



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

July 30, 2026
Agenda Item No. 4

SUBJECT: Becker Residence (PA2024-0197)
▪ Coastal Development Permit

SITE LOCATION: 224 Grand Canal

APPLICANT: Ron Ritner, Architect

OWNER: Becker Family Trust

PLANNER: Laura Rodriguez, Assistant Planner
lrodriguez@newportbeachca.gov, 949-644-3216

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Two Unit Residential (RT)
- **Zoning District:** Two-Unit Residential, Balboa Island (R-BI)
- **Coastal Land Use Plan Category:** Two Unit Residential – 30.0 - 39.9 DU/AC (RT-E)
- **Coastal Zoning District:** Two-Unit Residential, Balboa Island (R-BI)

PROJECT SUMMARY

A coastal development permit (CDP) to demolish an existing two-unit dwelling and construct a new, three-story 2,160-square-foot dwelling with a 303-square-foot junior accessory dwelling unit (JADU) and an attached 434-square-foot two-car garage. Also included is the installation of hardscape, drainage, site walls, and patio improvements. All improvements authorized by this CDP will be located on private property and no deviations from the Newport Beach Municipal Code are requested.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. __ approving Coastal Development Permit No filed as PA2024-0197 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The property is a waterfront property on Balboa Island, as shown in Figure 1 below. The property is separated from the Grand Canal by a public boardwalk and the City-owned bulkhead.

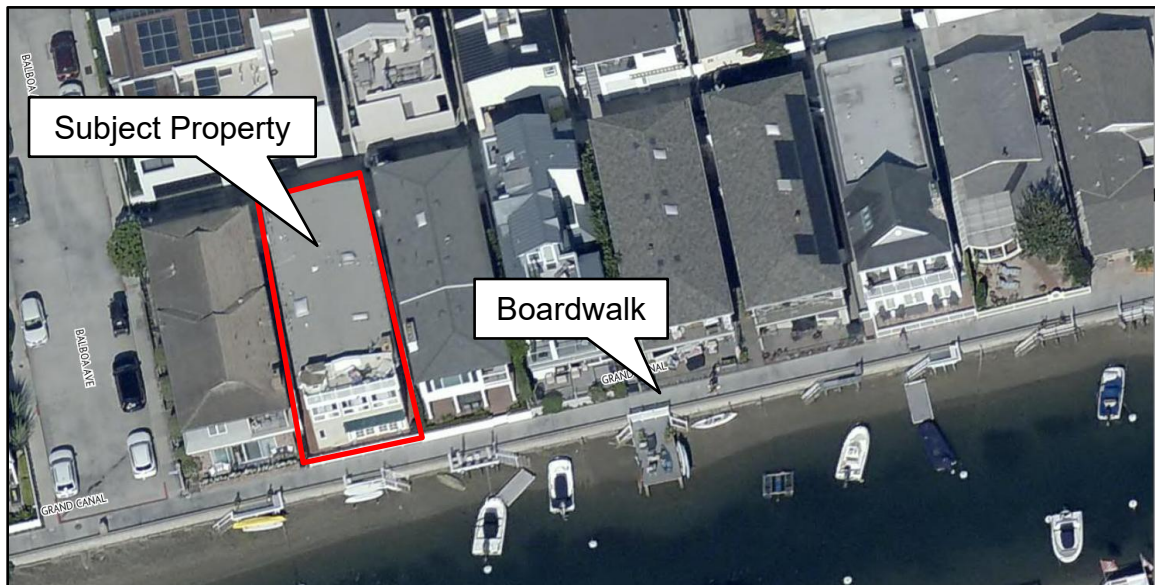


Figure 1: Oblique Image of Subject Property

- The property is in the R-BI Coastal Zoning District, which allows single-unit residential development on a single lot. A single-unit dwelling with a JADU is proposed and therefore consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- A CDP is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The surrounding development consists of two- and three-story, single-unit and two-unit dwellings. The project's design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development and expected future development
- The proposed single-unit dwelling, JADU, and accessory structures will comply with all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front	5 feet	5 feet
Sides	3 feet	3 feet
Rear	0 feet	7 feet 6 inches
Allowable Floor Area (max.)	2,900 square feet	2,897 square feet ¹
JADU Allowable Floor Area (max.)	500 square feet	303 square feet
Allowable 3rd Floor Area (max.)	360 square feet	126 square feet
Allowable 3rd Floor Area & Covered (max.)	900 square feet	578 square feet
Open Space (min.)	270 square feet	293 square feet
Parking (min.)	2-car garage	2-car garage
Height (max.)	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

¹The JADU is included in the total gross floor area limit.

Hazards

- The property is protected by a City-owned bulkhead. Therefore, the project is not proposing to modify the existing bulkhead.
- A Coastal Hazards Report and Sea Level Rise Analysis was prepared by William Simpson & Associates, Inc. dated September 17, 2024, for the Project. The current maximum bay water elevation is 7.47 feet (NAVD88) and may exceed the existing top of bulkhead elevation of 8.4 NAVD88 during high tide or storm events. Assuming a 2.8-foot increase in the maximum water level over the next 75 years (i.e. the life of the structure), the sea level is estimated to reach a maximum height of approximately 10.27 feet (NAVD 88) (the likely range for sea level rise over 75-year design life of the structure based on low risk aversion estimates for sea level rise provided by the State of California Sea Level Rise Guidance: 2024 Science and Policy Update).
- The finished floor elevation of the proposed residence is 9.12 (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard but does not protect against future sea level rise assuming a bay water elevation of 10.9 feet NAVD88. Therefore, a waterproofing curb or similar waterproofing material will be installed around the residence to protect from future sea level rise.
- Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the Newport Beach Municipal Code (NBMC), the Owners will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or

destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied prior to final building inspection.

- Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, the Owners will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority. This requirement is included as a condition of approval that will need to be satisfied prior to issuance of building permits.
- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property is located adjacent to coastal waters. A Construction Pollution Prevention Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and minimize pollution of runoff and coastal waters derived from construction chemicals and materials.
- The project design addresses water quality with a construction erosion control plan and a post-construction drainage system that includes drainage and percolation features designed to retain dry weather runoff and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access and Views

- The property is located between the nearest public road and the sea or shoreline. Implementation Plan Section 21.30A.040 requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing duplex located on a standard R-BI lot with a new single-unit dwelling and JADU. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

- The property is not located adjacent to a coastal view road or coastal viewpoints as identified in the Coastal Land Use Plan. The nearest coastal viewpoints are approximately 370 feet south on the Park Avenue bridge and approximately 718 feet north of the Project on the Marine Avenue bridge. The property is visible from the Park Avenue bridge, and adjacent to the public boardwalk surrounding the island. However, the project design complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Additionally, the project does not contain any unique features that could degrade the visual quality of the coastal zone.
- While the property is visible from the public boardwalk and Park Avenue bridge, the project design complies with the required setbacks, and provides modulation of volume towards the front with architectural articulation. As designed, the property does not have the potential to degrade the visual quality of the coastal zone or result in significant adverse impacts on existing public views.
- Lateral access is available in front of the subject property along the public boardwalk. Vertical access to the boardwalk is available from Balboa Avenue which is located approximately 30 feet north of the property.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family dwellings and additions of up to 10,000 square feet to existing structures. The project consists of the demolition of a two-unit dwelling and the construction of a new single-unit dwelling with a JADU located in the R-BI Coastal Zoning District. Therefore, the Class 3 exemption is applicable.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the

subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Laura Rodriguez, Assistant Planner
OO/lr

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING TWO-UNIT DWELLING AND CONSTRUCT A NEW SINGLE-UNIT DWELLING, JUNIOR ACCESSORY DWELLING UNIT, AND AN ATTACHED TWO-CAR GARAGE LOCATED AT 224 GRAND CANAL (PA2024-0197)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Ron Ritner (Applicant), on behalf of Becker Family Trust (Owner), concerning property located at 224 Grand Canal and legally described as Lot 13 of Block 7, within Section 5 of the Balboa Island Tract (Property).
2. The Applicant proposes to demolish an existing two-unit dwelling and construct a new, three-story 2,160-square-foot dwelling with a 303-square-foot junior accessory dwelling unit (JADU) and an attached 434-square-foot-two-car garage. Also included is the installation of hardscape, drainage, site walls, and patio improvements (Project). The Project complies with all development standards and no deviations from the Newport Beach Municipal Code are requested.
3. The Property categorized as Two Unit Residential (RT) by the Land Use Element of the General Plan and is located within the Two-Unit Residential, Balboa Island (R-BI) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Two Unit Residential – 30.0 - 39.9 DU/AC (RT-E), and it is located within the Two-Unit Residential, Balboa Island (R-BI) Coastal Zoning District.
5. A public hearing was held on July 30, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the demolition of up to three single-unit dwellings and the construction or conversion of up to three single-unit dwellings. The Project will demolish an existing

two-unit dwelling and construct a new single-unit dwelling with a JADU in the R-BI Coastal Zoning District. Therefore, the Class 3 exemption is applicable.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings, and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program (LCP).*

Facts in Support of Finding:

1. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 2,900 square feet and the proposed floor area is 2,897 square feet.
 - b. The Project provides the minimum required setbacks, which are five feet along the front property line abutting Grand Canal, three feet along each side property line, and zero feet along the rear property line abutting the alley.
 - c. The highest flat roof element does not exceed the maximum 24 feet from the established grade of 9.0 based on the North American Vertical Datum of 1988 (NAVD 88) and the highest sloping roof ridge does not exceed 29 feet from the established grade, which complies with the maximum height requirements.
 - d. The Project includes garage parking for a total of two vehicles, complying with the minimum two-car garage parking requirement for single-unit dwellings with less than 4,000 square feet of habitable floor area. The JADU does not require an additional parking space.
2. The neighborhood is predominantly developed with two- and three-story, single-unit dwellings, and occasional two-unit dwellings. The proposed design, bulk, and scale of the development are consistent with the existing neighborhood pattern of development.
3. The Property is a waterfront lot that is separated from the Grand Canal by a public boardwalk and City-owned concrete bulkhead. The bulkhead protecting the Property is

part of a larger bulkhead system which surrounds Balboa Island. No modification to the existing bulkhead is proposed with this Project.

4. A Coastal Hazards Report and Sea Level Rise Analysis was prepared by William Simpson & Associates, Inc. dated September 17, 2024, for the Project. The current maximum bay water elevation is 7.47 feet (NAVD 88) and may exceed the existing top of bulkhead elevation of 8.4 NAVD 88 during high tide or storm events. Assuming a 2.8-foot increase in the maximum water level over the next 75 years (i.e. the life of the structure), the sea level is estimated to reach a maximum height of approximately 10.27 feet (NAVD 88) (the likely range for sea level rise over 75-year design life of the structure based on low risk aversion estimates for sea level rise provided by the State of California Sea Level Rise Guidance: 2024 Science and Policy Update).
5. The finished floor elevation of the proposed single-unit dwelling is 9.12 feet (NAVD 88), which complies with the minimum 9.00 feet (NAVD 88) elevation standard, but does not protect against future sea level rise assuming a bay water elevation of 10.27 feet NAVD 88. Therefore, a waterproofing curb or similar waterproofing material will be installed around the residence to protect from future sea level rise. The Coastal Hazard Report concludes that the bay water elevation (currently 7.7 feet NAVD 88) will not exceed the proposed flood protection curb around the single-unit residence at 10.9 feet (NAVD 88) for the anticipated 75-year life of the structure.
6. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC, the Owners will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied prior to final building inspection.
7. Pursuant to Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, the Owners will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) of the NBMC. This requirement is included as a condition of approval that will need to be satisfied prior to issuance of building permits.
8. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
9. The Property is within proximity of coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and

coastal waters derived from construction chemicals and materials. The Project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

10. The Project does not propose landscaping. However, landscaping shall comply with Section 21.30.075 (Landscaping) of the NBMC. A condition of approval is included that requires drought-tolerant species. Before the issuance of building permits, the plans will be reviewed to verify invasive species are not planted.
11. The Project is not near any designated coastal viewpoints or a coastal view road, as identified in the CLUP. The nearest coastal viewpoints are approximately 370 feet south on the Park Avenue bridge and approximately 718 feet north of the Project on the Marine Avenue bridge. The Property is visible from the Park Avenue bridge. While the Property is visible from the public boardwalk and Park Avenue bridge, the Project complies with the required setbacks and provides modulation of volume towards the front with architectural articulation. The Project complies with all applicable LCP development standards and maintains a building envelope consistent with the existing neighborhood pattern of development. Therefore, the Project does not have the potential to degrade the visual quality of the coastal zone or result in significant adverse impacts on public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project replaces an existing single-unit dwelling located on a standard R-BI lot with a new single-unit dwelling and JADU. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. The Property is adjacent to a Public Access point as identified in the CLUP. Lateral access is available in front of the Property, along the public boardwalk. Vertical access to the boardwalk is available from Balboa Avenue which is located approximately 30 feet north of the Property.
3. The Property provides vehicular access from Balboa Avenue which is not proposed to change with the Project.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303 Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit filed as PA2024-0197 subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program (LCP) Implementation Plan), of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 30TH DAY OF JULY, 2026.

Liz Westormoreland, AICP, Zoning Administrator

EXHIBIT “A”**CONDITIONS OF APPROVAL**

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *Prior to the issuance of a building permit, a waterproofing curb or similar design feature shall be constructed around the proposed residence as an adaptive flood protection device up to a minimum of 10.9 feet NAVD 88. Flood shields (sandbags and other methods) can be deployed across the openings to protect and prevent flooding to the structure.*
3. *Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.*
4. *Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the development. This letter shall be scanned into the plan set before building permit issuance.*
5. *Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
6. *Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.*
7. *Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit “A” shall be incorporated into the Building Division and field sets of plans.*
8. *Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-*

invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.

9. *Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.*
10. *Covered decks above the first floor shall be open on at least two sides. Structural supports on an "open" side shall be the minimum necessary for structural integrity.*
11. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
12. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
13. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
14. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
15. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and

construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

16. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
17. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
18. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
19. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
20. This Coastal Development Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to the Property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
21. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
22. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
23. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Regulations) of the NBMC and other applicable noise control requirements of the NBMC.
24. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
25. This Coastal Development Permit shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.

26. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to the City's approval of **Becker Residence including but not limited to, Coastal Development Permit filed as PA2024-0197**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Public Works Department

27. Encroachments within the Grand Canal public right-of-way shall not be permitted.
28. All encroachments within the 7.5-foot utility easement along the alley frontage shall be located a minimum of 7.5 feet above the adjacent alley elevations. Encroachments below the 7.5-foot height, including foundation, shall not be permitted.

Building Division

29. Eaves, including the gutter and downspout, in group R-3/U occupancies shall not be permitted closer than two feet to the property line.

