



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

April 30, 2026
Agenda Item No. 5

SUBJECT: Hauptert Residential Coastal Development Permit
▪ Coastal Development Permit No. (PA2026-0011)

SITE LOCATION: 1560 East Ocean Front

APPLICANT: William Guidero

OWNER: Kristine and Larry Hauptert

PLANNER: Cameron Younger, Planning Technician
cyounger@newportbeachca.gov, (949) 644-3228

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached (RSD-C) (10.0-19.9 DU/AC)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A coastal development permit (CDP) to allow for the demolition of an existing single-unit dwelling and for the construction of an approximately three-story, 3,700-square-foot single-unit residence, with a 585-square-foot two-car garage. The project includes landscape, hardscape, and subsurface drainage facilities all within the confines of private property. The project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Coastal Development Permit No. PA2026-0011 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is in the R-1 Coastal Zoning District, which provides for areas appropriate for a range of detached single-family residential dwelling units, each located on a single legal lot and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The property currently consists of one legal lot developed with a single-unit residence to be demolished, and a new single-unit residence to be constructed. The neighborhood is predominantly developed with two- and three-story, multi-unit residences. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development consistent with applicable development standards.



Figure 1: Oblique Aerial Image of Neighborhood

- The proposed single-unit dwelling conforms to applicable development standards, including floor area limit, setbacks, and height as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front	10 feet	10 feet
Sides	3 feet	3 feet
Rear	0 feet	0 feet
Allowable Floor Area (max.)	4,832 square feet	4,286 square feet
Allowable 3rd Floor Area (max.)	324 square feet	324 square feet
Allowable 3rd Floor Area & Covered (max.)	1,208 square feet	667 square feet
Open Space (min.)	324 square feet	327 square feet
Parking (min.)	2 per unit; in a garage	2 car garage parking
Height (max.)	24-foot flat roof 29-foot sloped roof	29-foot sloped roof

- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Public Access and Views

- The project site is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project’s impact and be proportional to the impact. In this case, the project creates a new single-unit residence located on a standard R-1 lot. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is the West Jetty View Park and is not visible from the site as it is approximately 2,300 feet away. As currently developed, the existing property is not located within the view shed of the park. The proposed single-unit residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Additionally, the project does not contain any unique features that could degrade the visual quality of the coastal zone.

- The project is not located near a Public Beach Access point as identified in the CLUP. Vertical access to the beach is available adjacent to the site along East Ocean Front, approximately 5 feet south of the Property abutting a public boardwalk on East Ocean Front. Lateral access is available on the East Ocean Front public boardwalk. The project does not include any features that would obstruct access along these routes.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:


Cameron Younger, Planning Technician

DL/cy

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT FOR THE DEMOLITION OF A SINGLE-UNIT RESIDENCE AND THE CONSTRUCTION OF A NEW SINGLE-UNIT RESIDENCE LOCATED AT 1560 EAST OCEAN FRONT (PA2026-0011)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by William Guidero (Applicant) on behalf of Kristine and Larry Hauptert (Owner) with respect to property located at 1560 East Ocean Front, legally described as Lot 16 of Block B (Property), requesting approval of a coastal development permit (CDP).
2. The Applicant requests a CDP to demolish the existing single-unit dwelling and for the construction of a three-story, 3,700-square-foot single-unit residence, including a 585-square-foot attached two-car garage. The project includes landscape, hardscape, and subsurface drainage facilities all within the confines of private property. The project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested (Project).
3. The Property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1)) Zoning District.
4. The property is located within the Coastal Zone. The Coastal Land Use Plan category is Single Unit Residential Detached (RSD-C 10.0-19.9 DU/AC) and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.
5. A public hearing was held on April 30, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the construction of limited numbers of small, new facilities or structures; installation of small equipment and facilities, and the conversion of existing small structures where only minor modifications are made in the exterior. This Project consists

of the demolition of an existing single-unit structure and the construction of a new single-unit residence. Therefore, the Project is eligible for the Class 3 exemption.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

By Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The Project proposes a gross floor area of 4,286 square feet, which complies with the maximum gross floor area of 4,832 square feet allowed for the Property.
 - b. The proposed development provides the minimum required setbacks, which are 10 feet along the front property line abutting East Ocean Front and 3 feet along each side property line; there is no setback along the rear property line abutting the alley. The Project will conform to the required setbacks, including the required additional 15-foot third-floor front step-back, with no encroachments proposed on either side.
 - c. The highest guardrail is less than 24 feet from the established grade and the highest ridge is less than 29 feet from the established grade which complies with the height requirements of Section 21.30.060 (Height Limits and Exceptions) in the NBMC.
2. The neighborhood is predominantly developed with two- and three-story multi-unit residences. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development.
3. The Property is located inland in a beach-front developed area abutting East Ocean Front boardwalk and the beach. The Property is approximately 2,700 feet from the Balboa Pier and Peninsula Park. Additionally, the Property is approximately 940 feet south of the bay.

4. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
5. The Property is not located adjacent to a Coastal View Road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is located at the West Jetty View Park, which is not visible from the site as it is located approximately 2,300 feet east of the Property. As currently developed, the existing property is not located within the view shed of the park and pier. The proposed single-unit residence complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Additionally, the Project does not contain any unique features that could degrade the visual quality of the coastal zone.

Finding:

- B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the Project creates a new single-unit residence to an existing R-1 zoned lot. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. The Project is not located near a Public Beach Access point as identified in the CLUP. Vertical access to the beach is available adjacent to the site along East Ocean Front, approximately 5 feet south of the Property abutting a public boardwalk on East Ocean Front. Lateral access is available on the East Ocean Front public boardwalk. The Project does not include any features that would obstruct access along these routes.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303

under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

2. The Zoning Administrator of the City of Newport Beach hereby approves Coastal Development Permit filed as PA2026-0011, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 LCP Implementation Plan, of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 30TH DAY OF APRIL 2026.

Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

(Project-specific conditions are in italics)

1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
3. Demolition beyond the approved scope of work requires planning division approval before the commencement of work. Approval of revisions to project plans is not guaranteed. Any changes in the current scope of work may require the entire structure to be demolished and redeveloped in conformance with the current Zoning Code Development Standards.
4. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
5. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
6. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in

confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.

7. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
8. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
9. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
10. The project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
11. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this CDP.
12. This CDP may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
13. *Before the issuance of building permits, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
14. *Before the issuance of building permits, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
15. *Before the issuance of building permits, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
16. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

17. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
18. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control), under Sections 10.26.025 (Exterior Noise Standards) and 10.26.030 (Interior Noise Standards), and other applicable noise control requirements of the Newport Beach Municipal Code (NBMC).
19. Before the issuance of the building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
20. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
21. This Coastal Development Permit No. PA2026-0011 shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
22. To the fullest extent permitted by law, the Applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Haupt Residence, including but not limited to Coastal Development Permit No. PA2026-0011**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of the City's costs, attorney's fees, and damages that which the City incurs in enforcing the indemnification provisions set forth in provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Fire Department

23. *The Project shall require the installation of fire sprinklers, complying with the 2022 NFPA 13D standards, unless otherwise directed by the Fire Department.*
24. *At least one unobstructed walk path from the front to the rear of the property at a minimum of 36 inches wide shall be required for emergency access.*

Public Works Department

25. *No gates shall be permitted to encroach or swing onto the East Ocean Front or alley right-of-way.*
26. *The Applicant shall install a new sewer cleanout on the existing sewer lateral per City Standard 406.*
27. *No encroachments shall be permitted within the East Ocean Front or alley right-of-way.*

Building Division

28. *The Applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent City-adopted version of the California Building Code (CBC).*

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. (PA2026-0011)
1560 East Ocean Front

Attachment No. ZA 3

Project Plans

SYMBOLS LEGEND:

- [A] --- WINDOW (SEE SCHEDULE SHEET # 5)
- [1] --- DOOR (SEE SCHEDULE SHEET # 5)
- [I] --- REFERENCE NOTES (SEE SHEET # 5)

NOTES:

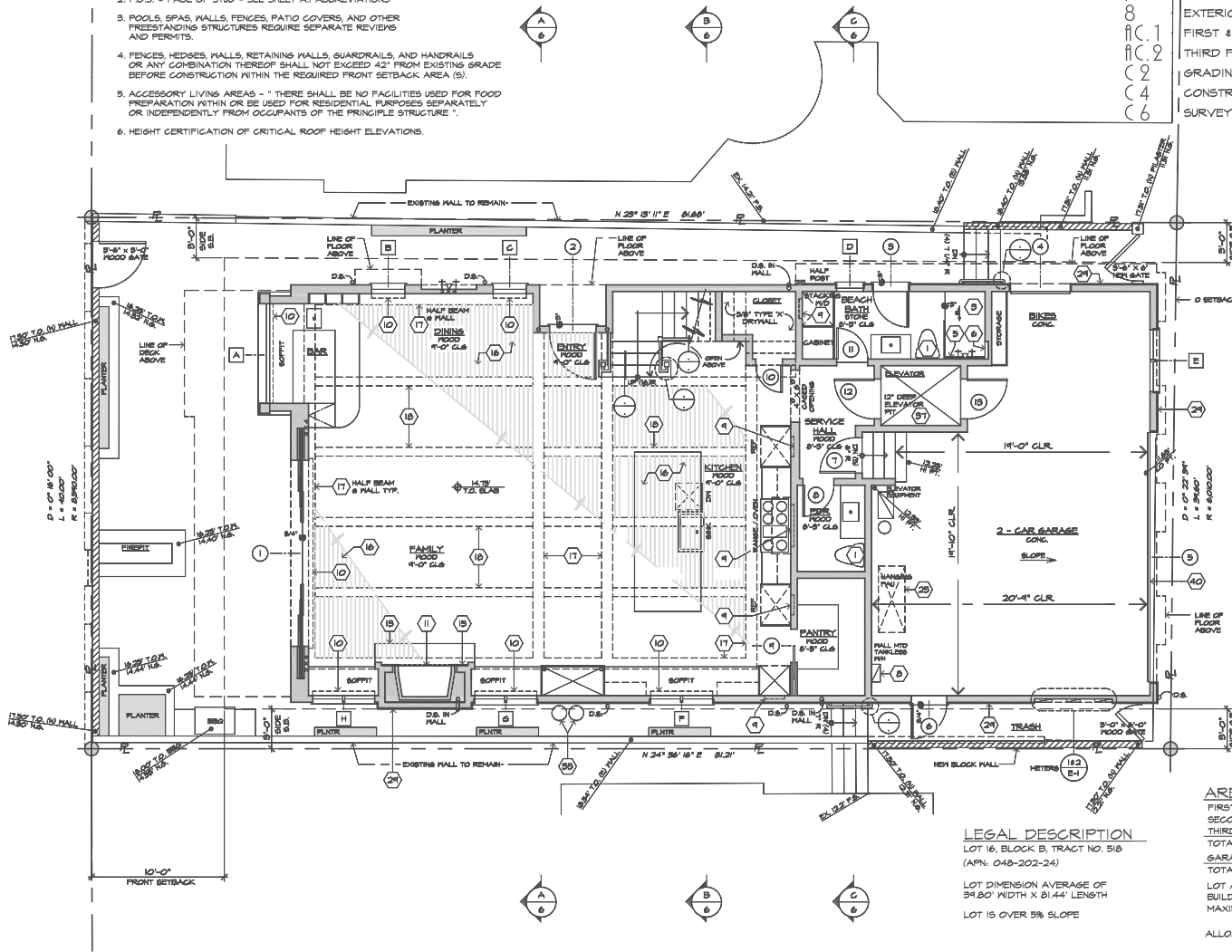
1. SEE SHEET # 5 FOR FLOOR PLAN GENERAL NOTES
2. F.O.S. = FACE OF STUD - SEE SHEET A.I) ABBREVIATIONS
3. POOLS, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
4. FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS, AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42" FROM EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA (5).
5. ACCESSORY LIVING AREAS - " THERE SHALL BE NO FACILITIES USED FOR FOOD PREPARATION WITHIN OR BE USED FOR RESIDENTIAL PURPOSES SEPARATELY OR INDEPENDENTLY FROM OCCUPANTS OF THE PRINCIPLE STRUCTURE ".
6. HEIGHT CERTIFICATION OF CRITICAL ROOF HEIGHT ELEVATIONS.

