/22					
Hours:	Min					

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):

Comments:

Other than any noted discrepancies all work was done per approved plans, job site specifications, applicable codes, RFI's and WPS's to the best of my knowledge and appeared to be in compliance at time of inspection.

Special Inspector Signature:	Date:
<i>P. Gilpin</i>	10/3/22
Print Full Name:	Newport Beach Registration No.:
Peter Gilpin	NB-0381

24

**DEPUTY INSPECTION**

1-800-DEPUTY

Gen Contr: RJ Schwinn

Sub-Contr: Drilco

Burnett and Young

Report of Special Inspection

Project Name & Address Breakers Residence/3100 Breakers, Newport Beach

Permit Number X2019-3921

Inspection Type(s) Reinforced Concrete

Inspection Date(s) 9/12/22 [] Periodic [X] Continuous

Describe Inspection Made, including Locations:

Observed placement of soldier pile and concrete (4500PSI) for (3) soldier piles at shoring wall per SH-1 of the shoring plan. Pile size and placement dependent on and in strict accordance with details 2 of SH-4, SP10, 12, and 16

List Tests Made: 4(4X8)-cylinders cast

Total Inspection Time Each Day:

Date	9/12/2022						
Hours	4						

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Soldier pile clearances achieved and Maintained.

Soldier piles supported from top.

Standing water pumped from caisson prior to concrete placement.

All concrete was placed per specs and codes.

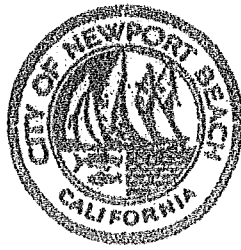
To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed:

Date 9/12/22

Print Full Name: Thomas George

Registration No. NB-0617

**DEPUTY INSPECTION**

1-800-DEPUTY1

Gen Contr: RJ SchwinnSub-Contr: Drilco**Report of Special Inspection**Project Name & Address Breakers Residence/3100 Breakers, Newport BeachPermit Number X2019-3921Inspection Type(s) Reinforced ConcreteInspection Date(s) 11/3/2023 [] Periodic [X] Continuous

Describe Inspection Made, including Locations:

Observed stressing and seating of (2) tiebacks TB15/16A (row D) at the foundation per structural plans.

List Tests Made:

Total Inspection Time Each Day:

Date	11/3/2023						
Hours							

List Items Requiring Correction, include uncorrected items previously listed

Comments:

Tendons stressed per specs and codes.Stress test accurately recorded in log.

To the best of my knowledge, the work inspected was in accordance with the Building Department approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Signed: *Thomas George*Date 11/3/2023Print Full Name: Thomas GeorgeRegistration No. NB-0617



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

DEPUTY 1 INSPECTION
1-800-DEPUTY1

Gen Contr: R.J. Schmitt
Sub-Contr: Coast

SPECIAL INSPECTION REPORT

Project Address: Breakers Residence @ 3100 Breakers Drive
Permit Number: 2019-3921
Inspection Type (s): RC - Caisson Reinforcement
Inspection Date (s): 12/13/23 (☒) Periodic () Continuous

Describe Inspection, Including Location(s):
<u>Inspect caisson reinforcement for (3) cages</u> <u>for deep basement foundation caissons per plan</u> <u>page 52 and 7/SD12. → #4 closed ties @ 3" O.C</u> <u>and bottom 10' @ 12" O.C and (12) #6 vertical</u> <u>bar</u>

List Tests Made:
<u>Rebar verification</u>

Total Inspection Time Each Day:					
Date:	<u>12/13/23</u>				
Hours:	<u>Am</u>				

List All Items Requiring Correction (Include Previously Listed Uncorrected Items):
<u>No exceptions taken</u>

Comments:
<u>Rebar conforms to plan specification</u> <u>for size, spacing and steel grade</u> <u>- Rebar w/o defect</u>

To the best of my knowledge, the work inspected was in accordance with the Building Division approved design drawings, specifications and applicable workmanship provisions of the U.B.C. except as noted above.