Fire Department

30. A residential fire sprinkler system complying with National Fire Protection Agency 13D shall be required.
31. One unobstructed minimum 36-inch walkway from the front to the rear of the property shall be required for emergency access.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit No. PA2024-0197
224 Grand Canal

Attachment No. ZA 3

Project Plans

Becker Residence

224 Grand Canal

Newport Beach, CA

PROJECT DIRECTORY

OWNER:
BECKER FAMILY TRUST
224 GRAND CANAL
NEWPORT BEACH, CA 92663
CONTACT: NICK BECKER

ARCHITECT:
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NEWPORT BEACH, CA 92663
PHONE: (949) 584-8887
CONTACT: RON RITNER

DESIGN:
FOREST STUDIO
332 FOREST AVE. SUITE 4
LAGUNA BEACH, CA 92651
PHONE: (949) 497-0202
CONTACT: BOB WHITE

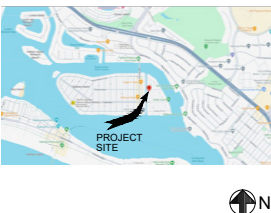
STRUCTURAL:
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MISSION VIEJO, CA 92691
PHONE: (949) 555-2300
CONTACT: RAO GHOUAL

Civil:
TUAL ENGINEERING
130 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
PHONE: (949) 493-8886
CONTACT: DALE ROSS

SOILS:
GEORFIM
33 JOURNEY, SUITE 200
ALHAMBRA, CA 91801
PHONE: (949) 384-4886
CONTACT: CHRIS TOMLIN

T-34:
ENERGY CODE WORK
1 FAIR PLAZA, SUITE 600
IRVINE, CA 92614
PHONE: (949) 340-1887
CONTACT: CARLY NOBLE

VICINITY MAP



ABBREVIATIONS

AB	ANCHOR BOLT	FAU	FORCED AIR UNIT	NG	NATURAL GRADE	T & B	TOP AND BOTTOM
AC	AIR CONDITIONING	FIN	FOUNDATION	NC	NOT IN CONTRACT	TC	TRASH COMPACTOR
ALT	ALTERNATE	FF	FINISH FLOOR	NO	NUMBER	TEL	TELEPHONE
APPROX	APPROXIMATELY	FG	FULL GAS / FINISH GRADE	NTS	NOT TO SCALE	T & G	TONGUE AND GROOVE
AD	AREA DRAIN	FJ	FLOOR JOIST	OC	ON CENTER	TOC	TOP OF CURB
BLOG	BUILDING	FLR	FLOOR	OPP	OPPOSITE	TOM	TOP OF MASONRY
BLDG	BLOCKING	FOM	FACE OF MASONRY	OPT	OPTIONAL	TYP	TYPICAL
BM	BEAM	FTD	FACE OF STUD	OSA	OUTSIDE AIR	TV	TELEVISION
BTM	BOTTOM	FT	FOOT/FEET	PB	PUSH BUTTON	TB	TOWEL BAR
CI	CAST IRON	FTG	FOOTING	PLY	PLYWOOD	TPD	TOILET PAPER DISPENSER
CJ	CILING JOIST	FLD	FLOOR DRAIN	PP	POUR/SQUARE FOOT	TEMP GL	TEMPERED GLASS
CLG	CILING	GA	GALVANIZED	PR	POUND/SQUARE FOOT	UNCF	UNIFORM BUILDING CODE
CUL	CULVERT	GLV	GLUE LAMINATED BEAM	PTDF	PRESSURE TREATED	UNF	UNFINISHED
CONC	CONCRETE	GLB	GLASS GLAZING	GD	GARBAGE DISPOSAL	UNF	UNFINISHED
CONCT	CONSTRUCTION	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
CONT	CONTINUOUS	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
CURT	CURTAIN	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
D	DRYER	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DB	DOUBLE	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DF	DRINKING FOUNTAIN	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DET	DETAIL	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DIA	DIAMETER	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DWG	DRAWING	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DW	DOWNSPOUT	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DS	DOWNSPOUT	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
DSP	DOWNSPOUT	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
EA	EACH	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
ELEV	ELEVATOR	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
EQ	EQUIPMENT	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
EW	EACH WAY	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
EXT	EXTERIOR	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED
EL	ELEVATION	GLV	GLASS GLAZING	GLV	GALVANIZED IRON	UN	UNLESS OTHERWISE NOTED

LEGEND

	BUILDING SECTION		DETAIL REFERENCE		REVISION REFERENCE		FLOOR PLAN REFERENCE
	SHEET NUMBER		SHEET NUMBER		REVISION NUMBER		PLAN NOTE REFERENCE NUMBER

PROJECT DATA

10. RECYCLE AND OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.008.1 CalGreen CODE.	GENERAL NOTES:
11. DEFERRED SUBMITTAL TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.	1. THE UTILITY CONSULTING ENGINEER IS TO ATTEND ON-SITE MEETINGS WITH THE UTILITY COMPANIES TO DETERMINE ALLOWABLE LOCATIONS. A MINIMUM OF 48 HOURS WRITTEN NOTICE FOR THE MEETING IS REQUIRED.
SPECIAL INSTRUCTIONS: FIRE SPRINKLER SYSTEM - NFPA 13D	2. REQUIRED HERS TESTING AND/OR VERIFICATION MUST BE DONE BY A CERTIFIED HOME ENERGY RATER UNDER THE SUPERVISION OF A CEC-APPROVED HERS PROVIDER USING CEC-APPROVED TESTING AND/OR VERIFICATION METHODS AND MUST BE REPORTED ON THE CF-4R INSTALLATION CERTIFICATE.
OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION	3. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
DEFERRED SUBMITTALS: FIRE SPRINKLER - NFPA 13D SYSTEM THROUGHOUT INCLUDING ATTIC	4. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
HVAC EQUIPMENT AND DUCTWORK	5. A Cal-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5'-0" AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.
ENCROACHMENT PERMIT	6. THE PROJECT LANDSCAPE AREA SHALL BE LESS THAN 500 sf
PROJECT DESCRIPTION:	7. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
PROPOSED USE: 3	8. FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42" FROM EXISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE REQUIRED FRONT YARD SETBACK AREA.
NUMBER OF STORIES: 1-4	9. ALL PERMITS RELATED TO THE PROPOSED PROJECT SHALL BE ISSUED AT THE SAME TIME, OR SEPARATE PLANS AND PLAN REVIEW WILL BE REQUIRED FOR ITEMS NOT ISSUED WITH THIS REVIEW.
CONSTRUCTION TYPE: OCCUPANCY:	10. ACCESSORY STRUCTURES, DETACHED PATIO COVERS AND TRELLIS
FIRE SPRINKLERS:	11. MASONRY OR CONCRETE FENCES OVER 3.5 FT HIGH
REQUIRED: CRC SEC. R313.3	12. RETAINING WALLS OVER 4" FROM BOTTOM OF FOUNDATION TO TOP OF WALL
SYSTEM - NFPA 13D SYSTEM	
THROUGHOUT INCLUDING ATTIC	
PER R302.6, R313.1, R313.2 & R313.3	
ZONING: R-2	
CODE COMPLIANCE:	
2022 CALIFORNIA RESIDENTIAL CODE	
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA PLUMBING CODE	
2022 CALIFORNIA ELECTRICAL CODE	
2022 CALIFORNIA ENERGY CODE	
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE	
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE	
CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE	
SOILS REPORT: PREPARED BY: GEORFIM	
REPORT NO 24-9570	
DATED MAY 31, 2024	
INSPECTION PROGRAM:	
1. DEPUTY INSPECTORS ARE REQUIRED TO BE REGISTERED WITH THE CITY OF NEWPORT BEACH.	
2. SPECIAL AND / OR DEPUTY INSPECTIONS SHALL BE PROVIDED DURING CONSTRUCTION ON THE FOLLOWING TYPES OF WORK:	

PORTION OF WORK REQUIRING INSPECTION	CONTINUOUS	PERIODIC	DESCRIPTION, LOCATIONS, REMARKS, ETC.
EXPANSION / EPOXY ANCHORS	X	---	---
ALL STRUCTURAL WELDING	X	---	---
SHEAR WALL NAILING	---	X	---
STRUCTURAL MASONRY	---	X	GROUTING, STEM AND FOOTING REINF.
"HERS" VERIFICATION	---	X	---

INDEX OF DRAWINGS

ARCHITECTURAL	STRUCTURAL
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	SN-2 STRUCTURAL GENERAL NOTES
	SN-3 STRUCTURAL GENERAL NOTES
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	S-1.3 3RD FLOOR FRAMING PLAN
SP-1 ARCHITECTURAL SITE PLAN (1/4" = 1'-0")	S-1.4 ROOF FRAMING PLAN
SOH-1 WINDOW SCHEDULE & TYPES	SD-1 FOUNDATION DETAILS
SOH-2 DOOR SCHEDULE & TYPES	SD-2 FRAMING DETAILS
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	SD-4 FRAMING DETAILS
A2.1 MAIN LEVEL FLOOR PLAN (1/4" = 1'-0")	WSW-1 STRONG-WALL ANCHORAGE DETAILS
A2.2 SECOND LEVEL FLOOR PLAN (1/4" = 1'-0")	WSW-2 STRONG WALL FRAMING DETAILS
A2.3 THIRD LEVEL FLOOR PLAN (1/4" = 1'-0")	
A3.1 ROOF PLAN (1/4" = 1'-0")	
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A6.1 MAIN LEVEL ELECTRICAL PLAN (1/4" = 1'-0")	C-3 SECTIONS AND DETAILS
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A9.1 GARAGE LEVEL & MAIN LEVEL OVERLAY PLANS (1/4" = 1'-0")
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D1.2 ARCHITECTURAL DETAILS
D1.3 ARCHITECTURAL DETAILS
D1.4 ARCHITECTURAL DETAILS
D1.5 ARCHITECTURAL DETAILS
D1.6 ARCHITECTURAL DETAILS
D1.7 ARCHITECTURAL DETAILS
D1.8 ARCHITECTURAL DETAILS
D1.9 ARCHITECTURAL DETAILS
D1.10 ARCHITECTURAL DETAILS

Planning Criteria

REQUIREMENTS	THREE FLOOR STEP BACKS
Front Left Grand Canal	0'
2nd Front (Abutting Alley)	10'
Side Yard 1	5'
Side Yard 2	5'
Side Yard 3	5'
Side Yard 4	5'
Side Yard 5	5'
Side Yard 6	5'
Side Yard 7	5'
Side Yard 8	5'
Side Yard 9	5'
Side Yard 10	5'
Side Yard 11	5'
Side Yard 12	5'
Side Yard 13	5'
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Side Yard 89	5'
Side Yard 90	5'
Side Yard 91	5'
Side Yard 92	5'
Side Yard 93	5'
Side Yard 94	5'
Side Yard 95	5'
Side Yard 96	5'
Side Yard 97	5'
Side Yard 98	5'
Side Yard 99	5'
Side Yard 100	5'

BUILDING DEPARTMENT SUBMITTAL - REVISIONS:

11/13/2023 COP Resubmittal Draft 1

12/05/2023 COP Resubmittal Draft 2

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STAMP:



PROJECT:

BECKER RESIDENCE

224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02

TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-COVER

SHEET TITLE:

COVER SHEET

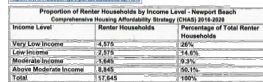
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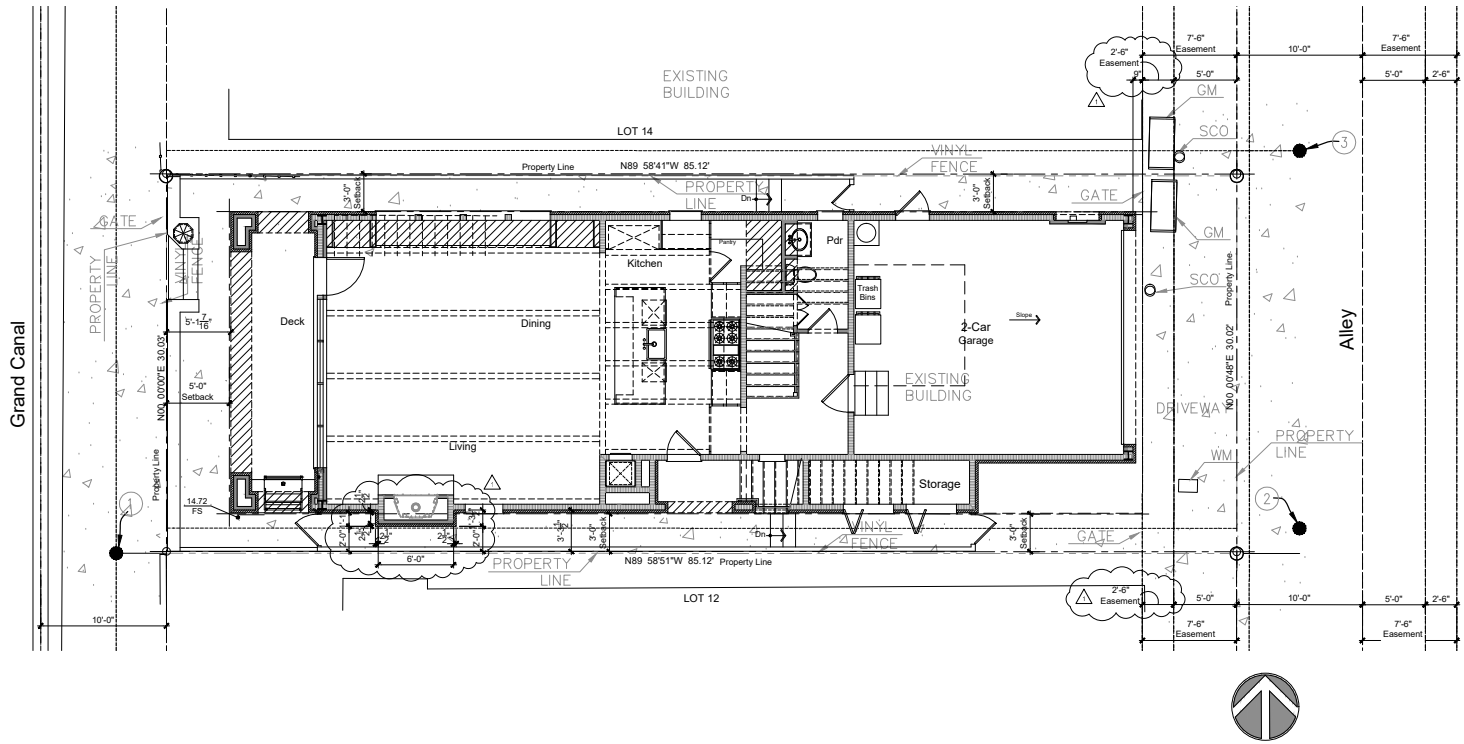
DEMOLITION OF EXISTING TWO-STORY DUPLEX, RESIDENCE AND ASSOCIATED LANDSCAPING.

CONSTRUCT NEW THREE-STORY 2,454 s.f. RESIDENCE WITH JUNIOR ADU AND ATTACHED 434 s.f. TWO CAR GARAGE. THE PROJECT INCLUDES HARDSCAPE AND SUBSURFACE DRAINAGE FACILITIES WITHIN THE CONFINES OF THE PRIVATE PROPERTY.

C1.1

PLOT REFERENCE DATE: 07-02-28





Architectural Site Plan

SCALE: 1/4" = 1'-0"

General Notes:

- Refer to Site Drainage Plan sheet for existing grade elevations and finish grade elevations.
- Surveyor or Engineer shall permanently monument property corners or offsets before starting grading.
- Fences, Gates, Walls, Planter boxes, Patio covers, and other freestanding structures cannot exceed 6' measured from Natural Grade within required side yard setback.
- Finish grade within 10 feet of the new structure/ addition shall be sloped a minimum of 2% away from the building for drainage purpose.
- Additions, remodels or renovations of a single family home with an existing pool require the suction outlet of the existing pool, spa, or toddler pool to be upgraded so as to be equipped with an approved anti-entrapment cover meeting the current standards of ASTM or ASME per section 115920 HSC.
- The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.
- In Accordance with Planning Area 6 (PA6) of the Headlands Development and Conservation Plan (HDCP), This house is a Single-Family Dwelling.
- An approved encroachment permit is required for all work activities within the public right-of-way, public easement and on city facilities.
- All work related to wastewater in the public right-of-way shall be performed by a C-42 licensed Sanitation Sewer Contractor or an A Licensed General Engineering Contractor.
- A Public Works Department Encroachment Permit inspection is required before the Building Department Permit Final can be issued. At the time of Public Works Department inspection, if any of the existing public improvements surrounding the site is damaged, new concrete sidewalk, curb and gutter, and alley/street pavement will be required. Additionally, if existing utilities infrastructure are deemed substandard, a new 1-inch water service, water meter box, sewer lateral and/or cleanout with box and lid will be required. 100% of the cost shall be borne by the property owner (Municipal Codes 14.24.020 and 14.08.030). Said determination and the extent of the repair work shall be made at the discretion of the Public Works Inspector.