SHEET INDEX

- 1 · SITE / FIRST FLOOR PLAN
- 2 · SECOND FLOOR PLAN
- 3 · THIRD FLOOR PLAN
- 4 · ROOF PLAN
- 5 · DOOR & WINDOW SCHEDULE & REFERENCE NOTES
- 6 · SECTIONS
- 7 · SECTION & EXTERIOR ELEVATION
- 8 · EXTERIOR ELEVATIONS
- AC.1 · FIRST & SECOND FLOOR AREA CALCULATION PLANS
- AC.2 · THIRD FLOOR & ROOF AREA CALCULATION PLANS
- C.2 · GRADING PLAN
- C.4 · CONSTRUCTION POLLUTION PREVENTION PLAN
- C.6 · SURVEY

OCEAN FRONT

ALLEY



LEGAL DESCRIPTION

LOT 16, BLOCK B, TRACT NO. 518
 (APN: 048-202-24)
 LOT DIMENSION AVERAGE OF
 34.20' WIDTH X 81.44' LENGTH
 LOT IS OVER 5% SLOPE

AREA CALCULATIONS

FIRST FLOOR LIVING:	=	1454.02 SQ. FT.
SECOND FLOOR LIVING:	=	1422.31 SQ. FT.
THIRD FLOOR LIVING:	=	824.00 SQ. FT.
TOTAL LIVING AREA:	=	3,700.34 SQ. FT.
GARAGE:	=	585.57 SQ. FT.
TOTAL BUILDING AREA:	=	4,285.96 SQ. FT.
LOT AREA:	=	5,241 SQ. FT.
BUILDABLE LOT AREA:	=	2,416 SQ. FT.
MAXIMUM BUILDABLE LOT AREA:	2,416 x 2.0 =	4,832 SQ. FT.

ALLOWABLE THIRD FLOOR CONDITIONED AREA:	2,416 X .15 =	324 SQ. FT.
THIRD FLOOR OPEN DECK:	=	482 SQ. FT.
THIRD FLOOR COVERED DECK:	=	249 SQ. FT.
ROOF AREA: (2,416 X 50%)	=	1,208 SQ. FT. ALLOWED
ROOF AREA: (PROPOSED)	=	667.00 SQ. FT.
OPEN VOLUME REQUIRED	2,416 X .15 =	324 SQ. FT.
OPEN VOLUME PROVIDED	=	321.06 SQ. FT.
LANDSCAPE AREA:	=	97 SQ. FT.

SITE / FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



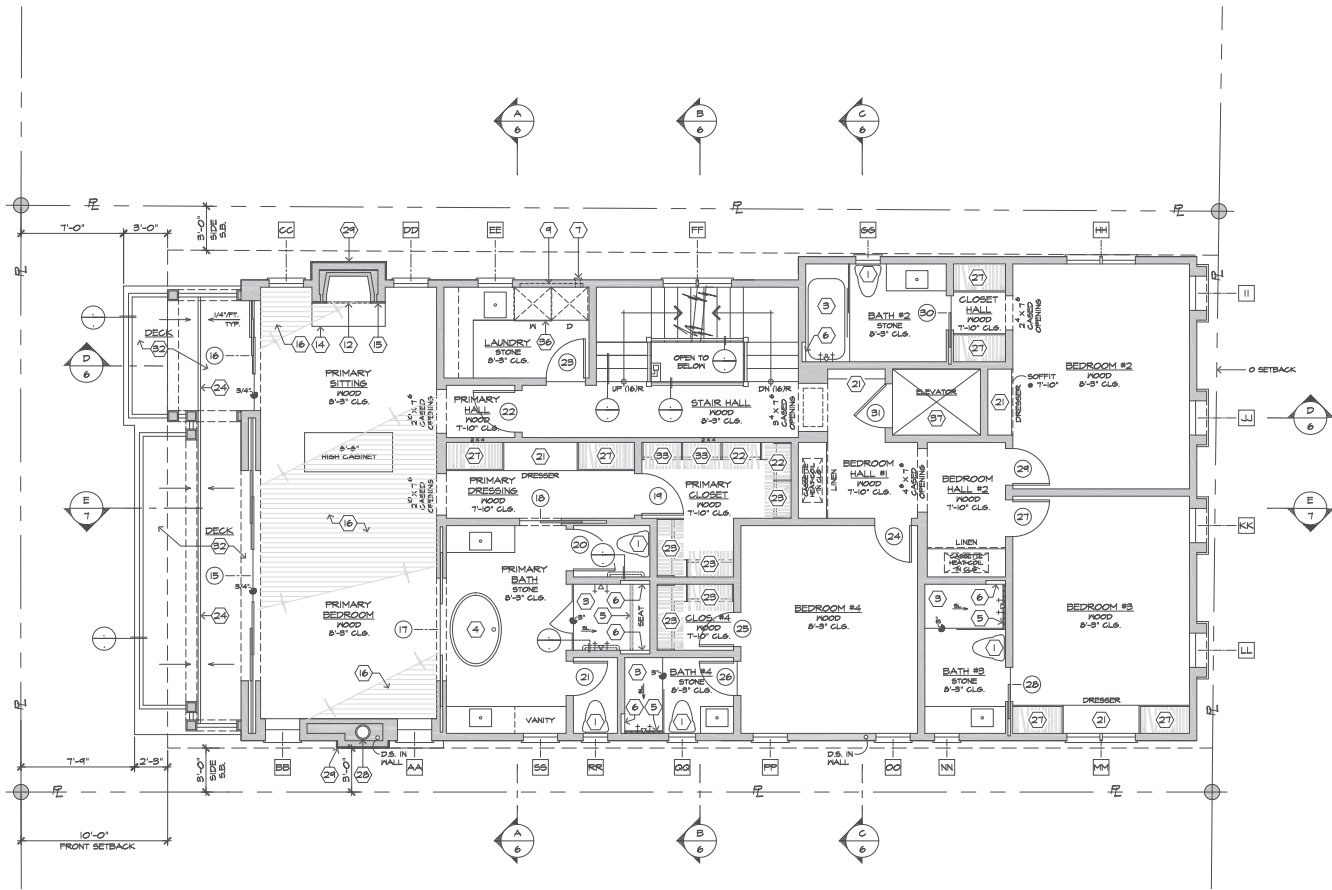
WILLIAM SELBERT ARCHITECTS
 1560 E Oceanfront, Newport Beach, CA 92661
 (949) 812-7950

A New Home for:
 The Haupterts

SITE / FIRST FLOOR PLAN

DATE
 3-2-2026





SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND:

- [A] --- WINDOW (SEE SCHEDULE SHEET # 5)
- [1] --- DOOR (SEE SCHEDULE SHEET # 5)
- [1] --- REFERENCE NOTES (SEE SHEET # 5)

NOTES:

1. SEE SHEET # 5 FOR FLOOR PLAN GENERAL NOTES
2. F.O.S. = FACE OF STUD - SEE SHEET A1 ABBREVIATIONS



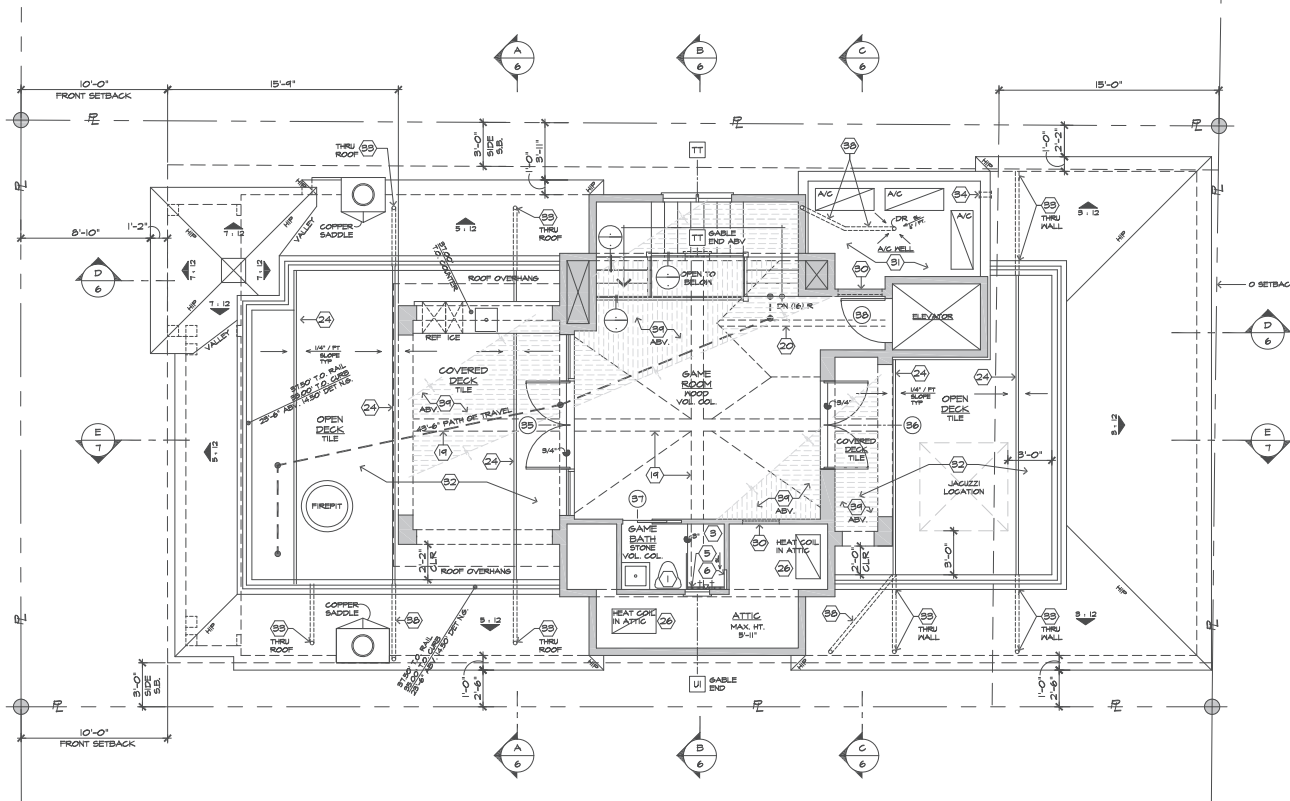
WILLIAM BELET ARCHITECTS
 1560 E COASTAL FLOOR, NEWPORT BEACH, CA 92661
 (949) 812-7950

A New Home for:
The Haupters

SECOND FLOOR PLAN

DATE
 COASTAL 2-26-2026





THIRD FLOOR PLAN



SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES

1. ROOFING MATERIAL TO BE CLASS 'A' ASSEMBLY, SYNTHETIC SLATE SHINGLE RANDOM WIDTH, BEDFORD BLACK. VERIFY W/ OWNER. U/L ER # 18420.02. O/ (2) LAYERS GRADE 1" PAPER O/ ROOFING PLYWOOD. ALL ROOFS WITH PITCHES LESS THAN 3:12 SHALL HAVE "HOT NIP" UNDER ROOFING MATERIAL.
2. ALL ROOF FLASHINGS TO BE COPPER FLASHING THROUGHOUT: VALLEYS, SADDLES, DRIP, GUTTER, Z-BAR, ECT.
3. NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/50 OF THE ATTIC AREA.
4. OPENINGS SHALL HAVE COPPER WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX. OPENING. MATCH ROOF COLOR.



