

## **Attachment No. PC 2**

Emergency Coastal Development Permit  
No. ECD2018-150

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## COMMUNITY DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915  
(949) 644-3200

[www.newportbeachca.gov](http://www.newportbeachca.gov)

## **EMERGENCY COASTAL DEVELOPMENT PERMIT**

**APPLICATION:** Coastal Development Permit No. CD2018-050 (PA2018-115)

**APPLICANT:** Duane Wengier

**LOCATION:** 6302 West Coast Highway, Newport Beach, CA

On **July 30, 2018**, the Community Development Director (Director) authorized an emergency coastal development permit (CDP), Coastal Development Permit No. CD2018-050. **The Director's determination is final and based on the facts and findings, and subject to the conditions, listed below.**

### **WORK AUTHORIZED**

Demolition of four (4) motel units destroyed by fire.

### **COASTAL ZONING DISTRICT/COASTAL LAND USE PLAN**

- **Zone:** CV (Commercial Visitor-Serving)
- **CLUP:** CV (Commercial Visitor-Serving)

### **I. NATURE OR CAUSE OF THE EMERGENCY**

On April 10, 2018, a structure fire occurred at the subject address. The structure was declared unsafe to enter for Units 1 through 5, and no occupancy posted for the remainder of the units. On April 10, 2018, a City of Newport Beach (City) building inspector posted an "Unsafe Do Not Enter" placard on the project. On May 3, 2018, the Chief Building Official declared that the subject structure was an attractive nuisance and unsafe structure pursuant to California Building Code (CBC) § [A] 116.1. The Chief Building Official required the property owner to obtain a permit to demolish the unsafe structure or submit plans to the City for the reconstruction, within 30 days.

### **II. FINDINGS**

Pursuant to Section 21.52.025 of the certified Local Coastal Program (LCP) Implementation Plan, in the event of a verified emergency, the Community Development Director may authorize temporary permits to proceed with remedial measures. This authorization is based on the following facts.

1. The authorized work is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, it involves the demolition and removal of a portion of a motel designed for an occupant load of 30 persons or less in an urbanized area.
2. An emergency exists that requires action more quickly than permitted by the procedures for regular permits administered pursuant to the provisions of Chapter 21.50 (Permit Application Filing and Processing) of the certified LCP Implementation Plan. The situation meets the definition of an emergency per Section 21.52.025 of the certified LCP Implementation Plan because the Chief Building Official declared the subject structure an attractive nuisance and unsafe structure pursuant to California Building Code (CBC) § [A] 116.1.
3. The work can and will be completed within thirty (30) days unless otherwise specified by the terms of the permit;
4. Public comment on the proposed emergency action has been reviewed, if time allows;
5. The work proposed is conditioned to be consistent with the requirements of the City's certified LCP. The work is not subject to Section 21.48.025(C) (Protection of Low Cost Visitor Accommodations) of the certified LCP Implementation Plan. The work proposed does not meet the definition of impact to low cost overnight visitor accommodations (LCOVA) provided in Section 21.48.025(C)(4). The structures that will be demolished previously contained LCOVA units destroyed by fire. Therefore, the work proposed will not result in the decrease in the available supply of existing LCOVA units, as the units no longer exist due to a disaster. The proposed work is for demolition of existing structures destroyed by fire only and no new overnight visitor accommodations are proposed.
6. The work proposed under the emergency permit shall be the minimum amount necessary to address the emergency; and
7. The development is not located in an area in which the California Coastal Commission retains direct permit review authority.

### **III. CONDITIONS OF APPROVAL**

1. Only the work specifically described above and as more specifically described in the Community Development Department's file for this emergency CDP application is authorized for the specific property listed above, subject to the conditions set forth below. Any additional work requires separate authorization from the Director.
2. Any spills of construction equipment fluids or other hazardous materials shall be immediately contained on-site and disposed of in an environmentally safe manner as soon as possible.

3. Coastal Development Permit No. CD2018-050 shall expire 30 days from the date of authorization. The Director may extend an emergency CDP for an additional 30 days for good cause including, but not limited to, a CDP application on file with the Community Development Department.
4. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
5. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this emergency CDP.
6. The applicant is required to obtain all applicable permits from the City and other agencies.

