



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

June 12, 2025
Agenda Item No. 4

SUBJECT: Bay House 2100, LLC Residence (PA2025-0007)
▪ Coastal Development Permit
▪ Lot Merger

SITE LOCATION: 2100 and 2102 East Balboa Boulevard

APPLICANT: CAA Planning

OWNER: Bay House 2100, LLC

PLANNER: Jenny Tran, Associate Planner
949-644-3212 or jtran@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached - (6.0 - 9.9 DU/AC) (RSD-B)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A coastal development permit (CDP) to demolish a 9,158-square-foot, single-unit dwelling and accessory structures located across two lots and a lot merger to combine the lots into a single lot. The Applicant proposes to construct a 16,211-square-foot, two-story single-unit dwelling with a 2,730-square-foot basement, and a detached 3,752-square-foot carriage house with a 994-square-foot internal accessory dwelling unit (ADU). The structures include three one-car garages for the single-unit dwelling. The project includes landscape, hardscape, and subsurface drainage facilities all within the confines of private property.

The subject property is bisected by the coastal permit jurisdiction boundary resulting in a portion of the lot merger and front patio accessory improvements, the bulkhead improvements, and dock improvements within California Coastal Commission's (CCC) permit jurisdiction. This CDP is intended to cover portions of the project within the City's permit authority as designated in the Local Coastal Program (Title 21 of the Newport Beach Municipal Code).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction and Conversion of Small Structure) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving the Coastal Development Permit and Lot Merger filed as PA2025-0007 (Attachment No. ZA 1).

DISCUSSION

Coastal Development Permit

Land Use and Development Standards

- The subject property is in the R-1 Coastal Zoning District, which provides for single-unit residential development and is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code. A coastal development permit is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The property currently consists of two legal lots that function as one lot with a single-unit dwelling on one lot and a garage and accessory structure on the adjacent lot. The neighborhood is predominantly developed with one- and two-story, single-unit dwellings. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development is consistent with applicable development standards.
- The proposed single-unit dwelling, detached carriage house, and internal accessory dwelling unit (ADU) conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (Newport Harbor)	30 feet	30 feet
Front (East Balboa Boulevard)	0 feet	0 feet
Sides	4 feet	7 feet
Allowable Floor Area (max.)	50,055 square feet	31,350 square feet

Open Space (min.)	3,754 square feet	12,580 square feet
Parking (min.)	3-car garage	3-car garage
Height (max.)	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

- The project proposes to demolish the existing single-unit dwelling across two lots, merge the two lots into one single lot, and construct a single-unit dwelling and internal ADU. The project is consistent with the General Plan, Local Coastal Program, and Zoning designations that allow the single-unit dwelling and accessory dwelling unit land uses. Under the Coastal Land Use Plan Table 2.1.1-1, the Single Unit Residential Detached (RSD-B) category is intended for single-unit dwelling development. Section 21.18.020 of the Local Coastal Program Implementation Plan shows “Single-Unit Dwellings” and “Accessory Dwelling Units” as allowed uses in the R-1 Coastal Zoning District. Therefore, the project of a single-unit dwelling and ADU to replace an existing single-unit dwelling is consistent with the R-1 zoning and land use designations, does not result in a loss of residential density after the lots are merged, and will not affect the City in meeting its regional housing needs.

Hazards

- A Coastal Hazards Report and Sea Level Rise Analysis was prepared by PMA Consulting, Inc. dated March 18, 2024, for the Project. The current maximum bay water elevation is 7.7 NAVD88 (North American Vertical Datum of 1988) and may exceed the existing 8.7 feet NAVD88 top of bulkhead elevation during high tide or storm events. The report analyzes future sea level rise scenarios, assuming a 3.2-foot increase in the maximum water level over the next 75 years (i.e. the life of the structure). Therefore, the sea level is estimated to reach approximately 10.9 feet NAVD88 (the likely range for sea level rise over the 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update).
- On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any bulkhead structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet NAVD88 with a design for adaptability elevation of 14.4 feet NAVD88. The project has been conditioned to raise the bulkhead to an elevation of 10.9 feet NAVD88. PMA Consulting, Inc. has confirmed the bulkhead design can be raised to 14.4 feet NAVD88 if needed and in compliance with the updated guidelines.
- A CDP (Application No. 5-24-0359) was approved by the California Coastal Commission on March 13, 2025, with conditions requiring reinforcement and

raising of the two existing bulkheads through the installation of 12 tiebacks, two 30-inch diameter caissons, two 132 square-foot trench drains, and a 2.2-foot-tall concrete wall atop the existing bulkheads. The CDP also includes a like-for-like replacement of two 20-square-foot wooden stairways atop the existing bulkheads and 16 cubic yards of cut and no fill.

- Once the existing seawall/bulkhead is reinforced and raised per Application No. 5-24-0359, flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. A waterproofing curb is also proposed to be constructed around the perimeter of the dwelling that would protect against flooding up to an elevation of 10.9 feet NAVD88. Flood shields (sandbags and other barriers) can be deployed across the openings to protect and prevent flooding to the structure. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the reinforced/capped bulkhead and a flood protection curb.
- The finished floor elevation is 11.33 feet NAVD88 for the main residence and 11-foot NAVD88 for the carriage house, which complies with the minimum 9.00 feet NAVD88 elevation standard. The Coastal Hazard Report concludes that the bay water elevation (currently 7.7 feet NAVD88) will not exceed the proposed flood protection curb around the single-unit dwelling, carriage house, and ADU at 10.9 feet NAVD88 for the anticipated 75-year life of the structure.
- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property is located adjacent to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

- Pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the Newport Beach Municipal Code (NBMC), due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQHP has been prepared for the project by LC Engineering Group, Inc. dated, April 11, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a Low Impact Development (LID) approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.
- The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access and Views

- The Property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the Project's impact, and be proportional to the impact. In this case, the Project will merge two lots that are currently being used as a single lot with one single-unit dwelling, garage, and accessory structures, and replaces it with a single-unit dwelling and carriage house with an internal ADU. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The Property is located approximately 1,400 feet northwest of the West Jetty View Park, which is a designated public viewpoint in the CLUP and offers public views of Newport Harbor. Additionally, there are two viewpoints across Newport Harbor at Begonia Park and the intersection of Carnation Avenue and Ocean Boulevard that are over 1,500 feet away from the Property. The Project does not obstruct any views of Newport Harbor from West Jetty View Park and the Property is obstructed from view at West Jetty View Park by the rows of residential development along Channel Road. The public viewpoints across Newport Harbor are at a far distance where the Property is not within these viewsheds and the Project does not obstruct any views at these viewpoints.
- The CLUP designates Ocean Boulevard as the closest Coastal View Road that is located over 1,500 feet away from the Property across Newport Harbor. Similar to the two public viewpoints across Newport Harbor, the Project does not obstruct any

public viewpoints and the Property cannot be seen across the horizon of Newport Harbor.

- Vertical access to the bay and beach is available at streets ends throughout the Balboa Peninsula with the closest being K Street approximately 530 feet West of the Property. Lateral access is available on the beach along the south side of Balboa Peninsula. Additionally, vertical and lateral access is available along Channel Road as this area of Balboa Peninsula has a sandy beach area and a pier located approximately 460 feet East of the Property. The Project does not include any features that would obstruct access along these routes.

Lot Merger

- The project proposes to merge two properties located at 2100 and 2102 East Balboa Boulevard into one single lot. The two lots are under common ownership and are being used as one, single-unit dwelling development. The property at 2102 East Balboa Boulevard is developed with a single-unit dwelling and the property at 2100 East Balboa Boulevard is developed with a garage and accessory structures as shown in Figure 1 below.



Figure 1: Existing properties developed with a single-unit dwelling with a garage and accessory structures

- The Land Use Element of the General Plan designates the Property and Rear Property both as Single Unit Residential Detached (RS-D), which applies to a range of single-family residential dwelling units. Additionally, both parcels are located within the Single-Unit Residential (R-1) zoning district, consistent with the surrounding area.

The R-1 Zoning District is intended to provide areas appropriate for a detached single-family residential dwelling unit located on a single legal lot.

- The CLUP designates both properties as Single Unit Residential Detached (6.0 – 9.9 DU/AC) (RSD-B), which provides for density ranging from 6.0 – 9.9 dwelling units per acre. The Property is 31,350 square feet (0.71 acres) after the two lots are merged. However, the density ranges are not intended to establish minimum densities on individual sites, but rather to evaluate neighborhoods on a regional scale. Title 21 (Local Coastal Program Implementation Plan) of the NBMC does not include development standards that require residential structures to adhere to any minimum density limits (Table 21.18-2). The Properties are currently being used as one lot with a single-unit dwelling at 2102 East Balboa Boulevard while 2100 East Balboa Boulevard is developed with a garage and accessories structures supporting the single-unit dwelling. The Project will construct a single-unit dwelling and carriage house with an internal ADU across the two lots and the merger is consistent with the land use designations of the CLUP. A CDP, CDP waiver, or other documentation will be required to be provided by the California Coastal Commission as a portion of the lots to be merged are located within their permit jurisdiction.
- Section 20.18.030 (Residential Zoning Districts General Development Standards) of the NBMC establishes minimum lot area and width requirements. The proposed merger would result in a 31,350-square-foot parcel that is in conformance to the minimum 6,000-square foot corner lot area standard of the NBMC. Also, the proposed merger would create one approximately 107-foot-wide parcel, exceeding the minimum 60-foot interior lot width standard pursuant to Chapter 20.70 (Definitions) of the NBMC.
- Legal access to the merged parcels is provided along East Balboa Boulevard along the front of the Property and Seville Avenue along the side of the Property and will remain unchanged if the parcels are merged.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction and Conversion of Small Structure) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition and construction of up to three single-unit dwellings in an urbanized area. The Project consists of the demolition of one single-unit dwelling and accessory structures and the construction of a new 20,957-square-foot, two-story single-unit dwelling that includes a basement, detached carriage house, internal ADU, and three one-car garages.

The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and Zoning; no variances or exceptions are required; all services and access to the proposed parcels are available; the parcel was not involved in a division of a larger parcel within the previous two years; and the parcel does not have an average slope greater than 20%. This exemption includes a minor lot merger not resulting in the creation of any new parcel that complies with the conditions specified above. The Project includes a lot merger to merge two lots into one single lot.

The exceptions to Class 3 under Section 15300.2 are not applicable. The Property does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

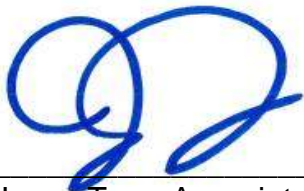
PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Jenny Tran, Associate Planner
JM/jt

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND ACCESSORY STRUCTURES ACROSS TWO LOTS, MERGE TWO LOTS, AND CONSTRUCT A NEW TWO-STORY SINGLE-UNIT DWELLING, A DETACHED CARRIAGE HOUSE, INTERNAL ACCESSORY DWELLING UNIT, AND THREE ONE-CAR GARAGES LOCATED AT 2100 AND 2102 EAST BALBOA BOULEVARD (PA2025-0007)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by CAA Planning (Applicant) on behalf of Bay House 2100, LLC (Owner), concerning property located at 2100 and 2102 East Balboa Boulevard and legally described as Parcel 3 and 4 of Resubdivision No. 250 (Property), requesting approval of a coastal development permit (CDP) and lot merger.
2. The Applicant requests a CDP to demolish a 9,158-square-foot, single-unit dwelling and accessory structures located across two lots and a lot merger to combine the lots into a single lot. The Applicant proposes to construct a 16,211-square-foot, two-story single-unit dwelling with a 2,730-square-foot basement, and a detached 3,752-square-foot carriage house with a 994 square-foot internal accessory dwelling unit (ADU). The structures include three one-car garages for the single-unit dwelling. The project includes landscape, hardscape, and subsurface drainage facilities all within the confines of private property (Project).
3. The Property is bisected by the coastal permit jurisdiction boundary resulting in a portion of the lot merger and front patio accessory improvements, the bulkhead improvements, and dock improvements within California Coastal Commission's (CCC) permit jurisdiction. This CDP is intended to cover portions of the project within the City's permit authority as designated in the Local Coastal Program (Title 21 of the Newport Beach Municipal Code).
4. The Property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
5. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Single Unit Residential Detached – (6.0 – 9.9 DU/AC) (RSD-B) and it is located within the Single-Unit Residential (R-1) Coastal Zone District.
6. A public hearing was held on June 12, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction and Conversion of Small Structure) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the demolition and construction of up to three single-unit dwellings in an urbanized area. The Project consists of the demolition of one single-unit dwelling and accessory structures and the construction of a new 20,957-square-foot, two-story single-unit dwelling that includes a basement, detached carriage house, internal ADU, and three one-car garages.
3. The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and Zoning; no variances or exceptions are required; all services and access to the proposed parcels are available; the parcel was not involved in a division of a larger parcel within the previous two years; and the parcel does not have an average slope greater than 20%. This exemption includes a minor lot merger not resulting in the creation of any new parcel that complies with the conditions specified above. The Project includes a lot merger to combine two lots into a single lot by eliminating the lot line between the two lots.
4. The exceptions to Class 3 under Section 15300.2 are not applicable. The Property does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

Coastal Development Permit

In accordance with Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program (LCP).*

Facts in Support of Finding:

1. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.

- a. The Property consists of two lots that will be combined for a total lot area of 31,350 square feet. The maximum floor area limitation after the lots are merged is 50,055 square feet and the proposed total floor area is 18,539 square feet.
 - b. The Project provides the minimum required setbacks, which are 30 feet along the front property line abutting Newport Harbor, 0 feet along the front property line abutting East Balboa Boulevard, and 4 feet along each side property line.
 - c. The highest guardrail is less than 24 feet from the established grade (11.43 feet NAVD88 for the main residence and 10.19 feet NAVD88 for the carriage house) and the highest ridge is no more than 29 feet from the established grade, which complies with the maximum height requirements.
 - d. The Project includes garage parking for a total of three vehicles, complying with the minimum three-car garage parking requirement for single-unit dwellings with more than 4,000 square feet of habitable floor area. The internal ADU does not require parking.
2. The neighborhood is predominantly developed with one- and two-story, single-unit dwellings. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development.
 3. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by PMA Consulting, Inc. dated March 18, 2024, for the Project. The current maximum bay water elevation is 7.7 NAVD88 (North American Vertical Datum of 1988) and may exceed the existing 8.7 feet NAVD88 top of bulkhead elevation during high tide or storm events. The report analyzes future sea level rise scenarios, assuming a 3.2-foot increase in the maximum water level over the next 75 years (i.e. the life of the structure). Therefore, the sea level is estimated to reach approximately 10.9 feet NAVD88 (the likely range for sea level rise over the 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update).
 4. On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any bulkhead structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet NAVD88 with a design for adaptability elevation of 14.4 feet NAVD88. The project has been conditioned to raise the bulkhead to an elevation of 10.9 feet NAVD88. PMA Consulting, Inc. has confirmed the bulkhead design can be raised to 14.4 feet NAVD88 if needed and in compliance with the updated guidelines.
 5. A CDP (Application No. 5-24-0359) was approved by the California Coastal Commission on March 13, 2025, with conditions requiring reinforcement and raising of the two existing bulkheads through the installation of 12 tiebacks, two 30-inch diameter caissons, two 132 square-foot trench drains, and a 2.2-foot-tall concrete wall atop the

existing bulkheads. The CDP also includes a like-for-like replacement of two 20-square-foot wooden stairways atop the existing bulkheads and 16 cubic yards of cut and no fill.