WILLIAM SELDIN ARCHITECTS
 1000 17TH AVENUE, SUITE 100
 NEWPORT BEACH, CA 92661
 (949) 440-1111

A New Home for:
The Haupters
 1560 E Oceanfront, Newport Beach, CA 92661
 (949) 812-7950

THIRD FLOOR PLAN

DATE: 2-26-2026

3

SYMBOLS LEGEND:

- [A] --- WINDOW (SEE SCHEDULE SHEET # 5)
- [D] --- DOOR (SEE SCHEDULE SHEET # 5)
- [1] --- REFERENCE NOTES (SEE SHEET # 5)

NOTES:

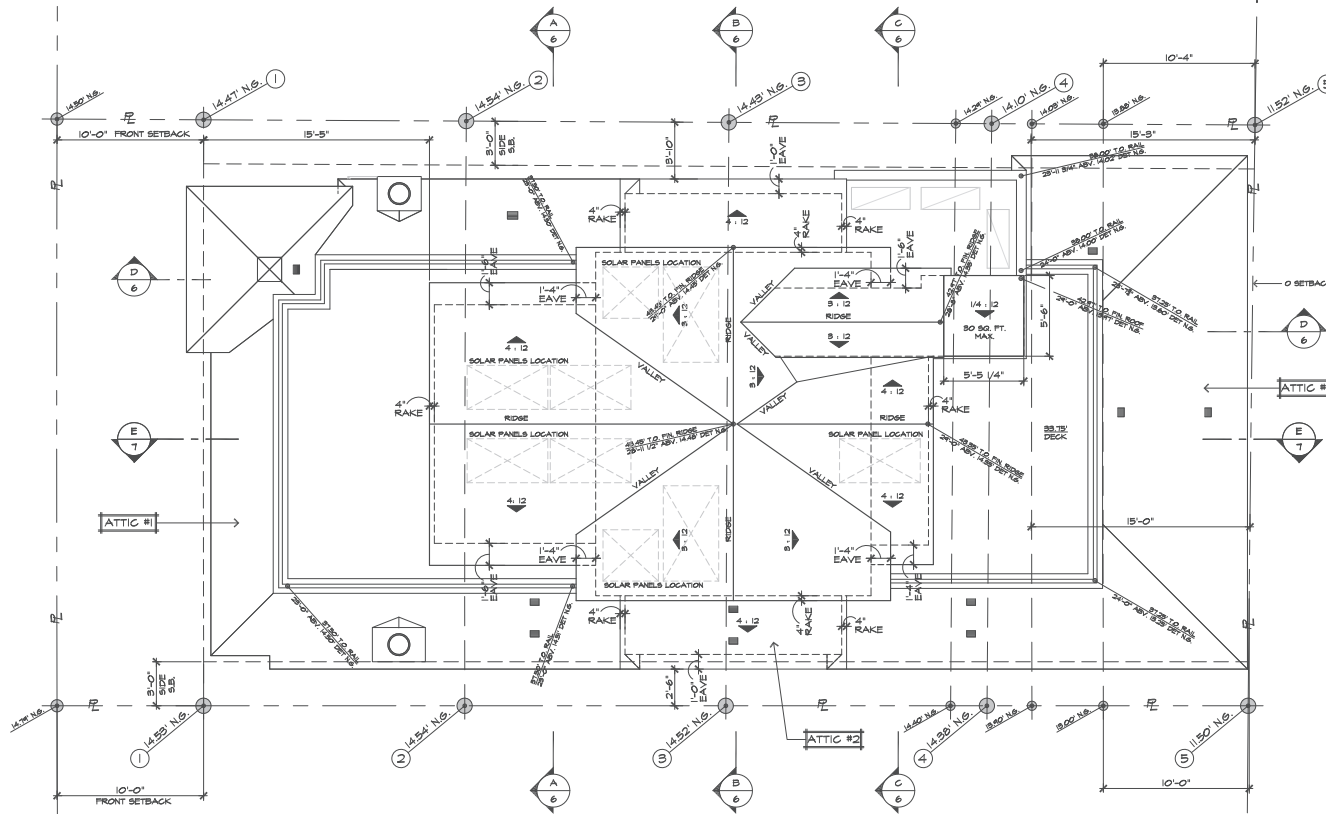
1. SEE SHEET # 5 FOR FLOOR PLAN GENERAL NOTES
2. F.O.S. = FACE OF STUD - SEE SHEET A1 ABBREVIATIONS

ROOF PLAN NOTES

1. ROOFING MATERIAL TO BE CEDAR SHINGLES CLASS 'A' ASSEMBLY, F.S.R. TREATMENT, E.S.R. # 1410, 0/ (2) LAYERS GRADE 'D' PAPER 0/ ROOFING FLYWOOD. ALL ROOFS WITH PITCHES LESS THAN 5:12 SHALL HAVE 'HOT NAIL' UNDER ROOFING MATERIAL.
2. ALL ROOF FLASHINGS TO BE COPPER FLASHING THROUGHOUT - VALLEYS, SADDLES, DRIP, GUTTER, Z-BAR, EGT.
3. NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/50 OF THE ATTIC AREA.
4. OPENINGS SHALL HAVE COPPER WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX. OPENING. MATCH ROOF COLOR.

ATTIC VENT CALCULATION

- ATTIC AREA #1 = 165 SQ. FT. X 144 OF ATTIC = 23760 SQ. IN. / 150 SOUTH HANBARD = 158 SQ. IN. OF FREE AIR VENTILATION REQUIRED USE (4) FLAT COPPER VENTS = 200 SQ. IN.
- ATTIC AREA #2 = 48 SQ. FT. X 144 OF ATTIC = 6912 SQ. IN. / 150 THIRD FLOOR SHED = 46 SQ. IN. OF FREE AIR VENTILATION REQUIRED USE (2) COPPER DOWNER VENTS = 100 SQ. IN.
- ATTIC AREA #3 = 260 SQ. FT. X 144 OF ATTIC = 37440 SQ. IN. / 150 NORTH HANBARD = 248 SQ. IN. OF FREE AIR VENTILATION REQUIRED USE (5) COPPER DOWNER VENTS = 100 SQ. IN.
- FLAT COPPER VENT = 50 SQ. IN. FREE AIR VENTILATION PROVIDED



ROOF PLAN

SCALE: 1/4" = 1'-0"



WILLIAM SELDIN ARCHITECTS
1000 AVENUE OF THE STARS, SUITE 1000
FARMINGTON, CONNECTICUT 06030
(860) 271-1111

A New Home for:
The Haupterts
1560 E Oceanfront, Newport Beach, CA 92661
(949) 812-7950

ROOF PLAN
DATE
4-1-2026

DRAWN BY
4

WINDOW SCHEDULE						
FLRSYM	SIZE	OPERATION	GLAZ'G	MANUF.	REMARKS	
I O O I I O I I I	A	7'-6" x 5'-6"	OVERHEAD SECTIONAL	LOW E TEMP.	'RELUITA'	
	B	2'-4" x 4'-6"	CASEMENT	LOW E	'MARVIN'	
	C	2'-4" x 4'-6"	CASEMENT	LOW E		
	D	2'-0" x 2'-6"	CASEMENT	LOW E		
	E	4'-0" x 4'-6"	PR. CASEMENT	LOW E		
	F	4'-0" x 4'-6"	PR. CASEMENT	LOW E		
	G	4'-0" x 4'-6"	PR. CASEMENT	LOW E		
	H	4'-0" x 4'-6"	PR. CASEMENT	LOW E		
I O O I I O I I I I I I I I I	AA	2'-4" x 4'-6"	CASEMENT	LOW E	'MARVIN'	
	BB	2'-4" x 4'-6"	CASEMENT	LOW E		
	CC	2'-4" x 4'-6"	CASEMENT	LOW E		
	DD	2'-4" x 4'-6"	CASEMENT	LOW E		MEETS EGRESS 42" HIGH MAX. SILL
	EE	2'-4" x 4'-6"	CASEMENT	LOW E		
	FF	4'-0" x 4'-6"	PR. CASEMENT	LOW E TEMP.		
	GG	1'-8" x 5'-0"	CASEMENT	LOW E		
	HH	4'-0" x 4'-6"	PR. CASEMENT	LOW E		MEETS EGRESS 42" HIGH MAX. SILL
	II	2'-4" x 4'-6"	CASEMENT	LOW E		WITH RESTRICTION
	JJ	2'-4" x 4'-6"	CASEMENT	LOW E		WITH RESTRICTION
	KK	2'-4" x 4'-6"	CASEMENT	LOW E		WITH RESTRICTION
	LL	4'-0" x 4'-6"	PR. CASEMENT	LOW E		MEETS EGRESS 42" HIGH MAX. SILL
	MM	1'-8" x 5'-0"	CASEMENT	LOW E		
	NN	2'-4" x 4'-6"	CASEMENT	LOW E		MEETS EGRESS 42" HIGH MAX. SILL
	OO	2'-4" x 4'-6"	CASEMENT	LOW E		
PP	2'-4" x 4'-6"	CASEMENT	LOW E			
QQ	1'-8" x 5'-0"	CASEMENT	LOW E			
RR	1'-8" x 5'-0"	CASEMENT	LOW E			
SS	2'-4" x 4'-6"	CASEMENT	LOW E			
I O O I I	TT	4'-0" x 4'-6"	PR. CASEMENT	LOW E TEMP.	'MARVIN'	
	UU	10' x 16'	FIXED	LOW E		AT GABLE
	VV	10' x 16'	FIXED	LOW E		AT GABLE

GENERAL DOOR & WINDOW NOTES:

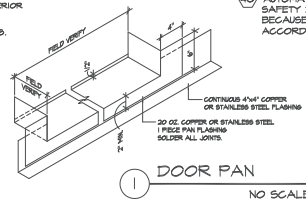
- ALL WINDOWS TO BE 'MARVIN' ALUMINUM GLAZ, CHARCOAL W/ PRIME PRIMED INTERIOR. U.O. ALL DOORS TO BE STEEL, CHARCOAL COLOR. VERIFY COLOR OF HARDWARE W/ OWNER UNLESS NOTED OTHERWISE.
- GLAZING IN DOORS AND WINDOWS IS TO BE DUAL PANELED U.O..
- ALL GLASS SHALL CONFORM TO THE RELATED PROVISIONS OF FEDERAL SPECIFICATION D20-6-1403 FOR TEMPERED GLASS. GLAZING SHALL CONFORM TO PROVISION OF THE 'SAFETY' STANDARD FOR ARCHITECTURAL GLAZING MATERIAL (16CFR 1201).
- PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

'MARVIN' SWINGING DOORS	②②	②②	U-VALUE	= 0.30	SHGC	= 0.15
'MARVIN' SLIDING DOORS	①	①	U-VALUE	= 0.24	SHGC	= 0.19
'MARVIN' WINDOWS CASEMENT	②	②	U-VALUE	= 0.24	SHGC	= 0.17
'RELUITA' WINDOWS OVERHEAD SECTIONAL	①	①	U-VALUE	= 0.41	SHGC	= 0.21
- SEE TITLE-24 ENERGY CALCULATIONS FOR GLAZING AND WEATHERSTRIPPING SPECIFICATIONS AND REQUIREMENTS.
- APPLIED 7/8" MANTIN BARS WITH INTERIOR SPACE BAR. MANTIN PATTERNS MAY VARY FOR SIMILAR WINDOWS. SEE EXTERIOR ELEVATIONS FOR MANTIN BAR GRID PATTERN.
- ALL WINDOWS ARE TO HAVE SCREENS.
- ALL DOORS, WINDOWS AND HARDWARE SHALL CONFORM TO CITY RESIDENTIAL SECURITY REGULATIONS AND ORDINANCES.
- ALL TEMPERED GLASS AT DOORS AND WINDOWS ARE TO BE ETCH MARKED PER C.B.C. 2406.3
- ALL WINDOWS SHALL COMPLY WITH EGRESS REQUIREMENTS (MIN. 5.7 SQ. FT., MIN. WIDTH 20" CLEAR, MIN. HT. 24" CLEAR, AND 44" MAX. SILL HEIGHT ABOVE FINISH FLOOR). ALL BEDROOMS SHALL HAVE AT LEAST ONE DOOR OR OPERABLE WINDOW FOR EMERGENCY ESCAPE. PER C.B.C. 1026.1, 1026.2, 1026.2.1, & 1026.3
- ALL EXTERIOR DOORS TO HAVE A STAINLESS STEEL PAN UNDERNEATH THRESHOLD. ALL SLIDING DOOR W/ T. SILL DRAIN TRACK (OPTION TO BE DETERMINED). SEE DETAIL (1)
- DOORS AND WINDOWS SHALL BE ORDERED AFTER FRAMING IS COMPLETE.