Planning Criteria

SETBACKS:		THIRD FLOOR STEP BACKS:	
Front (off Grand Canal)	5'	Front (off Grand Canal)	15'
2nd Front (Abutting Alley)	0'	2nd Front (Abutting Alley)	15'
Side Yard 1	3'	Side Yard 1	2'
Side Yard 2	3'	Side Yard 2	2'
MAXIMUM HEIGHT:			
Flat Roof (less than 3:12 pitch)	24'		
Pitched Roof (greater than 3:12 pitch)	29'		
Development Standards:		R-8: Two Unit Residential Zone	
FAR:			
Site Area	2,400 SF		
Buildable Area	1,800 SF		
MAXIMUM FLOOR AREA LIMIT:			
Buildable Area 1,800 x 1.5 =	2,700 Sq. Ft. = 200 SF		
THIRD FLOOR LIMITATIONS:			
Allowable Floor Area:	20% of Buildable Area = 360 SF		
Allowable combined	50% of Total Buildable Area		
Third Floor & Covered Deck Area:	1,800 x 50% = 900 SF		
Location of Structure:		15' from Front & Rear Setback Lines	

REQUIRED OPEN VOLUME:

10% of Buildable Area (1,800 sq. ft.) = 270 SF

Open Space Provided = 293 SF

PARKING REQUIREMENTS:

2 Car off Street Parking Minimum

Minimum Interior dimensions for Parking spaces in residential zoning for a lot with 30'-0" front or back is 17'-6" x 10'-0" (20.40) City of Newport Beach

AREA TABULATION

Living Area:	
First Level Living	922 SF
Second Level - Living	1,083 SF
Second Level - Stair Landing	29 SF
Second Level - JNDU	63 SF
Third Level Living	126 SF
Total Living	2,463 SF
2 Car Garage	434 SF
Total Building Area	2,897 SF
Main Porch (Canal Side)	157 SF
Second Level Deck (Canal Side)	136 SF
Total Open Space	293 SF
Third Level Covered Deck	452 SF
Third Level Uncovered Deck	207 SF
Total Third Level Deck	659 SF
Main Level Entry Porch/Stair	27 SF
Main Level Storage	54 SF

PROJECT ADDRESS

224 GRAND CANAL
NEWPORT BEACH, CA 92662
APN: 050-191-02
POR: LOT 12 & LOT 13, BLOCK 7
SECTION 5, BOOK 8, PAGE 9

BUILDING DEPARTMENT SUBMITTAL -
REVISIONS:
11/03/25 CDP Pre-Submittal Draft 1
03/05/26 CDP Pre-Submittal Draft 2

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STAMP:



PROJECT:

BECKER RESIDENCE

224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por: Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02
TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: B/W
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-SITE

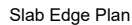
SHEET TITLE:

ARCHITECTURAL SITE PLAN

SHEET NUMBER:

SP-1

PLAT REFERENCE DATE: 07-02-25



SCALE: 1/4" = 1'-0"

1. THE ARCHITECTURAL FOUNDATION PLAN IS FOR DIMENSIONAL INFORMATION ONLY. THE CONTRACTOR SHALL REFER TO THE STRUCTURAL FOUNDATION PLAN FOR ALL STRUCTURAL REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THERE IS ANY DISCREPANCY BETWEEN THE ARCHITECTURAL FOUNDATION PLAN AND THE STRUCTURAL FOUNDATION PLAN.
2. FOOTINGS SHALL BE EXAMINED AND CERTIFIED IN WRITING BY THE PROJECT SOIL / GEOLOGY ENGINEER PRIOR TO EMA INSPECTIONS AND PLACEMENT OF CONCRETE.
3. VERIFY ALL INFORMATION REGARDING CONCRETE SLAB FOUNDATION, AND RETAINING WALLS, WITH STRUCTURAL AND CIVIL ENGINEER'S DRAWINGS.

FINISH SLAB TO FINISH SLAB
DIMENSION NOTE: REFER TO
CIVIL DRAWINGS FOR
ADDITIONAL SLAB ELEVATION
INFORMATION

 SLOPE
TO DRAIN →

SLOPE TO DRAIN 1/8" PER
FOOT U.N.O.

PLOT REFERENCE DATE: 07-02-26



224 Grand Canal LLC

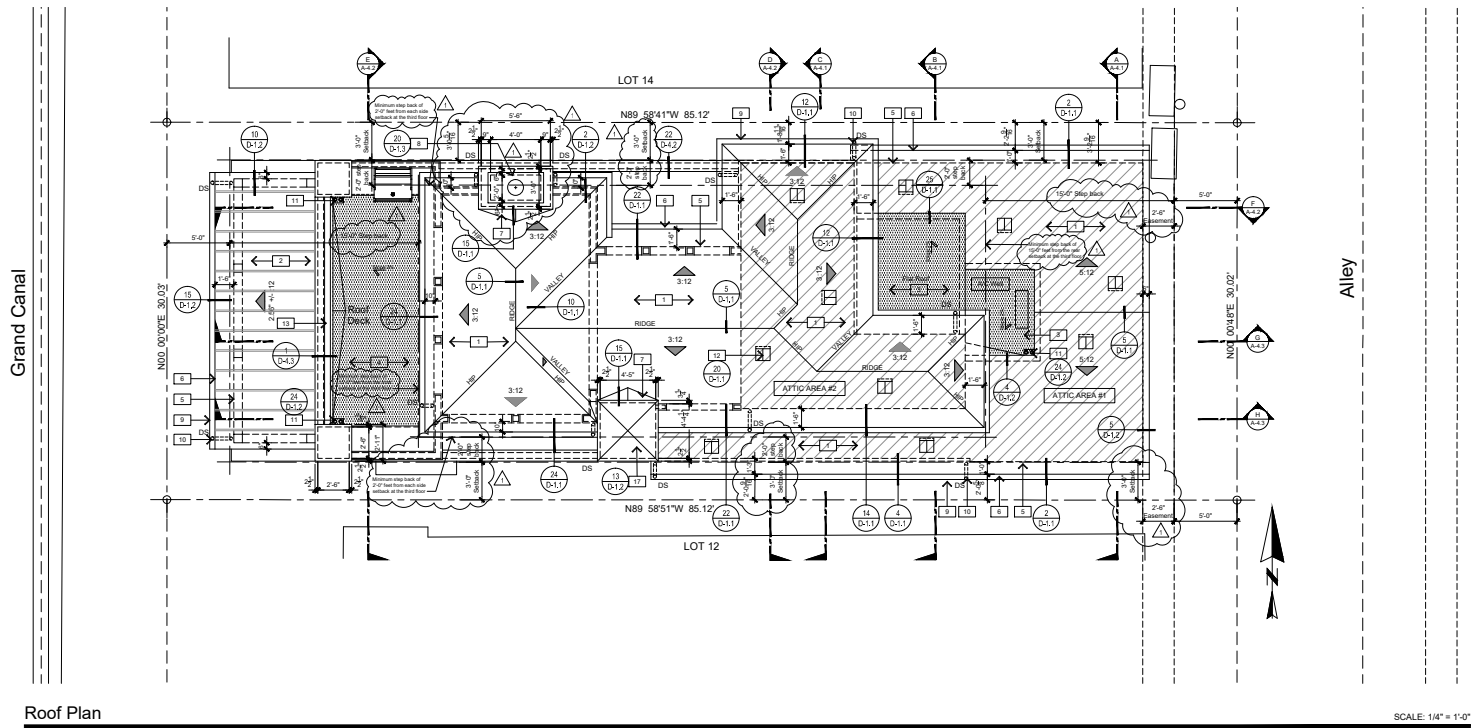
Block 12 of Lot 13
Block 7 section 5
APN 050-191-02

TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 230
PROJECT CAD FILE:

SHEET TITLE

MAIN
LEVEL
FLOOR PLAN



Roof Plan

SCALE: 1/4" = 1'-0"

ATTIC AREA		
VENTILATION REQUIRED		
ATTIC AREA = 238 SQ. FT. / 150 =	1.52 SQ. FT.	
VENTILATION PROVIDED	219 SQ. IN.	
(4) DORMER VENT - LOW PROFILE	72 SQ. IN. EA. =	288 SQ. IN.
SHEET METAL		
OR APPROVED EQUAL	TOTAL =	288 SQ. IN.

ATTIC AREA		
VENTILATION REQUIRED		
ATTIC AREA = 317 SQ. FT. / 150 =	2.11 SQ. FT.	
VENTILATION PROVIDED	304 SQ. IN.	
(5) DORMER VENT - LOW PROFILE	72 SQ. IN. EA. =	360 SQ. IN.
SHEET METAL		
OR APPROVED EQUAL	TOTAL =	360 SQ. IN.

ROOF PLAN NOTES

- CONTRACTOR SHALL VERIFY AREA OF ALL ATTIC VENTS WITH MANUFACTURER.
- ALL ROOF SHEATHING EDGES SHALL BE BLOCKED AND NAILED PER STRUCTURAL PLANS. IN ADDITION, CONTRACTOR SHALL ALSO PROVIDE MIN. BUILDING AND FINISHING AS REQUIRED BY THE ROOFING MFR.
- PROVIDE CLASS A ROOF WITH FIRE STOP TO PREVENT INTRUSION OF FLAMES AND EMBERS OR 1 LAYER OF No. 12 ASTM CAP SHEET.
- PROVIDE NOT LESS THAN 1/4" GA. GALV. FLASHING OVER NO. 12 ASTM CAP SHEET.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. (SEE 1054)
- ATTIC VENTS SHALL MEET THE FOLLOWING REQUIREMENTS: (SEE 1053)
- OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/4" MINIMUM AND 1/4" MINIMUM OPENING.
- 50% OF THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNER VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNER VENTS.

ROOF KEY NOTES

xx SYMBOL

- CERTANTITE ASPHALT SHINGLES CERTANTITE - PRESIDENTIAL OR APPROVED EQUAL. WHEN INSTALLED ON NEW CONSTRUCTION IN ACCORDANCE WITH SECTION 4.1 OF THE ESR-1388 REPORT, THE SHINGLES ARE A CLASS "A" ROOF COVERING.
- METAL STANDING SEAM ROOFING, CLASS "A" ROOF COVERING BY INTERLOCK ROOFING SYSTEMS (ICC-ES REPORT No. ESR-1478) OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S SPECIFICATIONS AND PRINTED INSTALLATION INSTRUCTIONS.
- BUILT-UP (CLASS "A") ROOFING SYSTEM ROOFING OVER EXISTING GRADE ROOF SHEATHING 1/4" 1/2" MINIMUM SLOPE 1:10.
- 1/4" PPE PEDESTAL DECK SYSTEM OVER DEX-O-TEX WEATHERWEAR ROOF AND DECK COVERING (ICC-ES REPORT 175) INSTALL PER MANUFACTURER SPECIFICATIONS.
- LINE OF BUILDING BELOW.
- LINE OF ROOF BELOW.
- 26 GA GALV METAL SADDLE AT CHIMNEY
- CHIMNEY CAP
- COPPER METAL GUTTER TYPICAL
- COPPER METAL DOWNSPOUT TYPICAL
- DECK DRAIN PER DETAIL BY THUNDERBOLT PRODUCTS, INC (ICC-ES REPORT PMG-1212 CONNECTED TO DRAINAGE SYSTEM
- CLOAKED VENT TILES SHEET METAL VENTS
- GUARDRAIL
- BUILT-UP CRICKET 2% MIN
- ROOF MOUNTED COMPACT AC UNIT REFER TO MECHANICAL PLANS & SPECIFICATIONS
- LARGE LANTERN LIGHT FIXTURE
- STONE PAVES CAP

ROOF LEGEND

INDICATES ROOF PITCH AND DIRECTION OF ROOF SLOPE

INDICATES LOCATION OF METAL DOWNSPOUT

INDICATES CLOAKED VENT SHEET METAL OR APPROVED EQUAL. NET FREE AREA 72 SQ. IN.

HATCHING INDICATES ATTIC ZONES WITH ATTIC VENTILATION

HATCHING INDICATES ROOF DECK AREAS

1:12

DS

DS

DS

DS

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BECKER
RESIDENCE

224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13

Block 7 section 5

APN 050-191-02

TELEPHONE:

FAX:

PROJECT MANAGER:

PROJECT DESIGNER: BW

DRAWN BY:

PROJECT NUMBER: 23006

PROJECT CAD FILE: 23006-FLOOR

SHEET TITLE:

ROOF PLAN

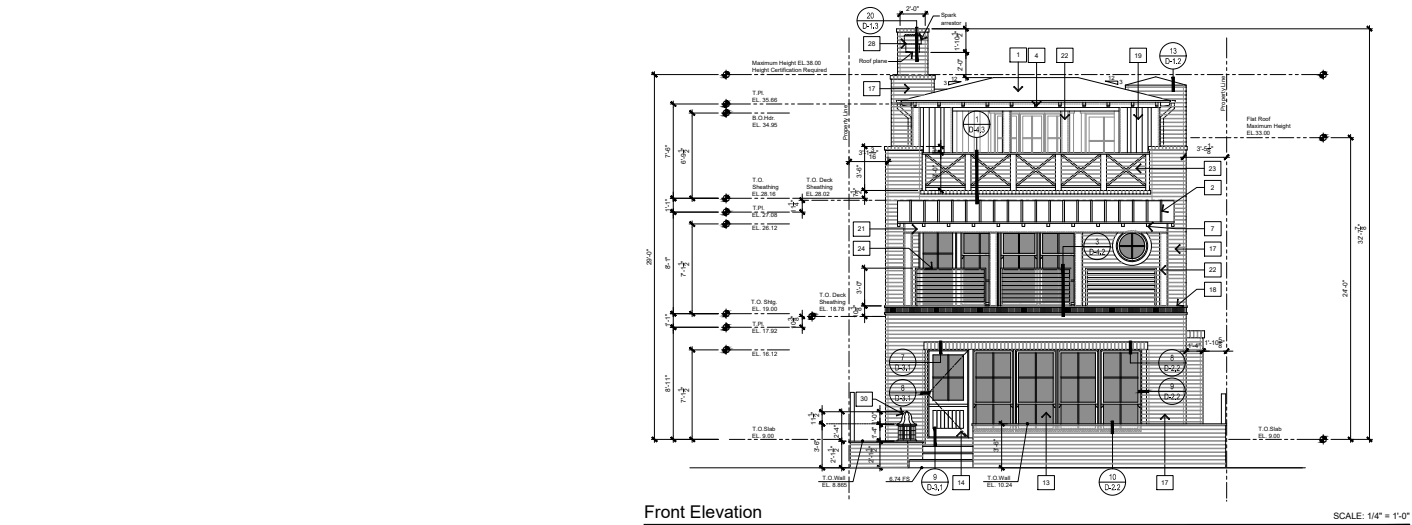
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A3.1