On behalf of Seimone Jurjis, Community Development Director

By:



Patrick J. Alford, Planning Program Manager

KB/pja

Attachments: CD 1 Vicinity Map  
CD 2 Plans  
CD 3 2018-05-03 Declaration by the Chief Building Official  
CD 4 Photos

# **Attachment No. CD 1**

Vicinity Map

## VICINITY MAP



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Coastal Development Permit No. CD2018-050

PA2018-115

6302 West Coast Highway  
Newport Beach, CA

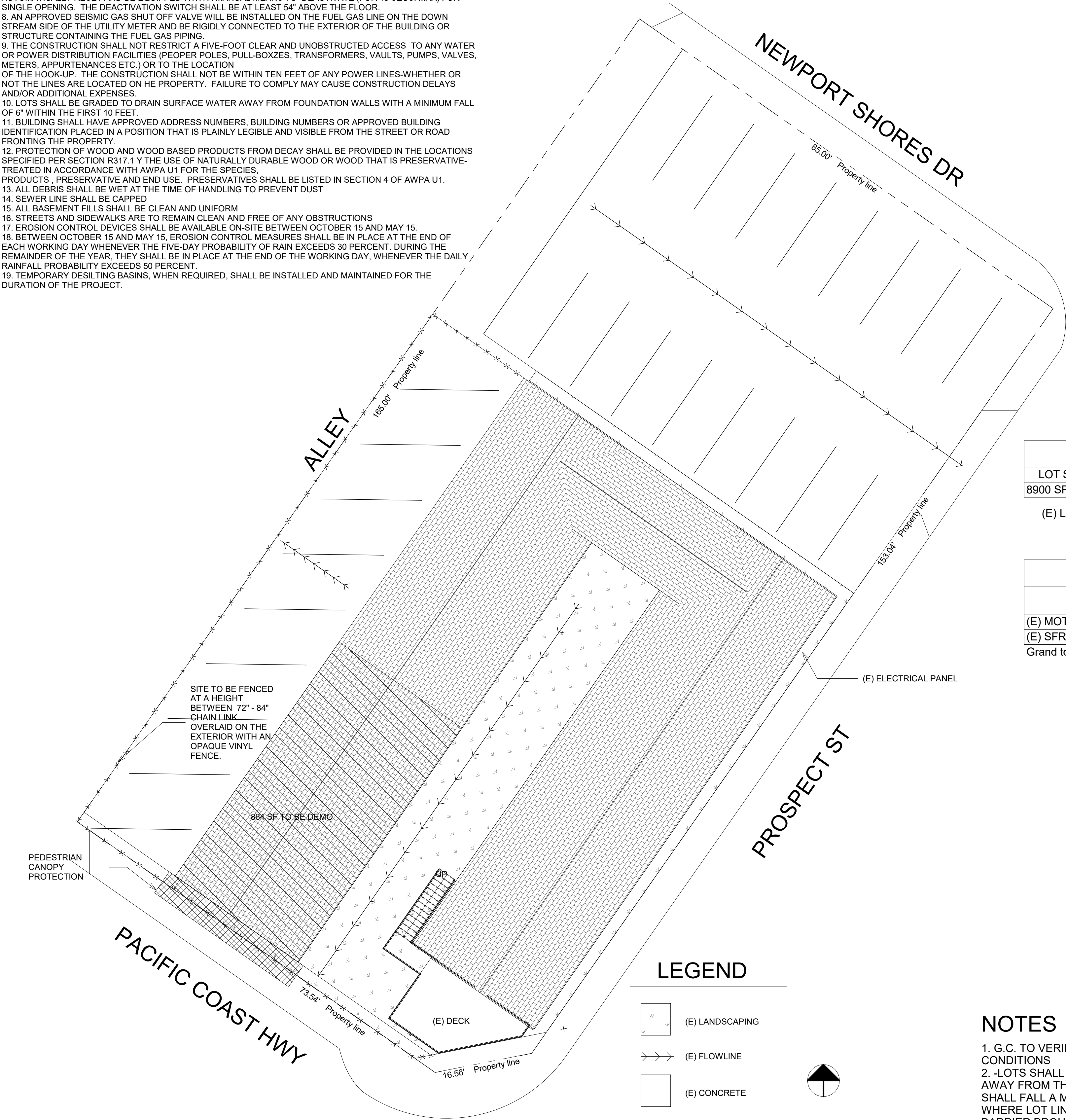
# **Attachment No. CD 2**

Plans



SITE PLAN NOTES:

1. A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS, REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REPAIRED AND 100% PAID BY OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
2. AN CITY ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NONSTANDARD PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
3. AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
4. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
5. ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL OF-WAY PERFORMED BY C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
7. PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR.
8. AN APPROVED SEISMIC GAS SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIDGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
9. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (PEOPER POLES, PULL-BOXZES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON HE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
10. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6" WITHIN THE FIRST 10 FEET.
11. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
12. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 Y THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP4 U1 FOR THE SPECIES.
- PRODUCTS , PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP4 U1.
13. ALL DEBRIS SHALL BE WET AT THE TIME OF HANDLING TO PREVENT DUST
14. SEWER LINE SHALL BE CAPPED
15. ALL BASEMENT FILLS SHALL BE CLEAN AND UNIFORM
16. STREETS AND SIDEWALKS ARE TO REMAIN CLEAN AND FREE OF ANY OBSTRUCTIONS
17. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
18. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
19. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.



