CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT

October 16, 2025
Agenda Item No.3

SUBJECT:	Foreman Residence (PA2025-0089) ▪ Coastal Development Permit
SITE LOCATION:	836 Via Lido Nord
APPLICANT:	Gavin Friehauf, Brandon Architects
OWNER:	Anne Foreman
PLANNER:	Daniel Kopshever, Assistant Planner 949-644-3235, dkopshever@newportbeachca.gov

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LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached (RSD-C) (10.0 - 19.9 DU/AC))
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A request for a coastal development permit (CDP) to allow the demolition of an existing two-story 4,418 single-unit dwelling and the construction of a new 3,886 square-foot two-story single-unit dwelling unit with a 513 square-foot, attached, two-car garage for a total structure area of 4,202 square feet. The project includes landscape, hardscape, drainage, and accessory structures. The project also includes reinforcing the existing bulkhead with adaptability for future sea level rise. The project complies with all development standards and no deviations are requested. All improvements authorized by this CDP will be located on private property.

RECOMMENDATION

1) Conduct a public hearing;

2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment and the exceptions to this exemption do not apply; and

3) Adopt Draft Zoning Administrator Resolution No. _ approving the Coastal Development Permit filed as PA2025-0089 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The property is located in the R-1 (Single-Unit Residential) Coastal Zoning District, which allows for both single and two-unit residential development on a single legal lot. A single-unit residence is consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.

- The project is not eligible for a Waiver for De Minimis Development because the property is within the Coastal Commission Appeal Area.

- The property consists of one legal lot and is currently developed with a single-unit dwelling. The dwelling unit is approximately 4,418 square feet. in size, and the existing garage is approximately 671 square feet.

- The neighborhood is predominantly developed with two-story single-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development. (see Figure 1 below).

Figure 1: Oblique aerial image of neighborhood

- The proposed development conforms to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below:

Table 1 – Development Standards		
Development Standard	**Standard**	**Proposed**
Setbacks (min.)		
Front (Via Lido Nord)	4 feet	4 feet
Sides	3 feet	3 feet
Front (Waterfront)	10 feet	10 feet
Allowable Floor Area (max.)	5,176 square feet	4,202 square feet
Open Volume Area (min.)	388 square feet	389 square feet
Parking (min.)	2 garage spaces	2 garage spaces
Height (max.)	24-foot flat roof	24-foot flat roof

Hazards

- The finished floor elevation of the first floor of the proposed structure is 12.54 feet North American Vertical Datum of 1988 (NAVD 88), which complies with the minimum 9.00-foot NAVD 88 elevation standard for new structures.

- A Coastal Hazards Report and Sea Level Rise Analysis was prepared for the project by PMA Consulting, Inc. dated April 28, 2025. The current maximum bay water elevation is 7.7 feet NAVD 88. The report analyzes future sea level rise scenarios assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 3.15 feet. The sea level is estimated to reach approximately 10.85 feet NAVD 88 - (the likely range for sea level rise over 75-year design life of the structure based on low risk and medium/high risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update). Based on low risk aversion and the estimated sea level rise, the first floor of the proposed structure will remain above high tide sea level until year 2063.

- The project site fronts the bay and is protected by an existing bulkhead. The top of the bulkhead is currently at an elevation of 12.09 feet NAVD 88. The report states that the existing seawall appears to be in good condition without noticeable evidence of distress. The project proposes to remove and replace the concrete deck on top of the bulkhead to be rebuilt at 12.09 NAVD 88 with a design for adaptability elevation of 14.4 NAVD 88 in compliance with the City of Newport Beach waterfront Project Design Guidelines and Standards. Once the seawall is altered in accordance with the report, no repair or replacement of the seawall, or additional shoreline protective devices are anticipated within the next 75 years.

- Under Section 21.30.030 (C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the Newport Beach Municipal Code (NBMC), the property owner will be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority. The Acknowledgement of Coastal Hazards is included as condition of approval no. 4 that will need to be recorded prior to the issuance of building permits.

- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property abuts coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

- Pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the NBMC, due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQHP has been prepared for the project by Toal Engineering, Inc. dated April 11, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.

Public Access and Views

- The project site is located between the nearest public road and the sea. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the demolition of a single unit dwelling and the reconstruction of a single-unit dwelling on an R-1 zoned lot. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

- The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is from the Castaways Park, approximately 2,900 feet northeast

of the property and across the Lido Channel. The proposed project replaces an existing single-unit dwelling with a new single-unit dwelling that complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope consistent with the existing and anticipated neighborhood pattern of development. The Project ultimately should blend into the skyline and does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on existing public views.

- Coastal access is currently provided and will continue to be provided by the Lido Isle Community Association parks around the outer perimeter of Lido Island which grant pedestrians bay views. The nearest access to the harbor is available via the Lido Isle Community Association Park at the street end of Via Waziers, approximately 230 feet west of the Property. The project does not include any features that would impede coastal access.

- The proposed residence, which is visible from the harbor, implements architectural treatment and visual interest, keeping with the design guidelines of the NBMC. The design implements open space and articulation which prevents the residence from appearing overly bulky. The subject property also has a 10-foot front yard setback along the bay where fences, hedges and walls are limited to 42” in height which prevents the proposed residence from appearing walled off. The project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on existing public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the construction of limited numbers of new, small, structures including construction of up to six dwelling units in urbanized areas. The proposed project consists of the demolition of one single-unit dwelling and the construction of a new 3,689 square-foot, two-story, single-unit dwelling with an attached 513 square-foot, two-car garage in the R-1 Coastal Zoning District. The project is consistent with the Class 3 exemption.

The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the Newport Beach Municipal Code. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Daniel Kopsheyer

Daniel Kopshever, Assistant Planner

JP/djk

Attachments:

	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND CONSTRUCT A NEW TWO-STORY SINGLE-UNIT DWELLING AND ATTACHED TWO CAR GARAGE LOCATED AT 836 VIA LIDO NORD (PA2025-0089)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Gavin Friehauf of Brandon Architects (Applicant) on behalf of Anne Foreman (Owner) with respect to property located at 836 Via Lido Nord, and legally described as Lot 340 of Tract 907, requesting approval of a coastal development permit.

2. The Applicant requests a coastal development permit (CDP) to allow the demolition of an existing 4,418 square-foot, two-story, single-unit dwelling and the construction of a new 3,886 square-foot, two-story, single-unit dwelling with an attached 513 square-foot, attached, two-car garage. The project includes landscape, hardscape, drainage, and accessory structures. The project also includes reinforcing the existing bulkhead with adaptability for future sea level rise. The project complies with all development standards and no deviations are requested. All improvements authorized by this CDP will be located on private property.

3. The subject property is categorized Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.

4. The subject property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Single Unit Residential Detached (RSD-C) - (10.0 – 19.9 DU/AC) and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.

5. A public hearing was held on October 16, 2025, online via Zoom. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.

2. Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structures. Class 3 also exempts the demolition of up to three single-unit dwellings and additions of up to 10,000 square feet to existing structures and allows the construction or conversion of up to three single-unit dwellings. In this case, the Project consists of the demolition of an existing 4,418 square-foot, two-story, single-unit dwelling and the construction of a new 3,886 square-foot, two-story, single-unit dwelling and an attached 513 square-foot two-car garage.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015(F) (Coastal Development Permits, Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.

    a. The maximum floor area limitation is 5,176 square feet and the proposed floor area is 4,202 square feet including the attached 513 square-foot garage.

    b. The Project provides the minimum required setbacks, which are four feet from the front property line adjacent to the street, three feet from each side's property line, and 10 feet from the second front property line abutting the Bay.

    c. The highest guardrail is less than 24 feet from established grade (26.81 feet per the North American Vertical Datum of 1988 (NAVD 88) and the highest ridge is no more than 29 feet from established grade, which complies with the maximum height requirements.

    d. The Project provides a two-car garage, meeting the minimum two-car garage requirement for a single-family residence with less than 4,000 square feet of habitable floor area.

e. The proposed lowest finished floor elevation of the new residence is 12.54 feet NAVD 88, which complies with the minimum 9.0-foot top of slab elevation requirement for interior living areas of new structures.

2. The neighborhood is predominantly developed with two-story single-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development.

3. The development fronts the bay and is protected by a bulkhead. A bulkhead conditions report was prepared by PMA Consulting, Inc. dated April 28, 2025. The report concluded that the bulkhead is in generally good condition with minor cracks, but no noticeable evidence of distress. The conditions report asserts that the bulkhead is required to protect the principal structure and with the proposed maintenance of the bulkhead, it is reasonable to assume that the bulkhead will last another 75 years.

4. A Coastal Hazards Report and Sea Level Rise Analysis was prepared for the Project by PMA Consulting, Inc. dated April 28, 2025. The current maximum bay water elevation is 7.7 feet NAVD 88 and may exceed the existing top of bulkhead elevation of 12.09 feet during high tide or storm events. The report analyzes future sea level rise scenarios assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 3.20 feet, resulting in a projected water elevation of 10.9 feet NAVD 88. However, based on the latest adopted Sea Level Rise Guidance: 2024 Update provided by the State of California, the sea level is estimated to reach approximately 12.6 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure based on intermediate-high risk aversion estimates). The existing bulkhead shall be maintained to ensure that flooding, wave runup, and erosion will not significantly impact this property over the proposed 75-year economic life of the development. Additionally, the bulkhead shall be constructed to be adaptable to an elevation of 14.4 feet NAVD 88 to protect the Project as necessary.

5. On March 23, 2021, the City Council approved updated Waterfront Project Design Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities. The guidelines require that any bulkhead structure permitted within the years 2021 through 2025 must have a minimum bulkhead elevation of 10.9 feet NAVD 88 with a design for adaptability elevation of 14.4 feet NAVD 88. The project proposes to remove and replace the concrete deck on top of the bulkhead to be rebuilt at 12.09 NAVD 88 with a design for adaptability elevation of 14.4 NAVD 88 in compliance with the City of Newport Beach waterfront Project Design Guidelines and Standards.

6. The finish floor elevation of the proposed single-unit dwelling is at a minimum elevation of 12.54 feet NAVD 88, which complies with the minimum 9.0-foot NAVD 88 elevation standard.

7. The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in

the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.

8. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv) - (Natural Landform and Shoreline Protection), the Owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Waiver of Future Protection is included as a condition of approval that will need to be recorded prior to a final building inspection.

9. The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) – (Waterfront Development - Development Standards). The Acknowledgement of Coastal Hazards is included as a condition of approval that will need to be recorded prior to the issuance of building permits.

10. The property is located adjacent to coastal waters. Pursuant to Section 21.35.030 (Construction Pollution Prevention Plan) of the NBMC, a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation, and to minimize pollution of runoff, and coastal waters derived from construction chemicals and materials. A CPPP has been provided and construction plans and activities will be required to adhere to the CPPP.

11. Pursuant to NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 % of impervious surface area, a preliminary Water Quality Management Plan (WQMP) is required. The preliminary WQMP was prepared by Toal Engineering, Inc. dated April 11, 2025. The WQMP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP prior to building permit issuance.

12. Proposed landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. Condition of approval no. 9 is included that requires drought-tolerant species. Before the issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.

13. The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the CLUP. The nearest coastal viewpoint is from Castaways Park, approximately 2,900 feet northeast of the property. Similarly, the nearest coastal view road segments are located along West Coast Highway. These areas offer views of the bay with the Pacific Ocean beyond. Properties along the northern side of Lido Isle are within the general viewshed of these areas.

14. The Project will replace an existing single-unit dwelling with a new single-dwelling unit that complies with all applicable development standards and is consistent with the existing neighborhood pattern of development. The Project presents the opportunity to enhance

views by updating a structure built in 2001 with a new building and updated design. Glass elements and masonry proposed for the front and rear elevations indicate a high-quality design. The Property fronts the bay and can be viewed from the water. All structures within the front setback area along the bay are limited to 42 inches in height, ensuring that the bay does not appear to be walled off. The Project will not affect existing views afforded from the identified viewing areas and does not have the potential to degrade the visual quality of the coastal zone or result in significant adverse impacts to public views.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Facts in Support of Finding:

1. The project site is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement, the project's impact, and be proportional to the impact. In this case, the project includes the demolition of a single-unit dwelling and the reconstruction of a single-unit dwelling on an R-1 zoned lot. Therefore, the project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

2. Coastal access is currently provided and will continue to be provided by Lido Isle Community Association parks around the outer perimeter of Lido Island. The parks grant pedestrians bay views. The nearest coastal access is less than 230 feet west of the property, via the Lido Isle Community Association Park at the street end of Via Waziers. The project would not impact coastal access opportunities.

3. While Via Lido Nord is the first public road paralleling the sea and the project site is located between Via Lido Nord and the bay, the project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit (PA2025-0089), subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.

3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 16TH DAY OF OCTOBER 2025.

_____
Benjamin M. Zdeba, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

Planning Division

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).

2. *Prior to a final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.*

3. *Prior to a final building permit inspection, the existing seawall shall be reinforced and capped to 12.09 feet (NAVD88) and capable to be raised up to 14.4 feet (NAVD88), in compliance with the City of Newport Beach Waterfront Project Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities.*

4. *Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. The letter shall be scanned into the plan set prior to building permit issuance.*

5. *Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division*.

6. *Prior to the issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.*

7. *Prior to the issuance of a building permit, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.*

8. *Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*

9. *<u>Prior to the issuance of a building permit</u>, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.*

10. *<u>Prior to issuance of a building permit</u>, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.*

11. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to the public trust shall require a coastal development permit (CDP) approved by the California Coastal Commission (CCC). Before the issuance of building permits, the applicant shall provide a copy of said CDP or CDP waiver or documentation from the CCC that subject improvements are not subject to the permit requirements of the Coastal Act and/or not located within the permit jurisdiction of the CCC.

12. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.

13. This coastal development permit does not authorize any development seaward of the private property.

14. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:

    A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.

    B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one (1) or two (2) short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.

15. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.

16. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.

17. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.

18. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.

19. Revisions to the approved plans may require an amendment to this coastal development permit or the processing of a new coastal development permit.

20. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.

21. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.

22. This coastal development permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

23. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

24. Construction activities shall comply with Section 10.28.040 of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays or holidays.

25. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) of the NBMC and other applicable noise control requirements of the NBMC.

26. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.

27. This coastal development permit shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.

28. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Foreman Residence including, but not limited to, Coastal Development Permit (PA2025-0089)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Fire Department

29. The proposed single-unit dwelling shall be equipped with an automatic fire sprinkler system per Fire Department requirements.

30. At least one unobstructed walkway with a minimum 36-inch width shall be provided from the front to the back of the property for emergency access.

Building Division

31. In no case shall the top of slab elevation be below 9.0 feet NAVD88.

32. The bottom of flood vent openings must be within 1 ft. of the adjacent exterior grade.

33. The top of flood vent openings shall be below the Design Flood Elevation.

34. All exterior wood stairs shall be supported over concrete curbs with a top of curb one foot above the Base Flood Elevation.

Public Works

35. No encroachments shall be permitted within the four-foot-wide utility easement, including but not limited to foundations and roof overhangs.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP

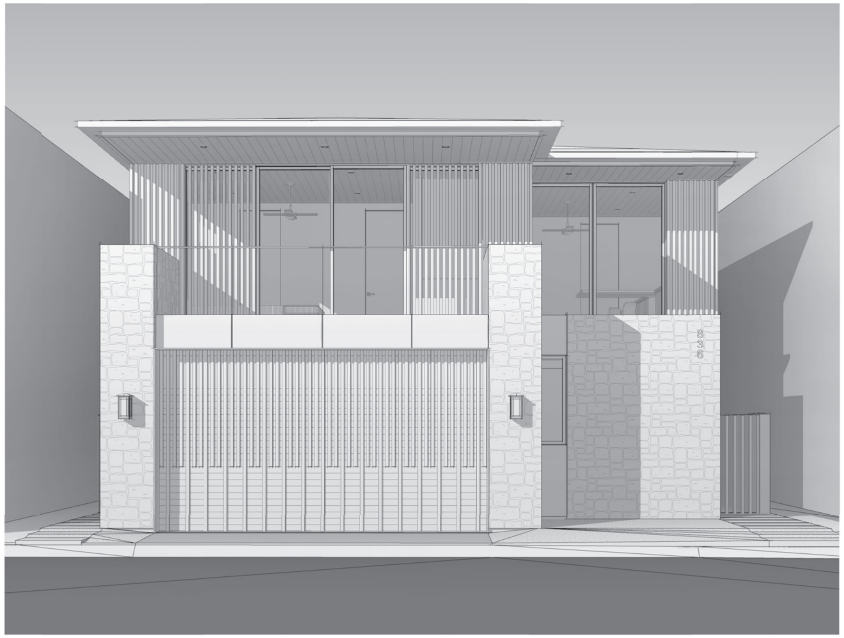
Coastal Development Permit
(PA2025-0089)

836 Via Lido Nord

Attachment No. ZA 3

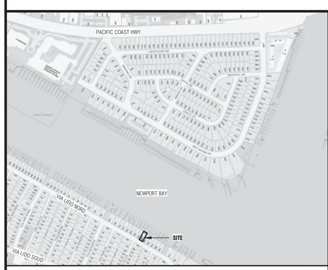
Project Plans

BRANDON ARCHITECTS, INC.



FOREMAN RESIDENCE

836 VIA LIDO NORD, NEWPORT BEACH, CA 92663



10 VICINITY MAP

8 SPECIAL INSPECTIONS

1. REF. STRUCTURAL DRAWINGS FOR SPECIAL INSPECTIONS BY ENGINEER OF RECORD
2. HERS VERIFCATION REQUIRED, REF. ENERGY CALCULATIONS
3. LIDO ISLE COMMUNITY ASSOCIATION NOTE: CERTIFIED BUILDING HEIGHT CALCULATION MUST BE SUBMITTED AFTER ROOF FRAMING AND THE INSTALLATION OF THE ROOF MATERIAL, MEASURED FROM AVERAGE CURB OF: 11.92 FT.

6 SHORING & EXCAVATION

1. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.
2. CONTRACTOR SHALL USE THE CITY STANDARD FORM '30-DAY NOTICE OF INTENT TO EXCAVATE' TO NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 30-DAYS PRIOR TO STARTING EXCAVATION OR SHORING. CITY STANDARD FORM CAN BE OBTAINED AT: HTTP://WWW.NEWPORTBEACHCA.GOV/HOME/SHOWDOCUMENT?ID=17395

4 AGENCIES & SERVICES

DIG ALERT:	1.800.227.2600
SOUTHERN CALIFORNIA EDISON:	1.714.895.0246
SOUTHERN CALIFORNIA GAS:	1.800.427.2000
CITY WATER & SEWER:	1.949.644.3011
PACIFIC BELL TELEPHONE:	1.800.750.2355
CITY OF NEWPORT BEACH PUBLIC WORKS DEPT.:	1.949.644.3311
CITY OF NEWPORT BEACH PLANNING DEPT.:	
GENERAL INFOMATION:	1.949.644.3200
ZONING INFORMATION:	1.949.644.3204
CITY OF NEWPORT BEACH BUILDING DEPT.:	
GENERAL:	1.949.644.3275
PERMITS:	1.949.644.3288
INSPECTIONS:	1.949.644.3255
NEWPORT BEACH FIRE DEPARTMENT:	1.949.644.3106
ORANGE COUNTY HEALTH SERVICES:	1.714.834.3882

2 PROJECT DIRECTORY

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COSTA MESA, CA 92626
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WWW.BRANDONARCHITECTS.COM

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P: 949.280.3866
E: AFORE10@GMAIL.COM

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CHRIS GALLO
1105 NORTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
P: 949.715.9874

STRUCTURAL ENGINEER
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PLAMEN PETROV, P.E.
28161 CASITAS CT.
LAGUNA NIGUEL, CA 92677
P: 714.717.7542
E: CONSULTING@PMA-BG.COM

CIVIL ENGINEER
TOAL ENGINEERING
CALEB RIOS
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
P: 949.492.8586

GEOTECHNICAL ENGINEER
COAST GEOTECHNICAL, INC.
1200 W. COMMONWEALTH AVE.
FULLERTON, CA 92833
P: 714.870.1211

INTERIOR DESIGNER
BRANDON ARCHITECTS, INC.
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COSTA MESA, CA 92626
P: 714.754.4040
WWW.BRANDONARCHITECTS.COM

LANDSCAPE DESIGNER
GONZALO SOBRERO
SOCAL LANDSCAPE & DESIGN
16 JARIPOL CIRCLE
RANCHO MISSION VIEJO, CA 92694
P: 949.606.1055

SURVEYOR
PAUL CRAFT, LIC. NO. 8516
APEX LAND SURVEYING, INC.
HUNTINGTON BEACH, CA 92646
P: 714.488.5006
E: APEXLSINC@GMAIL.COM

ENERGY CONSULTANT
ENERGY CODE WORKS, INC.
MARK MADISON
ONE PARK PLAZA, SUITE 600
IRVINE, CA 92614
P: 949.240.1867

MEP CONSULTANT
GREGORY DESIGN
CAITLIN GREGORY
4 SHETLAND
TRABUCO CANYON, CA 92679
P: 949.888.9511

11 PROJECT DESCRIPTION

THE SUBJECT PROPERTY IS LOCATED ON LIDO ISLE IN NEWPORT BEACH, CA. THE LOT IS 3,605.05 S.F. AND IS 40.06' WIDE X 90', ZONED R-1 FOR SINGLE-FAMILY RESIDENTIAL. DEVELOPMENT OF THE PROPERTY WILL BE UNDER THE JURISDICTION OF THE LIDO ISLE COMMUNITY ASSOCIATION, CALIFORNIA COASTAL COMMISSION (BY ADJUNCT REVIEW OF CNB), AND THE CITY OF NEWPORT BEACH. THE PROPERTY CURRENTLY CONSISTS OF AN EXISTING HOME TO BE DEMOLISHED FOR THE NEW DEVELOPMENT. CLIENT PROPOSES TO BUILD A NEW SINGLE-FAMILY RESIDENCE OF APPX. **3,691 S.F. LIVING WITH A 2-CAR GARAGE OF APPX. 512 S.F**.

BUILT ON A SLAB ON GRADE FOUNDATION WITH TYPE V CONSTRUCTION (WOOD AND STEEL). THE PROGRAM MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: (FIRST FLOOR) MUD ROOM, OPEN LIVING AREA WITH A LARGE EAT-IN KITCHEN WITH ISLAND, BUTLER'S PANTRY, FAMILY DINING, GREAT ROOM, POWDER , AND OFFICE/FUTURE BEDROOM WITH ATTACHED BATH AND CLOSET; (SECOND FLOOR) THE PRIMARY SUITE FACING VIEWS OF THE HARBOR WITH A FIREPLACE, PRIMARY BATH AND LARGE WALK-IN CLOSET, 2 SECONDARY BEDROOMS WITH ATTACHED BATH & WALK-IN CLOSETS, AND LAUNDRY ROOM. THE PROJECT WILL BE OF A 'COASTAL CONTEMPORARY' DESIGN, INCLUDING THE FOLLOWING MATERIALS: NATURAL STONE VENEER, SMOOTH STUCCO SIDING, COMPOSITE VERTICAL SCREEEN, NATURAL OR SYNTHETIC SLATE ROOFING, AND THE USE OF GREEN ROOFS IN SPECIFIC AREAS. SOLAR PANELS WILL BE REQUIRED.

9 DEFERRED SUBMITTALS

1. LANDSCAPE PLAN; BBQ; FIRE PIT; ACCESSORY STRUCTURES, MASONRY OR CONCRETE WALLS/FENCES; RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF WALL; UNDER SEPERATE REVIEWS AND PERMITS (FOR H.O.A. PURPOSES).
2. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER ARI STD. 275. SOUND LEVEL NOT TO EXCEED 50dBA (55dBA WITH TIMER, 65dBA WITH TIMER AND NEIGHBORS CONSENT). LOCATION OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING.
3. FIRE SPRINKLERS REQUIRED, CONTRACTOR TO SUBMIT FIRE SPRINKLER DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO SUBMITTING TO CITY. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
4. A NOTICE OF INTENT TO DEMOLISH SHALL BE SENT VIA CERTIFIED MAIL TO ADJACENT PROPERTY OWNER(S). SIGNED RETURNED RECEIPT MUST BE PROVIDED TO THE BUILDING DIVISION AT THE TIME OF PERMIT ISSUANCE. DEMOLITION MAY COMMENCE 30 DAYS AFTER THE DATE OF NOTIFICATION PER NEWPORT BEACH MUNICIPAL CODE SECTION 15.02.120.
5. PV SOLAR SYSTEM (MIN. 4.3KW DC) + 5 KWH BATTERY SYSTEM PER T-24
6. ELEVATOR

NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL TO LOCAL AGENCY FOR REVIEW.

C.N.B. NOTE: BRANDON ARCHITECTS, INC. IS THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THE PROJECT, RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. (NBMC 15.02.010)

7 PROJECT STATISTICS

BUILDING AREA SCHEDULE (HOA):

LIVING		
FIRST FLOOR LIVING:	1,826.633	SF
SECOND FLOOR LIVING:	2,059.807	SF
SUB TOTAL:	*3,886.440*	*SF*
GARAGE		
2-CAR GARAGE:	513.03	SF
SUB-TOTAL:	*513.03*	*SF*
GRAND TOTAL:	***4,399.47***	***SF***

BUILDING AREA SCHEDULE (CITY):

LIVING		
FIRST FLOOR LIVING:	1,770.247	SF
SECOND FLOOR LIVING:	1,919.310	SF
SUB TOTAL:	*3,689.557*	*SF*
GARAGE		
2-CAR GARAGE:	513.03	SF
SUB-TOTAL:	*513.03*	*SF*
GRAND TOTAL:	***4,202.587***	***SF***

LANDSCAPE AREA SCHEDULE:

PLANTED:	328.67	SF
GRAND TOTAL:	***328.67***	***SF***

ROOF AREA SCHEDULE:

SLOPED ROOF:	2,264.648	SF
FLAT ROOF:	520.487	SF
GRAND TOTAL:	***2,785.135***	***SF***

5 SITE INFORMATION

LEGAL DESCRIPTION:
APN: 423-271-03
LOT 340 OF TRACT NO. 907, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 28, PAGES 25-36, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY OF RECORDER OF SAID COUNTY

LOT INFORMATION:

ZONED:	R-1 (SINGLE-UNIT RESIDENTIAL)
SITE AREA:	3,605.05 S.F.
BUILDABLE AREA:	2,588.26 S.F.
TOTAL ALLOWABLE AREA (HOA):	1.7 X 2,588.26 S.F. = 4,400.04 S.F.
TOTAL ALLOWABLE AREA (CITY):	2.0 X 2,588.26 S.F. = 5,176.52 S.F.
TOTAL AREA PROVIDED (HOA):	4,399.47 S.F.
TOTAL AREA PROVIDED (CITY):	4,202.587 S.F.
TOTAL OPEN ARE REQUIRED:	.15 X 2,588.26 S.F. = 388.24 S.F
TOTAL OPEN ARE PROVIDED:	389.078 S.F. > 388.24 S.F. ***(REF A-0.2)***
TOTAL LANDSCAPE AREA:	328.67 S.F. < 500 S.F.

EXISTING BUILDING INFORMATION:
EXISTING SINGLE FAMILY W/ GARAGE TO BE DEMOLISHED

ZONING INFORMATION:
FRONT SETBACK: 4 FT. (VIA LIDO NORD FRONTAGE)
FRONT SETBACK: 10 FT. (HARBOR FRONTAGE)
LEFT SETBACK: 3 FT.
RIGHT SETBACK: 3 FT.

3 CODE INFORMATION

CODES: NBMC (NEWPORT BEACH MUNICIPAL CODE) 2022 CRC, 2022 CFC, 2022 CEC, AND 2022 CMC, 2022 CPC, 2022 CALGREEN, 2022 CAL. ENERGY CODE , 2021 ISPSC

OCCUPANT LOAD	1 UNIT
OCCUPANCY CLASSIFICATION	R-3/U
OCCUPANCY SEPARATION (GARAGE)	1-HR.
FLOOR & FLOOR-CEILING	N/A.
TYPE OF CONSTRUCTION	VB - SPRINKLERED
FIRE SPRINKLER	YES
HEIGHT	2 - LEVELS
FLOOR AREA	REF. 7/T-1.0
ALLOWABLE BLDG. AREA (PER CBC TBL. 503)	N/A.

1 SHEET LIST

T-1.0	TITLE SHEET
T-1.1	ARCHITECTURAL GENERAL NOTES
T-1.2	CALGREEN STANDARDS
T-1.3	CALGREEN STANDARDS
T-1.4	CAL ENERGY MANDATORY REQUIREMENTS
T-1.5	CAL ENERGY MANDATORY REQUIREMENTS
SUR	TOPOGRAPHIC SURVEY
A-0.0	ARCHITECTURAL SITE PLAN
A-0.2	AREA PLANS
C1	PRELIMINARY GRADING PLAN
SW-0	STRUCTURAL GENERAL NOTES & VICINITY MAP
SW-1	SITE PLAN & ELEVATION
SW-2	DETAILS
L1	CONSTRUCTION & PLANTING PLAN
A-1.0	3D VIEWS
A-2.0	FLOOR PLANS
A-2.1	DIMENSION PLANS
A-3.0	ROOF PLAN
A-4.0	EXTERIOR ELEVATIONS
A-4.1	EXTERIOR ELEVATIONS
A-5.0	BUILDING SECTIONS
A-5.1	BUILDING SECTIONS

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COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
GAVIN FRIEHAUF

THESE DOCUMENTS ARE THE PROPERTY OF BRANDON ARCHITECTS INC., AND ARE NOT TO BE DUPLICATED, ALTERED OR UTILIZED IN ANY WAY BY ANY OTHER PARTY WITHOUT THE EXPRESSED AUTHORIZATION OF BRANDON ARCHITECTS. ANY UNAUTHORIZED DUPLICATION OR ALTERATION OF THESE DOCUMENTS BY ANY PARTY IS A VIOLATION OF BRANDON ARCHITECTS EXPRESSED COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS THERETO, AND IS SUBJECT TO FULL CIVIL LIABILITIES AND PENALTIES. THESE PLANS ARE ALSO NOT TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING WRITTEN AUTHORIZATION AND EXPRESSED PERMISSION BY BRANDON ARCHITECTS, WHO SHALL THEN BE HELD HARMLESS AND ABSOLVED OF ANY LIABILITY REGARDING ANY USE OF THESE DOCUMENTS BY SUCH THIRD PARTY WHETHER DEPICTED OR IMPLIED

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OWNER INFORMATION:
ANNE AND DOUG FOREMAN
836 VIA LIDO NORD, NEWPORT BEACH, CA 92663
P: 949.280.3866
E: AFORE10@GMAIL.COM

DATE
08/13/25

REVISIONS

NO.	REVISION	DATE

TITLE SHEET

T-1.0

8/13/2025 12:54:45 PM

&	AND
∠	ANGLE
@	AT
CL	CENTERLINE
∅	DIAMETER, ROUND
⊥	PERPENDICULAR
#	POUND OR NUMBER
A.B.	ANCHOR BOLT
ABV.	ABOVE
A/C.	AIR CONDITIONING
A.C.	ASPHALT CONCRETE
ACOUS	ACOUSTICAL
A.D.	AREA DRAIN
ADH.	ADHESIVE
ADJ.	ADJUSTABLE, ADJACENT
AL.	ALUMINUM
ALT.	ALTERNATE
ANOD.	ANODIZED
A.P.	ACCESS PANEL
APPX.	APPROXIMATE
APPV'D.	APPROVED
ARCH.	ARCHITECTURAL,ARCHITECT
ASB.	ASBESTOS
ASSY.	ASSEMBLY
AUTO.	AUTOMATIC
B.	BATHROOM
BD.	BOARD
BEL.	BELOW
BET.	BETWEEN
BIT.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCK
BLK'G.	BLOCKING
BM.	BEAM
B.O.	BY OWNER, BY OTHERS
BOT.	BOTTOM
BR.	BEDROOM
B.W.	BACK OF WALL, BOTTOM OF WALL
CAB.	CABINET
C.B.	CATCH BASIN
C.B.C.	CALIFORNIA BUILDING CODE
C.R.C.	CALIFORNIA RESIDENTIAL CODE
CEM.	CEMENT
C.G.	CORNER GUARD
CHAN.	CHANNEL
CHG.	CHANGE
C.I.	CAST IRON
C.J.	CONTROL / CONSTRUCT./CEILING JOINT
CLG.	CEILING
CLKG.	CAULKING
CLR.	CLEAR, CLEARANCE
CNTR.	COUNTER
CONC.	CONCRETE
COND.	CONDITION
CONST.	CONSTRUCT, CONSTRUCTION
CORR.	CORRIDOR, CORROSIVE
CTSK.	COUNTER SINK, COUNTERSUNK
CTR.	CENTER
DBL.	DOUBLE
DECO.	DECORATIVE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING FOUNTAIN, DOUGLAS FIR
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
D.S.	DOWNSPOUT
D.S.P.	DRY STANDPIPE
DWG.	DRAWING(S)
E.	EXISTING, EAST, ENTRY, EACH
E.J.	EXPANSION JOINT
ELEC.	ELECTRIC, ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENCL.	ENCLOSED, ENCLOSURE
E.P.	ELECTRICAL PANEL, END POINT
EQ.	EQUAL
EQV.	EQUIVALENT
EQUIP.	EQUIPMENT
E.W.	EACH WAY
EXH.	EXHAUST
EXPO.	EXPOSED
EXT.	EXTERIOR
E.G.	EXISTING GRADE
F.	FIXED
F.A.	FIRE ALARM
FAC.	FACTORY
F.C.O.	FLOOR CLEAN OUT
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.G.	FINISH GRADE
FIXT.	FIXTURE
F.J.	FLOOR JOIST
F.L.	FLOW LINE
FLASH.	FLASHING
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.C.	FACE OF CONCRETE/CURB
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD / STRUCTURE / SHEATHING
F.O.M.	FACE OF MASONRY
FP.	FIREPLACE
F.S.	FLOOR SINK, FINISH SURFACE
FT.	FOOT, FEET
FTG.	FOOTING
FURR.	FURRING
FUT.	FUTURE
F.V.	FIELD VERIFY
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR, GRADE BEAM
G.C.	GENERAL CONTRACTOR
GEN.	GENERAL
G.F.I.	GROUND FAULT INTERRUPT
G.I.	GALVANIZED IRON
G.L.B.	GLU-LAM BEAM
GND.	GROUND
GR.	GRADE
GYP.	GYPSUM
G.P.	GRADE PLANE
H./HT.	HIGH, HEIGHT
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HARD, HEAD
HDR.	HEADER
HDWD.	HARDWOOD
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HVAC	HEATING VENTILATING AIR CONDITIONING
I.D.	INTERIOR DESIGNER, INSIDE DIAMETER/DIMENSION
IN.	INCH
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT/INVERTED
JAN.	JANITOR
JT.	JOINT
JST.	JOIST
KIT.	KITCHEN
L.	LOW, LINEN
L.A.	LANDSCAPED AREA
LAB.	LABORATORY
LAM.	LAMINATED
LAV.	LAVATORY
LBS.	POUNDS
LFA.	LOAD FROM ABOVE
L.H.	LEFT HAND
LKR.	LOCKER
LT.	LIGHT
LUM.	LUMINOUS, LUMENS
MAINT.	MAINTENANCE
MAS.	MASONRY
MAT.	MATERIAL
MAX.	MAXIMUM
M.B.	METAL BOLT
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MTL.	METAL
MFGR.	MANUFACTURER
M.H.	MANHOLE
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MT.	MOUNTED
MUL.	MULLION
N.	NEW, NORTH
NAT.	NATURAL
N.I.C.	NOT IN CONTRACT, CONTACT
N.G.	NATURAL GRADE
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O/.	OVER
O.A.	OVERALL
OBS.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER, DIMENSION
O.F.D.	OVERFLOW DRAIN
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
PERIM.	PERIMETER
PL.	PROPERTY LINE, PLATE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLUMB.	PLUMBING
PLYWD.	PLYWOOD
PNT.	PAINT(ED)
P.O.C.	POINT OF CONTACT, CONNECTION
PR.	PAIR
PROJ.	PROJECTION
PSL.	PARALLEL STRAND LAMINATE
PT.	POINT
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
R.D.L.	ROOF DRAIN LEADER
RECPT.	RECEPTACLE
RECT.	RECTANGLE, RECTANGULAR
REF.	REFERENCE
REFR.	REFRIGERATOR
REG.	REGULAR, REGISTER
REINF.	REINFORCE(D), REINFORCEMENT
REQ'D.	REQUIRED
RESIL.	RESILIENT
RET.	RETAIN(ING), RETURN
RM.	ROOM
R.O.	ROUGH OPENING
R.R.	ROOF RAFTER
RWD.	REDWOOD
S.	SOUTH
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.C.D.	SEAT COVER DISPENSER
SCHED.	SCHEDULE
S.D.	SUBDRAIN, SOAP DISPENSER
SEC.	SECTION
SEL.	SELECT(ED)
SH.	SHELF
SHT.	SHEET
SHT'G.	SHEATHING
SIM.	SIMILAR
SIMP.	SIMPSON
S.J.	SOFFIT JOIST
S.S.	STAINLESS STEEL
S.SK.	SERVICE SINK
STA.	STATION
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURE, STRUCTURAL
SUSP.	SUSPEND(ED)
SYM.	SYMMETRICAL
SYS.	SYSTEM
T.	TREAD, TRASH
T.C.	TOP OF CURB
T.CL.	TIME CLOCK
TEL.	TELEPHONE
TEMP.	TEMPERED
TER.	TERRAZZO
T & G	TONGUE & GROOVE
THK.	THICK, THICKNESS
T.P.	TOP OF PAVING
T.PL.	TOP OF PLATE
T.O.S.	TOP OF STRUCTURE, SHEATHING, SLAB
TRANS.	TRANSFORMER
T.S.	TOP OF STEP
T.W.	TOP OF WALL
TYP.	TYPICAL
U.	UNDER
U.B.C.	UNIFORMBUILDING CODE
U.G.	UNDERGROUND
U.L.	UNDERWRITER'S LABORATORY
UNF.	UNFINISHED
U.N.O.	UNLESS NOTED OTHERWISE
UR.	URINAL
V./VERT.	VERTICAL
VENT.	VENTILATION, VENTILATING
VER.	VERIFY
V.T.R.	VENT THROUGH ROOF
W.	WEST, WIDTH, WASHER
W/.	WITH
WD.	WOOD
W.H.	WATER HEATER
W.C.	WATER CLOSET
W.I.	WROUGHT IRON
WP.	WATERPROOF(ING)
W.W.M.	WELDED WIRE MESH