6. Once the existing seawall/bulkhead is reinforced and raised per Application No. 5-24-0359 to an elevation of 10.9 feet NAVD88 minimum, flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. Flood shields (sandbags and other barriers) can be deployed across the openings to protect and prevent flooding to the structure. The report concludes that the proposed project will be safe from flooding hazards for the next 75 years with the reinforced/capped bulkhead and a flood protection curb.
7. The finished floor elevation is 11.33 feet NAVD88 for the main residence and 11-feet NAVD88 for the carriage house, which complies with the minimum 9.00 feet NAVD88 elevation standard. The Coastal Hazard Report concludes that the bay water elevation (currently 7.7 feet NAVD88) will not exceed the proposed seawall for the anticipated 75-year life of the structure.
8. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Bulkheads for nonresidential and residential waterfront development) of the NBMC, the Owner will be required to agree with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied before the final building permit inspection, respectively
9. The Owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC. This requirement is included as a condition of approval that will need to be satisfied prior to issuance of building permits.
10. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
11. The Property is located adjacent to coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The Project also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

12. Pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the NBMC, due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQHP has been prepared for the project by LC Engineering Group, Inc. dated, April 11, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a Low Impact Development (LID) approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.
13. Proposed landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. A condition of approval is included that requires drought-tolerant species. Before the issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
14. The Property is located approximately 1,400 feet northwest of the West Jetty View Park, which is a designated public viewpoint in the CLUP and offers public views of Newport Harbor. Additionally, there are two viewpoints across Newport Harbor at Begonia Park and the intersection of Carnation Avenue and Ocean Boulevard that are over 1,500 feet away from the Property. The Project does not obstruct any views of Newport Harbor from West Jetty View Park and the Property is obstructed from view at West Jetty View Park by the rows of residential development along Channel Road. The public viewpoints across Newport Harbor are at a far enough distance where the Property is not within these viewsheds, and the Project does not obstruct any views at these viewpoints.
15. The CLUP designates Ocean Boulevard as the closest Coastal View Road that is located over 1,500 feet away from the Property across Newport Harbor. Similar to the two public viewpoints across Newport Harbor, the Project does not obstruct any public viewpoints, and the Property cannot be seen across the horizon of Newport Harbor.
16. The Project proposes to demolish the existing single-unit dwelling across two lots, merge the two lots into a single lot, and construct a single-unit dwelling and internal ADU. The Project is consistent with the General Plan, Local Coastal Program, and Zoning designations that allow the single-unit dwelling and accessory dwelling unit land uses. Under the Coastal Land Use Plan Table 2.1.1-1, the Single Unit Residential Detached (RSD-B) category is intended for single-unit dwelling development. Section 21.18.020 of the Local Coastal Program Implementation Plan shows "Single-Unit Dwellings" and "Accessory Dwelling Units" as allowed uses in the R-1 Coastal Zoning District. Therefore, the project of a single-unit dwelling and ADU to replace an existing single-unit dwelling is consistent with the R-1 zoning and land use designations, does not result in a loss of residential density after the lots are merged, and will not affect the City in meeting its regional housing needs.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project will merge two lots that are currently being used as a single lot with one single-unit dwelling, garage, and accessory structures, and replace it with a single-unit dwelling and carriage house with an internal ADU. The ADU is less than 1,000 square-feet in size and is an accessory use to the primary dwelling. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. Vertical access to the bay and beach is available at streets ends throughout the Balboa Peninsula with the closest being K Street approximately 530 feet West of the Property. Lateral access is available on the beach along the south side of the Balboa Peninsula. Additionally, vertical and lateral access is available along Channel Road at the end the Balboa Peninsula, as this area has a sandy beach area, and a pier located approximately 460 feet East of the Property. The Project does not include any features that would obstruct access along these routes.

Lot Merger

In accordance with Section 19.68.030(H) (Lot Mergers – Required Findings) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

- C. *Approval of the merger will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot merger is consistent with the legislative intent of this title; and*

Fact in Support of Finding:

1. The Project is consistent with the purpose and intent of Section 19.04.020 (Purpose and Applicability) of Title 19 (Subdivisions) of the NBMC. The lot merger will not result in the creation of additional parcels by removing the interior lot line between them and will ensure all development is contained within the Property.
2. Development of the Property will be subject to Title 20 (Planning and Zoning) of the NBMC, which is intended to promote orderly development, protect neighborhood character, and preserve public health, safety, and general welfare of the City.

3. The Project has been reviewed by the Building Division, Fire Department, and Public Works Department and conditions of approval are included to ensure any potential conflicts with the surrounding area are minimized to the greatest extent possible.

Finding:

- D. The lots to be merged are under common fee ownership at the time of the merger.*

Fact in Support of Finding:

1. The two lots to be merged are under common fee ownership, as evidenced by the Preliminary Title Report submitted with the application.

Finding:

- E. The lots as merged will be consistent or will be more closely compatible with the applicable zoning regulations and will be consistent with other regulations relating to the subject property including, but not limited to, the General Plan and any applicable Coastal Plan or Specific Plan.*

Facts in Support of Finding:

1. The Land Use Element of the General Plan designates the two lots as Single Unit Residential Detached (RS-D), which applies to a range of single-family residential dwelling units. Additionally, both parcels are located within the Single-Unit Residential (R-1) zoning district, consistent with the surrounding area. The R-1 Zoning District is intended to provide areas appropriate for a detached single-family residential dwelling unit located on a single legal lot.
2. The CLUP designates both properties as Single Unit Residential Detached (6.0 – 9.9 DU/AC) (RSD-B), which provides for density ranging from 6.0 – 9.9 dwelling units per acre. The Property is 31,350 square feet (0.71 acres) after the two lots are merged. However, the density ranges are not intended to establish minimum densities on individual sites, but rather to evaluate neighborhoods on a regional scale. Title 21 (Local Coastal Program Implementation Plan) of the NBMC does not include development standards that require residential structures to adhere to any minimum density limits (Table 21.18-2). The Properties are currently being used as one lot with a single-unit dwelling at 2102 East Balboa Boulevard while 2100 East Balboa Boulevard is developed with a garage and accessories structures supporting the single-unit dwelling. The Project will construct a single-unit dwelling and carriage house with an internal ADU across the two lots and the merger is consistent with the land use designations of the CLUP. A CDP, CDP waiver, or other documentation will be required to be provided by the California Coastal Commission as a portion of the lots to be merged are located within their permit jurisdiction.
3. Section 20.18.030 (Residential Zoning Districts General Development Standards) of the NBMC establishes minimum lot area and width requirements. The proposed merger would result in a 31,350-square-foot parcel that is in conformance to the minimum 6,000-square

foot corner lot area standard of the NBMC. Also, the proposed merger would create one approximately 107-foot-wide parcel, exceeding the minimum 60-foot interior lot width standard pursuant to Chapter 20.70 (Definitions) of the NBMC.

4. The Properties are not located within a specific plan area.

Finding:

- F. *Neither the lots as merged nor adjoining parcels will be deprived of legal access as a result of the merger.*

Fact in Support of Finding:

1. Legal access to the merged parcels would be provided along East Balboa Boulevard along the front of the Property and Seville Avenue and East Bay Avenue along the side of the Property and will remain unchanged if the parcels are merged.
2. The lot merger will not deprive the adjacent parcels with legal access. Adjacent parcels will maintain the same legal access either from East Balboa Boulevard, Seville Avenue, or East Bay Avenue.

Finding:

- G. *The merged lots will be consistent with the pattern of development nearby and will not result in a lot width, depth or orientation, or development site that is incompatible with nearby lots. In making these findings, the review authority may consider the following:*
 - i. *Whether the development of the merged lots could significantly deviate from the pattern of development of adjacent and/or adjoining lots in a manner that would result in an unreasonable detriment to the use and enjoyment of other properties.*
 - ii. *Whether the merged lots would be consistent with the character or general orientation of adjacent and/or adjoining lots.*
 - iii. *Whether the merged lots would be conforming or in greater conformity with the minimum lot width and area standards for the zoning district.*

Facts in Support of Finding:

1. Any future development on the merged lots will be required to meet all applicable development standards and, therefore, will not significantly deviate from the pattern of development of adjacent and/or adjoining lots in a manner that would result in an unreasonable detriment to the use and enjoyment of other properties.
2. The Project will create a parcel that is consistent with the character or general orientation of adjacent and/or adjoining lots. Although the current configuration of the property includes two lots, the property is used like a single parcel with one single-unit residence

since at least 2019. As a result, the proposed merger will not result in a visible change in the character of the neighborhood and will continue to allow the property to be used as a single-unit property.

3. The Project will create a parcel that conforms to the minimum lot width and area standards for the zoning district and will be developed subject to the development standards for the zoning district.

In accordance with Section 19.08.30.(A)(3) (Waiver of Parcel Map Requirement – Activities Eligible for Waiver) of the NBMC, the Zoning Administrator may approve a waiver of the parcel map requirement in cases where no more than three parcels are eliminated. The following finding and facts in support of such findings are set forth:

Finding:

- F. *The proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads and property access, sanitary disposal facilities, water supply availability, environmental protection, and other applicable requirements of this title, the Zoning Code, the General Plan, and any applicable Coastal Plan or Specific Plan.*

Facts in Support of Finding:

1. Approval of the Project would remove the existing interior lot line, and allow the Property to be used as a single site. The proposed lot would comply with all design standards and improvements required for new subdivisions of Title 19 (Subdivisions) of the NBMC, the General Plan, and the Coastal Land Use Plan.
2. The Properties are not located within a specific plan area.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act under Section 15303 under Class 3 (New Construction and Conversion of Small Structure) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit and Lot Merger filed as PA2025-0007, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program

(LCP) Implementation Plan), of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 12th DAY OF JUNE 2025.

Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT “A”**CONDITIONS OF APPROVAL****Planning Division**

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *Prior to the final building permit inspection, the existing seawall shall be reinforced and capped to 10.90 feet NAVD88 and capable of being raised up to 14.4 feet NAVD88, in compliance with the City of Newport Beach Waterfront Project Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities and pursuant to Coastal Development Permit No. 5-24-0359 approved by the California Coastal Commission (CCC) dated March 13, 2025.*
3. *Prior to issuance of building permits, a Fair Share Fee for the accessory dwelling unit (ADU) shall be paid in accordance with the fee effective at the time of payment.*
4. *Prior to the issuance of building permits, the property owner shall record a deed restriction with the County Recorder's Office, the form and content of which is satisfactory to the City Attorney, prohibiting the use of the accessory dwelling unit for short-term rentals (i.e., less than 30 days) and prohibiting the sale of the ADU separate from the principal dwelling. This deed restriction shall remain in effect so long as the accessory dwelling unit exists on the property.*
5. Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns. Alternatively, and if required by the CCC, the agreement may be recorded between the property owner and the CCC that equally satisfies the above provisions. A copy of this recorded agreement shall be provided to the Planning Division.
6. Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to the City's approval of the development.

7. This approval does not authorize any new or existing improvements (including landscaping) within California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to the public trust shall require a coastal development permit (CDP) approved by the California Coastal Commission (CCC). Prior to the issuance of building permits, the Applicant shall provide a copy of said CDP, CDP waiver, or documentation from the CCC that subject improvements are not subject to the permit requirements of the Coastal Act and/or not located within the permit jurisdiction of the CCC.
8. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
9. This CDP does not authorize any development seaward of the private property.
10. This Coastal Development Permit shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMCA, unless an extension is otherwise granted.
11. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
12. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
13. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.

14. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
15. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to the Property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
16. *Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
17. *Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
18. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
19. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
20. *Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.*
21. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
22. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to the City's approval of **Bay House 2100, LLC Residence including but**

not limited to, Coastal Development Permit and Lot Merger (PA2025-0007). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Building Division

23. *Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
24. *Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.*
25. *Prior to the issuance of a building permit, the final WQHP/WQMP shall be reviewed and approved by the Building Division. The implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.*
26. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
27. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
28. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
29. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
30. The foundation shall be designed for liquefaction mitigation pursuant to California Building Code (CBC) Sections 1803.5.11 and 1803.5.12.
31. One (1)-hour fire-rated wall and sound block level of STC 50 sound separation shall be provided between dwelling units.

Fire Department

32. New construction of the single-unit dwelling and ADU shall be equipped throughout with a fire sprinkler system in compliance with the 2022 National Fire Protection Association (NFPA) 13D.
33. One side yard of the Property shall have a clear opening of 36 inches minimum from the front of the Property to the rear of the Property for emergency access.

Public Works Department

34. All improvements shall be constructed in conformance with the NBMC and the Public Works Department.
35. An encroachment permit is required for all work activities within the public right-of-way.
36. *The existing broken and/or otherwise damaged concrete curb, gutter and sidewalk panels along the East Balboa Boulevard frontage shall be reconstructed.*
37. *Install new sewer cleanout on existing sewer laterals per City Standard 406. If the existing sewer laterals are sub-standard, new sewer laterals will be required.*
38. *The existing gas meter to private property shall be relocated.*
39. The proposed water service and meter shall be installed per City Standard.
40. All improvements shall comply with the City's sight distance requirement. See City Standard 110-L.
41. *The existing City trees along the East Balboa Boulevard frontage shall be protected in place.*
42. *The existing driveway approach on East Balboa Boulevard shall be removed per City Standard 105.*
43. *The parkway paving along East Balboa Boulevard shall be removed and turf or other drought tolerant landscaping shall be installed in its place.*
44. *Southern California Edison transformers and pool equipment shall be located within private property and shall not be located within easements.*
45. *Prior to final building permit inspection, the Project shall relocate the existing 4-inch water main located near the existing property line wall to a location within Seville Avenue. The design of the new waterline shall be reviewed as part of the building plan check. Final design shall be approved by the Public Works Department and Utilities Department prior to building plan check approval.*

46. *Prior to the issuance of a building permit, the proposed sewer easement vacation shall be processed, approved by City Council, and recorded. If City Council denies the proposed easement vacation, the proposed project will require a redesign since the existing sewer easement impacts the proposed building.*
47. *Prior to the issuance of a building permit, the lot merger shall be recorded since the proposed building extends over the existing lot lines. The Applicant shall obtain any necessary approvals related to the lot merger from the California Coastal Commission prior to recordation.*
48. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit
Lot Merger

(PA2025-0007)

2100 and 2102 East Balboa Boulevard

Attachment No. ZA 3

Project Plans

PROJECT DIRECTORY			
OWNER	BAY HOUSE 2100, LLC 101 THE GROVE DRIVE LOS ANGELES, CA 90038	27 MAUCHLY SUITE 210 IRVINE, CA 92618 PHONE: (949)453-0408 EMAIL: AB@MYCSL.COM	LANDSCAPE MAYA BARACNA CHRISTINE LONDON LTD. 9155 SUNSET BLVD LOS ANGELES, CA 90069 PHONE: (310) 273-5660 EMAIL: MAYA@CHRISTINELONDON.LTD.COM
ARCHITECT	WILLIAM HEFNER, AIA STUDIO WILLIAM HEFNER 9820 WILSHIRE BLVD., SUITE 500 LOS ANGELES, CA 90038 PHONE: (323) 931-1365 EXT 233 FAX: (323) 931-1368 EMAIL: CARLA@WILLIAMHEFNER.COM	CIVIL MICHELLE MEEHAN LC ENGINEERING GROUP, INC 889 PIERCE COURT, STE. 101 THOUSAND OAKS, CA 91360 PHONE: (818)911-7148 EMAIL: MICHELLE@LCEGROUPINC.COM	LIGHTING NICOLAS VICENCIO TRUAX DESIGN GROUP, INC. 526 PORTAL STREET COTATI, CA 94931 PHONE: (707) 794-8188 EMAIL: NVICENCIO@TRUAXDESIGN.COM
STRUCTURAL ENGINEER	SEAN GALBREATH ASHLEY & VANCE ENGINEERING 600 SOUTH LAKE AVE. SUITE 308 PASADENA, CA 91101 PHONE: (323)744-0010 EMAIL: SEAN@ASHLEYVANCE.COM	MECHANICAL GABRIEL GADON CALIFORNIA ENERGY DESIGNS 300 E. MAGNOLIA BLVD. #502 BURBANK, CA 91502 PHONE: (818)790-6817 EMAIL: GABRIEL@CALIFORNIAENERGYDESIGNS.COM	DRY UTILITY DAVID KANOWSKY SOUTHERN CALIFORNIA ELECTRICAL FIRM 386 BEECH AVE. SUITE 2 TORRANCE, CA 90501 PHONE: (951) 536-2692 EMAIL: DKANOWSKI@SCELECTRICALFIRM.COM
SURVEY	ADAM TOL TOL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 PHONE: (949) 492-8586 EMAIL: ATOL@TOLENGINEERING.COM	PLUMBING LUSIS@CALIFORNIAENERGYDESIGNS.COM	AUDIO VISUAL CARL R. BURATTI, P.E. EMPOWERED ENGINEERING GROUP, INC. 6345 BALBOA BLVD. BUILDING III, STE. 259 ENCINO, CALIFORNIA 91316 PHONE: (818) 345-7130 EMAIL: REEBECCA@EMPOWERED-PE.COM
GEOTECHNICAL ENGINEER	ABRAHAM BATA GEOTECHNICAL SOLUTIONS, INC.		