PLOT REFERENCE DATE: 07-02-20

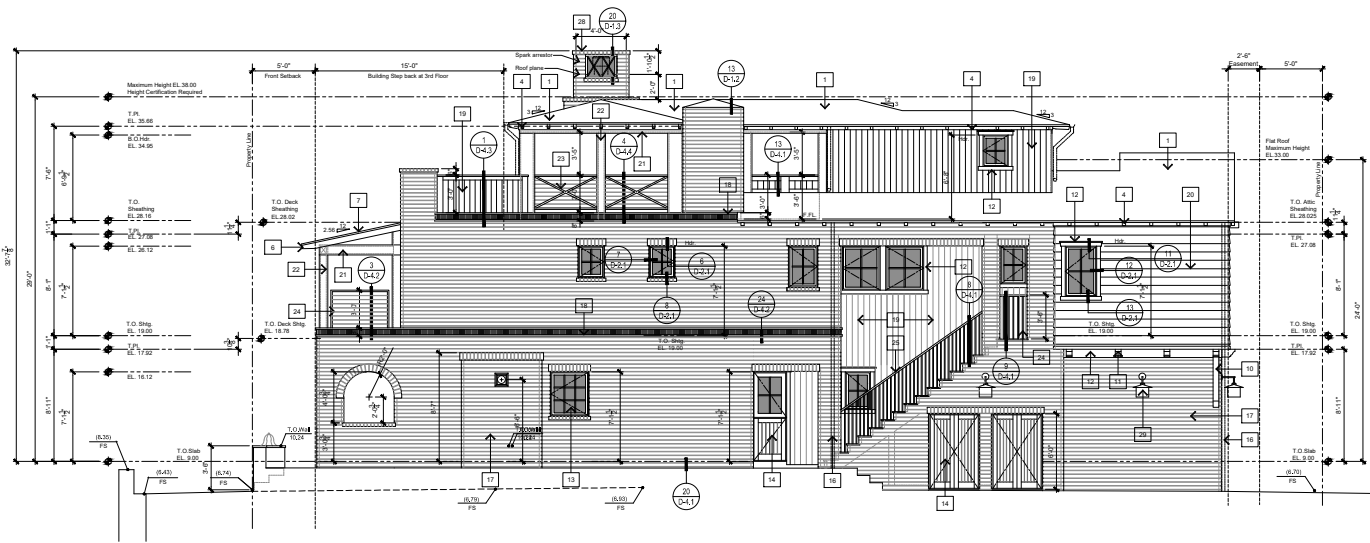


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Front Elevation

SCALE: 1/4" = 1'-0"



Right Side Elevation

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- ROOFING MATERIAL: CERTANTARTED ASPHALT SHINGLES
CERTANTARTED - PRESIDENTIAL OR APPROVED EQUAL
WHEN INSTALLED ON NEW CONSTRUCTION IN
ACCORDANCE WITH SECTION 4.1 OF THE SRS USE REPORT.
THE SHINGLES ARE TO BE CLASS 1 ROOF COVERING
- STANDING SEAM METAL ROOFING CLASS 10 BY JENSEN
JMC OR APPROVED EQUAL ICC REPORT ESR-2648
INSTALL PER MANUFACTURER'S SPECIFICATIONS
AND PRINTED INSTALLATION INSTRUCTIONS
- BUILT-UP ROOFING: BUILT-UP ROOF CLASS 10 USE DECK ALL
ROOF COVERING SYSTEM OVER EXISTING
GRADE ROOF HEATING UP TO 2" MINIMUM
SLOPE IN G.C. ICC REPORT ESR-2648
OR APPROVED EQUAL, INSTALL PER
MANUFACTURER'S SPECIFICATIONS AND
PRINTED INSTALLATION INSTRUCTIONS
WITH GRAVEL, SAME COLOR
- RAFTER TAILS AND
STARTER BOARD: STAINED
RAFTER TAIL 3/4" DOUGLAS FIR WIRE BRUSH STAINED
STARTER BOARD 1/2" WITH "V" GROOVE WIRE BRUSH STAINED
- PAINTED: PAINTED 1/2" DOUGLAS FIR
STARTER BOARD 1/2" WITH "V" GROOVE
COLOR: DAWN EDWARDS, WINTER WHITE
- GUTTERS /
DOWNSPOUTS: 3" DIAMETER HALF ROUND COPPER GUTTERS AND
2" DOWNSPOUT WITH WOOD BRACKET

- EXTERIOR BALCONY
"X" RAILING: STAINED
FINISH: STAINED
COLOR: DAWN EDWARDS, WINTER WHITE
- BRICK VENEER: STAINED
FINISH: STAINED
COLOR: DAWN EDWARDS, WINTER WHITE
- DOORS / WINDOWS: STAINED
FINISH: STAINED
COLOR: DAWN EDWARDS, WINTER WHITE
- BUILDING PAPER: PROVIDE A MINIMUM OF TWO LAYERS OF GRADE "D"
PAPER OVER ALL WOOD BASED SHEATHING AND
UNDER ALL GROUT BASED MASONRY VENEERS
- VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL
PENETRATIONS INCLUDING DOORS AND WINDOWS
PER DETAILS
- CHIMNEY
TERMINATION: CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY
PORTION OF THE BUILDING WITHIN 50' OF ROOF BUT SHALL NOT
BE LESS THAN 7' ABOVE THE HIGHEST POINT WHERE
THE CHIMNEY PASSES THROUGH THE ROOF

ELEVATION KEY NOTES

- 1 COMPOSITION SHINGLE ROOF
COLOR: DAWN EDWARDS, WINTER WHITE
- 2 STANDING SEAM METAL ROOF
COLOR: DAWN EDWARDS, WINTER WHITE
- 3 BUILT-UP ROOF
- 4 WOOD RAFTER TAILS 3/4" DOUG FIR
WIRE BRUSH STAINED
WITH "V" GROOVE WIRE BRUSH STAINED
- 5 STARTER BOARD 1/2" DOUG FIR
WITH "V" GROOVE WIRE BRUSH STAINED
- 6 WOOD RAFTER TAILS 3/4" DOUG FIR
WIRE BRUSH STAINED
- 7 WOOD BRIDGE BOARD RAFTER
- 8 TAG ROOF SHEATHING
- 9 WOOD BEAM
- 10 WOOD OUTLOOKER
- 11 WOOD BRACE
- 12 WOOD CORBEL
- 13 WOOD TRIM DETAILING
COLOR: DAWN EDWARDS, WINTER WHITE
- 14 WOOD WINDOWS
METAL CLAD
- 15 WOOD DOORS
- 16 GARAGE DOORS
- 17 GUTTERS / DOWNSPOUT
- 18 APPLIED BRICK VENEER
COLOR: DAWN EDWARDS, WINTER WHITE
- 19 BRICK VENEER DETAILING
COLOR: DAWN EDWARDS, WINTER WHITE
- 20 CLEAR 1/2" VERTICAL TAG WITH
FINISH: LIGHT WIRE BRUSH STAINED
- 21 HORIZONTAL SCAM WOOD OF EXPOSURE
COLOR: DAWN EDWARDS, WINTER WHITE
- 22 WOOD WRAPPED BEAM
- 23 WOOD WRAPPED POST
- 24 WOOD "X" GUARDRAILS W/ HORIZONTAL CABLE,
WIRE BRUSH STAINED
FINISH: DAWN EDWARDS, WINTER WHITE
STAINED - COGNAC LIGHT WIRE BRUSH STAINED
- 25 GUARDRAIL - STAINLESS STEEL
CL BRONZE FINISH
- 26 EXTERIOR GATES - PAINTER
DOOR FINISH: DAWN EDWARDS, WINTER WHITE
- 27 FENCE
- 28 CHIMNEY CAP
- 29 LANDING LIGHT FIXTURE
CL BRONZE FINISH
- 30 LANDING LIGHT FIXTURE
CL BRONZE FINISH
- 31 HOUSE STREET NUMBER VISIBLE AND LOCABLE FROM
STREET (MINIMUM 4" HIGH, 1" WIDE CHAR 1014)

BUILDING DEPARTMENT SUBMITTAL -
REVISIONS:
11/13/25 CDP Re-Submittal Draw 1
12/15/25 CDP Re-Submittal Draw 2

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PROJECT:

BECKER
RESIDENCE

224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02
TELEPHONE:
FAX:

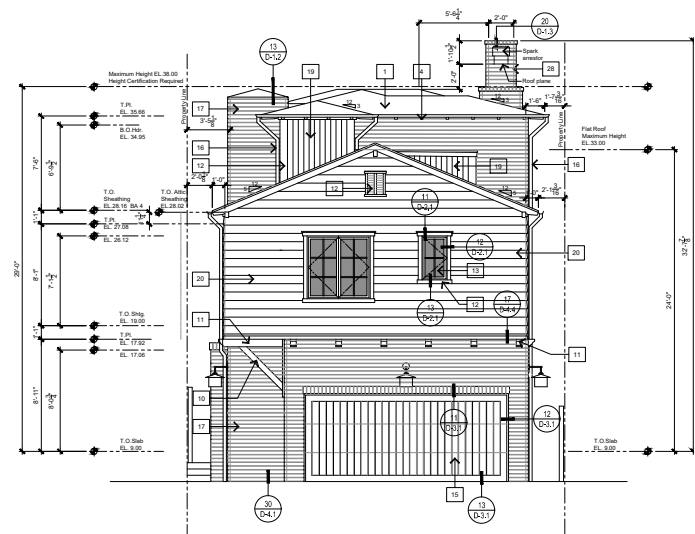
PROJECT MANAGER:
PROJECT DESIGNER: B/H
DRAWN BY:
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-ELEV

SHEET TITLE:
BUILDING
ELEVATIONS

SHEET NUMBER:

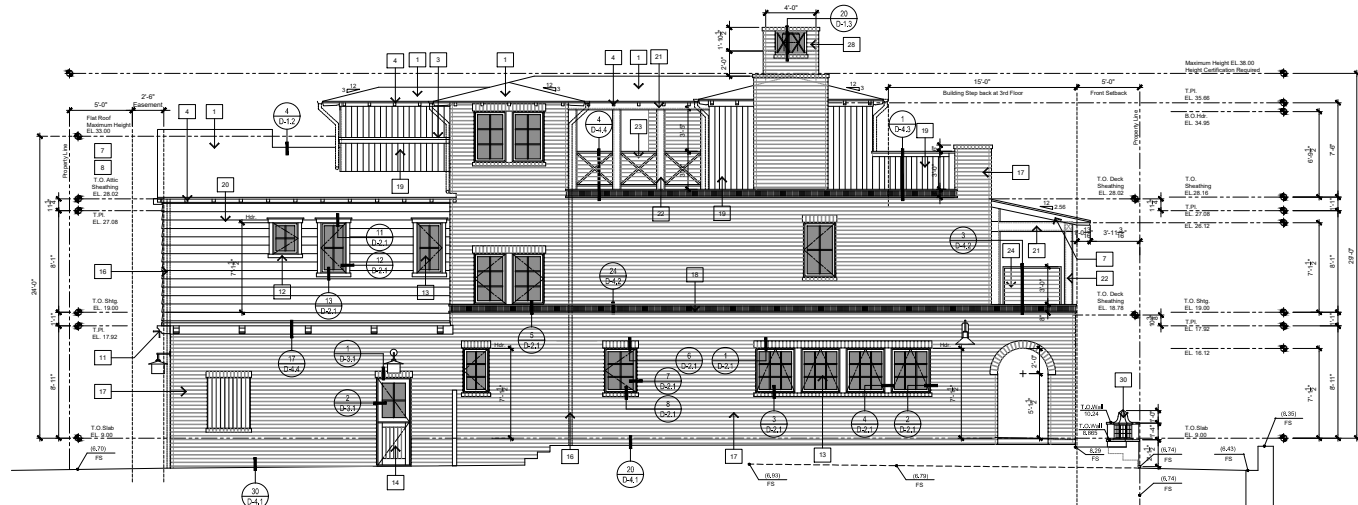
A5.1

PLOT REFERENCE DATE: 07-02-26



Rear Elevation

SCALE: 1/4" = 1'-0"



Left Side Elevation

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

ROOFING MATERIAL: CERTANTARTED ASPHALT SHINGLES
CERTANTARTED - PRESIDENTIAL OR APPROVED EQUAL
WHEN INSTALLED ON NEW CONSTRUCTION IN
ACCORDANCE WITH SECTION 4.1 OF THE 2018 IBC REPORT.
THE SHINGLES ARE TO BE CLASS 1 ROOF COVERING.
STANDING SEAM METAL ROOFING CLASS 10 BY JACOBS
JMC, OR APPROVED EQUAL, ICC REPORT ESR-2448
INSTALL PER MANUFACTURER'S SPECIFICATIONS
AND PRINTED INSTALLATION INSTRUCTIONS.
BUILT-UP ROOFING: BUILT-UP ROOF CLASS 10 USE 2X4 ALL-
ROOF COVERING SYSTEM OVER EXTERIOR
GRADE ROOF HEATING 1/2" OF ANGLE
SLOPE IN G.C. REPORT NO. ESR-2471
OR APPROVED EQUAL, INSTALL PER
PRINTED INSTALLATION INSTRUCTIONS
WITH GRAVEL, SAME COLOR.
BAMPER TAILS AND
STARTER BOARD: STAINED
PINE 1X6 DOUGLAS FIR WERE BRUSHED
STARTER BOARD 1/2" WITH "V" GROOVE WERE BRUSHED
PAINTED
PINE 1X6 DOUGLAS FIR
STARTER BOARD 1/2" WITH "V" GROOVE
COLOR: DAWN EDWARDS, WHEPHER WHITE
GUTTERS /
DOWNSPOUTS: 5" DIAMETER HALF ROUND COPPER GUTTERS AND
2" DOWNSPOUT WITH WOOD BRACKET

EXTERIOR TRIM
WOOD DETAILING: STAINED
PINE, STAINED
CEDAR LIGHT WIRE BRUSH STAINED
PAINTED
COLOR: DAWN EDWARDS, WHEPHER WHITE
EXTERIOR BALCONY
"X" RAILING: STAINED
PINE, STAINED
CEDAR LIGHT WIRE BRUSH STAINED
PAINTED
COLOR: DAWN EDWARDS, WHEPHER WHITE
BRICK VENEER: STAINED
PINE, STAINED
CEDAR LIGHT WIRE BRUSH STAINED
PAINTED
COLOR: DAWN EDWARDS, WHEPHER WHITE
APPLIED 1/2" THICK BRICK VENEER BY GENERAL SHALL
RENDERATION PRODUCTS "TRANSPARENT" OR EQUAL,
GROUT: DAWN EDWARDS, WHEPHER WHITE
APPLY 1/2" THICK BRICK VENEER BY GENERAL SHALL
RENDERATION PRODUCTS "TRANSPARENT" OR EQUAL,
GROUT: DAWN EDWARDS, WHEPHER WHITE
DOORS / WINDOWS: WOOD WINDOWS AND DOORS
BY KOLBE OR APPROVED EQUAL
BUILDING PAPER: PROVIDE A MINIMUM OF TWO LAYERS OF GRADE 10"
PAPER OVER ALL WOOD BASED SHEATHING AND
UNDER ALL GROUT BASED MASONRY VENEERS
VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL
AND WINDOW PENETRATING DOORS AND WINDOWS
PER DETAILS
CHIMNEY
TERMINATION: CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY
PORTION OF THE BUILDING WITHIN 5' OF BUT SHALL NOT
BE LESS THAN 7' ABOVE THE HIGHEST POINT WHERE
THE CHIMNEY PASSES THROUGH THE ROOF.