C ABBREVIATION

ENTRY ROUTES: POTENTIAL RADON ENTRY ROUTES SHALL BE CLOSED IN ACCORDANCE WITH THE FOLLOWING. (CRC AF103.4)
1. FLOOR OPENINGS: OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS, OR OTHER FLOOR ASSEMBLIES, SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. CONCRETE JOINTS: CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. CONDENSATE DRAINS: CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NONPERFORATED PIPE TO DAYLIGHT.
4. SUMPS: SUMP PITS OPEN TO SOIL OR SERVING AS THE TERMINATION POINT FOR SUBSLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUBSLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH A TRAPPED INLET.
5. FOUNDATION WALLS: HOLLOW BLOCK MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED WITH EITHER A CONTINUOUS COURSE OF SOLID MASONRY, ONE COURSE OF MASONRY GROUTED SOLID, OR A SOLID CONCRETE BEAM AT OR ABOVE FINISHED GROUND SURFACE TO PREVENT THE PASSAGE OF AIR FROM THE INTERIOR OF THE WALL INTO THE LIVING SPACE. WHERE A BRICK VENEER OR OTHER MASONRY LEDGE IS INSTALLED, THE COURSE IMMEDIATELY BELOW THAT LEDGE SHALL BE SEALED. JOINTS, CRACKS OR OTHER OPENINGS AROUND ALL PENETRATIONS OF BOTH EXTERIOR AND INTERIOR SURFACES OF MASONRY BLOCK OR WOOD FOUNDATION WALLS BELOW THE GROUND SURFACE SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT. PENETRATIONS OF CONCRETE WALLS SHALL BE FILLED.
6. DAMPPROOFING: THE EXTERIOR SURFACES OF PORTIONS OF CONCRETE AND MASONRY BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPPROOFED IN ACCORDANCE WITH SECTION R406.
7. AIR-HANDLING UNITS: AIR-HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAWN INTO THE UNIT.
EXCEPTION: UNITS WITH GASKETED SEAMS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT LEAKAGE.
8. DUCTS: DUCTWORK PASSING THROUGH OR BENEATH A SLAB SHALL BE OF SEAMLESS MATERIAL UNLESS THE AIR-HANDLING SYSTEM IS DESIGNED TO MAINTAIN CONTINUOUS POSITIVE PRESSURE WITHIN SUCH DUCTING. JOINTS IN SUCH DUCTWORK SHALL BE SEALED TO PREVENT AIR LEAKAGE.
DUCTWORK LOCATED IN CRAWL SPACES SHALL HAVE SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1.
9. CRAWL SPACE FLOORS: OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.
10. CRAWL SPACE ACCESS: ACCESS DOORS AND OTHER OPENINGS OR PENETRATIONS BETWEEN BASEMENTS AND ADJOINING CRAWL SPACES SHALL BE CLOSED, GASKETED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

PASSIVE SUBMEMBRANE DEPRESSURIZATION SYSTEM: IN BUILDINGS WITH CRAWL SPACE FOUNDATIONS, THE FOLLOWING COMPONENTS OF A PASSIVE SUBMEMBRANE DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION. (CRC AF103.5) EXCEPT IN BUILDINGS IN WHICH AN APPROVED MECHANICAL CRAWL SPACE VENTILATION SYSTEM OR OTHER EQUIVALENT SYSTEM IS INSTALLED.
VENTILATION: CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL COMPLY WITH SECTION R408.1. (CRC AF103.5.1)
SOIL-GAS-RETARDER: THE SOIL IN CRAWL SPACES SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 6-MIL (0.15 MM) POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED NOT LESS THAN 12 INCHES (305 MM) AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAWL SPACE AREA. (CRC AF103.5.2)
VENT PIPE: A PLUMBING TEE OR OTHER APPROVED CONNECTION SHALL BE INSERTED HORIZONTALLY BENEATH THE SHEETING AND CONNECTED TO A 3- OR 4-INCH-DIAMETER (76 OR 102 MM) FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING. THE VENT PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, AND TERMINATE NOT LESS THAN 12 INCHES (305 MM) ABOVE THE ROOF IN A LOCATION NOT LESS THAN 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT, AND 10 FEET (3048 MM) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS. (CRC AF103.5.3)

PASSIVE SUBSLAB DEPRESSURIZATION SYSTEM: IN BASEMENT OR SLAB-ON-GRADE BUILDINGS, THE FOLLOWING COMPONENTS OF A PASSIVE SUBSLAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION. (CRC AF103.6)
VENT PIPE: A MINIMUM 3-INCH-DIAMETER (76 MM) ABS, PVC OR EQUIVALENT GASTIGHT PIPE SHALL BE EMBEDDED VERTICALLY INTO THE SUBSLAB AGGREGATE OR OTHER PERMEABLE MATERIAL BEFORE THE SLAB IS CAST. A "T" FITTING OR EQUIVALENT METHOD SHALL BE USED TO ENSURE THAT THE PIPE OPENING REMAINS WITHIN THE SUBSLAB PERMEABLE MATERIAL. ALTERNATIVELY, THE 3-INCH (76 MM) PIPE SHALL BE INSERTED DIRECTLY INTO AN INTERIOR PERIMETER DRAIN TILE LOOP OR THROUGH A SEALED SUMP COVER WHERE THE SUMP IS EXPOSED TO THE SUBSLAB AGGREGATE OR CONNECTED TO IT THROUGH A DRAINAGE SYSTEM.
THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, AND TERMINATE NOT LESS THAN 12 INCHES (305 MM) ABOVE THE SURFACE OF THE ROOF IN A LOCATION NOT LESS THAN 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT, AND 10 FEET (3048 MM) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS. (CRC AF103.6.1)

MULTIPLE VENT PIPES: IN BUILDINGS WHERE INTERIOR FOOTINGS OR OTHER BARRIERS SEPARATE THE SUBSLAB AGGREGATE OR OTHER GAS-PERMEABLE MATERIAL, EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE. VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF OR EACH INDIVIDUAL VENT PIPE SHALL TERMINATE SEPARATELY ABOVE THE ROOF. (CRC AF103.6.2)

VENT PIPE DRAINAGE: COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER. (CRC AF103.7)

VENT PIPE ACCESSIBILITY: RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE. (CRC AF103.8)
EXCEPTION: THE RADON VENT PIPE NEED NOT BE ACCESSIBLE IN AN ATTIC SPACE WHERE AN APPROVED ROOF-TOP ELECTRICAL SUPPLY IS PROVIDED FOR FUTURE USE.

VENT PIPE IDENTIFICATION: EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH NOT LESS THAN ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM." (CRC AF103.9)

COMBINATION FOUNDATIONS: COMBINATION BASEMENT/CRAWL SPACE OR SLAB-ON-GRADE/CRAWL SPACE FOUNDATIONS SHALL HAVE SEPARATE RADON VENT PIPES INSTALLED IN EACH TYPE OF FOUNDATION AREA. EACH RADON VENT PIPE SHALL TERMINATE ABOVE THE ROOF OR SHALL BE CONNECTED TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF. (CRC AF103.10)

BUILDING DEPRESSURIZATION: JOINTS IN AIR DUCTS AND PLENUMS IN UNCONDITIONED SPACES SHALL MEET THE REQUIREMENTS OF SECTION M1601. THERMAL ENVELOPE AIR INFILTRATION REQUIREMENTS SHALL COMPLY WITH THE ENERGY CONSERVATION PROVISIONS IN CHAPTER 11. FIREBLOCKING SHALL MEET THE REQUIREMENTS CONTAINED IN SECTION R302.11. (CRC AF103.11)

POWER SOURCE: TO PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE SUBMEMBRANE OR SUBSLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT PIPE FANS. AN ELECTRICAL SUPPLY SHALL BE ACCESSIBLE IN ANTICIPATED LOCATIONS OF SYSTEM FAILURE ALARMS. (CRC AF103.12)

UNDER FLOOR & CRAWL SPACE NOTES: (CRC R408)
MOISTURE CONTROL: THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL COMPLY WITH SECTION R408.2 OR R408.3. (CRC R408.1)

OPENINGS FOR UNDER-FLOOR VENTILATION: VENTILATION OPENINGS THROUGH FOUNDATION OR EXTERIOR WALLS SURROUNDING THE UNDER-FLOOR SPACE SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH EXTERNAL CORNER OF THE UNDER-FLOOR SPACE. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH ANY OF THE FOLLOWING MATERIALS PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH, AND OPERATIONAL LOUVERS ARE PERMITTED: (CRC R408.2)
1. PERFORATED SHEET METAL PLATES NOT LESS THAN 0.070 INCH THICK.
2. EXPANDED SHEET METAL PLATES NOT LESS THAN 0.047 INCH THICK.
3. CAST-IRON GRILL OR GRATING.
4. EXTRUDED LOAD-BEARING BRICK VENTS.
5. HARDWARE CLOTH OF 0.035 INCH WIRE OR HEAVIER.
6. CORROSION-RESISTANT WIRE MESH, WITH THE LEAST DIMENSION BEING 1/8 INCH THICK.

EXCEPTIONS:
1. THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL.
2. WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS 1 VAPOR RETARDER MATERIAL, VENTILATION OPENINGS ARE NOT REQUIRED TO BE WITHIN 3 FEET OF EACH EXTERNAL CORNER OF THE UNDER-FLOOR SPACE PROVIDED THAT THE OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE.

UNVENTED CRAWL SPACE: FOR UNVENTED UNDER-FLOOR SPACES, THE FOLLOWING ITEMS SHALL BE PROVIDED: (CRC R408.3)
1. EXPOSED EARTH SHALL BE COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES AND SHALL BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.
2. ONE OF THE FOLLOWING SHALL BE PROVIDED FOR THE UNDER-FLOOR SPACE:
   A. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE).
   B. CONDITIONED AIR SUPPLY SIZED TO DELIVER AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET OF UNDER-FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE).
   C. PLENUM IN EXISTING STRUCTURES COMPLYING WITH THE CALIFORNIA MECHANICAL CODE, IF UNDER-FLOOR SPACE IS USED AS A PLENUM.
   D. DEHUMIDIFICATION SIZED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

ACCESS: ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE NOT SMALLER THAN 18 INCHES BY 24 INCHES. OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16 INCHES BY 24 INCHES. WHERE ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16 INCHES BY 24 INCHES SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. SEE CALIFORNIA MECHANICAL CODE FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS. (CRC R408.4)

REMOVAL OF DEBRIS: THE UNDER-FLOOR GRADE SHALL BE CLEANED OF ALL VEGETATION AND ORGANIC MATERIAL. WOOD FORMS USED FOR PLACING CONCRETE SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE. CONSTRUCTION MATERIALS SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE. (CRC R408.5)

FINISHED GRADE: THE FINISHED GRADE OF UNDER-FLOOR SURFACE SHALL BE PERMITTED TO BE LOCATED AT THE BOTTOM OF THE FOOTINGS; HOWEVER, WHERE THERE IS EVIDENCE THAT THE GROUND-WATER TABLE CAN RISE TO WITHIN 6 INCHES OF THE FINISHED FLOOR AT THE BUILDING PERIMETER OR WHERE THERE IS EVIDENCE THAT THE SURFACE WATER DOES NOT READILY DRAIN FROM THE BUILDING SITE, THE GRADE IN THE UNDER-FLOOR SPACE SHALL BE AS HIGH AS THE OUTSIDE FINISHED GRADE, UNLESS AN APPROVED DRAINAGE SYSTEM IS PROVIDED. (CRC R408.6)

FLOOD RESISTANCE: FOR BUILDINGS LOCATED IN FLOOD HAZARD AREAS AS ESTABLISHED IN TABLE R301.2:
1. WALLS ENCLOSING THE UNDER-FLOOR SPACE SHALL BE PROVIDED WITH FLOOD OPENINGS IN ACCORDANCE WITH SECTION R322.2.2.
2. THE FINISHED GROUND LEVEL OF THE UNDER-FLOOR SPACE SHALL BE EQUAL TO OR HIGHER THAN THE OUTSIDE FINISHED GROUND LEVEL ON AT LEAST ONE SIDE.

EXCEPTION: UNDER-FLOOR SPACES THAT MEET THE REQUIREMENTS OF FEMA TB 11-1.

UNDER-FLOOR VAPOR RETARDER: IN CLIMATE ZONES 1A, 2A AND 3A BELOW THE WARM-HUMID LINE, A CONTINUOUS CLASS I OR II VAPOR RETARDER SHALL BE PROVIDED ON THE EXPOSED FACE OF AIR-PERMEABLE INSULATION INSTALLED BETWEEN THE FLOOR JOISTS AND EXPOSED TO THE GRADE IN THE UNDER-FLOOR SPACE. THE VAPOR RETARDER SHALL HAVE A MAXIMUM WATER VAPOR PERMEANCE OF 1.5 PERMS WHEN TESTED IN ACCORDANCE WITH PROCEDURE B OF ASTM E96. (CRC R408.8)
EXCEPTION: THE VAPOR RETARDER SHALL NOT BE REQUIRED IN UNVENTED CRAWL SPACES CONSTRUCTED IN ACCORDANCE WITH SECTION R408.3.

NOTE: THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) CLIMATE ZONES USED BY THIS SECTION DIFFER FROM THOSE USED BY THE CALIFORNIA ENERGY CODE TO DETERMINE APPLICABILITY OF ENERGY EFFICIENCY MEASURES. COMPARISON OF IECC AND CALIFORNIA ENERGY CODE CLIMATE ZONES IS SHOWN IN TABLE R702.7(5).

APPLIANCES IN THE ATTICS AND UNDER-FLOOR SPACES NOTES:
1. PROVIDE ACCESS THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE AND 22" X 30" MINIMUM. (CMC 304.4)

2. PROVIDE A 20 FEET MAXIMUM PASSAGEWAY TO THE APPLIANCE FROM THE ACCESS POINT WHERE THE HEIGHT OF PASSAGEWAY IS LESS THAN 6 FEET. THE UNOBSTRUCTED WIDTH OF THE PASSAGEWAY SHALL NOT BE LESS THAN 24 INCHES AND SHALL HAVE A SOLID FLOORING. (CMC 304.4.1 AND 304.4.2)

3. PROVIDE A LEVEL WORKING PLATFORM NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. **EXCEPTION:** A WORKING PLATFORM NEED NOT BE PROVIDED WHERE THE FURNACE IS CAPABLE OF BEING SERVICED FROM THE REQUIRED ACCESS OPENING. THE FURNACE SERVICE SIDE SHALL NOT EXCEED 12 INCHES FROM THE ACCESS OPENING. (CMC 304.4.3)

4. PROVIDE A PERMANENT 120V RECEPTACLE OUTLET AND A SWITCHED LIGHT FIXTURE NEAR THE APPLIANCE. THE SWITCH SHALL BE LOCATED AT THE ENTRANCE OF THE PASSAGEWAY. (CMC 304.4.4)

5. PROVIDE AT LEAST TWO METHODS OF CONDENSATE CONTROL PER CMC 310.2.

WOOD OR WOODBASED PRODUCTS NOTE: (CRC R317.1)
PROTECTION OF WOOD AND WOODBASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1.

1.IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION, WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHERE CLOSER THAN 18 INCHES (457 MM) TO EXPOSED GROUND, WOOD GIRDERS WHERE CLOSER THAN 12 INCHES (305 MM) TO EXPOSED GROUND, AND WOOD COLUMNS WHERE CLOSER THAN 8 INCHES (204 MM) TO EXPOSED GROUND.

2.WOOD FRAMING MEMBERS, INCLUDING COLUMNS, THAT REST DIRECTLY ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.

3.SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.

4.THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.

5.WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.

6.WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING.

7.WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

8.PORTIONS OF WOOD STRUCTURAL MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR PERMANENT BUILDING APPURTENANCES WHERE THOSE MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS.

EXCEPTION: SAWN LUMBER USED IN BUILDINGS LOCATED IN A GEOGRAPHICAL REGION WHERE EXPERIENCE HAS DEMONSTRATED THAT CLIMATIC CONDITIONS PRECLUDE THE NEED TO USE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD WHERE THE STRUCTURE IS EXPOSED TO THE WEATHER.

9.WOOD COLUMNS IN CONTACT WITH BASEMENT FLOOR SLABS UNLESS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING NOT LESS THAN 1 INCH (25 MM) ABOVE THE CONCRETE FLOOR AND SEPARATED FROM THE CONCRETE PIER BY AN IMPERVIOUS MOISTURE BARRIER.

FIELD TREATMENT: FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. (CRC R317.1.1)

GROUND CONTACT: ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESSURE-PRESERVATIVE TREATED. (CRC R317.1.2)

VENTILATION REQUIRED BENEATH BALCONY OR ELEVATED WALKING SURFACES: ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW OR DRAINAGE FROM IRRIGATION SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET-FREE CROSS-VENTILATION AREA NOT LESS THAN 1/ 150 OF THE AREA OF EACH SEPARATE SPACE. (CRC R317.1.3)

AGING-IN-PLACE DESIGN AND FALL PREVENTION NOTES: (CRC 327)
REINFORCEMENT FOR GRAB BARS: AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH SECTION R327. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH SECTION R327. (CRC R327.1.1)

1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
2. REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH NOMINAL LUMBER. (1-1/2 INCH BY 7-1/4 INCH ACTUAL DIMENSION) OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 391/4 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
5. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.

EXCEPTIONS:
A. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.
B. REINFORCEMENT SHALL NOT BE REQUIRED IN WALL FRAMING FOR PRE-FABRICATED SHOWER ENCLOSURES AND BATHTUB WALL PANELS WITH INTEGRAL FACTORY- INSTALLED GRAB BARS OR WHEN FACTORY-INSTALLED REINFORCEMENT FOR GRAB BARS IS PROVIDED.
C. SHOWER ENCLOSURES THAT DO NOT PERMIT INSTALLATION OF REINFORCEMENT AND/OR GRAB BARS SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.
D. BATHTUBS WITH NO SURROUNDING WALLS, OR WHERE WALL PANELS DO NOT PERMIT THE INSTALLATION OF REINFORCEMENT SHALL BE PERMITTED, PROVIDED REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED GRAB BARS ADJACENT TO THE BATHTUB OR AN ALTERNATE METHOD IS APPROVED BY THE ENFORCING AGENCY.
E. REINFORCEMENT OF FLOORS SHALL NOT BE REQUIRED FOR BATHTUBS AND WATER CLOSETS INSTALLED ON CONCRETE SLAB FLOORS.

DOCUMENTATION FOR GRAB BAR REINFORCEMENT: INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4. (CRC R327.1.1.1)

ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS: ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. (CRC R327.1.2)

EXCEPTIONS:
A. DEDICATED RECEPTACLE OUTLETS; FLOOR RECEPTACLE OUTLETS; CONTROLS MOUNTED ON CEILING FANS AND CEILING LIGHTS; AND CONTROLS LOCATED ON APPLIANCES.
B. RECEPTACLE OUTLETS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE ON A WALL SPACE WHERE THE DISTANCE BETWEEN THE FINISHED FLOOR AND A BUILT-IN FEATURE ABOVE THE FINISH FLOOR, SUCH AS A WINDOW, IS LESS THAN 15 INCHES.

INTERIOR DOORS: EFFECTIVE JULY 1, 2024, AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION; OR, IN THE CASE OF A TWO- OR THREE-STORY SINGLE FAMILY DWELLING, ON THE SECOND OR THIRD FLOOR OF THE DWELLING IF A BATHROOM OR BEDROOM IS NOT LOCATED ON THE ENTRY LEVEL. (CRC R327.1.3)

DOORBELL BUTTONS: DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. (CRC R327.1.4)

RADON CONTROL NOTES: (CRC SECTION AF)
THE FOLLOWING CONSTRUCTION TECHNIQUES ARE INTENDED TO RESIST RADON ENTRY AND PREPARE THE BUILDING FOR POST-CONSTRUCTION RADON MITIGATION, IF NECESSARY (SEE FIGURE AF103.1). THESE TECHNIQUES ARE REQUIRED IN AREAS WHERE DESIGNATED BY THE JURISDICTION. (CRC AF103.1)

APPENDIX AF RADON CONTROL METHODS

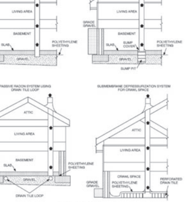

FIGURE AF103.1
RADON-RESISTANT CONSTRUCTION DETAILS FOR FOUR FOUNDATION TYPES

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SUBFLOOR PREPARATION: A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING, TO FACILITATE FUTURE INSTALLATION OF A SUBSLAB DEPRESSURIZATION SYSTEM, IF NEEDED. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING: (CRC AF103.2)
1. A UNIFORM LAYER OF CLEAN AGGREGATE, NOT LESS THAN 4 INCHES (102 MM) THICK. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2-INCH (51 MM) SIEVE AND BE RETAINED BY A 1/4-INCH (6.4 MM) SIEVE.
2. A UNIFORM LAYER OF SAND (NATIVE OR FILL), NOT LESS THAN 4 INCHES (102 MM) THICK, OVERLAIN BY A LAYER OR STRIPS OF GEOTEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
3. OTHER MATERIALS, SYSTEMS OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPRESSURIZATION ACROSS THE ENTIRE SUBFLOOR AREA.

SOIL-GAS-RETARDER: A MINIMUM 6-MIL (0.15 MM) [OR 3-MIL (0.075 MM) CROSS-LAMINATED] POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL SHALL BE PLACED ON TOP OF THE GAS-PERMEABLE LAYER PRIOR TO CASTING THE SLAB OR PLACING THE FLOOR ASSEMBLY TO SERVE AS A SOIL-GAS-RETARDER BY BRIDGING ANY CRACKS THAT DEVELOP IN THE SLAB OR FLOOR ASSEMBLY, AND TO PREVENT CONCRETE FROM ENTERING THE VOID SPACES IN THE AGGREGATE BASE MATERIAL. THE SHEETING SHALL COVER THE ENTIRE FLOOR AREA WITH SEPARATE SECTIONS OF SHEETING LAPPED NOT LESS THAN 12 INCHES (305 MM). THE SHEETING SHALL FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATIONS OF THE MATERIAL. PUNCTURES OR TEARS IN THE MATERIAL SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING. (CRC AF103.3)

WATERPROOFING AND DAMPPROOFING NOTES:
R406.1 CONCRETE AND MASONRY FOUNDATION DAMPPROOFING
EXCEPT WHERE REQUIRED BY SECTION R406.2 TO BE WATERPROOFED, FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE DAMP PROOFED FROM THE HIGHER OF (A) THE TOP OF THE FOOTING OR (B) 6 INCHES (152 MM) BELOW THE TOP OF THE BASEMENT FLOOR, TO THE FINISHED GRADE. MASONRY WALLS SHALL HAVE NOT LESS THAN 3/8-INCH (9.5 MM) PORTLAND CEMENT PARGING APPLIED TO THE EXTERIOR OF THE WALL. THE PARGING SHALL BE DAMP PROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING:

1. BITUMINOUS COATING.
2. THREE POUNDS PER SQUARE YARD (1.63 KG/M2) OF ACRYLIC MODIFIED CEMENT.
3. ONE-EIGHTH-INCH (3.2 MM) COAT OF SURFACE-BONDING CEMENT COMPLYING WITH ASTM C887.
4. ANY MATERIAL PERMITTED FOR WATERPROOFING IN SECTION R406.2.
5. OTHER APPROVED METHODS OR MATERIALS.

EXCEPTION: PARGING OF UNIT MASONRY WALLS IS NOT REQUIRED WHERE A MATERIAL IS APPROVED FOR DIRECT APPLICATION TO THE MASONRY. CONCRETE WALLS SHALL BE DAMP PROOFED BY APPLYING ANY ONE OF THE LISTED DAMPPROOFING MATERIALS OR ANY ONE OF THE WATERPROOFING MATERIALS LISTED IN SECTION R406.2 TO THE EXTERIOR OF THE WALL.

R406.2 CONCRETE AND MASONRY FOUNDATION WATERPROOFING
IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED FROM THE HIGHER OF (A) THE TOP OF THE FOOTING OR (B) 6 INCHES (152 MM) BELOW THE TOP OF THE BASEMENT FLOOR, TO THE FINISHED GRADE. WALLS SHALL BE WATERPROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING:

1. TWO-PLY HOT-MOPPED FELTS.
2. FIFTY-FIVE-POUND (25 KG) ROLL ROOFING.
3. SIX-MIL (0.15 MM) POLYVINYL CHLORIDE.
4. SIX-MIL (0.15 MM) POLYETHYLENE.
5. FORTY-MIL (1 MM) POLYMER-MODIFIED ASPHALT.
6. SIXTY-MIL (1.5 MM) FLEXIBLE POLYMER CEMENT.
7. ONE-EIGHTH-INCH (3 MM) CEMENT-BASED, FIBER-REINFORCED, WATERPROOF COATING.
8. SIXTY-MIL (1.5 MM) SOLVENT-FREE LIQUID-APPLIED SYNTHETIC RUBBER.

ALL JOINTS IN MEMBRANE WATERPROOFING SHALL BE LAPPED AND SEALED WITH AN ADHESIVE COMPATIBLE WITH THE MEMBRANE.

EXCEPTION: ORGANIC-SOLVENT-BASED PRODUCTS SUCH AS HYDROCARBONS, CHLORINATED HYDROCARBONS, KETONES AND ESTERS SHALL NOT BE USED FOR ICF WALLS WITH EXPANDED POLYSTYRENE FORM MATERIAL. USE OF PLASTIC ROOFING CEMENTS, ACRYLIC COATINGS, LATEX COATINGS, MORTARS AND PARGINGS TO SEAL ICF WALLS IS PERMITTED. COLD-SETTING ASPHALT OR HOT ASPHALT SHALL CONFORM TO TYPE C OF ASTM D449. HOT ASPHALT SHALL BE APPLIED AT A TEMPERATURE OF LESS THAN 200°F (93°C).

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, **DO NOT SCALE PLANS**.

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED W/. 2X6 STUD MIN. U.N.O.
USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH MINIMUM 1/2" PLYWOOD
DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFGR. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. AD-2.0 FOR TYP. RECESSED CONDITIONS.

ADDRESS IDENTIFICATION:
BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (CRC R319.1)

DUCTS PENETRATION:
DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2)

STAIRWAY ILLUMINATION:
1.INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS OF NOT LESS THAN 1 FOOT-CANDLE (11 LUX) AS MEASURED AT THE CENTER OF TREADS AND LANDINGS. THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR MORE RISERS. (R303.7)
EXCEPTION: A SWITCH IS NOT REQUIRED WHERE REMOTE, CENTRAL OR AUTOMATIC CONTROL OF LIGHTING IS PROVIDED.

2.EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTDOOR GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE BOTTOM LANDING OF THE STAIRWAY. (R303.8)

GARAGE FLOOR:
GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

PLUMBING:
1. ALL FIXTURES AND FITTINGS SHALL COMPLY WITH THE MAX FLOW RATE SET BY CALGREEN (CALIFORNIA GREEN BUILDING STANDARD CODE) AND CALIFORNIA PLUMBING CODES. G.C. TO VERIFY PRIOR TO PURCHASE AND INSTALL OF ANY FIXTURE AND FITTING

2. MAX. TEMP. OF 120° SHALL BE REGULATED BY LIMITING DEVICE IN COMPLIANCE W/. ASSE 1070/ASME A112.1070/CSA B125.70 OR CSA B125.3 @ SHOWERS & TUBS. (CPC 408.3)

3. MAX. TEMP. OF 110° SHALL BE REGULATED BY LIMITING DEVICE IN COMPLIANCE W/. ASSE 1070/ASME A112.1070/CSA B125.70 OR CSA B125.3 @ BIDETS. (CPC 410.3)

4. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-THE-FLOOR WATER CLOSETS WITH CONCEALED TANKS SHALL COMPLY WITH ASME A112.6.2. SECURE FLUSH TANK AND SIMILAR APPURTENANCES WITH APPROVED NON-CORROSIVE SCREW OR BOLTS. (CPC 402.4)

5. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7.1 SQ. FT.) OR MORE FROM TOP OF THRESHOLD TO 70" ABOVE DRAIN, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)

6. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)

7. ANCHOR OR STRAP THE WATER HEATER(S) TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER AND LOWER ONE THIRD (1/3) POINTS OF THE APPLIANCE HEIGHT. MAINTAIN A MIN. 4-INCHES ABOVE THE CONTROLS WITH STRAPPING AT LOWER POINT. (CPC 507.2)

MATERIALS & FINISHES:
1. WALLS COVERINGS AND FLOOR OF SHOWERS AND BATHTUBS WITH A SHOWER HEAD SHALL BE OF CEMENT PLASTER, TILE, OR APPROVED EQUAL NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN 72-INCHES ABOVE THE FLOOR. PROVIDE CEMENT BOARD, CEMENT PLASTER BACKING, OR TILE BACKBOARD FOR TILE FINISH. (CRC R307.2)

2. INSTALL MIN. 5/8" TYPE 'X' MOISTURE & MOLD RESISTANT GYPSUM WALL BOARD IN ALL BATHROOMS, KITCHENS, AND OTHER AREAS EXPOSED TO MOISTURE OR HUMIDITY. GYPSUM BOARD INSTALLED ON THE WALLS AND CEILINGS AT SHOWER AND BATHTUB AREAS MUST BE FINISHED TO PREVENT MOISTURE FROM PENETRATING THE WALL OR CEILING FINISH AND CONTACTING THE GYPSUM BOARD. THE FINISH APPLIED TO THE EXPOSED FACE OF THE GYPSUM BOARD MUST CREATE A WATER-RESISTANT BARRIER THAT NOT ONLY STOPS WATER FROM GETTING TO THE GYPSUM BOARD BUT ALSO PREVENTS THE RELEASE OF MOISTURE FROM WITHIN THE WALL OR THE GYPSUM BOARD ITSELF. (CRC R702.3.7)
WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY AT LOCATIONS SUCH AS SAUNAS, STEAM ROOMS, GANG SHOWERS OR INDOOR POOLS. (CRC R702.3.7.1)

FIREPLACES:
1. FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CRC R1004.1 & R1005.1)

2. FACTORY BUILT WOOD BURNING FIREPLACES SHALL BE QUALIFIED AT THE U.S. EPA'S VOLUNTARY FIREPLACE PROGRAM PHASE 2 EMISSIONS LEVEL AND BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE. (CRC 1004.1.1)

3. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CRC R1005.2 & CMC 802.5.1.1 & CMC 802.5.4.3)

4. HORIZONTAL OPENINGS ARE NOT ALLOWED, FOR EXHAUST VENTS, IN WALLS CLOSER THAN 3 FEET TO A PROPERTY LINE. (TABLES R302.1(1)&(2)). HORIZONTAL VENT CAPS SHALL BE 2 FEET CLEAR FROM PROPERTY LINES.

5. EXHAUST OPENINGS SHALL NOT BE DIRECTED ONTO WALKWAYS. (R303.5.2)

6. SOLID FUEL BURNING FIREPLACES (IF PERMISSIBLE):
A. PROVIDE A PERMANENTLY ANCHORED GASEOUS FUEL BURNING PAN TO THE FIREBOX OF A SOLID FUEL BURNING FIREPLACE.
B. SOLID FUEL BURNING FIREPLACE MUST COMPLY WITH THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.
C. CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT., BUT SHALL NOT BE LESS THAN 3 FT. ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. (CRC R1003.9)
D. LIQUID FUELED FIREPLACES ARE NOT ALLOWED FOR INTERIOR USE.

7. ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT VENT SEALED-COMBUSTION PER CAL GREEN SECTION 4.503.

8. A FIRESTOP IS REQUIRED WHENEVER THE VENT PENETRATES A WALL, FLOOR, OR CEILING (PASSES THROUGH FRAMING MEMBERS). FIRESTOPS MAY BE PROVIDED BY THE VENT MANUFACTURER.

9. THE VENT MUST MAINTAIN THE REQUIRED CLEARANCE TO COMBUSTIBLE MATERIALS TO PREVENT A FIRE. DO NOT FILL AIR SPACES WITH INSULATION. (MIN. 1" CLEARANCE, VERIFY W/. MFGR.)

10. USE LISTED 10" OR 8" B-VENT U.N.O. (SEE POWER VENT FOR DIAMETER USED). THE ACTUAL EXTERIOR DIMENSION WILL VARY (TYPICALLY 11" OR 9" OUTER DIAMETER).

POOL & SPA:
1. PROVIDE AN ALARM FOR DOORS AND WINDOWS WITH SILL HEIGHTS LESS THAN 60-INCHES ABV. F.F.. OF THE DWELLING THAT FORMS A PART OF THE POOL ENCLOSURE. THE ALARM SHALL BE LISTED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 2017. THE DEACTIVATION SWITCH SHALL BE AT LEAST 60" ABOVE THE FLOOR IF THE RESIDENCE IS NOT REQUIRED TO BE ACCESSIBLE. (CBC 3109 & ISPSC 305.4)

2. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED WITH SUCTION ANTI-ENTRAPMENT GRATE IN ACCORDANCE WITH ANSI/APSP-16 PER CBC 3109 SECTION (B) OF 115928. SUCTION ENTRAPMENT AVOIDANCE FOR POOL AND SPA SHALL BE PROVIDED IN ACCORDANCE WITH APSP-7 PER ISPSC SECTION 310.

3. PROVIDE POWER SAFETY COVER IN COMPLIANCE WITH ASTM F1346-91 FOR POOL & SPA (CBC 3109 SECTION (3) OF 115922 & ISPSC 305).

4. POOL ENCLOSURE FENCE SHALL BE 60-INCHES MIN. ABV. F.S./N.G. MEASURED ON THE SIDE THAT FACES AWAY FROM SWIMMING POOL W/. MAX VERTICAL CLEARANCE OF 2-INCHES BETWEEN F.S./N.G. AND BOTTOM OF THE FENCE/BARRIER MEASURED ON THE SIDE OF FENCE THAT FACES AWAY FROM SWIMMING POOL. OPENING, GAP, AND VOID IN ENCLOSURE FENCE OR GATE SHALL NOT ALLOW THE PASSAGE OF 4-INCHES DIAMETER SPHERE OR LARGER. OUTSIDE SURFACE (FACING AWAY FROM SWIMMING POOL) OF THE POOL ENCLOSURE INCLUDING THE GATE TO BE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS WHICH COULD ENABLE A CHILD FIVE YEARS OLD OR YOUNGER TO CLIMB OVER. ANY ACCESS GATES THROUGH THE ENCLOSURE OPEN AWAY FROM THE SWIMMING POOL, AND ARE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES ABOVE THE GROUND(CBC 3109 & ISPSC 305)

WASHER & DRYER NOTE:
AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER , GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC 504.4) AND SHALL NOT EXCEED 14-FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. (CMC 504.4.2.1) DRYER VENT TERMINATION MUST BE 3-FEET FROM OPENINGS INTO THE BUILDING (DOORS AND OPERABLE WINDOWS), 10-FEET FROM FORCED AIR INLET, AND 3-FEET FROM PROPERTY LINE (NOT TO DISCHARGE ONTO A PUBLIC WALKWAY). (CMC 502.2.1) IF DRYER LOCATED IN A CLOSET PROVIDE A MIN. 100 SQ. IN. OPENING IN THE CLOSET DOOR. (CMC. 504.4.1)

***HERS VERIFICATION REQUIRED- REFERENCE T-24.1**

B GENERAL NOTESƆN

DEFINITIONS: (AS USED IN THESE SPECIFICATIONS)

OWNER SHALL MEAN: DOUG & ANNE FOREMAN

ARCHITECT SHALL MEAN: BRANDON ARCHITECTS, INC., RYAN McDANIEL, AIA

CONTRACTOR SHALL MEAN: LICENSED GENERAL CONTRACTOR HIRED TO PERFORM THE WORK UNDER THIS CONTRACT

SPECIFICATIONS SHALL MEAN: WRITTEN SPECIFICATIONS IN THE PLANS OR THE "PROJECT MANUAL" (IF PROVIDED FOR THIS PROJECT)

CONTRACT DOCUMENTS SHALL MEAN: WORKING DRAWINGS APPROVED FOR BUILDING PERMIT, PLUS ANY CHANGE ORDERS OR ADDENDA TO SAME.

ARCHITECTURAL GENERAL NOTES:
1. CODES/GENERAL PROVISIONS: ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE APPLICABLE BUILDING CODES AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR, SUB-CONTRACTORS, AND ANYONE SUPPLYING LABOR AND/OR MATERIAL TO BRING TO THE ATTENTION OF THE ARCHITECT (VERBALLY AND IN WRITING) ANY KNOWN DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THESE CODES AND THE CONTRACT DOCUMENTS (DRAWINGS). THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE AS LISTED IN "CODE REVIEW" BOX. (T-1.0)
ALL WORK SHALL BE PERFORMED SO AS TO COMPLY WITH ALL LEGAL AND INDUSTRY REQUIREMENTS AND STANDARDS INCLUDING THE FOLLOWING:
- THE **CALIFORNIA BUILDING CODES, 2022 EDITIONS**, AND ALL APPLICABLE RELATED SPECIALTY CODES.
- THE FUNCTIONALITY STANDARDS SET FORTH IN TITLE 7 OF THE CALIFORNIA CIVIL CODE (THE "RIGHT TO REPAIR ACT").
- THE **CITY OF NEWPORT BEACH** MUNICIPAL CODE INCLUDING ANY WORK TIME RESTRICTION AND ANY AMENDMENT TO CALIFORNIA BUILDING CODES.
- THE MANUFACTURER'S REQUIREMENTS OF RECOMMENDATIONS FOR ANY INCORPORATED PRODUCTS.

2. FEES: CONTRACTOR AND HIS SUB-CONTRACTORS SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLAN CHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.

3. CONTRACTOR'S SURVEY: CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.

4. COORDINATION OF CONSTRUCTION: CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS; FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS; FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK INCLUDING THAT OF THE SUB-CONTRACTORS. CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERINTENDENT SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.

5. CLEAN-UP: ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.

6. TESTS AND PERMITS: CONTRACTOR SHALL ARRANGE FOR, AND SECURE REQUIRED TESTS, PERMITS AND INSPECTIONS, AND SHALL BEAR COSTS FOR SAME.

7. GUARANTEES: CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN DOING SO, THAT MAY PROVE DEFECTIVE WITHIN ONE YEAR, WITHOUT ADDITIONAL EXPENSE; ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT IS EXCEPTED. EXCEPTIONS TO ONE YEAR GUARANTEE ARE SPECIFIED IN OTHER SECTIONS OF THE PROJECT MANUAL OR DRAWINGS. STATE LAW, OR MANUFACTURER'S GUARANTEE SHALL GOVERN IF LENGTH AND TYPES OF GUARANTEES ARE MORE STRICT OR FOR LONGER PERIODS. IT IS UNDERSTOOD BY CONTRACTOR THAT IT IS HIS RESPONSIBILITY TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS. CONTRACTOR SHALL BE RESPONSIBLE FOR A WEATHER TIGHT BUILDING, FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER.