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AREA CALCULATIONS

DEFINITION: The area is square feet confined within the exterior walls of a building or accessory building. Any floor or portion of a floor with a ceiling height greater than 14 feet shall count as twice the square footage of that area. The area of stairways and elevator shafts and any other enclosed areas regardless of ceiling height. Area of an attic or portion of an attic with a ceiling height of more than seven feet tall be included in the Floor Area Calculation. *Refer to the NBCC for exemptions to Residential Floor Area.		
	PROPOSED	EXEMPTION TOTAL
RESIDENTIAL FLOOR AREA (REAL - MAIN RESIDENCE)	BASEMENT	2,759 SF -2,759 SF 0 SF
	FIRST FLOOR	7,024 SF 7,024 SF
	SECOND FLOOR	6,015 SF 6,015 SF
	GARAGE	438 SF 438 SF
	COVERED PATIOS	318 SF 318 SF
	CEILING HEIGHT >14'	N/A N/A
	TOTAL	16,552.4 SF -2,759.1 SF 13,793.3 SF

Note: See sheet A0.2 and A0.3 for RFA Area Calculations

MAX LOT COVERAGE	MAXIMUM ALLOWABLE LOT COVERAGE
	Maximum percentage of the total lot area that may be covered by structures.
	31,380 SF X 60% = 18,810 SF
	COVERED DECK= 846.17 SF
	FIRST FLOOR = 16,800.48 SF
	TOTAL LOT COVERAGE = 19,652.21 SF = 34.62%
	PROPOSED 19,892.21 SF < ALLOWABLE 18,810 SF

MAX RFA	MAXIMUM ALLOWABLE RFA
	Buildable lot area 42 = Maximum allowable Residential Floor Area
	BUILDABLE LOT AREA = 25,027.74 SF
	25,027.74 SF X 2 = 50,055.48 SF
	PROPOSED 19,892.21 SF < ALLOWABLE 50,055.48 SF

DEFINITION: The area is square feet confined within the exterior walls of a building or accessory building. Any floor or portion of a floor with a ceiling height greater than 14 feet shall count as twice the square footage of that area. The area of stairways and elevator shafts and any other enclosed areas regardless of ceiling height. Area of an attic or portion of an attic with a ceiling height of more than seven feet tall be included in the Floor Area Calculation. *Refer to the NBCC for exemptions to Residential Floor Area.		
	PROPOSED	EXEMPTION TOTAL
RESIDENTIAL FLOOR AREA (REAL - CARRIAGE HOUSE, W/ ADU)	FIRST FLOOR	762 SF 762 SF
	FIRST FLOOR ADU	994 SF 994 SF
	SECOND FLOOR	2,174 SF 2,174 SF
	GARAGE	787 SF 787 SF
	COVERED PATIOS	29 SF 29 SF
	CEILING HEIGHT >14'	N/A N/A
	TOTAL	4,746.1 SF 4,746.1 SF

Note: See sheet A0.2 and A0.3 for RFA Area Calculations

GRADING CALCULATIONS

CUT	2,880 CY
FILL	801 CY
IMPORT	9 CY
EXPORT	1,511 CY

VICINITY MAP

NEW FAMILY RESIDENCE W/ ADU

BAY HOUSE

2100 - 2102 E. BALBOA BLVD.

NEWPORT BEACH, CA 92661

PROJECT INFORMATION

PROJECT DESCRIPTION	PROJECT INFORMATION																																																												
THE SCOPE OF THIS PROJECT CONSISTS OF DEMOLISHING THE EXISTING 9,159 SF TWO-STORY AND CONSTRUCTION OF A NEW 11,482 SF SINGLE-FAMILY DWELLING (SFD) AND A 749 SF ACCESSORY DWELLING UNIT (CARRIAGE HOUSE W/ADU) BUILDING. THE HOUSE COMBINES TWO LEVELS WITH EARTH, OUTDOOR COVERED PORCHES AND A SUBTERRANEAN BASEMENT OF THE MAIN RESIDENCE. W/ADU: SEACANT BARRING ATTACHED COVERED PORCHES, BARRING SPACES, MAIN RESIDENTIAL SUITE 2102-2104 FOR THE TWO-STORY HOUSES REQUIRED FROM AVERAGE NATURAL GRADE.	<table><tr><th>LEGAL DESCRIPTION HEADINGS</th><th>LEGAL DESCRIPTION DATA</th></tr><tr><td>UNPRODUCTION</td><td></td></tr><tr><td>CONTRACT PLAN AREA</td><td></td></tr><tr><td>PLANNING COMMISSION</td><td>CITY OF NEWPORT BEACH</td></tr><tr><td>PROFESSIONAL COUNCIL</td><td>FOR BALBOA PENINSULA POINT ASSOCIATION</td></tr></table>	LEGAL DESCRIPTION HEADINGS	LEGAL DESCRIPTION DATA	UNPRODUCTION		CONTRACT PLAN AREA		PLANNING COMMISSION	CITY OF NEWPORT BEACH	PROFESSIONAL COUNCIL	FOR BALBOA PENINSULA POINT ASSOCIATION																																																		
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<h4>ADDITIONAL NOTES</h4> <ol style="list-style-type: none">THE GOVERNING CODES FOR THIS PROJECT ARE CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA ENERGY CONSERVATION CODE (CEC), 2022 CALIFORNIA GREEN CODE (CALGREEN) AND ANY CITY OF NEWPORT BEACH LOCAL AMENDMENTS.THE STRUCTURAL DESIGN OF THIS PROJECT SHALL COMPLY WITH REQUIREMENTS OF THE 2022 CALIFORNIA BUILDING CODE (CBC) AND ENGINEERING PRINCIPLES.SEPARATE APPLICATIONS AND PERMITS ARE REQUIRED FOR: A. ELECTRICAL WORK B. MECHANICAL WORK C. PLUMBING WORK D. GRADING E. RETAINING WALLS F. AUTOMATIC FIRE SPRINKLER SYSTEM G. SWIMMING POOL SPAS H. SITE WALLS/FENCES I. DEMOLITION J. ALL WORK IN OR ADJACENT TO A PUBLIC RIGHT OF WAYALL SETBACKS AND EASEMENTS MUST BE STAKED OR CLEARLY MARKED.DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY CITY.THE FOLLOWING SPECIAL FEATURES MUST BE INSTALLED AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE: • PV SYSTEM • PC MODULE TYPE: PREMIUM • PC POWER ELECTRIC DC POWER OPTIMIZER • DUCTS WITH HIGH LEVEL OF INSULATION • COOL ROOF • CEILING HAS HIGH LEVEL OF INSULATION • WINDOW OVERHANGS AND/OR FINS • DUCTS IN CRAWL SPACETHE FOLLOWING FEATURES MUST BE VERIFIED BY A CERTIFIED HERS RATER (SEE ENERGY CALC GND-4.1) 1. QUALITY INSULATION INSTALLATION (QII) 2. INDOOR AIR QUALITY VENTILATION 3. KITCHEN RANGE HOOD 4. HIGH R-VALUE SPRAY FOAM INSULATION • COOLING SYSTEM VERIFICATIONS: 1. MINIMUM AIRFLOW 2. VERIFIED EER 3. VERIFIED REFRIGERANT CHARGE 4. FAN EFFICIENCY WATTS/CFM • HEATING SYSTEM VERIFICATIONS: 1. VERIFIED HSPF 2. VERIFIED HEAT PUMP RATED HEATING CAPACITY • HVAC DISTRIBUTION SYSTEM VERIFICATIONS: 1. DUCT LEAKAGE TESTING 2. LOW LEAKAGE AIR HANDLING UNIT • DOMESTIC HOT WATER SYSTEM VERIFICATIONS: 1. PIPE INSULATION, ALL LINESSTRUCTURAL OBSERVATION IS REQUIRED FOR THE PROJECT. SEE STRUCTURAL FOR INSPECTION SCHEDULE.PLANS FOR AN AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH EITHER 2022 CRC R313.3 OR NFPA 13D WILL BE SUBMITTED UNDER A SEPARATE PERMIT. SPRINKLERS ARE REQUIRED FOR THE MAIN RESIDENCE AND HOA BUILDING (R309.8, R313.1, R313.2). THE SPRINKLER SYSTEM SHALL BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION.																																																													
<p>NOTE: SOLAR PV WITH A MINIMUM OF 3.91 KW DC @ MAIN RESIDENCE AND 2.54 KW DC @ CARRIAGE HOUSE MUST BE OBTAINED UNDER SEPARATE REVIEW AND PERMIT</p> <p>NOTE: OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEETING INSPECTION</p>																																																													

PERMITTING COVER SHEET

GO.0.3A

Issue date: 04/14/2025

Scale: 12" = 1'-0"

N.T.S. / PRINTED 11 X 17"

Plan Check #

Bid Document

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ALTA TABLE 'A' ITEM 16, & 17 NOTE:

ITEM 16 IS NO MORE THAN 1/4" (1/4" MAXIMUM CONSTRUCTION, PROPOSED CHANGES TO STREET R/W LINE, SIDEWALK, OR STREET CONSTRUCTION, OR REMOVAL OF LOT TO A SOLID WHITE STAMP, STAMP, OR SHADOW LANDFILL, NON OF WETLANDS.

FLOOD ZONE:

SUBJECT PROPERTY UNLAWFUL OF APPROXIMATE POSITION OF SEAWALL SHOWN HEREIN IS IN FEDERAL FLOOD INSURANCE ZONE X (SHADED) WHICH IS DEFINED AS 0.26 FOOT 1000 ANNUAL CHANCE FLOOD, AREA OF 18.1100 FEET ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN 10 FEET AND WITH DRAINAGE AREA LESS THAN 1 SQUARE MILE, AND AREN'T PROTECTED BY LIVES FROM 15 ANNUAL CHANCE FLOOD.

SUBJECT PROPERTY SHOWN OF APPROXIMATE POSITION OF SEAWALL SHOWN HEREIN IS IN FEDERAL FLOOD INSURANCE ZONE Xc (Hatched) A Hatched A Hatched FLOOD ELEVATION OF 8 FEET.

NOTE: ZONES ABOVE ARE SHOWN ON FEDERAL FLOOD MAP (DEPARTMENT OF COMMERCE, MARCH 21, 2016, NEWPORT BEACH COMMUNITY NO. 060227, MAP 0362, SURFEX 1).

NOTE: TOP OF SEAWALL IS ELEVATION RANGES FROM 8.74 FT. TO 8.78 FT. FINISH FLOOR OF 2021 E. BAY AVENUE RESIDENCE IS 8.15 FT. TO 8.82 FT. AND THE FINISH FLOOR OF 2102 E. BALBOA BLVD RESIDENCE IS FROM 11.15 FT. TO 13.45 FT.

IT IS SUGGESTED TO CONSULT CITY OF NEWPORT BEACH CONCERNING CURRENT CITY RECOMMENDATIONS FOR ELEVATIONS OF SEAWALLS AND BUILDINGS.

PLEASE NOTE THAT AN EARLIER FIRM FLOOD MAP MARKED "PRELIMINARY" DATED IN 2016 SHOWED THE HIGHER FLOOD ELEVATION NORTH OF THE SEAWALL AS 9 FT. HIGHER.

ZONING:

SUBJECT PROPERTY IS IN ZONE R-1 (SINGLE FAMILY RESIDENTIAL) LAND USE DESIGNATION IS R-1.

SETBACK SETBACK IS 30 FT. CITY SETBACK MAP 150.

MINIMUM ALLOWED HEIGHT IS 10 FT. (10' FLOOR) & 29 FT. (1/2 FLOOR) PROOF.

SURVEYOR'S NOTES:

1. BOUNDARY LINES SHOWN HEREIN WERE ESTABLISHED FROM PUBLIC AND/or PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED HEREIN PARCELS WERE ESTABLISHED AS NOTED HEREIN.

2. PARCEL AREA (AREA BASED ON FIELD MEASUREMENTS)

2021 EAST BAY AVENUE = 9,141 SQ. FT.

2102 EAST BALBOA BLVD. = 15,450 SQ. FT.

2102 EAST BALBOA BLVD. = 15,450 SQ. FT.

TOTAL AREA OF THREE PARCELS = 40,491 SQ. FT. = 0.929 ACRES

PROJECT BENCHMARK:

ELEVATIONS SHOWN HEREIN ARE RELATIVE TO THE NORTH AMERICAN VERTIC DATUM OF 1988 (NAD 83) ORANGE COUNTY SURVEYOR 1988 ADJUSTMENT, PER THE FOLLOWING ORANGE COUNTY SURVEYOR BENCHMARK:

025 BENCHMARK N81-4-71 ELEV 73.08 FT (UNADJUSTED) 18, 1995

781-4-71 SET IN TOP OF A 4" X 4" CONCRETE POST, 18

18 LOCATED IN THE SE CORNER OF THE INTERSECTION OF

2102 EAST BALBOA BLVD. 51 FT. 36.1" SET IN TOP OF STREET

AND 2102 E. BALBOA BLVD. 51 FT. 36.1" SET IN TOP OF STREET

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LEGAL DESCRIPTION 2021 EAST BAY AVE.

PROPERTY ADDRESS: 2021 EAST BAY AVENUE, NEWPORT BEACH, CA 92661

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF ORANGE, CITY OF NEWPORT BEACH AND DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 10, THE WESTERLY ONE-HALF OF LOT 11, OF TRACT NO. 756, IN THE CITY OF NEW BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 23, PAGES 7 AND 8 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT ANY PORTION THEREOF LYING BELOW THE LINE OF THE MEAN HIGH TIDE OF THE PACIFIC OCEAN IN NEWPORT BEACH.

PARCEL 2:

AN EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES OVER THAT PORTION SHOWN ON THE MAP OF TRACT NO. 756 AS AN "EASEMENT FOR PRIVATE ROADWAY," AND AS SET FORTH IN VARIOUS DEEDS OF RECORD.

EXCEPT ANY PORTION INCLUDED IN PARCEL 1 ABOVE.

APN: 048-240-15

TITLE MATTERS 2021 EAST BAY AVE.

PER PRELIMINARY TITLE REPORT ORDER NO. 19000112201 DATED AS OF FEBRUARY 18, 2021 BY STEWART TITLE GUARANTY COMPANY, ONLY THE FOLLOWING MATTERS OF RECORD AFFECT THE HEREIN DESCRIBED SUBJECT PROPERTY.

ITEMS A TO D - TAXES, ASSESSMENTS, AND LIENS (NOT SURVEY RELATED MATTERS)

ITEM 1 - WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (BLANKET)

ITEM 2 - ANY ADVERSE CLAIM BASED UPON THE ASSERTION THAT SOME PORTION OF SAID LAND IS TIDE OR SUBMERGED LANDS, OR HAS BEEN CREATED BY ARTIFICIAL MEANS, OR HAS ACCRUED TO SUCH PORTIONS SO CREATED. (BLANKET)

ITEM 3 - RIGHTS AND EASEMENTS FOR COMMERCE, NAVIGATION AND FISHERY IN FAVOR OF THE GENERAL PUBLIC, OR THE FEDERAL, STATE OR MUNICIPAL GOVERNMENT. (BLANKET)

ITEM 4 - ANY EASEMENTS OR CLAIM OF EASEMENT FOR PUBLIC USE OF THE REAL PROPERTY HEREIN DESCRIBED OR ANY PORTION THEREOF. (BLANKET)

ITEM 5 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AFFECTING THE EAST HALF OF LOT 11, ALL OF LOT 12 AND THE WEST HALF STREET INTERESTS, THEREIN, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, STEWART TITLE GUARANTY COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (BLANKET)

ITEM 6 - ANY CLAIM BASED UPON THE ASSERTION THAT SOME PORTION OF THE LAND IS TIDE, OR SUBMERGED, OR HAS BEEN CREATED BY ARTIFICIAL MEANS, OR HAS ACCRUED TO THE CREATED PORTIONS. (BLANKET)

ITEM 7 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AFFECTING THE EAST 7-1/2 FEET OF LOTS 19 AND 25, ALL OF LOTS 20 AND 26 AND THE WEST HALF OF STREET ADJOINING SAID LOTS 20 AND 26, INTERESTS, THEREIN, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, STEWART TITLE GUARANTY COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (BLANKET)

ITEM 8 - THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED NOTICE OF AGREEMENT RECORDED MAY 20, 1991 AS INSTRUMENT NO. 91-246954, OF OFFICIAL RECORDS, EXECUTED BY WANDA E. RAGGIO. (BLANKET)

ITEM 9 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 10 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 11 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 12 - A DEED OF TRUST (NOT A SURVEY RELATED MATTER).

ITEMS 13 & 14 - TITLE COMPANY MATTERS (NOT SURVEY RELATED, SEE TITLE REPORT FOR PARTICULARS)

ITEM 15 - MINERALS OF WHATEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL, IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (BLANKET)

ITEM 16 - MINERALS OF WHATEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL, IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (BLANKET)

ITEM 17 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 18 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 19 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 24 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 25 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 26 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 27 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 28 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 29 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 31 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 32 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 33 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 34 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 35 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

LEGAL DESCRIPTION 2102 EAST BALBOA BLVD.

PROPERTY ADDRESS: 2100 EAST BALBOA BLVD., NEWPORT BEACH, CA 92661

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF ORANGE, CITY OF NEWPORT BEACH AND DESCRIBED AS FOLLOWS:

PARCEL 1:

PARCEL NO. 4, AS SHOWN ON A MAP FILED IN BOOK 13, PAGE 47 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY.

PARCEL 2:

EASEMENTS FOR INGRESS AND EGRESS INCLUDING VEHICULAR TRAFFIC OVER THE COMMON AREA ALL AS MORE PARTICULARLY DESCRIBED AND SET FORTH IN ARTICLE 8 OF THAT CERTAIN DOCUMENT ENTITLED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATION OF EASEMENTS DATED DECEMBER 6, 1992 AND RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 1993-0250570, OF OFFICIAL RECORDS.