ELEVATION KEY NOTES

- | | | |
|--|--|--|
| 1 COMPOSITION SINGLE ROOF
COLOR: DAWN EDWARDS, WHEPHER WHITE | 21 WOOD TRIM DETAILING
WOOD: DAWN EDWARDS, WHEPHER WHITE | 28 WOOD "X" GUARDRAILS W/ HORIZONTAL CABLE,
MASONRY BRICK, STAINLESS STEEL
PAINTED: DAWN EDWARDS, WHEPHER WHITE
STAINED: CEDAR LIGHT WIRE BRUSH STAINED |
| 2 STANDING SEAM METAL ROOF
COLOR: DAWN EDWARDS, WHEPHER WHITE | 22 WOOD WINDOWS
WOOD: DAWN EDWARDS, WHEPHER WHITE | 29 GUARDRAIL - STAINLESS STEEL
CABLE: BRONZE FINISH |
| 3 BUILT-UP ROOF | 23 WOOD DOORS
WOOD: DAWN EDWARDS, WHEPHER WHITE | 30 GUARDRAIL - STAINLESS STEEL
CABLE: BRONZE FINISH |
| 4 WOOD BAMPER TAILS 1/2" DOUG FIR
WIRE BRUSH STAINED
WITH "V" GROOVE WERE BRUSH STAINED
PAINTED
COLOR: DAWN EDWARDS, WHEPHER WHITE | 24 GARAGE DOORS
WOOD: DAWN EDWARDS, WHEPHER WHITE | 31 EXTERIOR GATES - PAINTER
DAWN EDWARDS, WHEPHER WHITE |
| 5 WOOD RANGE BOARD RAFTER | 25 GUTTERS / DOWNSPOUT
WOOD: DAWN EDWARDS, WHEPHER WHITE | 32 FISH |
| 6 TAG ROOF SHEATHING | 26 APPLIED BRICK VENEER
COLOR: DAWN EDWARDS, WHEPHER WHITE | 33 CHIMNEY CAP |
| 7 WOOD BEAM | 27 BRICK VENEER DETAILING
COLOR: DAWN EDWARDS, WHEPHER WHITE | 34 LANTERN LIGHT FIXTURE
OL RUBBED BRONZE FINISH |
| 8 WOOD OUTLOOKER | 28 CEDAR 1/2" VERTICAL TAG WITH
FRESH LIGHT WIRE BRUSH STAINED | 35 LARGE LANTERN LIGHT FIXTURE
COPPER PATINA GREEN |
| 9 WOOD BRACE | 29 HORIZONTAL CEDAR, WOOD 1/2" EXPOSED
COLOR: DAWN EDWARDS, WHEPHER WHITE | 36 HOUSE STREET NUMBER VISIBLE AND LOCABLE FROM
STREET (MINIMUM 4" HIGH, 1" WIDE, ONE 101) |
| 10 WOOD CORBEL | 30 WOOD WRAPPED BEAM | |
| | 31 WOOD WRAPPED POST | |

REVISIONS:
11-03-2018 CDP Re-Submittal Date 1
11-03-2018 CDP Re-Submittal Date 2

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PROJECT:

BECKER RESIDENCE

224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02

TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-ELEV

SHEET TITLE: BUILDING ELEVATIONS

SHEET NUMBER:

A5.2

PLOT REFERENCE DATE: 07-02-20

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CDP Re-Submittal set 07-02-26 Date 2

THE FOLLOWING
TO THE SERVICE
FOR THE SERVICE
AND ACCESSIBLE

SERVICE PANEL
INSTALLATION
PROPOSED WORKTOP
THE FOLLOWING:

AND
INSTRUCTIONS:
SERVICE
OF A DOUBLE
OTHER DRIVER
ADD THE
SINGLE AND
HIT

SERVICE
OF A DOUBLE
THREE CENTER

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-101-021

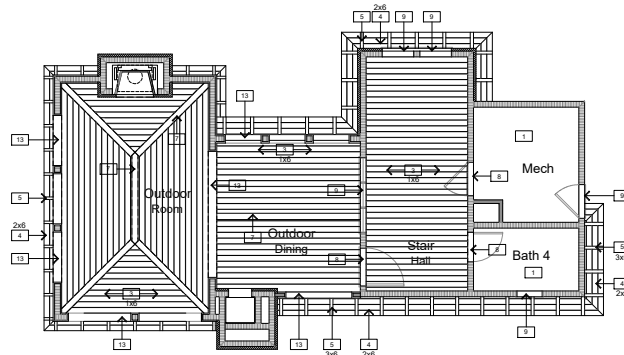
TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-FLOOR

MILE TITLE

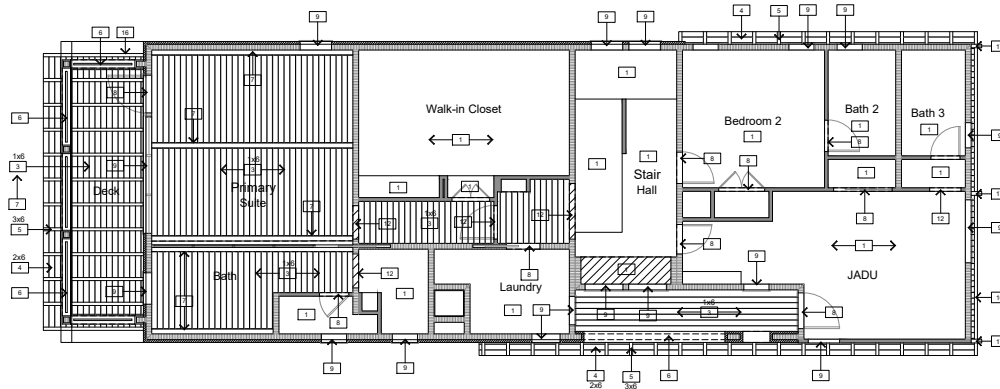
BREEDLE &
UPPER LEVEL
ELECTRICAL
PLANS

SHEET NUMBER



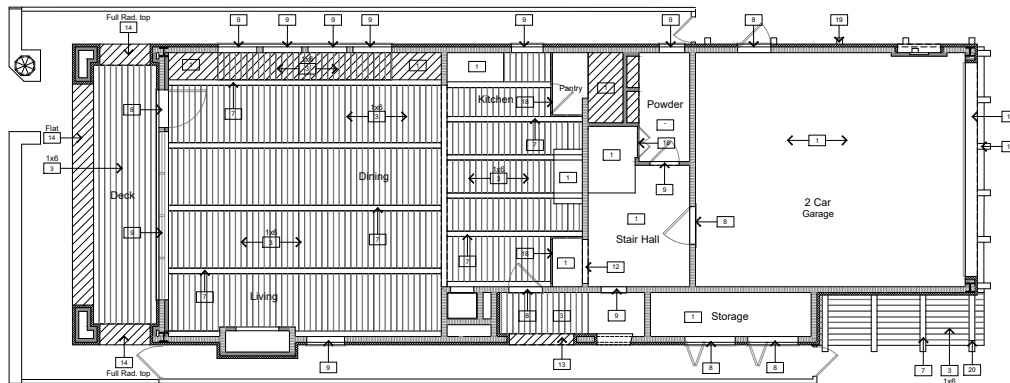
Upper Level Reflected Ceiling Plan

SCALE: 1/4" = 1'-0"



Middle Level Reflected Ceiling Plan

SCALE: 1/4" = 1'-0"



Lower Level Reflected Ceiling Plan

SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN KEY NOTES

AX	SYMBOL		
1	DRYWALL CEILING	16	EXPOSED BARGE BOARD
2	PLASTER FINISH CEILING	17	EXPOSED WOOD OUTLOOKER
3	T&G SHEATHING	18	LINE OF FACE FRAME CABINET DOOR
4	T&G ROOF SHEATHING	19	EXPOSED WOOD CORBEL
5	EXPOSED RAFTER TAIL	20	EXPOSED WOOD BRACE
6	WOOD WRAPPED BEAM		
7	APPLIED WOOD BEAM		
8	DOOR OPENING		
9	WINDOW OPENING		
10	GARAGE DOOR OPENING		
11	FREPLACE OPENING		
12	DRYWALL OPENING		
13	CASED OPENING		
14	BRICK OPENING		
15	ATTIC ACCESS		

BUILDING DEPARTMENT SUBMITTAL -
REVISIONS:
11/13/25 CDP Pre-Submittal Draft 1
12/15/25 CDP Pre-Submittal Draft 2

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DRAWN BY:
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-FLOOR

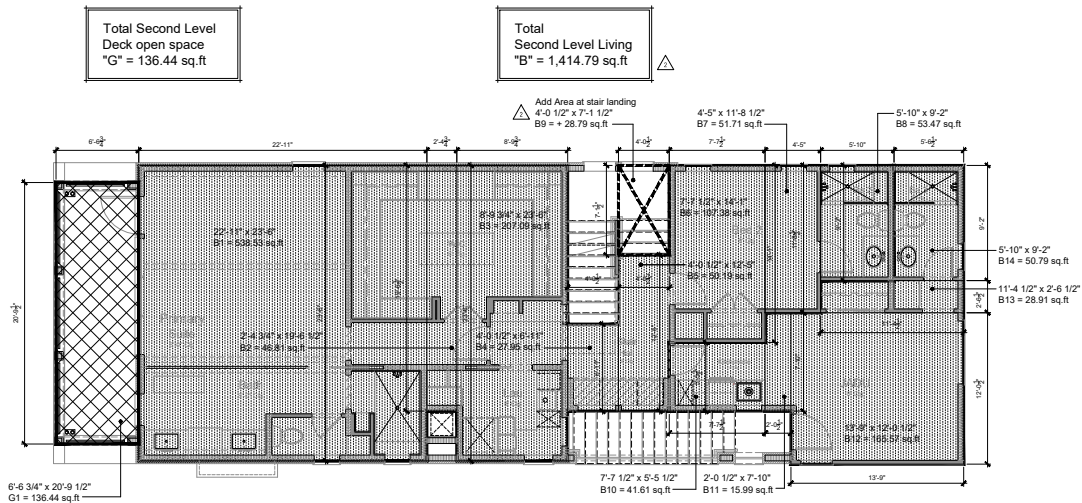
SHEET TITLE:

REFLECTED
CEILING PLANS

SHEET NUMBER:

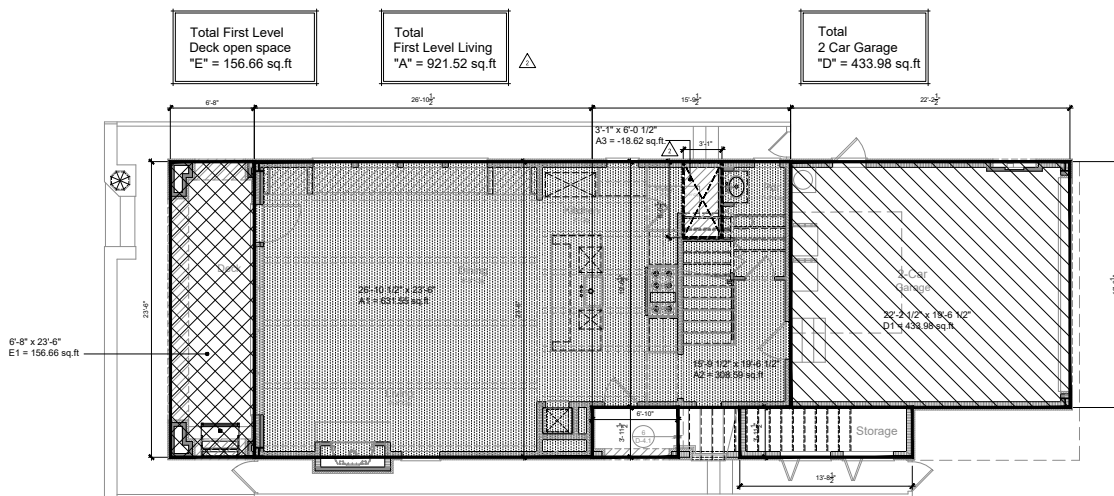
A8.1

PLOT REFERENCE DATE: 07-02-25



Second Level - Overlay Plan

SCALE: 1/4" = 1'-0"



First Level - Overlay Plan

SCALE: 1/4" = 1'-0"

Planning Criteria

SETBACKS:		THIRD FLOOR STEP BACKS:	
Front (off Grand Canal)	5'	Front (off Grand Canal)	15'
2nd Front (Abutting Alley)	0'	2nd Front (Abutting Alley)	15'
Side Yard 1	3'	Side Yard 1	2'
Side Yard 2	3'	Side Yard 2	2'

MOONLIGHT RESULTS	
Flat Roof (less than 3 1/2 pitch)	26'
Pitched Roof (greater than 3 1/2 pitch)	29'
Development Standards:	R-B1 Two Unit Residential Zone

FAR	
Site Area	2,400 SF
Buildable Area	1,800 SF

MAXIMUM FLOOR AREA LIMIT	
Buildable Area 1,800 x 1.5 =	2,700 Sq. Ft. + 200 SF
	2,900 SF

THIRD FLOOR LIMITATIONS	
Allowable Floor Area:	20% of Buildable Area = 580 SF
Allowable combined Third Floor & Covered Deck Area:	80% of Total Buildable Area = 1,800 x 50% = 900 SF

Location of Structure: 15' from Front & Rear Setback Lines

REQUIRED OPEN VOLUME	
10% of Buildable Area (1,800 sq) =	270 SF
Open Space Provided =	293 SF

PARKING REQUIREMENTS	
2 Car off Street Parking Minimum	
Minimum interior dimensions for Parking spaces in residential zoning for a lot with 30'-0" feet or less is 17'-6"x19'-0" (20.43) City of Newport Beach	

AREA TABULATION	
Living Area:	
First Level Living	922 SF
Second Level - Living	1,033 SF
Second Level - Stair Landing	29 SF
Second Level - JADU	303 SF
Third Level Living	126 SF
Total Living	2,463 SF
2 Car Garage	434 SF
Total Building Area	2,897 SF

Area Overlay Tabulation	
A1:	631.55 Sq. Ft.
A2:	308.59 Sq. Ft.
A3:	Area under stair 5'-11" in height -18.62 Sq. Ft.

Total First Level Living	
Area:	921.52 Sq. Ft.
B1:	538.53 Sq. Ft.
B2:	46.81 Sq. Ft.
B3:	207.08 Sq. Ft.
B4:	27.95 Sq. Ft.
B5:	50.19 Sq. Ft.
B6:	107.38 Sq. Ft.
B7:	51.71 Sq. Ft.
B8:	53.47 Sq. Ft.
B9:	Add area for Stair Landing 28.79 Sq. Ft.
B10:	JADU 41.61 Sq. Ft.
B11:	JADU 15.99 Sq. Ft.
B12:	JADU 165.27 Sq. Ft.
B13:	JADU 28.91 Sq. Ft.
B14:	JADU 50.79 Sq. Ft.

Total Second Level Living	
Area:	1,414.97 Sq. Ft.
C1:	19.28 Sq. Ft.
C2:	54.70 Sq. Ft.
C3:	52.26 Sq. Ft.

Total Third Level Living	
Area:	126.24 Sq. Ft.
D1:	433.98 Sq. Ft.

