



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

May 28, 2026
Agenda Item No. 5

SUBJECT: Wagner and Pottharst Residence (PA2026-0022)
▪ Coastal Development Permit

SITE LOCATION: 1301 and 1301 ½ East Balboa Boulevard

APPLICANT: John Morgan, Architect

OWNERS: Hyla Wagner and Ed Pottharst

PLANNER: Laura Rodriguez, Assistant Planner
949-644-3216, lrodriguez@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached – (6.0 - 9.9 DU/AC) (RSD-B)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A request for a coastal development permit to demolish an existing duplex and construct a new, three-story, 2,042-square foot single-unit dwelling with a 994-square-foot accessory dwelling unit (ADU), and an attached 388-square-foot two-car garage. Also included is the installation of hardscape, drainage, site walls, and patio improvements. All improvements authorized by this CDP will be located on private property.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. __ approving Coastal Development Permit filed as PA2026-0022 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is an oceanfront property located on the Balboa Peninsula, and in proximity to the shoreline as shown in Figure 1 below. The property also abuts a multi-use trail known as the Ocean Front Boardwalk which is accessible to the public.
- The surrounding development primarily consists of two-story single-unit dwelling with occasional three-story single-unit dwellings. The project's design, bulk, and scale are consistent with the existing neighborhood pattern of development and expected future development.



Figure 1: Oblique Image of Subject Property and Surrounding Area

- The property is located within the R-1 Coastal Zoning District. The R-1 Coastal Zoning District allows for single-unit residential development on a single legal lot. A single-unit dwelling with an ADU is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- A CDP is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- Short-term lodging is not permitted within the R-1 Coastal Zoning District. The existing duplex maintains a short-term lodging permit (STLP). The STLP was obtained prior to the June 1, 2004, prohibition on STLPs for properties within the R-

1 Coastal Zoning District As the residence is being voluntarily demolished, the owner will lose any rights to maintain an STLP.

- There is an existing patio located beyond the front property line and within the public right-of-way. The patio's location is permitted under Title 21 (Location Coastal Program Implementation Plan) by Appendix C (Oceanfront Encroachment Policy Guidelines). The appendix outlines permitted encroachment and improvements, including but not limited to patio slabs, decks, walls, and fences. The applicant is proposing to reconstruct the patio wall and install patio pavers and is required to obtain an Approval in Concept (AIC) from the City and a separate authorization from the CCC.
- The proposed single-unit dwelling and ADU conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 and 2 below.

Table 1 – Development Standards – Principal Dwelling Unit		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front	8 feet	8 feet
2 nd Front (East Balboa Boulevard)	0 feet	3 inches
Sides	3 feet	3 feet 1 inch
Allowable Floor Area (max.)	3,456 square feet	3,423 square feet
Allowable 3rd Floor Area (max.)	345.60 square feet	344.6 square feet
Allowable 3rd Floor Area & Covered (max.)	864 square feet	554 square feet
Open Space (min.)	259.20 square feet	259.44 square feet
Parking (min.)	2-car garage	2-car garage
Height (max.)	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

Table 2 – Development Standards – Internal ADU		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front	8 feet	8 feet
2 nd Front (East Balboa Boulevard)	0 feet	3 inches
Sides	3 feet	3 feet 1 inch
Square Footage (max.)¹	No limit	994 square feet
Parking (min.)²	None	None
Height (max.)	24-foot flat roof 29-foot sloped roof	29-foot sloped roof

¹ An ADU is considered internal when its development is within the footprint of a proposed single-unit dwelling (excluding garage) and complies with all applicable development standards. Internal ADUs are not limited to a square footage maximum.

² An additional onsite parking space for an internal ADU is not required.

Hazards

- The property is located in a developed area on Balboa Peninsula and is 590 feet from coastal waters. The property is separated from the ocean by a sandy beach and the East Oceanfront Boardwalk.
- The project’s finished floor elevation of the proposed is 11.77 feet based on the North American Vertical Datum of 1988 (NAVD 88) and complies with the minimum 9.00-foot elevation standard.
- The project is safe from coastal hazards. The Coastal Hazards Analysis Report prepared by PMA Consulting, Inc dated April 12, 2026 (SLR Report), analyzed future sea level rise scenarios, assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 2.8 feet (likely) to 6.3 feet (least likely). The SLR Report concluded that the project will be reasonably safe from future sea level rise assuming an increase up to 10.50 feet NAVD 88 (the likely range for sea level rise over the 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2024 Science and Policy Update). While the property is safe from coastal hazards, the SLR Report also noted that if High Sea-Level risk Aversion of 6.3 feet (NAVD 88) occurs, a masonry block wall with a minimum top-of-wall elevation of 14.60 feet (NAVD88) along the property line is recommended as a protection device.
- Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the Newport Beach Municipal Code (NBMC) requires the property owner to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). Condition of Approval No. 2 addresses this item and requires it be satisfied prior to final building inspection.
- Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, requires the owner to acknowledge any hazards present at the site and

unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) of the NBMC. This requirement is identified as Condition of Approval No.3 and will need to be satisfied prior to the issuance of building permits.

- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property is located 590 feet of coastal waters. A Construction Pollution Prevention Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and minimize pollution of runoff and coastal waters derived from construction chemicals and materials.
- A preliminary WQMP was prepared for the project by Thomas M. Ruiz dated, February 4, 2026. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a low impact development approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP before building permit issuance.
- The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access and Views

- The property is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing duplex located on a standard R-1 lot with a new single-unit dwelling and ADU. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities.
- The property is located near two Coastal Viewpoints as identified in the Coastal Land Use Plan (CLUP), which are Peninsula Park and Balboa Pier. Peninsula Park is approximately 1,450 feet west from the property, and Balboa Pier is 2,080 feet west,

respectively. These viewpoints are intended to provide views of the Pacific Ocean. The property may be visible from these locations; however, it is outside of this viewshed. Therefore, the project's design would not obscure public coastal views, does not have the potential to degrade the visual quality of the Coastal Zone, or result in significant adverse impacts on public views.

- The property is located within proximity to the beach and fronts the Oceanfront Boardwalk, which is considered a Public Beach Access point under the CLUP. Vertical access to the beach is provided at the street end of E Street, and lateral access is located along East Ocean Front. The project's design does not include any features that would obstruct access along these routes.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family dwellings and additions of up to 10,000 square feet to existing structures. The project consists of the demolition of a two-unit dwelling and the construction of a new single-unit dwelling with an ADU located in the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal

to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Laura Rodriguez, Assistant Planner

JP/lr

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING DUPLEX AND CONSTRUCT A NEW SINGLE-UNIT DWELLING WITH ACCESSORY DWELLING UNIT AND ATTACHED TWO-CAR GARAGE LOCATED AT 1301 AND 1301 1/2 EAST BALBOA BOULEVARD (PA2026-0022)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by John Morgan (Applicant), on behalf of Hyla Pottharst Wagner and Edward Pottharst (Owners), concerning property located at 1301 and 1301 1/3 East Balboa Boulevard and legally described as Lot 1 of Block 22 of the East Side Addition to the Balboa Tract (Property), requesting approval of a coastal development permit (CDP).
2. The Applicant proposes to demolish an existing duplex and construct a new, three-story, 2,042-square foot single-unit dwelling with a 994-square-foot accessory dwelling unit (ADU), and an attached 388-square-foot two-car garage. Also included is the installation of hardscape, drainage, site walls, and patio improvements. All improvements authorized by this CDP will be located on private property (Project).
3. The Property is categorized as Single Unit Residential Detached (RS-D) by the Land Use Element of the General Plan and is located within the Single-Unit Residential (R-1) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Single Unit Residential Detached – (6.0 - 9.9 DU/AC) (RSD-B), and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.
5. A public hearing was held on May 28, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the demolition of up to three single-unit dwellings and the construction or conversion of up to three single-unit dwellings. The Project will demolish an existing

duplex and construct a new single-unit dwelling with ADU. Therefore, the Class 3 exemption is applicable.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015(F) (Coastal Development Permits – Findings, and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program (LCP).*

Facts in Support of Finding:

1. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 3,456 square feet and the proposed floor area is 3,423 square feet.
 - b. The Project provides the minimum required setbacks, which are eight feet along the front property line abutting East Ocean Front, and three feet along each side property line. No minimum setback is required from East Balboa Boulevard.
 - c. The highest flat roof element does not exceed the maximum 24 feet from the established grade of 10.64 feet, based on the North American Vertical Datum of 1988 (NAVD 88) and the highest sloping roof ridge does not exceed 29 feet from the established grade, which complies with the maximum height requirements.
 - d. The Project includes garage parking for a total of two vehicles, complying with the minimum two-car garage parking requirement for single-unit dwellings with less than 4,000 square feet of habitable floor area.
 - e. The Project's ADU is within the footprint of the proposed single-unit dwelling. Therefore, the ADU considered to be internal and is not required to provide parking.
2. There is an existing patio seaward of the front property line. The patio encroaches into the public right of way. The encroachment is authorized pursuant to Appendix C (Ocean Front Encroachment Policy Guidelines) to Title 21 (Local Coastal Program Implementation Plan) of the NBMC. Further, Coastal Land Use Plan Policy 3.1.3 (Beach

Encroachments) allows for patio slabs or decks and walls and/or fences less than 36 inches in height within the oceanfront encroachment area. Proposed work on the patio includes installing new pavers and reconstructing the patio walls, consistent with Coastal Land Use Policy 3.1.3 (Beach Encroachments) and Appendix C. As the encroachment area falls within the permit jurisdiction of the California Coastal Commission (CCC), Condition of Approval No. 5 requires the Applicant to obtain an Approval in Concept (AIC) from the City and separate authorization from the CCC prior to construction of the proposed patio improvements.