APN: 048-240-38

TITLE MATTERS 2100 EAST BALBOA BLVD.

PER PRELIMINARY TITLE REPORT ORDER NO. 19000112202 DATED AS OF FEBRUARY 18, 2021 BY STEWART TITLE GUARANTY COMPANY, ONLY THE FOLLOWING MATTERS OF RECORD AFFECT THE HEREIN DESCRIBED SUBJECT PROPERTY.

ITEMS A TO D - TAXES, ASSESSMENTS, AND LIENS (NOT SURVEY RELATED MATTERS)

ITEM 1 - WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (BLANKET)

ITEM 2 - ANY ADVERSE CLAIM BASED UPON THE ASSERTION THAT SOME PORTION OF SAID LAND IS TIDE OR SUBMERGED LANDS, OR HAS BEEN CREATED BY ARTIFICIAL MEANS, OR HAS ACCRUED TO SUCH PORTIONS SO CREATED. (BLANKET)

ITEM 3 - RIGHTS AND EASEMENTS FOR COMMERCE, NAVIGATION AND FISHERY IN FAVOR OF THE GENERAL PUBLIC, OR THE FEDERAL, STATE OR MUNICIPAL GOVERNMENT. (BLANKET)

ITEM 4 - ANY EASEMENTS OR CLAIM OF EASEMENT FOR PUBLIC USE OF THE REAL PROPERTY HEREIN DESCRIBED OR ANY PORTION THEREOF. (BLANKET)

ITEM 5 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AFFECTING THE EAST HALF OF LOT 11, ALL OF LOT 12 AND THE WEST HALF STREET INTERESTS, THEREIN, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, STEWART TITLE GUARANTY COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (BLANKET)

ITEM 6 - ANY CLAIM BASED UPON THE ASSERTION THAT SOME PORTION OF THE LAND IS TIDE, OR SUBMERGED, OR HAS BEEN CREATED BY ARTIFICIAL MEANS, OR HAS ACCRUED TO THE CREATED PORTIONS. (BLANKET)

ITEM 7 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AFFECTING THE EAST 7-1/2 FEET OF LOTS 19 AND 25, ALL OF LOTS 20 AND 26 AND THE WEST HALF OF STREET ADJOINING SAID LOTS 20 AND 26, INTERESTS, THEREIN, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, STEWART TITLE GUARANTY COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (BLANKET)

ITEM 8 - THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED NOTICE OF AGREEMENT RECORDED MAY 20, 1991 AS INSTRUMENT NO. 91-246954, OF OFFICIAL RECORDS, EXECUTED BY WANDA E. RAGGIO. (BLANKET)

ITEM 9 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 10 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 11 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 13 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 14 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 16 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 17 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 19 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 26 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 27 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

ITEM 28 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

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ITEM 31 - THE COVENANTS, CONDITIONS, RESERVATIONS AND RESTRICTIONS AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 16, 1993 AS INSTRUMENT NO. 93-0250570, OF OFFICIAL RECORDS. (BLANKET)

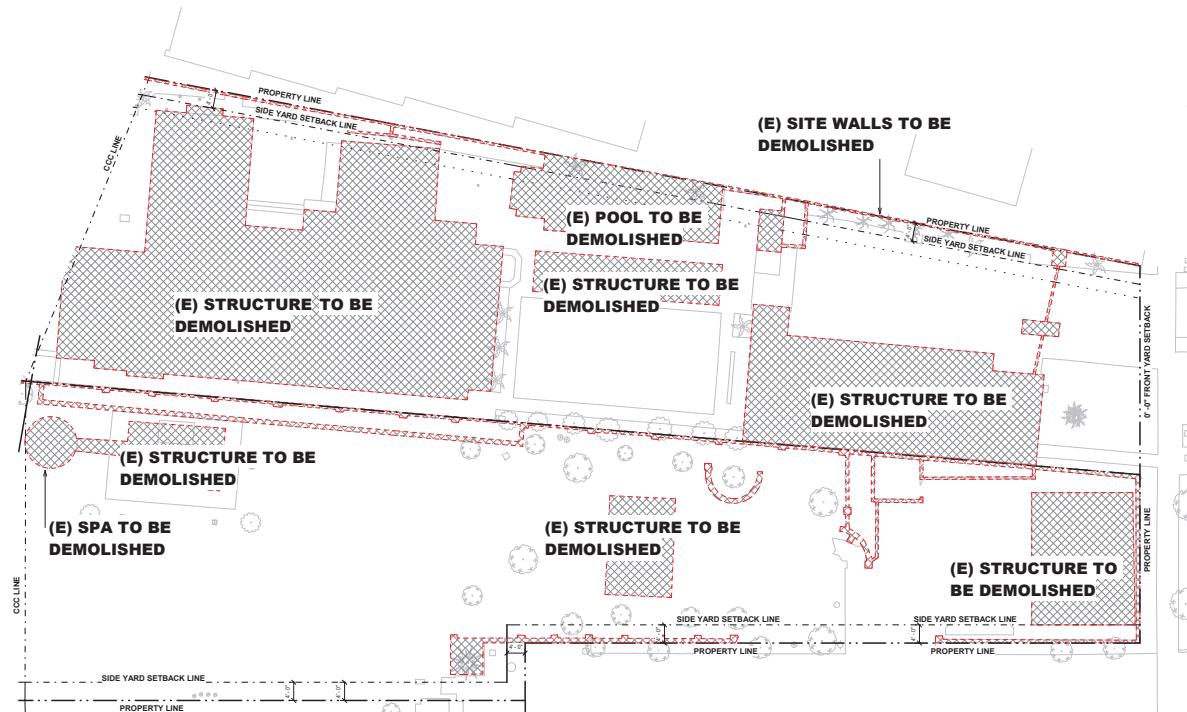
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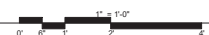
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ALTA/NSPS LAND TITLE SURVEY OF: 2100 & 2102 EAST BALBOA BLVD. 2021 & 2100 EAST BAY AVE. IN THE CITY OF



© SITE DEMO PLAN
1" = 10'-0"



	CAST IN PLACE CONCRETE
	CMU STRUCTURE
	WOOD STUD
	METAL STUD
	EXISTING WALL TO REMAIN VERIFY CONDITIONS IN FIELD
	EXISTING WALL TO BE DEMOLISHED VERIFY CONDITIONS IN FIELD

WALL TYPES

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WWW.STUDIOWH.COM

WH

Revision	Number	Description
1	1	Issue

BAY HOUSE
2100 - 2102 E. Balboa Blvd.
Newport Beach, CA 92661

Plan Check #

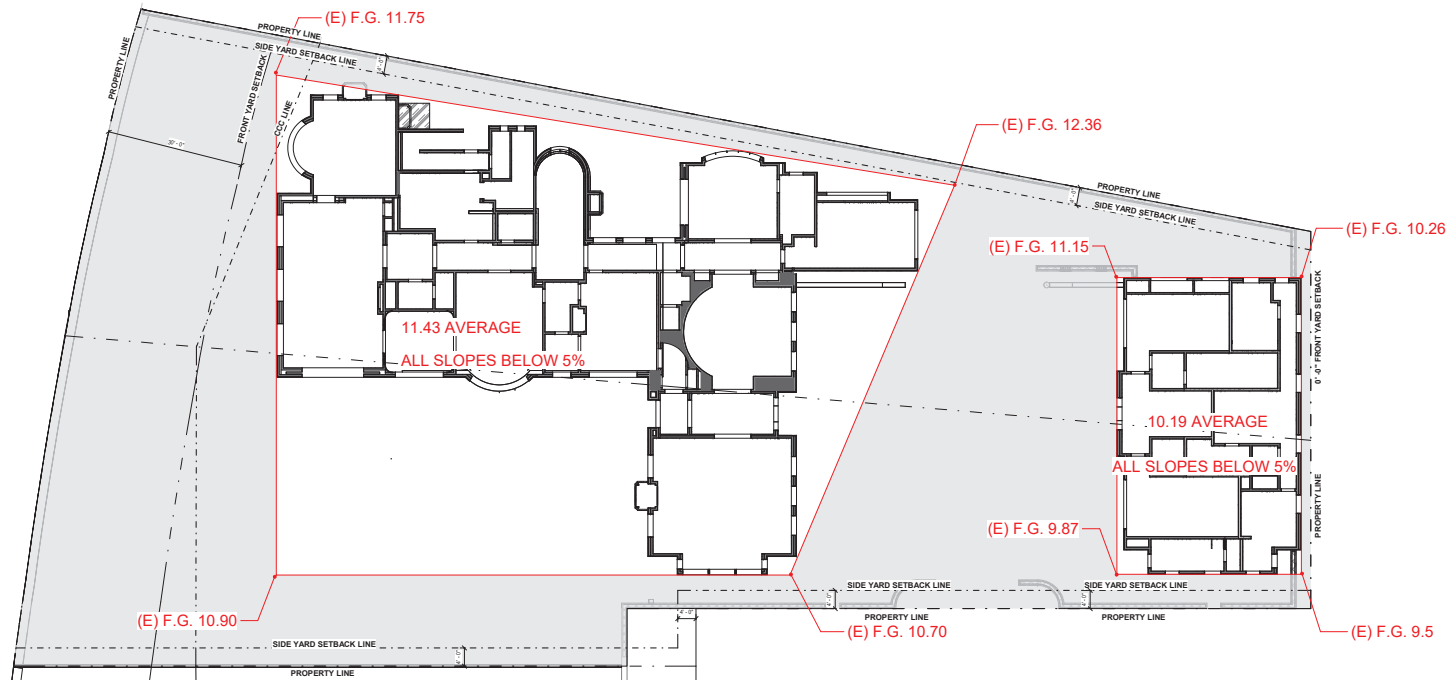
Issue date: 04/14/2025

Scale: As indicated
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SITE DEMO PLAN

A0.2.2



① SITE PLAN - AVERAGE GRADE CALCULATION
1" = 10'-0"



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WH

Revision	Number	Description
1	1	Issue

BAY HOUSE
2100 - 2102 E. Balboa Blvd.
Newport Beach, CA 92661

Plan Check #

Issue date: 04/14/2025

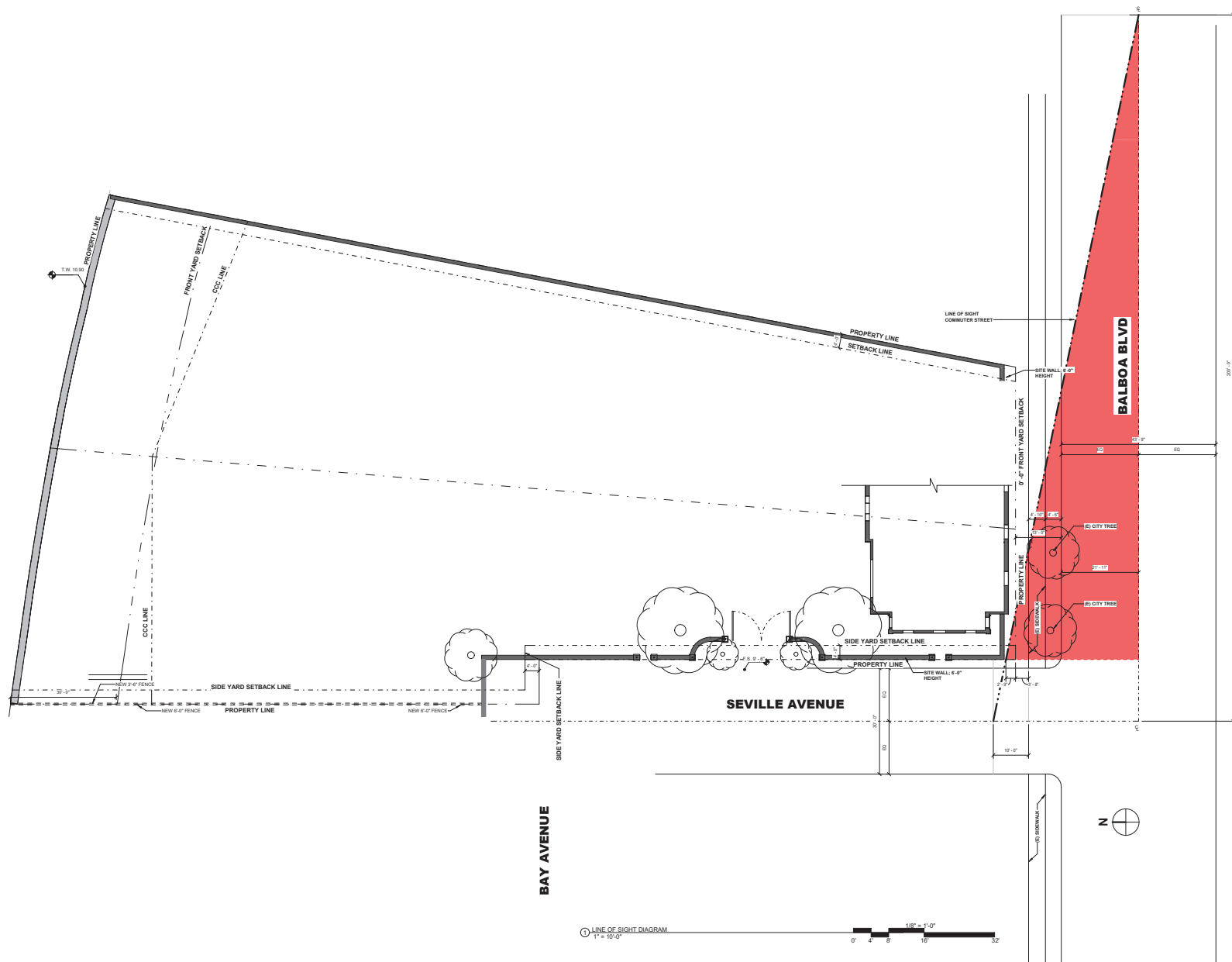
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SITE PLAN - AVERAGE GRADE CALCULATION

A0.2.5



WH

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Revision	Schedule	Description
1	04/14/2025	Issue for Permit

BAY HOUSE
2100 - 2102 E. Balboa Blvd.
Newport Beach, CA 92661

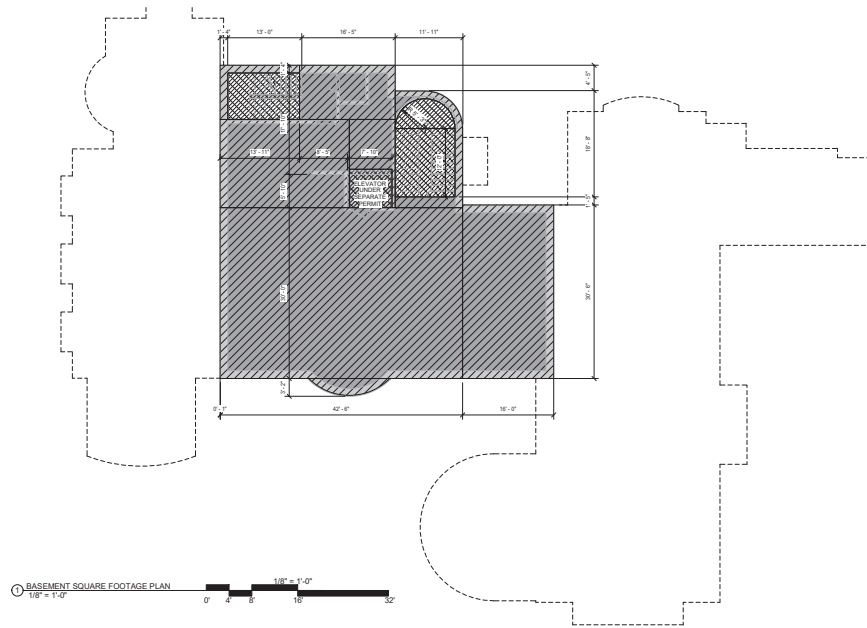
Plan Check # _____

Issue date: 04/14/2025
Scale: 1" = 10'-0"
N.T.S. IF PRINTED 11 X 17

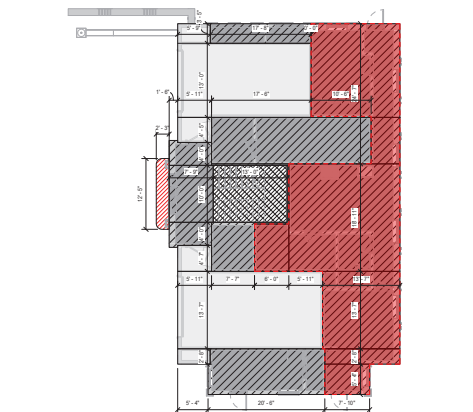
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LINE OF SIGHT DIAGRAM