Total 2 Car Garage	
Area:	433.98 Sq. Ft.
E1:	156.66 Sq. Ft.

Total First Level Deck open space	
Area:	156.66 Sq. Ft.
G1:	136.44 Sq. Ft.

Total Second Level Deck open space	
Area:	136.44 Sq. Ft.
I1:	249.95 Sq. Ft.
I2:	51.67 Sq. Ft.
I3:	149.76 Sq. Ft.

Total Third Level Covered Deck	
Area:	451.59 Sq. Ft.
J1:	161.07 Sq. Ft.
J2:	46.25 Sq. Ft.

Total Third Level Uncovered Deck	
Area:	
K1:	207.32 Sq. Ft.

Hatching Legend	
Hatching Indicates Garage Area	Hatching Indicates Deck Area and Open Space
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

Hatching Legend	
Hatching Indicates Deck Area and Open Space	Hatching Indicates Covered Outdoor Deck Area
Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

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Hatching Legend	
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Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

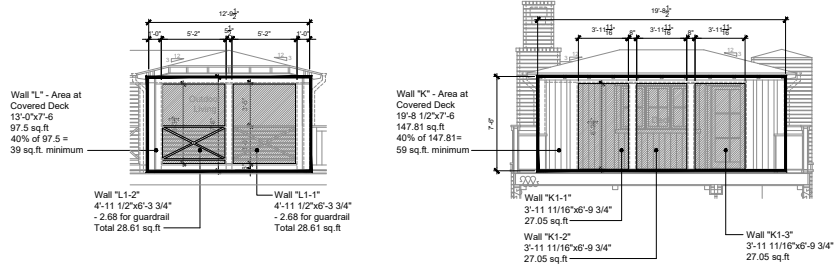
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Hatching Legend	
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Hatching Legend	
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Hatching Legend	
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Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area

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Hatching Indicates Living Area	Hatching Indicates Uncovered Outdoor Deck Area



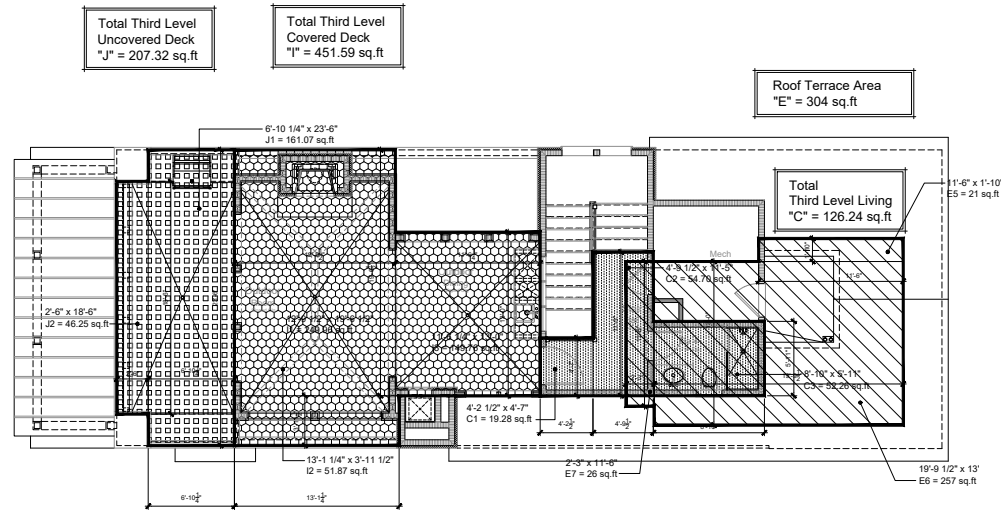
Total Wall "L" at Covered Deck
"L" = 57.22 sq.ft

K1-1: 27.05 Sq. Ft.
K1-2: 27.05 Sq. Ft.
K1-3: 27.05 Sq. Ft.
Total Third Level Covered Deck open Wall Area: 81.15 Sq. Ft.
L1-1: 28.61 Sq. Ft.
L1-2: 28.61 Sq. Ft.
Total Third Level Covered Deck open Wall Area: 57.22 Sq. Ft.

Total Wall "K" at Covered Deck
"K" = 81.15 sq.ft

Third Level - Covered Deck open Wall Area

SCALE: 1/4" = 1'-0"



Third Level - Overlay Plan

SCALE: 1/4" = 1'-0"

Planning Criteria			
REQUIREMENTS		THIRD FLOOR STEP BACKS	
Front (off Grand Canal)	5'	Front (off Grand Canal)	10'
2nd Front (Abutting Alley)	0'	2nd Front (Abutting Alley)	10'
Side Yard 1	3'	Side Yard 1	3'
Side Yard 2	3'	Side Yard 2	3'

MOONLIGHT RESULTS	
Flat Roof Area (Less than 3 1/2 pitch)	26'
Pitched Roof (greater than 3 1/2 pitch)	29'
Development Standards:	R-BI Two Unit Residential Zone
Site Area	2,400 SF
Buildable Area	1,800 SF
MAXIMUM FLOOR AREA LIMIT	
Buildable Area 1,800 x 1.5 =	2,700 Sq. Ft. + 200 SF
2,700 SF	
THIRD FLOOR LIMITATIONS	
Allowable Floor Area:	80% of Total Buildable Area = 580 SF
Third Floor & Covered Deck Area:	1,800 x 50% = 900 SF
Location of Structure:	15' from Front & Rear Setback Lines

REQUIRED OPEN VOLUME	
1% of Buildable Area (1,800 sq) = 270 SF	
Open Space Provided = 293 SF	

PARKING REQUIREMENTS	
2 Car off Street Parking Minimum	
Minimum interior dimensions for Parking spaces in residential zoning for a lot with 30'-0" feet or less is 17'-6"x19'-0" (20.45) City of Newport Beach	

AREA TABULATION	
Living Area:	
First Level Living	622 SF
Second Level - Living	1,033 SF
Second Level - Stair Landing	29 SF
Second Level - JADU	303 SF
Third Level Living	126 SF
Total Living	2,463 SF
2 Car Garage	434 SF
Total Building Area	2,897 SF
Main Porch (Canal Side)	157 SF
Second Level Deck (Canal Side)	136 SF
Total Open Space	293 SF
Third Level Covered Deck	432 SF
Third Level Uncovered Deck	207 SF
Total Third Level Deck	639 SF
Main Level Entry Porch/Stair	27 SF
Main Level Storage	54 SF

Area Overlay Tabulation	
A1:	631.55 Sq. Ft.
A2:	308.59 Sq. Ft.
A3:	Area under stair 5'-11" in height
	-18.62 Sq. Ft.
Total First Level Living Area:	921.52 Sq. Ft.

B1:	538.53 Sq. Ft.
B2:	46.81 Sq. Ft.
B3:	207.09 Sq. Ft.
B4:	27.95 Sq. Ft.
B5:	50.19 Sq. Ft.
B6:	107.85 Sq. Ft.
B7:	51.71 Sq. Ft.
B8:	53.47 Sq. Ft.
B9:	Add area for Stair Landing
	28.79 Sq. Ft.
B10:	JADU
B11:	JADU
B12:	JADU
B13:	JADU
B14:	JADU
Total Second Level Living Area:	1,414.97 Sq. Ft.
C1:	19.28 Sq. Ft.
C2:	54.70 Sq. Ft.
C3:	52.26 Sq. Ft.
Total Third Level Living Area:	126.24 Sq. Ft.
D1:	433.98 Sq. Ft.
Total 2 Car Garage Area:	433.98 Sq. Ft.
E1:	156.66 Sq. Ft.
Total First Level Deck open space Area:	156.66 Sq. Ft.
G1:	136.44 Sq. Ft.
Total Second Level Deck open space Area:	136.44 Sq. Ft.
I1:	249.95 Sq. Ft.
I2:	51.87 Sq. Ft.
I3:	149.76 Sq. Ft.
Total Third Level Covered Deck Area:	451.59 Sq. Ft.
J1:	161.07 Sq. Ft.
J2:	46.25 Sq. Ft.
Total Third Level Uncovered Deck Area:	

Hatching Legend	
	Hatching Indicates Garage Area
	Hatching Indicates Deck Area and Open Space
	Hatching Indicates Living Area
	Hatching Indicates Balcony Area
	Hatching Indicates Covered Outdoor Deck Area
	Hatching Indicates Uncovered Outdoor Deck Area

BUILDING DEPARTMENT SUBMITTAL - REVISIONS:
11/13/2023 CDP Pre-Submittal Draft 1
12/05/2023 CDP Pre-Submittal Draft 2

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BECKER RESIDENCE
224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC
Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02
TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-FLOOR-OVERLAY

SHEET TITLE:

OVERLAY PLANS

SHEET NUMBER:

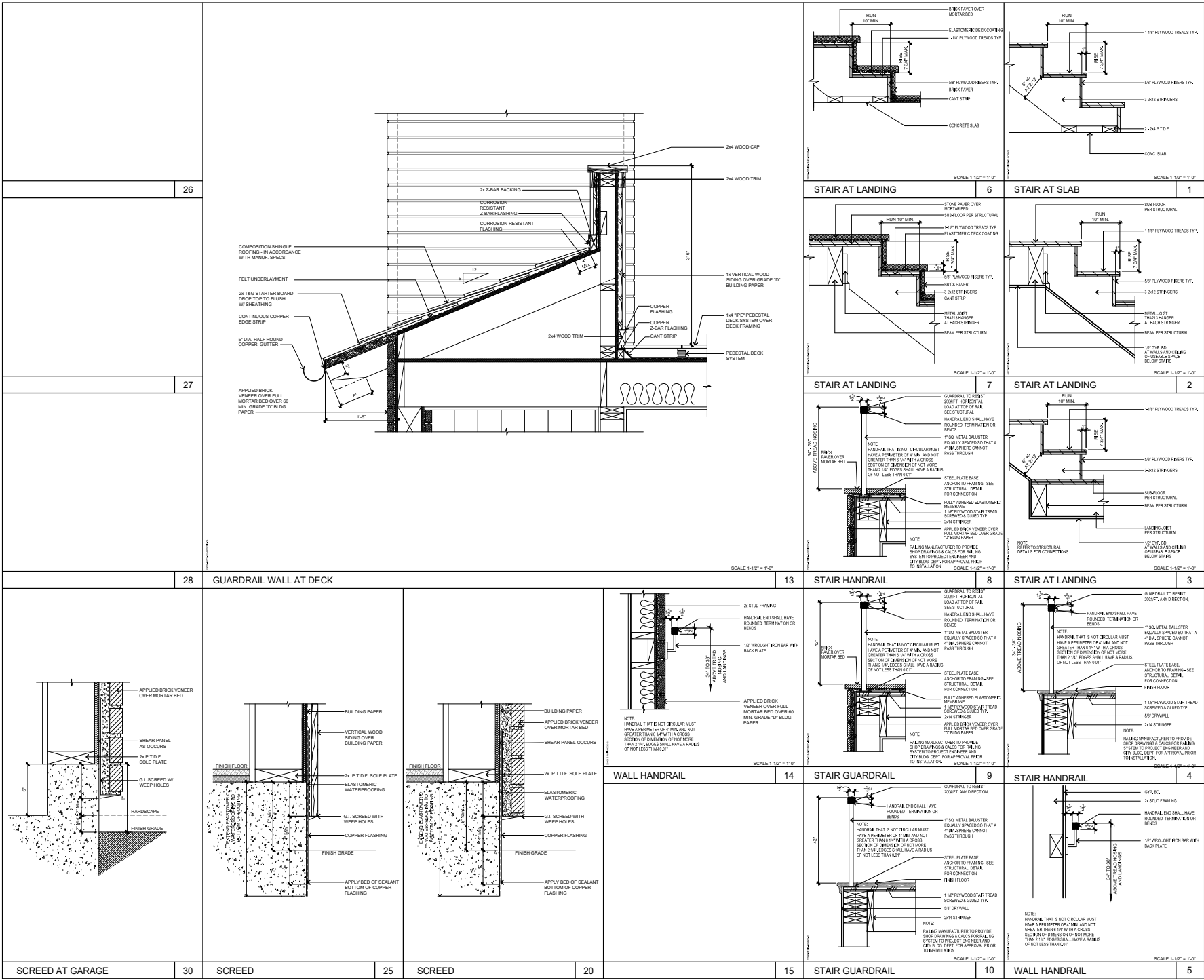
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PLOT REFERENCE DATE: 07-02-26

37

CDP Pre-Submittal set 07-02-26 Draft 2

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REVISIONS:

11-03-2018 COP Rev Submittal Detail 1

03-05-2018 COP Rev Submittal Detail 2

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PROJECT:

BECKER RESIDENCE

224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02

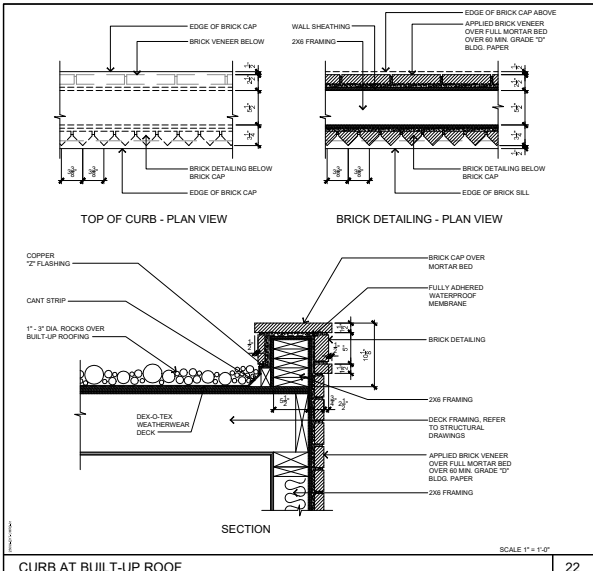
TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-DETAILS

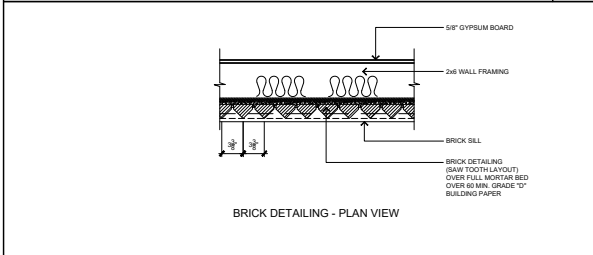
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ARCHITECTURAL
DETAILS