3. The Project is located on Balboa Peninsula in a neighborhood predominantly developed with two- and three-story, single- and two-unit dwellings. The proposed design, bulk, and scale of the development are consistent with the development standards of Title 21 and expected future development.
4. The finished floor elevation of the proposed residence is 11.77 feet (NAVD88), which complies with the minimum 9.00 feet (NAVD88) elevation standard.
5. A Coastal Hazards Report and Sea Level Rise Analysis (SLR Report) was prepared by PMA Consulting, Inc dated April 13, 2026, for the Project. The report concludes that the Project is reasonably safe from shoreline erosion due to the lack of waves or wakes that can erode sand from the beach. The SLR Report analyzed future sea level rise scenarios, assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 2.8 feet (Intermediate Sea-Level Rise) to 6.3 feet (High-Sea Level Rise). The SLR Report concludes that the Project will be reasonably safe from future sea level rise assuming an increase up to 10.50 feet (NAVD 88) (the likely range for sea level rise over the 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2024 Update). The finished floor elevation of the first floor of the proposed structure is 11.77 feet NAVD 88, which exceeds the minimum requirements for future sea level rise (10.50 feet NAVD 88). In the event that High Sea-Level Risk Aversion of 6.3 feet (NAVD 88) estimates hold true, the SLR Report recommends masonry block walls along site property lines with a minimum top of wall elevation of 14.60 feet (NAVD 88) to act as a protection device.
6. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC, the Owners will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied prior to final building inspection.
7. Pursuant to Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, the Owners will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) of the NBMC. This requirement is included as a condition of approval that will need to be satisfied prior to issuance of building permits.
8. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building

Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

9. The Property is located within 590 feet of coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The Project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
10. Due to the proximity of the Project to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality Management Plan (WQMP) is required pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the NBMC. A preliminary WQMP was prepared for the Project by Thomas M. Ruiz dated, February 4, 2026. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a Low Impact Development (LID) approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.
11. Proposed landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. A condition of approval is included that requires drought-tolerant species. Before the issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
12. The Project is located in proximity of two Coastal Viewpoints, as identified in the Coastal Land Use Plan (CLUP). The nearest Coastal Viewpoints are located at Peninsula Park and the Balboa Pier, which are approximately 1,450 feet and 2,080 feet west from the Property, respectively. While the Property may be visible from these locations, these viewpoints are intended to provide views of the Pacific Ocean and the Property is outside of this viewshed. Therefore, the Project would not obscure public coastal views. Furthermore, the Project complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the Project does not have the potential to degrade the visual quality of the coastal zone or result in significant adverse impacts on public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project replaces an existing two-unit dwelling located on a standard R-1 lot with a new single-unit dwelling and ADU. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. The Project is located within proximity to the beach and near a Public Beach Access point, as identified in the CLUP. The nearest vertical access point to the beach is available at the E Street end. Lateral access is provided along the East Oceanfront, also known as the Oceanfront Boardwalk. The Project does not include any features that would obstruct access along these routes, and the patio encroachment under the AIC would not impact public access.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit filed as PA2026-0022, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program (LCP) Implementation Plan), of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 28TH DAY OF MAY, 2026.

Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

(Project-specific conditions are in italics)

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.
3. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the development. This letter shall be scanned into the plan set before building permit issuance.
4. *Prior to issuance of an encroachment permit from the Public Works Department, an Approval in Concept (AIC) from the City and a separate authorization from the California Coastal Commission (CCC) is required for improvements within the oceanfront encroachment area.*
5. *Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
6. *Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
7. *Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.*
8. *Prior to the issuance of a building permit, the final WQMP shall be reviewed and approved by the Building Division. The implementation shall comply with the approved*

CPPP and WQMP and any changes could require separate review and approval by the Building Division.

9. *Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
10. *Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.*
11. *Accessory structures located within oceanfront encroachment area shall conform with Title 21 of NBMC Appendix C (Oceanfront Encroachment Policy Guidelines).*
12. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
13. This CDP does not authorize any development seaward of the private property.
14. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
15. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.

16. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
17. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
18. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
19. Revisions to the approved plans may require an amendment to this CDP or the processing of a new CDP.
20. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
21. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
22. This CDP may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to the Property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
23. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
24. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
25. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) of the NBMC and other applicable noise control requirements of the NBMC.

26. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
27. This CDP shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
28. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to the City's approval of **Wagner and Pottharst Residence including but not limited to, Coastal Development Permit filed as PA2026-0022**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Fire Division

29. A residential fire sprinkler system complying with the National Fire Protection Agency (NFPA) 13D shall be required for single-unit dwellings.
30. Each residential fire sprinkler system shall be served by separate water meters.
31. One unobstructed 36-inch minimum passageway from the front to the rear of the property shall be required for emergency access.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. PA2026-0022
1301 and 1301 ½ East Balboa Boulevard

Attachment No. ZA 3

Project Plans

SCOPE

- STANDARD PLAN IS A GUIDE AND APPLIES TO NORMAL CONDITIONS. A PROFESSIONAL ENGINEER SHALL BE CONSULTED WHERE UNUSUAL CONDITIONS EXIST.
- WALL SHALL NOT BE USED TO RETAIN EARTH.
- THIS IS INTENDED FOR STANDARD SITE CONDITIONS AND SHALL NOT BE USED ON SITES WHERE SLOPE CREEP OR LANDSLOPES ARE IDENTIFIED BY CDS GS MAPPING.

APPLICABLE STANDARDS

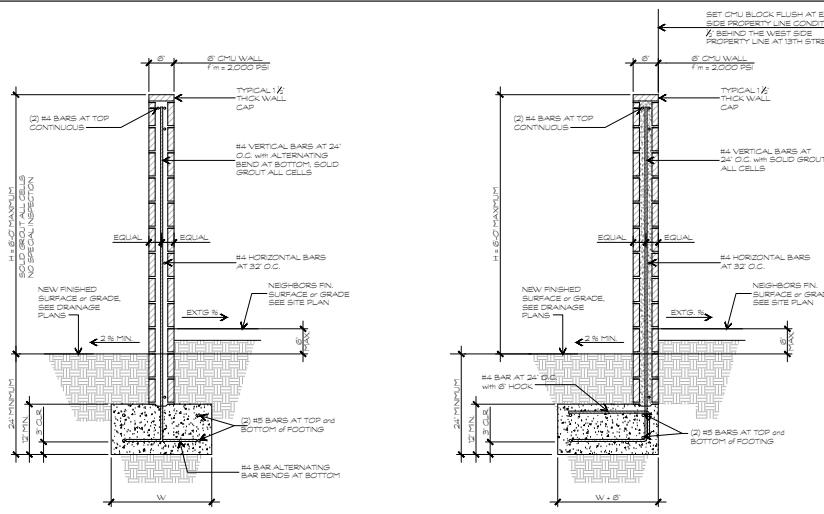
- 2022 CALIFORNIA RESIDENTIAL CODES (CRC) / 2022 CALIFORNIA BUILDING CODE (CBC) ASCE 7-18;
- 2022 CALIFORNIA PLUMBING CODE (CPC); 2022 CALIFORNIA ELECTRICAL CODE (CEC);
- 2022 CALIFORNIA MECHANICAL CODE (CMC); 2022 BUILDING ENERGY EFFICIENCY STANDARDS (BEES);
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODES (CGBC); AND THE NEWPORT BEACH MUNICIPAL CODE (NBMC)