LEGEND

- (E) LANDSCAPING
- (E) FLOWLINE
- (E) CONCRETE

Symbols Legend

- Grid or Column Line
- North Arrow
- Door Number
- Window Type
- Finish Type
- Welltype
- Room Name and Number
- Centerline Dimension
- Revision
- Exit Light
- Section/ Detail Indicator
- Detail Indicator
- Elevation Indicator
- New Elevation
- Existing Elevation
- Match Line: dark side indicates portion of plan shown.
- Existing Contour
- New Contour
- Property Line
- Lease Line
- Center Line

DRAWING SHEET INDEX ALL PARAMETERS	
Sheet Number	Sheet Name
GENERAL NOTES	
G0-01	SITE PLAN
G0-02	GENERAL NOTES
G0-05	GREEN BUILDING
ARCHITECTURAL	
A1-01	EXISTING/ DEMO PLAN

PROJECT DIRECTORY

ARCHITECT  
MA ARCHITECTS

5608 E Peabody St.  
Long Beach, Ca 90808  
**Project Manager:**  
TEL: (626) 375-3073  
EMAIL: michael.studioma@gmail.com  
ATN: Michael Song, Architect

**Project Architect:** Michael Song  
E: michael.studioma@gmail.com

STRUCTURAL ENGINEER

OWNER  
WENGLER, DUANE A, WENGLER, JEANIE

PHONE: (949) 885-6712

PROJECT DATA

ADDRESS	6302 WEST COAST HWY, NEWPORT BEACH, CA 92663
ASSESSOR'S PARCEL NUMBER	045-084-09
LEGAL DESCRIPTION	A TR SEASHORE COLONY TR BLK 3 LOT 4 SEASHORE COLONY TR BLK 3 LOTS 4, 5, 6 AND NELY
BUILDING CODES	CBC 2016 CRC 2016 CMC 2016 CEC 2016 CPC 2016 CGBC 2016
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	COMMERCIAL
ZONING	R1-1
NUMBER OF STORIES	1
BUIDING HEIGHT	13'-1"
SPRINKLED	NO
PROJECT DESCRIPTION/SCOPE	DEMO OF 864 SF FROM MOTEL

MAX LOT COVERAGE		
LOT SIZE	MAX ALLOWED	MAX S.F. ALLOWED
8900 SF	0.5	4450 SF

(E) LOT COVERAGE 44.05% 3,921 SF

LOT COVERAGE CALC.			
Name	Area	EXEMPT	AREA TOTAL
(E) MOTEL (12 UNITS)	2802 SF	0 SF	2802 SF
(E) SFR (2 BEDROOM)	1120 SF	0 SF	1120 SF
Grand total: 2			3921 SF

NOTES

1. G.C. TO VERIFY ALL EXISTING DIMENSION AND CONDITIONS
2. -LOTS SHALL BE GRADED TO DRAIN SURFACE WATE3R AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10' (5%). WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE [CRC R401.3]. - IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN OF 2% AWAY FROM THE BUILDING [CRC R401.3 EXCEPTION].



2 Site Plan  
3/32" = 1'-0"

1 vicinity map  
NTS

SITE PLAN

WEST COAST HWY  
6302 WEST COAST HWY ,  
NEWPORT BEACH, CA 92663

Project number	\$LB1708
Date	Issue Date
Drawn by	Author
Checked by	Checker

G0-01

Scale As indicated

MA  
ARCHITECTS

ARCHITECTURE  
DESIGN

No.	Description	Date



THESE ARE GENERAL NOTES AND SOME ITEMS MAY NOT APPLY TO THE SPECIFIC SCOPE. G.C. SHALL IN THE BEST OF JUDGEMENT, APPLY ITEMS THAT ARE RELEVANT TO THE SCOPE DISPLAYED IN THE DRAWINGS.