DOOR SCHEDULE					
FLRSYM	SIZE	THK	OPERATION	GLAZ'G	REMARKS
I O O I I O I I I I I I I I I	①	14'-0" x 8'-6"	S.G. SLIDING IN POCKET	LOW E TEMP.	(B) 2'-4" x 8'-6" SIDING GLASS DOOR PANELS IN POCKET EACH SIDE
	②	8'-6" x 8'-0"	ENTRY DUTCH S.G. SWINGS	LOW E TEMP.	W/ 4" UPPER LITES
	③	2'-0" x 8'-0"	S.G. SWINGS	LOW E TEMP.	W/ NATURAL WOOD LOVERED W/ UPPER LITES
	④	4'-6" x 8'-0"	OVERHEAD SECTIONAL		W/ NATURAL WOOD LOVERED W/ UPPER LITES
	⑤	18'-0" x 8'-0"	OVERHEAD SECTIONAL		W/ NATURAL WOOD LOVERED W/ UPPER LITES
	⑥	2'-0" x 8'-6"	S.G. SWINGS	LOW E TEMP.	W/ NATURAL WOOD LOVERED W/ UPPER LITES
	⑦	2'-0" x 8'-0"	S.G. SWINGS	1.5/4"	20 MIN. RATED, SELF CLOSING, SELF LATCHING
	⑧	2'-4" x 8'-0"	S.G. SWINGS	1.5/4"	4 PANEL, PAINT GRADE
	⑨	2'-0" x 8'-0"	S.G. SWINGS	1.5/4"	4 PANEL, PAINT GRADE
	⑩	2'-4" x 8'-0"	S.G. SWINGS	1.5/4"	4 PANEL, PAINT GRADE
	⑪	2'-0" x 8'-0"	S.G. SWINGS	1.5/4"	4 PANEL, PAINT GRADE
	⑫	3'-0" x 8'-0"	S.G. SWINGS	1.5/4"	4 PANEL, PAINT GRADE
	⑬	3'-0" x 8'-0"	S.G. SWINGS	1.5/4"	20 MIN. RATED, SELF CLOSING, SELF LATCHING 4 PANEL, PAINT GRADE
	⑭	14'-0" x 8'-0"	S.G. SLIDING IN POCKET	LOW E TEMP.	(B) 2'-4" x 8'-0" SIDING GLASS DOOR PANELS IN POCKET EACH SIDE
	⑮	7'-6" x 8'-0"	SLIDING GLASS	LOW E TEMP.	(D) 2'-4" x 8'-0" FIXED GLASS DOOR PANELS IN POCKET
⑯	7'-0" x 7'-6"	PR. S.G. SLIDING IN POCKET	1.5/4"	PAINT GRADE, LOVERED	
⑰	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
⑱	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
⑲	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
⑳	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉑	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉒	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉓	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉔	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉕	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉖	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉗	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉘	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉙	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉚	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉛	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉜	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉝	2'-4" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉞	2'-0" x 7'-6"	S.G. SWINGS	1.5/4"	3/2" CLEAR WHEN OPEN	
㉟	12'-0" x 6'-10"	FRENCH W/ SIBELITE ELIUMICAL HEAD	LOW E TEMP.	8'-0" x 2 8'-0" PR. FRENCH DOORS W/ (1) 3'-0" x 8'-6" SIBELITE BA. SILE	
㊱	6'-0" x 6'-10" PR	FRENCH HIGH HEAD	LOW E TEMP.		
㊲	2'-0" x 6'-8"	S.G. SLIDING IN POCKET	1.5/4"	4 PANEL, PAINT GRADE	
㊳	3'-0" x 6'-8"	S.G. SWINGS	1.5/4"	4 PANEL, PAINT GRADE	

FLOOR PLAN GENERAL NOTES:

- USE 5/8" TYPE 'X' DRYWALL THROUGHOUT ENTIRE BUILDING GARAGE & RESIDENCE, ALSO UNDERNEATH STAIRS, SMOOTH FINISH.
- ALL WALLS ARE 2 X 6 FRAMED U.O.
- DOORS, WINDOWS AND CASED OPENINGS TO HAVE TRIM PER INTERIOR DESIGNER SELECTION.
- TYPICAL BASE TO BE 3/4" x 3 1/2" P.S. WOOD FLUSH W/ DRYWALL & RESLET VERIFY W/ INTERIOR DESIGNER.
- ALL WINDOW SILLS TO BE PAINT GRADE BIRCH, VERIFY W/ INTERIOR DESIGNER.
- ALL EXTERIOR AND INTERIOR WALLS TO HAVE R-21 INSULATION.
- ALL FLOORS & CEILINGS TO HAVE R-50 INSULATION.
- 'FACTORY'- BUILT FIREPLACES AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTRUCTIONS. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS (C.B.C. 802.2.2.4).
- 'PROVIDE A PERMANENTLY ANCHORED GASEOUS FUEL BURNING PAN TO THE FIREBOX OF A SOLID FUEL BURNING FIREPLACE.' SOLID FUEL BURNING FIREPLACE MUST COMPLY WITH THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES. CHIMNEY SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 8 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. R1003.4.
- 'DIRECT VENT GAS APPLIANCE FIREPLACE MUST COMPLY WITH THE CAL. GREEN CODE REQUIREMENTS AND MUST COMPLY WITH A.N.S.I. 223.50'
- ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL MINIMUM REQUIREMENTS.
- ATTIC SPACES GREATER THAN SIX FEET HIGH ARE NOT TO CONTAIN ANY AIR RESISTERS, ELECTRICAL OUTLETS OR LIGHTING OTHER THAN IS REQUIRED BY CODE. ALSO NOT TO CONTAIN ANY INSULATION, DRYWALL OR SIMILAR INTERIOR WALL FINISHING MATERIAL.
- WATERPROOFING CAN BE ADAPTED IN THE FUTURE TO 14.4' N.A.V.D. 88.



DOOR PAN
NO SCALE

FLOOR PLAN REFERENCE NOTES:

- LOW FLUSH TOILET (128 GALLONS / FLUSH) ; SEE SHEET 'A1' NOTE # 11
- CAST IRON TUB (W/ (3) FULL HT. STONE WALLS O/ CEMENT PLASTER CLEAR FRAMELESS TEMPERED SHOWER OR TUB ENCLOSURE) WHERE OCCURS.
- (2) OR (3) FULL HEIGHT STONE MALL O/ CEMENT PLASTER O/ HOP MOP SHOWER PAN W/ TEMP. GLASS SHOWER ENCLOSURE W/ FLOATING STONE SEAT (WHERE OCCURS)
- VOLCANIC ASH FREE STANDING TUB
- 2" TROUGH DRAIN, STAINLESS STEEL @ INTERIOR SHOWERS
- SHAMPOO SHELF
- 4" DIA. DRYER VENT CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14' WITH TWO ELBOWS. THIS SHALL BE REDUCED 2' FOR EVERY ELBOW IN EXCESS OF TWO OR IN ACCORDANCE WITH MANUFACTURER'S INSTALLATIONS INSTRUCTIONS. SHOW MINIMUM 4" DIA., SMOOTH METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. [B04.4 CMG] PROVIDE CONTINUOUS MAKEUP AIR FOR THE CLOTHES DRYER. [B04.4.1 CMG]
- WALL MTD TANKLESS GAS WATER HEATERS (SEE SHEET T24.0) 4'-0" CLR FROM SLAB. SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING. THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION AND THE 2022 CALIFORNIA PLUMBING CODE [R304.3.1 CMG]
- RECESS FOR STUBOUTS (WATER, DRAIN & VENT)
- SHADE POCKET
- FIREPLACE BY ' MASONLITE ' (MSFP 44-60), GAS FIREPLACE I.G.C. REPORT NO. E.S.R.-2401 A.N.S.I. Z21.50/CSA 2-22-2016 FOR DECORATIVE GAS APPLIANCES WOOD FUEL BURNING GASEOUS FIREPLACE W/ BOLTED LOG SET & APPROVED GLASS DOORS ' MCKENZIE PENDELTON '
- FIREPLACE BY ' MASONLITE ' (MSFP 36-60), GAS FIREPLACE I.G.C. REPORT NO. E.S.R.-2401 A.N.S.I. Z21.50/CSA 2-22-2016 FOR DECORATIVE GAS APPLIANCES WOOD FUEL BURNING GASEOUS FIREPLACE W/ BOLTED LOG SET & APPROVED GLASS DOORS ' MCKENZIE PENDELTON '
- 20" DEEP STONE FLUSH HEARTH (VERIFY W/ INTERIOR DESIGNER)
- 20" DEEP STONE RAISED FIREPLACE +14" (VERIFY W/ INTERIOR DESIGNER)
- STONE SURROUND @ FIREPLACE W/ WOOD MANTLE, VERIFY W/ INT. DESIGNER
- 1 X 4 T & 6 SQ. JOINT, SMOOTH PAINT GRADE WINDSOR ONE' ABOVE
- 10 X 6 FLAT PAINT GRADE, SMOOTH BEAM ABOVE (VERIFY W/ INTERIOR DESIGNER)
- 8 X 4 RIDGE BEAM, PAINT GRADE BEAM (VERIFY W/ INTERIOR DESIGNER)
- 8 X 4 FLAT CEDAR RIDGE BEAM ABOVE (VERIFY W/ INTERIOR DESIGNER)
- 6 X 4 FLAT SMOOTH CEDAR RIDGE BEAM ABOVE (VERIFY W/ INTERIOR DESIGNER)
- BUILT - IN CABINETS
- SINGLE POLE
- DOUBLE POLE
- COPPER 2" TROUGH DRAIN
- F.A.U. HANGING FROM CEILING, SEE TITLE 24, 48" FROM GARAGE FLOOR. (ANY PENETRATIONS THROUGH RATED WALLS SHALL COMPLY WITH R 502B REQUIREMENTS)
- F.A.U. IN ATTIC, SEE TITLE 24
- BUILT-IN CLOSET W/ DOUBLE POLE OR SINGLE POLE (VERIFY W/ INTERIOR DESIGNER)
- 6.1. FIREPLACE FLUE, 2" MIN. CLEAR BETWEEN FLUE AND COMBUSTIBLE MATERIAL
- 3/4" THICK ADHERED STONE VENEER O/ 7/8" EXTERIOR PLASTER (22)
- 30" x 30" BLIND LOW WALL ATTIC ACCESS DOOR
- GLASS 'A' NONCOMBUSTIBLE WATERPROOF DECKING MATERIAL BY ' MER-KOTE ' (MIRA FLEX II) DECKING SYSTEM E.S.R. #174. INSTALL PER MANUFACTURER REQUIREMENTS. FLYWOOD AT ALL EXTERIOR DECKS TO BE GLUED & SCREWED
- 3/4" THK. STONE PAVERS O/ CLASS 'A' NONCOMBUSTIBLE WATERPROOF DECKING MATERIAL BY ' MER-KOTE ' (MIRA FLEX II) DECKING SYSTEM E.S.R. #174. INSTALL PER MANUFACTURER REQUIREMENTS. FLYWOOD AT ALL EXTERIOR DECKS TO BE GLUED & SCREWED W/ PLATFORM LIFTS
- 3" x 4" COPPER OVERFLOW SCUPPER (BOTTOM OF SCUPPER 1" BELOW FINISH FLOOR)
- 3" x 8" COPPER DRAIN (3" x 4") W/ 3" x 4" OVERFLOW SCUPPER ON TOP (COMBO)
- WATER SOFTENER AND WATER FILTER
- COPPER ' SMITTY ' PAN UNDER WASKER W/ DRAIN TO OUTSIDE
- ELEVATOR BY FOX VALLEY ' EXCELEVATOR ' SERIES F114, VERIFY SIZE ' MC KINLEY ' OR APPROVED EQUAL. INSTALL PER MFR. SPECS. MIKE BURKE (949) 261 - 4222.
- 3" ABS DRAIN LINE IN FLOOR OR WALL FOR DECK DRAINS. 2% MINIMUM SLOPE
- 1 X 4 T & 6 SQ. JOINT, SMOOTH CEDAR BOARDING ABOVE
- AUTOMATIC GARAGE DOOR OPENERS INSTALLED IN A RESIDENCE MUST HAVE AN AUTOMATIC REVERSE SAFETY DEVICE AND A BATTERY BACKUP FUNCTION THAT IS DESIGNED TO OPERATE WHEN ACTIVATED BECAUSE OF AN ELECTRICAL OUTAGE. AUTOMATIC GARAGE DOOR OPENERS SHALL BE UL LISTED IN ACCORDANCE WITH UL ' 325 ' (R304.4.1 CMG)

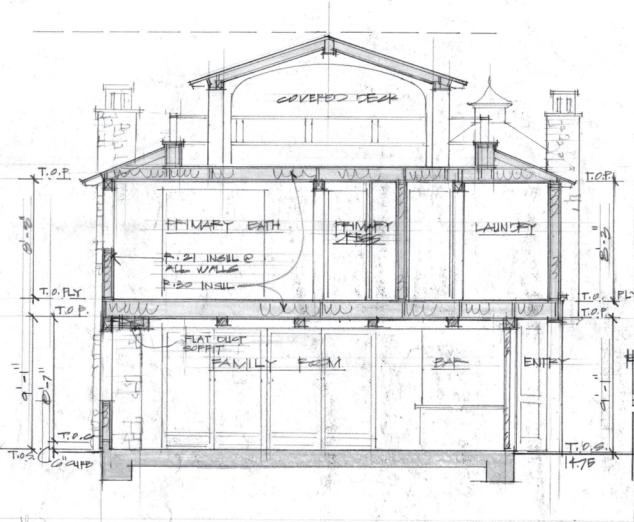


A New Home for:
The Haupters
1560 E Oceanfront, Newport Beach, CA 92661
(949) 812-7950