LIQUEFACTION ZONE

PROVIDE A MINIMUM OF (2) #5 BARS AT TOP AND BOTTOM OF ALL FOOTINGS WITH A 24" MINIMUM EMBEDMENT DEPTH FOR FOOTINGS

GENERAL NOTES

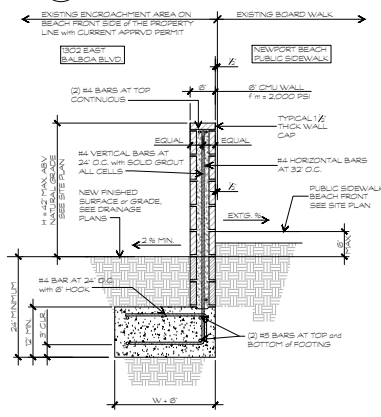
- CONCRETE BLOCK (ASTM C-800) STRENGTH OF MASONRY TO COMPLY WITH 2022 CBC 2105 AND AC 308.4L. GRADE N CONFORMING TO ASTM C-900. NORMAL WEIGHT UNITS WITH MAXIMUM LINEAR SHRINKAGE OF 0.06%. $f_m = 2,000$ PSI. CBC 2105.2
- CONCRETE CONCRETE MIX SHALL BE TYPE "V" 4,500 PSI CONCRETE JUSTIFIED BY TESTING TO BE IN NON-CORROSIVE ENVIRONMENT AND NOT IN NON-SALT WATER, MARINE OR IN CONTACT WITH SULFATES/ SOILS) MAY BE TYPE II 2,500 PSI STRENGTH. CRC 9402.1
- GROUT GROUT SHALL HAVE A COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- MORTAR (ASTM C-270) MORTAR SHALL BE OF TYPE "S" HAVING MIN. STRENGTH OF 2000 PSI.
- STEEL REINFORCING BARS (ASTM A63) REINFORCING BARS SHALL BE MIN GRADE 40. #4 AND #5 AND SMALLER AND GRADE 60. #4 AND #5 FOR #4 AND LARGER AS PER ASTM A63 BULLET STEEL. CRC 9402.3
- EXPANSION JOINTS EXPANSION JOINTS SPACING SHALL NOT EXCEED 30 FT LENGTH.
- CLEAN OUTS PROVIDE CLEAN OUTS FOR ALL LIFTS GREATER THAN 4 FT.
- BLOCK PATTERN BLOCKS SHALL BE INSTALLED IN RUNNING BOND SUCH THAT THE HEAD JOINTS IN SUCCESSIVE COURSES ARE HORIZONTALLY OFFSET AT LEAST 1/4 LIFT LENGTHS.
- FOOTINGS BOTTOM OF FOOTING SHALL BE LEVEL. STEPPED FOOTINGS SHALL HAVE THE HORIZONTAL OVERLAP EQUAL TWICE THE VERTICAL STEP. USE MIN. OF (2) #4 BARS (2 BARS) TOP AND BOTTOM AT STEP. THERE SHALL BE MIN. 3" COVER FOR ALL REINFORCING BARS IN CONCRETE FOOTINGS CAST AGAINST EARTH. CRC 9402.3.1
- FINISHED GRADE SOL SHALL BE OF EQUAL ELEVATION ON EACH SIDE OF THE FENCE WALL. MINIMUM OF 6 INCHES OFFSET IS PERMITTED IN THE GRADE LEVEL PROVIDED IT DOES NOT SUPPORT OTHER BURDENED LOADS. CRC 9404.1.6
- SOILS FOOTINGS DEPTH SHALL BE MIN. 12 INCHES INTO UNDISTURBED NATURAL SOILS. FOOTINGS SHALL BE MIN. OF 24 INCHES DEEP IN MAPPED LIQUEFACTION ZONE AND SHALL HAVE MIN (2) #5 TOP AND BOTTOM. (SEE BUILDING DEPARTMENT "S-B" MAPPING FOR AREAS PRONE TO LIQUEFACTION) CRC 9403.1.4
- GROUTING ALL CELLS SHALL BE SOLID GROUTED IN WALLS.
- STEEL BARS LOCATION STEEL REINFORCING BARS SHALL BE PLACED IN THE CENTER. ALL BAR LAPS SHALL BE 48 BAR DIAMETERS. NO CASE SHALL. THE CONCRETE COVER AROUND BARS BE LESS THAN 1 1/2 INCHES. (3" ADJACENT TO SOILS) REINFORCING BARS SHALL BE CLEAN OF ALL RUST.
- PROPERTY CORNERS PROPERTY CORNERS SHALL BE MONUMENTED (LOCATED) BY A LICENSED SURVEYOR PRIOR TO STARTING THE CONSTRUCTION.
- SHARED COMMON WALLS COMMON WALLS SHALL BE DOCUMENTED BY JOINT AGREEMENT TO BOTH LOTS IN WRITING. EVIDENCE OF SIGNED JOINT AGREEMENT SHALL BE FILED WITH THE CITY AT TIME OF PERMIT SURRENDER.
- PROJECTIONS NO PROJECTIONS ALLOWED IN THE PUBLIC RIGHT OF WAY INCLUDING STONE CAP OR TRIM.
- SITE WALLS SITE WALL IS STANDING ALONE, NON RETAINING MAY NOT FORM PART OF BUILDING OR OTHER STRUCTURE.
- RAILS / GUARD NO RAILS, GUARD, OR SCREEN ATTACHMENTS ARE PERMITTED WHERE THE WALL HEIGHT PLUS THE RAIL, GUARD, OR SCREEN HEIGHT EXCEEDS 6'-0" ABOVE LOWEST ADJACENT GRADE.



1A) ALT. FENCE DETAIL

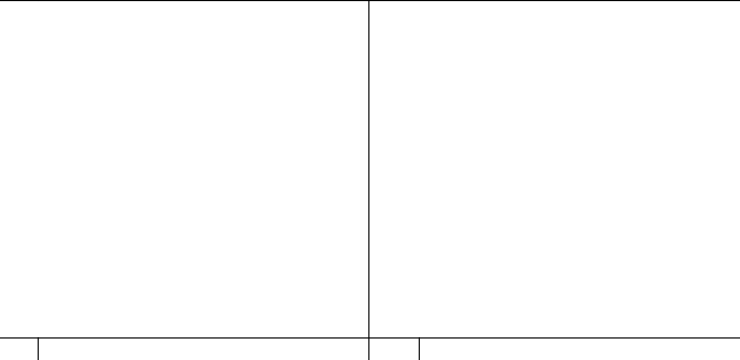
1B) ALT. FENCE DETAIL

H	W	NOTE	NOTE
3'-0"	2'-0"	A	ALL FOOTINGS IN LIQUEFACTION ZONE SHALL BE 24" DEEP & SHALL HAVE MIN (2) #5 TOP & BOTT.
3'-0"	2'-0"	A	
3'-0"	2'-0"	A	

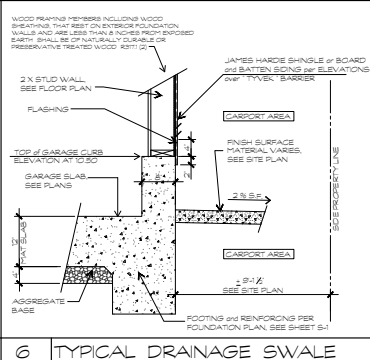


1C) ALT. FENCE DETAIL

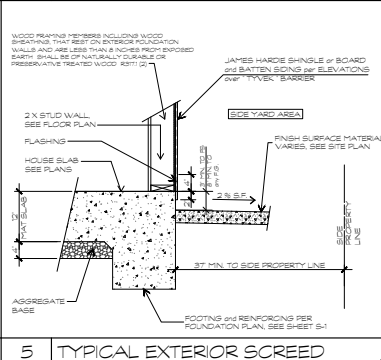
1 STANDARD CITY BLOCK WALL DETAILS



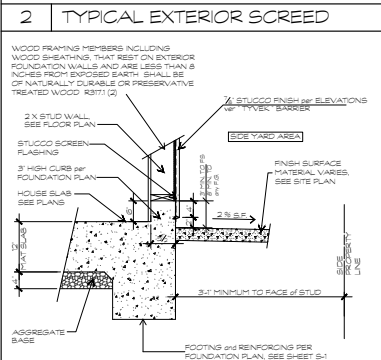
7 SITE STEPS



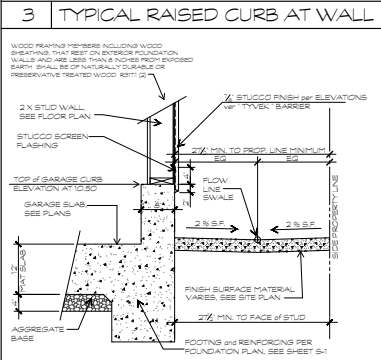
6 TYPICAL DRAINAGE SWALE



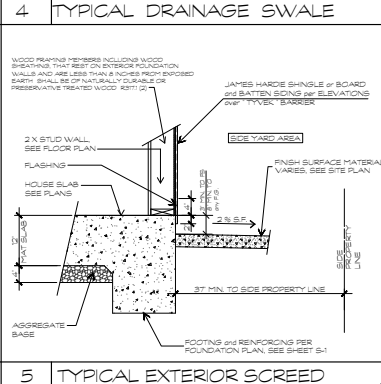
5 TYPICAL EXTERIOR SCREED



2 TYPICAL EXTERIOR SCREED



3 TYPICAL RAISED CURB AT WALL

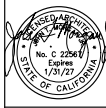


4 TYPICAL DRAINAGE SWALE

REVISIONS

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WAGNER - POTTHARST/RALSTON
SINGLE FAMILY RESIDENCE WITH ADU
1901 East Babcoo Blvd.
Newport Beach, CA 92661



SITE DETAILS

SCALE

DRAWN

CHECKED

DATE
3-1-2023

JOB NO.

SHEET
A-2

Builders,

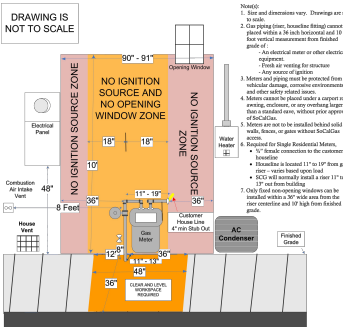
To help more effectively design and prepare future residential single meter locations, SoCalGas has developed the "New Residential Single Meter Construction" Brochure. This brochure graphically depicts the required separation and clearances for new residential single meter installations for total connected loads below 1000 CHH (one million BTU/Hr) at standard delivery gas pressure and is included in the SoCalGas "Gas Service Guidebook" found on www.socalgas.com/files/pool/business/builders-and-contractors. It does not attempt to depict all conditions. Your SoCalGas planner will determine meter location requirements for non-standard delivery such as elevated pressure and larger meters.

Identified below are the general notes found or inferred from the meter diagram.