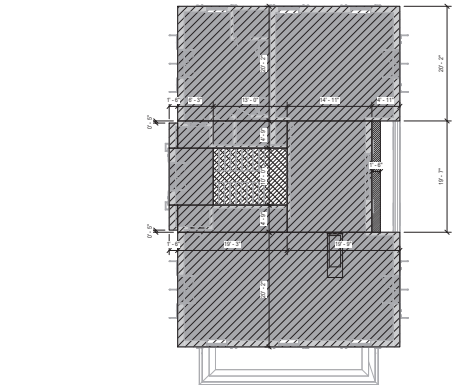
A0.2.6



① BASEMENT SQUARE FOOTAGE PLAN
1/8" = 1'-0"



② FIRST FLOOR SQUARE FOOTAGE PLAN - CARRIAGE HOUSE
1/8" = 1'-0"



③ SECOND FLOOR SQUARE FOOTAGE PLAN - CARRIAGE HOUSE
1/8" = 1'-0"

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WH

Revision	Number	Description
1	1	Issue for Review
2	2	Issue for Review
3	3	Issue for Review
4	4	Issue for Review
5	5	Issue for Review
6	6	Issue for Review
7	7	Issue for Review
8	8	Issue for Review
9	9	Issue for Review
10	10	Issue for Review

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Newport Beach, CA 92661

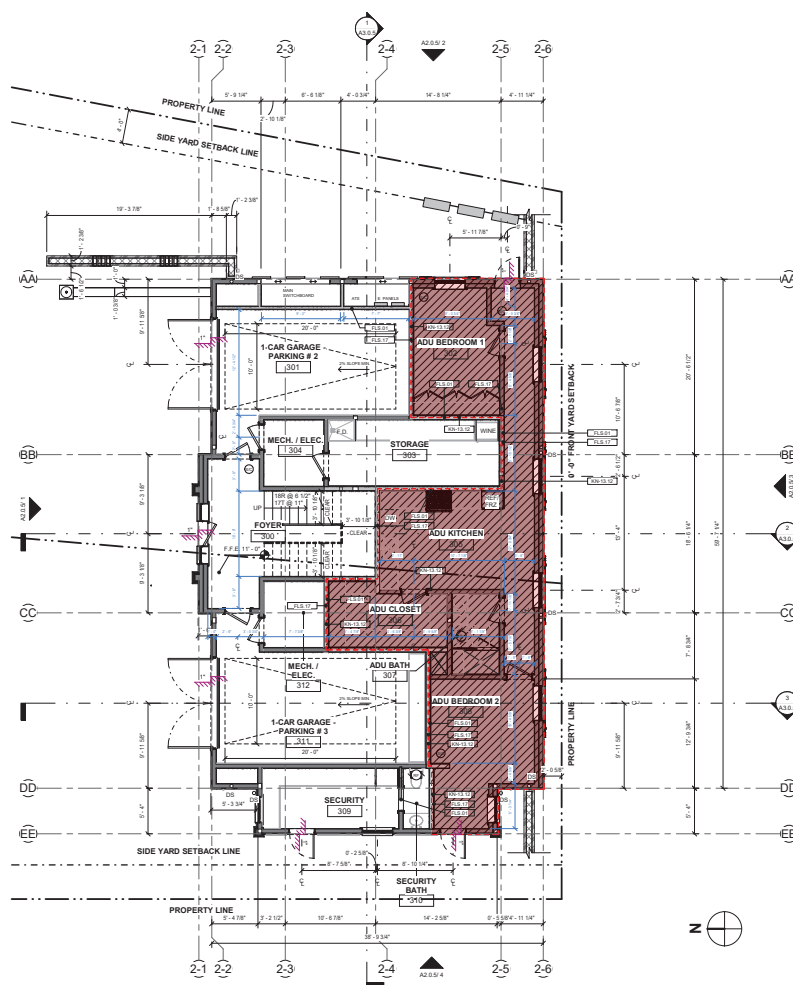
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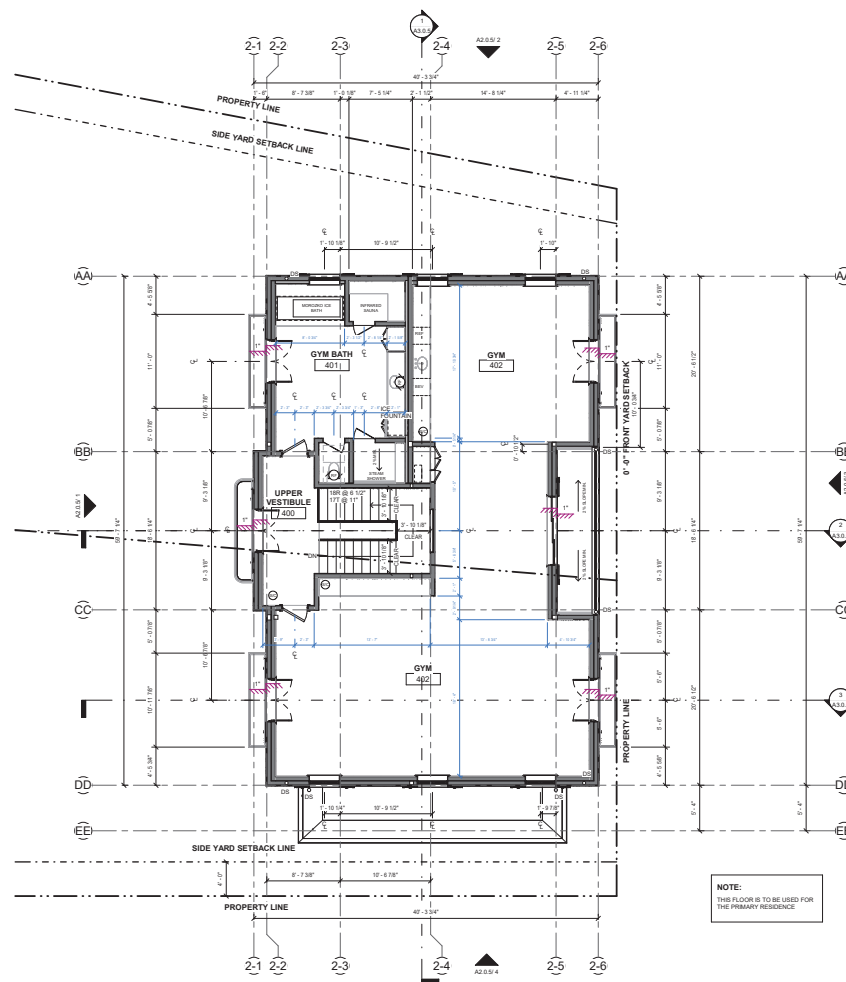
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SQUARE FOOTAGE PLANS

A0.4.1

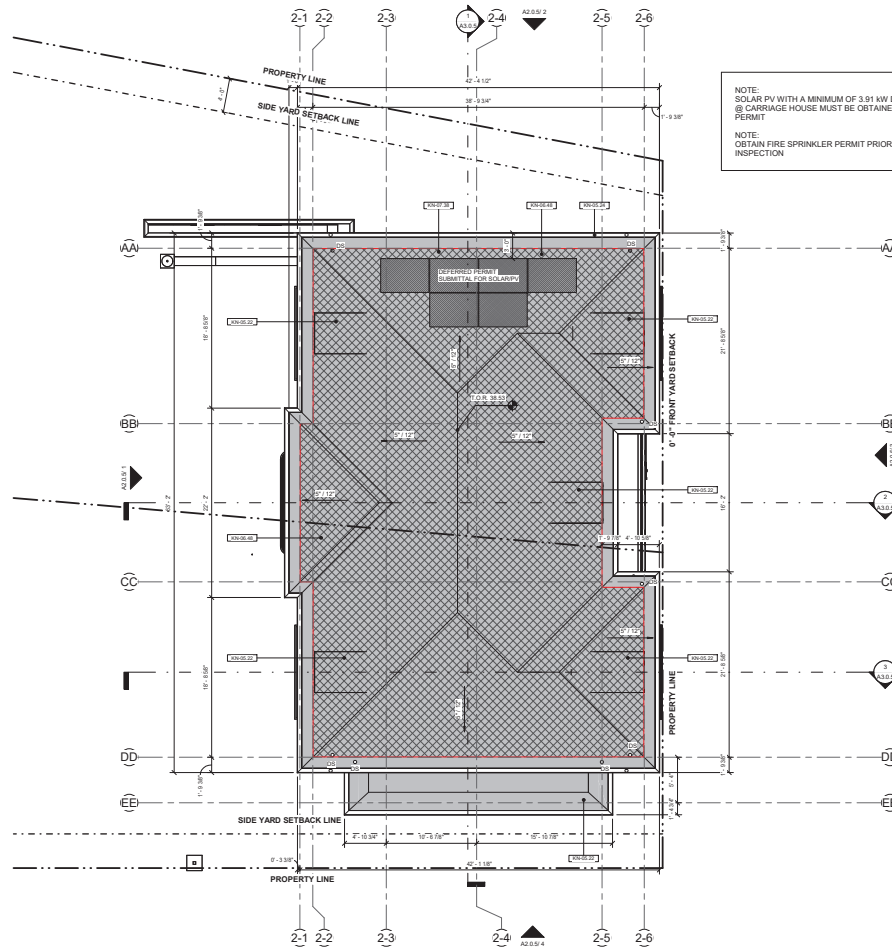
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① SECOND FLOOR DIMENSION PLAN - CARRIAGE HOUSE
3/16" = 1'-0"

[illegible]

3



NOTE:
SOLAR PV WITH A MINIMUM OF 3.91 KW DC @ MAIN RESIDENCE AND 2.54 KW DC @ CARRIAGE HOUSE MUST BE OBTAINED UNDER SEPARATE REVIEW AND PERMIT
NOTE:
OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEETING INSPECTION

ROOF PLAN NOTES	
1	ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN
2	ALL FLAT ROOFS AND BALCONIES SHALL HAVE A MINIMUM OF 2% TOWARDS DRAIN
3	PROVIDE 5/8" PLYWOOD SHEATHING OVER 2x SHIPBOARD @ 16" O.C. OVER ROOF DRAINAGE TO PROVIDE SLOPE TO DRAINAGE SLOPE
4	WATER SHALL NOT BE ALLOWED TO Puddle ON ANY PART OF THE ROOF AND NO OBSTACLE SHALL PREVENT WATER TO Puddle TO DRAINAGE
5	ROOF GUTTER SHALL BE PROVIDED WITH THE WEARD TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. PROVIDE DOME WIRE BASKET AT EACH ROOF DRAIN
6	CORNER DRAIN SHALL HAVE ALL CORNER DRAINAGE POINTS FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDING AND SHALL PROVIDE A 15 YEAR WARRANTY AGAINST LEAKAGE
7	ROOF DRAINAGE TO BE CONNECTED TO EXISTING CITY APPROVED DRAINAGE DEVICE. ALL RAIN WATER TO BE DIRECTED TO STREET OR APPROVED OUTLET
8	MECHANICAL EQUIPMENT IN ATTIC SHALL BE SUSPENDED FROM ROOF JOIST WITH SHIMMING. PROVIDE ISOLATORS TO REDUCE AS MUCH AS POSSIBLE NOISE AND VIBRATION
9	ROOF SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 1A AND CHAPTER 13. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
10	PROVIDE NON-FERROUS COPPER AND 3/8" O.D. COPPER FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS. ALL JOINTS AT SHEET METAL SHALL BE CAULKED
11	ALL VENTS AND ROOF STACKS SHALL HAVE RAIN PROTECTION CAPS. COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJ. MATERIALS, UNLESS SPECIFIED OTHERWISE BY ARCHITECT
12	PROVIDE VENTILATION AT LEAST 1/100TH OF THE AREA OF VENTILATION SPACE AS REQUIRED BY LARSEN SEC. 47.05.02
13	VENTILATION IS NOT REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH AN AIR SPACE BETWEEN INSULATION AND EXTERIOR SHEATHING
14	VENTS SHALL NOT BE SET BACKS RECEIVED AND CORNER'S SIDE AND CORNER VENTS MAY BE USED PROVIDED THEY RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE
15	TOP OF CHIMNEY SHALL EXTEND 2' MIN. ABOVE ANY PART OF THE BUILDING WITHIN 10' AND SHALL HAVE A U.L. APPROVED SPARK ARRESTER
16	WHEN ANY GAS, MECHANICAL EQUIPMENT (CONDENSING UNIT) SHALL BE MOUNTED ON MAJOR SPRING ISOLATORS MIN. 1/2" O.D. SPRING ISOLATOR. MIN. 2" MIN. LIGHTWEIGHT CONCRETE OR EQUIPMENT PLATFORM
17	PROVIDE 1/2" X 1/2" O.D. COPPER FLASHING OVER 5/8" O.D. PLYWOOD SHEATHING FRAMED WITH 2x @ 16" O.C. MIN.
18	PROVIDE DOME OVER BASKET AT EACH ROOF DRAIN
19	SOLO OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT
20	VENTS SHALL BE CONSTRUCTED WITH 1/2" O.D. COPPER FLASHING AND 5/8" O.D. PLYWOOD SHEATHING OVER 2x @ 16" O.C. MIN. COPPER FLASHING OVER 5/8" O.D. PLYWOOD SHEATHING SHALL BE DESIGNED SO THAT WATER IS DEFLECTED IN A DRAINING DRAIN
21	PROVIDE COPPER FLASHING/COUNTER FLASHING AT ALL LOCATIONS

Roof Plan Legend	
	IN CASE ROOF VENT
	ROOF VENT
	SOLAR ZONE
	CONDITIONED ATTIC ZONE
	TC TILE ROOF

ROOF PLAN - CARRIAGE HOUSE
3/16" = 1'-0"

Scale: 3/16" = 1'-0"

Issue date: 04/14/2025
Scale: As Indicated
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ROOF DIMENSION PLAN - CARRIAGE HOUSE

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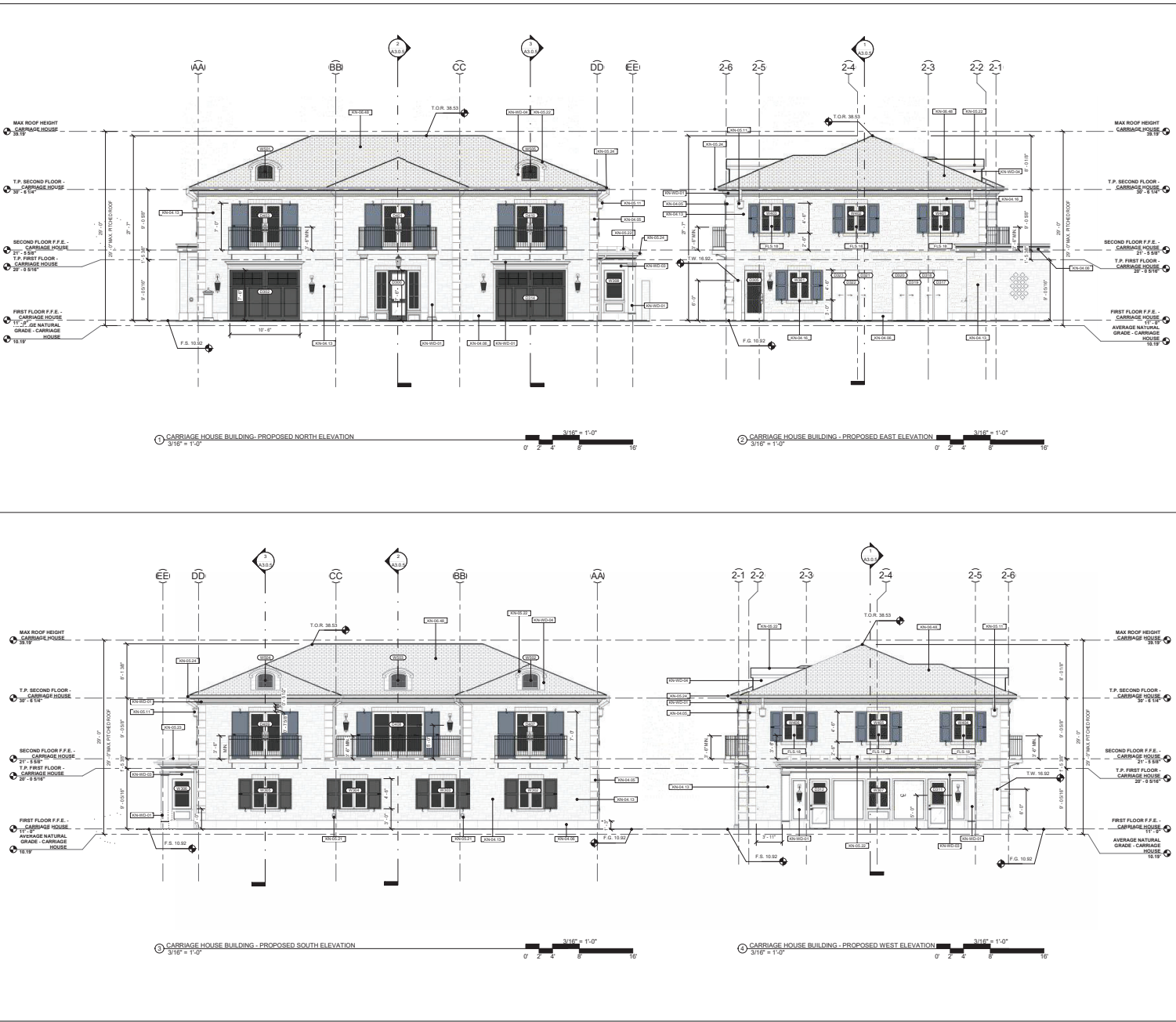
BAY HOUSE
2100 - 2102 E. Balboa Blvd.
Newport Beach, CA 92661

Plan Check #

A1.3.3.2

[illegible]

A2.0.3



KEYNOTES THIS SHEET

KL 18 F.F.S. INTERIOR GLASS GUARDRAIL ON F.F.F. OR GRADE AT EXTERIOR WINDOWS - VISION GLASS TEMPERED. SEE INTERIOR OR EXTERIOR ELEVATION AND DETAILS FOR TYPE. RAILING SHALL BE SET 4" APART AT RAILING AND BOTTOM RAIL. MIN. 1" DISTANCE ADJACENT TO A WALL. SEE INTERIOR OR EXTERIOR ELEVATION AND DETAILS FOR TYPE.