8. WAIVER OF LIENS: CONTRACTOR SHALL PROVIDE CERTIFIED RELEASE OF LIENS BY ALL SUBCONTRACTORS AND SUPPLIERS, OR ANYONE PROVIDING MATERIALS AND/OR LABOR AS THEY BECOME AVAILABLE.

9. ROLL OF ARCHITECT DURING CONSTRUCTION: THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER. ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS/HER AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK. ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER, MEETING NOTE, MEMORANDA, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.

10. A.I.A. GENERAL CONDITIONS: THE CURRENT GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY AS THOUGH IT WERE PART OF THESE DOCUMENTS UNLESS SPECIFICALLY MODIFIED IN THE OWNER/CONTRACTOR AGREEMENT. A COPY OF SAID GENERAL CONDITIONS MAY BE OBTAINED FROM THE ARCHITECT UPON REQUEST. THE NOTES CONTAINED IN THESE "GENERAL NOTES" ON THIS SHEET ARE INTENDED TO SUMMARIZE AND COMPLIMENT THE A.I.A. GENERAL CONDITIONS. THE A.I.A. GENERAL CONDITIONS SHALL TAKE PRECEDENCE OVER THESE NOTES SHOULD A CONFLICT IN WORDING OCCUR.

11. EXTRAS: OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO THE MUTUAL SATISFACTION OF THE OWNER AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE ADDED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.

12. SUBSTITUTIONS: SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTOR'S OPTION TO SELECT THE ONE WHICH HE MAY DESIRE. IF MORE THAN ONE FINISH OR STYLE IS AVAILABLE IN THE ITEM SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION. WHERE THE TERM "OR EQUAL" IS USED IN DRAWINGS OR SPECS IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE SUBJECT TO THE RULING AND JUDGMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ACTUAL SAMPLES OF THE SUBSTITUTIONS SHALL ALSO BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

13. INSURANCE: CONTRACTOR SHALL CARRY GENERAL LIABILITY INSURANCE WITH BROAD FORM PROPERTY DAMAGE ENDORSEMENT AND CONTINGENT LIABILITY ENDORSEMENT. OWNER AND ARCHITECT SHALL BE LISTED AS ADDITIONAL INSURERS UNDER THE POLICY WITH WAIVER OF SUBROGATION. CONTRACTOR SHALL FURNISH OWNER WITH A CERTIFICATE OF INSURANCE WITH A 30 DAY NOTICE OF CANCELLATION. OWNER SHALL OBTAIN A BUILDER'S RISK POLICY WITH ARCHITECT NAMED AS AN ADDITIONAL INSURED WITH WAIVER OF SUBROGATION.

14. SCOPE OF DRAWINGS AND SPECIFICATIONS: THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. **PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED ACCORDING TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL.** IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. IN USING THESE PLAN FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK, EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD. THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF A APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER; AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION. SCHEMATIC PLANS ARE INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS (E.G. SCHEMATIC ELECTRICAL PLANS).

15. DIMENSIONS ON DRAWINGS: FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB-CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES AND DETAILS ON SAID DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS. DRAWINGS ARE NOT TO BE SCALED UNLESS PERMITTED BY THE ARCHITECT. DIMENSIONS SHALL GOVERN. ALL EXTERIOR DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, UNLESS OTHERWISE NOTED ON DRAWINGS. INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED ON DRAWINGS. WHERE DIMENSION IS LABELED "CLEAR" IT IS TAKEN FROM THE FACE OF FINISH TO FACE OF FINISH OF EACH MATERIAL. PLUS OR MINUS (+/-) DIMENSIONS SHALL NOT VARY BY MORE THAN 2" WITHOUT APPROVAL BY ARCHITECT. WALL ANGLES ARE EITHER 90° OR 45° UNLESS NOTED OTHERWISE.

16. SUBMITTALS, MEETING NOTES, BULLETINS, AND MEMOS: SUBMITTALS WILL BE REVIEWED BY THE ARCHITECT, IF AT ALL, ONLY PURSUANT TO THE INDUSTRY-STANDARD PROTOCOL SET FORTH IN AIA DOCUMENT A201-2017; AND IN NO EVENT WILL THE SUBMITTAL REVIEW PROCESS RELIEVE OR LESSEN THE SUBMITTING CONTRACTOR'S RESPONSIBILITY FOR AN INAPPROPRIATE SUBMITTAL. ARCHITECT, FROM TIME TO TIME, WILL ISSUE CONSTRUCTION NOTES OR MEMOS REGARDING CONSTRUCTION ISSUES THAT HAVE ARISEN SINCE THE DRAWINGS AND SPECIFICATIONS WERE COMPLETED. CONTRACTOR SHALL REVIEW THESE WRITTEN DOCUMENTS AND INCORPORATE THEM INTO THE PROJECT. ANY QUESTIONS OR OBJECTIONS AS TO THE INTENT OF THE WRITTEN DOCUMENT ITEMS WILL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR DISCUSSION AND OR CLARIFICATION. ANY ITEM THAT RESULTS IN A CHANGE TO THE COST OR TIMING OF THE PROJECT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO EXECUTING. CONTRACTOR SHALL SUBMIT FABRICATION SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND/OR FABRICATION. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CUTS FOR ALL FIXTURES AND EQUIPMENT CALLED FOR ON THE CONSTRUCTION DOCUMENTS TO ARCHITECT INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, HARDWARE, PLUMBING FIXTURES, KITCHEN EQUIPMENT, ETC. BY SUBMITTING SHOP DRAWINGS AND PRODUCT DATA, THE CONTRACTOR REPRESENTS THAT HE/SHE HAS VERIFIED FIELD CONDITIONS, DIMENSIONS AND RELATED CONSTRUCTION AND HAS COORDINATED THE SUBMISSION CONSTRUCTION WITH THE REQUIREMENTS OF ALL OTHER RELATED WORK IN THE CONSTRUCTION DOCUMENTS. ALL SHOP DRAWINGS AND CUTS MARKED "REVIEWED" BY ARCHITECT, ARE FOR VERIFICATION OF ADHERENCE TO THE DESIGN INTENT ONLY. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL MEANS AND METHODS AND ERRORS AND OMISSIONS ON THEIR DRAWINGS. CONTRACTOR TO SUBMIT A COMPLETE SHOP DRAWINGS AND OR SUBMITTAL FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. SUBMIT SAMPLES FOR INITIAL SELECTION PURPOSES OF ACTUAL VENEERS SHOWING A FULL RANGE OR GRAIN VARIATION, FINISH AND PATTERNS PROPOSED. SUBMIT SAMPLES AS REQUIRED UNTIL APPROVED BY ARCHITECT. SAMPLES SHALL BE 12" X 12" MIN., ONE UNIT OF EACH TYPE AND FINISH.

17. ERRORS AND OMISSIONS: ERRORS OR OMISSIONS WHICH APPEAR ON THE DRAWINGS, IN SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR AND TO THE CONTRACTOR BY THE SUB-CONTRACTOR IN WRITING. IN EVENT OF FAILURE OF SUB-CONTRACTOR TO GIVE SUCH WRITTEN NOTIFICATION BEFORE CONSTRUCTION OR FABRICATIONS OF THE WORK, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COSTS OF RECTIFYING SAME. HOWEVER, DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND WORK CALLED FOR ON ONE AND NOT THE OTHER SHALL BE PROVIDED AS THOUGH FULLY SET FORTH IN BOTH.

18. BARRICADES: CONTRACTOR SHALL ERECT AND PROPERLY MAINTAIN AT ALL TIMES AS REQUIRED BY CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY PROTECTIVE BARRICADES, FENCES AND OTHER SAFEGUARDS FOR THE PROTECTION OF THE WORKERS AND THE PUBLIC. THESE BARRICADES SHALL BE CONSTRUCTED AND BE LOCATED AS SHALL BE DETERMINED BY LOCAL AUTHORITIES AND CODES.

19. TEMPORARY BRACING: AT ALL TIMES DURING CONSTRUCTION ACTIVITIES OR ERECTION OF PROJECT OR ITS COMPONENT PARTS, PRIOR TO COMPLETION OF THE STRUCTURAL FRAME OR REPLACEMENT AND PERMANENT CONNECTION OF COMPONENT MEMBERS TO THE STRUCTURAL FRAME, SUB-CONTRACTORS SHALL PROVIDE, INSTALL AND MAINTAIN PROPERLY DESIGNED AND CONSTRUCTED TEMPORARY BRACING OF ADEQUATE STRENGTH TO PREVENT DISLOCATION, DISTORTION, CRACKING, FALLING OFF, OR ANY OTHER DAMAGE TO WORK OR ANY OF ITS COMPONENT PARTS DUE TO FORESEEABLE NORMAL AS WELL AS NOT FORESEEABLE EXCESSIVE WIND AND EARTHQUAKE FORCES WITHOUT ADDITIONAL COST TO OWNER. CONTRACTOR AND HIS SUBCONTRACTORS SHALL, AT THEIR EXPENSE, REPLACE OR REPAIR, AS DIRECTED, DAMAGED PORTIONS OF THEIR WORK OR COMPONENT PARTS.

20. TOXIC SUBSTANCES REMOVAL: PRIOR TO ANY WORK BEING PERFORMED, WHENEVER THERE ARE EXISTING STRUCTURES TO BE REMOVED OR ALTERED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND REMOVAL OF ANY TOXIC MATERIALS OR SUBSTANCES AS REQUIRED BY THE STATE OF CALIFORNIA INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD PAINTS, MOLD, ETC. REMOVAL AND DISPOSAL SHALL FOLLOW STATE MANDATED METHODS, PROCEDURES, DOCUMENTATION AND APPLICATION REQUIREMENTS.

21. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HERON.

22. NO FRAMING OF ANY TYPE TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.

23. REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.

24. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS

25. MAINTENANCE INFORMATION: THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED INFORMATION FOR ALL FEATURES, MATERIALS, AND COMPONENTS AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT, OR MANUFACTURED DEVICE. (SEE **CALGREEN** NOTES FOR ADDITIONAL REQUIREMENTS OF OPERATION & MAINTENANCE MANUAL)

26. GENERAL CONTRACTOR, CONTRACTORS, SUB-CONTRACTORS AND BUILDERS TO COORDINATE ALL ENGINEERING AND MECHANICAL DRAWINGS WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH WORK. IF DISCREPANCIES ARE APPARENTLY OBSERVED OR INFORMATION APPARENTLY IS THOUGHT TO BE MISSING, NOTIFY ARCHITECT WITHIN 24 HOURS WITH SKETCH, DRAWING, PDF, PHOTOCOPIES WITH LEGIBLE HANDWRITTEN NOTES AND/OR WRITING (FAX, EMAIL OR CORRESPONDENCE). IF CONFLICT WITH EXISTING CONDITIONS, PROVIDE DOCUMENTATION (PHOTOS, SKETCHES, DWGS) OF EXISTING CONDITIONS AND SUGGEST PROPOSAL(S) FOR SOLUTION (SKETCH, DRAWING, AND/OR WRITING). IN CASE OF ANY DISCREPANCIES, THE ARCHITECT IS THE SOLE INTERPRETER OF THE CONTRACT DOCUMENTS.

27. CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. **BID SHALL BE BASED ON THE MOST STRINGENT REQUIREMENT**.

28. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL, OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.

29. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION, AND SURROUNDING AREAS, FREE OF DEBRIS OR HAZARDOUS MATERIALS AT ALL TIMES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM RISING.

30. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. ANY DAMAGE TO EXISTING STRUCTURES DURING THE CONSTRUCTION OR THE NEW WORK SHALL BE REPAIRED TO EQUIVALENT OR BETTER THAN ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.

31. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED. CONTRACTOR SHALL PROVIDE PROPER SAFEGUARDS DURING ALL PHASES OF CONSTRUCTION.

32. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE, AS NECESSARY, ELECTRICAL, TELEPHONE, WATER, SEWER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WILL ALL LOCAL UTILITY COMPANIES.

33. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION FOR PORTIONS OF THE WORK THAT BECOME EXPOSED TO WEATHER AND SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY INSUFFICIENT PROTECTION.

34. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.

35. CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE OWNER FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL AN AUTHORIZATION TO PROCEED; SIGNED BY THE ARCHITECT & OWNER'S REPRESENTATIVE IS RETURNED TO THE GENERAL CONTRACTOR.

36. CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE-RATED SEPARATION WITHIN THE BUILDING'S CONSTRUCTION IS REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATION OF MATERIALS WITHIN FIRE RATED ASSEMBLIES, AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS, ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ANY CHANGE IN MATERIAL THAT IS REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED CONSTRUCTION ASSEMBLY INTEGRITY. SPECIFIC SEQUENCES OR METHODS OF ACHIEVING FIRE RATED ASSEMBLIES REQUIRED BY A "UL NO." LISTING SHALL BE FOLLOWED WITHOUT DEVIATION, UNLESS OTHERWISE NOTED OR DETAILED.

37. CONTRACTOR TO FURNISH AND INSTALL ALL BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, TOILET FIXTURES, AND ACCESSORIES OR 'BY OTHER' ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS. BLOCKING SHALL BE CONSTRUCTED TO SUPPORT THE IMPOSED LOAD.

38. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS AND REQUIRED BY CODE.

39. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY/COORDINATE UTILITY REQUIREMENTS FOR ALL OWNER/VENDOR FURNISHED EQUIPMENT, FIXTURES OR APPLIANCES.

40. CONTRACTOR SHALL PROVIDE ALL NECESSARY FASTENERS, SUPPORTS, SHIMMING, FLASH PATCHING, ETC. FOR THE PROPER INSTALLATION OF SUCH ITEMS AS DIRECTED BY THE MANUFACTURERS.

41. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE TO THE OWNER A COMPLETE SET OF AS-BUILT CIVIL, LANDSCAPE, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION DRAWINGS ALONG WITH THE WRITTEN GUARANTIES, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS AND SPECIFICATIONS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES AND REVIEWED FOR COMPLETENESS AT EACH REQUISITION REQUEST.

42. CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VACUUM CLEAN ALL CARPETED AREAS, CLEAN ALL FLOORING, MILLWORK, LIGHT FIXTURES, GLASS, ETC. AND UNCOVER AND VACUUM OUT ALL MECHANICAL UNITES AFTER THE WORK IS COMPLETED AND MAINTAIN CLEAN CONDITIONS THROUGH THE TENANT'S MOVE-IN.

A CONTRACT DOCUMENT NOTES

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PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
GAVIN FRIEHAUF

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REVISIONS

NO.	REVISION	DATE

ARCHITECTURAL GENERAL NOTES

T-1.1

8/13/2025 12:54:46 PM

AIA California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Y	N/A	RESPON. PARTY

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of *CALGreen*, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code,* Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
   1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code.*

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a.Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1.The minimum length of each EV space shall be 18 feet (5486 mm).

2.The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code.*

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code.*

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations,* Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL
4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
GAVIN FRIEHAUF

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REVISIONS

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CALGREEN STANDARDS

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AIA California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Y | N/A | RESPON. PARTY

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code.*

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code.*

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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PA2025-0089

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SUBCHAPTER 7
SINGLE-FAMILY RESIDENTIAL BUILDINGS – MANDATORY FEATURES AND DEVICES

SECTION 150.0 – MANDATORY FEATURES AND DEVICES

Single-family residential buildings shall comply with the applicable requirements of Sections 150(a) through 150.0(v).

NOTE: The requirements of Sections 150.0(a) through 150.0(r) apply to newly constructed buildings. Sections 150.2(a) and 150.2(b) specify which requirements of Sections 150.0(a) through 150.0(r) also apply to additions or alterations.

(a) **Roof deck, ceiling and rafter roof insulation.** The opaque portions of roof decks separating attic spaces from ambient air, and ceilings or rafter roofs separating conditioned spaces from unconditioned spaces or ambient air, shall meet the requirements of Items 1 through 4 below:

1. In Climate Zones 4 and 8 through 16, roof decks in newly constructed attic systems shall be insulated to achieve an area-weighted average U-factor not exceeding U-0.184.

   Exception to Section 150.0(a)1:

   i. The space-conditioning system air handler and ducts are located entirely in conditioned space below the ceiling separating the occupiable space from the attic; or

   ii. The space-conditioning system air handler is located in unconditioned space and has 12 linear feet or less of supply duct, including the length of the air handler and the plenum, located in unconditioned space, with all other portions of the supply ducts located in conditioned space below the ceiling separating the occupiable space from the attic.

2. Ceilings and rafter roofs shall be insulated to achieve an area-weighted average U-factor not exceeding U-0.043 or shall be insulated between wood-framing members with insulation resulting in an installed thermal resistance of R-22 or greater for the insulation alone. For vented attics, the mandatory insulation shall be installed at the ceiling level; for unvented attics, the mandatory insulation shall be placed at either ceiling or roof level; and

   Exception to Section 150.0(a)2: Ceilings and rafter roofs in an alteration shall be insulated to achieve an area-weighted average U-factor not exceeding 0.054 or shall be insulated between wood-framing members with insulation resulting in an installed thermal resistance of R-19 or greater.

3. Attic access doors shall have permanently attached insulation using adhesive or mechanical fasteners. The attic access shall be gasketed to prevent air leakage; and

4. Insulation shall be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in Section 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.

(b) **Loose-fill insulation.** When loose-fill insulation is installed, the minimum installed weight per square foot shall conform with the insulation manufacturer's installed design weight per square foot at the manufacturer's labeled R-value.

(c) **Wall insulation.** Opaque portions of above grade walls separating conditioned spaces from unconditioned spaces or ambient air shall meet the following requirements:

1. 2 × 4 inch framing shall have an overall assembly U-factor not exceeding U-0.102.

Exception to Section 150.0(c)1: Existing walls already insulated to a U-factor not exceeding U-0.110 or already insulated between framing members with insulation having an installed thermal resistance of R-11 or greater.

2. 2 × 6 inch or greater framing shall have an overall assembly U-factor not exceeding U-0.071.
3. 3. Opaque nonframed assemblies shall have an overall assembly U-factor not exceeding U-0.102.
4. Bay or bow window roofs and floors shall be insulated to meet the wall insulation requirements of Table 150.1-A.
5. Masonry walls shall be insulated to meet the wall insulation requirements of Table 150.1-A.
6. In wood framed assemblies, compliance with U-factors may be demonstrated by installing wall insulation with an R-value of 13 in 2x4 assemblies, and 20 in 2x6 assemblies.

(d) **Raised-floor insulation.** Raised floors separating conditioned space from unconditioned space or ambient air shall have an overall assembly U-factor not exceeding U-0.037. In a wood framed assembly, compliance with the U-factor may be demonstrated by installing insulation with an R-value of 19 or greater.

Exception to Section 150.0(d): A building with a controlled ventilation or unvented crawlspace may omit raised floor insulation if all of the following are met:

i. The foundation walls are insulated to meet the wall insulation minimums as shown in Table 150.1-A; and

ii. A Class I or Class II vapor retarder is placed over the entire floor of the crawl space; and

iii. Vents between the crawlspace and outside air are fitted with automatically operated louvers that are temperature actuated; and

iv. The requirements in Reference Residential Appendix RA4.5.1.

(e) **Installation of fireplaces, decorative gas appliances and gas logs.** If a masonry or factory-built fireplace is installed, it shall comply with Section 110.5, Section 4.503 of Part 11, and shall have the following:

1. Closable metal or glass doors covering the entire opening of the firebox; and
2. A combustion air intake to draw air from the outside of the building, which is at least 6 square inches in area and is equipped with a readily accessible, operable and tight-fitting damper or combustion-air control device; and

   Exception to Section 150.0(e)2: An outside combustion-air intake is not required if the fireplace will be installed over concrete slab flooring and the fireplace will not be located on an exterior wall.

3. A flue damper with a readily accessible control.

   Exception to Section 150.0(e)3: When a gas log, log lighter or decorative gas appliance is installed in a fireplace, the flue damper shall be blocked open if required by the CMC or the manufacturer's installation instructions.

(f) **Slab edge insulation.** Material used for slab edge insulation shall meet the following minimum specifications:

1. Water absorption rate for the insulation material alone without facings no greater than 0.3 percent when tested in accordance with Test Method A – 24-Hour-Immersion of ASTM C272.
2. Water vapor permeance no greater than 2.0 perm/inch when tested in accordance with ASTM E96.
3. Concrete slab perimeter insulation shall be protected from physical damage and ultraviolet light deterioration.
4. Insulation for a heated slab floor shall meet the requirements of Section 110.8(g).

(g) **Vapor retarder.**

1. In Climate Zones 1–16, the earth floor of unvented crawl space shall be covered with a Class I or Class II vapor retarder. This requirement shall also apply to controlled ventilation crawl space for buildings complying with the Exception to Section 150.0(d).
2. In Climate Zones 14 and 16, a Class I or Class II vapor retarder shall be installed on the conditioned space side of all insulation in all exterior walls, vented attics and unvented attics with air-permeable insulation.

(h) **Space-conditioning equipment.**

1. **Building** cooling **and** heating loads. Building heating and cooling loads shall be determined using a method based on any one of the following:

   A. The ASHRAE Handbook, Equipment Volume, Applications Volume and Fundamentals Volume; or

   B. The SMACNA Residential Comfort System Installation Standards Manual; or

   C. The ACCA Manual J.

   The cooling and heating loads are two of the criteria that shall be used for equipment sizing and selection.

   Note: Heating systems are required to have a minimum heating capacity adequate to meet the minimum requirements of the CBC. The furnace output capacity and other specifications are published in the Commission's directory of certified equipment or other directories approved by the Commission.

2. **Design conditions.** For the purpose of sizing the space- conditioning (HVAC) system, the indoor design temperatures shall be 68°F for heating and 75°F for cooling. Outdoor design conditions shall be selected from Reference Joint Appendix JA2, which is based on data from the ASHRAE Climatic Data for Region X. The outdoor design temperatures for heating shall be no lower than the Heating Winter Median of Extremes values. The outdoor design temperatures for cooling shall be no greater than the 1.0 percent Cooling Dry Bulb and Mean Coincident Wet Bulb values.

3. **Outdoor condensing units.**

   A. **Clearances.** Installed air conditioner and heat pump outdoor condensing units shall have a clearance of at least five (5) feet (1.5 meters) from the outlet of any dryer vent.

   B. **Liquid line drier.** Installed air conditioner and heat pump systems shall be equipped with liquid line filter driers if required, as specified by manufacturer's instructions.

4. **Central forced-air heating furnaces.**

   A. **Temperature rise.** Central forced-air heating furnace installations shall be configured to operate in conformance with the furnace manufacturer's maximum inlet-to-outlet temperature rise specifications.

(i) **Thermostats.** All heating or cooling systems, including heat pumps, not controlled by a central energy management control system (EMCS) shall have a setback thermostat, as specified in Section 110.2(c).

(j) **Insulation for piping and tanks.**

1. **Water piping, solar water-heating system piping, and space-conditioning system line insulation thickness and conductivity.** Piping shall be insulated as follows:

   A. All domestic hot water piping shall be insulated as specified in Section 609.11 of the California Plumbing Code.

   B. Piping for space-conditioning systems, solar water-heating system collector loop, and distribution piping for steam and hydronic heating system shall meet the requirements of Section 120.3(a).

   Exception 1 to Section 150.0(j)1: Factory-installed piping within space-conditioning equipment certified under Section 110.1 or 110.2.

Exception 2 to Section 150.0(j)1: Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. Piping that penetrates metal framing shall use grommets, plugs, wrapping or other insulating material to assure that no contact is made with the metal framing. Insulation shall butt securely against all framing members.

Exception 3 to Section 150.0(j)1: Piping installed in interior or exterior walls shall not be required to have pipe insulation if all of the requirements are met for compliance with (QII) as specified in the Reference Residential Appendix RA3.5.

Exception 4 to Section 150.0(j)1: Piping surrounded with a minimum of 1 inch of wall insulation, 2 inches of crawlspace insulation, or 4 inches of attic insulation shall not be required to have pipe insulation.

2. **Insulation protection.** Pipe insulation shall meet the insulation protection requirements of Section 120.3(b).

(k) **Residential lighting.**

1. **Luminaire requirements.**

   A. **Luminaire efficacy.** All installed luminaires shall meet the requirements in Table 150.0-A.

   Exception 1 to Section 150.0(k)1A: Integrated device lighting. Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers.

   Exception 2 to Section 150.0(k)1A: Navigation lighting such as night lights, step lights, and path lights less than 5 watts.

   Exception 3 to Section 150.0(k)1A: Cabinet lighting. Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater.

   B. **Screw-based luminaires.** Screw-based luminaires shall contain lamps that comply with Reference Joint Appendix JA8.

   C. **Recessed downlight luminaires in ceilings.** Luminaires recessed into ceilings shall meet all of the following requirements:

   i. Shall not contain screw base lamp sockets; and

   ii. Have a label that certifies the luminaire is airtight with air leakage less than 2.0 cfm at 75 Pascals when tested in accordance with ASTM E283. An exhaust fan housing with integral light shall not be required to be certified airtight; and

   iii. Be sealed with a gasket or caulk between the luminaire housing and ceiling, and have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk, or be installed per manufacturer's instructions to maintain airtightness between the luminaire housing and ceiling; and

   iv. Meet the clearance and installation requirements of California Electrical Code Section 410.116 for recessed luminaires.

   Exception to Sections 150.0(k)1Cii and iii: Recessed luminaires marked for use in fire-rated installations extruded into ceiling space and recessed luminaires installed in noninsulated ceilings.

   D. **Light sources in enclosed or recessed luminaires.** Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, shall not be installed in enclosed or recessed luminaires.

   E. **Blank electrical boxes.** The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device shall be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, low voltage wiring or fan speed control.

2. **Indoor lighting controls.**

   A. Lighting shall have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.

   Exception to Section 150.0(k)2A: Ceiling fans may provide control of integrated lighting via a remote control.

   B. No controls shall bypass a dimmer, occupant sensor or vacancy sensor function where that dimmer or sensor has been installed to comply with Section 150.0(k).

   C. Lighting controls shall comply with the applicable requirements of Section 110.9.

   D. An Energy Management Control System (EMCS) or a multiscene programmable control may be used to comply with dimming, occupancy and lighting control requirements in Section 150.0(k)2 if it provides the functionality of the specified controls in accordance with Section 110.9, and the physical controls specified in Section 150.0(k)2A.

   E. **Automatic-off controls.**

   i. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire shall be controlled by an occupancy or vacancy sensor providing automatic-off functionality.

   ii. For lighting internal to drawers and cabinetry with opaque fronts or doors, controls that turn the light off when the drawer or door is closed shall be provided.

   F. **Dimming controls**. Lighting in habitable spaces, including but not limited to living rooms, dining rooms, kitchens and bedrooms, shall have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED light sources in these spaces shall comply with NEMA SSL 7A.

   Exception 1 to Section 150.0(k)2F: Ceiling fans may provide control of integrated lighting via a remote control.

   Exception 2 to Section 150.0(k)2F: Luminaires connected to a circuit with controlled lighting power less than 20 watts or controlled by an occupancy or vacancy sensor providing automatic-off functionality.

   Exception 3 to Section 150.0(k)2F: Navigation lighting such as night lights, step lights, and path lights less than 5 watts, and lighting internal to drawers and cabinetry with opaque fronts or doors or with automatic-off controls.

   G. **Independent controls.** Integrated lighting of exhaust fans shall be controlled independently from the fans. The following shall be controlled separately from ceiling-installed lighting such that one can be turned on without turning on the other:

   i. Undercabinet lighting.

   ii. Undershelf lighting.

   iii. Interior lighting of display cabinets.

   iv. Switched outlets.

3. **Residential outdoor lighting.** In addition to meeting the requirements of Section 150.0(k)1A, luminaires providing residential outdoor lighting shall meet the following requirements, as applicable:

   A. For single-family residential buildings, outdoor lighting permanently mounted to a residential building or to other buildings on the same lot shall meet the requirement in Item i and the requirements in either Item ii or Item iii:

   i. Controlled by a manual ON and OFF control switch that permits the automatic actions of items ii or iii below; and

   ii. Controlled by a photocell and either a motion sensor or an automatic time switch control; or

   iii. Controlled by an astronomical time clock control.

   Controls that override to ON shall not be allowed unless the override automatically returns the automatic control to its normal operation within 6 hours. An energy management control system that provides the specified lighting control functionality and complies with all requirements applicable to the specified controls may be used to meet these requirements.

4. **Internally illuminated address signs.** Internally illuminated address signs shall either:

   A. Comply with Section 140.8; or

   B. Consume no more than 5 watts of power.

5. **Residential garages for eight or more vehicles.** Lighting for residential parking garages for eight or more vehicles shall comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6 and 141.0.

(l) **Reserved.**

(m) **Air-distribution and ventilation system ducts, plenums and fans.**

1. **CMC compliance.**

   A. All air-distribution system ducts and plenums, including but not limited to, mechanical closets and air-handler boxes, shall meet the requirements of the CMC Sections 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible, 3rd Edition, incorporated herein by reference.

   B. Portions of supply-air and return-air ducts and plenums of a space heating or cooling system shall be insulated in accordance with either Subsection i or ii below:

   i. Ducts shall have a minimum installed level of R-6.0, or

   Exception to Section 150.0(m)1Bi: Portions of the duct system located in conditioned space below the ceiling separating the occupiable space from the attic are not required to be insulated if all of the following conditions are met:

   a. The noninsulated portion of the duct system is located entirely inside the building's thermal envelope as confirmed by visual inspection.

   b. At all locations where noninsulated portions of the duct system penetrate into unconditioned space, the penetration shall be draft stopped compliant with CFC Sections 703.1 and 704.1 and air-sealed to the construction materials that are penetrated, using materials compliant with CMC Section E502.4.2 to prevent air infiltration into the cavity. All connections in unconditioned space are insulated to a minimum of R-6.0 as confirmed by visual inspection.

   ii. Ducts do not require insulation when the duct system is located entirely in conditioned space as confirmed through field verification and diagnostic testing in accordance with the requirements of Reference Residential Appendix RA3.1.4.3.8.

   C. Connections of metal ducts and the inner core of flexible ducts shall be mechanically fastened.

   D. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL181A or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used.

   E. Building cavities, support platforms for air handlers and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities

and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.

Exception to Section 150.0(m)1: Ducts and fans integral to a wood heater or fireplace.

2. **Factory-fabricated duct systems.**

   A. All factory-fabricated duct systems shall comply with UL 181 for ducts and closure systems, including collars, connections and splices, and be labeled as complying with UL 181. UL 181 testing may be performed by UL laboratories or a laboratory approved by the Executive Director.

   B. All pressure-sensitive tapes, heat-activated tapes, and mastics used in the manufacture of rigid fiberglass ducts shall comply with UL 181 and UL 181A.

   C. All pressure-sensitive tapes and mastics used with flexible ducts shall comply with UL 181 and UL 181B.

   D. Joints and seams of duct systems and their components shall not be sealed with cloth-back rubber adhesive duct tapes unless such tape is used in combination with mastic and drawbands.

3. **Field-fabricated duct systems.**

   A. Factory-made rigid fiberglass and flexible ducts for field-fabricated duct systems shall comply with UL 181. All pressure-sensitive tapes, mastics, aerosol sealants or other closure systems used for installing field-fabricated duct systems shall meet the applicable requirements of UL 181, UL 181A and UL 181B.

   B. Mastic sealants and mesh.

   i. Sealants shall comply with the applicable requirements of UL 181, UL 181A and UL 18IB, and be nontoxic and water resistant.

   ii. Sealants for interior applications shall be tested in accordance with ASTM C731 and D2202 incorporated herein by reference.

   iii. Sealants for exterior applications shall be tested in accordance with ASTM C731, C732 and D2202, incorporated herein by reference.

   iv. Sealants and meshes shall be rated for exterior use.

   C. Pressure-sensitive tape. Pressure-sensitive tapes shall comply with the applicable requirements of UL 181, UL 181A and UL 181B.

   D. Joints and seams of duct systems and their components shall not be sealed with cloth-back rubber adhesive duct tapes unless such tape is used in combination with mastic and drawbands.

   E. Drawbands used with flexible duct.

   i. Drawbands shall be either stainless-steel worm-drive hose clamps or UV-resistant nylon duct ties.

   ii. Drawbands shall have a minimum tensile strength rating of 150 pounds.

   iii. Drawbands shall be tightened as recommended by the manufacturer with an adjustable tensioning tool.

   F. Aerosol-sealant closures.

   i. Aerosol sealants shall meet the requirements of UL 723 and be applied according to manufacturer specifications.

   ii. Tapes or mastics used in combination with aerosol sealing shall meet the requirements of this section.

4. **Duct insulation R-value ratings**. All duct insulation product R-values shall be based on insulation only (excluding air films, vapor retarder or other duct components) and tested C-values at 75°F mean

temperature at the installed thickness, in accordance with ASTM C518 or ASTM C177, incorporated herein by reference, and certified pursuant to Section 110.8.

5. **Duct insulation thickness**. The installed thickness of duct insulation used to determine its R-value shall be determined as follows:

   A. For duct board, duct liner and factory-made rigid ducts not normally subjected to compression, the nominal insulation thickness shall be used.

   B. For duct wrap, installed thickness shall be assumed to be 75 percent (25 percent compression) of nominal thickness.

   C. For factory-made flexible air ducts, the installed thickness shall be determined by dividing the difference between the actual outside diameter and nominal inside diameter by two.

6. **Duct labeling.** Insulated flexible duct products installed to meet this requirement shall include labels, in maximum intervals of 3 feet, showing the thermal performance R-value for the duct insulation itself (excluding air films, vapor retarders or other duct components), based on the tests in Section 150.0(m)4 and the installed thickness determined by Section 150.0(m)5C.

7. **Backdraft dampers**. All fan systems, regardless of volumetric capacity, that exchange air between the building conditioned space and the outside of the building shall be provided with backdraft or automatic dampers to prevent unintended air leakage through the fan system when the fan system is not operating.

8. **Gravity ventilation dampers.** All gravity ventilating systems that serve conditioned space shall be provided with either automatic or readily accessible, manually operated dampers in all openings to the outside except combustion inlet and outlet air openings and elevator shaft vents.

9. **Protection of insulation.** Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance and wind, but not limited to the following: Insulation exposed to weather shall be suitable for outdoor service, e.g., protected by aluminum, sheet metal, painted canvas or plastic cover. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.

10. **Porous inner core flex duct.** Flexible ducts having porous inner cores shall have a non-porous layer or air barrier between the inner core and the outer vapor barrier.

11. **Duct system sealing and leakage testing.** When space-conditioning systems utilize forced air duct systems to supply conditioned air to an occupiable space, the ducts shall be sealed as confirmed through field verification and diagnostic testing in accordance with all applicable procedures specified in Reference Residential Appendix RA3.1, and conforming to one of the following Subsections A, B or C as applicable, Air handler airflow for calculation of duct leakage rate compliance targets shall be determined according to methods specified in Reference Residential Appendix RA3.1.4.2.

    A. For single-family dwellings and townhouses with the air-handling unit installed and the ducts connected directly to the air handler, the total leakage of the duct system shall not exceed 5 percent of the air handler airflow as determined utilizing the procedures in Reference Residential Appendix Section RA3.1.4.3.1.

    B. For single-family dwellings and townhouses at the rough-in stage of construction prior to installation of the dwelling's interior finishing:

    i. **Air-handling unit installed.** If the air-handling unit is installed and the ducts are connected directly to the air handler, the total leakage of the duct system shall not exceed 5 percent of the air handler airflow as determined utilizing the procedures in Reference Residential Appendix Sections RA3.1.4.3.2, RA3.1.4.3.2.1 and RA3.1.4.3.3.

    ii. **Air-handling unit not yet installed.** If the air-handling unit is not yet installed, the total leakage of the duct system shall not exceed 4 percent of the air handler airflow as determined utilizing the procedures in Reference Residential Appendix Sections RA3.1.4.3.2, RA3.1.4.3.2.2 and RA3.1.4.3.3.

12. **Air filtration.**

    A. System types specified in Subsections i, ii, and iii shall be provided with air filters in accordance with Sections 150.0(m)12B, 150.0(m)12C, and 150.0(m)12D. System types specified in Subsection i shall also comply with Section 150.0(m)12E.

    i. Mechanical space-conditioning systems that supply air to an occupiable space through ductwork exceeding 10 feet (3 m) in length.

    ii. Mechanical supply-only ventilation systems and makeup air systems that provide outside air to an occupiable space.

    iii. The supply side of mechanical balanced ventilation systems, including heat recovery ventilation systems, and energy recovery ventilation systems that provide outside air to an occupiable space.

    Exception 1 to Section 150.0(m)12A: Evaporative coolers are exempt from the air filtration requirements in Section 150.0(m)12.

    B. **System design and installation.**

    i. The system shall be designed to ensure that all recirculated air and all outdoor air supplied to the occupiable space is filtered before passing through any system's thermal conditioning components.

    Exception 1 to Section 150.0(m)12Bi: For heat recovery ventilators and energy recovery ventilators the location of the filters required by Section 150.0(m)12 may be downstream of a system thermal conditioning component, provided the system is equipped with ancillary filtration upstream of the system's thermal conditioning component.

    ii. All systems shall be designed to accommodate the clean-filter pressure drop imposed by the system air filter(s). The design airflow rate and maximum allowable clean-filter pressure drop at the design airflow rate applicable to each air filter shall be determined and reported on labels according to Subsection iv below.

    Systems specified in Section 150.0(m)12Ai shall be equipped with air filters that meet either Subsection a or b below.

    a. Nominal two-inch minimum depth filter(s) shall be sized by the system designer, or

    b. Nominal one-inch minimum depth filter(s) shall be allowed if the filter(s) are sized according to Equation 150.0-A, based on a maximum face velocity of 150 ft per minute, and according to the maximum allowable clean-filter pressure drop specified in Section 150.0(m)12Dii.

    $A_{face} = Q_{filter}/V_{face}$ (Equation 150.0-A)

    where

    A_{face} = air filter face area, the product of air filter nominal length x nominal width, ft^2.

    Q_{filter} = design airflow rate for the air filter, ft^3/min.

    V_{face} = air filter face velocity £150, ft/min.

    iii. All system air filters shall be located and installed in such a manner as to be accessible for regular service by the system owner.

    iv. All system air filter installation locations shall be labeled to disclose the applicable design airflow rate and the maximum allowable clean-filter pressure drop. The labels shall be permanently affixed to the air filter installation location, readily legible, and visible to a person replacing the air filter.

    v. Filter racks or grilles shall use gaskets, sealing or other means to close gaps around inserted filters to and prevent air from bypassing the filter.

    C. **Air filter efficiency.** The system shall be provided with air filter(s) having a designated efficiency equal to or greater than MERV 13 when tested in accordance with ASHRAE Standard 52.2, or a particle size efficiency rating equal to or greater than 50 percent in the 0.30-1.0 mm range, and equal to or greater than 85 percent in the 1.0-3.0 mm range when tested in accordance with AHRI Standard 680.