SHEET NUMBER:
D-4.1

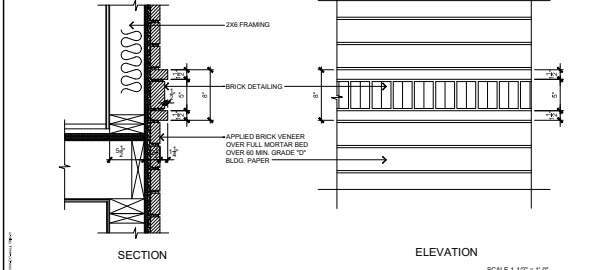
PLOT REFERENCE DATE: 07-02-26



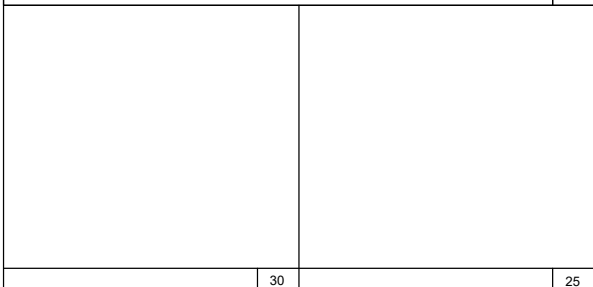
CURB AT BUILT-UP ROOF 22



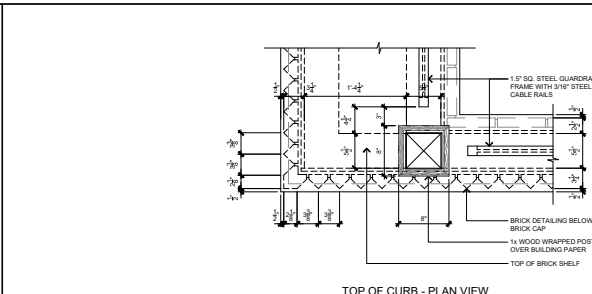
BRICK DETAILING 23



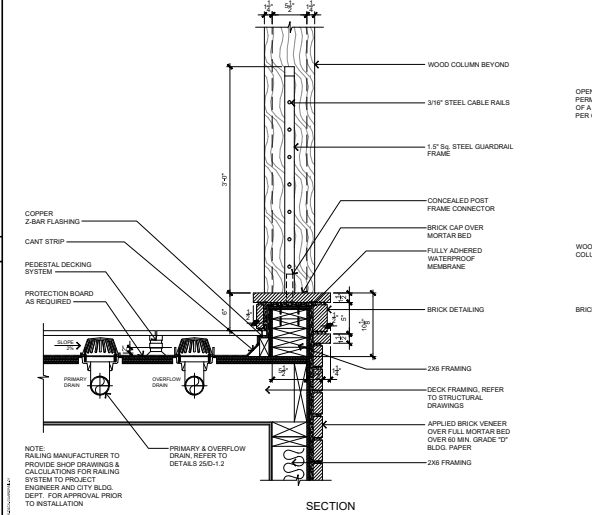
BRICK WALL TRIM 24



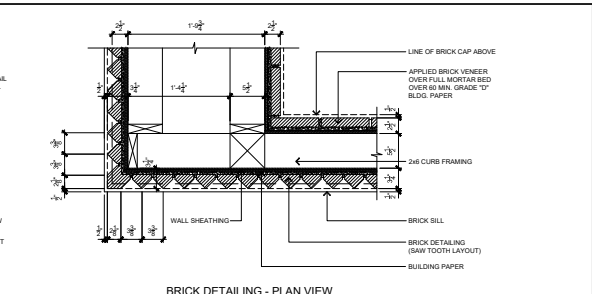
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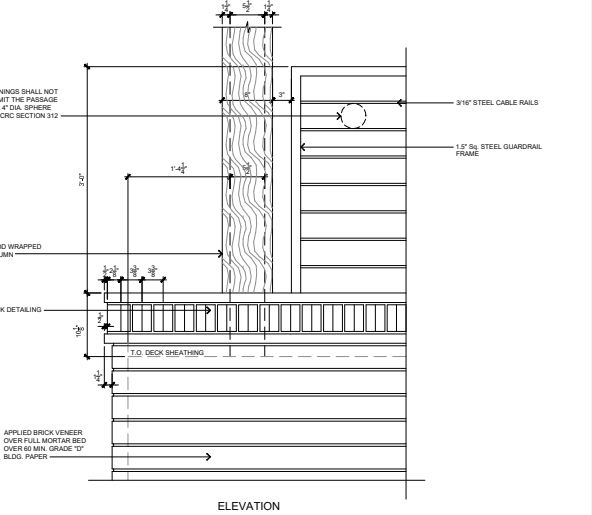
TOP OF CURB - PLAN VIEW



GUARDRAIL AT DECK 3



BRICK DETAILING - PLAN VIEW



ELEVATION 3

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 TELEPHONE: (949) 584-8887 Email: rltner@rltner.com

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STAMP:

PROJECT:

**BECKER
RESIDENCE**

224 Grand Canal
 Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13
 Block 7 section 5
 APN 050-191-02

TELEPHONE:
 FAX:

PROJECT MANAGER:
 PROJECT DESIGNER: BW
 DRAWN BY: RR
 PROJECT NUMBER: 23006
 PROJECT CAD FILE: 23006-DETAILS

SHEET TITLE:

**ARCHITECTURAL
DETAILS**

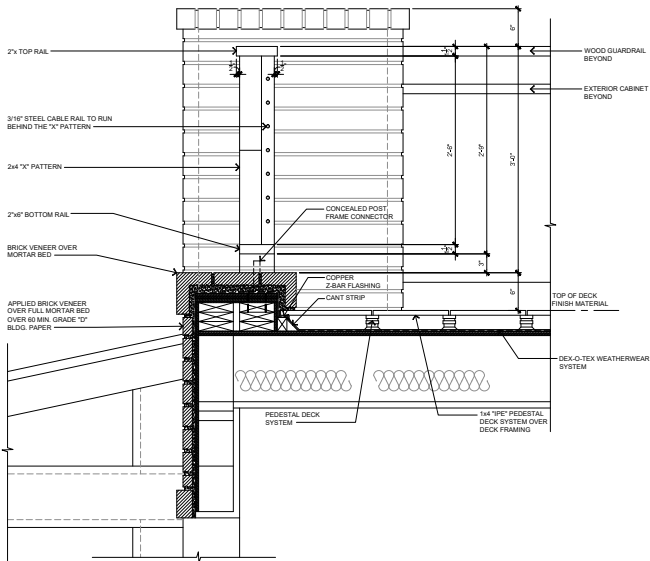
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D-4.2

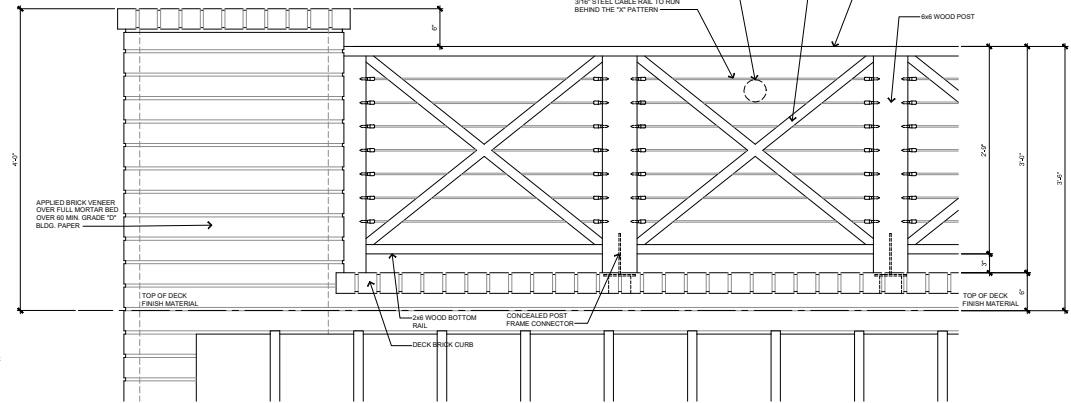
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CDP Re-submittal set 07-02-26 Data 2



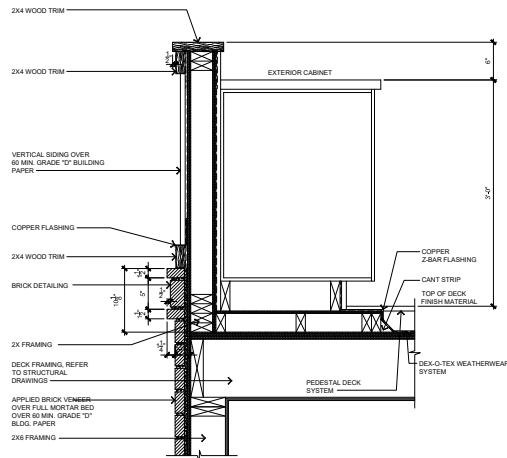
SECTION - "1A"



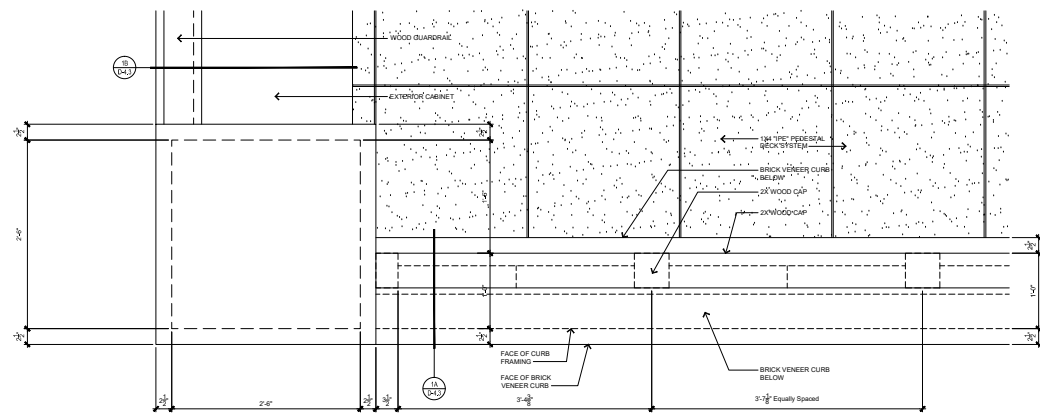
PARTIAL FRONT ELEVATION

GENERAL NOTES FOR ALL CABLE GUARDRAILS

- CABLE RAIL SYSTEMS SHALL BE LISTED, MANUFACTURED SYSTEMS OR INCLUDE A DESIGN ANALYSIS.
- CABLES SHALL BE A MIN. 3/16" IN DIAMETER AND SHALL BE SPACED A MAX. OF 3", MEASURED FROM THE INSIDE EDGES OF ADJACENT CABLES.
- THE SYSTEM SHALL INCORPORATE A TURNBUCKLE OR OTHER DEVICE ON EACH CABLE SO THAT THE TENSION CAN BE ADJUSTED OVER TIME. THIS DEVICE SHALL INCLUDE A LOCK NUT OR OTHER DEVICE SO THAT A CHILD CANNOT EASILY REDUCE THE TENSION OF THE CABLE.
- AT THE TIME OF INSPECTION A 50 POUND WEIGHT MUST BE SUSPENDED FROM THE CABLE STRAND BELOW THE TOP. AT THE POINT WHERE THE SEPARATION BETWEEN SUPPORTS IS GREATEST. WITH THIS WEIGHT SUSPENDED, A 4" SPHERE (4 3/8" AT STAIRWAYS) SHALL NOT PASS BETWEEN THE CABLES AT ANY POINT, AND THE SUPPORTS MUST NOT DEFLECT. THE BUILDING INSPECTOR MAY REQUIRE THE WEIGHT BE PLACED AT OTHER POINTS IN THE CABLE RAIL SYSTEM TO VERIFY COMPLIANCE.



SECTION - "1B"



PARTIAL PLAN VIEW

SCALE 1/12" = 1'-0"

BUILDING DEPARTMENT SUBMITTAL -
REVISIONS:
11/13/25 CDP Re-Submittal Detail 1
12/05/25 CDP Re-Submittal Detail 2

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224 Grand Canal
Newport Beach, CA 92662

224 Grand Canal LLC

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02

TELEPHONE:
FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-DETAILS

SHEET TITLE:
**ARCHITECTURAL
DETAILS**

SHEET NUMBER:

D-4.3

PLAT REFERENCE DATE: 07-02-25

PROJECTS23006 BECKER/CD23006-DETAILS July 2, 2026

4

- CABLE RAIL SYSTEMS SHALL BE LISTED, MANUFACTURED SYSTEMS OR INCLUDE A DESIGN ANALYSIS.
- CABLES SHALL BE A MIN. 3/16" IN DIAMETER AND SHALL BE SPACED A MAX. 3", MEASURED FROM THE INSIDE EDGES OF ADJACENT CABLES.
- THE SYSTEM SHALL INCORPORATE A TURNBUCKLE OR OTHER DEVICE ON EACH CABLE SO THAT THE TENSION CAN BE ADJUSTED OVER TIME. THIS DEVICE SHALL INCLUDE A LOCKING MECHANISM TO PREVENT THE CABLE FROM SLACKING TO THE POINT WHERE IT COULD NO LONGER BE ABLE TO RESIST THE TENSION OF THE CABLE.
- AT THE TIME OF INSPECTION A 50 POUND WEIGHT MUST BE SUSPENDED FROM THE CABLE STRAND BELOW THE TOP. AT THE POINT WHERE THE SEPARATION BETWEEN SUPPORTS IS GREATEST WITH THIS WEIGHT SUSPENDED, THERE SHALL BE NO MORE THAN 1/4" OF SEPARATION BETWEEN THE CABLES AT ANY POINT, AND THE SUPPORTS MUST NOT DEFLECT. THE INSPECTOR MAY REQUIRE THE WEIGHT BE PLACED AT OTHER POINTS IF THE CABLES ARE NOT UNIFORM IN LENGTH.

r|t|n|e|r|g|r|o|u|p

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NEWPORT BEACH, CA 92663
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OFFICE OF ARCHITECT
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NOV 14 2015
PROJECT NO. 15007
CITY OF LOS ANGELES

Por. Lot 12 & Lot 13
Block 7 section 5
APN 050-191-02

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FAX:

PROJECT MANAGER:
PROJECT DESIGNER: BW
DRAWN BY: RR
PROJECT NUMBER: 23006
PROJECT CAD FILE: 23006-DETAILS

SHEET TITLE:

ARCHITECTURAL
DETAILS

SHEET NUMBER:

D-4.4

PLOT REFERENCE DATE: 07-02-26

- LEGEND**
- BLOCK WALL
 - WROUGHT IRON FENCE
 - FF — FINISHED FLOOR
 - FFG — FINISHED FLOOR GARAGE
 - FL — FLOWLINE
 - FS — FINISHED SURFACE
 - GM — GAS METER
 - NG — NATURAL GROUND
 - SCO — SEWER CLEANOUT
 - WM — WATER METER
 - () — EXISTING ELEVATION
 - — FOUND MONUMENT AS NOTED HEREON
 - — SEARCHED, FOUND NOTHING, SET NOTHING
 - ⊕ T.B.M. — TEMPORARY BENCHMARK SET ON A FOUND LEAD AND TAG STAMPED L3 6970 ELEVATION = 6.50 FEET
- MONUMENT NOTES**
- ① — LEAD & TAG STAMPED L58978
 - ② — LEAD & TAG STAMPED L53288
 - ③ — LEAD HOLE, NO TAG

TITLE REPORT/EASEMENT NOTES

224 GRAND CANAL
NEWPORT BEACH, CA 92662
(APN: 050-191-02)

TITLE REPORT PROVIDED BY: FIRST AMERICAN TITLE COMPANY
POLICY NUMBER: 05A-873718
DATED: NOVEMBER 22, 2021

- ① ITEM 4: AN EASEMENT FOR ALLEY PURPOSES, PIPE LINES, PUBLIC UTILITIES, AND INCIDENTAL PURPOSES RECORDED AS BOOK 1225, PAGE 170 OF OFFICIAL RECORDS PLOTTED AS SHOWN
- ② ITEM 5: THE RIGHTS, IF ANY, OF A CITY, PUBLIC UTILITY OR SPECIAL DISTRICT TO PRESERVE A PUBLIC EASEMENT IN PORTION OF ALLEY AS THE SAME WAS VACATED BY THE DOCUMENT RECORDED SEPTEMBER 16, 1995, AS INSTRUMENT NO. 99-468007 OF OFFICIAL RECORDS PLOTTED AS SHOWN
- ③ ITEM 6: AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED SEPTEMBER 16, 1995 AS INSTRUMENT NO. 99-668007 PLOTTED AS SHOWN

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THE NORTHERLY 2 FEET OF LOT 12 AND ALL OF LOT 13, EXCEPT THE NORTHERLY 2 FEET THEREOF, IN BLOCK 7 OF SECTION 5, BALBOA ISLAND, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 8, PAGE 9, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK INFORMATION

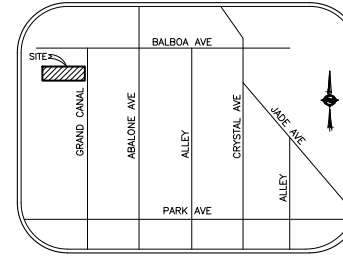
BENCHMARK NO. NB3-20-92

DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED NB3-20-92, SET IN THE TOP OF A 1 FT. WIDE BY 2 FT. TALL CONCRETE WALL. MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF BALBOA ISLAND BRIDGE AND MARINE AVENUE, 18 FT. WESTERLY OF THE CENTERLINE OF MARINE AVENUE AND ON THE SOUTHERLY SIDE OF THE BRIDGE. MONUMENT IS SET LEVEL WITH THE WALL.