Special Inspector Signature:	Date:
<u>[Signature]</u>	<u>12/13/23</u>
Print Full Name:	Newport Beach Registration No.:
<u>Shawn Ward</u>	<u>NB-0743</u>

Attachment No. 2

Three-Year Construction Limit Notice Activities



City of Newport Beach

Community Development

Monday, December 2, 2024

Russ John Schwinn
233 Via Malaga
San Clemente, CA 92673

Subject: Notice of Three (3)-Year Expiration Deadline for Building Permits

Address: 3100 BREAKERS DR NEWPORT BEACH, CA 92625

Thank you for your continued interest in investing in the City of Newport Beach. Per Ordinance No. 2022-8, all residential one-unit and two-unit dwelling projects must be completed in a three (3)-year period. Our records indicate that your permit **X2019-3921** issued on **02/03/2022** is set to expire on **02/03/2025**, as set forth in Newport Beach Municipal Code Section 15.02.095. This includes any *related* permits, such as electrical, mechanical, plumbing, swimming and fire permits issued at a later date.

A property owner, or authorized agent of the property owner, may request an extension in writing with the Chief Building Official. The application for extension can be found online at <https://newportbeachca.gov/permitextension>.

The application shall include all information to help assess if an extension is warranted. At a minimum, you will be required to include: the length of the time extension requested; justification for the requested extension; and the projected date of completion.

Please submit your application no later than forty-five (45) calendar days prior to the expiration of the building permit.

Permits that need more time than granted by the Building Official may file an additional extension application with an Administrative Hearing Officer. The extension application for the Hearing Officer shall be submitted no later than forty-five (45) days prior to the expiration date granted by the Building Official.

For any questions, please contact **Jason Rudenick** at 9 4 9 - 6 4 4 - 3 2 6 2 o r JRUDENICK@newportbeachca.gov.

Sincerely,

TONEE THAI, P.E., C.B.O., CASp
Community Development Department
Deputy Director-Building / Chief Building Official



PERMIT ACTIVITY REPORT (X2019-3921) FOR CITY OF NEWPORT BEACH

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
01/06/2026	Generic Activity	Application	ACT-000035-2026	Application received on SL's desk to TT.	Jason Rudenick
01/07/2026	Generic Activity	Hearing Application Submitted	ACT-000056-2026	Hearing application submitted on 01/06/2026. Application routed to City Clerk and Finance.	Tonee Thai
11/18/2025	Generic Activity	Hearing App	ACT-004190-2025	Emailed hearing application to GC Russ russ@rjschwinassociates.com.	Jason Rudenick
12/10/2024	Generic Activity	Submittal	ACT-004774-2024	Jason received, on SL's desk 12/10/24.	Jason Rudenick
12/16/2024	Generic Activity	Building Official Extension Approved	ACT-004950-2024	3-YEAR CONSTRUCTION TIME LIMIT 365 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 02/03/2026 UNLESS AN ADDITIONAL EXTENSION IS GRANTED BY HEARING OFFICER.	Tonee Thai
12/05/2024	Generic Activity	Phone call /email	ACT-004696-2024	Spoke with and sent email to GC Russ (949) 683-2889, Jason provided application and explained the 3yr application process in detail. Russ is to complete the application and pay the fee.	Jason Rudenick
02/09/2026	Generic Activity	Stop Work	ACT-000539-2026	Posted Stop Work, talked with Russ (GC), he mentioned the Hearing appt is in March he will attend.	Jason Rudenick