    D. **Air filter pressure drop.** All system shall be provided with air-filter(s) that conforms to the applicable maximum allowable clean-filter pressure drop specified in Subsections i, ii, iii, or iv below, when tested using ASHRAE Standard 52.2, or as rated using AHRI Standard 680, for the applicable design airflow rate(s) for the system air filter(s).

    i. The maximum allowable clean-filter pressure drop shall be determined by the system design for the nominal two-inch minimum depth air filter required by Section 150.0(m)12Biia, or

    ii. A maximum of 25 PA (0.1 inches water) clean-filter pressure drop shall be allowed for a nominal one-inch depth air filter sized according to Section 150.0(m)12Biib, or

    iii. For systems specified in 150.0(m)12Aii, and 150.0(m)12Aiii, the maximum allowable clean filter pressure drop shall be determined by the system design.

    iv. If Exception 1 to Section 150.0(m)13B or D is utilized for compliance with cooling system airflow rate and fan efficacy requirements, the clean-filter pressure drop for the system air filter shall conform to the requirements given in Table 150.0-B or 150.0-C.

    E. **Air filter product labeling**. Systems described in 150.0(m)12)Ai shall be equipped with air filters that have been labeled by the manufacturer to disclose the efficiency and pressure drop ratings that demonstrate conformance with Sections 150.0(m)12C and 150.0(m)12D.

13. **Space conditioning system airflow rate and fan efficacy.** Space conditioning systems that utilize forced air ducts to supply cooling to an occupiable space shall:

    A. **Static pressure probe.** Have a hole for the placement of a static pressure probe (HSPP), or a permanently installed static pressure probe (PSPP) in the supply plenum downstream of the air conditioning evaporator coil. The size, location, and labeling of the HSPP or PSPP shall conform to the requirements specified in Reference Residential Appendix RA3.3.1.1 as confirmed by field verification and diagnostic testing; and

    Exception to 150.0(m)13A: Systems that cannot conform to the specifications for hole location in Reference Residential Appendix Figure RA3.3-1 shall not be required to provide holes as described in Figure RA3.3-1.

    B. **Single zone central forced air systems.** Demonstrate, in every control mode, airflow greater than or equal to 350 CFM per ton of nominal cooling capacity through the return grilles, and an air-handling unit fan efficacy less than or equal to the maximum W/CFM specified in Subsections i or ii below. The airflow rate and fan efficacy requirements in this section shall be confirmed by field verification and diagnostic testing in accordance with the procedures given in Reference Residential Appendix RA3.3.

    i. 0.45 W/CFM for gas furnace air-handling units.

    ii. 0.58 W/CFM for air-handling units that are not gas furnaces.

    C. **Zonally controlled central forced air systems.** Zonally controlled central forced air cooling systems shall be capable of simultaneously delivering, in every zonal control mode, an airflow from the dwelling, through the air handler fan and delivered to the dwelling, of greater than or equal to 350 cfm per ton of nominal cooling capacity, and operating at an air-handling unit fan efficacy of less than or equal to the maximum W/CFM specified in Subsections i or ii below. The airflow rate and fan efficacy requirements in this section shall be confirmed by field verification and diagnostic testing in accordance with the applicable procedures specified in Reference Residential Appendix RA3.3.

    i. 0.45 W/CFM for gas furnace air-handling units.

    ii. 0.58 W/CFM for air-handling units that are not gas furnaces.

    D. **Small duct high velocity forced air systems.** Demonstrate, in every control mode, airflow greater than or equal to 250 CFM per ton of nominal cooling capacity through the return grilles, and an air-handling unit fan efficacy less than or equal to 0.62 W/CFM as confirmed by field verification and diagnostic testing in accordance with the procedures given in Reference Residential Appendix RA3.3.

    Exception 1 to Section 150.0(m)13B and D: Standard ducted systems (without zoning dampers) may comply by meeting the applicable requirements in Table 150.0-B or 150.0-C as confirmed by field verification and diagnostic testing in accordance with the procedures in Reference Residential Appendix Sections RA3.1.4.4 and RA3.1.4.5. The design clean-filter pressure drop requirements specified by Section 150.0(m)12Div for the system air filter(s) shall conform to the requirements given in Tables 150.0-B and 150.0-C.

    Exception 2 to Section 150.0(m)13B and D: Multispeed compressor systems or variable speed compressor systems shall verify air flow (cfm/ton) and fan efficacy (Watt/cfm) for system operation at the maximum compressor speed and the maximum air handler fan speed.

    Exception 3 to Section 150.0(m)13B: Gas furnace air-handling units manufactured prior to July 3, 2019 shall comply with a fan efficacy value less than or equal to 0.58 w/cfm as confirmed by field verification and diagnostic testing in accordance with the procedures given in Reference Residential Appendix RA3.3.

    Exception 1 to Section 150.0(m)13C: Multispeed or variable speed compressor systems, or single speed compressor systems that utilize the performance compliance approach, shall demonstrate compliance with the airflow (cfm/ton) and fan efficacy (Watt/cfm) requirements of Section 150.0(m)13C by operating the system at maximum compressor capacity and system fan speed with all zones calling for conditioning, rather than in every zonal control mode.

    Exception 2 to Section 150.0(m)13C: Gas furnace air-handling units manufactured prior to July 3, 2019 shall comply with a fan efficacy value less than or equal to 0.58 w/cfm as confirmed by field verification and diagnostic testing in accordance with the procedures given in Reference Residential Appendix RA3.3.

(n) **Water heating system.**

1. Systems using gas or propane water heaters to serve individual dwelling units shall designate a space at least 2.5 feet by 2.5 feet wide and 7 feet tall suitable for the future installation of a heat pump water heater (HPWH) by meeting either A or B below. All electrical components shall be installed in accordance with the *California Electrical Code*:

   A. If the designated space is within 3 feet from the water heater, then this space shall include the following:

   i. A dedicated 125 volt, 20 amp electrical receptacle that is connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater and accessible to the water heater with no obstructions; and

   ii. Both ends of the unused conductor shall be labeled with the word "spare" and be electrically isolated; and

   iii. A reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit in A above and labeled with the words "Future 240V Use"; and

   iv. A condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance.

   B. If the designated space is more than 3 feet from the water heater, then this space shall include the following:

   i. A dedicated 240 volt branch circuit shall be installed within 3 feet from the designated space. The branch circuit shall be rated at 30 amps minimum. The blank cover shall be identified as "240V ready"; and

   ii. The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future HPWH installation. The reserved space shall be permanently marked as "For Future 240V use"; and

   iii. Either a dedicated cold water supply, or the cold water supply shall pass through the designated HPWH location just before reaching the gas or propane water heater; and

   iv. The hot water supply pipe coming out of the gas or propane water heater shall be routed first through the designated HPWH location before serving any fixtures; and

   v. The hot and cold water piping at the designated HPWH location shall be exposed and readily accessible for future installation of an HPWH; and

   vi. A condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance.

2. Water heating recirculation loops serving multiple dwelling units shall meet the requirements of Section 110.3(c)4.
3. Solar water-heating systems and collectors shall be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
4. Instantaneous water heaters with an input rating greater than 6.8 kBTU/hr (2kW) shall meet the requirements of Section 110.3(c)6.

(o) **Requirements for ventilation and indoor air quality.** All dwelling units shall meet the requirements of ASHRAE Standard 62.2. Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in Section 150.0(o)1 below. All dwelling units shall comply with Section 150.0(o)2 below.

Exception to Section 150.0(o): The following sections of ASHRAE 62.2 shall not be required for compliance: Section 4.1.1, Section 4.1.2, Section 4.1.4, Section 4.3, Section 4.6, Section 5, Section 6.1.1, Section 6.5.2 and Normative Appendix A.

1. **Amendments to ASHRAE 62.2 requirements.**

   A. **Window operation.** Window operation is not a permissible method of providing the dwelling unit ventilation airflow specified in Section 150.0(o)1C below.

   B. **Central fan integrated (CFI) ventilation systems.** CFI ventilation systems shall meet the following requirements.

   i. **Continuous operation prohibition.** Continuous operation of a dwelling unit's central forced air system air handlers used in CFI ventilation systems is not a permissible method of providing the whole-dwelling unit ventilation airflow required in Section 150.0(o)1C.

   ii. **Outdoor air damper(s)**. A motorized damper(s) shall be installed on the connected ventilation duct(s) of CFI systems that prevents all airflow into or out of the space-conditioning duct system when the damper(s) is closed.

   iii. **Damper control**. The required motorized damper(s) shall be controlled to be in an opened position when outdoor air ventilation is required for compliance, and shall be in the closed position when ventilation air is not required. The damper(s) shall be closed whenever the space-conditioning system air handling unit is not operating. If the outdoor airflow for the CFI ventilation system is fan-powered, then the outdoor air fan shall not operate when the required motorized damper(s) on the outdoor air ventilation duct(s) is closed.

   iv. **Variable ventilation.** CFI ventilation systems shall incorporate controls that track outdoor air ventilation run time, and either open or close the required motorized damper(s) depending on whether or not outdoor air ventilation is required for compliance with Section 150.0(o)1C. During periods when comfort conditioning is not called for by the space-conditioning thermostat, the CFI ventilation system controls shall operate the space-conditioning system central fan and outdoor air damper(s) when necessary to ensure compliance with the minimum outdoor air ventilation required by Section 150.0(o) in accordance with applicable variable mechanical ventilation methods specified in ASHRAE 62.2 Section 4.5.

   C. **Whole-dwelling unit mechanical ventilation for single-family detached and townhouses.** Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces shall have mechanical ventilation airflow as specified in Subsections i, ii, and iii below.

   i. **Total Required Ventilation Rate [ASHRAE 62.2:4.1.1].**

   The total required ventilation rate shall be calculated using Equation 150.0-B.

   $$Q_{tot} = 0.03A_{floor} + 7.5(N_{br} + 1) \quad \text{(Equation 150.0-B)}$$

   where

   Q_{tot} = total required ventilation rate, cfm

   A_{floor} = dwelling-unit floor area, ft^2

   N_{br} = number of bedrooms (not to be less than 1)

   ii. **Effective Annual Average Infiltration Rate.** The effective annual average infiltration rate shall be determined in accordance with Subsections a and b:

   a. An enclosure leakage rate in cubic feet per minute at 50 Pa (0.2 inch water) (Q_{50}) shall be determined by either Subsection 1, or Subsection 2 below.

   1. Q_{50} shall be calculated based on the conditioned volume of the dwelling unit and a default value for dwelling unit envelope leakage of 2 air changes per hour at 50 PA (0.2 inch water) (2 ACH_{50}) as specified by equation 150.0-C below.

   $$Q_{50} = V_{du} \times 2\ ACH_{50}/60\ min$$

   (Equation 150.0-C)

   where

   Q_{50} = leakage rate at 50 Pa.

   V_{du} = dwelling unit conditioned volume, ft^3.

   ACH_{50} =air changes per hour at 50 Pa (0.2 inch water).

   2. If dwelling unit envelope leakage less than 2 ACH_{50} is confirmed by field verification and diagnostic testing, Q_{50} shall be calculated according to Equation 150.0-D below, using the value for dwelling unit envelope leakage less than 2 ACH_{50} verified by the procedures specified in Reference Residential Appendix RA3.8.

   $$Q_{50} = V_{du} \times Verified\ ACH_{50}/60\ min$$

(Equation 150.0-D)

where

Q_{50} = leakage rate at 50 Pa

V_{du} = dwelling unit conditioned volume, ft^3.

ACH_{50} = air changes per hour at 50 Pa (0.2 inch water).

   b. The Effective Annual Average Infiltration Rate (Q_{inf}) shall be calculated using Equation 150.0-E [ASHRAE 62.2:4.1.2.1].

   $$Q_{inf} = 0.052 \times Q_{50} \times wsf \times [H/H_r]^z \quad \text{(Equation 150.0-E)}$$

   where

   Q_{inf} = effective annual infiltration rate, cfm (L/s)

   Q_{50} = leakage rate at 50 Pa from equation 150.0-C, or equation 150.0-D

   wsf = weather and shielding factor from Table 150.0-D

   H = vertical distance between the lowest and highest above-grade points within the pressure boundary, ft (m)

   H_r = reference height, 8.2 ft (2.5 m)

   z = 0.4 for the purpose of calculating the Effective Annual Average Infiltration Rate

   iii. **Required Mechanical Ventilation Rate [ASHRAE 62.2:4.1.2]**

   The Required Mechanical Ventilation Rate (Q_{fan}) shall be calculated using Equation 150.0-F.

   $$Q_{fan} = Q_{tot} - F\,(Q_{inf} \times A_{ext})$$

   (Equation 150.0-F)

   where

   Q_{fan} = required mechanical ventilation rate, cfm (L/s).

   Q_{tot} = total required ventilation rate, cfm (L/s) from Equation 150.0-B.

   Q_{inf} = effective annual average infiltration rate, cfm (L/s) from Equation 150.0-E.

   A_{ext} = 1 for single-family detached homes, or the ratio of exterior envelope surface area that is not attached to garages or other dwelling units to total envelope surface area for attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces.

   F = 1 for balanced ventilation systems and Q_{inf}/Q_{tot} otherwise.

   D. **Air filtration.** Air filtration shall conform to the specifications in Section 150.0(m)12. Compliance with ASHRAE 62.2 Sections 6.7 (Minimum Filtration) and 6.7.1 (Filter Pressure Drop) shall not be required.

   E. **Reserved.**

   F. **Reserved.**

   G. **Local mechanical exhaust.** A local mechanical exhaust system shall be installed in each kitchen and bathroom. Systems shall be rated for airflow in accordance with ASHRAE 62.2 Section 7.1.

   i. **Nonenclosed kitchens** shall have a demand-controlled mechanical exhaust system meeting the requirements of Section 150.0(o)1Giii.

   ii. **Enclosed kitchens and all bathrooms** shall have either one of the following alternatives a or b:

   a. A demand-controlled mechanical exhaust system meeting the requirements of Section 150.0(o)1Giii.

   b. A continuous mechanical exhaust system meeting the requirements of Section 150.0(o)1Giv.

   iii. **Demand-controlled mechanical exhaust.** A local mechanical exhaust system shall be designed to be operated as needed.

   a. **Control and operation.** Demand-controlled mechanical exhaust systems shall be provided with at least one of the following controls:

   1. A readily accessible occupant-controlled ON-OFF control.
   2. An automatic control that does not impede occupant ON control.

   b. **Ventilation rate and capture efficiency.** The system shall meet or exceed either the minimum airflow in accordance with Table 150.0-E or the minimum capture efficiency in accordance with Table 150.0-E, and Table 150.0-G. Capture efficiency ratings shall be determined in accordance with ASTM E3087 and listed in a product directory approved by the Energy Commission.

   iv. **Continuous mechanical exhaust.** A mechanical exhaust system shall be installed to operate continuously. The system may be part of a balanced mechanical ventilation system.

   a. **Control and operation**. A manual ON-OFF control shall be provided for each continuous mechanical exhaust system. The system shall be designed to operate during all occupiable hours. The ON-OFF control shall be accessible to the dwelling unit occupant.

   b. **Ventilation rate.** The minimum delivered ventilation shall be at least the amount indicated in Table 150.0-F during each hour of operation.

   v. **Airflow measurement of local mechanical exhaust by the system installer.** The airflow required by Section 150.0(o)1G is the quantity of indoor air exhausted by the ventilation system as installed in the dwelling unit. When a vented range hood utilizes a capture efficiency rating to demonstrate compliance with Section 150.0(o)1Giiib, the airflow listed in the approved directory corresponding to the compliant capture efficiency rating point shall be met by the installed system. The as-installed airflow shall be verified by the system installer to ensure compliance by use of either Subsection a or b below:

   a. The system installer shall measure the airflow by using a flow hood, flow grid or other airflow measuring device at the mechanical ventilation fan's inlet terminals/grilles or outlet terminals/grilles in accordance with the procedures in Reference Residential Appendix RA3.7.

   b. As an alternative to performing an airflow measurement of the system as installed in the dwelling unit, compliance may be demonstrated by installing an exhaust fan and duct system that conforms to the specifications of Table 150.0-H. Visual inspection shall verify the installed system conforms to the requirements of Table 150.0-H.

   When using Table 150.0-H for demonstrating compliance, the airflow rating shall be greater than or equal to the value required by Section 150.0(o)1G at a static pressure greater than or equal to 0.25 in. of water (62.5 Pa). When a vented range hood utilizes a capture efficiency rating to demonstrate compliance with Section 150.0(o)1Giiib, a static pressure greater than or equal to 0.25 in. of water at the rating point shall not be required, and the airflow listed in the approved directory corresponding to the compliant capture efficiency rating point shall be applied to Table 150.0-H for determining compliance.

   Use of Table 150.0-H is limited to ventilation systems that conform to all of the following three specifications:

   1. Total duct length is less than or equal to 25 ft (8 m),

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2. Duct system has no more than three elbows, and
3. Duct system has exterior termination fitting with a hydraulic diameter greater than or equal to the minimum duct diameter and not less than the hydraulic diameter of the fan outlet.

vi. **Sound ratings for local mechanical exhaust.** Local mechanical exhaust systems shall be rated for sound in accordance with Section 7.2 of ASHRAE 62.2 at no less than the minimum airflow rate required by Section 150.0(o)1G.

Exception to Section 150.0(o)1Gvi: Kitchen range hoods may be rated for sound at no less than 100 cfm at a static pressure determined at working speed as specified in HVI 916 section 7.2.

H. **Airflow measurement of whole-dwelling unit ventilation.** The airflow required by Section 150.0(o)1C is the quantity of outdoor ventilation air supplied or indoor air exhausted by the mechanical ventilation system as installed and shall be measured by using a flow hood, flow grid or other airflow measuring device at the mechanical ventilation fan's inlet terminals/grilles or outlet terminals/grilles in accordance with the procedures in Reference Residential Appendix RA3.7. Balanced mechanical ventilation system airflow shall be the average of the supply fan and exhaust fan flows.

I. **Sound ratings for whole-dwelling unit ventilation systems. Whole-**dwelling unit ventilation systems shall be rated for sound in accordance with Section 7.2 of ASHRAE 62.2 at no less than the minimum airflow rate required by Section 150.0(o)1C.

J. **Label for whole-dwelling unit ventilation system on-off control**. Compliance with ASHRAE 62.2 Section 4.4 (Control and Operation) shall require manual ON-OFF control switches associated with whole-dwelling unit ventilation systems to have a label clearly displaying the following text, or equivalent text: "This switch controls the indoor air quality ventilation for the home. Leave switch in the 'on' position at all times unless the outdoor air quality is very poor."

K. **Combustion air and compensating outdoor air or makeup air.**

i. All dwelling units shall conform to the applicable requirements specified in California Mechanical Code Chapter 7, Combustion Air.

ii. All dwelling units shall conform to the requirements in ASHRAE 62.2 Section 6.4, Combustion and Solid-Fuel-Burning Appliances.

2. **Field verification and diagnostic testing.**

A. **Whole-dwelling unit ventilation airflow performance**. The whole-dwelling unit ventilation airflow required by Section 150.0(o)1C shall be confirmed through field verification and diagnostic testing in accordance with the applicable procedures specified in Reference Residential Appendix RA3.7. Balanced mechanical ventilation system airflow shall be the average of the supply fan and exhaust fan flows. Ventilation airflow of systems with multiple operating modes shall be tested in all modes designed to comply with the required ventilation airflows.

B. **Kitchen local mechanical exhaust—vented range hoods**. Vented range hoods installed to comply with local mechanical exhaust requirements specified in Section 150.0(o)1G shall be field verified in accordance with the procedures in Reference Residential Appendix RA3.7.4.3 to confirm the model is rated by HVI or AHAM to comply with the following requirements:

i. The minimum ventilation airflow rate as specified by Section 150.0(o)1G, or alternatively the minimum capture efficiency as specified by Section 150.0(o)1G.

ii The maximum sound rating as specified in Section 150.0(o)1Gvi.

C. **Heat recovery ventilation (HRV) and energy recovery ventilation (ERV) system fan efficacy**. Systems with heat or energy recovery serving a single dwelling unit shall have a fan efficacy of ≤1.0 W/cfm as confirmed by HERS field verification in accordance with Reference Appendix RA3.7.4.4.

(p) **Pool systems and equipment installation.** Any residential pool system or equipment installed shall comply with the applicable requirements of Section 110.4, as well as the requirements listed in this section.

1. **Pump sizing and flow rate.**

A. All installed pumps and pump motors subject to State or federal appliance standards shall be listed in the Commission's directory of certified equipment and shall comply with the Appliance Efficiency Regulations.

B. All pump flow rates shall be calculated using the following system equation:

$H = C \times F^2$

where:

H is the total system head in feet of water.

F is the flow rate in gallons per minute (gpm).

C is a coefficient based on the volume of the pool:

0.0167 for pools less than or equal to 17,000 gallons.

0.0082 for pools greater than 17,000 gallons.

C. Filtration pumps shall be sized, or if programmable shall be programmed, so that the filtration flow rate is not greater than the rate needed to turn over the pool water volume in 6 hours or 36 gpm, whichever is greater; and

D. Pump motors used for filtration shall meet the applicable federal standard in 10 CFR 431.465; and

E. Each auxiliary pool load shall be served by either separate pumps, or the system shall be served by a multispeed pump; and

Exception to Section 150.0(p)1E: Pumps less than 1 hp may be single speed.

F. Multispeed pumps shall have controls which default to the filtration flow rate when no auxiliary pool loads are operating; and

G. For multispeed pumps, the controls shall default to the filtration flow rate setting within 24 hours and shall have an override capability for servicing.

2. **System piping.**

A. A length of straight pipe that is greater than or equal to at least 4 pipe diameters shall be installed before the pump; and

B. Pool piping shall be sized so that the velocity of the water at maximum flow for auxiliary pool loads does not exceed 8 feet per second in the return line and 6 feet per second in the suction line; and

C. All elbows shall be sweep elbows or of an elbow-type that has a pressure drop of less than the pressure drop of straight pipe with a length of 30 pipe diameters.

3. **Filters.** Filters shall be at least the size specified in NSF/ANSI 50 for public pool intended applications.

4. **Valves.** Minimum diameter of backwash valves shall be 2 inches or the diameter of the return pipe, whichever is greater.

(q) **Fenestration products.** Fenestration separating conditioned space from unconditioned space or outdoors shall meet the requirements of either Item 1 or 2 below:

1. Fenestration, including skylight products, must have a maximum U-factor of 0.45.

Exception 1 to Section 150.0(q)1: Up to 10 square feet of fenestration area or 0.5 percent of the conditioned floor area, whichever is greater, is exempt from the maximum U-factor requirement.

Exception 2 to Section 150.0(q)1: For dual-glazed greenhouse or garden windows, up to 30 square feet of fenestration area is exempt from the maximum U-factor requirement.

2. The area-weighted average U-factor of all fenestration, including skylight products shall not exceed 0.45.

(r) **Solar ready buildings.** shall meet the requirements of Section 110.10 applicable to the building project.

(s) **Energy Storage Systems (ESS) ready.** All single-family residences that include one or two dwelling units shall meet the following. All electrical components shall be installed in accordance with the *California Electrical Code*:

1. At least one of the following shall be provided:

A. ESS ready interconnection equipment with a minimum backed-up capacity of 60 amps and a minimum of four ESS-supplied branch circuits, or

B. A dedicated raceway from the main service to a panelboard (subpanel) that supplies the branch circuits in Section 150.0(s)(2). All branch circuits are permitted to be supplied by the main service panel prior to the installation of an ESS. The trade size of the raceway shall be not less than one inch. The panelboard that supplies the branch circuits (subpanel) must be labeled "Subpanel shall include all backed-up load circuits."

2. A minimum of four branch circuits shall be identified and have their source of supply collocated at a single panelboard suitable to be supplied by the ESS. At least one circuit shall supply the refrigerator, one lighting circuit shall be located near the primary egress, and at least one circuit shall supply a sleeping room receptacle outlet.

3. The main panelboard shall have a minimum busbar rating of 225 amps.

4. Sufficient space shall be reserved to allow future installation of a system isolation equipment/transfer switch within 3 feet of the main panelboard. Raceways shall be installed between the panelboard and the system isolation equipment/transfer switch location to allow the connection of backup power source.

(t) **Heat pump space heater ready.** Systems using gas or propane furnace to serve individual dwelling units shall include the following:

1. A dedicated 240 volt branch circuit wiring shall be installed within 3 feet from the furnace and accessible to the furnace with no obstructions. The branch circuit conductors shall be rated at 30 amps minimum. The blank cover shall be identified as "240V ready." All electrical components shall be installed in accordance with the *California Electrical Code*.

2. The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future heat pump space heater installation. The reserved space shall be permanently marked as "For Future 240V use."

(u) **Electric cooktop ready.** Systems using gas or propane cooktop to serve individual dwelling units shall include the following:

1. A dedicated 240 volt branch circuit wiring shall be installed within 3 feet from the cooktop and accessible to the cooktop with no obstructions. The branch circuit conductors shall be rated at 50 amps minimum. The blank cover shall be identified as "240V ready." All electrical components shall be installed in accordance with the *California Electrical Code*.

2. The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future electric cooktop installation. The reserved space shall be permanently marked as "For Future 240V use."

(v) **Electric clothes dryer ready.** Clothes dryer locations with gas or propane plumbing to serve individual dwelling units shall include the following:

1. A dedicated 240 volt branch circuit wiring shall be installed within 3 feet from the clothes dryer location and accessible to the clothes dryer location with no obstructions. The branch circuit conductors shall be

rated at 30 amps minimum. The blank cover shall be identified as "240V ready." All electrical components shall be installed in accordance with the *California Electrical Code*.

2. The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future electric clothes dryer installation. The reserved space shall be permanently marked as "For Future 240V use."

TABLE 150.0-A CLASSIFICATION OF HIGH LUMINOUS EFFICACY LIGHT SOURCES

Light sources in this column other that those installed in ceiling recessed downlight luminaires are classified as high luminous efficacy and are **not** required to comply with Reference Joint Appendix JA8.	Light sources in this column are required to comply with Reference Joint Appendix JA8 and shall be certified and marked as required by JA8.
1. LED light sources installed outdoors. 2. Inseparable Solid State Lighting (SSL) luminaires containing colored light sources that are installed to provide decorative lighting. 3. Pin-based linear fluorescent or compact fluorescent light sources using electronic ballasts. 4. High intensity discharge (HID) light sources including pulse start metal halide and high pressure sodium light sources. 5. Luminaires with hardwired high frequency generator and induction lamp. 6. Ceiling Fan Light Kits subject to federal appliance regulations.	7. All light sources installed in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw base sockets regardless of lamp type as specified in Section 150.0(k)1C. 8. Any light source not otherwise listed in this table.

TABLE 150.0-B: Return Duct Sizing for Single Return Duct Systems

Return duct length shall not exceed 30 feet and shall contain no more than 180 degrees of bend. If the total bending exceeds 90 degrees, one bend shall be a metal elbow.

Return grille devices shall be labeled in accordance with the requirements in Section 150.0(m)12Biv to disclose the grille's design airflow rate and a maximum allowable clean-filter pressure drop of 25 Pa (0.1 inches water) for the air filter when tested using ASHRAE Standard 52.2, or as rated in accordance with AHRI Standard 680 for the design airflow rate for the return grille.

SYSTEM NOMINAL COOLING CAPACITY (Ton)*	RETURN DUCT MINIMUM NOMINAL DIAMETER (inch)	MINIMUM TOTAL RETURN FILTER GRILLE NOMINAL AREA (inch²)
1.5	16	500
2.0	18	600
2.5	20	800

*Not applicable to systems with nominal cooling capacity greater than 2.5 tons or less than 1.5 ton.

TABLE 150.0-C: Return Duct Sizing for Multiple Return Duct Systems

Each return duct length shall not exceed 30 feet and shall contain no more than 180 degrees of bend. If the total bending exceeds 90 degrees,", one bend shall be a metal elbow.

Return grille devices shall be labeled in accordance with the requirements in Section 150.0(m)12Biv to disclose the grille's design airflow rate and a maximum allowable clean-filter pressure drop of 25 Pa (0.1 inches water) for the air filter when tested using ASHRAE Standard 52.2, or as rated in accordance with AHRI Standard 680 for the design airflow rate for the return grille.

System Nominal Cooling Capacity (Ton)*	Return Duct 1 Minimum Nominal Diameter (inch)	Return Duct 2 Minimum Nominal Diameter (inch)	Minimum Total Return Filter Grille Nominal Area (inch²)
1.5	12	10	500
2.0	14	12	600
2.5	14	14	800
3.0	16	14	900
3.5	16	16	1000
4.0	18	18	1200
5.0	20	20	1500

**Not applicable to systems with nominal cooling capacity greater than 5.0 tons or less than 1.5 tons.*

TABLE 150.0-D: Infiltration Effectiveness Weather and Shielding Factors [ASHRAE 62.2:Table B1]

TMY3	Wsf	Weather Station	Latitude	Longitude	State
690150	0.50	Twentynine Palms	34.30	−116.17	California
722860	0.43	March AFB	33.90	−117.25	California
722868	0.45	Palm Springs Intl	33.83	−116.50	California
722869	0.42	Riverside Muni	33.95	−117.45	California
722880	0.39	Burbank–Glendale–Pasadena AP	34.20	−118.35	California
722885	0.39	Santa Monica Muni	34.02	−118.45	California
722886	0.39	Van Nuys Airport	34.22	−118.48	California
722895	0.55	Lompoc (AWOS)	34.67	−120.47	California
722897	0.51	San Luis Co Rgnl	35.23	−120.63	California
722899	0.45	Chino Airport	33.97	−117.63	California
722900	0.38	San Diego Lindbergh Field	32.73	−117.17	California
722903	0.39	San Diego/Montgomery	32.82	−117.13	California
722904	0.40	Chula Vista Brown Field NAAS	32.58	−116.98	California
722906	0.39	San Diego North Island NAS	32.70	−117.20	California
722926	0.40	Camp Pendleton MCAS	33.30	−117.35	California
722927	0.38	Carlsbad/Palomar	33.13	−117.28	California
722930	0.39	San Diego Miramar NAS	32.87	−117.13	California

TABLE 150.0-D: Infiltration Effectiveness Weather and Shielding Factors [ASHRAE 62.2:Table B1] (continued)

722950	0.42	Los Angeles Intl Arpt	33.93	−118.40	California
722956	0.38	Jack Northrop Fld H	33.92	−118.33	California
722970	0.38	Long Beach Daugherty Fld	33.83	−118.17	California
722976	0.34	Fullerton Municipal	33.87	−117.98	California
722977	0.36	Santa Ana John Wayne AP	33.68	−117.87	California
723805	0.51	Needles Airport	34.77	−114.62	California
723810	0.59	Edwards AFB	34.90	−117.87	California
723815	0.58	Daggett Barstow–Daggett AP	34.85	−116.80	California
723816	0.62	Lancaster Gen Wm Fox Field	34.73	−118.22	California
723820	0.57	Palmdale Airport	34.63	−118.08	California
723830	0.68	Sandberg	34.75	−118.72	California
723840	0.43	Bakersfield Meadows Field	35.43	−119.05	California
723890	0.45	Fresno Yosemite Intl AP	36.78	−119.72	California
723895	0.42	Porterville (AWOS)	36.03	−119.07	California
723896	0.43	Visalia Muni (AWOS)	36.32	−119.40	California
723910	0.45	Point Mugu Nf	34.12	−119.12	California
723925	0.44	Santa Barbara Municipal AP	34.43	−119.85	California
723926	0.43	Camarillo (AWOS)	34.22	−119.08	California
723927	0.45	Oxnard Airport	34.20	−119.20	California
723940	0.52	Santa Maria Public Arpt	34.92	−120.47	California
723965	0.53	Paso Robles Municipal Arpt	35.67	−120.63	California
724800	0.55	Bishop Airport	37.37	−118.35	California
724815	0.46	Merced/Macready Fld	37.28	−120.52	California
724830	0.51	Sacramento Executive Arpt	38.50	−121.50	California
724837	0.45	Beale AFB	39.13	−121.43	California
724838	0.50	Yuba Co	39.10	−121.57	California
724839	0.51	Sacramento Metropolitan AP	38.70	−121.58	California
724915	0.49	Monterey Naf	36.60	−121.87	California
724917	0.54	Salinas Municipal AP	36.67	−121.60	California
724920	0.50	Stockton Metropolitan Arpt	37.90	−121.23	California
724926	0.47	Modesto City–County AP	37.63	−120.95	California
724927	0.53	Livermore Municipal	37.70	−121.82	California
724930	0.54	Oakland Metropolitan Arpt	37.72	−122.22	California
724935	0.47	Hayward Air Term	37.67	−122.12	California
724936	0.53	Concord–Buchanan Field	38.00	−122.05	California
724940	0.60	San Francisco Intl AP	37.62	−122.40	California
724945	0.48	San Jose Intl AP	37.37	−121.93	California
724955	0.55	Napa Co. Airport	38.22	−122.28	California
724957	0.49	Santa Rosa (AWOS)	38.52	−122.82	California

TABLE 150.0-D: Infiltration Effectiveness Weather and Shielding Factors [ASHRAE 62.2:Table B1] (continued)

TMY3	wsf	Weather Station	Latitude	Longitude	State
725845	0.44	Blue Canyon AP	39.30	−120.72	California
725846	0.66	Truckee–Tahoe	39.32	−120.13	California
725847	0.64	South Lake Tahoe	38.90	−120.00	California
725905	0.47	Ukiah Municipal AP	39.13	−123.20	California
725910	0.50	Red Bluff Municipal Arpt	40.15	−122.25	California
725920	0.47	Redding Municipal Arpt	40.52	−122.32	California
725945	0.56	Arcata Airport	40.98	−124.10	California
725946	0.60	Crescent City Faa Ai	41.78	−124.23	California
725955	0.55	Montague Siskiyou County AP	41.78	−122.47	California
725958	0.59	Alturas	41.50	−120.53	California
745090	0.45	Mountain View Moffett Fld NAS	37.40	−122.05	California
745160	0.67	Travis Field AFB	38.27	−121.93	California
746120	0.52	China Lake Naf	35.68	−117.68	California
747020	0.50	Lemoore Reeves NAS	36.33	−119.95	California
747185	0.46	Imperial	32.83	−115.58	California
747187	0.46	Palm Springs Thermal AP	33.63	−116.17	California
747188	0.48	Blythe Riverside Co Arpt	33.62	−114.72	California

Table 150.0-E Demand-Controlled Local Ventilation Exhaust Airflow Rates and Capture Efficiency

Application	Compliance Criteria
Enclosed Kitchen or Nonenclosed Kitchen	Vented range hood, including appliance-range hood combinations shall meet either the capture efficiency (CE) or the airflow rate specified in Table 150.0-G as applicable.
Enclosed Kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s) or a capacity of 5 ACH
Nonenclosed Kitchen	Other kitchen exhaust fans, including downdraft: 300 cfm (150 L/s)
Bathroom	50 cfm (25 L/s)

Table 150.0-F Continuous Local Ventilation Exhaust Airflow Rates

Application	Airflow
Enclosed kitchen	5 ach, based on kitchen volume
Bathroom	20 cfm (10 L/s)

Table 150.0-G Kitchen Range Hood Airflow Rates (cfm) and ASTM E3087 Capture Efficiency (CE) Ratings According to Dwelling Unit Floor Area and Kitchen Range Fuel Type

Dwelling Unit Floor Area (ft²)	Hood Over Electric Range	Hood Over Natural Gas Range
>1500	50% CE or 110 cfm	70% CE or 180 cfm
>1000 - 1500	50% CE or 110 cfm	80% CE or 250 cfm
750 - 1000	55% CE or 130 cfm	85% CE or 280 cfm
<750	65% CE or 160 cfm	85% CE or 280 cfm

Table 150.0-H Prescriptive Ventilation System Duct Sizing [ASHRAE 62.2:Table 5-3]

Fan Airflow Rating, cfm at minimum static pressure[f] 0.25 in. water (L/s at minimum 62.5 Pa)	≤50 (25)	≤80 (40)	≤100 (50)	≤125 (60)	≤150 (70)	≤175 (85)	≤200 (95)	≤250 (120)	≤350 (165)	≤400 (190)	≤450 (210)	≤700 (330)	≤800 (380)
Minimum Duct Diameter, in. (mm) [a,b] For Rigid duct	4[e] (100)	5 (125)	5 (125)	6 (150)	6 (150)	7 (180)	7 (180)	8 (205)	9 (230)	10 (255)	10 (255)	12 (305)	12[d] (305)
Minimum Duct Diameter, in. (mm) [a,b] For Flex duct [c]	4 (100)	5 (125)	6 (150)	6 (150)	7 (150)	7 (180)	8 (205)	8 (205)	9 (230)	10 (255)	NP	NP	NP

Footnotes for Table 150.0-H:

a. For noncircular ducts, calculate the diameter as four times the cross-sectional area divided by the perimeter.
b. NP = application of the prescriptive table is not permitted for this scenario.
c. Use of this table for verification of flex duct systems requires flex duct to be fully extended and any flex duct elbows to have a minimum bend radius to duct diameter ratio of 1.0.
d. For this scenario, use of elbows is not permitted.
e. For this scenario, 4 in. (100 mm) oval duct shall be permitted, provided the minor axis of the oval is greater than or equal to 3 in. (75 mm)
f. When a vented range hood utilizes a capture efficiency rating to demonstrate compliance with 150.0(o)1Giiib, a static pressure greater than or equal to 0.25 in. of water at the rating point shall not be required, and the airflow listed in the approved directory corresponding to the compliant capture efficiency rating point shall be applied to Table 150.0-H for determining compliance.

Note: Authority: Sections 25213, 25218, 25218.5, 25402 and 25402.1, Public Resources Code. Reference: Sections 25007, 25008, 25218.5, 25310, 25402, 25402.1, 25402.4, 25402.5, 25402.8, and 25943, Public Resources Code.