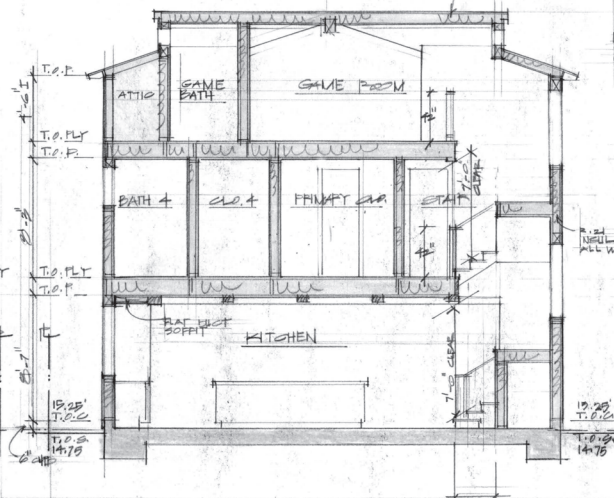
SCHEDULES
FLOOR PLAN
REFERENCE NOTES

DATE
2-26-2026

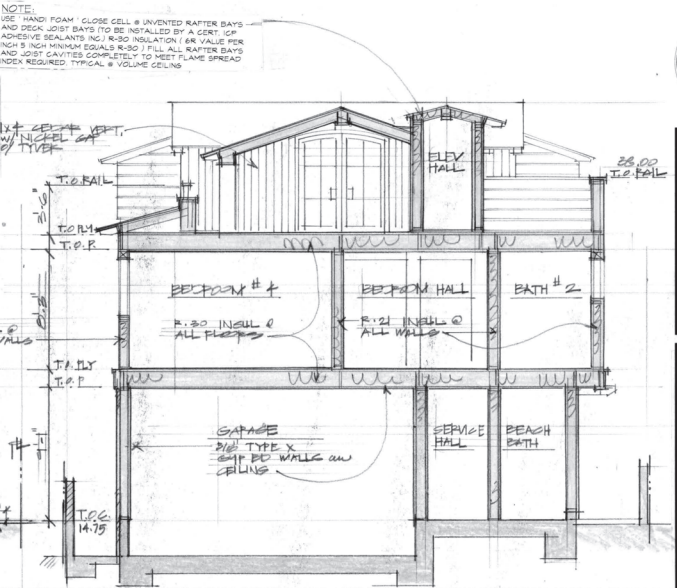




SECTION 14 1/4"=1'-0"



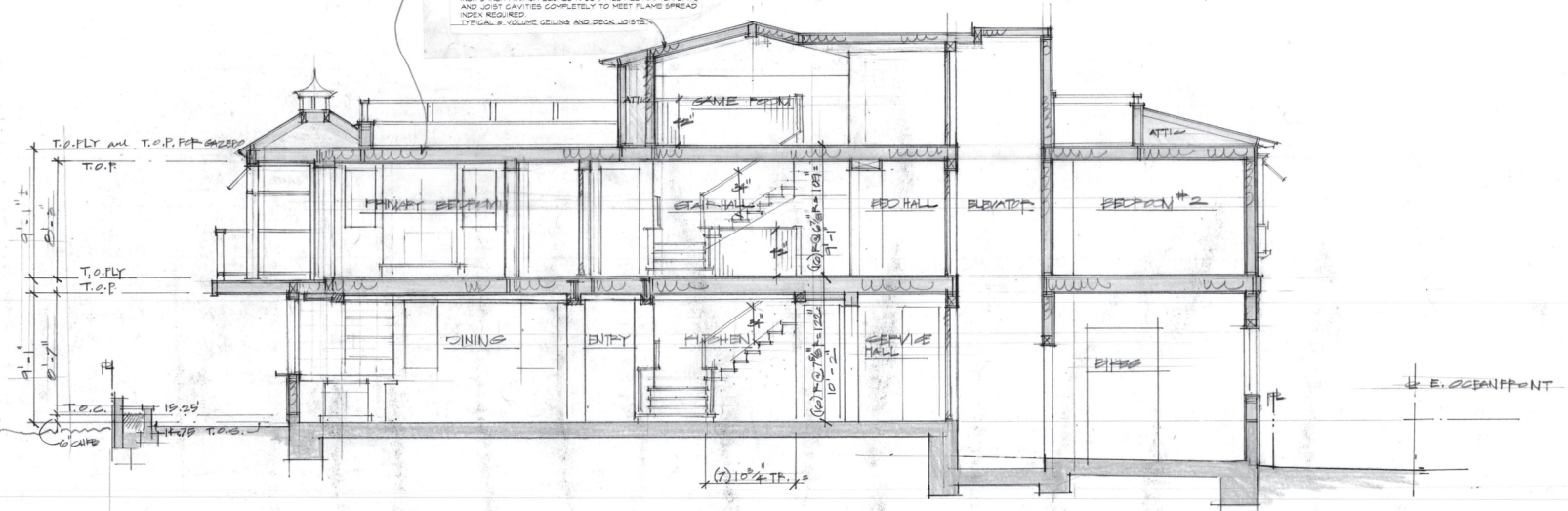
SECTION 15 1/4"=1'-0"



SECTION 16 1/4"=1'-0"

NOTE:
 USE "HANDI FOAM" CLOSE CELL 8 UNVENTED RAFTER BAYS
 AND DECK JOIST BAYS TO BE INSTALLED BY A CERT. ICF
 ADHESIVE SEALANTS INC. R-30 INSULATION (6R VALUE PER
 INCH 3 INCH MINIMUM EQUALS R-30) FILL ALL RAFTER BAYS
 AND JOIST CAVITIES COMPLETELY TO MEET FLAME SPREAD
 INDEX REQUIRED TYPICAL 8 VOLUME CEILING

NOTE:
 USE "HANDI FOAM" CLOSE CELL 8 UNVENTED RAFTER BAYS
 AND DECK JOIST BAYS TO BE INSTALLED BY A CERT. ICF
 ADHESIVE SEALANTS INC. R-30 INSULATION (6R VALUE PER
 INCH 3 INCH MINIMUM EQUALS R-30) FILL ALL RAFTER BAYS
 AND JOIST CAVITIES COMPLETELY TO MEET FLAME SPREAD
 INDEX REQUIRED
 TYPICAL 8 VOLUME CEILING AND DECK JOISTS



SECTION 17 1/4"=1'-0"

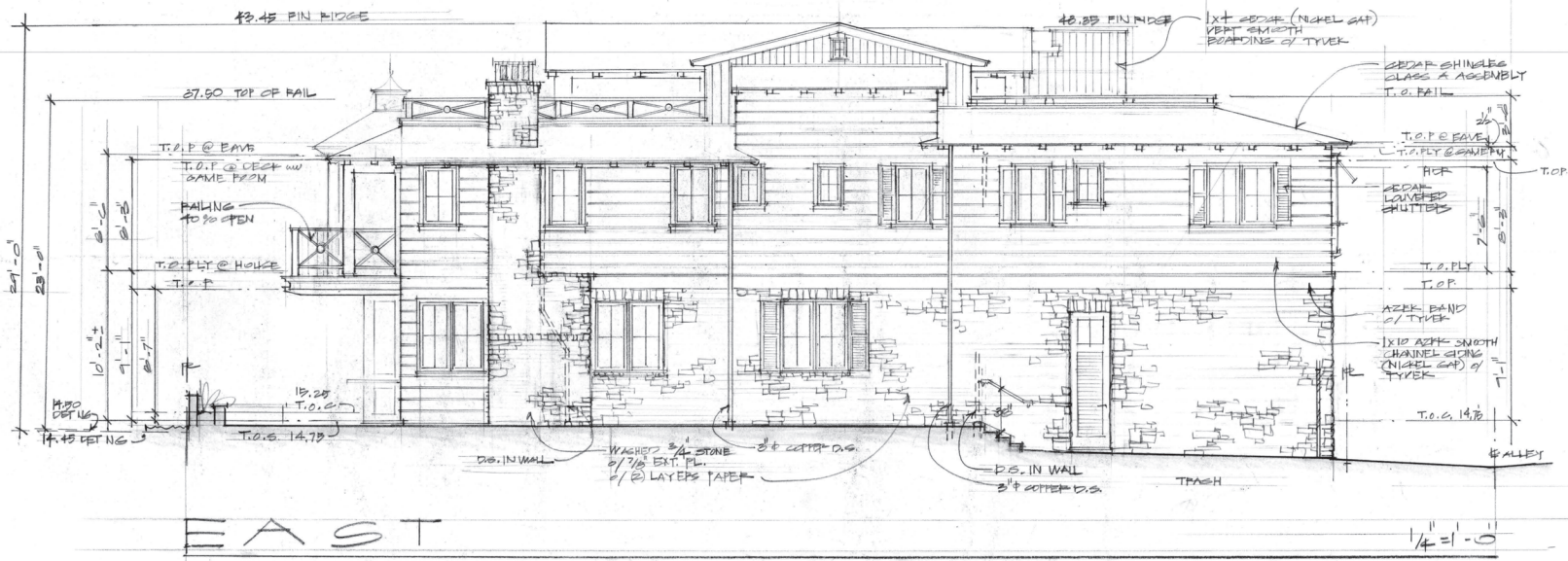
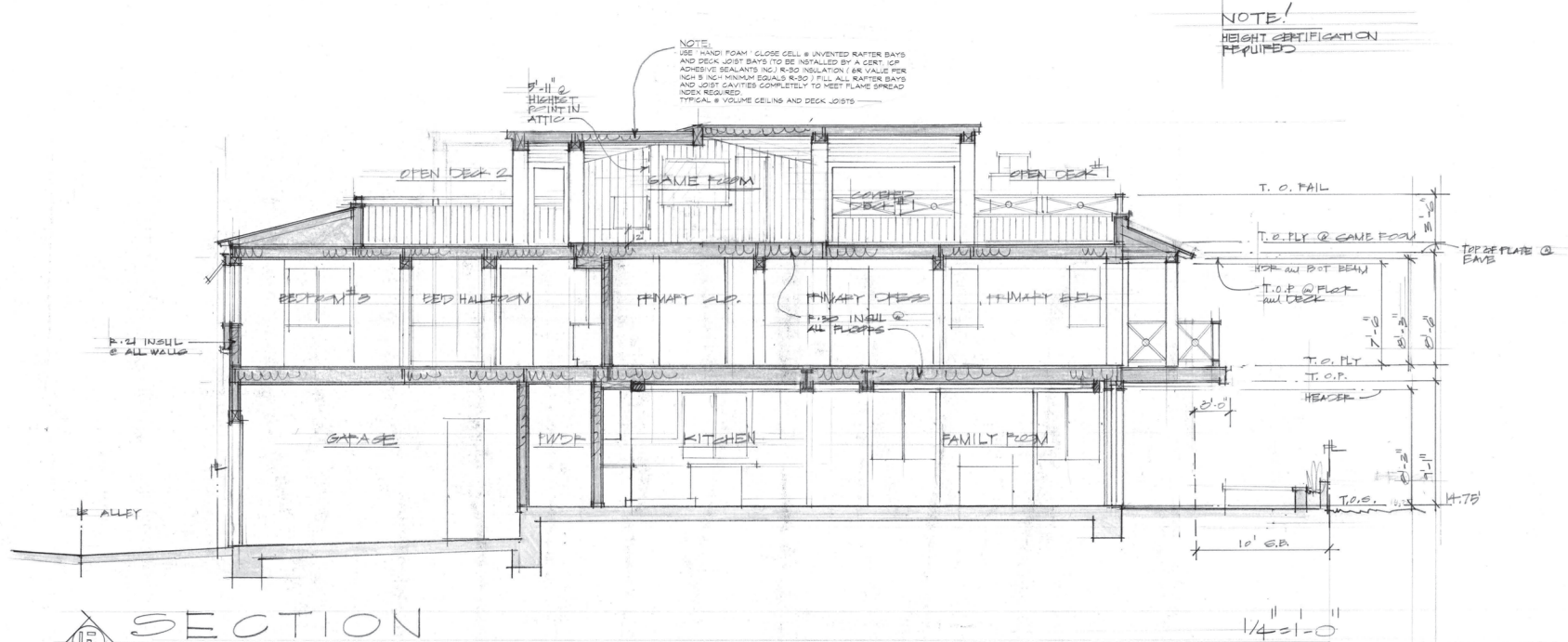
WILMA
 BUDEN
 CUIPERO
 PLANNING
 100 SOUTH 1000 TRANSPORT BLVD. OAKLAND, CA 94612