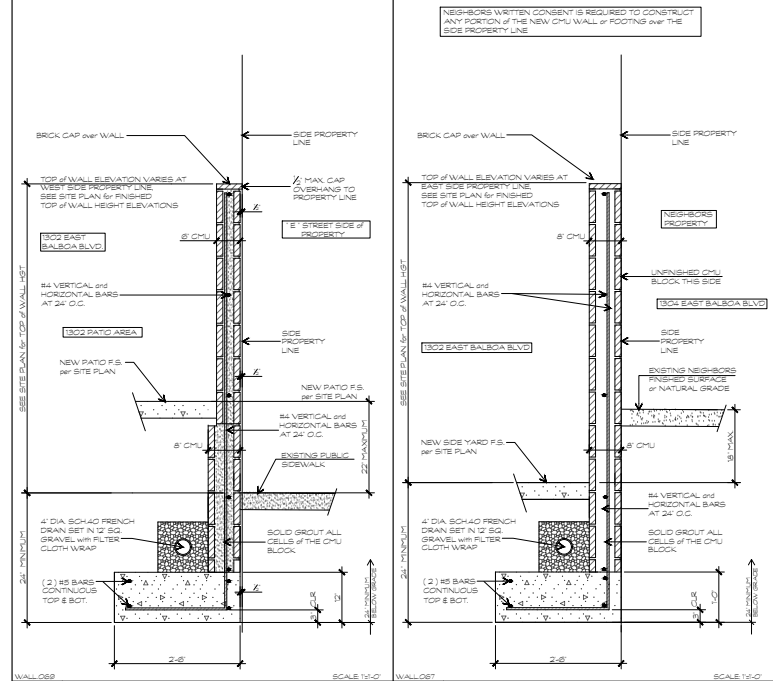
Notes:

- Size and dimensions vary. Drawing is not to scale.
- Gas piping (riser, houseline fitting) cannot be placed within a 36 inch horizontal and 10 foot vertical measurement from finished grade of:
 - Any source of ignition
 - Fresh air venting for structure
 - An electrical meter or other electrical equipment.
- Meters and piping must be protected from vehicular damage, corrosive environments, and other safety related issues.
- Meters cannot be placed under a carport roof, awning, enclosure, or any overhang larger than a standard eave, without prior approval of SoCalGas.
- Meters are not to be installed behind solid walls, fences, or gates without SoCalGas direct access.
- Required for Single Family Residential Meters.
 - 1/2" female connection to the customer houseline. Larger diameter houseline may be required for non-standard or larger meter applications.
 - Houseline is located 11" to 19" from gas riser - varies based upon load
 - Minimum of 11" - 12" for diversified loads under 250 MBTU/HR but 15" preferred
 - 18" - 19" for diversified loads under 600 MBTU/HR
 - SCG will normally install a riser 11" to 13" out from the structure.
- Only fixed non-opening windows can be installed within a 36" wide area from the riser centerline and 10' high from finished grade.
- A clear and level workspace on finished grade measuring 48" wide by 36" deep from the structures face is required.

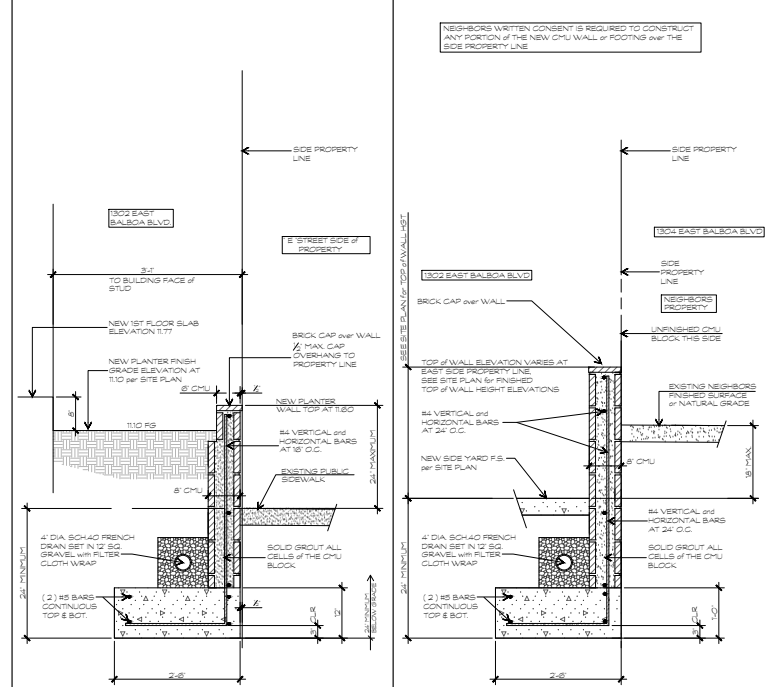
NEW SINGLE METER RESIDENTIAL CONSTRUCTION (< 1 MM BTU/HR)



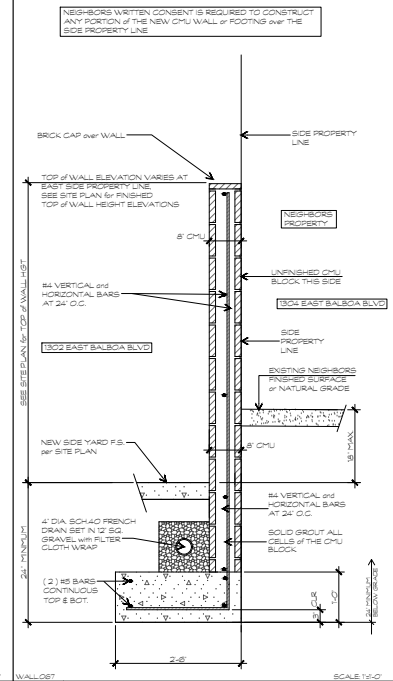
- Notes:**
- Size and dimensions vary. Drawings are not to scale.
 - Gas piping (riser, houseline fitting) cannot be placed within a 36 inch horizontal and 10 foot vertical measurement from finished grade of:
 - Any source of ignition
 - Fresh air venting for structure
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 - Meters are not to be installed behind solid walls, fences, or gates without SoCalGas direct access.
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 - SCG will normally install a riser 11" to 13" out from the structure.
 - Only fixed non-opening windows can be installed within a 36" wide area from the riser centerline and 10' high from finished grade.



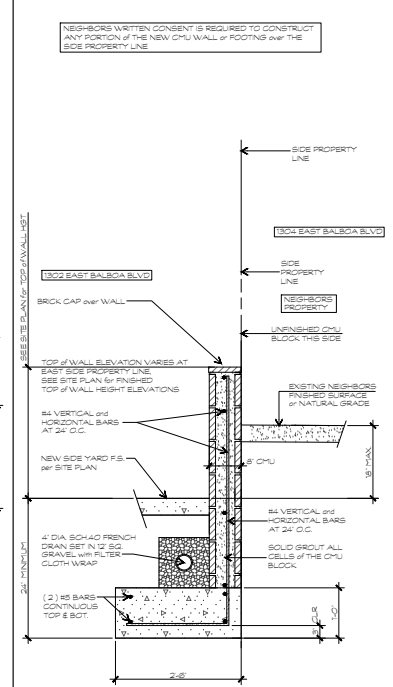
3 WALL AT SIDE PROP. LINE



4 WALL AT SIDE PROP. LINE



1 WALL AT SIDE PROP. LINE



2 WALL AT SIDE PROP. LINE

REVISIONS

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SINGLE FAMILY RESIDENCE with ADU
1901 East Balboa Blvd
Newport Beach, CA 92661



SITE DETAILS

SCALE

DRAWN

CHECKED

DATE
3-1-2023

JOB NO.