- GENERAL NOTES - PART A
1. WHERE CONCEALED DUCT RUNS IN SOFFITS, JOIST BAYS, VERTICAL CHASES, OR SHAFTS ARE OBSTRUCTED TO LESS THAN THE MINIMUM REQUIRED TO ALLOW THE PASSAGE OF INDICATED ROUND DUCT, PROVIDE RECTANGULAR DUCTWORK OF EQUIVALENT SIZE TO ALLOW PASSAGE OF THE DUCT RUN PAST THE OBSTRUCTION.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 171,874 FOR WORK OVER \$10,000)
3. WORK SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS AS REQUIRED BY THE STATE OF CALIFORNIA, THE COUNTY OF LOS ANGELES, THE CITY OF LOS ANGELES, AND ANY AND ALL OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
4. WORK SHALL COMPLY WITH THE MODEL CODES AS ADOPTED BY THE CITY OF LOS ANGELES (CITY OF LOS ANGELES BUILDING CODE, CALIFORNIA BUILDING CODE, INTERNATIONAL BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING STANDARDS, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, NATIONAL ELECTRICAL CODE, ETC.) LOCALLY IN FORCE AT THE TIME OF BUILDING PERMIT ISSUANCE, INCLUDING ALL REVISIONS AND AMENDMENTS ADOPTED BY THE GOVERNING JURISDICTION(S). WHERE REFERENCE IS MADE TO MODEL CODE SECTIONS AND PARTS, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE MODEL CODE SECTIONS AND PARTS CITED PRIOR TO INSTALLATION OF ANY AFFECTED WORK.
5. FULLY REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. THE CONSTRUCTION DOCUMENTS MAY INCLUDE THE FOLLOWING: CIVIL DRAWINGS, DESIGN DRAWINGS, STRUCTURAL DRAWINGS, MECHANICAL DRAWINGS PLUMBING DRAWINGS, ELECTRICAL DRAWINGS, SECURITY SYSTEM DRAWINGS AND SPECIFICATIONS (DEFERRED SUBMITTAL), FIRE PROTECTION SHOP DRAWINGS AND SPECIFICATIONS (DEFERRED SUBMITTAL)
6. WHERE CONFLICT OCCURS BETWEEN THE DRAWINGS OF ANY OF THE DESIGN DISCIPLINES INVOLVED, THE MOST RESTRICTIVE INTERPRETATION WILL GOVERN THE WORK. DESIGNER AND/OR OWNER WILL RESOLVE DESIGN CONFLICTS BASED ON THE DESIGN INTENT.
7. COORDINATE ALL CHANGES AND ADJUSTMENTS TO THE WORK WHICH VARY FROM THE CONSTRUCTION DOCUMENTS WITH DESIGNER AND/OR PRIOR TO PUTTING WORK IN PLACE.
8. ALL PRODUCT AND COMPONENT BRANDS AND TRADEMARKS NAMED ARE USED TO SET THE LEVEL OF QUALITY REQUIRED FOR THE WORK AND ARE UNDERSTOOD TO BE "OR EQUAL" REFERENCES SUBJECT TO THE FORMAL APPROVAL PROCESS AS DESCRIBED AND SET FORTH IN THE SPECIFICATIONS UNLESS NOTED OTHERWISE.
9. DRAWING SYMBOL REFERENCES ARE TYPICAL AND APPLY EQUALLY TO ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED OR OTHERWISE REFERENCED IN THE DESIGN DRAWINGS. SEE THE SYMBOLS' LEGEND ON EACH SHEET FOR DEFINITION OF ALL SYMBOLS USED IN THE DRAWINGS.
10. DETAIL REFERENCES ARE TYPICAL AND APPLY EQUALLY TO OTHER SIMILAR CONDITIONS UNLESS OTHERWISE NOTED OR OTHERWISE REFERENCED IN THE DESIGN DRAWINGS. ALL DETAILS ARE TYPICAL UNLESS OTHERWISE NOTED OR OTHERWISE REFERENCED IN THE DRAWINGS. DO NOT DISREGARD UNREFERENCED OR MISREFERENCED DETAILS. SUCH DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR OWNER FOR INTERPRETATION OF APPLICABILITY & USAGE.
11. DO NOT SCALE DRAWINGS.
12. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR OWNER PRIOR TO PUTTING ANY AFFECTED WORK IN PLACE.
13. WOOD FRAMED BUILDINGS: ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF WOOD (FRAMING OR PLYWOOD SHEATHING WHERE OCCURS) UNLESS NOTED OTHERWISE. ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE. DIMENSIONS NOTED OTHERWISE MAY BE NOTED AS ONE OF THE FOLLOWING:  
C.L. CENTERLINE  
F.O.C. FACE OF CONCRETE  
F.O.F. FACE OF FINISH  
F.O.M. FACE OF MASONRY  
CLR. FACE OF FINISH AND/OR OBSTRUCTION
14. ALL FINISHED GRADE AREAS AROUND BUILDINGS SHALL SLOPE AWAY FROM BUILDINGS AT 2% MINIMUM.
15. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR AN APPROVED SEWAGE DISPOSAL SYSTEM.
16. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS & WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT & COLD WATER & CONNECTED TO AN APPROVED WATER SUPPLY.
17. BATHTUB & SHOWER FLOORS, WALLS ABOVE THE BATHTUBS WITH A SHOWERHEAD & SHOWERS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR.
18. PROVIDE A MINIMUM 70" HIGH APPROVED NON-ABSORBANT, SHATTER-RESISTANT MATERIAL FOR SHOWER ENCLOSURES.
19. VERTICAL DIMENSIONS ARE FROM TOP OF CONCRETE SLAB TO TOP OF PLATE AND FROM TOP OF PLYWOOD FLOOR SHEATHING TO TOP OF PLATE UNLESS OTHERWISE NOTED OR CALLED OUT IN THE DRAWINGS. THE TERM "FINISH FLOOR" EXCLUDES ANY FLOORING MATERIALS THAT MAY BE SCHEDULED AND MEANS THE TOP OF THE FINISHED CONSTRUCTION THAT IS TO RECEIVE THE FLOORING MATERIALS SUCH AS TOP OF LEVEL CONCRETE SLAB OR TOP OF LEVEL LIGHT WEIGHT FLOOR TOPPING.
20. VERIFY ALL BUILT-IN EQUIPMENT SIZES AND REQUIREMENTS PRIOR TO LAYOUT AND CONSTRUCTION. BUILT-IN EQUIPMENT SHALL FIT TIGHTLY AS POSSIBLE WITHIN MANUFACTURER'S REQUIRED TOLERANCES TO FINISHED OPENING.
21. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1 AND 1607.7.1.1.
22. ALL CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISHED, NON-SLIP SURFACE UNLESS NOTED OTHERWISE.
23. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
24. ALL PIPING IN CONNECTION WITH A PLUMBING SYSTEM SHALL BE SO INSTALLED THAT PIPING OR CONNECTIONS WILL NOT BE SUBJECT TO UNDUE STRAINS OR STRESSES, AND PROVISIONS SHALL BE MADE FOR EXPANSION, CONTRACTION, AND STRUCTURAL SETTLEMENT. NO PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY. NO STRUCTURAL MEMBER SHALL BE SERIOUSLY WEAKENED OR IMPAIRED BY CUTTING, NOTCHING OR OTHERWISE.
25. AT LOCATIONS TO RECEIVE BUILT-IN CASEWORK, FIELD VERIFY ALL CLEAR OPENINGS OF CONSTRUCTION AND ADDRESS IN SHOP DRAWINGS BEFORE FABRICATION OF CASEWORK.
26. VERIFY ALL EQUIPMENT SIZES BEFORE FABRICATION OF CASEWORK. RESIDENTIAL-TYPE AND BUILT-IN KITCHEN EQUIPMENT/APPLIANCES (REFRIGERATOR, RANGE, MICROWAVE, ETC.) AND ALL OTHER BUILT-IN TYPE EQUIPMENT SHALL FIT TIGHTLY AS POSSIBLE WITHIN EQUIPMENT/ APPLIANCE MANUFACTURER'S REQUIREMENTS TO CASEWORK OPENINGS.
27. CASEWORK SHALL BE PROVIDED WITH REQUIRED HOLES, AND ACCESS PANELS FOR ELECTRICAL CABLES, PIPES, AND LIKE PENETRATING ITEMS.
28. IN NEW CONSTRUCTION CARBON MONOXIDE/SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING & SHALL BE EQUIPPED WITH BATTERY BACK UP & LOW BATTERY SIGNAL. SMOKE ALARMS SHALL BE LOCATED