A New Home for:
 The Hauptserts

1556 E Oceanfront, Newport Beach, CA 92661 (714) 842-7580

DATE
 2.22.2016

6



WILLIAM
BEBEN
GUBERO
PLANNING
ARCHITECTURE
1550 E COASTFRONT, NOVATO, CALIFORNIA 94947
(415) 892-7980

A New Home for:
The Harperts
1550 E Coastfront, Novato, Calif., CA 94947
(415) 892-7980

DATE
8.20.2016

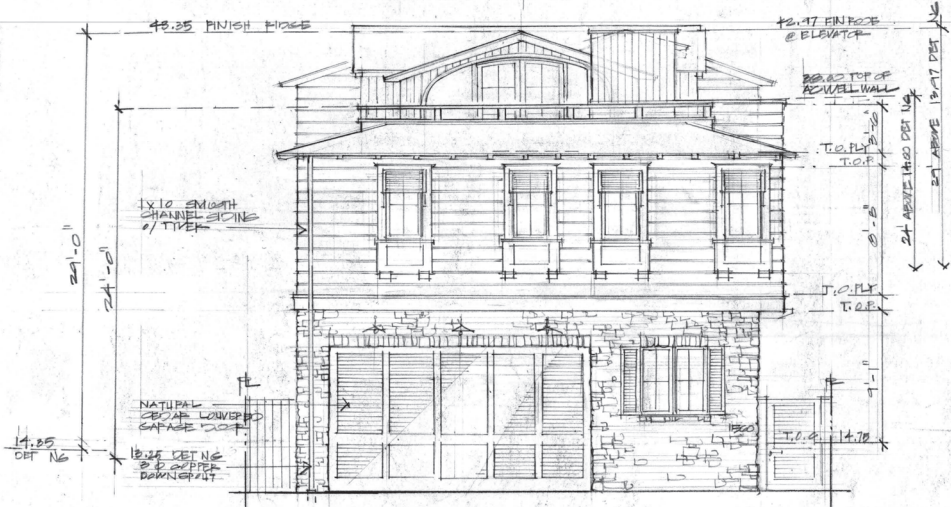
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NOTE!
HEIGHT CERTIFICATION
REQUIRED

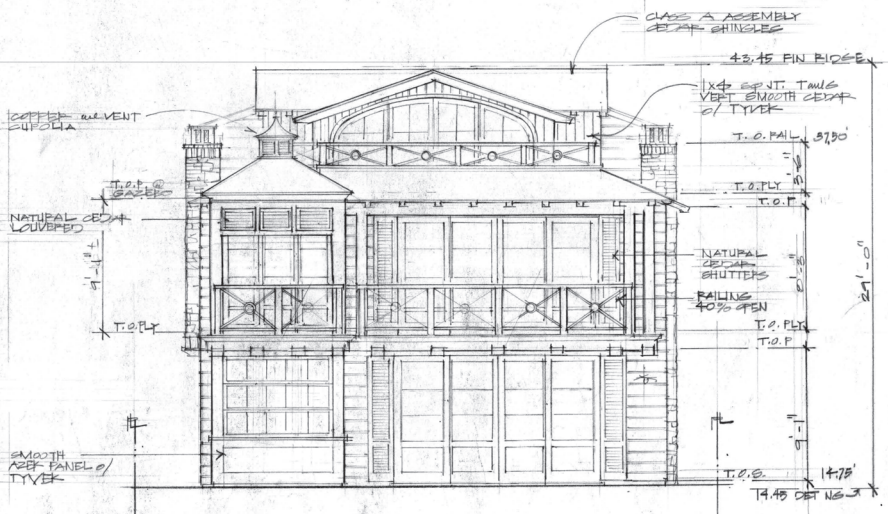


WEST (ENTRY SIDE)

1/4" = 1'-0"



NORTH (EAST OCEANFRONT)



SOUTH (BEACH FRONT)

1/4" = 1'-0"



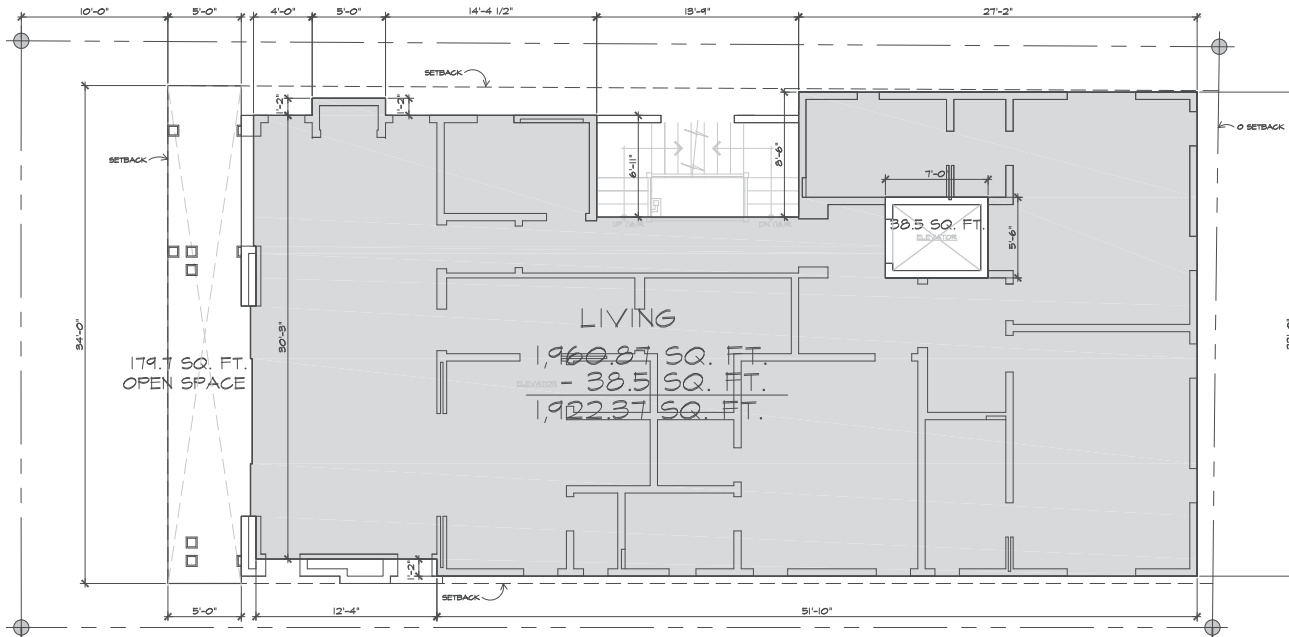
WILLIAM
BECHTEL
DUBERO
PLANNING
ARCHITECTURE
INTERIOR DESIGN

A New Home for:
The Hautports
4560 E Oceanfront, Newport Beach, CA 92661 (714) 812-7580



DATE
3.22.2009





AREA CALCULATIONS

FIRST FLOOR LIVING:	= 1,454.02 SQ. FT.
SECOND FLOOR LIVING:	= 1,422.37 SQ. FT.
THIRD FLOOR LIVING:	= 324.00 SQ. FT.
TOTAL LIVING AREA:	= 3,100.39 SQ. FT.
GARAGE:	= 585.57 SQ. FT.
TOTAL BUILDING AREA:	= 4,285.96 SQ. FT.
LOT AREA:	= 3,241 SQ. FT.
BUILDABLE LOT AREA:	= 2,416 SQ. FT.
MAXIMUM BUILDABLE LOT AREA: 2,416 x 2.0	= 4,832 SQ. FT.

ALLOWABLE THIRD FLOOR CONDITIONED AREA:
2,416 x .15 = 362 SQ. FT.

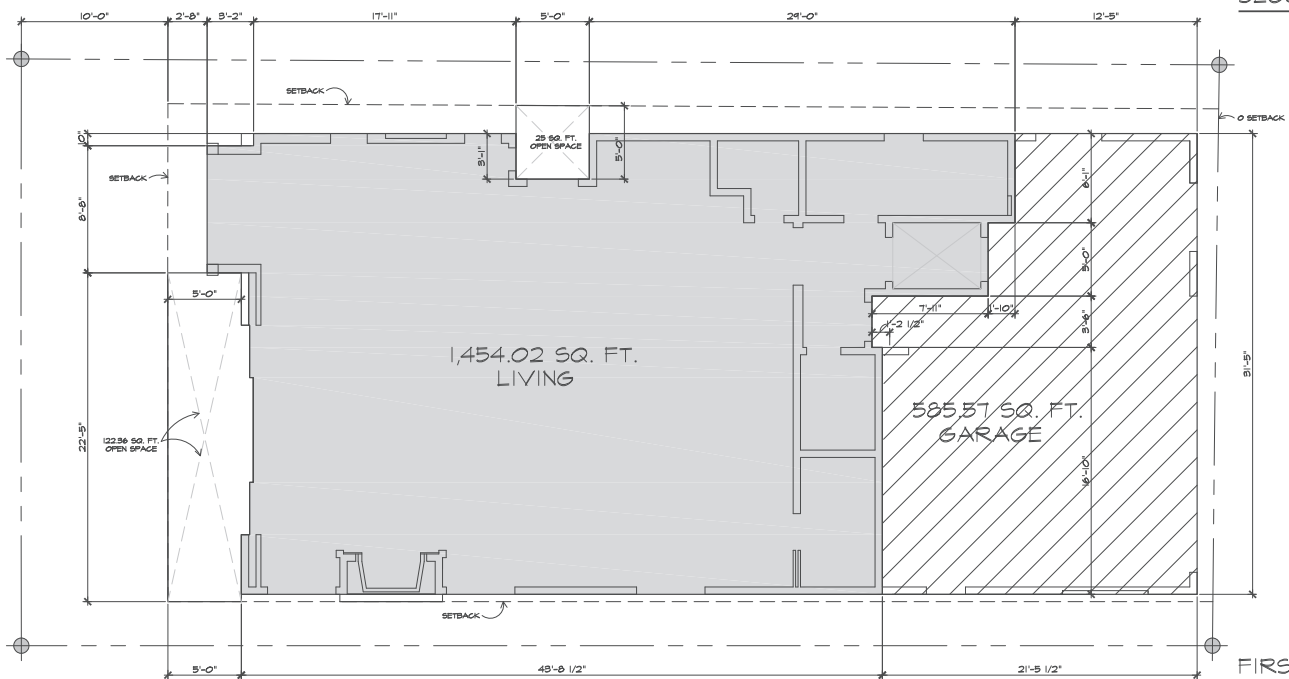
THIRD FLOOR OPEN DECK: = 482 SQ. FT.
THIRD FLOOR COVERED DECK: = 249 SQ. FT.

ROOF AREA: (2,416 x 50%) = 1,208 SQ. FT. ALLOWED
ROOF AREA: (PROPOSED) = 661.36 SQ. FT.

OPEN VOLUME REQUIRED 2,416 x .15 = 362 SQ. FT.
OPEN VOLUME PROVIDED = 321.06 SQ. FT.