KN 04 02 CANTERA STONE COOKERS PAINTED WHITE FINISH. MOUNTED AT CORNER. SEE EXTERIOR DETAILS.

KN 04 03 STONE BANDING (SEE DETAILS)

KN 04 13 EXTERIOR CANTERA STONE. 3/4" THICKNESS. PAINTED WHITE FINISH. INSTALLED OVER DUPOINT TYVER GRANITE/ MANDREX.

KN 04 18 EXTERIOR BRICK SOLDIER COURSE. PAINTED WHITE FINISH. INSTALLED OVER DUPOINT TYVER GRANITE/ MANDREX.

KN 05 11 COPPER LEADERHEAD - SEE DETAIL FOR SPECIFICATION.

KN 05 12 DOWNSPOUT FLOODE. PAINTED F.B.S.

KN 05 23 COPPER ROOF

KN 05 24 COPPER GUTTER

KN 05 25 COPPER GUTTER CAP

KN 05 26 EXTERIOR WOOD MILLWORK - PAINTED FINISH. COLOR T.B.S. SEE FRESH SCHEDULE.

KN 05 27 EXTERIOR WOOD MILLWORK - PAINTED FINISH. COLOR T.B.S. SEE FRESH SCHEDULE.

KN 05 28 EXTERIOR WOOD SIDING - PAINTED FINISH. COLOR T.B.S. SEE FRESH SCHEDULE.

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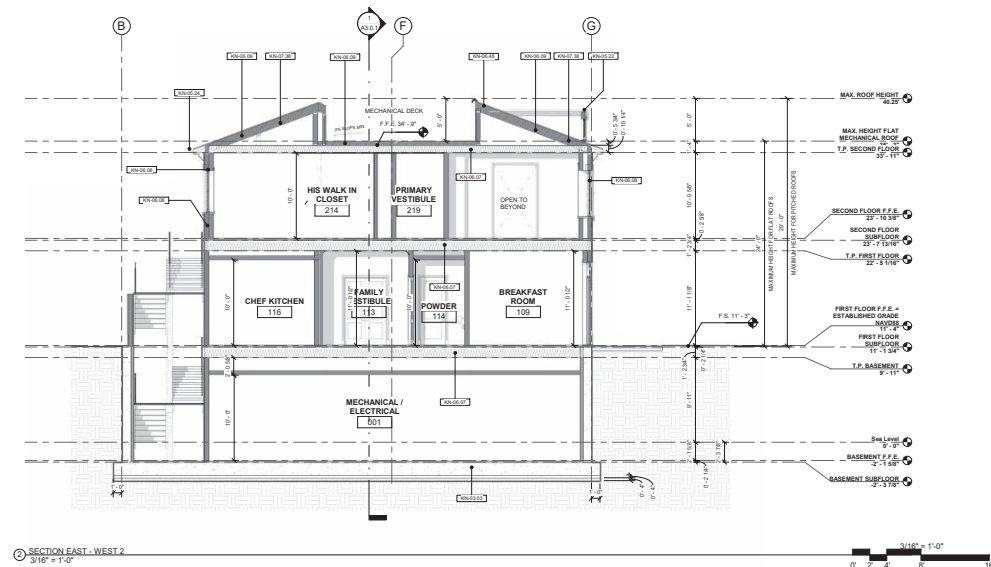
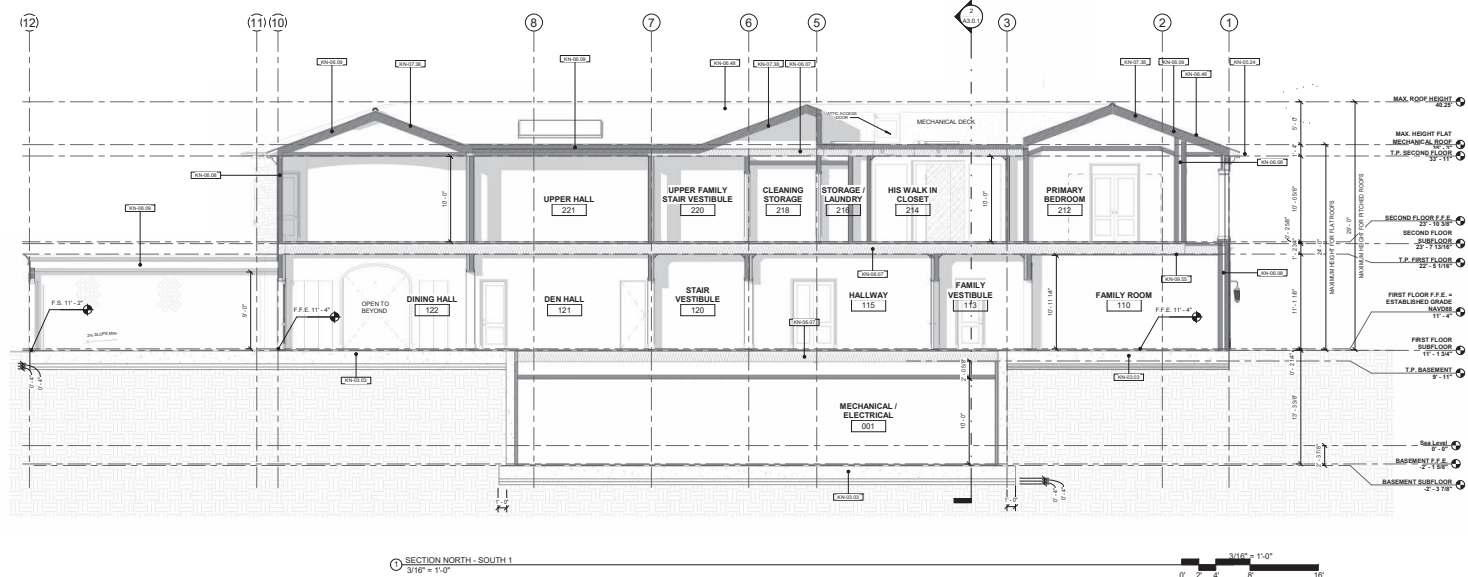
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**CARRIAGE HOUSE
PROPOSED
ELEVATIONS**

A2.0.5



KEYNOTES THIS SHEET	
KN-01.01	STRUCTURAL CONCRETE - VERIFY WITH STRUCTURAL DRWG.
KN-01.02	COVER EXPOSED SUBFLOOR
KN-01.03	DOOR KAPITEE (SEE SIKAFLOORS DRAWING)
KN-01.04	ONE FORMED WALL + INSULATION PER ENERGY CALCULI (SEE TITLE IN REPORT)
KN-01.05	ROOF Rafter (SEE STRUCTURAL) WITH BELOW DECK INSULATION BETWEEN RAFTERS (WITH BA AIR SPACE ABOVE + TRADIMAT) WARMER PER ENERGY CALCULI (SEE TITLE IN REPORT).
KN-01.06	SLATE ROOF TILES 1/2" THICKNESS FINISH FELD
KN-01.07	ROOF ATTIC INSULATION PER TITLE-04 CLOSED CELL SPRAYFOAM
KN-01.10	SQUE TRACK GAB 1.38 INCHES

Revision Schedule

#	Date	Description
1	2/22/2025	Issue for Review

BAY HOUSE

2100 - 2102 E. Baboosa Blvd.
Newport Beach, CA 92661

Plan Check # _____

issue date: 04/14/2025

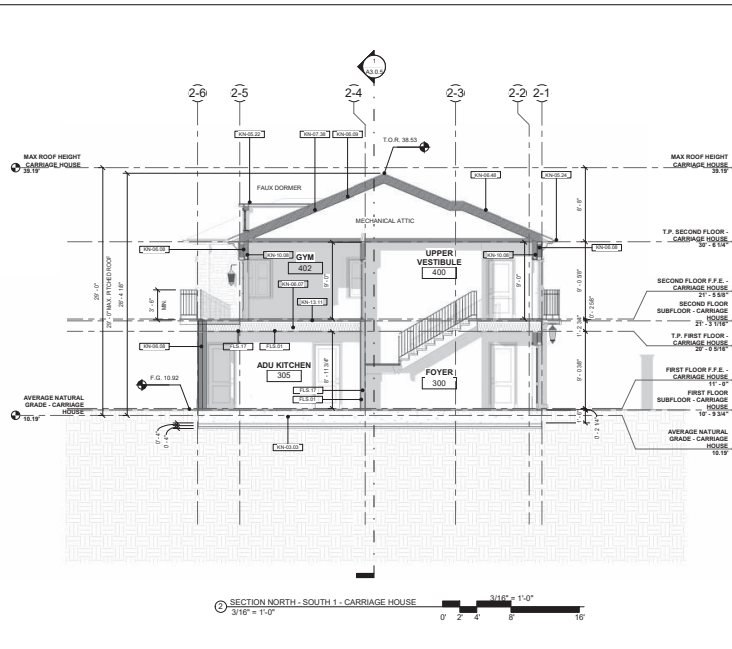
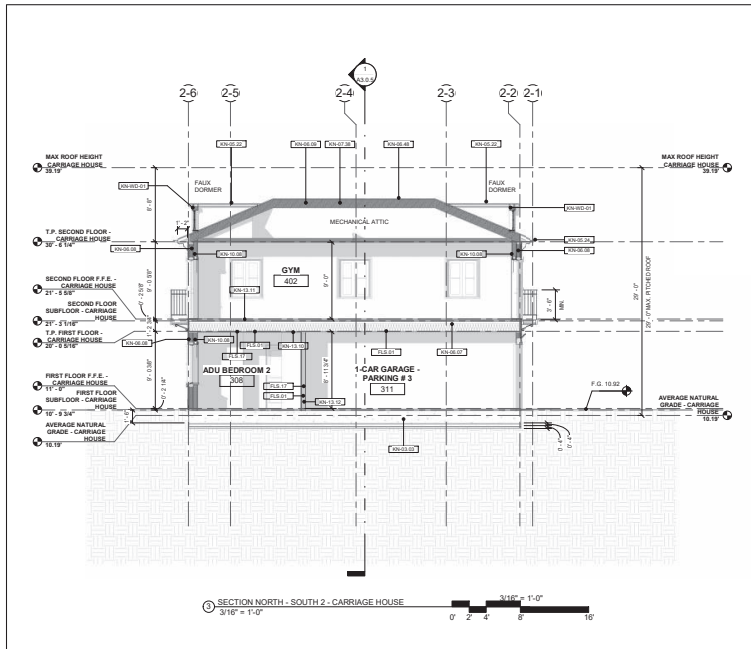
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N.T.S IF PRINTED 11 X 17

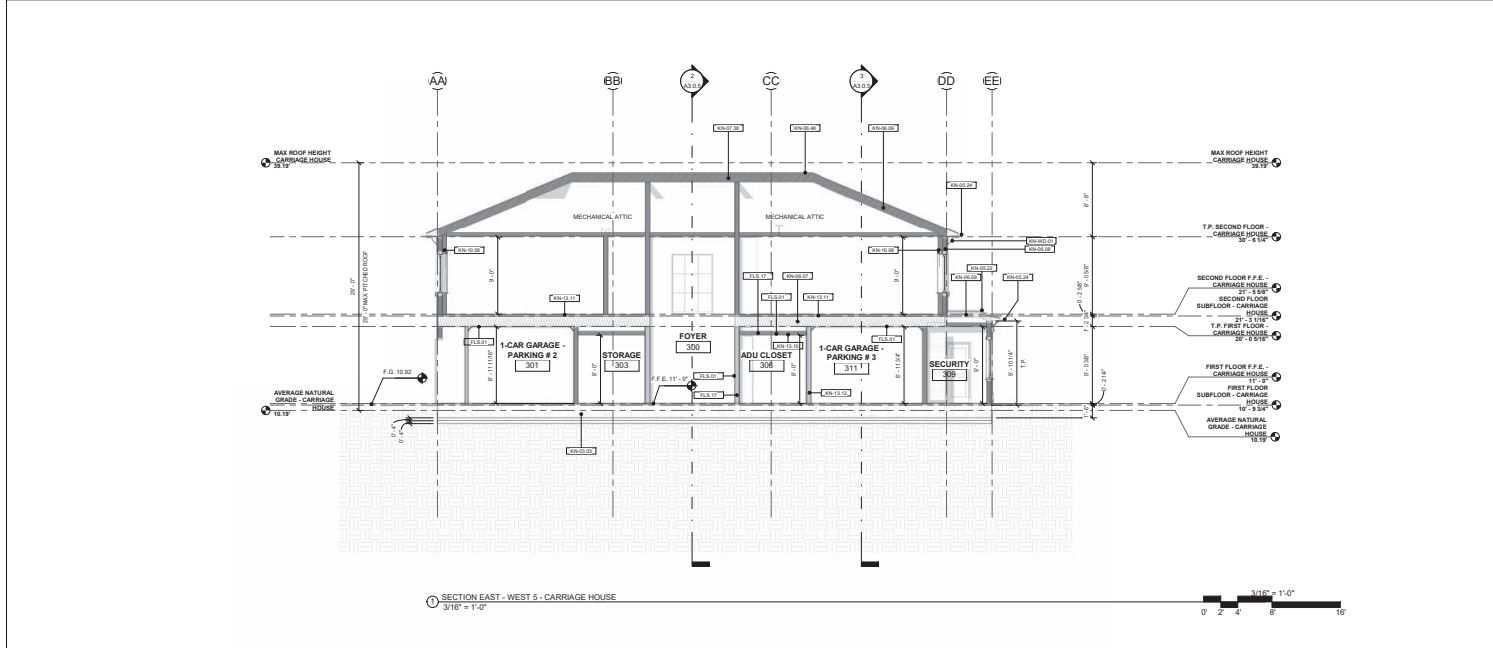
The Drawings, Specifications, and other documents prepared by Studio William Heffner are instruments of the Architect's Service for use solely with respect to this Project and may not be used without consent of Studio William Heffner unless otherwise indicated. It shall be the responsibility of the client to ensure that all drawings and specifications have been approved and sealed before construction begins. The architect does not warrant or accept liability for the accuracy or completeness of these documents and shall retain no obligation after completion of the project.