IN EACH SLEEPING ROOM, HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.

29. STORAGE TYPE WATER HEATERS SHALL BE STRAPPED TO THE WALL (INTO 2x BLOCKING), PER CODE.
30. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
31. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No.28 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL & THERE SHALL BE NO OPENINGS FROM THE DUCT INTO THE GARAGE.
32. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS & WALLS ARE TO BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4.
33. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3' ABOVE THE FLOOR 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.

ENERGY AND WATER CONSERVATION

1. CAULK AND SEAL AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE.
2. CAULK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLE PLATES AND FLOORS, AND BETWEEN EXTERIOR WALL PANELS. SEE TYPICAL EXTERIOR WALL MEASURES.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.
4. DOORS AND WINDOWS BETWEEN CONDITIONED SPACE AND OUTSIDE SPACE OR WEATHER-STRIPPED.
5. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. ALL EXTERIOR OPENINGS SHALL BE PROPERLY WEATHERSTRIPPED, CERTIFIED, AND LABELED.
6. DUCTS SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED PER THE REQUIREMENTS OF THE U.M.C. ALL JOINTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE SUITABLE FOR THE PURPOSE.
7. ALL SPACE CONDITIONING EQUIPMENT SHALL BE C.E.C. CERTIFIED.
8. ALL WATER HEATING EQUIPMENT, SHOWER HEADS, FAUCETS, AND PLUMBING FIXTURES SHALL BE C.E.C. CERTIFIED UNLESS OTHERWISE NOTED OR APPROVED. SHOWER HEADS SHALL BE LOW FLOW TYPE.
9. GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE A MINIMUM OF 40 LUMENS/WATT EFFICIENCY (FLUORESCENT LIGHTS).
10. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. SCHEDULE IS IMPACTED BY OWNER RELATED CHANGES OR REQUESTS.