SECOND FLOOR AREA CALCULATION PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR AREA CALCULATION PLAN

SCALE: 1/4" = 1'-0"



WILLIAM
ROBERT
CALDER
ARCHITECT
1550 E. OCEANFRONT, NEWPORT BEACH, CA 92664
(949) 812-7350

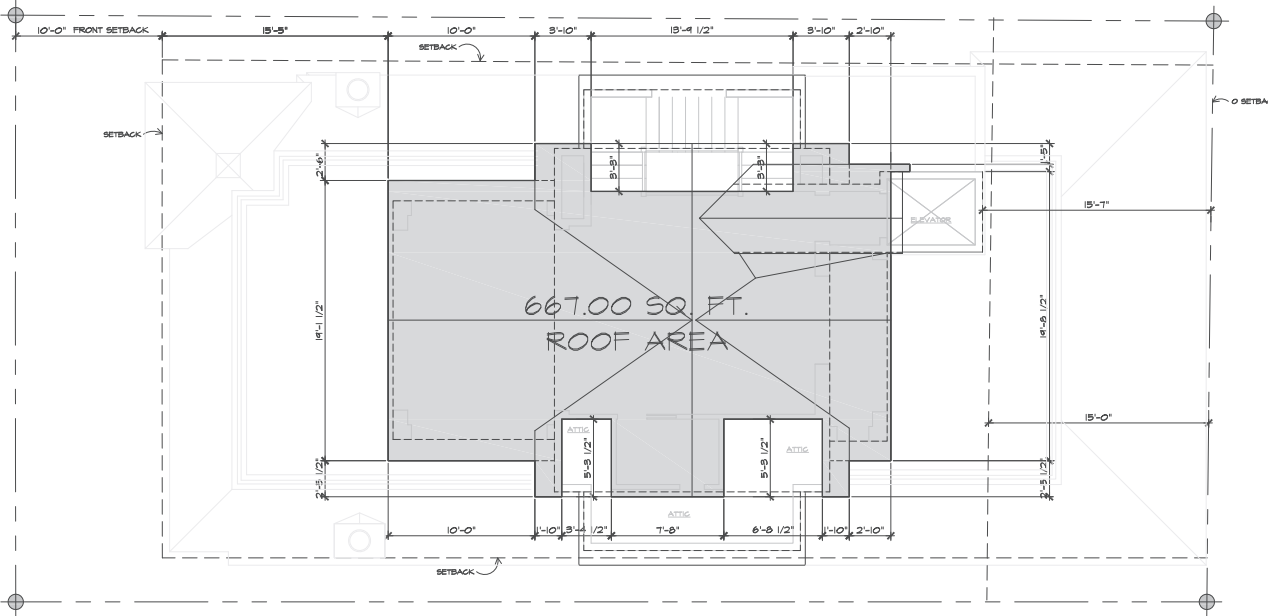
A New Home for:
The Haupterts
1550 E Oceanfront, Newport Beach, CA 92664
(949) 812-7350

FIRST FLOOR
& SECOND FLOOR
AREA CALCULATION
PLANS

DATE
2-17-2026

DRAWN BY





AREA CALCULATIONS

FIRST FLOOR LIVING:	= 1454.02 SQ. FT.
SECOND FLOOR LIVING:	= 1422.91 SQ. FT.
THIRD FLOOR LIVING:	= 324.00 SQ. FT.
TOTAL LIVING AREA:	= 3100.94 SQ. FT.
GARAGE:	= 585.57 SQ. FT.
TOTAL BUILDING AREA:	= 4285.96 SQ. FT.
LOT AREA:	= 3241 SQ. FT.
BUILDABLE LOT AREA:	= 2416 SQ. FT.
MAXIMUM BUILDABLE LOT AREA:	2,416 x 2.0 = 4,832 SQ. FT.

ALLOWABLE THIRD FLOOR CONDITIONED AREA:
2,416 x .15 = 362 SQ. FT.

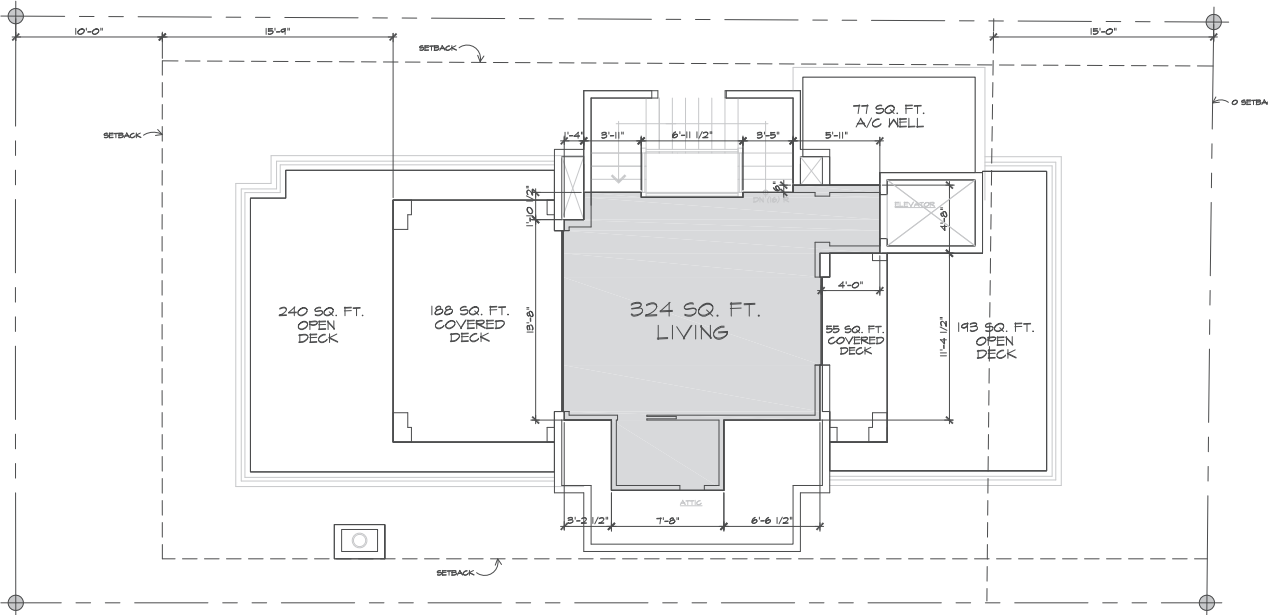
THIRD FLOOR OPEN DECK: = 482 SQ. FT.
THIRD FLOOR COVERED DECK: = 249 SQ. FT.

ROOF AREA: (2,416 x 50%) = 1,208 SQ. FT. ALLOWED
ROOF AREA: (PROPOSED) = 667.00 SQ. FT.

OPEN VOLUME REQUIRED: 2,416 x .15 = 362 SQ. FT.
OPEN VOLUME PROVIDED: = 327.06 SQ. FT.

ROOF AREA CALCULATION PLAN

SCALE: 1/4" = 1'-0"



THIRD FLOOR AREA CALCULATION PLAN

SCALE: 1/4" = 1'-0"



WILLIAM
ROBERT
CALDER
ARCHITECTURE
1550 E. Oceanfront, Newport Beach, CA 92661
(949) 812-7380

A New Home for:
The Haupterts
1550 E Oceanfront, Newport Beach, CA 92661
(949) 812-7380

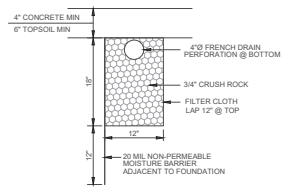
THIRD FLOOR
& THIRD FLOOR ROOF
AREA CALCULATION
PLANS

DATE
2-26-2026

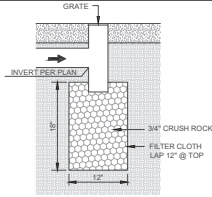


CONSTRUCTION NOTES:

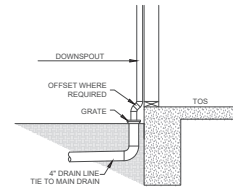
1. CONSTRUCT 5" MIN CONCRETE DRIVEWAY.
2. CONSTRUCT 4" MIN CONCRETE HARDSCAPE.
3. INSTALL 4" FLAT GRATE DRAIN.
4. INSTALL 4" ATRIUM DRAIN.
5. INSTALL 4" PVC SDR 35 DRAIN LINE, S=0.01 MIN.
6. INSTALL PERFORATED DRAIN TRENCH PER DETAIL SHEET C2.
7. INSTALL LINEAR SLOT DRAIN.
8. INSTALL 4" AREA DRAIN WITH ROCK SUMP.
9. INSTALL NEW SEWER CLEANOUT ON EXISTING LATERAL PER STD 406.



C1 PERFORATED DRAIN TRENCH DETAIL
NTS



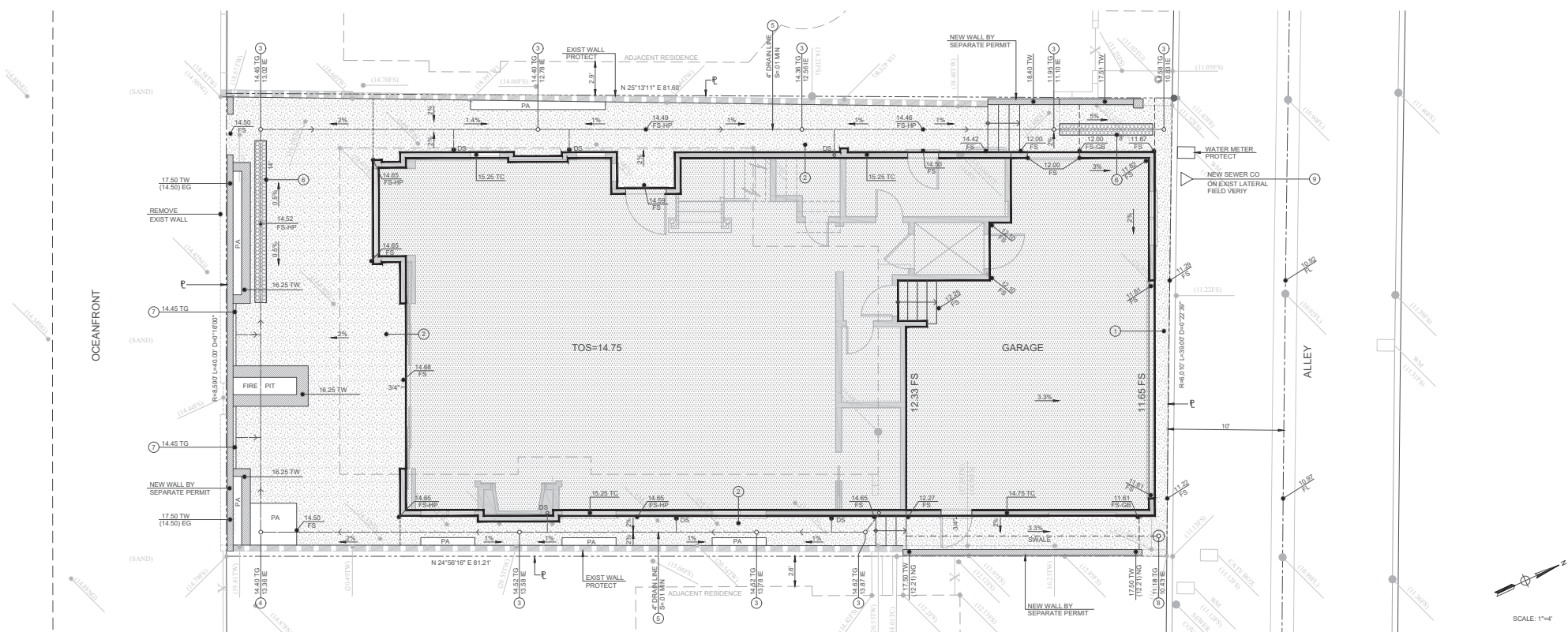
C2 AREA DRAIN WITH ROCK SUMP
NTS



C3 DOWNSPOUT CONNECTION
NTS

ABBREVIATIONS

- C.O. CLEAN OUT
- DS DOWNSPOUT
- EX EXISTING
- ED EXTRA DEPTH FOOTING
- EG EXISTING GRADE
- FD FOUND
- FL FLOWLINE
- FF FINISH FLOOR
- FS FINISH SURFACE
- FG FINISH GRADE
- GB GRADE BREAK
- GFP GARAGE FINISH PAD
- HP HIGH POINT
- IP IRON PIPE
- IE INVERT ELEVATION
- PA PLANTER AREA
- PROP PROPOSED
- L&T LEAD AND TACK
- MON MONUMENT
- N NEW
- RW RIGHT OF WAY
- SDW SIDEWALK
- T.B.M. TEMPORARY BENCHMARK
- TC TOP OF CURB
- TF TOP OF FOOTING
- TG TOP OF GRATE
- TS TOP OF SLAB
- TS TOP OF SEAL
- TW TOP OF WALL
- WM WATER METER



SCALE: 1"=4'

DESIGNED:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:	SOLS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:	PRECISE GRADING PLAN	SHEET:
DRAWN: PA	WILLIAM GUIDERO 425 30TH ST, STE 23 NEWPORT BEACH, CA 92663 (949) 675-2626	LARRY AND KRIS HALPERT 1500 E OCEANFRONT NEWPORT BEACH, CA 92661	THOMAS M. RUIZ CIVIL ENGINEER 11 THORNBIRD ALISO VIEJO, CA 92656 714-560-7455	THOMAS M. RUIZ DATE	OCS BENCHMARK NO: NB1-4-71 ELEVATION: 7.826 FEET (NAVD88)	LOT 16, BLOCK B, TRACT NO. 518 APN 048-202-24	1500 EAST OCEANFRONT NEWPORT BEACH, CALIFORNIA	C2
CHKD: TR	DATE: 1/12/26							
NO.	DATE	REVISIONS						

EROSION CONTROL

- IN CASE OF EMERGENCY, CALL (760)
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO HILL SLOPES LOCATED AT THE SITE PERMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES, AS NEEDED, SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON-SITE.
- DESIGNING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY. IF THERE IS A 40% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION, A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOG ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DISPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOIL OR DENIED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
- ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

BMP FACTS SHEET

- WM-1 MATERIAL DELIVERY AND STORAGE**
PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.
- WM-2 MATERIAL USE**
HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
- WM-4 SPILL PREVENTION AND CONTROL**
IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
- WM-5 SOLID WASTE MANAGEMENT**
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.
- WM-6 HAZARDOUS WASTE MANAGEMENT**
HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL, AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
- WM-7 CONTAMINATED SOIL MANAGEMENT**
PREVENT OR REDUCE THE DISCHARGE OR POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRE-CONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMPTLY.
- WM-8 CONCRETE WASTE MANAGEMENT**
STORE DRY AND WET MATERIALS UNDER COVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON-SITE SHALL SET UP, BE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT**
UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON-SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE**
A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.
- SE-1 SILT FENCE**
- SE-3 SEDIMENT TRAP**
- SE-8 GRAVEL BAGS**
ERODED SEDIMENTS MUST BE RETAINED ON-SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. REQUIREMENT MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMPs ARE DEEMED SUFFICIENT.