PROPOSED BUILDING SECTIONS

A3.0.1



KEYNOTES THIS SHEET	
KLS-01	FILE ONE HOUR PROTECTION REQUIRED. PROVIDE 5/8" TYPE 'X' GYPSUM BD. ON ALL GARAGE WALLS, CEILING, POSTS AND BEAMS SUPPORTING DWELLING AND SHALL EXTEND FROM TOP OF CONCRETE TO 10' MIN. IN CASE OF GARAGE CEILING. SCORE BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MIN. AND SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. (SEE DOOR SCHEDULE)
KLS-02	FILE 50 DBC SOUND RATING SEPARATION IS REQUIRED BETWEEN DWELLING UNITS.
KLS-03	STRUCTURAL CONCRETE - VERIFY WITH STRUCTURAL ENGINEER.
KLS-04	COPPER EXPOSED (J/T/F)
KLS-05	FLOOR JOIST (SEE STRUCTURAL ENGINEER)
KLS-06	FOR FURRED WALL + INSULATION PER ENERGY CALCULUS (SEE TITLE 24 REPORT)
KLS-07	ROOF RAFTER (SEE STRUCTURAL) WITH BEAD-ON-ROCK INSULATION BETWEEN RAFTERS WITH NO AIR SPACE ABOVE + INSULANT (MINIMUM PER ENERGY CALCULUS (SEE TITLE 24 REPORT))
KLS-08	ROOF ATTIC INSULATION PER TITLE 24 - CLOSED CELL SPRINGED POLYURETHANE FOAM (SEE TITLE 24 REPORT)
KLS-09	ROOF ATTIC INSULATION PER TITLE 24 - CLOSED CELL SPRINGED POLYURETHANE FOAM (SEE TITLE 24 REPORT)
KLS-10	CONCEALED ROL-DOWN MECHANISM SURFACE (NO BLACKOUT SHADE). CONTRACTOR TO PROVIDE LOW VOLTAGE CONTROL, TIME AND MECHANISM AS REQUIRED.
KLS-11	CLAMP DETACHED RE-DELTAID OR DESIGNED. PROVIDE 5/8" TYPE 'X' GYPSUM BD. ON ALL CEILING.
KLS-12	12" LIGHTWEIGHT CONCRETE WITH A 1 MM RUBBER FLEET (SEE UNDERLAMENT)
KLS-13	STANDARD DOUBLE 2X4 WALL ON 2X4 BASEPLATE WITH SAT INSULATION PROVIDE 5/8" TYPE 'X' GYPSUM BD. ON ONE SIDE AND 2X 5/8" TYPE 'X' GYPSUM BD. ON OTHER SIDE.
KLS-14	EXTERIOR WOOD MILLWORK PAINTED FINISH COLOR (SEE TITLE 24 REPORT)



BAY HOUSE 2100 - 2102 E. Balboa Blvd. Newport Beach, CA 92661	
Plan Check # Issue date: 04/14/2025 Scale: 3/16" = 1'-0" N.T.S. IF PRINTED 11 X 17	The drawings, specifications, and other documents prepared by Studio William Heller for the Bay House are the property of Studio William Heller. They are to be used only for the project and site for which they were prepared. No part of these drawings, specifications, or other documents shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Studio William Heller.
PROPOSED BUILDING SECTIONS - CARRIAGE HOUSE A3.0.5	

GENERAL

[illegible]

1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
3. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
4. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
2. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

[illegible]

SITUATED IN THE STATE OF
CALIFORNIA, COUNTY OF ORANGE,
CITY OF NEWPORT BEACH AND
DESCRIBED AS FOLLOWS:

PARCEL 1: LOT 10, THE WESTERLY
ONE HALF OF LOT 11, OF TRACT
NO. 756, IN THE CITY OF NEWPORT
BEACH, COUNTY OF ORANGE, STATE
OF CALIFORNIA, AS PER MAP
RECORDED IN BOOK 23, PAGES 7
AND 8 OF MISCELLANEOUS MAPS,
IN THE OFFICE OF THE (CONTINUES
AS STATED ON SURVEY FOR
SUBJECT PROPERTY)

OWNERS/BUILDER BAY HOUSE 2100, LLC
101 THE GROVE DRIVE
LOS ANGELES, CA 90036

ARCHITECT STUDIO WILLIAM HEFNER
5820 WILSHIRE BLVD., SUITE 500
LOS ANGELES, CA 90036
(323) 931-1365

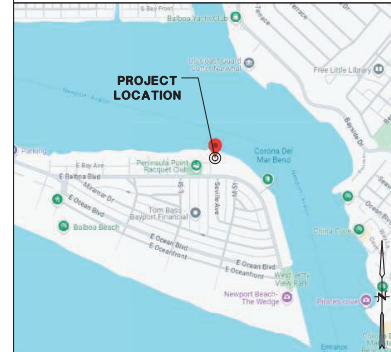
CIVIL ENGINEER
LC ENGINEERING GROUP, INC.
889 PIERCE COURT
SUITE 101
THOUSAND OAKS, CA 91360
(805) 497-1244 (818) 991-
CONTACT: LENNIE LISTON

GEOTECHNICAL GEOTECHNICAL SOLUTIONS, INC.
27 MAUCHLY #210
IRVINE, CA 92618
(949) 453-0406
REPORT #G-5448-01
DATED AUGUST 27, 2004

SURVEYOR TOTAL ENGINEERING, INC.
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
(949) 492-8586

SHEET INDEX	
1.0	COVER SHEET
2.0	ENLARGED GRADING & DRAINAGE PLAN
2.1	BASEMENT PLAN
3.0	CROSS SECTIONS & DETAILS
4.0	WATER QUALITY MANAGEMENT PLAN
4.1	WQMP DETAILS

WITHOUT ENGINEER'S SEAL AND WET SIGNATURE, THESE PLANS (THIS SHEET AND ALL ATTACHED SHEETS) ARE CONSIDERED PRELIMINARY, UNAPPROVED AND NOT FOR CONSTRUCTION.



OUT: 2,090 CU. YDS. FILL: 573 CU. YDS.
EXPORT: 1,517 CU. YDS. IMPORT: 0 CU. YDS.

THE EARTHWORK QUANTITIES ARE PROVIDED AS A COURTESY AND CONVENIENCE TO THE OWNER AND ARE FOR BONDING AND PAY CHECK PURPOSES ONLY. THE QUANTITIES SHOWN ARE APPROXIMATELY CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND DESIGNED ROUGH GRADE ELEVATIONS. THE CALCULATIONS MAKE NO PROVISIONS FOR STRIPPING, SHRINKAGE, BULKING OR ANY OTHER CONDITION NOT IMPLIED. FOR THIS REASON, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE PROJECTS SOILS ENGINEER AND GEOLOGIC INVESTIGATIONS, AND TO DETERMINE FOR HIMSELF, THE QUANTITIES OF EARTH MOVING THAT WILL BE REQUIRED TO COMPLETE THIS PROJECT.

DIAL TOLL FREE

811

Know what's below.
Call before you dig.
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

LC ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CIVIL • STRUCTURAL • GEOTECHNICAL
880 Power Court, Suite 105, Thousand Oaks, California 91320
818-993-7118 • 805-487-1244 • info@legpacific.com

**FOR PLAN
CHECK ONLY**
THESE DRAWINGS ARE
NOT INTENDED FOR
CONSTRUCTION.

503

DATE _____

11

11

BAY HOUSE

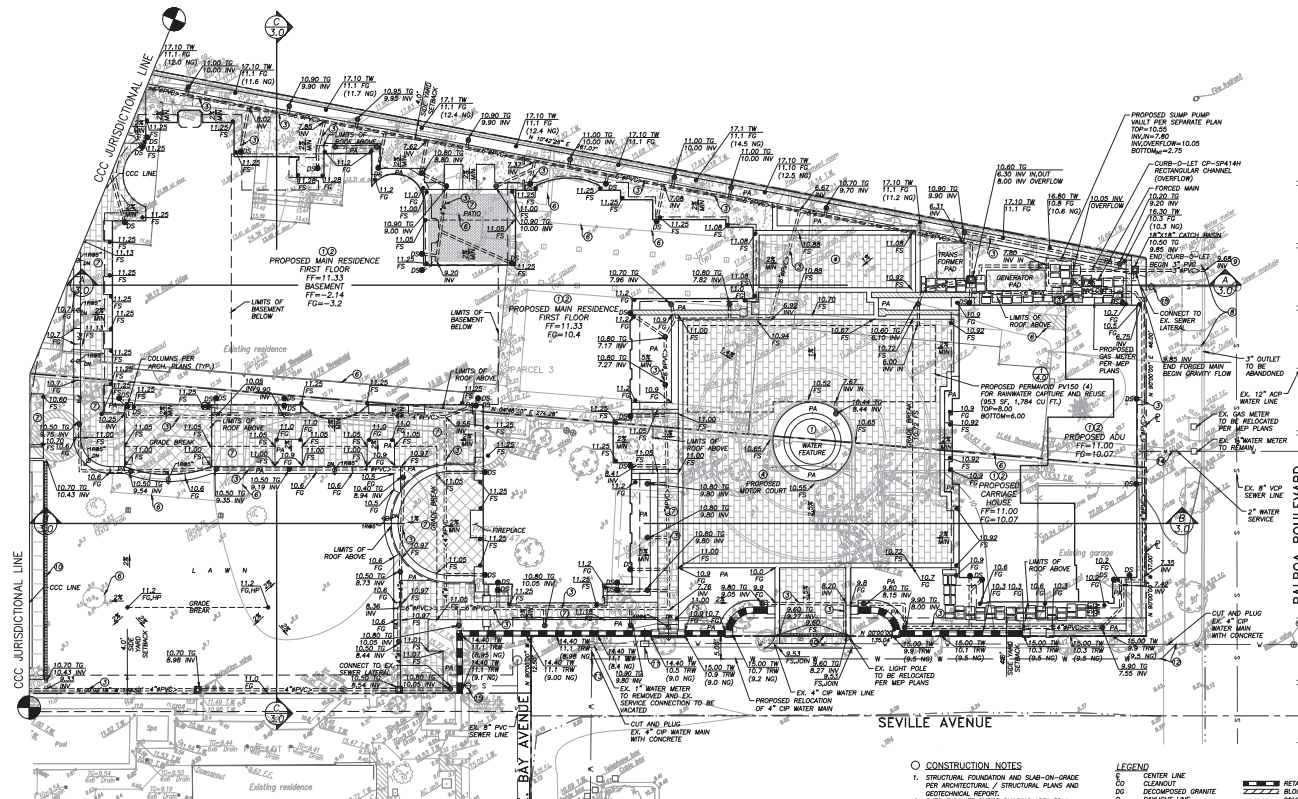
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SCA
DBA

DATE	10/10/2018
JOB	10/10/2018

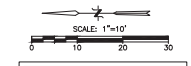
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- CONSTRUCTION NOTES**
- STRUCTURAL FOUNDATION AND SLAB-ON-GRADE PER ARCHITECTURAL / STRUCTURAL PLANS AND GEOTECHNICAL REPORT.
 - OVER EXCAVATE ENTIRE BUILDING AREA TO A DEPTH OF 1.5' BELOW GRADING SURFACE OR 2' BELOW FOOTINGS, WHICHEVER IS DEEPER, AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
 - CONSTRUCT 300-36 PVC PIPE (SIZE AS SHOWN) AT 1% MINIMUM SLOPE (MIN. PIPE SIZE 4").
 - CONSTRUCT PAVEMENT MOTOR COURT/DRIVEWAY PER DETAIL 3, SHF. C3.0.
 - EXISTING TO REMAIN.
 - EXISTING TO BE REMOVED.
 - PROPOSED PAVING PER ARCHITECTURAL PLANS.
 - GRADE DRAINAGE AND CONSTRUCT TYPE 8" PVC CURB PER DETAIL 4, SHF. C3.0.
 - CONSTRUCT CURB OUTLET PER DETAIL 5, ON SHF. C3.0. INVERT PER PLAN.
 - CONSTRUCT 12" PRODUCE WOOD CHANNEL DRAIN WITH BOTTOM OUTLET.
 - PROPOSED 2" WATER SERVICE AND 2" WATER PER CITY OF NEWPORT STD. PLAN 503.
 - BE AND EXISTING WATER MAIN PER CITY OF NEWPORT STD. PLAN 514.
 - CONSTRUCT PROPOSED 4" CP WATER MAIN TO EX. 4" CP WATER MAIN PER CITY OF NEWPORT BEACH STD. PLAN 511.
 - PROPOSED 2" WATER SERVICE TO CONNECT TO EXISTING 1" WATER METER PER CITY OF NEWPORT STD. PLAN 503.
 - PROPOSED CLEANTOY TO CONNECT TO EXISTING SEWER LATERAL PER CITY OF NEWPORT STD. PLAN 406.

- LEGEND**
- CENTER LINE
 - CL CLEANTOY
 - DO DOWNCAST
 - DS DOWN
 - DS DOWNSPUT
 - FF FINISH FLOOR
 - FS FINISH GRADE
 - FL FLOOR LINE
 - FS FINISH SURFACE
 - GB GRADE BREAK
 - HP HIGH POINT
 - INVERT
 - NS NATURAL GRADE
 - PA PLANTER AREA
 - PP PROPERTY LINE
 - PPR PROPOSED PERMIT
 - NS NATURAL GRADE
 - TC TOP OF CURB
 - TD TOP OF DECK
 - TO TOP OF GRADE
 - TW TOP OF WALL
 - UND UNLESS NOTED OTHERWISE
 - TRW TOP OF RETAINING WALL



NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSULT PROJECT DESIGNER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.



FOR PLAN CHECK ONLY
THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION.

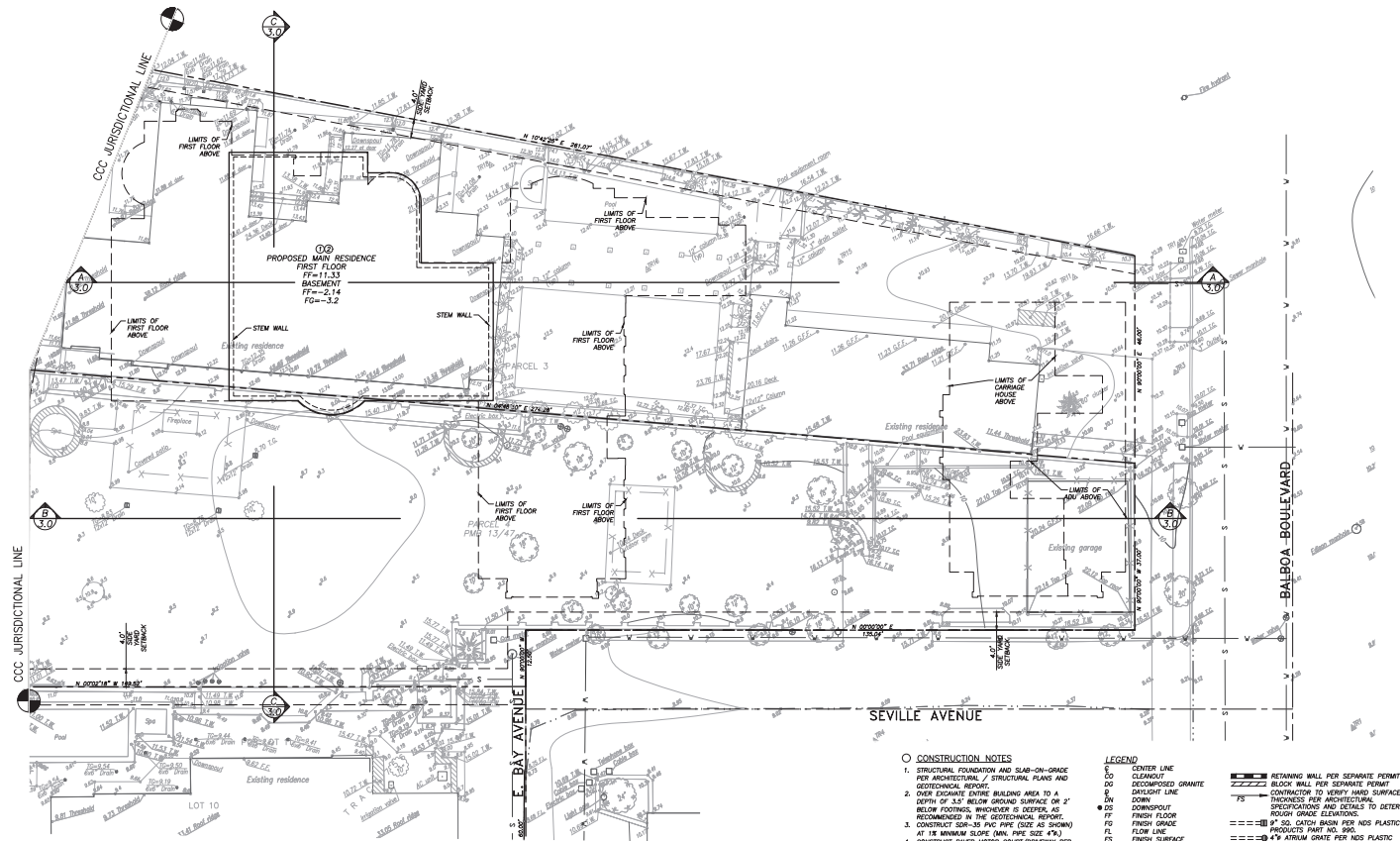
REVIEW	DATE	SUBMITTAL/PERSON

BAY HOUSE
2100-2100 E BALBOA BLVD.
NEWPORT BEACH, CA 92661

ENLARGED GRADING AND DRAINAGE PLAN

DATE:	5/3/2020
SCALE:	1"=10'
DESIGNER:	801
CHECKED:	801
SHEET:	

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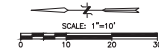


CONSTRUCTION NOTES

1. STRUCTURAL FOUNDATION AND SLAB-ON-GRADE PER ARCHITECTURAL / STRUCTURAL PLANS AND GEOTECHNICAL REPORT.
2. OVER EXCAVATE ENTIRE BUILDING AREA TO A DEPTH OF 1.5' BELOW FINISH GRADE OR 2" BELOW FOOTINGS, WHICHEVER IS DEEPER, AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
3. CONSTRUCT 8" SCH 40 PIPE (SIZE AS SHOWN) AT 18" MINIMUM SLOPE (MIN. PIPE SIZE 4").
4. CONSTRUCT PAVEMENT MOTOR COURT/DRIVEWAY PER DETAIL 3, SHIT, C.S.D.
5. EXISTING TO REMAIN.
6. EXISTING TO BE REMOVED.
7. PROPOSED PAVING PER ARCHITECTURAL PLANS.
8. GROUND GRADING AND CONSTRUCT TYPE 6 8" PCC CURB PER DETAIL 4, SHIT, C.S.D.
9. CONSTRUCT CURB OUTLET PER DETAIL 5, ON SHIT, C.S.D. INVERT PER PLAN.
10. CONSTRUCT 12" PRODUCE MOOR CHANNEL DRAIN WITH BOTTOM OUTLET.
11. PROPOSED 2" WATER SERVICE AND 2" METER PER CITY OF NEWPORT STD. PLAN 503.
12. RE-INTO EXISTING WATER MAIN PER CITY OF NEWPORT STD. PLAN 514.
13. CONNECT PROPOSED 4" TOP WATER MAIN TO EX. 4" TOP WATER MAIN PER CITY OF NEWPORT BEACH STD. PLAN 511.
14. PROPOSED 2" WATER SERVICE TO CONNECT TO EXISTING 1" WATER METER PER CITY OF NEWPORT STD. PLAN 503.
15. PROPOSED CLEANDIRT TO CONNECT TO EXISTING SEWER LATERAL PER CITY OF NEWPORT STD. PLAN 406.