SHEET
A-3

ARCHITECT
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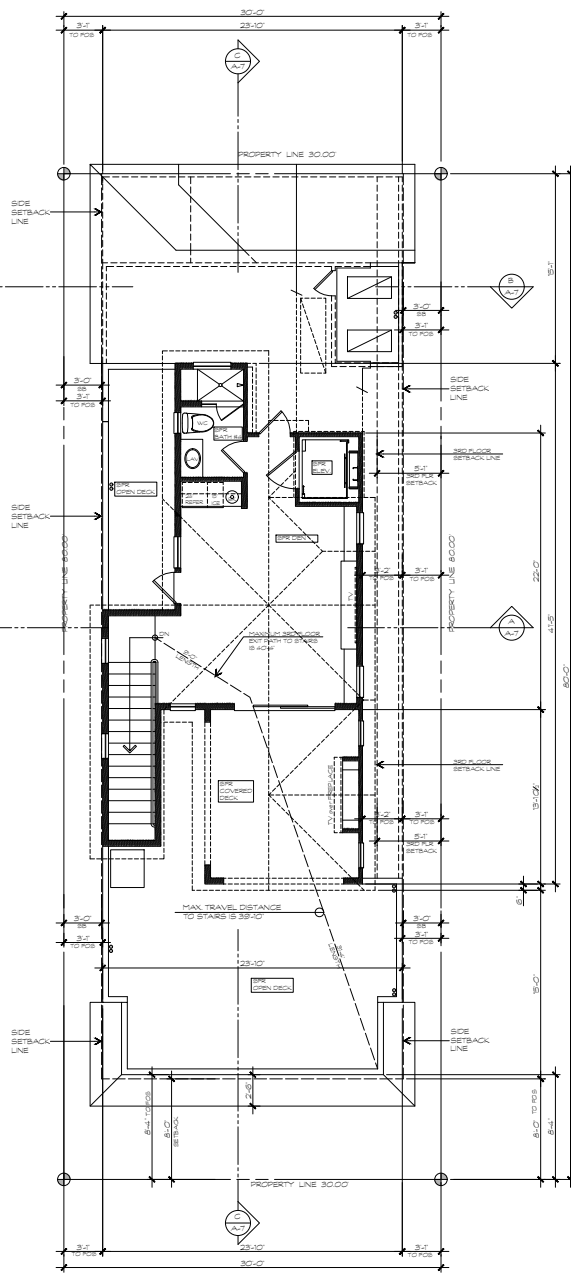
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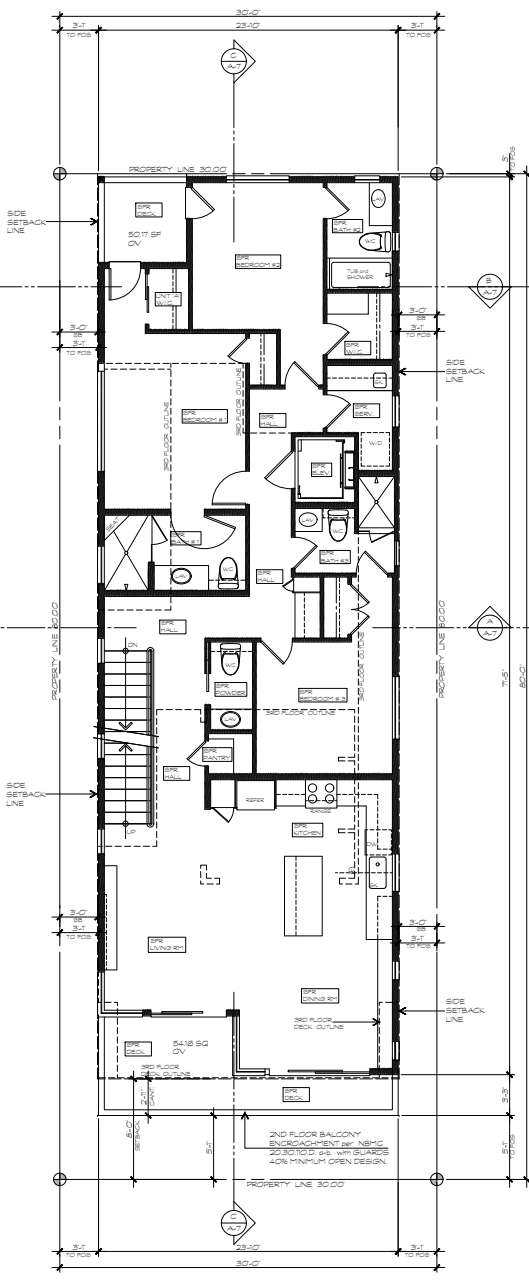
1ST, 2ND and 3RD FLOOR PLANS

SCALE
1/4" = 1'-0"
DRAWN
CHECKED
DATE
3-1-2022
JOB NO.

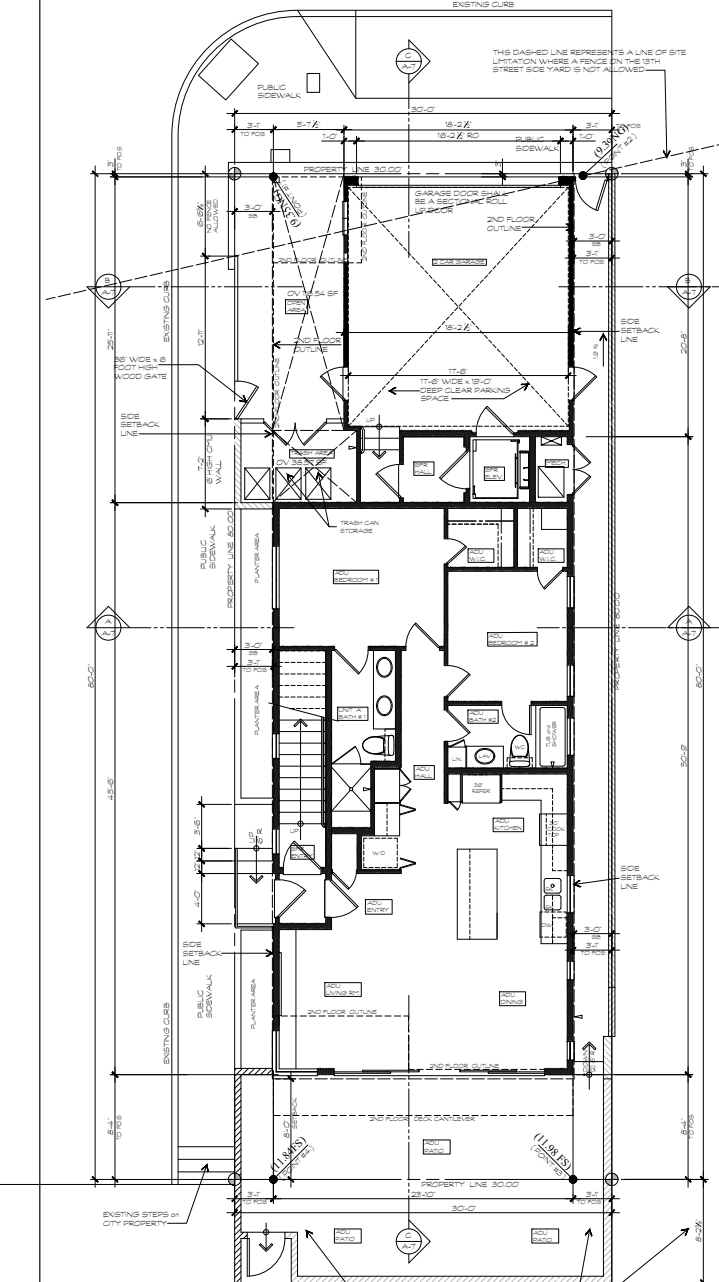
SHEET
A-4



3RD FLOOR PLAN



2ND FLOOR PLAN



1ST FLOOR PLAN

HEIGHT CERTIFICATION REQUIRED

ESTABLISHED GRADE ELEVATION IS 10.64

ELEVATION ABBREVIATIONS

F.S.	FLOOR SHEATHING
F.F.	FINISHED FLOOR, ACTUALLY 1ST FLOOR SLAB ELEVATION
F.L.W.	2ND FLOOR TOP OF LIGHTWEIGHT CONCRETE
FOS	FACE OF STUD
HST	HESIT
T.C.	TOP OF CURB
FL	FLOW LINE
EXTS	EXTING
MLLW	MEAN LOW LOW WATER

DOOR and WINDOW NOTES
ALL DOOR and WINDOW FRAMES SHALL RECEIVE A 2" WIDE STRIP OF 18" MINIMUM WHICH IS PLACED OVER THE WINDOW and DOOR FRAMES FLANGES ON ALL SIDES.

ADDRESS NOTE
THE STREET ADDRESS NUMBERS SHALL BE SIZED and LOCATED ON THE STREET FRONT SIDE OF THE RESIDENCE FOR N.B.C. SECTION.

STUCCO NOTE
CONTRACTOR SHALL UTILIZE AN ACRYLIC STUCCO APPLICATION FOR THIS PROJECT.
ALL NEW STUCCO SHALL BE APPLIED OVER 2 LAYERS OF GRADE 1" PAPER OF 1/2" THICK PAPERBANE over ALL WOOD BASED SHEATHINGS PER CBC 29C.8.
ALL STUCCO SHALL RECEIVE A SMOOTH COAT TEXTURE WITH STANDARD SQUARE CORNERS.
WEEP SCREED FOR STUCCO AT THE FOUNDATION LINE SHALL BE A MINIMUM of 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS. C.R.C. R703.8.21

SIDING NOTE
ALL HORIZONTAL SIDING SHALL BE A 1/2" x 8" ANGLE CUT SIDING BY BOARDSHED using ANGLE TREATED WOOD PRODUCT.
INSTALL THIS SMOOTH SIDING over ONE LAYER of "TYVEK" BARRIER over ONE SHEET of 1/2" THICK HUBER ENGINEERED HARDWOODS - ZIP SYSTEM STRUCTURAL 1 SHEATHING. SIDING SHALL BE RECEIVE A PAINTED FINISH. SMOOTH FINISH with 1/8" EXPOSURE TO WEATHER and a 1/2" HIGH GROOVE DETAIL. SEE DETAIL on A-6 for SIDING PROFILE.

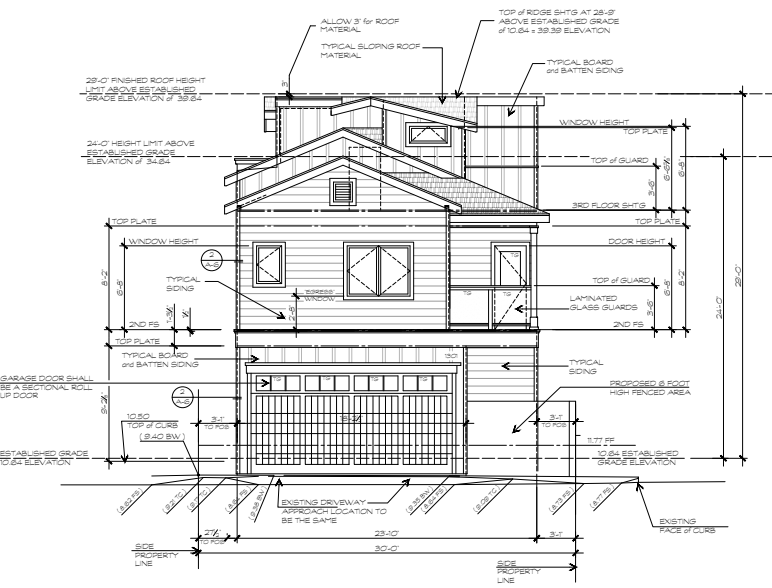
SIDING NOTE
ALL SIDING and BATTEN SIDING SHALL BE A JAMES HARDIE CELESTIQUE SIDING PRODUCT. INSTALL SMOOTH SIDING and BATTENS over ONE LAYER of "TYVEK" BARRIER over ONE SHEET of 1/2" THICK HUBER ENGINEERED HARDWOODS - ZIP SYSTEM STRUCTURAL 1 SHEATHING. SIDING SHALL BE RECEIVE A PAINTED FINISH. SMOOTH FINISH with 1/2" x 2" WIDE BATTENS.