Attachment No. 3

Building Official Extension



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

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DEVELOPMENT

DEC 06 2024

Three Year Construction Time Limit Extension
Building Official Application

CITY OF
NEWPORT BEACH

Project Address:	3100 BRANKERS DRIVE			Receipt No.:	INV-00035286		
Permit No.:	X2019-3921	Original Permit Issued Date:	2-3-2022	Extension Fee:	\$214	Date Fee Paid:	12/10/24
PETITIONER/PROPERTY OWNER INFORMATION							
Name (Must be payor of fees):				Company Name:			
RUSS SCHWINN				R.J. SCHWINN ASSOCIATES, INC.			
Street Address:		City:		State:		Zip Code:	
233 VIA MALAGA		SAN CLEMENTE		CA		92673	
Email:				Phone:			
RUSS@RSSCHWINNASSOCIATES.COM				949.683.2889			
PROJECT INFORMATION							
Length of extension requested: 1 YEAR							
New end date if request is approved: 2-3-2026							
Previous Extension(s) Granted? (Y/N): NONE If Yes, How Many?:							
Description of Work Under Permit: DEMOLITION OF EXISTING STRUCTURE - BUILD NEW RESIDENTIAL HOME. X2019-3922; X2022-0277; X2022-0278							
Reason for Extension Request: (Attach Supporting Documents as Needed) SEE ATTACHED. HARD ROCK - CAISSONS, TIE BACKS, SITE WATER, ETC.							
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.							
Petitioner's Signature: [Signature]				Relationship to Property Owner:		Date:	
				GENERAL CONTRACTOR		12/16/2024	
FOR STAFF USE ONLY							
Department Action: ☒ Approved ☐ Denied							
Conditions of Approval or Comments: 365 DAYS EXTENSION GRANTED TO 02/03/2026. PERMITS SHALL EXPIRE ON 02/03/26 UNLESS ADDITIONAL EXTENSION GRANTED BY HEARING OFFICER							
Building Inspector Reviewed:		Name: Jason Rudenich		Signature: [Signature]		Date: 12/10/24	
Building Official Approval:		Name: TONIE HARR		Signature: [Signature]		Date: 12/16/24	



Friday December 6, 2024

The City of Newport Beach
Community Development Department

Subject: Notice of 3 Year Expiration Deadline for Building Permits

Address: 3100 Breakers Drive Newport Beach, CA 92625

Dear Community Development Department and Chief Building Official,

Our construction for 3100 Breakers Drive has taken longer than the 3-year period granted by Newport Beach.

Drilling caissons and tiebacks into hard rock, moving and mobilizing equipment in a very tight space, ground water and removal of ground water have caused delays and cost to the project.

I am requesting a one-year extension on the following permits and all permits attached to this project. X2019- 3922, X2019-3921, E2022-0088, X2022-0278, X2022-0276, X2022-0277, REV 2024-0814.

I have attached the application as requested.

Sincerely,

Russ Schwinn

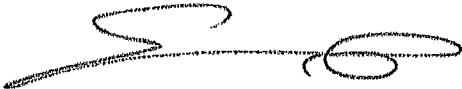
December 9, 2024

To: Newport Beach Community Development

Regarding the request for permit extension for TTDRP LLC Residence at 3100 Breakers Drive Corona Del Mar, CA 92625.

R. J. Schwinn Associates is our contractor and we authorize Russ Schwinn as our agent to request for permit extensions.

Thank you,

A handwritten signature in black ink, appearing to be "Enrico Arvielo", with a stylized flourish at the end.

TTDRP LLC

Enrico Arvielo, Manager



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
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DEVELOPMENT