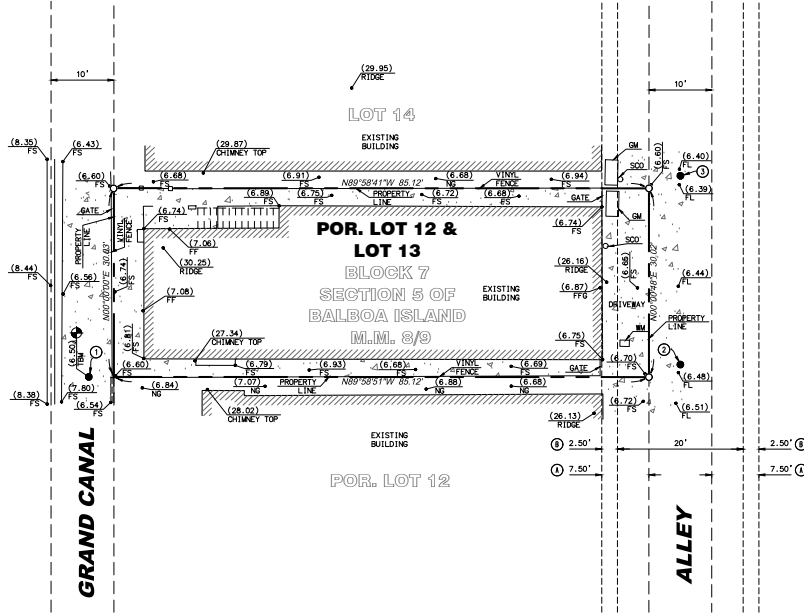
ELEVATION: 8.364 FEET (NAVD88), YEAR LEVELED 1992

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY LINE OF BLOCK 7, HAVING A BEARING OF N00°00'00"E PER RS 2012-1008, R.S.B. 257025.



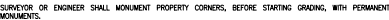
VICINITY MAP
NO SCALE



PAUL D. CRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/28
DATE 7/23/2025

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

TOPOGRAPHIC MAP		PROJECT SURVEYOR	
DATE 7/23/2025	SCALE 1" = 8'	 VILVA PARK, CALIFORNIA 92661 PHONE: (714) 488-5006 APEX@APEXLANDSURVEYING.COM	
PROJECT 224 GRAND CANAL NEWPORT BEACH, CA 92662 (APN: 050-191-02)		DRAWN BY J. A. H. CHECKED BY P. D. C.	
SHEET NO. 1 OF 1		PROJECT NO. 23081	



PROPERTY CORNER MONUMENTATION

SOURCE OF TOPOGRAPHY
APEX LAND SURVEYING INC.
(SEE TOPOGRAPHIC SURVEY)

LOT 13, BLOCK 7 SECTION 5 OF BALBOA ISLAND M.M. 8/9
224 GRAND CANAL, NEWPORT BEACH, CA 92863

SUBMITTAL SET NOT FOR CONSTRUCTION

ADDITIONAL NOTES

- ALL ROOFS SHALL BE GUTTERED & DOWNSPOUTS CONNECTED TO STORM DRAIN SYSTEM OTHERWISE NOTED HEREON.
- FOR BUILDING FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
- ALL RECOMMENDATIONS IN THE SOILS REPORT PREPARED BY STONEY MILLER CONSULTANTS, INC. (DATED MAY 31, 2024) AND ALL ADDENDUM ARE CONSIDERED A PART OF THESE PLANS.
- PRIOR TO START OF CONSTRUCTION, PROPERTY LINES AND/OR CORNERS SHALL BE CLEARLY FLAGGED AROUND THE PROJECT.
- PRIOR TO FINAL INSPECTION, WRITTEN CERTIFICATION SIGNED BY LICENSED SURVEYOR SHALL BE PROVIDED STATING ALL PROPERTY CORNERS ARE MONUMENTED PER THE REQUIREMENTS OF THE COUNTY SURVEYOR UNDER PROVISIONS OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.
- AN ENCROACHMENT PERMIT WILL BE REQUIRED FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- STAGING OF ON-SITE CONSTRUCTION IS NOT ALLOWED ON THE PROJECT FRONTAGE. ALL STAGING MUST BE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.



EASEMENT NOTES

TITLE REPORT PROVIDED BY: FIRST AMERICAN TITLE COMPANY
POLICY NUMBER: 2-5A-8738718
DATED: NOVEMBER 22, 2021

- A** AN EASEMENT FOR ALLEY PURPOSES, PIPE LINES, PUBLIC UTILITIES, AND INCIDENTAL PURPOSES RECORDED AS BOOK 1225, PAGE 170 OF OFFICIAL RECORDS, PLOTTED AS SHOWN.
- B** THE RIGHTS, IF ANY, OF A CITY, PUBLIC UTILITY OR SPECIAL DISTRICT TO PRESERVE A PUBLIC EASEMENT IN PORTION OF ALLEY AS THE SAME WAS VACATED BY THE DOCUMENT RECORDED SEPTEMBER 16, 1999, AS INSTRUMENT NO. 99-668097 OF OFFICIAL RECORDS, PLOTTED AS SHOWN.
- B** AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED SEPTEMBER 16, 1999 AS INSTRUMENT NO. 99-668097, PLOTTED AS SHOWN.

GRADING LEGEND

	CONCRETE PAVING	A.B.	AGGREGATE BASE
	TURF	A.C.	ASPHALT CEMENT
	CRUSHED GRAVEL SURFACE	DF	DEEPEMED FOOTING
	POOL OR WATER FEATURE	DG	DECOMPOSED GRANITE
	CONTOUR (PROPOSED)	DS	DOWNSPOUT
	SPOT ELEVATION (PROPOSED)	EP	EDGE OF PAVEMENT
	SPOT ELEVATION (MATCH EXISTING)	FF	FINISH FLOOR
	PROPOSED RETAINING WALL	FG	FINISH GRADE
	LANDSCAPE BOULDERS	FL OR E	FLOW LINE
	SECTION LETTER	FS	FINISH SURFACE
	DETAIL NUMBER	GFF	GARAGE FINISH FLOOR
		INV	INVERT
		P.L. OR R	PROPERTY LINE
		PA	PLANTER AREA
		R/W	RIGHT OF WAY
		T.O.C.	TOP OF CONCRETE
		T/CO	TOP OF CLEANOUT
		TC	TOP OF CURB
		TF	TOP OF FOOTING
		TG	TOP OF GRADE
		TP	TOP OF PLASTER
		TW	TOP OF WALL
		WF	WATER FEATURE

DRAINAGE LEGEND

	PROPOSED DRAIN LINE
	PROPOSED SUBDRAIN
	PROPOSED FORCE MAIN
	DOWNSPOUT
	DETAIL NUMBER
	INVERT
	TOP OF GRATE

CONSTRUCTION NOTES

- CONSTRUCT HARDSCAPE SEE DETAIL ON SHEET C-3.
- INSTALL 5" CHANNEL DRAIN W/ PEDESTAL GRATE (NDS 826 OR EQUIV.).
- INSTALL 4" DIA. SCHEDULE 40 PVC (OR SDR35 PVC) PIPE DRAIN SYSTEM.
- INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL SUBDRAIN PER SOILS REPORTS RECOMMENDATIONS AND DETAIL ON SHEET C-2.
- DOWNSPOUT LOCATION PER ARCH. PLAN. SEE SHEET C-3 FOR CONNECTION DETAIL.
- REMOVE AND RECONSTRUCT THE EX. SIDEWALK/ALLEY WITH 6" PCC. MATCH WITH ADJACENT COLOR, FINISH TEXTURE AND SLOPING.
- CONSTRUCT INFILTRATION TRENCH PER DETAIL ON SHEET C3, B7, x 18" x 18" x 18" (TOTAL VOLUME = 24 C.F.; REQ'D VOLUME FOR 2,550 S.F. = 19.13 C.F.)

NOTICE TO CONTRACTOR REQUIRED CERTIFICATIONS / APPROVALS

In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil engineer of record are required:

- Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
- Location, size, and depth of all drain lines prior to backfill.

SUBMITTAL SET

NOT FOR CONSTRUCTION

PLANS PREPARED BY:
TOAL
ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 Avenida Miramar
San Clemente, CA 92672
949.492.386
www.toalengineering.com



CALEB HEBER
P.E., 57587
DATE:

PREPARED FOR:
NICK BECKER
224 GRAND CANAL
NEWPORT BEACH, CA 92663
75: 03/01

NO.	DATE	APPROVED	BY
1			
2			
3			
4			
5			
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7			
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10			

THE BECKER RESIDENCE
PRECISE GRADING AND DRAINAGE PLAN
LOT 16, BLOCK 7, SECTION 16 OF SAN BLOISLAND N.M. 8.9
224 GRAND CANAL, NEWPORT BEACH, CA 92663

DATE:	7/11/2024	H. SCALE:	1/8"=1'
SURVEY DATE:	10/04/2023	V. SCALE:	N/A
DRAWN:	A.L.C.	DRAW. NO.:	
CHECKED:	C.R.	CHECK. NO.:	
APPROVED:	C.R.	APPROV. NO.:	
JOB NO.:	24057	SHEET:	OF
		2	3

1. ACTUAL LIMITS OF EXCAVATION TO BE DETERMINED IN THE FIELD BY THE SOILS ENGINEER.
2. TEMPORARY CONSTRUCTION SLOPES SHOWN HEREON ARE BASED ON RECOMMENDATIONS CONTAINED IN THE PROJECT SOILS REPORT. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS RECOMMENDED TO IMPLEMENT ANY ADDITIONAL REQUIRED SLOPE PROTECTION OR EARTH MATERIALS EXPOSED DURING GRADING OPERATIONS. THIS MAY RESULT IN TEMPORARY CONSTRUCTION SLOPES DIFFERENT THAN THOSE SHOWN HEREON OR MAY REQUIRE SHORING.
3. RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE CONSTRUCTED PER SEPARATE PLANS AND PERMIT.
4. FOR FOOTING AND FOUNDATION PLANS, SEE STRUCTURAL DRAWINGS.
5. RETAINING WALL BACKFILL SHALL CONFORM TO THE SOILS REPORT AND THE STRUCTURAL DRAWINGS.

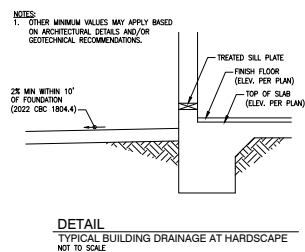
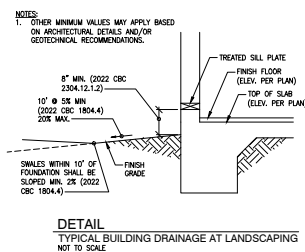
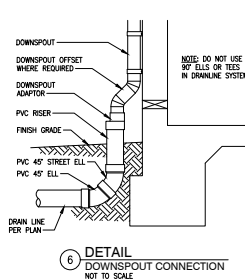
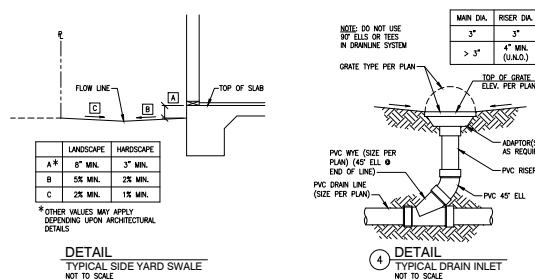
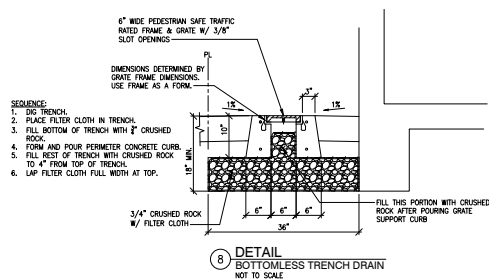
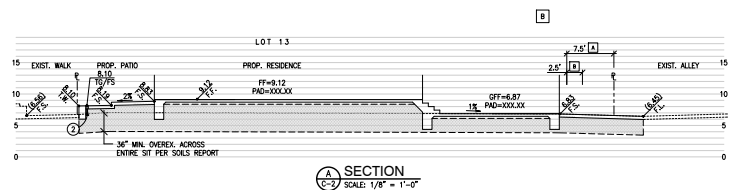
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POLICY NUMBER: 0-SA-6738718

AN EASEMENT FOR ALLEY PURPOSES, PIPE LINES, PUBLIC UTILITIES, AND INCIDENTAL PURPOSES RECORDED AS BOOK 1225, PAGE 170 OF OFFICIAL RECORDS.

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1. CONSTRUCT HARDSCAPE. SEE DETAIL ON SHEET C-3.
2. INSTALL 5" CHANNEL DRAIN W/ PEDESTAL GRATE (NDS 826 OR EQUAL).
3. INSTALL 4" DIA. SCHEDULE 40 PVC (OR SD35 PVC) PIPE DRAIN SYSTEM.
4. INSTALL 6" ATRUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
5. DETAIL SUBDRAIN PER SOLS RECOMMENDATIONS AND DETAIL ON SHEET C-2.
6. DOWNSPOUT LOCATION PER ARCH. PLAN. SEE SHEET C-3 FOR CONNECTION DETAIL.
7. REMOVE AND RECONSTRUCT THE EX. SIDEWALK/ALLEY WITH 6" PCC MATCH WITH ADJACENT CURB, FINISH TREADS AND SCORE JOINTS.
8. CONSTRUCT INFILTRATION TREATMENT DETAIL ON SHEET C3. 8' L x 16' W x 18" (TOTAL VOLUME = 24 CF.; REQ'D VOLUME FOR 2,550 S.F. = 19.13 → 24) (K).



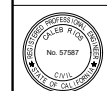
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R.C.E. 57587
DATE:

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NEWPORT BEACH, CA 92663
TEL.
FAX

[illegible]

SECTIONS & DETAILS

T 13, BLOCK 7 SECTION 5 OF BALBOA ISLAND M.M. 8/9
224 GRAND CANAL, NEWPORT BEACH, CA 92663

P.C.#: #####	
DATE: 7/11/2024	H. SCALE: 1/8"=1'
SURVEY DATE: 10/04/2023	V. SCALE: N/A
DRBL: A.L.C.	DRG. NO.
CHD: C.R.	C-3
APPD: C.R.	
JOB NO. 24057	SHEET 3
	OF 5