GLASS GUARDRAIL NOTES
ALL GLASS GUARDS ARE ACTUALLY LAMINATED GLASS PANELS PER CBC 24A.2.18

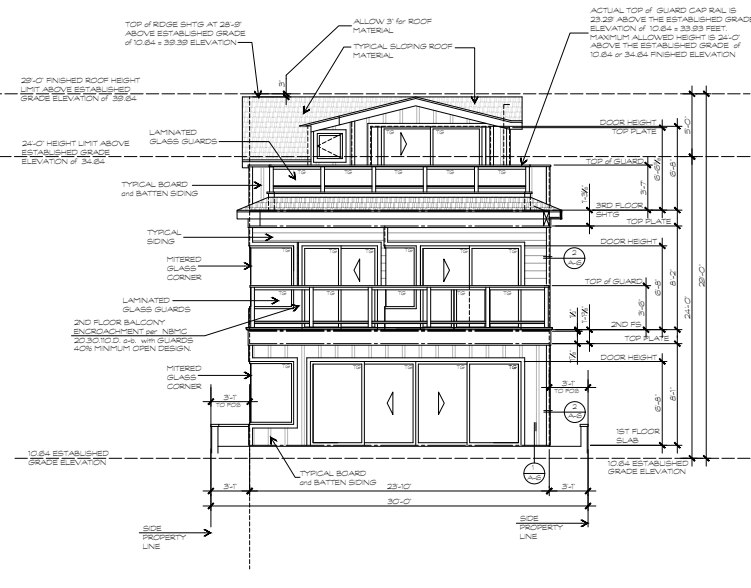
FLASHING NOTES
ALL ROOF TO ROOF, WINDOW, DOOR, DECK, ETC. FLASHINGS SHALL BE SHALL BE STAINLESS STEEL. NO GALVANIZED IRON IS ALLOWED.

TRIM NOTES
ANY ROOF OVERHANGS PARALLEL TO THE SIDE PROPERTY LINES and LOCATED WITHIN 8 FEET OF THE SIDE PROPERTY LINES ARE REQUIRED TO BE CONSTRUCTED WITH 1-HOUR FIRE RESISTIVE CONSTRUCTION. SEE ARCHITECTURAL DETAILS.

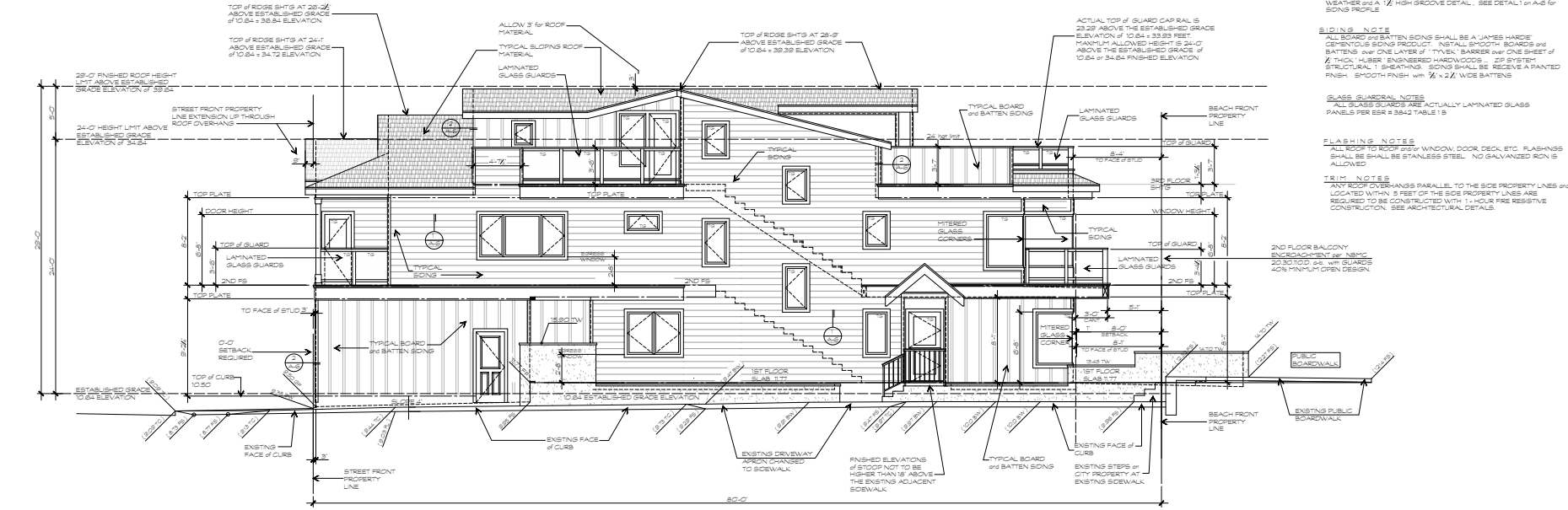
EXTERIOR WATERPROOFING
THE ENTIRE EXTERIOR of ALL FRAMING SHALL BE WRAPPED WITH THE ZIP SYSTEM PANELS BY ADVANTAGE. THESE OSB PANELS ARE STRUCTURAL ONE RATED and MAY BE USED AT ALL SHEAR WALL CONDITIONS.



NORTH ELEVATION



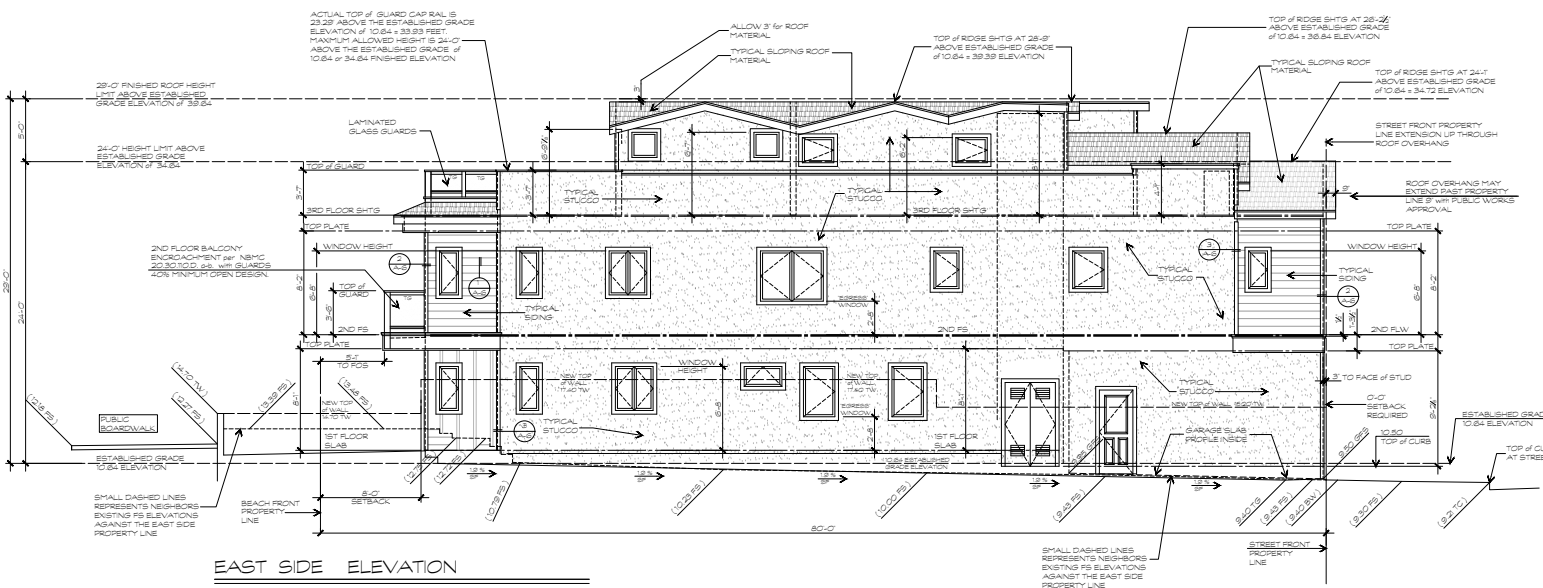
SOUTH ELEVATION



WEST SIDE ELEVATION

HEIGHT CERTIFICATION REQUIRED

ESTABLISHED GRADE ELEVATION IS 10.64



EAST SIDE ELEVATION

ELEVATION ABBREVIATIONS

F.S.	FLOOR SHEATHING
F.F.	FINISHED FLOOR, ACTUALLY 1ST FLOOR SLAB ELEVATION
FLW	2ND FLOOR TOP OF LIGHTWEIGHT CONCRETE
FOS	FACE OF STUCCO
HST	HEIGHT
T.C.	TOP OF CURB
FL	FLOW LINE
EXTS	EXISTING
MLLW	MEAN LOW LOW WATER

DOOR AND WINDOW NOTES
 ALL DOOR AND WINDOW FRAMES SHALL RECEIVE A 2" WIDE STRIP OF 1/2" THICK MEMBRANE WHICH IS PLACED OVER THE WINDOW AND DOOR FRAMES FLANGES ON ALL SIDES.