JAN 06 2026

CITY OF
NEWPORT BEACH

Three Year Construction Time Limit Extension
Hearing Officer Application

Project Address:	3100 BREAKERS DRIVE			Receipt No.:	INV-00051076
Permit No.:	X2019-3921	Original Permit Issued Date:	2-3-2022	Hearing Fee:	\$1,515
				Date Fee Paid:	01/06/26
PETITIONER/PROPERTY OWNER INFORMATION					
Name (Must be payor of fees):		Company Name:			
RUSS SCHWINN		R.S. SCHWINN ASSOCIATES INC.			
Street Address:		City:	State:	Zip Code:	
233 VIA MALAGA		SAN CLEMENTE	CA	92673	
Email:		Phone:			
RUSS@RS.SCHWINN.ASSOCIATES.COM		949-683-2889			
PROJECT INFORMATION					
Length of extension requested (180 days max.):		New expiration date if request is approved:			
180 DAYS					
Previous Extension(s) Granted? (Y/N):		If Yes, How Many?			
YES		1			
Description of Work Under Permit:					
DEMOLITION OF EXISTING STRUCTURE - BUILD NEW RESIDENCE					
X2019-3921 - X2022-0277 - X2022-0278 - X2019-3922					
E2022-0088 - X-2022-0276		REV 2024-0814			
The following criteria are required to be included when requesting an extension in accordance with NBMC 15.02.095. Please check each box to confirm that the required information is included.					
☒ The cause of delay and reason for the extension request.					
☒ A comprehensive completion schedule to complete the project within the requested extended period (Included as an attachment).					
☒ Any past complaints and code enforcement history (Included as an attachment).					
Criteria that establish the cause of delay and reason for extension request:		(Attach Supporting Documents as Needed)			
		DUE TO THE COMPLEXITY OF THE PROJECT, IT HAS TAKEN LONGER THAN ANTICIPATED.			
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.					
Petitioner's Signature:		Relationship to Property Owner:		Date:	
[Signature]		GENERAL CONTRACTOR		1/15/2026	
FOR STAFF USE ONLY					
Hearing Officer's Action:					
☐ Approved ☐ Denied					
Conditions of Approval:					
City Clerk's Staff Reviewed:	Name:	Signature:		Date:	
				/ /	
Revenue's Staff Reviewed:	Name:	Signature:		Date:	
				/ /	

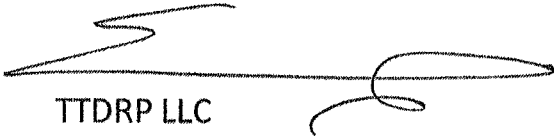
January 5, 2026

To: Newport Beach Community Development

Regarding the request for permit extensions for TTDRP LLC Residence at 3100 Breakers Drive Corona Del Mar, CA 92625.

R. J. Schwinn Associates is our contractor and we authorize Russ Schwinn as our agent to request for permit extensions.

Thank You,



TTDRP LLC

Enrico Arvielo, Manager



January 5, 2026

The City of Newport Beach
Community Development Department

Subject: Notice of 3-year Expiration deadline for building permits

Address: 3100 Breakers Drive Corona Del Mar, CA 92625

Dear Community Development Department and Chief Building Official,
Our construction for 3100 Breakers Drive has taken longer than the 3-year period granted by the City of Newport Beach.
Moving and mobilizing equipment onto a very tight space along with ground water dewatering permit and water filters have caused more time than expected for the project.

I am requesting 180-day extension or longer on the following permits and all permits attached to this project.

X2019-3922, X2019-3921, E2022-0088, X2022-0278, X2022-0276, X2022-0277, Rev 2024-0814.

I have attached the application as requested.

Sincerely,

Russ Schwinn

ID	Task Mode	Task Name	Duration	Start	Finish	Predecessors	Resource Names	T	F	S	S	M	T	W	T	F	S	S	Jun
33	★	stucco	30 days	M 3/8/27	F 4/16/27														
34	★	drywall	45 days	M 2/8/27	F 4/9/27														
35	★	cabinets	30 days	M 4/5/27	F 5/14/27														
36	★	flooring counter tops	75 days	T 2/2/27	M 5/17/27														
37	★	paint stain	75 days	M 4/5/27	F 7/16/27														
38	★?	Estimated completion			F 12/31/27														

Project: Project1 Date: M 1/5/26	Task Split Milestone Summary Project Summary Inactive Task Inactive Milestone	Inactive Summary Manual Task Duration-only Manual Summary Rollup Manual Summary Start-only Finish-only	External Tasks External Milestone Deadline Progress Manual Progress
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