GENERAL NOTES - PART B

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK OR RELATED WORK IN QUESTION
- FURTHERMORE, FOR EXISTING CONDITIONS OR REMODELS/ADDITIONS, THE ARCHITECT CANNOT REALISTICALLY VERIFY ALL EXISTING CONDITIONS ACCURATELY. AS SUCH THE PREPARATION OF CONSTRUCTION DOCUMENTS ARE BASED ON TYPE V WOOD FRAME CONSTRUCTION FOR CONVENTIONAL FRAMING AND WHERE THE GENERAL CONTRACTOR MAY DISCOVER SOME DISCREPANCIES IN THE ARCHITECT AND ENGINEERS DESIGN WITH RESPECT TO THE NEW FOUND EXISTING CONDITIONS ON SITE. THESE DISCREPANCIES ARE EXPECTED AND A NATURAL PROCESS BECAUSE ARCHITECTURE SERVICES PRECEDES DEMOLITION OF THE PROJECT. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR ENGINEER IF ANY OF THE DESIGN IS IN CONFLICT WITH THE EXISTING CONDITIONS.
- FOR REMODELS/ADDITIONS, IN CASES WHERE A LAND SURVEY WAS NOT PERFORMED EITHER BECAUSE IT WAS NOT REQUIRED AND/OR CLIENT HAS NOT ELECTED TO FURNISH A SURVEY, ARCHITECT SHALL BASE SITE PROPERTY MEASUREMENTS FROM PERCEIVED PROPERTY LINES REPRESENTED BY FENCES, WALLS AND PLANTINGS. EVERY EFFORT WILL BE MADE TO PROVIDE AN ACCURATE MEASUREMENT HOWEVER SUCH MEASUREMENT CANNOT GUARANTEE ACCURACY DURING CONSTRUCTION. AS SUCH, IT IS UNDERSTOOD BY ALL PARTIES, OWNER, ARCHITECT, AND GENERAL CONTRACTOR, THAT DISCREPANCIES ARE POSSIBLE AND AT NO FAULT TO ANY PARTY. CLIENT MAY INCUR A MINOR CHANGE ORDER DUE TO THIS EVENT DUE TO ADJUSTMENTS IN THE DESIGN AFTER PERMIT.
2. GENERAL CONTRACTOR SHALL INFORM ARCHITECT OF CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH AND FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL THIS INCLUDES BUT IS NOT LIMITED TO, UNEVEN SURFACES CONSTRUCTION WHICH INTERFACES WITH NEW CONSTRUCTION. CORRECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING TO MATCH ADJACENT, ADJOINING SURFACES.
3. GENERAL CONTRACTOR SHALL INFORM ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION THAT EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCT WORK AND CONDUITS) THAT ALL REQUIRED CLEARANCE FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS
5. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH THE RESPECT OF WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
6. ALL WORK NOT SPECIFICALLY COVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE FURNISHED AND INSTALLED WITH IN ACCORDANCE WITH BUILDING STANDARD MATERIALS AND DETAILS.
7. UPON SUBMITTAL OF CONSTRUCTION COSTS, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SCHEDULE OF VALUES AND A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND GENERAL CONTRACTORS WORK.