ADDRESS NOTE
 THE STREET ADDRESS NUMBERS SHALL BE SIZED AND LOCATED ON THE STREET FRONT SIDE OF THE RESIDENCE FOR N.M.C. SECTION.

STUCCO NOTE
 CONTRACTOR SHALL UTILIZE AN ACRYLIC STUCCO APPLICATION FOR THIS PROJECT.
 ALL NEW STUCCO SHALL BE APPLIED OVER 2 LAYERS OF GRADE 1" PAPER OF 1/2" THICK MEMBRANE OVER ALL WOOD BASED SHEATHINGS PER CBC 203.8.
 ALL STUCCO SHALL RECEIVE A SMOOTH COAT TEXTURE WITH STANDARD SQUARE CORNERS.
 WEEP SCREED FOR STUCCO AT THE FOUNDATION LINE SHALL BE A MINIMUM OF 4" HIGH ABOVE THE EARTH OR 2" HIGH ABOVE PAVED AREAS. C.R.C. RT03.8.21

SIDING NOTE
 ALL HORIZONTAL SIDING SHALL BE A 1/2" x 8" ANGLE CUT SIDING BY BODYGUARD LOGS ACQUA TREATED WOOD PRODUCT. INSTALL THIS SMOOTH SIDING OVER ONE LAYER OF "TYVEK" BARRIER OVER ONE SHEET OF 1/2" THICK HUBER ENGINEERED HARDWOODS - ZIP SYSTEM STRUCTURAL 1 SHEATHING. SIDING SHALL BE RECEIVE A PAINTED FINISH. SIDING SMOOTH FINISH WITH 1/8" EXPOSURE TO WEATHER AND A 1/2" HIGH GROOVE DETAIL. SEE DETAIL 1 on A-6 for SIDING PROFILE.

SIDING NOTE
 ALL SIDING BETWEEN SIDING SHALL BE A JAMES HANCOCK CERAMIC SIDING PRODUCT. INSTALL SMOOTH BOARDS AND BATTENS OVER ONE LAYER OF "TYVEK" BARRIER OVER ONE SHEET OF 1/2" THICK HUBER ENGINEERED HARDWOODS - ZIP SYSTEM STRUCTURAL 1 SHEATHING. SIDING SHALL BE RECEIVE A PAINTED FINISH. SMOOTH FINISH WITH 1/2" x 2 1/2" WIDE BATTENS.

GLASS GLAZING NOTES
 ALL GLASS GUARDS ARE ACTUALLY LAMINATED GLASS PANELS PER ESR 12942 TABLE 1-B.

FLASHING NOTES
 ALL ROOF TO ROOF, WINDOW, DOOR, DECK, ETC. FLASHINGS SHALL BE SHALL BE STAINLESS STEEL. NO GALVANIZED IRON IS ALLOWED.

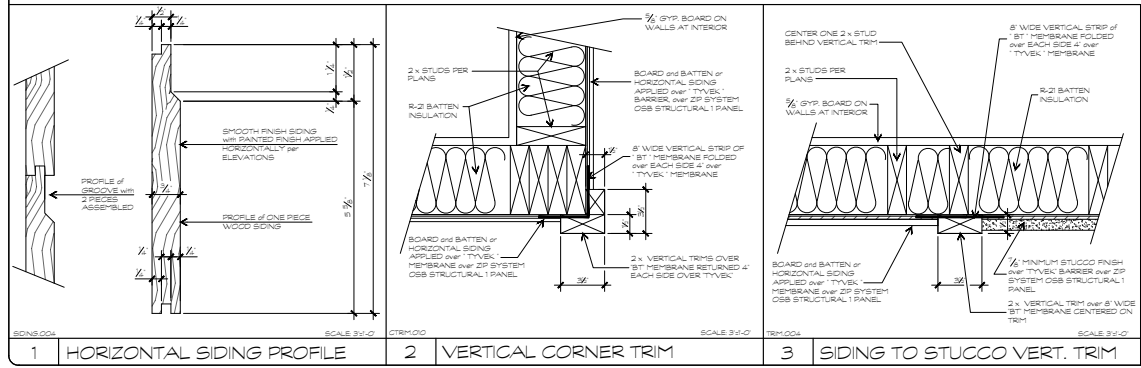
TRIM NOTES
 ANY ROOF OVERHANGS PARALLEL TO THE SIDE PROPERTY LINES AND LOCATED WITHIN 5 FEET OF THE SIDE PROPERTY LINES ARE REQUIRED TO BE CONSTRUCTED WITH 1-HOUR FIRE RESISTIVE CONSTRUCTION. SEE ARCHITECTURAL DETAILS.

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WAGNER - POTTHARST/RALSTON
 SINGLE FAMILY RESIDENCE with ADU
 1901 East Babcoo Blvd.
 Newport Beach, CA 92661



EAST SIDE ELEVATION



City of Newport Beach - Building Department

PLUMBING CODE POLICY

Effective Date	Subject	Policy No.
November 5, 2002	Outdoor Restrooms Beach Restrooms	UPC 304.0

Section 304.0 of the California Plumbing Code requires all plumbing fixtures to be properly connected to the drainage system of the building. In the case of outdoor accessory structures on residential buildings, an exception to this provision shall be made under the following circumstances:

When the shower is permanently supplied with cold water only and no hot water is piped to the shower location, the shower will be allowed to drain into the existing dry area drain without connection to the sanitary sewer.

If the shower is supplied with both hot and cold water, all provisions of this code shall apply including a provision of preventing sewer gas entry from the shower pan from entering the shower drain. Shower drains shall be designed so that the shower pan allows a significant quantity of water. Therefore, it is allowed to cover the shower pan. All areas where the shower drain is connected to the sanitary sewer shall be provided with a trap prior to pressure the trap seal.

POLICY: UPC304.0

EXTERIOR WATERPROOFING
 THE ENTIRE EXTERIOR OF ALL FRAMING SHALL BE WRAPPED WITH THE ZIP SYSTEM PANELS BY ADVANTAGE. THESE OSB PANELS ARE STRUCTURAL ONE RATED AND MAY BE USED AT ALL SHEAR WALL CONDITIONS.

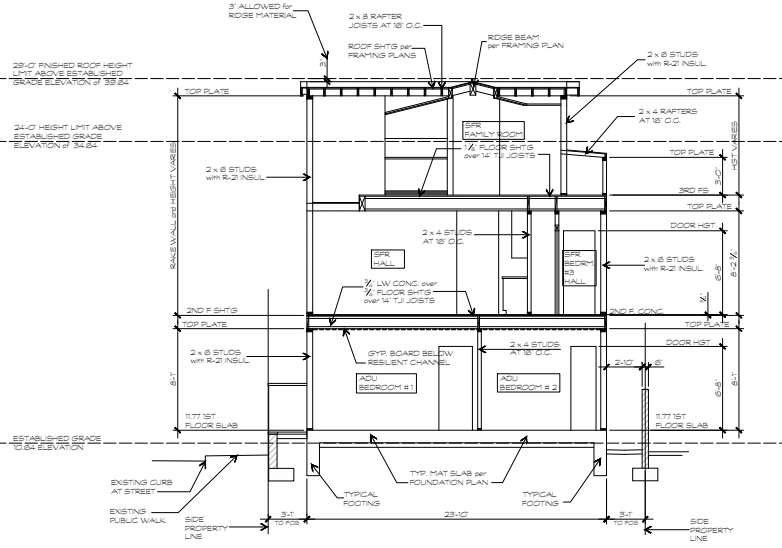
SCALE
 1/2" = 1'-0"
 DRAWN
 CHECKED
 DATE
 3-1-2023
 JOB NO.
 SHEET

A-6

ROOF SHEATHING NOTE
 RADIANT BARRIER ROOF SHEATHING
 IS NOT REQUIRED FOR THIS PROJECT

FIRE SPRINKLER NOTE
 FIRE SPRINKLER DRAWINGS AND HYDRAULIC CALCULATIONS TO BE
 SUBMITTED TO PLAN CHECK AND APPROVED PRIOR TO CALLING FOR
 ROOF SHEATHING INSPECTION.