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08/13/25

REVISIONS

NO.	REVISION	DATE

CAL ENERGY MANDATORY REQUIREMENTS

T-1.5

LEGEND

- BLOCK WALL
- AC — ASPHALT PAVEMENT
- AD — AREA DRAIN
- BX — BOTTOM OF CURB X
- ℄ — CENTERLINE
- CLM — COLUMN
- EG — EDGE OF GUTTER
- EVT — ELECTRICAL VAULT
- FF — FINISHED FLOOR
- FFG — FINISHED FLOOR GARAGE
- FL — FLOWLINE
- FS — FINISHED SURFACE
- GM — GAS METER
- ICV — IRRIGATION CONTROL VALVE
- NG — NATURAL GROUND
- PA — PLANTER AREA
- SCO — SEWER CLEANOUT
- TD — TOP OF DOCK
- TF — TOP OF FENCE
- TRC — TOP OF ROLLED CURB
- TS — TOP OF STEP
- TW — TOP OF WALL
- TX — TOP OF ROLLED CURB X
- WM — WATER METER
- ( ) — EXISTING ELEVATION
- FOUND NAIL & TAG, STAMPED RCE24668
- SEARCHED, FOUND NOTHING; SET NOTHING
- T.B.M. — TEMPORARY BENCHMARK SET ON A FOUND NAIL & TAG, STAMPED RCE24668 ELEVATION = 11.90 FEET
- CONCRETE SURFACE
- TILE SURFACE
- WATER

TITLE REPORT/EASEMENT NOTES

836 VIA LIDO NORD
NEWPORT BEACH, CA 92663
(APN: 423-271-03)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 340 OF TRACT NO. 907, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 28, PAGES 25-36, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK INFORMATION

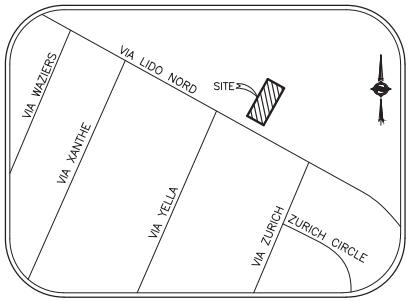
BENCHMARK NO: NB3-21-92

DESCRIBED BY OCS 2002 - FOUND 3 3\4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB3-21-92", SET IN THE NORTHWEST CORNER OF A 4 FT. BY 10 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF VIA LIDO NORD AND VIA KORON, 40 FT. WESTERLY OF THE CENTERLINE OF VIA KORON AND 20 FT. SOUTHERLY OF THE CENTERLINE OF VIA LIDO NORD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 11.912 FEET (NAVD88), YEAR LEVELED 2015

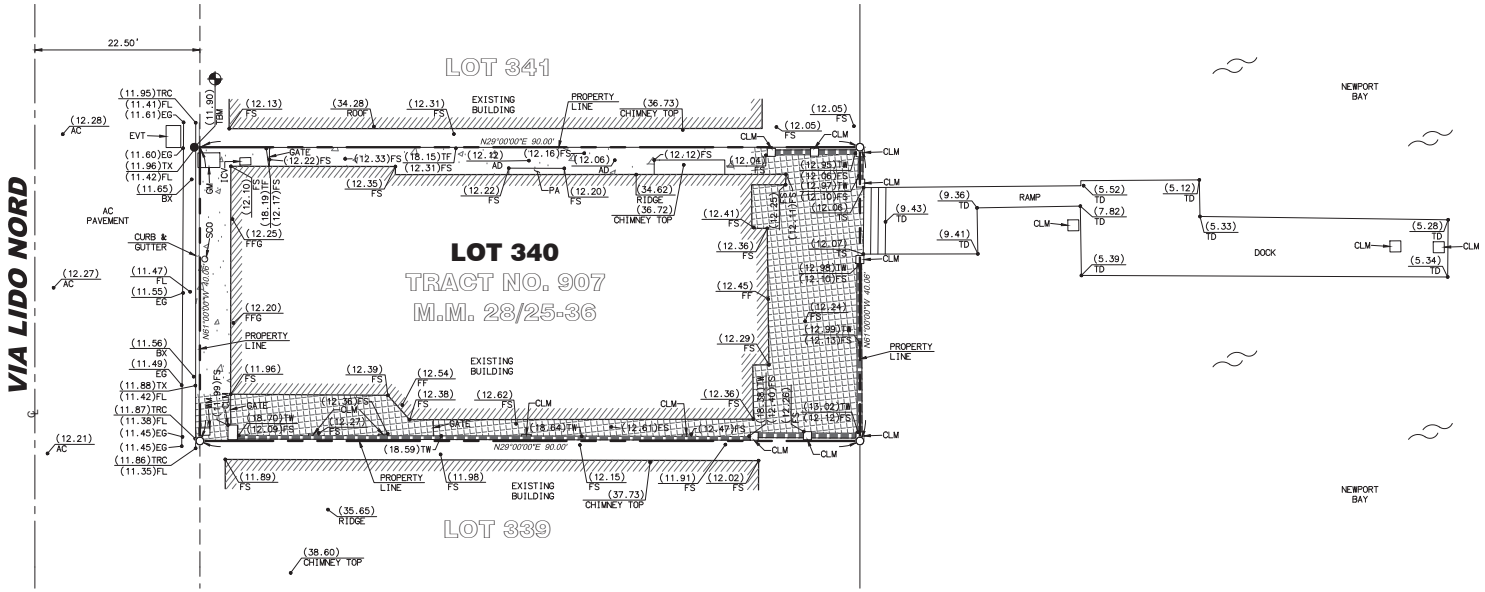
BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF VIA LIDO NORD HAVING A BEARING OF N61°00'00"W PER TRACT NO. 907, M.M. 28/25-36.



VICINITY MAP
NO SCALE

GRAPHIC SCALE
4 0 2 4 8 16
(IN FEET)
1 INCH = 8 FT.



SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.

PROFESSIONAL LAND SURVEYOR No. 8516 Exp. 12/31/26 STATE OF CALIFORNIA

7/1/2025
PAUL D. CRAFT, P.L.S. 8516 — DATE
LICENSE RENEWAL DATE 12/31/26

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

NO.	DESCRIPTION	DATE	APP'D
1	-----	-	P. D. C.

REVISIONS

PROJECT SURVEYOR
APEX LAND SURVEYING INC.
NEWPORT BEACH, CALIFORNIA 92660
PHONE(714)488-5006
APEXLSINC@GMAIL.COM

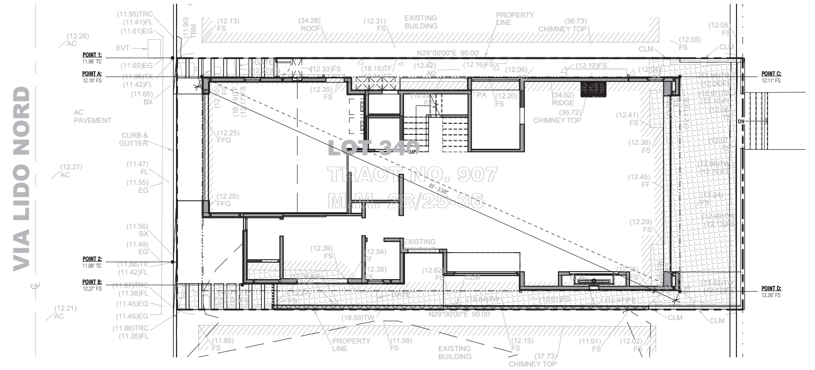
DATE 10/7/2024
SCALE 1" = 8'
DRAWN A. R. H.
CHECKED P. D. C.

SHEET TITLE: TOPOGRAPHIC MAP
PROJECT: 836 VIA LIDO NORD
NEWPORT BEACH, CA 92663
(APN: 423-271-03)

SHEET NO. 1 OF 1

PROJECT NO. 24068

28

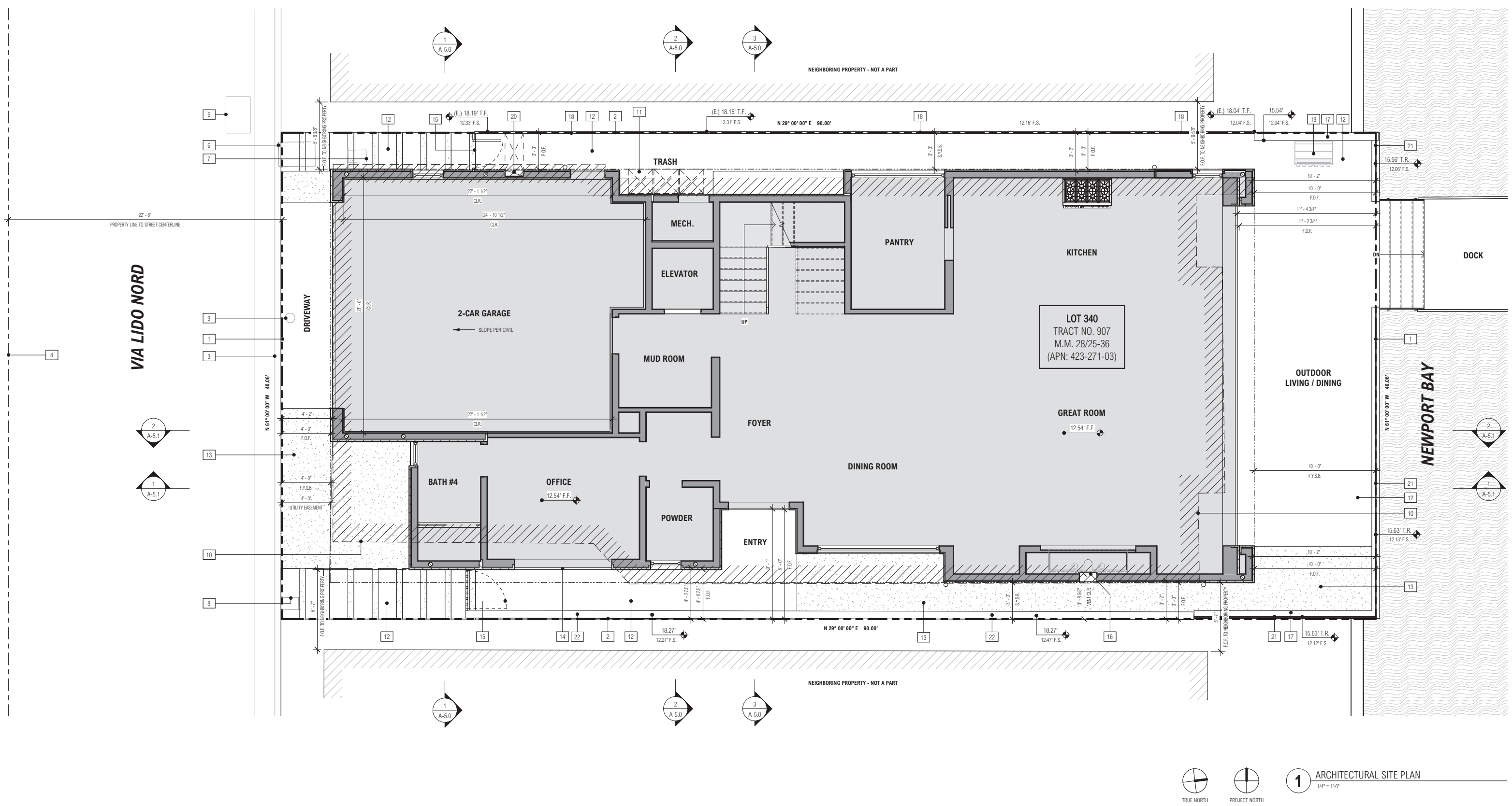


GRADE PLANE DETERMINATION (CITY)
POINT A: 12.10'
POINT B: 12.27'
POINT C: 12.11'
POINT D: 12.26'
TOTAL: 48.74' / 4 = 12.185'

AVERAGE SLOPE
(12.26' - 12.10') / 83.28125 = .19%

AVERAGE CURB HEIGHT (HOA)
POINT 1: 11.96'
POINT 2: 11.88'
TOTAL: 23.84' / 2 = 11.92'

2 GRADE PLANE EXHIBIT & AVERAGE CURB HEIGHT
1/8" = 1'-0"



1 ARCHITECTURAL SITE PLAN
1/4" = 1'-0"

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, **DO NOT SCALE PLANS**.

GENERAL NOTE:
SEE SHEET A-3.0 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).

C.N.B. NOTES:
1. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

3. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.

4. ELECTRICAL SERVICE TO BE UNDERGROUND FOR NEW CONSTRUCTION, REPLACEMENT BUILDING OR ADDITIONS TO AN EXISTING BUILDING EXCEEDING 50% OF THE GROSS FLOOR AREA OF THE EXISTING BUILDING. (NBMC 12.32.015)

5. FIELD INSPECTOR TO REVIEW AND APPROVE UNDERGROUND ELEC. SERVICE REQUIREMENT PRIOR TO CONCRETE PLACEMENT.

6. EDISON COMPANY APPROVAL IS REQUIRED FOR METER LOCATION PRIOR TO INSTALLATION.

7. FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS, AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA(S).

LANDSCAPE NOTES:
1. ENCROACHMENT PERMIT REQ'D. FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W.

2. IF APPLICABLE, REF. PRELIMINARY LANDSCAPE PLANS, FOR ALL HARDSCAPE & PLANTING AREAS WITH RESPECTIVE HEIGHTS AND MATERIALS.

A | SITE PLAN NOTES

N 90 00' 00" E 20.00' — **PROPERTY LINE TAG**
ROOM NAME — **ROOM TAG**
10.00' — **SPOT ELEVATION**
? — **KEYNOTE TAG**
1 — **REVISION TAG**

RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) – GC TO COORDINATE W/. UTILITY COMPANY

UP — **EXT. STAIRS -** MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE ARTIFICIAL LIGHT SOURCE AT THE TOP LANDING AND FOR STAIR TO THE BASEMENT AT BOTH TOP AND BOTTOM LANDING (R303.8) - REF. DTL. 3/AD-1 -VERIFY TREADS DEPTH AND RISERS HT. W/. CIVIL AND LANDSCAPE DWGS

A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CMC AS SELECTED, VERIFY W/. OWNER - SIZE TBD, SEE T-24 ENERGY REPORT FOR MORE INFO – PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. – INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFGR. INSTRUCTION

FIREPIT - AS SELECTED TO BE LISTED AND APPROVED, VERIFY W/. OWNER – PROVIDE POWER AND GAS AS REQUIRED – INSTALL AND MAINTAIN CLEARANCES PER MFGR. AND SECTION 308 OF CFC

OVERFLOW / DRAINLINE — **VERTICAL STORM DRAIN PIPE IN-WALL / OVERFLOW -** MTL. PIPE PER CHAPTER 11 OF CPC, SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) – SEE CIVIL DWGS. FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/. CIVIL PRIOR TO POURING THE CONCRETE SLAB - OVERFLOW TO DISCHARGE ABV. GROUND

B | ANNOTATION LEGEND

1 FRONT YARD SETBACK
2 SIDE YARD SETBACK
3 (E.) ROLLED-CURB - REPLACE AS REQ'D. PER C.N.B. STD. DETAIL - REF. SURVEY AND CIVIL DWGS.
4 CENTERLINE OF STREET - REF. SURVEY
5 (E.) UTILITY VAULT LOCATION - REF. SURVEY & CIVIL DWGS.
6 (E.) GAS METER LOCATION - REF. SURVEY & CIVIL DWGS.
7 (E.) WATER VALVE - REF. SURVEY & CIVIL DWGS.
8 (E.) WATER METER LOCATION - REF. SURVEY & CIVIL DWGS.
9 (E.) SEWER C.O. LOCATION - REF. SURVEY & CIVIL DWGS.
10 FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED - REF. SURVEY
11 TRASH LOCATION - SCREEN FROM STREET AS NEEDED
12 (N.) HARDSCAPE - STONE PAVERS (AS SELECTED), REF. LAND. & CIVIL DWGS.
13 PLANTED AREA
14 EGRESS DOOR TO COMPLY W/. CRC SECTION R311.2 REQS., REF. EGRESS DOOR NOTES ON SHEET A-7.0
15 (N.) WOOD GATE - AS SELECTED (MAX. 6' HT. ABOVE NATURAL GRADE)
16 FIREPLACE - SOLAS COOL ZONE TECHNOLOGY VENT. SIZE PER MFGR.
17 (N.) PROPERTY LINE WALL - PLASTER FINISH TO MATCH (NOT TO EXCEED 42" ABV. N.G.)
18 (E.) PROPERTY LINE FENCE (MAX. 6' ABV. N.G.) [HUGS PROPERTY LINE]
19 PORTABLE BBQ - NOT TO EXCEED 42" ABV. N.G. - PROVIDE GAS STUB-OUT & POWER AS REQ'D., REF. LAND. DWGS., VERIFY W/. OWNER
20 MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36"" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
21 EXTERIOR GLASS GUARDRAIL , TEMPERED - MIN. 42" HIGH ABV. F.F (CNB) - MAX 42" HIGH ABV. F.F. (HOA) - <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1.0
22 (E.) PROPERTY LINE WALL - PLASTER FINISH TO MATCH EXTERIOR FINISH OF MAIN STRUCTURE (MAX. 6' ABV. N.G.)

C | KEYNOTES

BRANDON ARCHITECTS
151 KALMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
GAVIN FRIEHAUF

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FOREMAN RESIDENCE

PROJECT ADDRESS:
836 VIA LIDO NORD, NEWPORT BEACH, CA 92663

OWNER INFORMATION:
ANNE AND DOUG FOREMAN
836 VIA LIDO NORD, NEWPORT BEACH, CA 92663
P: 949.280.3866
E: AFORE10@GMAIL.COM

DATE
08/13/25

REVISIONS

NO.	REVISION	DATE

ARCHITECTURAL SITE PLAN

A-0.0

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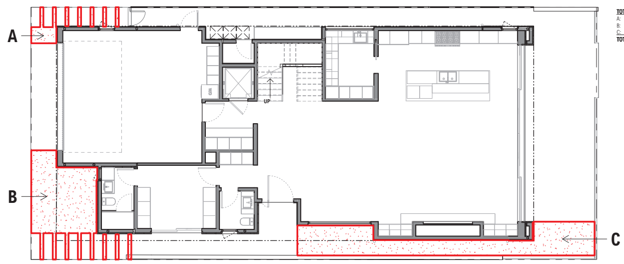
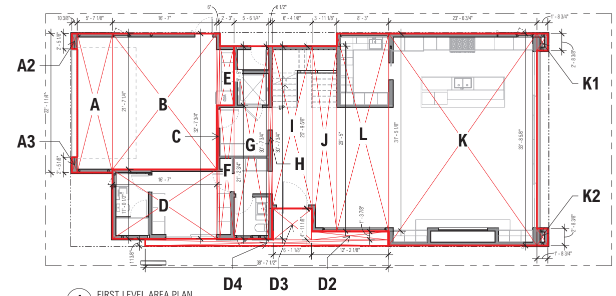


5 LANDSCAPE AREA
1/8" = 1'-0"

TOTAL LANDSCAPE AREA

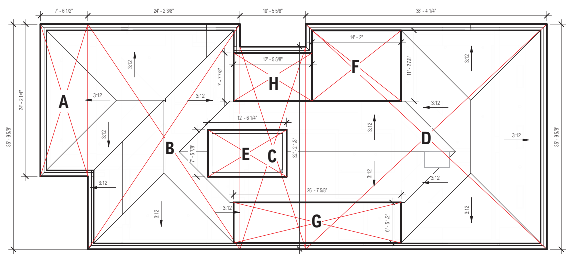
A:	21.00	SF
B:	136.01	SF
C:	171.66	SF
TOTAL:	**328.67**	**SF < 500 SF**



1 FIRST LEVEL AREA PLAN
1/8" = 1'-0"

FIRST LEVEL FLOOR AREA

A:	123.645	SF
A2:	2.098	SF
A3:	2.098	SF
B:	358.269	SF
C:	16.323	SF
D:	183.108	SF
D2:	16.109 x .5	SF
D3:	30.024	SF
D4:	36.613 x .5	SF
E:	21.875	SF
F:	47.766	SF
G:	169.191	SF
H:	16.599	SF
I:	163.682	SF
J:	115.522	SF
L:	259.273	SF
K:	794.498	SF
K1:	4.665	SF
K2:	4.665	SF
TOTAL:	**2,339.663**	**SF**



6 ROOF AREA
1/8" = 1'-0"

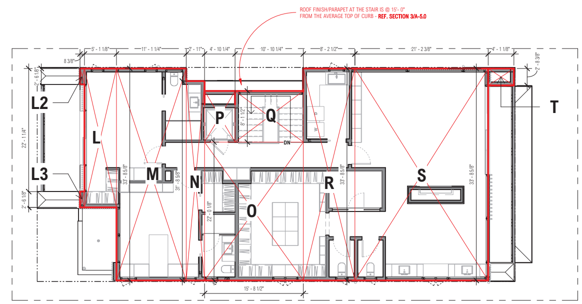
TOTAL ROOF AREA

A:	181.786	SF
B:	866.336	SF
C:	336.854	SF
D:	1373.159	SF
TOTAL:	**2758.135**	**SF**

TOTAL FLAT ROOF AREA

E:	93.776	SF
F:	159.227	SF
G:	172.020	SF
H:	95.464	SF
TOTAL:	**520.487**	**SF**

CALC: 2758.135 SF X 0.25 = 689.534 SF (MAX FLAT ROOF) > 520.487 (FLAT ROOF)

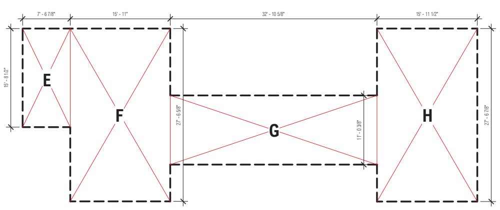


2 SECOND LEVEL AREA PLAN
1/8" = 1'-0"

SECOND LEVEL FLOOR AREA

L:	116.838	SF
L2:	1.752	SF
L3:	1.752	SF
M:	374.419	SF
N:	92.513	SF
O:	345.746	SF
P:	39.642	SF
Q:	84.559	SF
R:	276.774	SF
S:	714.767	SF
T:	11.045	SF
TOTAL:	**2,059.807**	**SF**

GRAND TOTAL: 2,339.663 SF + 2,059.807 SF = 4399.47 SF < 4400.04 SF



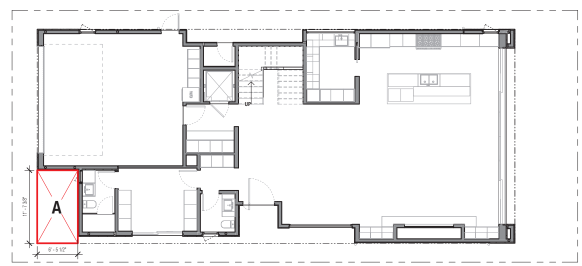
TOTAL ROOF AREA

A:	181.786	SF
B:	866.336	SF
C:	336.854	SF
D:	1373.159	SF
TOTAL:	**2758.135**	**SF**

TOTAL ROOF AREA ABOVE 22'

E:	118.958	SF
F:	438.537	SF
G:	362.767	SF
H:	440.018	SF
TOTAL:	**1360.28**	**SF**

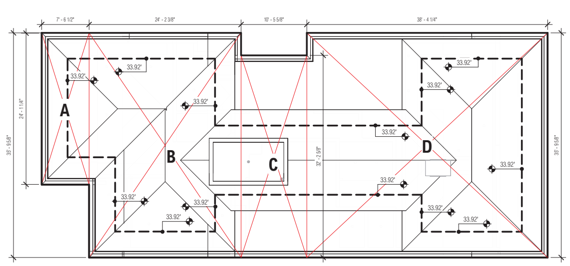
CALC: 2758.135 SF x 0.5 = 1379.068 SF (MAX ABOVE 22') > 1360.28 SF (ABOVE 22')



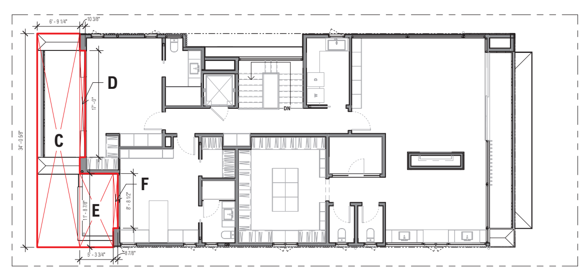
3 FIRST FLOOR OPEN AREA
1/8" = 1'-0"

FIRST LEVEL FLOOR OPEN AREA

A:	75.011	SF
TOTAL:	**75.011**	**SF**



7 AVERAGE ROOF MAX HEIGHT
1/8" = 1'-0"



4 SECOND FLOOR OPEN AREA
1/8" = 1'-0"

SECOND LEVEL FLOOR OPEN AREA

C:	230.561	SF
D:	14.698	SF
E:	62.367	SF
F:	6.441	SF
TOTAL:	**314.067**	**SF**

GRAND TOTAL: 75.011 SF + 314.067 SF = 389.078 SF > 388.24 SF

BRANDON ARCHITECTS
151 KALMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
GAVIN FRIEHAUF

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FOREMAN RESIDENCE

PROJECT ADDRESS:
836 VIA LIDO NORD, NEWPORT BEACH, CA 92663

OWNER INFORMATION:
ANNE AND DOUG FOREMAN
836 VIA LIDO NORD, NEWPORT BEACH, CA 92663
P: 949.280.3866
E: AFORE10@GMAIL.COM

DATE
08/13/25

REVISIONS

NO.	REVISION	DATE

AREA PLANS

A-0.2

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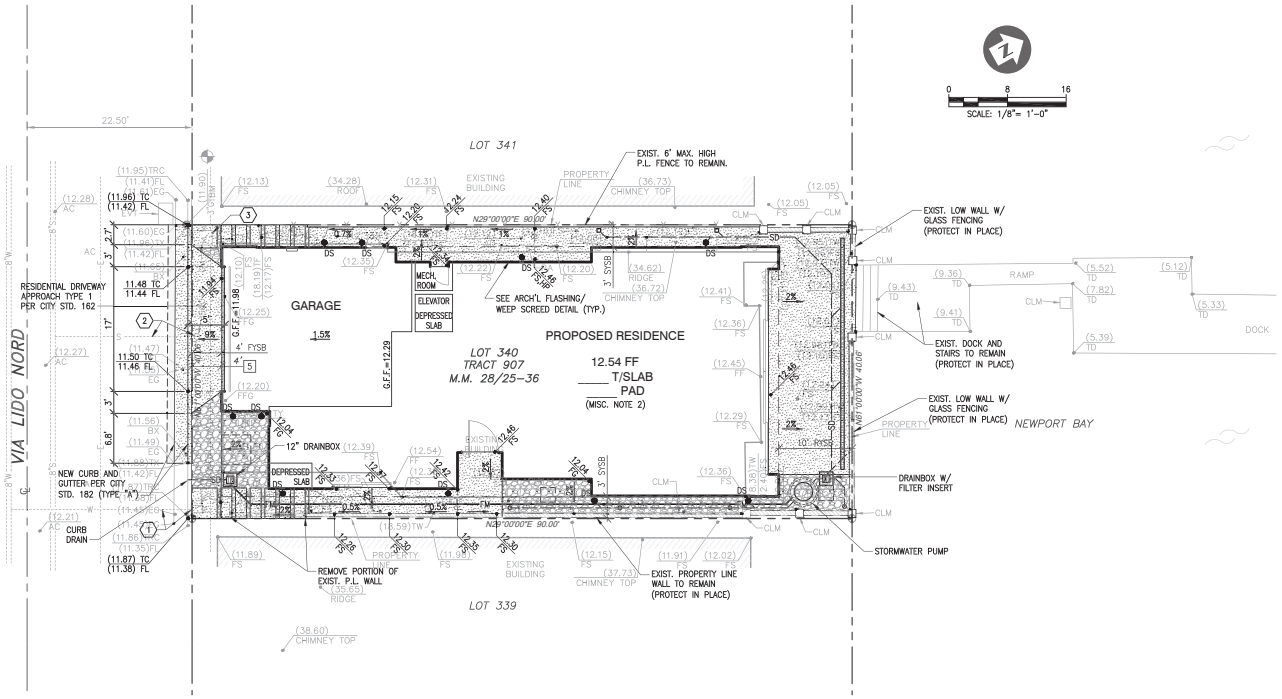

GRADING LEGEND

	CONCRETE PAVING
510	CONTOUR (PROPOSED)
100.00	SPOT ELEVATION (PROPOSED)
(100.00)	SPOT ELEVATION (MATCH EXISTING)
	PROPOSED RETAINING WALL
A / 10	SECTION LETTER / SHEET NUMBER
P.L. OR ℙ	PROPERTY LINE
R/W	RIGHT OF WAY
FF	FINISH FLOOR
FG	FINISH GRADE
FL OR ℄	FLOW LINE
FS	FINISH SURFACE
GFF	GARAGE FINISH FLOOR
PA	PLANTER AREA
TC	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL

DRAINAGE LEGEND

4"	PROPOSED DRAIN LINE
sub	PROPOSED SUBDRAIN
DS	DOWNSPOUT
INV	INVERT
TG	TOP OF GRATE
FM	PROPOSED FORCE MAIN

EASEMENT NOTES

836 NIA LIDO NORD APN: 423-271-03
NUMBERING SEQUENCE PER FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT NO. 0-SA-7255048 DATED APRIL 4, 2025.

☐ INDICATES PLOTTED HEREON

5 THE EFFECT OF EASEMENT IN FAVOR OF THE CITY OF NEWPORT BEACH FOR PUBLIC UTILITY PURPOSES DEDICATED ON MAP OF TRACT NO. 907 FILED IN BOOK 28, PAGES 25-36 OF MISCELLANEOUS MAPS. (AFFECTS PROPERTY.)

6 THE EFFECT OF DECLARATION OF RESTRICTIONS RECORDED DECEMBER 10, 1928 IN BOOK 228, PAGE 1 OF OFFICIAL RECORDS. MODIFICATIONS TO SAID RESTRICTIONS RECORDED IN BOOK 1036, PAGE 531; BOOK 1041, PAGE 208; BOOK 2675, PAGE 322; BOOK 8233, PAGE 143; BOOK 8836, PAGE 384; BOOK 11522, PAGE 649; BOOK 11811, PAGE 1207; BOOK 13581, PAGE 1209; INSTRUMENT NO. 82-095046; INSTRUMENT NO. 87-659472; INSTRUMENT NO. 02-314486; INSTRUMENT NO. 07-625054; INSTRUMENT NO. 08-235975 ALL OF OFFICIAL RECORDS. (BLANKET IN NATURE.)

KEY NOTES

1 — EXIST. WATER SERVICE AND METER TO REMAIN; PROTECT IN PLACE.
2 — EXIST. SEWER LATERAL AND CLEANOUT TO REMAIN; PROTECT IN PLACE.
3 — EXISTING UTILITY TO REMAIN; ADJUST TO GRADE, AS REQ'D.

PRELIMINARY PLAN | NOT FOR CONSTRUCTION

PLANS PREPARED BY:
TOAL ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
139 Avenida Navarro
San Clemente, CA 92672
949.492.8586
www.toalengineering.com

REGISTERED PROFESSIONAL ENGINEER CALEB RIOS No. 57587 CIVIL STATE OF CALIFORNIA

CALEB RIOS
R.C.E. 57587
DATE:

PREPARED FOR:
ANNE AND DOUG FOREMAN
836 VIA LIDO NORD
NEWPORT BEACH, CA 92663
TEL: (949) 280-3866

REVISIONS	BY	DATE	APPD.	DATE

SINGLE FAMILY RESIDENCE

PRELIMINARY GRADING PLAN

LOT 340, TRACT 907
836 VIA LIDO NORD, NEWPORT BEACH, CA

P.C.J#: ENG25-	
DATE: 7/2/2025	H. SCALE: 1/8"=1'
SURVEY DATE: N/A	V. SCALE: N/A
DRN.: M.F.B.	DWG. NO.
CHD.: M.F.B.	C1
APPD.: C.R.	
JOB NO.: 25027	SHEET 1 OF 1

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STRUCTURAL GENERAL NOTES

GENERAL REQUIREMENTS

1. CONSTRUCTION SHALL BE IN CONFORMITY WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
2. SITE INSPECTION: THE CONTRACTOR SHALL EXAMINE THE PROJECT SITE & SHALL VERIFY ALL DIMENSIONS, LOCATIONS & ELEVATIONS OF THE EXISTING CONSTRUCTION. THE CONTRACTOR SHALL ALSO DILIGENTLY INVESTIGATE THE SITE FOR THE POSSIBLE EXISTENCE & LOCATION OF UNDERGROUND UTILITIES, PRIOR TO ORDERING ANY MATERIAL AND/OR COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO "PMA CONSULTING, INC." HEREINAFTER CALLED "THE ENGINEER".
3. CONTRACTOR SHALL PROVIDE BARRICADES AND PEDESTRIAN PROTECTION AS REQUIRED BY STATE AND LOCAL CODES.
4. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF CITY AND UTILITY COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING TO SEWER, PIPING OR WIRING, ETC., AND REPORT ANY PROBLEMS TO THE ENGINEER.
5. CONTRACTOR SHALL FULLY PROTECT ALL ADJACENT PROPERTIES BEFORE COMMENCING ANY WORK.
6. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
7. CONTRACTOR SHALL INSTALL TEMPORARY TOILETS BEFORE START OF JOB.
8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
9. TYPICAL DETAILS SHOWN SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN. WHERE A DETAIL, TYPICAL DETAIL, SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
10. DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS. DETAILED DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER GENERAL DRAWINGS AND SPECIFICATIONS.
11. WRITTEN DIMENSIONS (NOT SCALED DIMENSIONS) SHALL BE USED.
12. TEMPORARY ERECTION BRACING AND SHORING SHALL BE PROVIDED AS REQUIRED ON ALL STRUCTURES, ADEQUATE TO PROVIDE FULL STRUCTURAL STABILITY AND SAFETY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENTS ARE FULLY CONNECTED AND ARE CAPABLE OF SUPPORTING THE DESIGN LOADING.
13. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
14. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO UNDERMINE ANY ADJACENT STRUCTURE DURING THE COURSE OF CONSTRUCTION.
15. CLEAN UP: NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER THE BAY, STREETS, GUTTERS OR STORM DRAINS. ALL MATERIALS & WASTE SHALL BE REMOVED FROM THE SITE, NBMC 17.32.020.
16. DEMOLITION: ALL MATERIAL FROM THE EXISTING BULKHEAD THAT IS NOT USED AS FILL SHALL BE REMOVED FROM THE SITE & DISPOSED OF IN AN OFFICIAL DUMP SITE.
17. SEE THE LATEST "GENERAL GRADING SPECIFICATIONS" OF THE BUILDING DEPARTMENT FOR THE CITY'S: GENERAL NOTES, EROSION CONTROLS, REQUIRED INSPECTIONS, GRADING FILLS/CUTS & ALL NECESSARY DOCUMENTATION.
18. POOLS, SPAS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
19. ALL A.S.T.M. SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE A.S.T.M.
20. OBSERVATION VISITS TO THE PROJECT SITE BY THE ENGINEER SHALL NOT BE CONSTRUED AS ANY INSPECTION AS REQUIRED BY CODE.

FOUNDATIONS

1. THE CONTRACTOR SHALL ESTABLISH ALL BUILDING LINES AND PROCEED WITH THE EXCAVATION OF ALL FOOTINGS AS CALLED FOR ON THE DRAWINGS.
2. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED UNIFORM EARTH OR ENGINEERED COMPACTED FILL.
3. NO REINFORCING STEEL AND NO CONCRETE SHALL BE PLACED IN ANY EXCAVATION PRIOR TO APPROVAL BY THE BUILDING DEPARTMENT.
4. THE TOP OF ALL EXCAVATIONS SHALL BE PROTECTED AGAINST HEAVY SURCHARGE LOADS AND FROM EROSION DUE TO RAINFALL OR SURFACE RUN-OFF DURING THE ENTIRE CONSTRUCTION PERIOD.
5. THE SOILS REPORT DESCRIBED UNDER ITEM NO. 8 BELOW SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN THE SOILS REPORT AND COMPLY WITH ALL RECOMMENDATIONS THEREIN.
6. PAD PREPARATION SHALL BE IN ACCORDANCE WITH THE SOILS REPORT. THE PAD SHALL BE INSPECTED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING ANY CONCRETE. THE PAD SHALL BE KEPT MOIST PRIOR TO THE PLACING OF CONCRETE.
7. NO PIPES OR CONDUITS SHALL EXTEND UNDER ISOLATED COLUMN FOOTINGS OR UNDER CONTINUOUS WALL FOOTINGS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ENGINEER AND THE BUILDING OFFICIAL.
8. FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT ON FILE WITH THE BUILDING DEPARTMENT.

GRADING NOTES

1. THE ANTICIPATED TOTAL VOLUME OF CUT AND FILL FOR SEAWALL CONSTRUCTION ON THIS PROJECT WILL BE GREATER THAN 50 CUBIC YARDS. THUS, GRADING PERMIT IS REQUIRED.
2. WHEN A GRADING PERMIT & PLANS ARE REQUIRED, IF NO GRADING IS ADDRESSED ON THE PLANS - SEE THE CIVIL & ARCHITECTURAL PLANS FOR THE FINISH GRADING ON THE SHORE SIDE OF THE BULKHEAD.
3. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
4. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING ENGINEER OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
5. THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT & APPROVE ALL AREAS PRIOR THE THE PLACEMENT OF ANY FILL.
6. ALL FILLS SHALL BE INSPECTED, TESTED & APPROVED BY THE GEOTECHNICAL ENGINEER VERIFYING MINIMUM OF 90% REQUIRED RELATIVE COMPACTION AS WELL AS STABILITY.
7. ALL EXCAVATIONS FOR ANCHORS SHALL BE INSPECTED & APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
8. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
9. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
10. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT. SEE DETAILS L & R ON SHEET SW-2.
11. LANDSCAPING PLANS SHALL BE SUBMITTED FOR APPROVAL, WORK COMPLETED AND A CERTIFICATE OF CONFORMANCE RECEIVED BY THE CITY GRADING ENGINEER PRIOR TO CLOSURE OF PERMIT, UNLESS WAIVED BY THE CITY GRADING ENGINEER.
12. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
13. DATUM: ALL ELEVATIONS ARE BASED ON MLLW AND/OR NAVS88 DATUM.

BACKFILLING & COMPACTION NOTES

1. ALL BACKFILL SHALL CONFORM TO THE SOILS ENGINEER'S REPORT AND RECOMMENDATIONS.
2. UTILITY TRENCH BACKFILL AND ANY OTHER BACKFILL MUST BE MECHANICALLY COMPACTED. JETTING AND FLOODING SHALL NOT BE PERMITTED.
3. WHERE WALLS ARE BACKFILLED ON ONE SIDE ONLY, PROVIDE SHORING OR OTHER APPROVED MEANS OF LATERAL SUPPORT UNTIL RESISTING ELEMENTS ARE ALL IN PLACE AND HAVE ATTAINED THEIR REQUIRED STRENGTHS. RESISTING ELEMENTS SHALL BE CONCRETE SLABS OR OTHER PERMANENT BUILDING COMPONENTS.
4. UNLESS NOTED OTHERWISE IN THE SOILS REPORT, ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE REQUIREMENTS OF THE CBC APPENDIX SECTION 3313.
5. FILTER CLOTH SHALL BE MIRAFI 140N-SERIES NONWOVEN POLYPROPYLENE GEOTEXTILE AS MANUFACTURED BY "TC MIRAFI COMPANY" AND SHALL BE MINIMUM 2.0' WIDE AND BE PLACED ON THE INSIDE FACE OF THE BULKHEAD EXTENDED EQUALLY FROM THE JOINT TO (2.0') BELOW THE FINAL MUDLINE FOR THE ENTIRE HEIGHT OF THE BULKHEAD.
6. COMPACTION REPORT MUST BE SUBMITTED TO AND BE APPROVED BY THE BUILDING DEPARTMENT BEFORE FOUNDATION INSPECTION.
7. A FINAL SOIL REPORT OF COMPACTION & APPROVAL SHALL BE PREPARED BY THE PROJECT GEOTECHNICAL ENGINEER & SUBMITTED FOR BUILDING DEPARTMENT REVIEW AT THE COMPLETION OF THE PROJECT.
8. COMPACT SOIL TO THE REQUIRED RELATIVE DENSITIES PER ASTM 155-91. DO NOT USE HEAVY COMPACTION EQUIPMENT WITHIN 20 FEET OF THE BULKHEAD.
9. ON SITE BROKEN CONCRETE & AC PAVING MAY BE USED AS FILL PROVIDED IT DOES NOT EXCEED 6 INCHES IN SIZE & IS NOT STACKED, LAYERED OR PLACED ABOVE ELEVATION +7.0' & IS APPROVED BY THE GEOTECHNICAL ENGINEER.