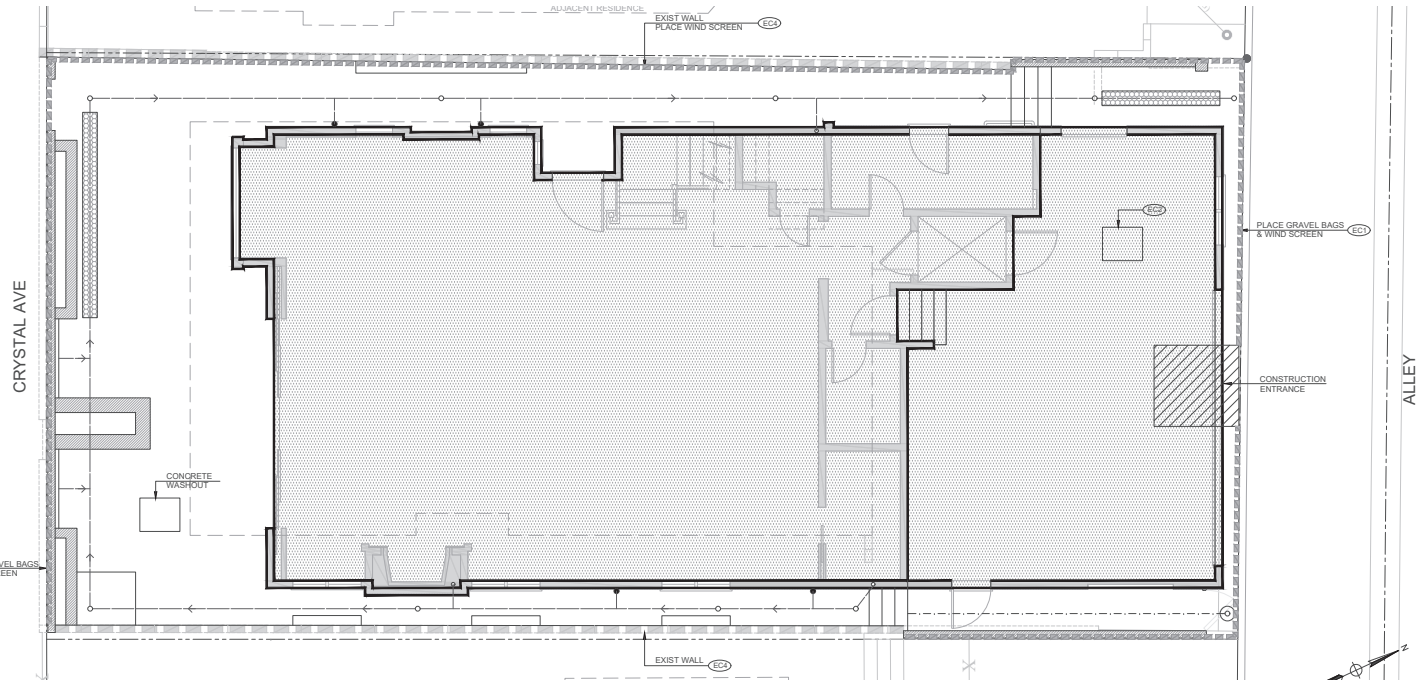
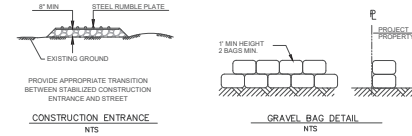
BMP FACTS SHEET

ALL BMPs SHALL BE IN ACCORDANCE WITH MODEL BMPs FROM THE CALIFORNIA STORM WATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CASMPHANDBOOKS.COM

- (ECS) CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 12" HIGH, MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET #SE-8.
- (ECS) CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEET #WM-9.
- (ECS) CONSTRUCT MATERIALS STORAGE ARE IN ACCORDANCE WITH BMP FACTS SHEET #WM-1.
- (ECS) EXISTING WALL TO REMAIN. PROTECT IN PLACE.

EROSION CONTROL LEGEND

===== PLACE GRAVEL BAGS WITH WIND SCREEN FENCE



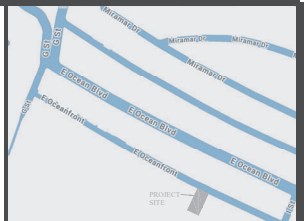
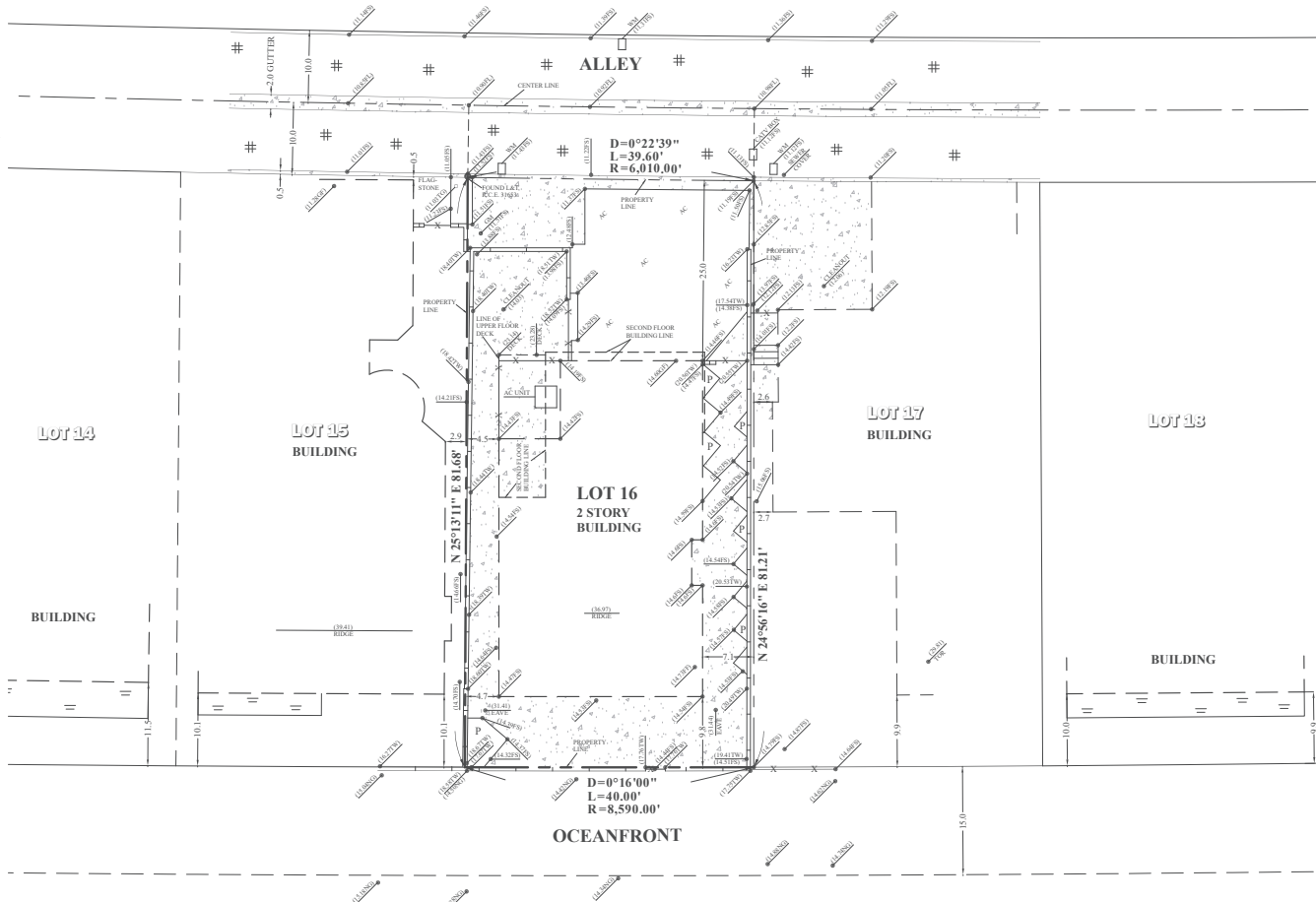
DESIGNED:	ARCHITECT:	OWNER/DEVELOPER:	PREPARED BY:	SOILS ENGINEER/GEOLOGIST:	BENCHMARK:	LEGAL DESCRIPTION:	CONSTRUCTION POLLUTION PREVENTION PLAN	SHEET:
DRAWN: PA	WILLIAM GUIDERO 425 30TH ST, STE 23 NEWPORT BEACH, CA 92663 (949) 675-2626	LARRY AND KRIS HAUPERT 1560 E OCEANFRONT NEWPORT BEACH, CA 92661	THOMAS M. RUIZ CIVIL ENGINEER 11 THORNBERD ALISO VIEJO, CA 92656 714-560-7455	THOMAS M. RUIZ DATE	OCS BENCHMARK NO: NB1-4-71 ELEVATION: 7.828 FEET (NAVD88)	LOT 16, BLOCK B, TRACT NO. 518 APN 048-202-24	1560 EAST OCEANFRONT NEWPORT BEACH, CALIFORNIA	C4
NO.	DATE	R E V I S I O N S			DATE: 1/12/26			





SURVEY NOTES

1. ALL MEASUREMENTS SHOWN HEREON ARE TO EXISTING EXTERIOR FINISHED SURFACE.
2. THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.
3. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



VICINITY MAP
NOT TO SCALE

ADDRESS OF PROJECT

1560 EAST OCEANFRONT
NEWPORT BEACH, CA

OWNER

LARRY AND KRIS HAUPERT

LEGAL DESCRIPTION

LOT 16, BLOCK B, OF TRACT NO. 518

APN 048-202-24

BENCH MARK

BENCH MARK #NB1-4-71
DATUM: NAVD88
ELEVATION: 7.828

TOPOGRAPHIC SURVEY

JOB: 99-75 DATE: 6/13/2025



RDM SURVEYING INC.
RON MIEDEMA, L.S. 4653
23016 LAKE FOREST DRIVE #409
LAGUNA HILLS, CA 92653
(949) 858-2924 OFFICE
(949) 422-1869 CELL
RDMSURVEYING@COX.NET



LEGEND	
SYMBOL	DESCRIPTION
(123.45)	MEASURED ELEVATIONS
()	RECORD BERING & DISTANCE
#	BRICK
□	CONCRETE
▭	DECK
▭	WALL
▭	BUILDING
▭	CENTER LINE
▭	PROPERTY LINE
▭	FENCE
⊕	BENCH MARK
AC	ASPHALT
CF	CURB FACE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
L&T	LEAD & TAG
MH	MAN HOLE
NG	NATURAL GRADE
P	PLANTER
PP	POWER POLE
TC	TOP OF CURB
TW	TOP OF WALL
TG	TOP OF GRATE
TOR	TOP OF ROOF
S&W	SPIKE & WASHER
WM	WATER METER
WV	WATER VALVE