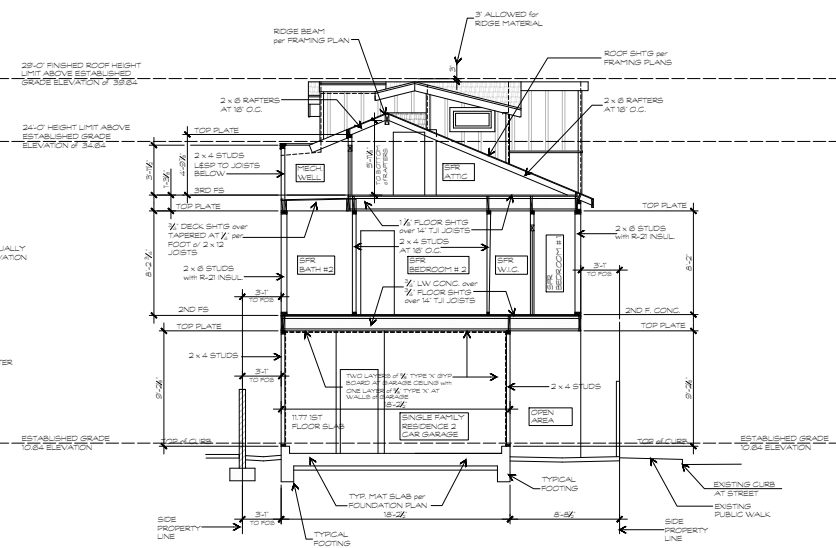
REVISIONS



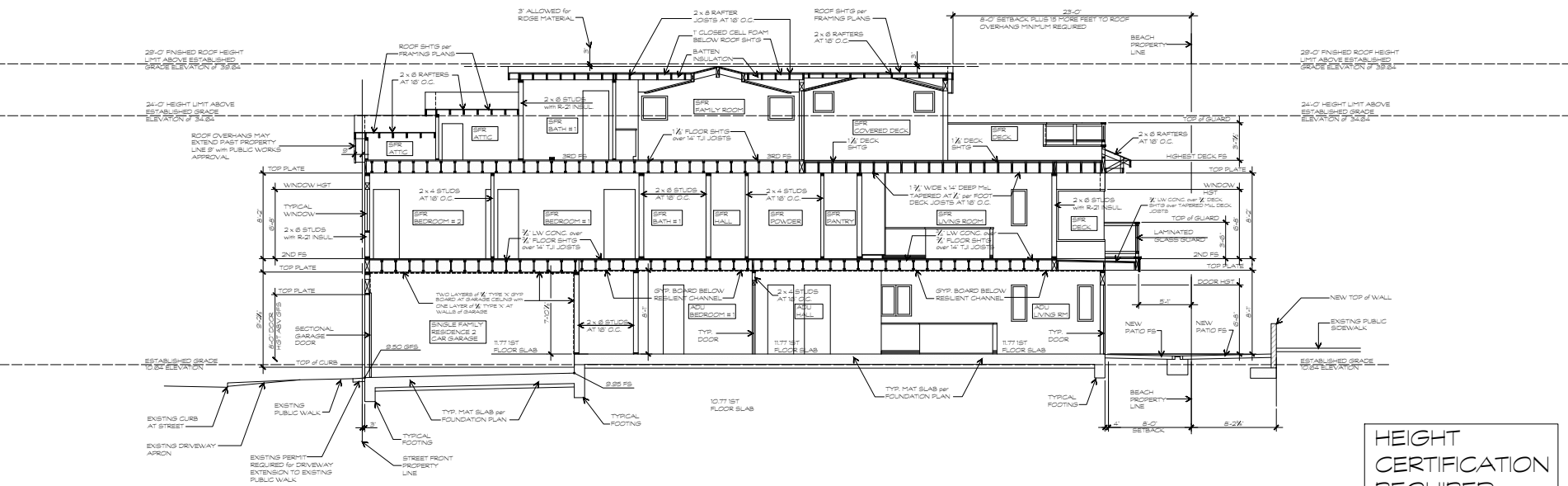
SECTION A

ELEVATION ABBREVIATIONS

F.S.	FLOOR SHEATHING
F.F.	FINISHED FLOOR ACTUALLY
FOS	FACE OF STUD
HST	HEIGHT
T.C.	TOP OF CURB
F.L.	FLOW LINE
EXTS	EXISTING
MLLW	MEAN LOW LOW WATER



SECTION B



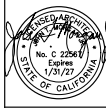
SECTION C

**HEIGHT
 CERTIFICATION
 REQUIRED**

ESTABLISHED GRADE
 ELEVATION IS 10.64

ARCHITECT
 John T. Morgan Jr.
 18682 Beacommer Avenue
 North Tustin, CA 92705
 P: (714) 730-2723 fax: (714) 730-2724

WAGNER - POTTHARST/RALSTON
 SINGLE FAMILY RESIDENCE WITH ADU
 1901 East Balboa Blvd.
 Newport Beach, CA 92661



SECTIONS A, B and C

SCALE
 1/2" = 1'-0"
 DRAWN
 CHECKED
 DATE
 3-7-2020
 JOB NO.

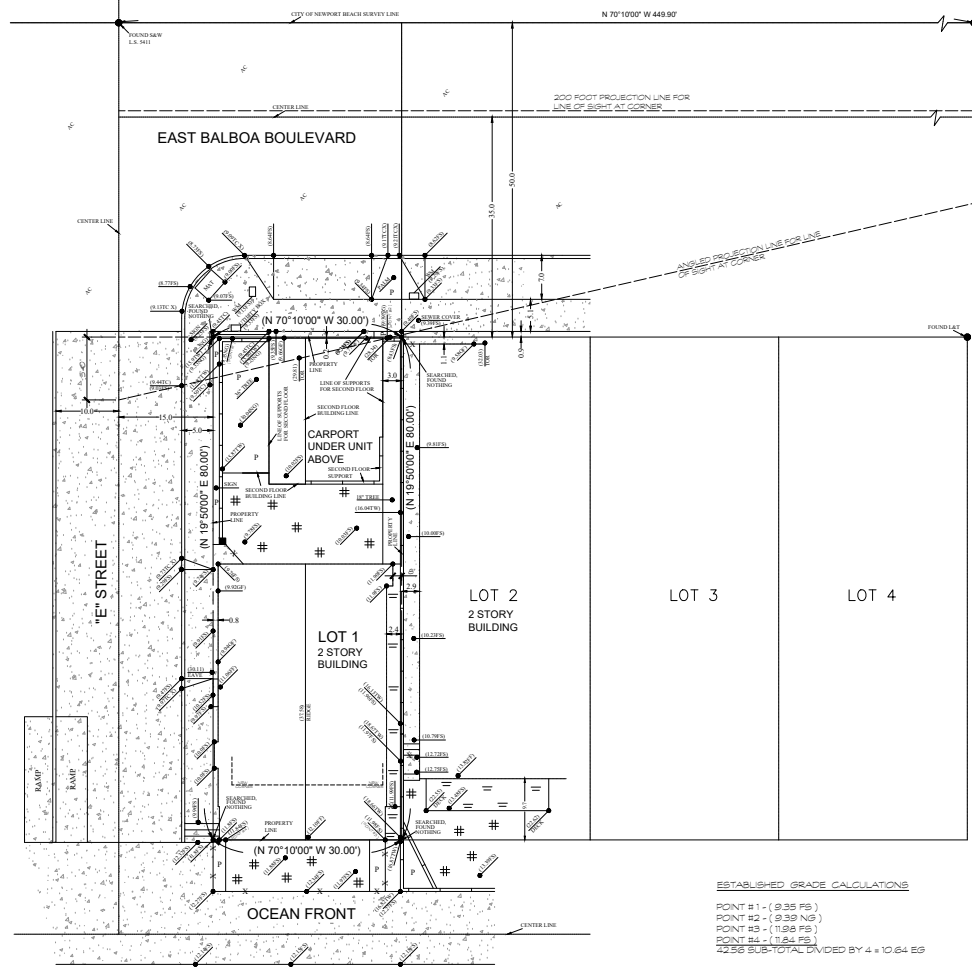
SHEET
A-7



SURVEY NOTES

1. ALL MEASUREMENTS SHOWN HEREBY ARE TO EXISTING EXTERIOR FINISHED SURFACE.
2. THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.
3. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

LEGEND	DESCRIPTION
(123.45)	MEASURED ELEVATIONS
()	RECORD BERING & DISTANCE
#	BRICK
▣	CONCRETE
▬	DECK
▬	WALL
▬	BUILDING
▬	CENTER LINE
▬	PROPERTY LINE
▬	FENCE
AC	ASPHALT
CF	CURB FACE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
L&T	LEAD & TAG
MH	MAN HOLE
NG	NATURAL GRADE
P	PLANTER
PP	POWER POLE
TC	TOP OF CURB
TW	TOP OF WALL
TG	TOP OF GRATE
TOR	TOP OF ROOF
SKW	SPIKE & WASHER
WM	WATER METER
WV	WATER VALVE



ESTABLISHED GRADE CALCULATIONS
 POINT #1 - (9.35 FS)
 POINT #2 - (9.39 NG)
 POINT #3 - (11.98 FS)
 POINT #4 - (11.84 FS)
 72.58 3.83 TOTAL DIVIDED BY 4 = 10.64 65

ADDRESS OF PROJECT	
1301 EAST BALBOA BOULEVARD NEWPORT BEACH, CA	
OWNER	
BEN WAGNER	
LEGAL DESCRIPTION	
LOT 1, BLOCK 22, EASTSIDE ADDITION TO BALBOA TRACT	
APN 048-164-01	
BENCH MARK	
BENCH MARK #NB1-4-71 DATUM: NAVD83 ELEVATION: 7.828	
TOPOGRAPHIC SURVEY	
JOB: 97-20	DATE: 3/10/2025
AMBER MIEDEMA L.S. 9730 23016 LAKE FOREST DRIVE #409 LAGUNA HILLS, CA 92653 (949) 607-6039 OFFICE AMBER.RDMSURVEYING@GMAIL.COM	



REVISIONS

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WAGNER - POTTHARST/RALSTON
 SINGLE FAMILY RESIDENCE with ADU
 1301 East Balboa Blvd
 Newport Beach, CA 92661



TOPOGRAPHIC SURVEY

SCALE	1/4" = 10'
DRAWN	
CHECKED	
DATE	3-10-2025
JOB NO.	
SHEET	T-1