STEEL

1. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO A.S.T.M. A572 GRADE 50 OR A992 WITH Fy = 50 KSI.
2. STEEL PIPE COLUMNS AND OTHER STEEL PIPE STRUCTURAL MEMBERS SHALL CONFORM TO A.S.T.M. A53, GRADE B.
3. STRUCTURAL STEEL TUBING SHALL CONFORM TO A.S.T.M. A500, GRADE B, Fy = 46 KSI.
4. BOLTS SHALL CONFORM TO A.S.T.M. A307, UNLESS NOTED OTHERWISE. WHERE HIGH STRENGTH (H.S.) BOLTS ARE SPECIFIED, THEY SHALL BE MINIMUM ¾" DIAMETER AND CONFORM TO A.S.T.M. A325 SC CLASS A UNLESS NOTED OTHERWISE ON THE PLANS. THE INSTALLATION OF H.S. BOLTS SHALL BE INSPECTED BY A REGISTERED DEPUTY INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.
5. ALL BOLTS HOLES IN STEEL MEMBERS SHALL BE STANDARD HOLES, U.N.O.
6. STRUCTURAL STEEL "NELSON" STUDS SHALL BE MANUFACTURED FROM C1015, C1017 AND C1020 COLD DRAWN STEEL CONFORMING TO A.S.T.M. A108-58T.
7. LIGHT GAUGE STEEL MEMBERS SHALL CONFORM TO A.S.T.M. STANDARDS AS FOLLOWS:
   A) FOR 18 GA. THICK AND LIGHTER STEEL : A446, GRADE A (GALVANIZED) OR A570, GRADE 33 OR A611, GRADE C - ALL HAVING MINIMUM OF 33 KSI YIELD STRENGTH.
   B) FOR 16 GA. THICK AND HEAVIER STEEL : A446, GRADE D (GALVANIZED) OR A570, GRADE 50 OR A607, GRADE 50 - ALL HAVING MINIMUM OF 50 KSI YIELD STRENGTH.
8. FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF A.I.S.C. SPECIFICATIONS.
9. ALL HOLES FOR BOLTS IN STRUCTURAL STEEL SHALL BE DRILLED OR PUNCHED. BURNING OF HOLES SHALL NOT BE PERMITTED.
10. ALL STEEL SHALL BE STAINLESS, HOT DIP GALVANIZED OR EPOXY COATED.

WELDING

1. ALL WELDING SHALL BE DONE USING THE SHIELDED ELECTRIC ARC PROCESS BY CERTIFIED WELDERS, USING E70XX ELECTRODES.
2. WELDING OF STEEL REINFORCING BARS SHALL BE DONE WITH LOW HYDROGEN ELECTRODES, A233, CLASS E70XX SERIES.
3. WELDS REQUIRING CONTINUOUS OR PERIODIC SPECIAL INSPECTION NEED NOT HAVE SPECIAL INSPECTION WHEN WELDING IS DONE IN AN APPROVED FABRICATOR'S SHOP, HOWEVER, THE APPROVED FABRICATOR MUST SUBMIT A CERTIFICATE OF COMPLIANCE IN ACCORDANCE WITH THE SECTION 1704.2.2 OF THE CBC.
4. SPECIAL INSPECTION IS REQUIRED FOR ALL FIELD WELDINGS.

CONCRETE

1. ALL CONCRETE MIX DESIGNS, CONFORMING TO CHAPTER 19 OF ACI 318-19, TABLE 19.3.2.1, CATEGORY (C) & CLASS C2 PER TABLE 19.3.1.1 OF ACI 318-19, SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE ANY CONCRETE IS PLACED. ALL CONCRETE MIXES SHALL HAVE A MINIMUM CEMENT CONTENT OF 6.0 SACKS OF CEMENT PER CUBIC YARD OF MIX. ALL CONCRETE MIXES SHALL BE CERTIFIED BY A CONCRETE TESTING LABORATORY AND SIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI AND A 0.40 WATER-TO-CEMENT RATIO.
3. CONCRETE GROUT SHALL HAVE THE SAME COMPRESSIVE STRENGTH AS THE OTHER CONCRETE AND SHALL BE A SUITABLE MIX CONSISTING OF PEA GRAVEL, SAND, CEMENT AND WATER. MAXIMUM SLUMP SHALL BE 5 INCHES. AN APPROVED SUPERPLASTICIZING ADMIXTURE MAY BE ADDED TO INCREASE THE SLUMP TO MAXIMUM 7.5 INCHES. GROUT UNDER STEEL COLUMN BASE PLATES SHALL BE "RAPID-SET" OR "FIVE STAR GROUT" OR APPROVED EQUAL.
4. CONCRETE SHALL BE DESIGNED FOR PERMEABILITY, STRENGTH, CHEMICAL STABILITY AND ABRASION RESISTANCE, APPROPRIATE FOR ITS APPLICATION. PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 TYPE I OR TYPE II MODIFIED, AND LOW ALKALI. CHEMICAL ADMIXTURES SHALL CONFORM TO ASTM C 494. CHEMICALS DESIGNED TO LIMIT CORROSION OF INTERNAL REINFORCING MAY BE USED. AIR ENTRAINMENT ADMIXTURES SHALL CONFORM TO ASTM C 260. COARSE AND FINE AGGREGATE SHALL CONFORM TO ASTM C 33, AND ASTM C 330 WHERE LIGHTWEIGHT AGGREGATES ARE USED. LIGHTWEIGHT AGGREGATE, IF USED, SHALL CONSIST OF EXPANDED AND COATED SHALE OR EQUIVALENT MATERIAL OF SUFFICIENT STRENGTH AND DURABILITY TO PROVIDE CONCRETE OF THE REQUIRED STRENGTH.
5. CONCRETE TEST SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH A.S.T.M. AND CBC STANDARDS. RESULTS OF THE 7 & 28 DAY TESTS SHALL BE SUBMITTED TO THE ENGINEER FOR HIS RECORDS. SLUMP TESTS ARE REQUIRED FOR ALL TEST SAMPLES AND MUST ALSO BE REPORTED. ADDITIONALLY, ALL LIGHT WEIGHT CONCRETE SAMPLES MUST HAVE THEIR IN-PLACE DENSITIES DETERMINED AND REPORTED.
6. SIDES OF FOOTING PADS MAY BE POURED AGAINST STABLE EARTH.
7. SLURRY CONCRETE, WHERE SPECIFIED OR USED, SHALL HAVE A MINIMUM CEMENT CONTENT OF 1.5 SACKS OF CEMENT PER CUBIC YARD OF MIX.
8. SEE ARCHITECTURAL NOTES FOR COLORED OR TEXTURED CONCRETE.
9. CONCRETE FORM WORK TOLERANCES SHALL BE IN ACCORDANCE WITH CBC AND A.C.I. STANDARDS.
10. ALL STEEL REINFORCING, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR, PRIOR TO THE PLACING OF ANY CONCRETE.
11. ALL NECESSARY BRACES, STRONGBACKS, PICK-UP INSERTS, BOLTS, ETC., FOR PRECAST CONCRETE PANELS SHALL BE DESIGNED BY OTHERS FOR SAFE ERECTION OF THE PANELS.
12. NO CALCIUM CHLORIDE SHALL NOT BE USED IN ANY CONCRETE.
13. ALL CONCRETE TO BE CURED FOR A MINIMUM OF 3 DAYS BY A METHOD ACCEPTABLE TO THE ENGINEER. FORMS MAY BE STRIPPED ONLY AFTER THE CONCRETE HAS ATTAINED MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
14. CHAMFER EXPOSED CORNERS ¾" U.N.O.

REINFORCING STEEL

1. FOR STRUCTURES EXPOSED TO SALT WATER SPLASH OR IMMERSION, REBAR REINFORCEMENT SHALL CONFORM TO ASTM A 706, UNLESS NOTED OTHERWISE ON DETAILS, AND SHALL BE EPOXY COATED PER ASTM A 934, AFTER BENDING OF THE REBARS OR PER ASTM A 775. WELDED WIRE MESH SHALL CONFORM TO ASTM A 185 AND SHALL BE EPOXY COATED CONFORMING TO ASTM A 884, WITH ALL VISIBLE DEFECTS AND CUT ENDS REPAIR COATED. WIRES USED TO TIE REINFORCING STEEL SHALL BE EITHER EPOXY COATED STEEL, OR A 316 STAINLESS STEEL.
2. REINFORCEMENT MARKED CONTINUOUS MAY BE SPLICED BY LAPPING 42 BAR DIAMETERS IN CONCRETE AND 48 BAR DIAMETERS IN MASONRY WITH 24 INCH MINIMUM LAP IN EACH CASE, UNLESS NOTED OTHERWISE ON PLANS. ALL SPLICES WHEN DETAILED SHALL BE LOCATED WHERE SHOWN ON PLANS.
3. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND SECURED IN POSITION WITH METAL OR CONCRETE BLOCKS, CHAIRS, SPACERS, ETC., AND WIRE TIES BEFORE PLACING ANY CONCRETE.
4. ADDITIONAL REINFORCING REQUIRED FOR ERECTION OF PRECAST CONCRETE PANELS SHALL BE ADDED PER THE CONTRACTOR'S DETAILS.
5. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE.

A) CONCRETE BELOW GRADE OR IN CONTACT WITH SOIL: WHEN CAST AGAINST EARTH 3", WHEN FORMED 2".
B) WALLS ABOVE GRADE: EXTERIOR FACE 1½", INTERIOR FACE 1".
C) PRECAST CONCRETE ELEMENTS: AS DETAILED.
D) CONCRETE SLAB ON GRADE: REINFORCING STEEL AT CENTER OF SLAB, UNLESS NOTED OTHERWISE.

6. REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH CBC SECTION 1907.
7. ALL TIE WIRES SHALL BE MINIMUM 16 GAUGE, BLACK ANNEALED, CONFORMING TO A.S.T.M. A82.
8. ALL REINFORCING BARS SHALL BE FREE OF RUST, GREASE OR OTHER MATERIAL LIKELY TO IMPAIR BONDING.
9. ALL BENDS IN REINFORCING SHALL BE COLD BENDS.

SOLID SAWN MEMBERS AND GLU-LAM BEAMS

1. ALL WOOD-CONSTRUCTION FINGERS SHALL HAVE FRAMING THAT INCLUDES CROSS-MEMBERS THAT PROVIDE RIGID CONNECTION TO THE FULL-LENGTH STRINGERS. ALL CONNECTIONS SHALL BE MADE USING THRU-BOLTS.
   A) COMMERCIAL DOCK FRAMING:
   FOR INDEPENDENT LONG DOCKS THAT FLOAT FREELY AND DO NOT HAVE DOCKS AND/OR FINGERS ATTACHED FOR STABILITY, ALL PRIMARY LOAD CARRYING FRAMING MEMBERS SHALL BE FABRICATED FROM GLUED-LAMINATED BEAM CONSTRUCTION, TO PREVENT WARPAGE OF THE MAJOR MEMBERS, CONTRIBUTING TO DOCK INSTABILITY.
2. ALLOWABLE STRESSES FOR HARBOR STRUCTURES SHALL NOT EXCEED THOSE STATED IN THE "CALIFORNIA BUILDING CODE".
3. TIMBER USED FOR WALKING DECKS SHALL HAVE A MINIMUM NET THICKNESS OF 1½ INCHES.
4. TIMBER FOR WALKING SURFACES SHALL BE DOUGLAS FIR, SELECT STRUCTURAL. SAWN TIMBER FOR OTHER FRAMING MEMBERS SHALL BE DOUGLASS FIR, No.1 MINIMUM.
5. GLUED-LAMINATED TIMBER SHALL BE DOUGLASS FIR 24F-V8, INDUSTRIAL GRADE FOR APPLICATION IN WET ENVIRONMENT. FABRICATION SHALL COMPLY WITH PRODUCT STANDARD PS 56-73, "STRUCTURAL GLUED LAMINATED TIMBER".
6. WALKING SURFACES SHALL HAVE A NON-SKID FINISH AND BE MAINTAINED PERIODICALLY OR WHEN WORN AND UNSAFE. TREATED TIMBER DECKING REQUIRES NO FURTHER NON-SKID FINISH.
7. DIMENSIONAL LUMBER IS NOT REQUIRED TO BE PAINTED. HOWEVER, IF THE APPLICANT CHOOSES TO PAINT, SUCH PAINT SHALL BE MAINTAINED TO GOOD CONDITION AND APPEARANCE.
8. PLYWOOD UTILIZED WITHIN DOCK FRAMING SYSTEM SHALL BE EXTERIOR GRADE MATERIAL. PLYWOOD SHALL NOT BE USED AS THE WALKING SURFACE FOR A DOCK SYSTEM, UNLESS THE PRODUCT CAN BE DEMONSTRATED TO THE CITY OF NEWPORT BEACH BUILDING DEPARTMENT THAT IS PROVIDED WITH A FACTORY-APPLIED PROTECTIVE, NON-SKID WALKING SURFACE THAT WILL BE DURABLE AND HAS A PROVEN PROCESS FOR PATCHING AND TOUCH-UP. INTERNAL PLYWOOD MEMBERS SHALL BE PROVIDED IN SUCH A MANNER THAT WATER CAN BE EASILY CONVEYED OFF THE TOP SURFACE OF THE PLYWOOD AND NOT POND OR GET TRAPPED, LEADING TO EARLY DETERIORATION AND DRY ROT.
9. WEIGHT OF TREATED DOUGLAS FIR SHALL BE ASSUMED TO BE 35 POUNDS PER CUBIC FOOT.
10. ALL TIMBER SHALL BE MARKED WITH THE APPROPRIATE GRADE OF MATERIAL AND PRESERVATIVE TREATMENT, OR MAY BE SUBJECT TO REJECTION BY THE CITY INSPECTOR.
11. WOOD PRESERVATIVE FOR TIMBER:
   A) ALL TIMBER PRODUCTS SHALL BE COATED WITH PRESERVATIVE TREATMENT TO RETENTION LIMITS RECOMMENDED BY THE AMERICAN WOOD PRESERVERS ASSOCIATION STANDARD M4 "STANDARD FOR THE CARE OF PRESERVATIVE-TREATED WOOD PRODUCTS" AND AWPA STANDARD C2 "LUMBER, TIMBER, BRIDGE TIES & MINE TIES - PRESERVATIVE TREATMENT BY PRESSURE PROCESSES".
   B) CURRENT STATE AND FEDERAL ENVIRONMENTAL REQUIREMENTS AND GUIDELINES FOR THE TYPE AND APPLICATION OF PRESERVATIVE TREATMENTS WILL BE STRICTLY ENFORCED.
   C) ALL LUMBER MUST BEAR A STAMP BY THE AMERICAN LUMBER STANDARDS COMMITTEE FOR CONFORMANCE TO THE AMERICAN PRESERVERS ASSOCIATION STANDARDS.
   D) FIELD CUTS AND BORED SHALL RECEIVE FIELD-APPLIED PRESERVATIVE TREATMENT IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES. PRESERVATIVE TREATMENT CHEMICALS SHALL NOT BE ALLOWED TO ENTER HARBOR WATERS.
12. ALL BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. WOOD MEMBERS WITH HOLES NOT MEETING THE ABOVE CRITERIA SHALL BE REMOVED AND REPLACED.

NAILING AND FASTENERS

1. ALL NAILS AND FASTENERS SHALL BE CORROSION RESISTANT MEETING ASTM A153 CLASS D, HOT DIP GALVANIZED AND BE ACRYLIC ADHESIVE OR THERMAL PLASTIC RESIN LATEX ADHESIVE COATED.
2. ALL NAILS SHALL BE 16d (0.148" DIAMETER) HELICAL THREAD NAILS, WITH MINIMUM BENDING YIELD STRENGTH OF F_{YB} = 90,000 PSI, U.N.O.
3. NAILING OTHER THAN ROOF OR FLOOR DIAPHRAGM SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH TABLE 2304.10.2 OF THE CBC.
4. NAILS FOR ROOF AND FLOOR SHEATHING SHALL HAVE A MIN OF 1½" PENETRATION INTO THE FRAMING MEMBERS.
5. ALL HARDWARE SHALL BE CORROSION-RESISTANT COMPLYING WITH HDG G185 FINISH AND BE MANUFACTURED BY "SIMPSON STRONG-TIE CO., INC." (OR APPROVED EQUAL), AND SHALL HAVE A VALID ICC NUMBER ON THE PRODUCT. ANY DEVIATION FROM THE APPROVED PRODUCTS MUST BE APPROVED BY THE BUILDING DEPARTMENT, NOT BY THE FIELD INSPECTOR.
6. ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. BLIND NAILING SHALL NOT BE ACCEPTABLE AND WILL BE REJECTED.
7. WHERE MECHANICAL OR ADHESIVE ANCHORS/DOWELS ARE INDICATED ON DRAWINGS:

A) MECHANICAL ANCHORS SHALL BE STAINLESS STEEL HILTI KWIK BOLT KB-TZ AND BE INSTALLED IN ACCORDANCE WITH ICC ESR-1917
B) ADHESIVE ANCHORS SHALL BE HILTI STAINLESS STEEL "HIT-HY 200 MAX-SD" ADHESIVE INSTALLED IN ACCORDANCE WITH ICC ESR-3187 OR STAINLESS STEEL SIMPSON STRONG-TIE "SET-XP EPOXY" ADHESIVE INSTALLED IN ACCORDANCE WITH ICC ESR-2508.
C) HOLES SHALL BE DRILLED WITH NON-REBAR-CUTTING DRILL BITS.
D) CONTINUOUS INSPECTION IS REQUIRED FOR THE INSTALLATION OF THE ALL ANCHORS/DOWELS BY A REGISTERED SPECIAL INSPECTOR APPROVED BY THE BUILDING DEPARTMENT. THE INSPECTOR SHALL VERIFY THE INSTALLATION OF ANCHORS/DOWELS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS INCLUDING CLEANLINESS OF DRILL HOLES AND PROPER EMBEDMENT.
E) UNLESS NOTED OTHERWISE ON THE DRAWINGS, USE MINIMUM 5/8" DIAMETER AT 24" ON CENTER WITH A MINIMUM OF 5" EMBEDMENT.

ABBREVIATIONS

A.B.	ANCHOR BOLT
A.C.	ASPHALT CONCRETE
A/C	AIR CONDITIONING
A.C.P.	ASPHALT CONCRETE PAVING
ADDL	ADDITIONAL
A.F.F.	ABOVE FININSH FLOOR
ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
ARCHT	ARCHITECTURAL
B.B.	BOTTOM OF BEAM
BET	BETWEEN
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
B.N.	BOUNDARY NAILING
BOT	BOTTOM
B.W.	BOTTOM OF WALL
C	CHANNEL
CANT	CANTILEVER
C.G.	CENTER OF GRAVITY
C.J.	CONSTRUCTION JOINT OR CEILING JOIST
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL	COLUMN
COMPO	COMPOSITION
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CONST	CONSTRUCTION
CORR	CORRIDOR
CTR	CENTER
DBL	DOUBLE
DET	DETAIL
DF	DOUGLAS FIR
D.F.	DRINKING FOUNTAIN
DIAG	DIAGONAL
DIAPH	DIAPHRAGM
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DP	DEEP
D.S.	DOWNSPOUT
DWGS	DRAWINGS
(E)	EXISTING
EA	EACH
E.F.	EACH FACE
ELEC	ELECTRICAL
ELEV	ELEVATION
EMBED	EMBEDMENT, EMBEDDED
E.N.	EDGE NAILING
EQ	EQUAL
E.S.	EACH SIDE
E.W.	EACH WAY
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F.D.	FLOOR DRAIN
FDN	FOUNDATION
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN	FINISH
F.J.	FLOOR JOIST
FLG	FLANGE
FLR	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.N.	FIELD NAILING
F.S.	FAR SIDE
FT	FEET OR FOOT
FTG	FOOTING
GALV	GALVANIZED
GA	GAUGE
G.I.	GALVANIZED IRON
GLB	GLU-LAM BEAM
GLP	GLU-LAM PURLIN
GYP BD	GYPSUM BOARD
HDR	HEADER
HGR	HANGER
HK.	HOOK
HORIZ	HORIZONTAL
H.P.	HIGH POINT
HT	HEIGHT
H.S.	HIGH STRENGTH
HVAC	HEATING/VENTILATING & AIR CONDITIONING
IN	INCH
INFO	INFORMATION
INT	INTERIOR
J.B.	JOIST BEARING
J.G.	JOIST GIRDER
JST	JOIST
JT	JOINT
K.O.	KNOCK OUT
L	ANGLE
LAT	LATERAL
LDR	LEDGER
LG	LONG
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONGIT	LONGITUDINAL
L.P.	LOW POINT
LT	LIGHT
MATL	MATERIAL
MAX	MAXIMUM
M.B.	MACHINE BOLT
MATL	MATERIAL
MAX	MAXIMUM
M.B.	MACHINE BOLT
MECH	MECHANICAL
MEZZ	MEZZANINE
MFD	MANUFACTURED
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
M.F.O.	METAL FRAMED OPENING
MLB	MICROLLAM BEAM
M.P.H.	MILES PER HOUR
MTL	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.S.	NELSON STUD OR NEAR SIDE
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OFF	OFFICE
OPNG	OPENING
OPP HD	OPPOSITE HAND
O.S.F.	OUTSIDE FACE
P.C.	PIPE COLUMN
PEN	PENETRATION
PL	PLATE OR PROPERTY LINE
PILAS	PILASTER
PLYWD	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
P.T.	PRESERVATIVE TREATED
R.D.	ROOF DRAIN
REBAR	REINFORCING BAR
R.B.	ROOF BEAM
REQD	REQUIRED
REINF	REINFORCING
REF	REFERENCE
REV	REVISION
R.J.	ROOF JOIST
RM	ROOM
R.O.	ROUGH OPENING
SCH	SCHEDULE
SECT	SECTION
SHTG	SHEATHING
SHT	SHEET
SIM	SIMILAR
S.J.	SAWCUT JOINT
S.P.	SPLICE POINT
SPA	SPACING
SPECS	SPECIFICATIONS
SQ	SQUARE
STAGG	STAGGERED
STD	STANDARD
STIFF	STIFFENER
STL	STEEL
S.S.	SELECT STRUCTURAL
STRUCT	STRUCTURAL
SYM	SYMETRICAL
T & B	TOP & BOTTOM
T & G	TONGUE & GROVE
TEMP	TEMPERED
T.F.	TOP OF FOOTING
T.B.	TOP OF BEAM
TG	TAPERED GIRDER
T.G.	TOP OF GIRDER
THK	THICK
THRU	THROUGH
T.L.	TOP OF LEDGER
T.N.	TOP OF NAILER
T.O.	TOP OF
T.O.P.	TOP OF PARAPET/PANEL
T.O.S.	TOP OF STEEL
TOT	TOTAL
TRANSF	TRANSFER
TRANSV	TRANSVERSE
TS	TUBE STEEL
T.S.	TOP OF SLAB
T.W.	TOP OF WALL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT	VERTICAL
V.I.F.	VERIFY IN FIELD
W/	WITH
WD	WOOD
W	WIDE FLANGE
W/O	WITHOUT
W.P.	WORK POINT
W.R.	WATER RESISTANT
WT	WEIGHT
W.W.F.	WELDED WIRE FABRIC
X	EXTRA STRONG
XX	DOUBLE EXTRA STRONG

SYMBOLS

@	AT
℄	CENTER LINE
Ø	DIAMETER
℘	PLATE OR PROPERTY LINE
$	STEP IN FOOTING

ANCHOR RODS

1. ANCHOR RODS/TIE-RODS SHALL CONFORM TO A.S.T.M. A722-95 GR 150 TYPE II THREADED REBAR AS MANUFACTURED BY DYWIDAG-SYSTEMS INTERNATIONAL (DSI) WITH DOUBLE CORROSION PROTECTION.
2. ROD TENSIONING: AFTER BACKFILLING & COMPACTING TO TOP OF ANCHOR BEAM, TENSION RODS TO 1,000#. COMPLETE BACKFILL & COMPACTION TO ROUGH GRADE & TENSION RODS TO 5,000#.

GENERAL SPECIAL INSPECTIONS

1. PERIODIC (NON-CONTINUOUS) OR CONTINUOUS SPECIAL INSPECTION BY A CITY CERTIFIED DEPUTY INSPECTOR IS REQUIRED FOR ALL SITE CONCRETE WORK
2. CONTINUOUS SPECIAL INSPECTIONS IS REQUIRED FOR THE INSTALLATION OF ANCHOR BOLTS, ADHESIVE ANCHOR BOLTS, ADHESIVE DOWELS AND MECHANICAL ANCHORS IN ALL CONCRETE AND MASONRY WORKS.
3. SPECIAL INSPECTIONS SHALL BE DONE BY ONE OR MORE REGISTERED DEPUTY (SPECIAL) INSPECTORS, APPROVED BY THE BUILDING DEPARTMENT ONLY, HIRED AND PAID FOR BY THE OWNER.
4. SITE VISITS CONDUCTED BY THE ENGINEER ARE MERELY FOR OBSERVATION PURPOSE ONLY AND DO NOT CONSTITUTE AN INSPECTION.
5. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION AGREEMENT MUST BE SUBMITTED TO THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
6. AS A MINIMUM, THE DEPTH OF THE SEAWALL EMBEDMENT INTO THE GROUND SHALL BE AS SHOWN ON ELEVATIONS ON (SW-1) AND MUST BE ACCURATELY MEASURED BY THE DEPUTY INSPECTOR. A COPY OF THE MEASUREMENT MUST BE SUBMITTED TO THE CITY & THE ENGINEER OF RECORD.
7. SPECIAL INSPECTION IS REQUIRED FOR ALL NEW CONCRETE AND MASONRY CONSTRUCTION, INCLUDING REINFORCING STEEL.

CITY OF NB NOTES

a. "A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING."
b. THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER AUGUST 21, 2019 AS REQUIRED BY NBMC SECTION 15.02.095.

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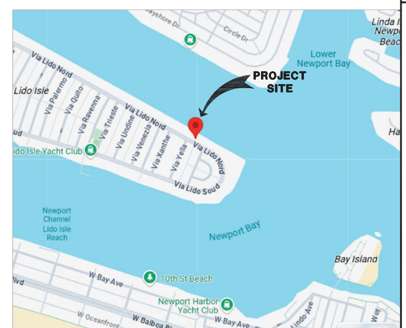
ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.



VICINITY MAP

SCOPE OF WORK:

1. TO REINFORCE THE EXISTING SEAWALL BY UTILIZING DYWIDAG TIE-BACKS CONNECTED TO A NEW CONCRETE DEADMAN.
2. THE ABOVE LISTED CONSTRUCTION SHALL BE DONE FROM LAND SIDE, WITHOUT ANY MECHANIZED EQUIPMENT BEYOND THE FACE OF THE SEAWALL.

NOTE TO THE BIDDERS:

AFTER THOROUGHLY EXAMINING THE CONSTRUCTION DOCUMENTS AND THE SITE:

1. NOTIFY THE ARCHITECT AND/OR THE ENGINEER IN WRITING, REGARDING ALL DISCREPANCIES REQUIRING CLARIFICATION, PRIOR TO THE "BID SUBMITTAL".
2. IF THE ARCHITECT AND/OR THE ENGINEER IS NOT NOTIFIED, AS REQUIRED PER ITEM #1 ABOVE, IT SHALL MEAN THAT THE CONTRACTOR HAS CONSIDERED ADEQUATE CONTINGENCY IN HIS BID TO COVER ALL COSTS TO COMPLY WITH THE MOST STRINGENT CONDITIONS.
3. THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION FOR ANY DISCREPANCY DISCOVERED AFTER THE "CLOSE OF THE BID".

DATE	REVISIONS	NO

OWNERSHIP OF DOCUMENTS
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PMA CONSULTING, INC.

REGISTERED PROFESSIONAL ENGINEER
PLAMEN BORISSOV PETROV
No.C 66947
CIVIL
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REINFORCE THE EXISTING SEAWALL
LOCATED AT:
836 VIA LIDO NORD
NEWPORT BEACH, CA 92663

STRUCTURAL GENERAL NOTES & VICINITY MAP

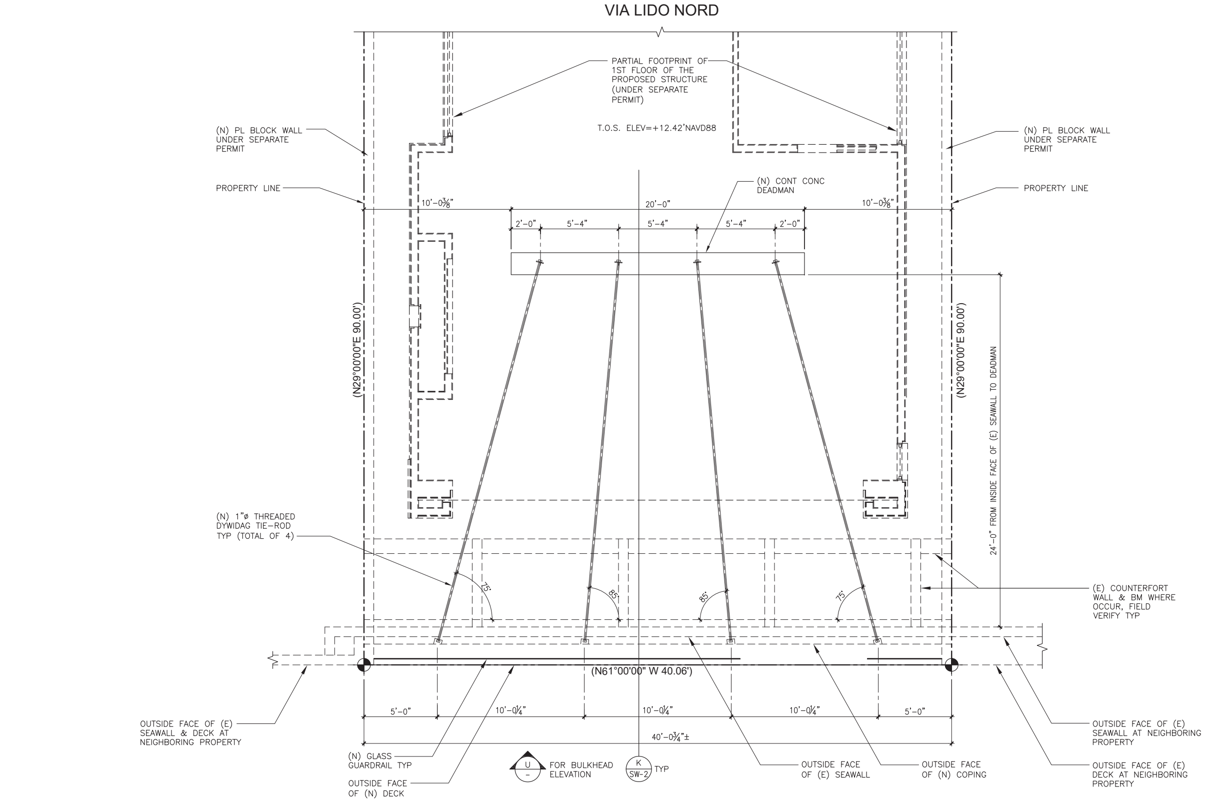
DATE 04/28/2025
JOB NO. 63025
DRAWN P., PETROV
CHECKED P. PETROV

SHEET OF

SW-0

FOR CDP

FOR CDP



APPLY DETAIL R/SW-2 AT THE ENTIRE PERIMETER OF ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 10 UNDER "GRADING NOTES" ON SHEET SW-0.

SITE PLAN/TIE-RODS LAYOUT

N.T.S. | Q

CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT | BUILDING DIVISION

STRUCTURAL OBSERVATION GENERAL NOTES

1. STRUCTURAL OBSERVATION IS REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH CBC 1710. STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM BY A LICENSED DESIGN PROFESSIONAL FOR GENERAL CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS.
2. STRUCTURAL OBSERVATION DOES NOT WAIVE THE RESPONSIBILITY FOR THE REQUIRED INSPECTIONS BY THE CITY OF NEWPORT BEACH.
3. THE OWNER SHALL EMPLOY A LICENSED DESIGN PROFESSIONAL TO PERFORM STRUCTURAL OBSERVATION SITE VISITS, AND TO ISSUE ALL STRUCTURAL OBSERVATION REPORTS.
4. THE DESIGN ENGINEER SHALL IDENTIFY THE REQUIRED STRUCTURAL OBSERVATION SITE VISITS ON THE STRUCTURAL OBSERVATION SCHEDULE.
5. THE REQUIRED SITE VISITS SHALL AT A MINIMUM INCLUDE THE FOLLOWING:
   A. OBSERVATION OF THE FOUNDATION SYSTEM PRIOR TO FINAL CONCRETE POUR;
   B. OBSERVATION OF BUILDING FRAMING PRIOR TO CALLING FOR THE CITY OF NEWPORT BEACH "COMPLETE FRAMING INSPECTION"; AND,
   C. FINAL OBSERVATION OF THE COMPLETED STRUCTURE.

   ADDITIONAL SITE VISITS MAY BE NEEDED AS DETERMINED BY THE DESIGN ENGINEER OR STRUCTURAL OBSERVER.
6. THE STRUCTURAL OBSERVER SHALL PREPARE A STRUCTURAL OBSERVATION REPORT FOR EACH STAGE OF CONSTRUCTION OBSERVED. THE CITY OF NEWPORT BEACH "STRUCTURAL OBSERVATION REPORT" FORM, OR A SIMILARLY FORMATTED REPORT, SHALL BE USED FOR ALL STRUCTURAL OBSERVATION REPORT.
7. IF THE CITY'S FORM IS NOT USED, REPORTS SHALL BE ON STRUCTURAL OBSERVER'S LETTERHEAD, STATE SITE ADDRESS, PLAN CHECK & PERMIT NUMBERS, STAGES & ELEMENTS OBSERVED, DATE OBSERVED, & COMPLETE CONTACT INFORMATION FOR STRUCTURAL OBSERVER.
8. ALL STRUCTURAL OBSERVATION REPORTS, REGARDLESS OF FORM USED, SHALL INCLUDE THE LICENSE STAMP & SIGNATURE OF THE STRUCTURAL OBSERVER RESPONSIBLE FOR THE PROJECT.
9. EACH STRUCTURAL OBSERVATION REPORT SHALL BE GIVEN TO THE OWNER OR OWNER'S REPRESENTATIVE, PROJECT CONTRACTOR, AND THE BUILDING INSPECTOR.
10. THE CONTRACTOR SHALL RESOLVE ALL DEFICIENCIES & THE FINAL STRUCTURAL OBSERVATION REPORT ISSUED PRIOR TO FINAL INSPECTION OR ACCEPTANCE OF STRUCTURAL WORK BY THE BUILDING INSPECTOR.
11. THE FINAL STRUCTURAL OBSERVATION REPORT SHALL STATE THAT THE STRUCTURAL SYSTEM CONFORMS TO THE APPROVED CONSTRUCTION DOCUMENTS & THAT ALL PREVIOUSLY OBSERVED DEFICIENCIES HAVE BEEN CORRECTED.
12. FINAL INSPECTION OR OTHER ACCEPTANCE OF THE STRUCTURAL SYS- TEM BY THE CHIEF BUILDING OFFICIAL, OR DESIGNEE, WILL NOT OCCUR UNTIL THE FINAL STRUCTURAL OBSERVATION REPORT IS RECEIVED.
13. THE LICENSED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL PREPARE ALL CONSTRUCTION DOCUMENT CHANGES RELATING TO THE STRUCTURAL SYSTEMS. REVIEW & APPROVAL OF SUCH CHANGES BY THE CHIEF BUILDING OFFICIAL, OR DESIGNEE, SHALL BE OBTAIN BY THE DESIGN PROFESSIONAL AND/OR CONTRACTOR PRIOR TO INSTALLATION AND/OR CONSTRUCTION OF SAID CHANGES.

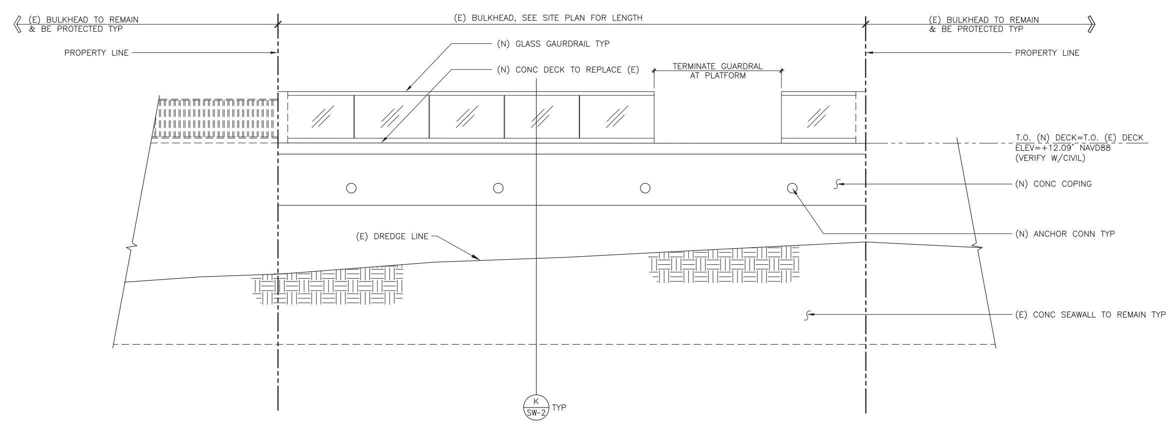
STRUCTURAL OBSERVATION SCHEDULE

SITE ADDRESS: 836 VIA LIDO NORD | PC #:

TO BE COMPLETED BY THE DESIGN ENGINEER, AND INCLUDED ON THE CONSTRUCTION DRAWINGS.
BASED ON THE PROJECT SCOPE, PLEASE IDENTIFY THE ELEMENTS AND/OR CONNECTIONS THAT REQUIRE STRUCTURAL OBSERVATION. SPECIFY THE INTERVAL OR STAGE OF CONSTRUCTION WHEN THE STRUCTURAL OBSERVATION WILL BE PERFORMED.