LEGEND

- CL CENTER LINE
 DO CLEANDIRT
 DO DOWN
 DS DOWNSPUT
 FF FINISH FLOOR
 FS FINISH GRADE
 FL FLOOR LINE
 GB GRADE BREAK
 HP HIGH POINT
 INVERT
 NS NATURAL GRADE
 PA PLANTER AREA
 PL PROPERTY LINE
 PPS PER SEPARATE PERMIT
 NG NATURAL GRADE
 TC TOP OF CURB
 TD TOP OF DECK
 TO TOP OF GRADE
 TW TOP OF WALL
 UNO UNLESS NOTED OTHERWISE
 TRW TOP OF RETAINING WALL
- RETAINING WALL PER SEPARATE PERMIT
 BLOCK WALL PER SEPARATE PERMIT
 CONTRACTOR TO VERIFY HARD SURFACE THICKNESS FOR ARCHITECTURAL SPECIFICATIONS AND DETAILS TO DETERMINE ROUGH GRADE ELEVATIONS.
 8" SCH. 40 CATON BASIN PER NDS PLASTIC PRODUCTS PART NO. 180.
 4" X 4" ATULUM GRATE PER NDS PLASTIC PRODUCTS PART NO. 75.
 EXISTING SPOT ELEVATIONS
 INDICATES PROPOSED POOL/SPA (PER SEPARATE PERMIT)



NOTE TO CONTRACTOR

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811 DIAL TOLL FREE 1-800-4-A-ROOT
 AT LEAST TWO DAYS BEFORE YOU DIG
 800 WHAT'S BELOW.
 Call before you dig
 UNDERGROUND SERVICE ALERT OF SUBURBAN CALIFORNIA

FOR PLAN CHECK ONLY
 THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION.

REVIEW	DATE	SUBMITTAL/PERSON

BAY HOUSE
 2102-2103 E BALBOA BLVD.
 NEWPORT BEACH, CA 92661

BASEMENT PLAN

DATE:	5/3/2023
SCALE:	1"=10'
DRAWN:	AKS
CHECKED:	BSB
SHEET:	

C 2.1

FOR PLAN
CHECK ONLY
THESE DRAWINGS ARE
NOT INTENDED FOR
CONSTRUCTION.

SUBMITTAL/REVISION

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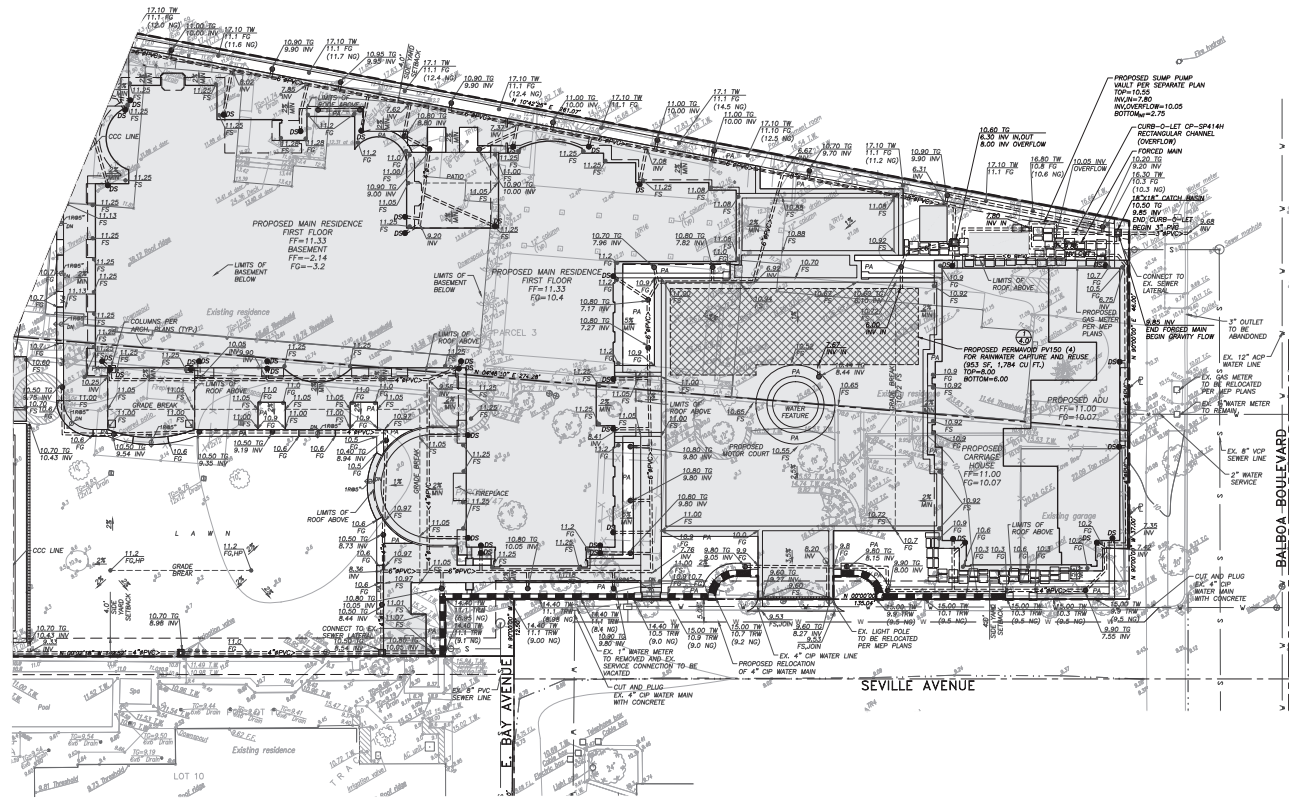
DATE

REVIEW

DATE

REVIEW

DATE



LEGEND

— SUBAREA BOUNDARY

INDICATES IMPERVIOUS AREA

INDICATES PERMADRAIN (PVI50/4) FOR RAINWATER CAPTURE AND REUSE

SITE INFORMATION

TOTAL AREA = 0.50 AC

IMPERVIOUS AREA = 0.44 AC

PERCENT IMPERVIOUS = 73%

LC ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CIVIL • STRUCTURAL • GEOTECHNICAL

1010 10th St, Suite 100
Newport Beach, CA 92660
Tel: 949.771.1234 • Fax: 949.771.1235 • Email: info@lcegroup.com

FOR PLAN CHECK ONLY
THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION.

REVIEW	DATE	SUBMITTAL/REVISION

BAY HOUSE
2150 2150 E BALBOA BLVD.
NEWPORT BEACH, CA 92661

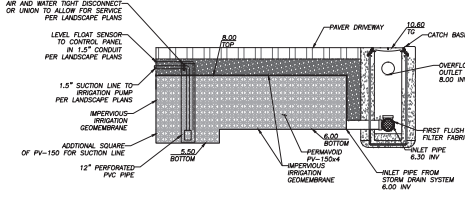
WATER QUALITY MANAGEMENT PLAN

DATE: 5/3/2023
SCALE: 1"=10'
DESIGN: [Signature]
JOB NO: 2023-001
SHEET

C 4.0

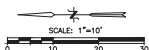


DETAIL NO. 2
STENCIL TO BE PRINTED NEAR CATCH BASINS THAT DRAIN INTO PLANTER BOXES



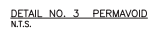
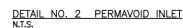
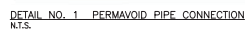
NOTE: PERMADRAIN TO BE WRAPPED ENTIRELY WITH IMPERVIOUS LINER. PERMADRAIN WILL NOT BE USED FOR PASSIVE IRRIGATION AND WILL FUNCTION AS A CISTERN. SEE LANDSCAPE/IRRIGATION PLANS FOR DETAILS FOR SUCTION LINE AND FLUSH.

DETAIL NO. 1 PERMADRAIN RAINWATER HARVESTING STORAGE
N.T.S.



811 DIAL TOLL FREE 811
AT LEAST TWO DAYS BEFORE YOU DIG
Call before you dig.
UNDERGROUND SERVICE ALERT BY SOUTHERN CALIFORNIA

NOTE TO CONTRACTOR
CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

[illegible]

NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY THE LOCATIONS OF ALL PROPOSED STRUCTURES, ELEVATIONS, AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

LAYOUT NOTES:

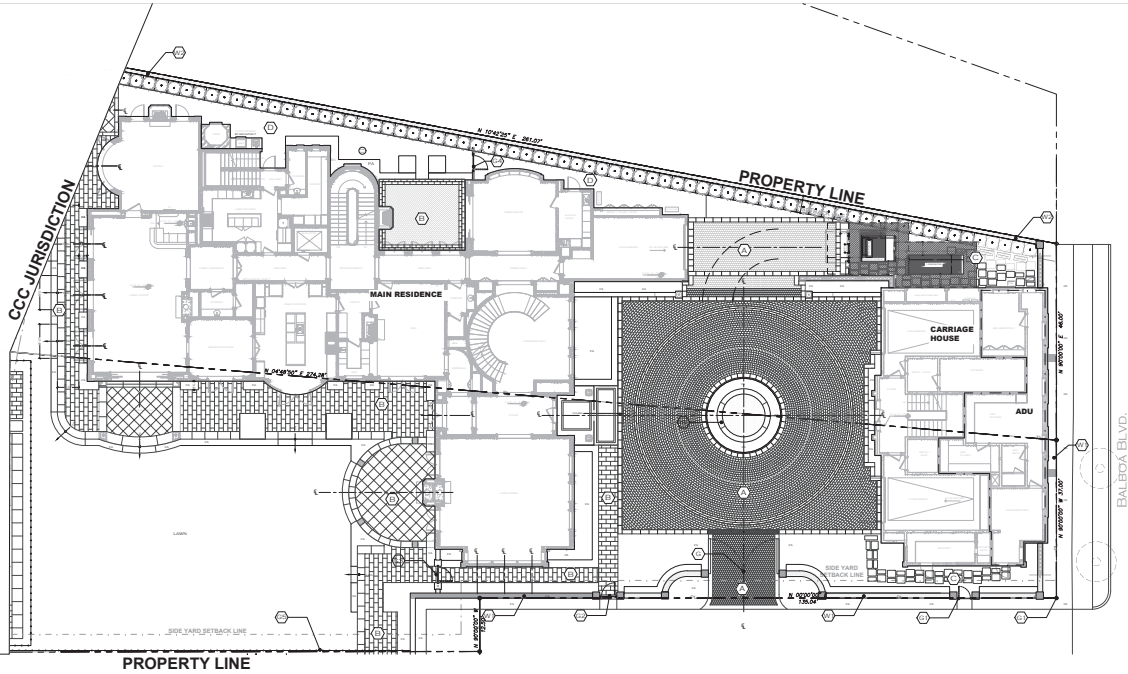
1. ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE PLANS AND WHAT IS OCCURRING IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. SEASONS AND DRAINAGE PLAN PER CIVIL ENGINEER.
3. ELEVATIONS ARE APPROXIMATE BASED ON PROVIDED SURVEY DATA.
4. WRITTEN DIMENSIONS OVERIDE SCALED GRAPHICS.

DRAWING NOTES:

1. ALL VISIBLE STONE CORING EDGES AND CHAMFERED TO BE FINISHED BY MANUFACTURER.
2. STEEL REINFORCING PER STRUCTURAL ENGINEER.
3. STONE GROUT JOINTS TO BE PLACED PER LAYOUT VISIBLE IN PLANS. ADJUSTMENTS MADE IN THE FIELD TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. CONCRETE AND REINFORCING FOR ALL WALLS, SLABS, AND FOOTINGS PER STRUCTURAL ENGINEER.
5. WATERPROOFING PER CONTRACTOR.
6. FINAL LANDSCAPE LAYOUT TO BE APPROVED ON SITE BY LANDSCAPE ARCHITECT PRIOR TO CONCRETE PLACEMENT.

PLANTING NOTES:

1. SHRUBS AND UNDERSTORY PLANTINGS TO BE DROUGHT TOLERANT AND COMPLIANT WITH MAKELO REQUIREMENTS.



LAYOUT LEGEND

SYMBOL	ITEM
	PROPERTY LINE
	P.O.B.
	ABC CENTER POINT
	DETAIL REFERENCE NUMBER
	SHEET NUMBER
	PLANTING AREA

PAVING SCHEDULE

CODE	DESCRIPTION	MATERIAL
	MOTOR COURT COBBLE	GRANITE
	TERRACE STONE	LIMESTONE
	GARDEN PATH	LIMESTONE STEPPERS
	SERVICE PATH	CONCRETE WITH SEEDED AGGREGATE

TREE LEGEND

	NAME	SIZE	QUANTITY	WUCOLS
	FICUS RUBIGINOSA	120" BOX	2	MODERATE
	CREPE MYRTLE	24" BOX	6	LOW
	OLEA EUROPEA (NON FRUIT BEARING)	60" BOX	1	LOW
	PLATANUS RACEMOSA	72" BOX	2	MODERATE
	CORNUS CAPITATA "MOUNTAIN MOON"	24" BOX	7	MODERATE
	MAGNOLIA 'D.D. BLANCHARD'	48" BOX	2	MODERATE
	FICUS NITIDA	24" BOX	108	MEDIUM

SITE WALL SCHEDULE

CODE	SYMBOL	DESCRIPTION	NOTES
		SITE WALL-1	STONE VENEER FINISH AND STONE CAPS, 6" HEIGHT FROM EXISTING GRADE ON PUBLIC SIDE OF WALL.
		SITE WALL-2	STONE VENEER FINISH AND STONE CAPS, 6" HEIGHT FROM EXISTING GRADE.

GATE & FENCE SCHEDULE

CODE	DESCRIPTION	MATERIAL/ MANUFACTURER	NOTES
	MOTOR GATE	STEEL FRAME WITH WOOD CLADDING	6' HEIGHT
	PEDESTRIAN GATE-1	STEEL FRAME WITH WOOD CLADDING	6' HEIGHT
	PEDESTRIAN GATE-2	STEEL FRAME WITH WOOD CLADDING	6' HEIGHT
	SIDE YARD GATE	STEEL FRAME WITH WOOD CLADDING	6' HEIGHT
	SIDE YARD GATE	STEEL FRAME WITH WOOD CLADDING	6' HEIGHT
	PROPERTY FENCE	STEEL PICKET	5' HEIGHT

SITE AMENITIES SCHEDULE

CODE	DESCRIPTION	MATERIAL/ MANUFACTURER	NOTES
	WATER FEATURE-1	STONE	18" DEPTH MAX



Christine-London Ltd.

OFFICE: 2100 & 2102 E BALBOA BLVD
NEWPORT BEACH, CA 92661
TEL: 714.755.1198

SITE IMPR

SHEET TITLE

PROJECT: 2100 & 2102 E BALBOA BLVD.

ADDRESS: 2100 & 2102 E BALBOA BLVD
NEWPORT BEACH, CA 92661

STAMP/ SIG

DATE	DESCRIPTION
08/04/2024	REVIEW DRAFT
11/21/2024	CITY COR/AC
01/22/2025	CITY COR/AC
03/04/2025	CITY COR/AC
04/14/2025	CITY COR/AC
05/08/2025	CITY COR/AC



DESIGNED BY: RL, MS
SCALE: 3/32" = 1'-0"
SHEET NUMBER:

L-2.10