8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OVERTIME COSTS EXCEPT WHEN THE APPROVED CONSTRUCTION SCHEDULE IS IMPACTED BY OWNER RELATED CHANGES OR REQUESTS.
9. GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERINGS FOR CARPET, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY THE WORK OF THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR.
10. NOT USED
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF PROJECT AND SHALL BE RESPONSIBLE FOR OF ALL WORKERS ON THE PROJECT.
12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS (OTHER THAN STRUCTURAL) PRIOR TO COMMENCEMENT OF WORK. THE REQUESTING AND COORDINATION OF BUILDING DEPARTMENT INSPECTIONS AND APPROVALS IN ALL FIELDS OF HIS WORK, AND THE OBTAINING OF THE FINAL CERTIFICATE OF OCCUPANCY.
13. GENERAL CONTRACTOR SHALL HAVE ON-SITE, THE APPROVED CONSTRUCTION DRAWINGS AND BUILDING PERMIT.
14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL SUPERVISION, ASSISSTANCE AND COORDINATION OF VARIOUS TRADES.
15. MATERIALS SHALL BE JOINED TO UNIFORM, ACCURATE FITS SO THE MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS, OVERLAPS AND IMPERFECTIONS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUM AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET OR EXCEED ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE EXCEPT WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. IN SUCH CASES, WORK SHALL MEET OR EXCEED THE STANDARDS ESTABLISHED BY THE CONTRACT DOCUMENTS.
16. GENERAL CONTRACTOR SHALL COORDINATE ANY OVERTIME WITH BUILDING MANAGEMENT PERSONNEL (I.E.: DEMOLITION, CUTTING AND RUBBISH REMOVAL WITH BUILDING MANAGEMENT PERSONNEL).
17. THE CONTRACTOR SHALL NOTE THAT THERE SHALL NOT BE SUBSTITUTIONS FOR ANY MATERIAL WHERE SPECIFIC MANUFACTURERS ARE SPECIFIED. WHERE APPROVED EQUAL IS USED, IT SHALL BE BY JUDGEMENT AND APPROVAL OF THE ARCHITECT AND NOTIFICATION SHALL BE MADE PRIOR TO INSTALLATION.
18. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB, INCLUDING REVISIONS.
19. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY COMPLETION.
20. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY HIS OPERATIONS.
21. WHERE WORK OR EQUIPMENT IS INDICATED N.I.C., SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION.
22. DISCREPANCIES FOUND BETWEEN NOTES AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & THE OWNER AT THE TIME OF PRICING & PRIOR TO CONSTRUCTION PROCEEDING.
23. GENERAL CONTRACTOR TO VERIFY SIZES OF BUILDING AND ACCESS OPENINGS BEFORE PROCEEDING WITH WORK.
24. UPON COMPLETION OF THE JOB, GENERAL CONTRACTOR SHALL CLEAN ENTIRE AREA, INCLUDING GLASS, CARPET AND ALL OTHER FINISHED SURFACES IN A MANNER ACCEPTABLE TO OWNER AND TENANT.
25. GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF OFF SITE PACKAGING CARTONS OR CONTAINERS, TRASH AND DEBRIS IN A SAFE, ACCEPTABLE MANNER, AND AT NO COST OR INCONVENIENCE TO THE OTHER PARTIES.



ARCHITECTURE  
DESIGN

5606 E PEABODY ST  
LONG BEACH CA,  
626-375-3073  
michael.ezplans@gmail.com

No.	Description	Date


WEST COAST HWY  
6302 WEST COAST HWY ,  
NEWPORT BEACH, CA 92663

GENERAL  
NOTES

Project number	\$LB1708
Date	Issue Date
Drawn by	D.L. / J.H.
Checked by	
G0-02	
Scale	



# 2017 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES



ARCHITECTURE  
DESIGN

5608 E PEABODY ST  
LONG BEACH CA  
626-375-3073  
michael.ezplans@gmail.com

No.	Description	Date

WEST COAST HWY  
GREEN BUILDING

6302 WEST COAST HWY,  
NEWPORT BEACH, CA 92663

Project number

\$LB1708

Date

Issue Date

Drawn by

D.L. / J.H.