TYPE	STRUCTURAL ELEMENTS AND/OR CONNECTIONS TO BE OBSERVED	SCHEDULED INTERVAL OR STAGE OF CONSTRUCTION
FOUNDATIONS	☒ FOOTINGS, SLAB FOUNDATION, ANCHORS	CONCRETE COPING & DEADMEN PRIOR TO POURING CONCRETE
	☐ MAT FOUNDATION, PRESTRESSED CONC. SLAB	
	☐ CAISSON, PILE, GRADE BEAM	
	☐ OTHER:	
SHEAR WALLS	☐ CONCRETE	
	☐ MASONRY	
	☐ WOOD OR MANUFACTURED SHEAR PANELS	
	☐ OTHER:	
FRAMES	☐ STEEL MOMENT OR BRACED FRAME	
	☐ CONCRETE MOMENT FRAME	
	☐ MASONRY WALL FRAME	
	☐ OTHER:	
DIAPHRAGMS	☐ CONCRETE	
	☐ STEEL DECK	
	☐ WOOD	
	☐ OTHER:	
FINAL	☒ FINAL OBSERVATION & REPORT	

FORMS\STRUCTURAL OBSERVATION GENERAL NOTES & SCHEDULE 11-29-11



NOTE: VERIFY ALL ELEVATIONS.

N.T.S. | U

N.T.S. | V

DATE | REVISIONS | NO

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OWNERSHIP OF DOCUMENTS
PMA CONSULTING, INC.

REGISTERED PROFESSIONAL ENGINEER
PLAMEN BORISSOV PETROV
No.C 66947
CIVIL
STATE OF CALIFORNIA
04/28/2025

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REINFORCE THE EXISTING SEAWALL LOCATED AT:
836 VIA LIDO NORD
NEWPORT BEACH, CA 92663

SITE PLAN & ELEVATION

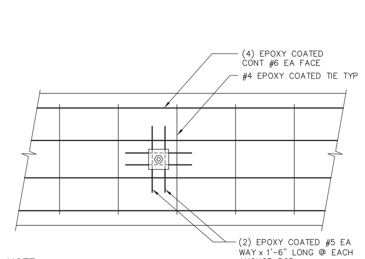
DATE 04/28/2025
JOB NO. 63025
DRAWN P. PETROV
CHECKED P. PETROV

SHEET OF

SW-1

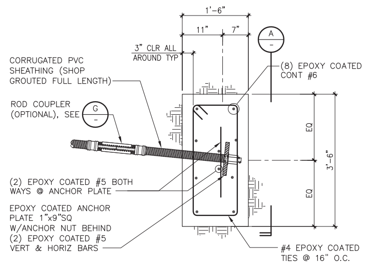
FOR CDP

FOR CDP



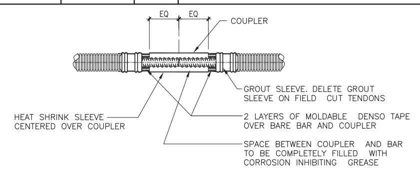
NOTE :
FOR INFORMATION NOT SHOWN, SEE DETAIL B

DEADMAN ELEVATION	N.T.S.	A



NOTE :
FOR INFORMATION NOT SHOWN, SEE DETAILS A & Q.

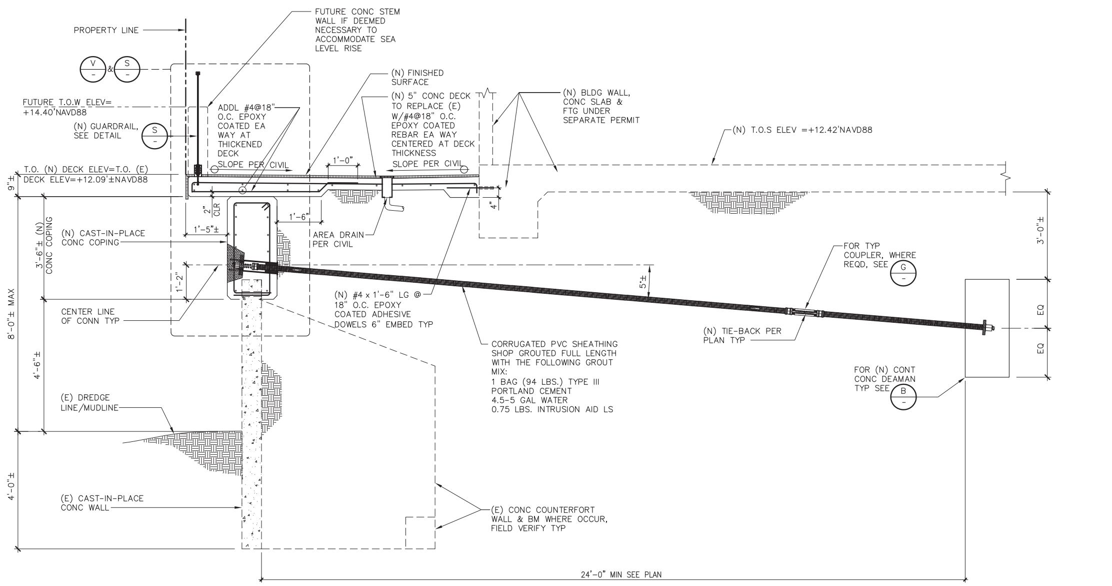
SECTION AT DEADMAN	N.T.S.	B



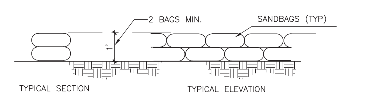
COUPLER INSTALLATION PROCEDURE
1. APPLY CORROSION INHIBITING GREASE TO THE BARE ENDS OF THE BARS AND THE INSIDE OF THE COUPLER.
2. CONNECT THE TWO BAR ENDS WITH THE COUPLER. EACH END SHALL BE SCREWED INTO THE COUPLER HALF THE LENGTH OF THE COUPLER.
3. TORQUE BAR ENDS TOGETHER (200 FT. LBS).
4. ADD ANOTHER COAT OF GREASE TO BARE BAR AND COUPLER AND WRAP WITH TWO LAYERS OF DENSO TAPE.
5. CENTER HEAT SHRINK SLEEVE OVER COUPLER AND APPLY HEAT UNTIL SLEEVE IS FULLY RECOVERED.

PREPARATION FOR FIELD CUT BARS:
1. CUT CORROSION PROTECTION AND THREAD BAR WITH AN ABRASIVE SAW (DO NOT USE A TORCH).
2. CAREFULLY REMOVE 6" (± ¼") CORRUGATED AND CEMENT GROUT FROM THE END OF THE NEW CUT.

DCP COUPLER DETAIL	N.T.S.	G

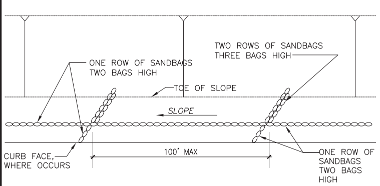


TYPICAL SECTION	N.T.S.	K



SANDBAG VELOCITY REDUCER DETAIL

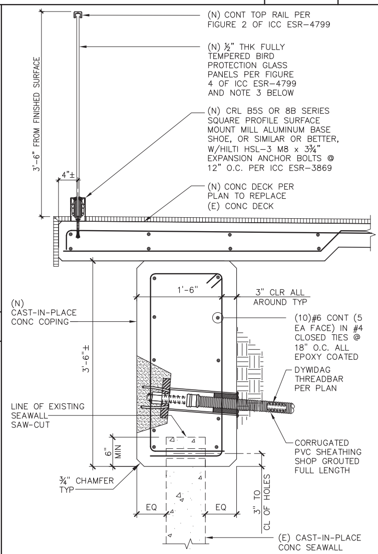
VELOCITY REDUCER DETAIL	N.T.S.	L



TOE OF SLOPE PROTECTION DETAIL

NOTE:
THIS DETAIL SHALL APPLY AT THE ENTIRE PERIMETER OF ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 10 UNDER "GRADING NOTES" ON SHEET SW-0.

TOE OF SLOPE PROTECTION	N.T.S.	R



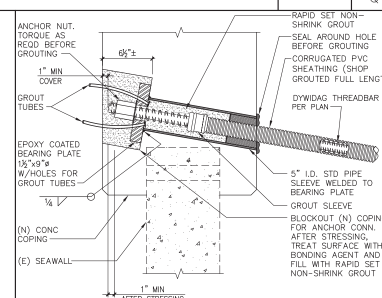
NOTES :
1. FOR INFO NOT SHOWN, SEE DETAILS K & V.
2. CORE DRILL 2"ø HOLES AT CONC WALL TO ALLOW FOR CLOSED TIES INSTALLATION. CARE MUST BE EXERCISED BY THE CONTRACTOR TO ASSURE THAT ALL HOLES GET FILLED WITH CONCRETE DURING CONCRETE COPING POUR.
3. UTILIZING MESINURS BRAND ANTI-COLLISIONS BIRD STICKERS DECALS, OR SIMILAR, OR BETTER, IS ACCEPTABLE TO SERVE AS A BIRD PROTECTION.

SECTION AT COPING & GUARD	1"=1'-0"	S

	Q

	T

	U



TIE-BACK TO COPING CONN	N.T.S.	V

NO	REVISIONS	DATE

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REINFORCE THE EXISTING SEAWALL LOCATED AT:
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DETAILS

DATE 04/28/2025
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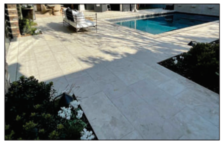
DRAWN P. PETROV
CHECKED P. PETROV

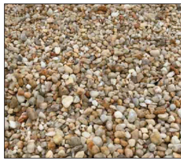
SHEET OF
SW-2

FOR CDP

FOR CDP

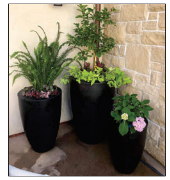


ZOLA BEIGE ANTIQUE FINISH
STONE PAVING/STEPPERS



CHAMOIS BEIGE
DECORATIVE GRAVEL

COBBLE STONE
DRIVEWAY



DECORATIVE POTTERY
(T.B.S.)

MATERIAL SCHEDULE FOR:

FOREMAN RESIDENCE: 836 VIA LIDO NORD, NEWPORT BEACH, CA
VERIFY ALL MATERIALS WITH SAMPLE TO BE APPROVED PRIOR TO ORDER AND INSTALLATION. REFER TO MATERIAL BOARD.

- (A) STONE PAVING: ATLAS GRIS ANTIQUE FINISH IN RUNNING BOND PATTERN
- (B) STONE STEPPERS: ATLAS GRIS ANTIQUE FINISH IN RUNNING BOND PATTERN
- (C) DRIVEWAY: COBBLE STONE
- (D) DECORATIVE GRAVEL: 3/8" CHAMOIS BEIGE

OLEA EUROPAEA
-OLIVE TREE

B | CONSTRUCTION MATERIALS

C | PLANTING MATERIALS

BUXUS SEMPERVIRENS
-COMMON BOXWOOD SPHERE

LIGUSTRUM TEXANUM
-PRIVET HEDGE

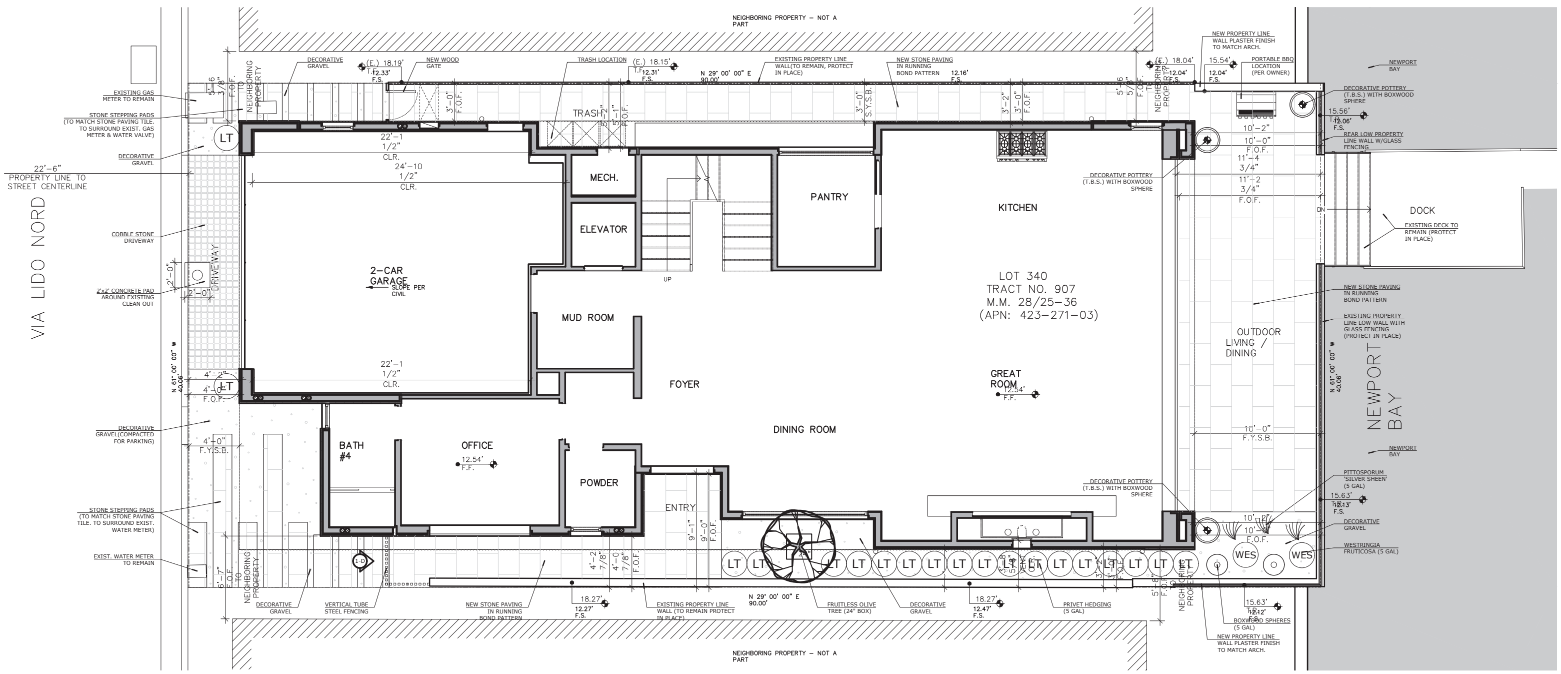
LOMANDRA LONGIFOLIA
-VARIEGATED LOMANDRA

WESTRINGIA FRUTICOSA
-'GREY BOX' WESTRINGIA

BUXUS SEMPIRVIRENS
-COMMON BOXWOOD SPHERE IN POT

PITTOSPORUM TENUIFOLIUM
-'GOLF BALL' SILVER SHEEN IN POT

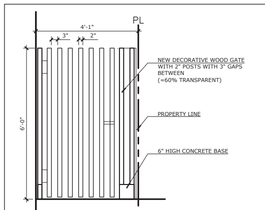
C | PLANTING MATERIALS CONT.



SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4133
(TWO WORKING DAYS BEFORE YOU DIG)

A | SITE PLAN | SCALE: 1/4"=1'-0"



DECORATIVE ENTRY GATE ELEVATION

D | DETAILS | SCALE: 1/2"=1'-0"

GENERAL CONSTRUCTION NOTES:

ALL DIMENSIONS ARE TAKEN FROM FACE OF CURB OR EDGE OF PAVING UNLESS OTHERWISE NOTED ON PLAN. THE DIMENSIONS ARE SHOWN FOR APPROXIMATE LINE AND RADII, CURVES ARE TO HAVE CONTINUOUS AND SMOOTH TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.

ALL FORMS AND ALIGNMENT OF PAVING LOCATION SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING (GIVE A MINIMUM OF 48 HOURS).

CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.

CONTRACTOR SHALL NOTE AND INSTALL SLEEVE LOCATIONS SHOWN ON IRRIGATION PLAN AND CONSTRUCTION PLAN.

ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE 1997 UNIFORM BUILDING CODE.

THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

CONTRACTOR MUST CHECK ALL DIMENSIONS, FRAMING CONDITIONS AND SITE CONDITIONS BEFORE STARTING WORK. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES.

CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR RESPECTIVE MATERIALS.

THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS OF THE WORKSITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.

DESIGN MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, LANDSCAPE ARCHITECT, AND THE AND THE APPLICABLE GOVERNING CODE AUTHORITY.

ALL EXPOSED DOUGLAS FIR WOOD, SUCH AS DECKING, HANDRAILS, SIDING, OVERHEADS, POSTS, ETC., SHALL BE STAINED WITH TWO COATS OF STAIN OR TWO COATS OF ENAMEL PAINT. FOR COLOR OF STAIN OR PAINT, REFER TO CONSTRUCTION AND FINISH SCHEDULE.

ALL WOOD MEMBERS ADJACENT TO FINISH GRADE OR CONCRETE SURFACE SHALL BE REDWOOD OR PRESSURE TREATED DOUGLAS FIR.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MAKING ALL ORDERS TO PURCHASE TILE, BRICK AND OTHER MATERIALS, AS SOON AS CONTRACT IS DETERMINED. THIS WILL BE NECESSARY IN ORDER NOT TO DELAY IMPLEMENTATION OF THESE ELEMENTS OR ALLOW ADEQUATE TIME FOR RESEARCH AND ACQUISITION OF APPROPRIATE SUBSTITUTES.

ALL STRUCTURAL DETAILS INCLUDING WOOD STRUCTURE, FOOTINGS, WALLS, ETC. ARE SHOWN FOR DESIGN, AESTHETIC PURPOSES ONLY. OWNER SHALL PROVIDE ALL ENGINEERING SERVICES NECESSARY FOR REVIEW OF STRUCTURAL ELEMENTS, SOILS AND SLOPE ENGINEERING, DRAINAGE, CIVIL, RETAINING WALLS, ETC.

CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR WORK HEREIN.

TREES: PLANTING PALLET:

	NUM		NAME	SIZE	HxW AT PLANTING	HxW AT MATURE
(tree symbol)	20.	OLE EUR	OLEA EUROPAEA -FIELD GROWN OLIVE TREE	48" BOX 24" BOX	12'x15' 12'x12'	15'x20' 15'x15'

SHRUBS: PLANTING PALLET:

	NUM		NAME	SIZE	HxW AT PLANTING	HxW AT MATURE
⊙	23.	BUX SEM	BUXUS SEMPERVIRENS -COMMON BOXWOOD SPHERE	5 GAL	1.5'x1.5'	2'X2'
(LT)	24.	LIG TEX	LIGUSTRUM TEXANUM -PRIVET	5 GAL	5''x3'	6'x4'
(grass symbol)	25.	LOM BAB	LOMANDRA LONGIFOLIA -VARIEGATED LOMANDRA	5 GAL	1'x1'	2'x2'
(WES)	26.	WES FRU	WESTRINGIA FRUTICOSA -'GREY BOX' WESTRINGIA	5 GAL	1.5'X2'	2'x2'
(pot symbol)	27.	POT A	BUXUS SEMPERVIRENS -COMMON BOXWOOD TOPIARY SPHERE	5 GAL	1.5'x1.5'	2'x2'
(pot symbol)	28.	POT B	PITTOSPORUM TENUIFOLIUM -'GOLF BALL' SILVER SHEEN	5 GAL	1.5'x1.5'	2'x2'

PLANTING SPECIFICATIONS:

A. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 3" IN DIAMETER FROM PLANTING AREAS.

B. CROSS RIP ALL TURF AND PLANTING AREAS TO A DEPTH OF 12" AND BLEND THE FOLLOWING AMENDMENTS INTO TILLED SOIL TO A DEPTH OF 6"
PER 1,000 SQUARE FEET
250 LBS. GRO-POWER PLUS WITH 4% SULFUR
6 CUBIC YARDS OF NITROLIZED ORGANIC AMENDMENT
200 LBS. AGRICULTURAL GYPSUM

C. EXCAVATE THE PLANTING PITS FOR TREES AND SHRUBS TWICE THE DIAMETER AND THE DEPTH OF THE ROOT BALL, SCARIFY THE SIDES AND BOTTOM OF THE PIT. THE BACKFILL MIX FOR USE AROUND THE ROOT BALL SHALL CONSIST OF THE FOLLOWING:
PER CUBIC YARD OF MIX
6 PARTS BY VOLUME NON-SALINE, NON-SODIC AND LOW BORON CONTENT SANDY TEXTURED IMPORT TOP SOIL
4 PARTS BY VOLUME NITROLIZED ORGANIC AMENDMENT
20 LBS. GRO-POWER PLUS WITH 4% SULFUR
20 LBS. AGRICULTURAL GYPSUM
USE GRO-POWER PLANTING TABLETS (7 GRAM SIZE 12-8-8) WHILE BACKFILLING THE PLANT, (VERIFY NUMBER OF TABLETS WITH MANUFACTURER'S SPECIFICATIONS).

D. SOIL AMENDMENT AND BACKFILL MIX ARE PROVIDED FOR BIDDING PURPOSES ONLY. THE CONTRACTORS SHALL PROVIDE IN THEIR BID FOR A SOIL AGRONOMY REPORT BY AN APPROVED SOIL AGRONOMIST UPON COMPLETION OF ROUGH GRADING. ACTUAL SOIL AMENDMENTS AND BACKFILL MIX SHALL BE AS PER SOIL AGRONOMIST'S REPORT AND RECOMMENDATIONS.

E. BACKFILL FOR FERNS AND SHADE PLANTS SHALL BE 1/3 PREPARED SITE SOIL AND 2/3 SATURATED COARSE PEAT MOSS. SET THESE PLANTS SO THAT WHEN SETTLED THE CROWN WILL BE 1 1/2" ABOVE THE SURROUNDING GRADE.

F. REMOVE ALL VINES FROM NURSERY STAKES AND ESPALIER AND ATTACH TO FENCE OR WALL SURFACE USING NAILS OR PLASTIC TIES.

G. ACTUAL SYMBOLS SHALL HAVE PRIORITY OVER WRITTEN QUANITIES. CONTRACTOR SHALL VERIFY QUANTITIES AND NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.

H. ALL PLANT MATERIAL, COLOR SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.

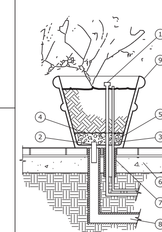
I. ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER.

PLANTING NOTES:

1. ALL AREAS WITH ANNUAL COLOR WILL BE PLANTED WITH "BEST COLOR OF SEASON" AND SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
2. TURF AREAS TO BE SODDED WITH MARATHON TYPE II FESCUE OR EQUAL.
3. ALL SHRUB AREAS TO BE UNDERPLANTED WITH 3/8" CHAMOIS BEIGE GRAVEL AND SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
4. CONTRACTOR IS TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE AND SEPARATE SUN/SHADE AND TURF/GROUNDCOVER SYSTEMS.
5. CONTRACTOR SHALL ALSO PROVIDE IRRIGATION, AND/OR DRAINAGE IN PLANT POTS.
6. CONTRACTOR SHALL NOT DETOUR FROM ANY OF THE PLANT MATERIALS ON THIS LIST, UNLESS CONSULTING WITH THE LANDSCAPE ARCHITECT FIRST.

IRRIGATION NOTE:

ALL LANDSCAPE AREAS DESIGNATED TO RECEIVE NEW PLANTINGS ARE TO BE IRRIGATED WITH AN AUTOMATICALLY CONTROLLED SYSTEM USING LOW GALLON SPRY HEADS. BACKFLOW PREVENTION TO BE PROVIDED PER STATE, CITY AND LOCAL CODES.



1. BUBBLER HEAD OR DRIP IRRIGATION HEAD BELOW LIP OF POT, ADJUST AS REQUIRED. 1/2" COPPER UNDER ALL HARDSCAPE AND INTO POT.
2. 4" LONG P.V.C. PIPE, DIA. TO MATCH DRAIN HOLE (3/4" MIN.) EPOXY IN PLACE THROUGH DRAIN HOLE INTO DRAIN LINE AND WATERPROOF SEAL AROUND HOLE.
3. IRRIGATION AND ELECTRIC LINES TO HAVE WATERPROOF SEAL AROUND HOLE.
4. MIRAFI FILTER CLOTH
5. 2" GRAVEL
6. PAVEMENT PER CONSTRUCTION PLAN.
7. P.V.C. TO HOUSE IRRIGATION AND ELECTRICAL LINES.
8. DRAINAGE LINE PER GRADING PLAN.
9. POT

NOTE:

ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE AND THE CITY OF NEWPORT BEACH MUNICIPAL

NOTE:

ALL DRAINAGE AND GRADING SHALL BE IN ACCORDANCE WITH THE GRADING PERMIT (ENG23-0226)

2015 SO-CAL LANDSCAPE & DESIGN
DESIGN - BUILD - LIVE

DRAWN BY: SO-CAL LANDSCAPE & DESIGNS 7-8-25

CONTRACTOR: GONZALO SOBRERO
LICENCE #: 1018952
PHONE #: (949)306-1055
ADDRESS: 3305 LAGUNA CANYON RD. LAGUNA BEACH, CA 92651

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REV. #:	DATE:	DESCRIPTION:
1	3-27-25	HOA- 1ST SUB.
2	4-16-25	HOA- 2ND SUB.
3	5-12-25	HOA- 3RD SUB.
4	6-30-25	CDP- 1ST SUB.
5	7-8-25	CDP- 2ND SUB.

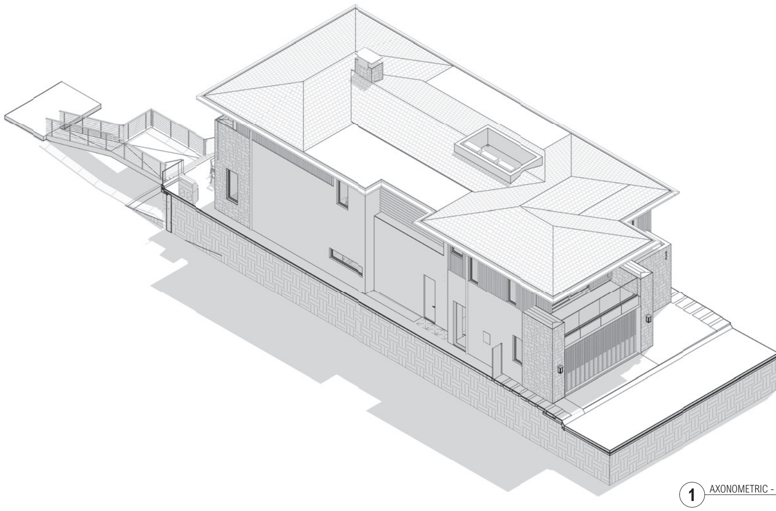
ORIENTATION:
PROJECT NORTH / TRUE NORTH

JOB #	21-_____
SCALE:	1/4"=1'-0"
DATE:	7-8-25
DRAWN BY:	Z.G.

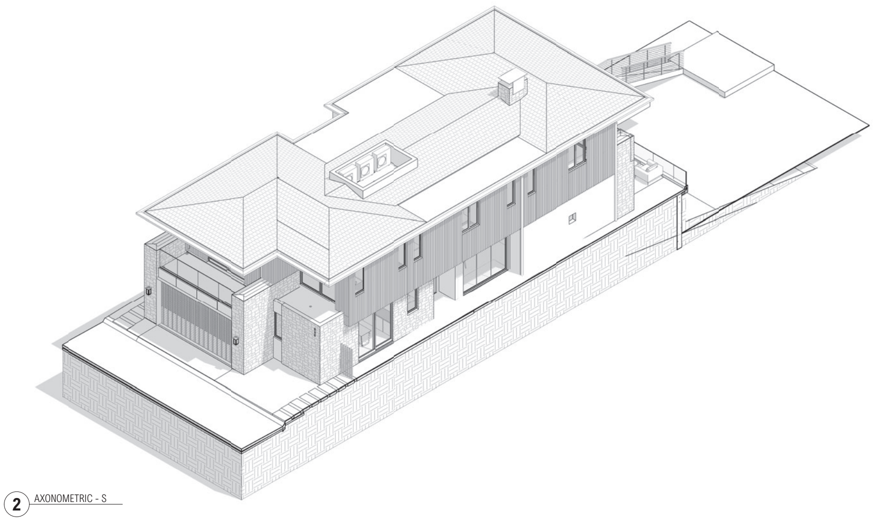
CLIENT:
FOREMAN RESIDENCE
ANNE AND DOUG FOREMAN
836 VIA LIDO NORD,
NEWPORT BEACH, CA 92663
(949)280-3866

SHEET TITLE:
CONSTRUCTION & PLANTING PLAN

L1

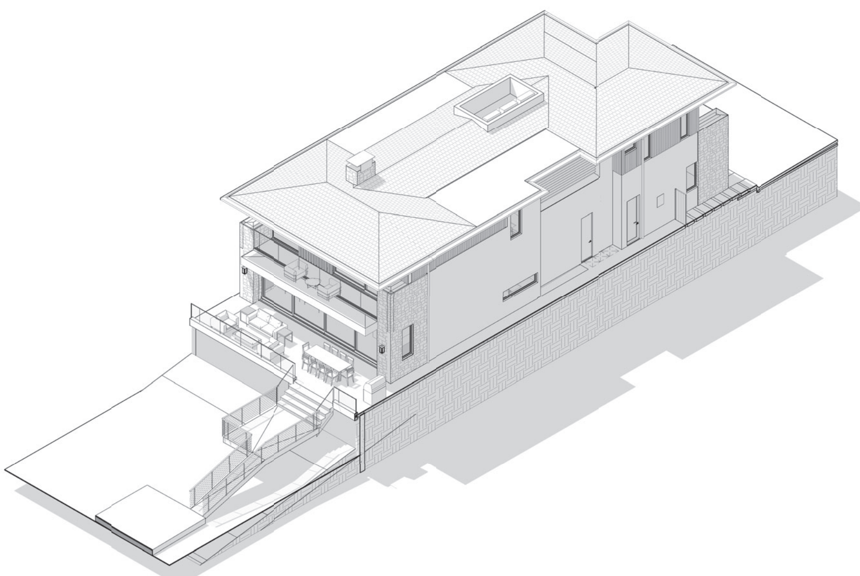


1 AXONOMETRIC - W

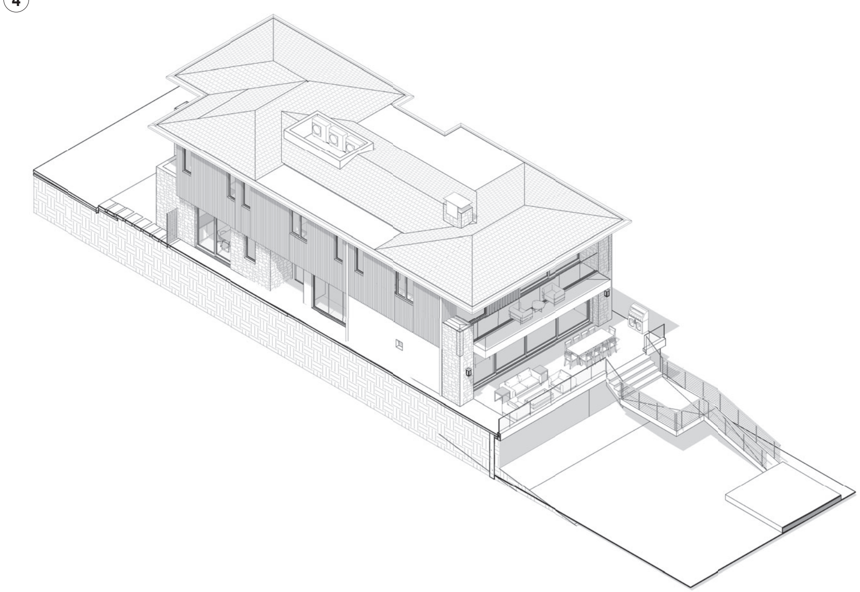


2 AXONOMETRIC - S

3 AXONOMETRIC - N



4 AXONOMETRIC - E



BRANDON ARCHITECTS

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COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS

HOA - FIFTH SUBMITTAL

PLAN CHECK NO.

PA2025-0089

PROJECT CONTACT

GAVIN FRIEHAUF

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FOREMAN RESIDENCE

PROJECT ADDRESS:

836 VIA LIDO NORD, NEWPORT BEACH, CA 92663

OWNER INFORMATION:

ANNE AND DOUG FOREMAN
836 VIA LIDO NORD, NEWPORT BEACH, CA 92663
P: 949.280.3866
E: AFORE10@GMAIL.COM

DATE

08/13/25

REVISIONS

NO.	REVISION	DATE

3D VIEWS

A-1.0

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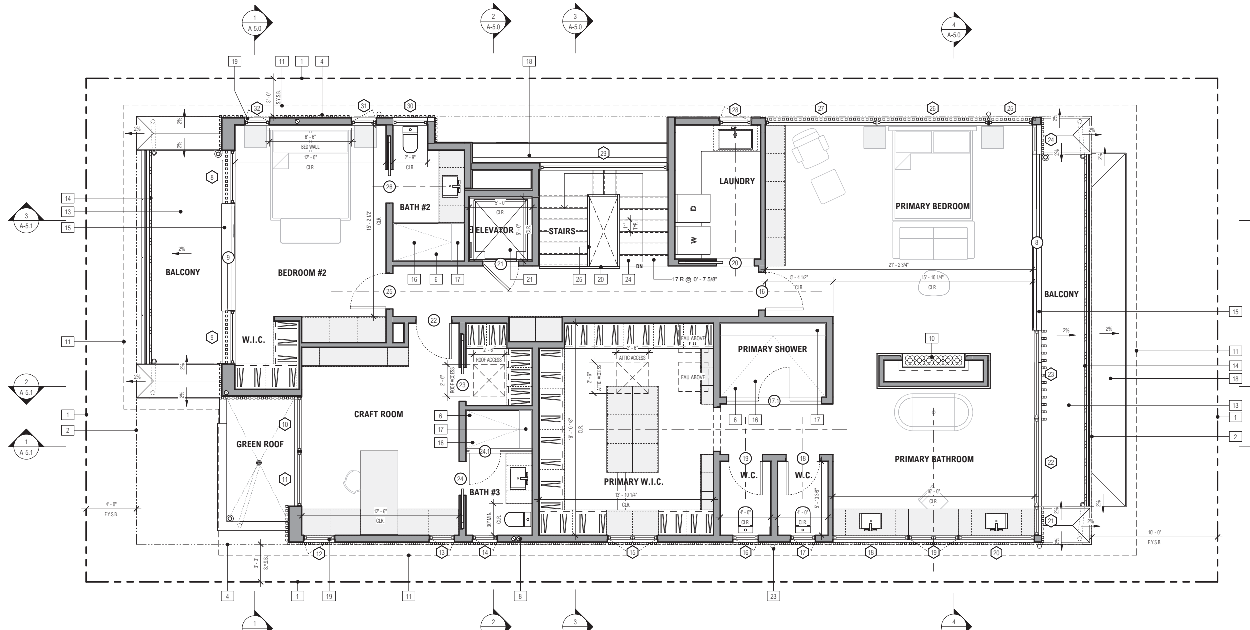
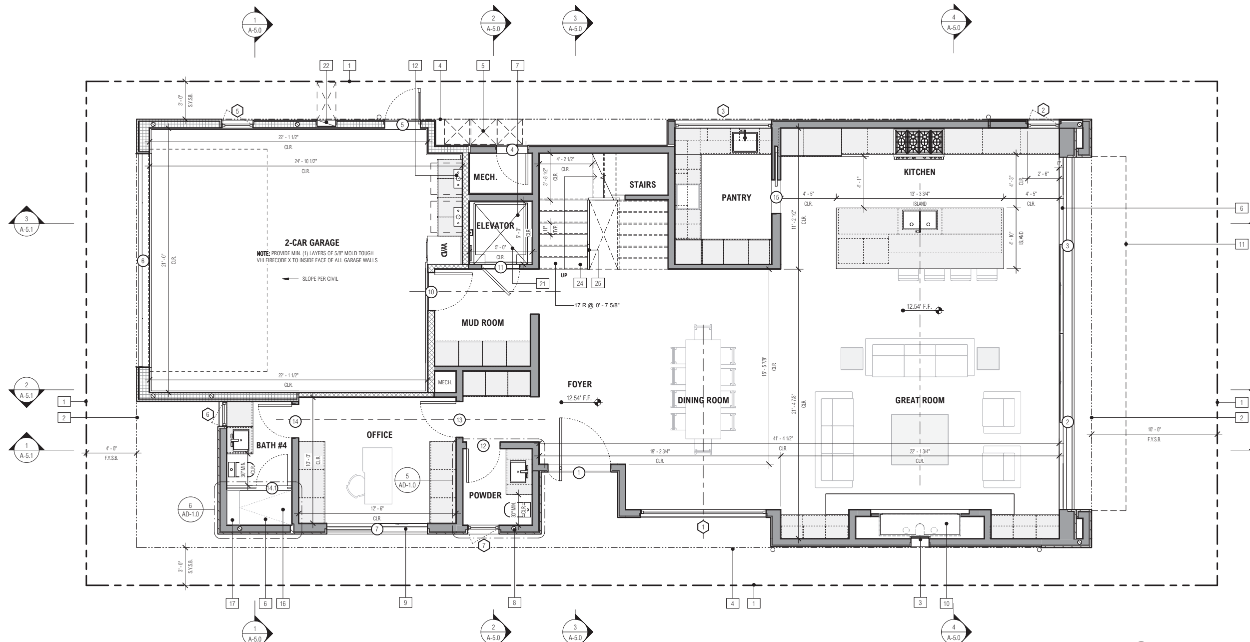