Checked by

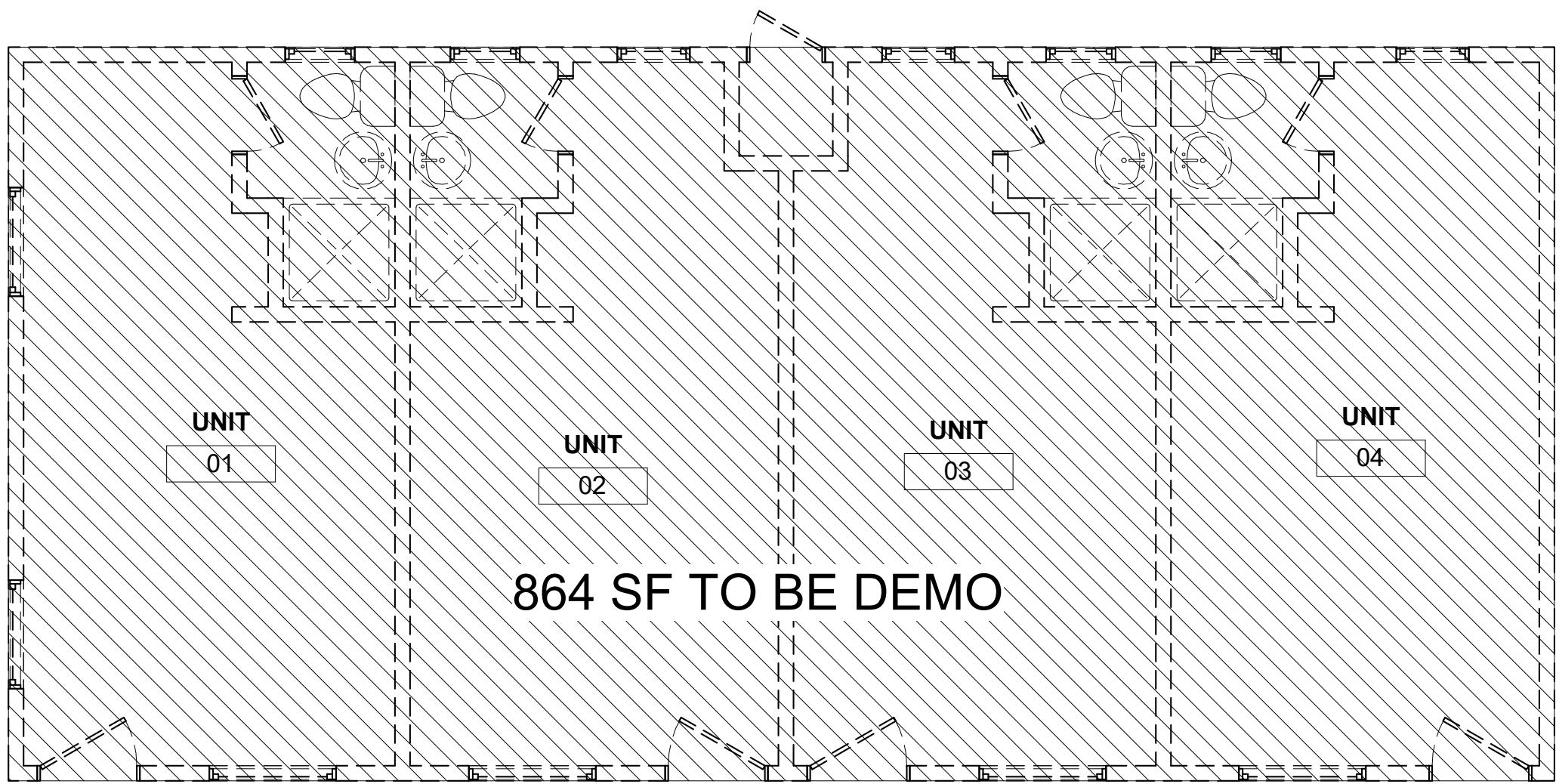
G0-05

Scale



WALL TYPE LEGEND

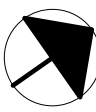
- NEW WALL  
EXISTING WALL  
DEMO WALL



LEGEND



1 DEMO PLAN  
1/4" = 1'-0"



No.	Description	Date

WEST COAST HWY  
6302 WEST COAST HWY,  
NEWPORT BEACH, CA 92663

EXISTING/  
DEMO PLAN

Project number	\$LB1708
Date	Issue Date
Drawn by	JG
Checked by	

A1-01

Scale 1/4" = 1'-0"

# **Attachment No. CD 3**

2018-05-03 Declaration by the Chief  
Building Official



CITY OF NEWPORT BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT

100 Civic Center Drive  
Newport Beach, California 92660  
949 644-3200  
newportbeachca.gov/communitydevelopment

May 3, 2018

Mr. & Mrs. Duane Wengier  
6302 West Coast Highway  
Newport Beach, CA 92663-1925

**REGISTERED MAIL**

**Re: Unsafe Structure, Fire Burned Structure, Attractive Nuisance  
Pine Knot Motel - 6302 West Coast Highway**

Dear Mr. & Mrs. Wengier:

On April 10, 2018, a structure fire occurred at the subject address. The structure was declared unsafe to enter for units 1 through 5, and no occupancy posted for the remainder of the units. On April 10, 2018, a City of Newport Beach building inspector posted an "Unsafe Do Not Enter" placard on the project.

By the power vested in me as Chief Building Official, I am declaring your structure an attractive nuisance and unsafe structure pursuant to California Building Code (CBC) § [A] 116.1. In compliance with CBC § [A] 116.1, International Property Maintenance Code (IPMC) § 106.1 and the Newport Beach Municipal Code, this violation has been deemed a strict liability offense.

You are hereby required to obtain a permit to demolish the unsafe structure or submit plans to the City of Newport Beach, Community Development Department, for the reconstruction within 30 days of the date of this letter.

If you fail to comply with securing a permit to demolish the unsafe structure, or provide plans to reconstruct the building in a safe manner following the permit process, the City of Newport Beach will move to initiate a demolition order to abate this violation and place a lien on the property as defined in IPMC § 106.3.

Should you have questions concerning this matter, please contact me at (949) 644-3277.

Respectfully,

Community Development Department  
BUILDING DIVISION

By:

Samir Ghosh, P.E., C.B.O.

Deputy Community Development Director | Chief Building Official

SG:ds

c: Matt Cosylion, Code Enforcement Supervisor  
Marshall Shelton, Building Inspector

## **Attachment No. CD 4**

Photos