2 SECOND LEVEL FLOOR PLAN
1/4" = 1'-0"



1 FIRST LEVEL FLOOR PLAN
1/4" = 1'-0"

ROOM NAME

- **ROOM TAG**
- **ELEVATION / SECTION INDICATOR**
- **CALL-OUT TAG**
- **SPOT ELEVATION**
- **KEYNOTE TAG**
- **DOOR / WINDOW / WINDOW WALL TAG**
- **REVISION TAG**
- **FIRE RATED CEILING ASS'Y** - REF. DTLS. 8/AD-1.0
- **1-HR RATED INT CONDITION** - REF. DTLS. 8/AD-1.0
- **1-HR RATED EXT CONDITION** - REF. DTLS. 12/AD-1.0
- **STRUCTURAL STEEL COLUMN** PER STRUCT., REF. STRUTC. DWGS, - PAINT AND SEAL AS REQUIRED – ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS
- **STRUCTURAL WOOD POST/COLUMN COLUMN** - PER STRUCT., REF. STRUTC. DWGS, - PAINT, STAIN AND SEAL AS REQUIRED – ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH, APPROVAL
- **DOORS** - AS SPECIFIED, SEE WINDOW SCHEDULE AND GENERAL NOTES ON SHEET A-7.0 - SHGC & U-FCTOR PER T-24 ENERGY REPORT – SEE SHEET AD-2.0 FOR JAMB, HEAD AND THRESHOLD DETAILS, PROVIDE FLASHING AND WATERPROOFING AT DOOR OPENING PER THE DOOR MFGR. INSTRUCTION AND/OR FLASHING MFGR. INSTRUCTION PER SECTIONS R609.1 & R703.4 OF CRC
- **WINDOW** - AS SPECIFIED, SEE WINDOW SCHEDULE AND GENERAL NOTES ON SHEET A-7.0 - SHGC & U-FCTOR PER T-24 ENERGY REPORT – SEE SHEET AD-2.0 FOR JAMB, HEAD AND SILL DETAILS, PROVIDE FLASHING AND WATERPROOFING AT WINDOW OPENING PER THE WINDOW MFGR. INSTRUCTION AND/OR FLASHING MFGR. INSTRUCTION PER SECTIONS R609.1 & R703.4 OF CRC
- **STAIRS** - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT CANDLE AS MEASURED AT THE CENTER OF TREADS AND LANDING WITH ARTIFICIAL LIGHTING (R303.7) - REF. DTL. 3/AD-1
- **KITCHEN RANGE W/. EXHAUST HOOD** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CMC 920.3.2) –EXHAUST HOOD TO HAVE EXHAUST RATE OF MIN. 180 CFM AND VENT TO OUTDOOR , HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER 504.3 OF CMC & TABLE 150.0-E & G CALENERGY
- **KITCHEN/BAR SINK** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – SINK TO COMPLY W/. REQUIREMENT OF SECTION 420.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN – TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC
- **VANITY SINK** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT.(CPC 402.5) W/. MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN
- **WASHER (W) / DRYER (D) / STACKED (W/D)** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER , GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC 504.4) AND SHALL NOT EXCEED 14-FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.
- **REFRIGERATOR (REF) / FREEZER (FRZ)** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER AND WATER SUPPLY AS REQUIRED
- **BUILT-IN APPLIANCE / DISHWASHER (DW) / TRASH COMPACTOR (TR)** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER , WATER SUPPLY & DRAINAGE PIPE AS REQUIRED
- **TOILET** - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX EFFECTIVE FLUSH RATE OF 1.28 GAL. PER FLUSH (CPC 411.2). WATER CLOSETS CLR. TO BE 24" IN FRONT AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CRC R307) – REF. CALGREEN NOTES ON T SHTS. FOR MAX FLOW RATE
- **CASEWORK, TALL CABINET** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER
- **CASEWORK, BASE CABINET W/. COUNTERTOP** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER
- **CASEWORK, UPPER CABINET/SHELVES** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER
- **BUILT-IN CLOSET** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER
- **FIREPLACE** - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/. SEALED COMBUSTION (CALGREEN 4.503) - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CRC R1004.1)
- **ELEVATOR** - PRIVATE RESIDENCE ELEVATOR IN COMPLIANCE W/. ASME A17.1/CSA B44 AS SELECTED PER PLANS, VERIFY W/. OWNER – PROVIDE POWER AS REQ'D. (CRC 321.1)
- **A/C CONDENSER / HEAT PUMP** - TO BE IN COMPLIANCE OF SECTION 307.3 OF CMC AS SELECTED, VERIFY W/. OWNER - SIZE TBD, SEE T-24 ENERGY REPORT FOR MORE INFO – PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. – INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFGR. INSTRUCTION
- **FAU** - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFG'R. – INSTALL PER MFGR. INSTRUCTION
- **ROOF/DECK DRAIN** - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC – ROOF DRAIN SHALL HAVE DOMED STRAINER (CPC 1102.2) – REF. DETAIL 6 & 7/AD-1.0
- **OVERFLOW OR EMERGENCY DRAIN** - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC – ROOF DRAIN SHALL HAVE DOMED STRAINER (CPC 1102.2) – REF. DETAIL 6 & 7/AD-1.0

A ANNOTATION LEGEND

1 PROPERTY LINE - REF. SURVEY
2 FRONT YARD SETBACK
3 FIREPLACE - SOLAS COOL ZONE TECHNOLOGY VENT. SIZE PER MFGR.
4 SIDE YARD SETBACK
5 TRASH LOCATION - SCREEN FROM STREET AS NEEDED
6 DEPRESS STRUCTURE FOR FLUSH SHOWER CONDITION - VERIFY WITH I.D. - REF. STRUCT. DWGS.
7 DEPRESSED SLAB FOR ELEVATOR - 12" TYP., VERIFY WITH ELEVATOR MFGR. - REF. STRUCT. DRAWINGS
8 OVERFLOW DRAIN VERTICAL PIPE LINE - IN WALL FROM DECK/ROOF ABV., REF. VERTICAL STORM DRAIN PIPE IN-WALL / OVERFLOW NOTES ON DIM. PLANS LEGENDS- PROVIDE DRAIN SWEEP(ELBOW JOINT) PER CIVIL DWG'S., PRIOR TO POURING SLAB. VERIFY LOC'N. W/. SITE DRAINAGE & COORD. W/. CIVIL - OVERFLOW PIPE TO DISCHARGE ABOVE GROUND
9 EGRESS DOOR TO COMPLY W/. CRC SECTION R311.2 REQS., REF. EGRESS DOOR NOTES ON SHEET A-7.0
10 FIREPLACE - FLARE PREFABRICATED FIREPLACE LISTED TO ANSI Z21.88/CSA 2.33-2014, GAS ONLY, DIRECT VENT W/. SEALED COMBUSTION - FORTY6 SLIM-LINE BUILT-IN, 63.33"W X 28.83" H X 11 9/64" D [DTL. 24/AD-1] (FACTORY BUILT FIREPLACES, CHIMNEYS, AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE W/. THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/. THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.) - REF. FIREPLACE NOTES ON B/T-1.1 FOR MORE INFO
11 LINE OF ROOF, EAVES & OVERHANGS ABOVE
12 TANKLESS WATER HEATER, REF. AS-1.0 SPEC SHEETS, VERIFY PRODUCT W/. OWNER - SIZE AND INSTALL PER CHAPTER 5 OF CPC AND MFG. INSTRUCTION, VERIFY THE SIZING W/. ENERGY REPORT (PROVIDE ADEQUATE N.G. CONN. & POWER AS REQ'D.) – THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)
13 WESTCOAT ALX WALKING DECK AND ROOF COVERING SYSTEM RATED CLASS 'A' ASSEMBLY PER UES ER-587, REF. MAT. SCHED. A/A-4.0
14 CHANNEL DECK DRAIN - REF. DTL. 7/AD-1.0 & DECK/ROOF DRAIN NOTES ON FLOOR PLAN LEGENDS - ROOF DRAIN SHALL HAVE DOMED STRAINER
15 DEPRESSED SLAB FOR FLUSH TRACK AT SLIDING/POCKET DOORS - VERIFY WITH DOOR MFGR.- REF. STRUCT. DWGS.
16 SHOWER - PROVIDE TILE W/. CEMENT BACKING MIN. 72" HIGH (R307.2) - SEE PLUMBING NOTES ON B/T-1.1 FOR MORE INFO AND REQ'S.
17 CUSTOM SHOWER SEAT PER I.D., VERIFY W/. I.D. & OWNER
18 FLAT COOL ROOF, CLASS 'A' - COLOR AS SELECTED - TPO MEMBRANE - REF. MAT. SCHEDULE A/A-4.0
19 WINDOW TO MEET EGRESS REQUIREMENTS PER SECTION R310 OF CRC - REF. EMERGENCY ESCAPE AND RESCUE OPENING NOTES ON SHT. A-7.0
20 INTERIOR GUARDRAIL - MIN. 42" HIGH ABV. F.F. - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1.0
21 RESIDENTIAL ELEVATOR - INFINITY OR EQUIV., VERIFY W/. OWNER - VERIFY REQ'D. SHAFT SIZE AND OVERHEAD CLEARANCE W/. MFG. PRIOR TO ORDERING AND CONTACT ARCH. IN WRITING IF SHAFT SIZE AND/OR OVERHEAD SPACE IS INADEQUATE - PRIVATE RESIDENCE ELEVATOR TO BE IN COMPLIANCE W/. ASME A17.1/CSA B44 , VERIFY W/. OWNER – PROVIDE POWER AS REQ'D. (CRC 321.1)
22 MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36"" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
23 DOWNSPOUT - AS SELECTED, REF. MAT. SCHED. A/A-4.0 - ARCH. TO APPROVE PROFILE AND COLOR - SIZE PER TABLE 1103.1 OF CPC
24 STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT CANDLE AS MEASURED AT THE CENTER OF TREADS AND LANDING WITH ARTIFICIAL LIGHTING (R303.7) - REF. DTL. 1/AD-1.0
25 INTERIOR STAIR MOUNTED HANDRAIL, 34"-38" ABV. NOSING (36" TYP. U.N.O.), REF. DTL. 2 & 4/AD-1.0

B KEYNOTES

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HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

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REVISIONS

NO.	REVISION	DATE

FLOOR PLANS

A-2.0

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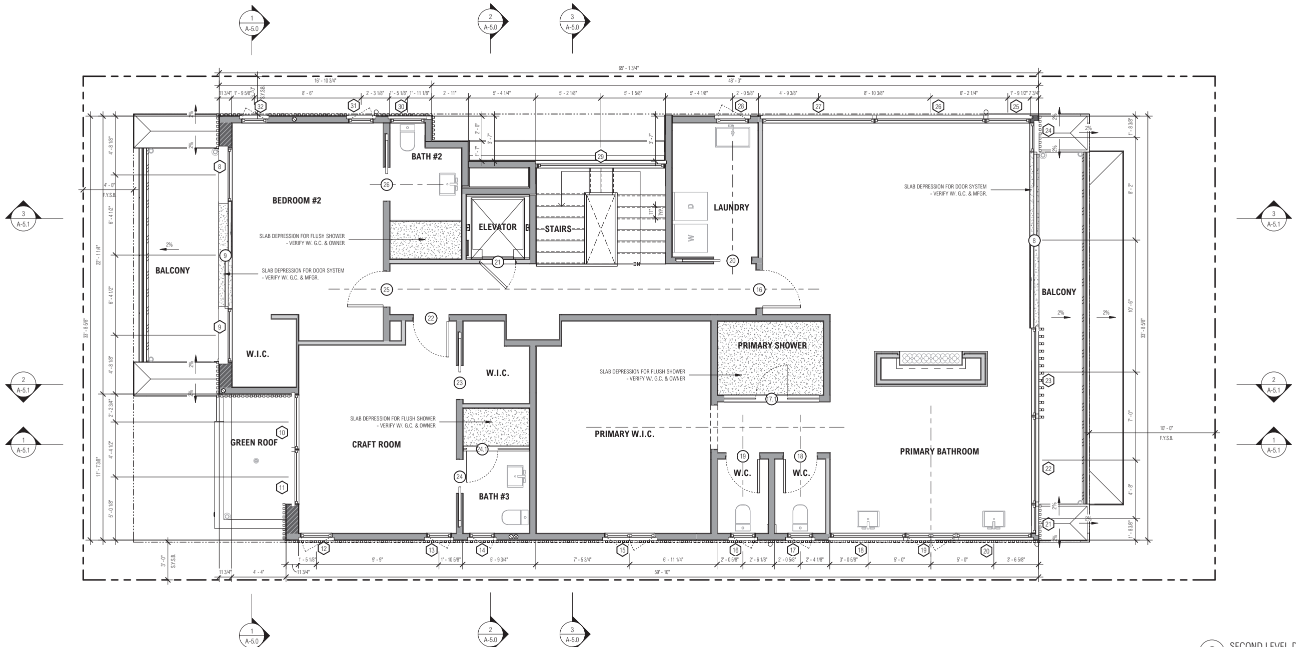
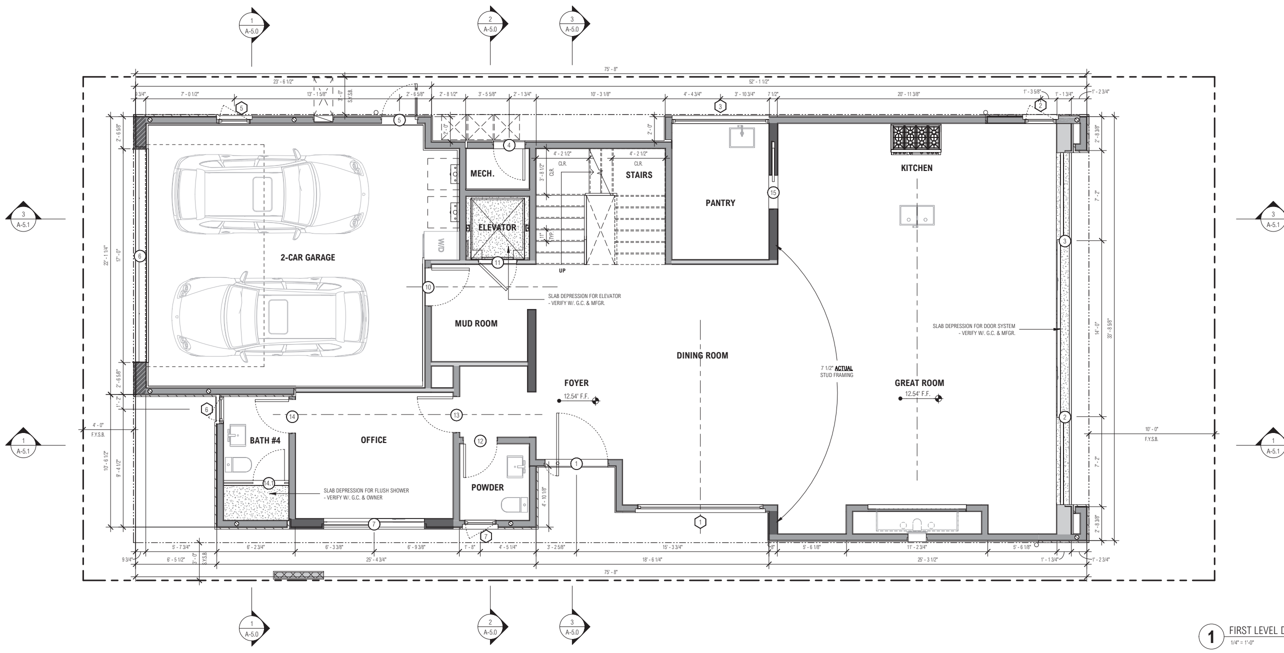


2 SECOND LEVEL DIMENSION PLAN
1/4" = 1'-0"



1 FIRST LEVEL DIMENSION PLAN
1/4" = 1'-0"

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, **DO NOT SCALE PLANS**.

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED W/. 2X6 STUD MIN. U.N.O.
USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH MINIMUM 1/2" PLYWOOD
DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFGR. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. AD-2.0 FOR TYP. RECESSED CONDITIONS.

GARAGE FLOOR:
GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL.THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

PLUMBING:
1. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-THE-FLOOR WATER CLOSETS WITH CONCEALED TANKS SHALL COMPLY WITH ASME A112.6.2. SECURE FLUSH TANK AND SIMILAR APPURTENANCES WITH APPROVED NON-CORROSIVE SCREW OR BOLTS. (CPC 402.4)

2. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7.1 SQ. FT.) OR MORE FROM TOP OF THRESHOLD TO 70" ABOVE DRAIN, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)

3. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)

4. ANCHOR OR STRAP THE WATER HEATER(S) TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER AND LOWER ONE THIRD (1/3) POINTS OF THE APPLIANCE HEIGHT. MAINTAIN A MIN. 4-INCHES ABOVE THE CONTROLS WITH STRAPPING AT LOWER POINT. (CPC 507.2)

WOOD OR WOODBASED PRODUCTS NOTE: (CRC R317.1) (REF. B /T-1.1 FOR MORE INFO)
PROTECTION OF WOOD AND WOODBASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1.

1.IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION, WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHERE CLOSER THAN 18 INCHES (457 MM) TO EXPOSED GROUND, WOOD GIRDERS WHERE CLOSER THAN 12 INCHES (305 MM) TO EXPOSED GROUND, AND WOOD COLUMNS WHERE CLOSER THAN 8 INCHES (204 MM) TO EXPOSED GROUND.

2.WOOD FRAMING MEMBERS, INCLUDING COLUMNS, THAT REST DIRECTLY ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.

3.SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.

4.THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.

5.WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.

6.WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING.

7.WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

8.PORTIONS OF WOOD STRUCTURAL MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR PERMANENT BUILDING APPURTENANCES WHERE THOSE MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS.

9.WOOD COLUMNS IN CONTACT WITH BASEMENT FLOOR SLABS UNLESS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING NOT LESS THAN 1 INCH (25 MM) ABOVE THE CONCRETE FLOOR AND SEPARATED FROM THE CONCRETE PIER BY AN IMPERVIOUS MOISTURE BARRIER.

A GENERAL NOTES

ROOM NAME — **ROOM TAG**

10.00' — **SPOT ELEVATION**

DOOR TAG

WINDOW TAG

WINDOW WALL TAG

REVISION TAG

2X4 STUD WALL

2X6 STUD WALL

2X8 STUD WALL

STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFGR. INSTRUCTION AND/OR LISTING – SEE EXT. WALL DETAILS AND STRUCT. DWGS

2X10 STUD WALL

EXT. POCKET DOOR WALL - TYP. 2X6 EXT. FRMG. AND 2X4 INTERIOR FRAMING W/. DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O., MIN. AIR SPACE/DOOR POCKET TO BE VERIFIED W/. DOOR MFGR. - STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFGR. INSTRUCTION AND/OR LISTING – SEE EXT. WALL DETAILS AND STRUCT. DWGS

CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT., REF. STRUCT. DWGS. - FOR BASEMENT/RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPPROOFING AND DRAINAGE AS REQUIRED PER SECTION R406.1 & R406.2. REF/ SOILS REPORT, WATERPROOFING & DAMPPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR U.N.O., PROVIDE SAMPLE FOR ARCH. APPROVAL

SLAB/FRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE DEPRESSION DETAILS - FOR DEPRESSION SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED DEPRESSION W/. MFGR. OR FABRICATOR – SHOWER DEPRESSION TO BE VERIFIED W/. I.D.
SEE SHEET AD-2.0 FOR THE TYPICAL RECESSION OF DOORS AND WINDOWS, VERIFY ALL RECESSION W/. MFGR.

STRUCTURAL STEEL COLUMN PER STRUCT., REF. STRUTC. DWGS, - PAINT AND SEAL AS REQUIRED – ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS

STRUCTURAL WOOD POST/COLUMN COLUMN - PER STRUCT., REF. STRUTC. DWGS, - PAINT, STAIN AND SEAL AS REQUIRED – ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH, APPROVAL

KITCHEN RANGE W/. EXHAUST HOOD - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CMC 920.3.2) –EXHAUST HOOD TO HAVE EXHAUST RATE OF MIN. 180 CFM AND VENT TO OUTDOOR , HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER 504.3 OF CMC & TABLE 150.0-E & G CALENERGY

KITCHEN/BAR SINK - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – SINK TO COMPLY W/. REQUIREMENT OF SECTION 420.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN – TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC

VANITY SINK - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT.(CPC 402.5) W/. MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN

D W W/D — **WASHER (W) / DRYER (D) / STACKED (W/D)** - AS SELECTED PER I.D., VERIFY W/. I.D. & OWNER – PROVIDE POWER , GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC 504.4) AND SHALL NOT EXCEED 14-FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.

TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX EFFECTIVE FLUSH RATE OF 1.28 GAL. PER FLUSH (CPC 411.2). WATER CLOSETS CLR. TO BE 24" IN FRONT AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CRC R307) – REF. CALGREEN NOTES ON T SHTS. FOR MAX FLOW RATE

FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/. SEALED COMBUSTION (CALGREEN 4.503) - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CRC R1004.1)

A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CMC AS SELECTED, VERIFY W/. OWNER - SIZE TBD, SEE T-24 ENERGY REPORT FOR MORE INFO – PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. – INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFGR. INSTRUCTION

FAU — **FAU** - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFG'R. – INSTALL PER MFGR. INSTRUCTION

RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) – GC TO COORDINATE W/. UTILITY COMPANY

ROOF/DECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC – ROOF DRAIN SHALL HAVE DOMED STRAINER (CPC 1102.2) – REF. DETAIL 6 & 7/AD-1.0

OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC – ROOF DRAIN SHALL HAVE DOMED STRAINER (CPC 1102.2) – REF. DETAIL 6 & 7/AD-1.0

OVERFLOW / DRAINLINE — **VERTICAL STORM DRAIN PIPE IN-WALL / OVERFLOW** - MTL. PIPE PER CHAPTER 11 OF CPC, SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) – SEE CIVIL DWGS. FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/. CIVIL PRIOR TO POURING THE CONCRETE SLAB - OVERFLOW TO DISCHARGE ABV. GROUND

B ANNOTATION LEGEND

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DIMENSION PLANS

A-2.1

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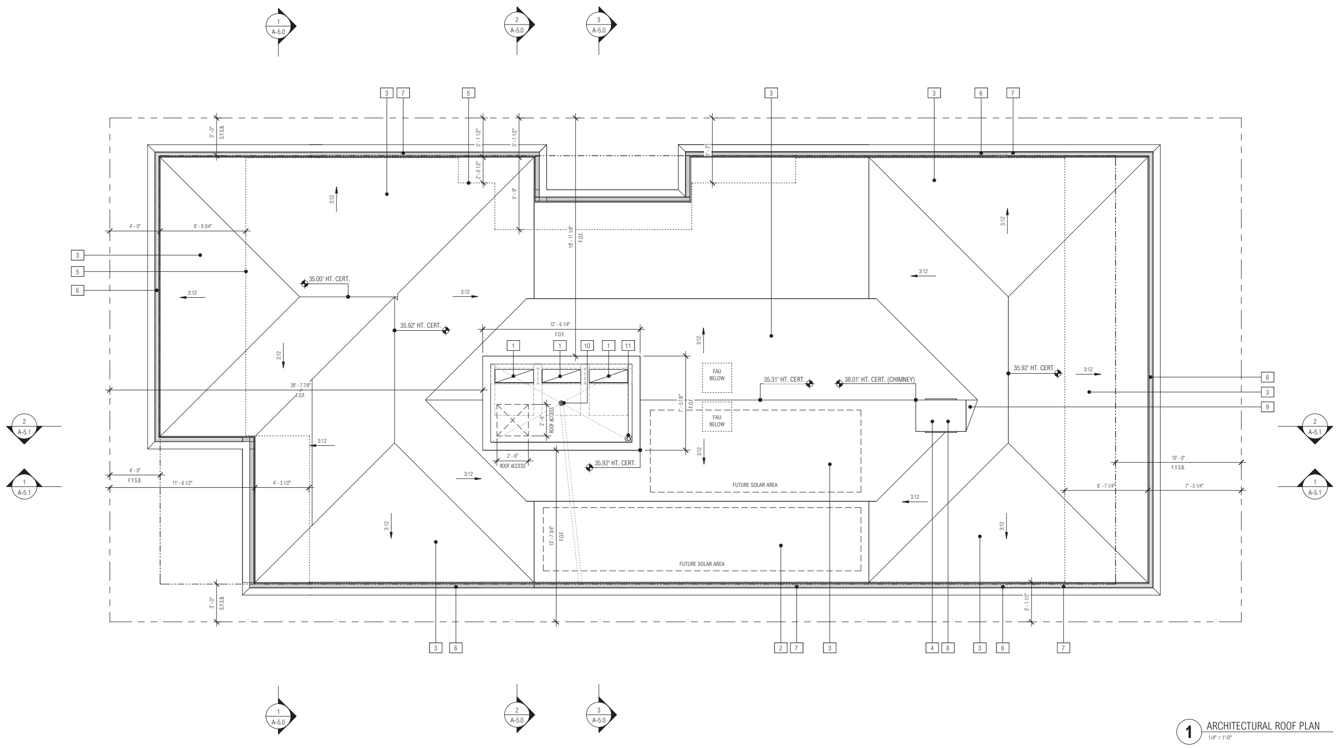

1 ARCHITECTURAL ROOF PLAN
1/4" = 1'-0"

DIMENSION NOTE:
ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHT'G. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHT'G. TO FACE OF FINISH FASCIA

ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES VENTING NOTES:
1. ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION BY VENTILATION OPENING PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW UNLESS THEY MEET THE REQUIREMENT OF SECTION R806.5 FOR UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES. VENTILATION OPENING SHALL HAVE THE LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX OTHERWISE THE OPENING SHALL HAVE THE CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVE A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. OPENING IN ROOF FRAMING MEMBERS SHALL BE PER THE REQUIREMENT OF SECTION R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR AND SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES. (R806.1)

2. THE MINIMUM NET FREE VENTILATING AREA SHOULD BE 1/150 OF THE AREA OF THE VENTED SPACE, EXCEPT THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

A.IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

B.NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. (R 806.2)

3. PROVIDE 1" SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING WHERE EAVE OR CORNICE VENTS INSTALLED, PROVIDED BLOCKING, BRIDGING AND INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. (R806.3)

4. INSTALL VENTILATOR PER MANUFACTURER INSTRUCTION. INSTALL VENTILATOR IN ROOF PER SECTION R903 AND VENTILATOR IN WALL ASSEMBLIES PER SECTION R703.1. (CRC R806.4)

5. FOR THE ATTIC WITH VERTICAL HEIGHT GREATER THAN OR EQUAL TO 30" (VERTICAL HEIGHT MEASURED FROM THE TOP OF CEILING JOIST TO THE BOTTOM OF THE ROOF RAFTERS) WITHIN 30 S.F. MIN. PROVIDE THE OPENING WITH ROUGH-FRAMED OPENING OF NOT LESS THAN 22"X30" WHICH SHOULD BE LOCATED IN HALLWAY OR OTHER LOCATION WITH READY ACCESS. IF THE ACCESS LOCATED IN THE WALL THEN THE WIDTH SHOULD BE 22" AND HEIGHT SHOULD BE 30" MIN. IF LOCATED IN CEILING THEN THE MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SHOULD BE 30" FROM THE BOTTOM OF CEILING JOIST AT SOME POINT. (CRC R807.1)

VENTS IN THE WILDLAND URBAN INTERFACE (WUI):
WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTICS, GABLE ENDS, RIDGE ENDS, UNDER EAVES AND CORNICES, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION, FOUNDATIONS AND CRAWL SPACES, OR ANY OTHER OPENING INTENDED TO PERMIT VENTILATION, EITHER IN A HORIZONTAL OR VERTICAL PLANE, SHALL BE IN ACCORDANCE WITH SECTIONS R337.6.1 THROUGH R337.6.2 TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS. (CRC R806.1.1)

REQUIREMENTS: VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886 AND LISTED, BY COMPLYING WITH ALL OF THE FOLLOWING REQUIREMENTS: (CRC R337.6.2)

1.THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST.

2.THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST.

3.THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662°F (350°C).

OFF RIDGE AND RIDGE VENTS: VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING: (CRC R337.6.2.1)

1.VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.

2.THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.

3.THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

VENTILATION REQUIRED BENEATH BALCONY OR ELEVATED WALKING SURFACES:
ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW OR DRAINAGE FROM IRRIGATION SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET-FREE CROSS-VENTILATION AREA NOT LESS THAN 1/ 150 OF THE AREA OF EACH SEPARATE SPACE. (CRC R317.1.3)

ROOF DRAINAGE:
IF THE PROJECT LOCATED IN THE AREA WITH EXPANSIVE OR COLLAPSIBLE SOILS, WATER RUNOFF FROM ROOFS OF ALL DWELLINGS SHALL BE DISCHARGED TO THE GROUND SURFACE NOT LESS THAN 5 FEET FROM FOUNDATION WALLS OR TO AN APPROVED DRAINAGE SYSTEM. (R801.3) - REF.CIVIL DWGS FOR STORM WATER MANAGMENT AND SYSTEM.

WEATHER PROTECTION:
1. ROOF DECKS SHALL BE COVERED WITH APPROVED ROOF COVERINGS SECURED TO THE BUILDING OR STRUCTURE IN ACCORDANCE WITH THE CHAPTER 9 OF THE CURRENT CRC. ROOF ASSEMBLIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CHAPTER 9 OF CRC AND THE APPROVED MANUFACTURER'S INSTRUCTIONS SUCH THAT THE ROOF ASSEMBLY SHALL SERVE TO PROTECT THE BUILDING OR STRUCTURE. (R903.1)

2. PROVIDE AND INSTALL FLASHING TO PREVENT ENTRY OF MOISTURE TO WALL AND ROOF ASSEMBLIES THRU THE JOINTS IN COPINGS, PERMEABLE MATERIAL, AND AT INTERSECTION WITH PARAPET WALLS AND OTHER PENETRATION THRU ROOF. (R903.2)

3. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.019 INCH (0.5 MM) (NO. 26 GALVANIZED SHEET). (R903.2.1)

4. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY OR PENETRATION MORE THAN 30 INCHES (762 MM) WIDE AS MEASURED PERPENDICULAR TO THE SLOPE. CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING. EXCEPT FOR UNIT SKYLIGHTS INSTALLED IN ACCORDANCE WITH SECTION R308.6 AND FLASHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS SHALL BE PERMITTED TO BE INSTALLED WITHOUT A CRICKET OR SADDLE. (R903.2.2)

5. PARAPET WALLS SHALL BE PROPERLY COPED WITH NONCOMBUSTIBLE, WEATHERPROOF MATERIALS OF A WIDTH NOT LESS THAN THE THICKNESS OF THE PARAPET WALL. (R903.3)

6. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. IF WATER CAN BE ENTRAPPED WITHIN THE ROOF AREA THEN SECONDARY EMERGENCY OVERFLOW ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED PER SECTION R903.4.1. (R903.4)

MISC. NOTES:
1. INSTALL ROOF PER ROOFING MFG'R. SPECS & INSTALLATION GUIDELINE

2. ARCH. TO APPV. SIZE, COLOR & PROFILE OF EAVE & RAKE COMPONENTS. G.C. TO PROVIDE MOCK-UPS.

3. UNVENTED ENCLOSED RAFTER ASSEMBLY: NO INTERIOR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY. AND IN CLIMATE ZONES 5, 6, 7 AND 8, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION. (CRC R806.5)

4. REF. WOOD OR WOODBASE PRODUCT NOTES ON SHEET T-1.1

A | ROOF PLAN NOTES

1 A/C CONDENSER OR HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED, VERIFY W/. OWNER - SIZE TBD, REF. ENERGY REPORT FOR MORE INFO – PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. – INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFGR. INSTRUCTION
2 FLAT COOL ROOF, CLASS 'A' - COLOR AS SELECTED - TPO MEMBRANE - REF. MAT. SCHEDULE A/A-4.0
3 SLATE TILE ROOFING - REF. MAT. SCHEDULE A/A-4.0
4 CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BILT. CHIMNEY SYSTEMS ARE INSTALLED IN ACCORDANCE WITH W/. MFGR. INST. INSTRUCTIONS. CMC 802.5.4.3 & 802.6.1.4)
5 OUTLINE OF STRUCTURE/WALLS BELOW
6 CUSTOM RECESSED GUTTER/DECK DRAIN - ROOFING/DECKING CONTRACTOR COORD. W/. FLASHING INSTALLER - VERIFY LOC'N & APPLICATION OF DRAIN W/. ARCH PRIOR TO ORDERING - SIZE PER TABLE 1103.3 OF CPC
7 DOWNSPOUT - AS SELECTED, REF. MAT. SCHED. A/A-4.0 - ARCH. TO APPROVE PROFILE AND COLOR - SIZE PER TABLE 1103.1 OF CPC
8 DECORATIVE CHIMNEY ENCLOSURE TO BE INSTALLED AND TERMINATED PER MFRG. SPEC. OF THE FACTORY-BUILT FIREPLACE AND/OR CHIMNEY(R1005 OF CRC) - GAS VENT TO BE TERMINATED PER CMC 802.6.1 (LISTED DIRECT-VENT PER MFGR. INSTALLATION INSTRUCTION (CMC 802.2.6))
9 CRICKET - 2% MIN. SLOPE, TO BE COMPATIBLE W/. ROOF
10 DECK DRAIN - REF. DTL. 6/AD-1.0 & DECK/ROOF DRAIN NOTES ON FLOOR PLAN LEGENDS - ROOF DRAIN SHALL HAVE DOMED STRAINER
11 OVERFLOW DRAIN - REF. DTL. 6 & 7/AD-1.0, AND OVERFLOW OR EMERGENCY DRAIN NOTES ON FLOOR PLAN LEGENDS - ROOF DRAIN SHALL HAVE DOMED STRAINER

B | KEYNOTES

BRANDON ARCHITECTS
151 KALMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
GAVIN FRIEHAUF

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FOREMAN RESIDENCE

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REVISIONS

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ROOF PLAN

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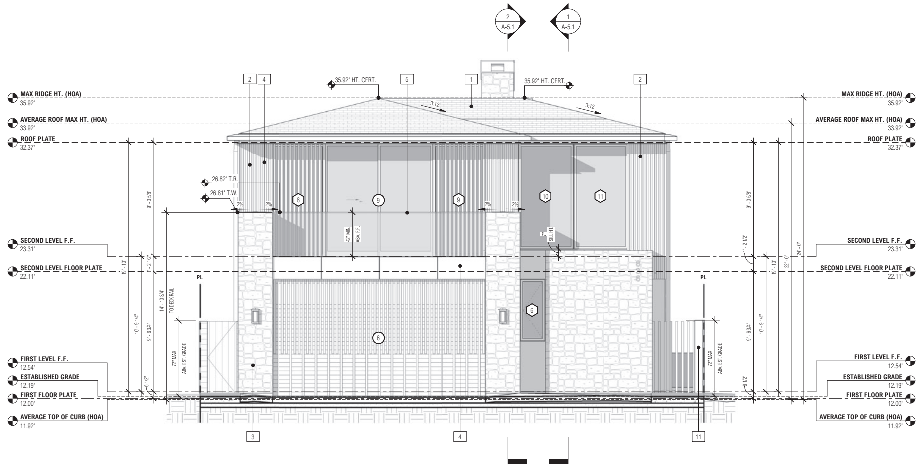
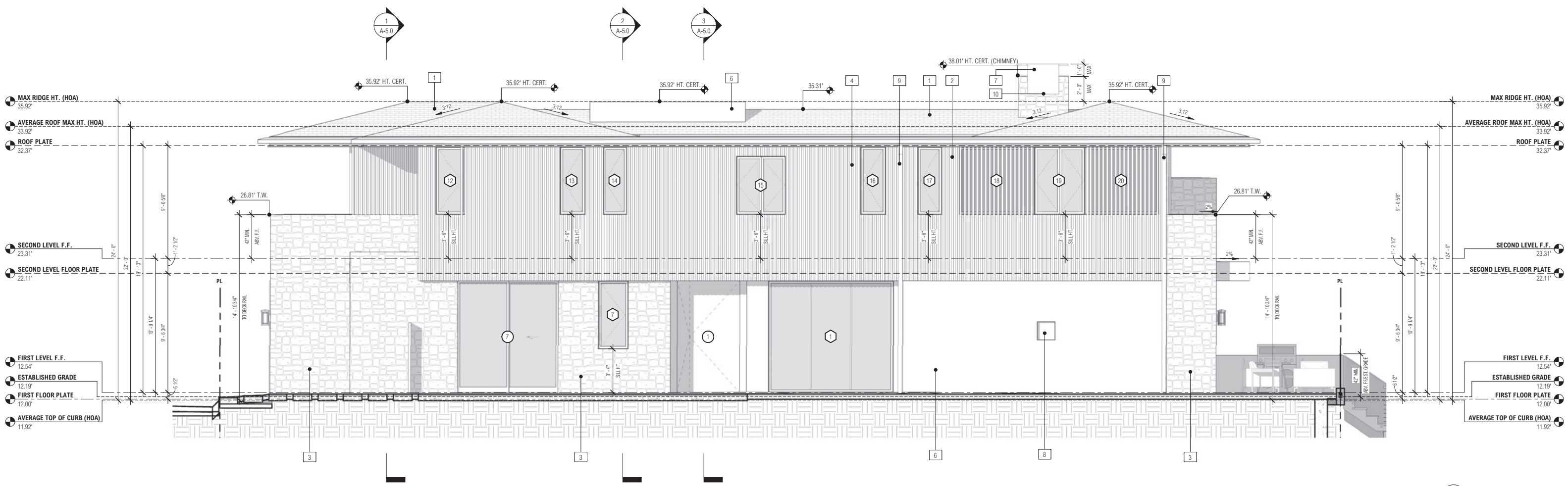


1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-3319
FAX: 206-666-2150
EMAIL: JYOUNAN@ABSSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: HYLINE
PRODUCT: HYWIN + / HYSTYLE
ADDRESS: ZONA INDUSTRIAL DE ESPOSENDA, RUA DR., FRANCISCO SA CARNEIRO, 475 C
PHONE: +351.253.968.468/7
WEB: WWW.HYLINE-BS.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: HYLINE
PRODUCT: HYSLIM
ADDRESS: ZONA INDUSTRIAL DE ESPOSENDA, RUA DR., FRANCISCO SA CARNEIRO, 475 C
PHONE: +351.253.968.468/7
WEB: WWW.HYLINE-BS.COM

GARAGE DOORS:
SUPPLIER: ZIEGLER GARAGE DOORS
WEB: WWW.ZIEGLERDOORSINC.COM
STYLE: CUSTOM
MATERIAL: CUSTOM BUILT, WOOD

EXTERIOR MATERIALS:

EXTERIOR STONE / MASONRY VENEER:
SUPPLIER: SANDRINE SCOTT COMMODITIES
STONE TYPE: LIMESTONE (ARCH. TO VERIFY)
COLOR: LIGHT BEIGE, TO BE APPROVED BY ARCH. & OWNER
APPLICATION: VARIATION AND NON-UNIFORM FORMAT, OVER GROUT
THICKNESS: 1" - 1.5" NOMINAL
WEIGHT: <40 LBS/S.F.

STUCCO:
MANUFACTURER: LA HABRA, PAREX USA
ADDRESS: 2911 ORANGE-OLIVE RD., ORANGE, CA 92865
PHONE: 714.637.1700
COLOR: CRYSTAL WHITE, ARCH. TO APPV.
TEXTURE: SMOOTH WALL, TROWELED EDGES, NO BULLNOSE, VERTICAL FLOAT LEVEL TO 1/8" IN 10"
APPLICATION: PROVIDE EXPANSION JOINTS (STUCCO REVEALS), WIDTH TO BE DETERMINED, LOCATIONS TO BE SPECIFIED AND FIELD VERIFITED BY ARCH., REF. DTL. 5/AD-2.0
CODE: MIN. 7/8" THK. O/. MIN. 2-LAYERS GRADE 'D' PAPER

EXTERIOR ACM PANELING:
MANUFACTURER: ALUCOBOND OR EQUIV.
PRODUCT: ACM METAL PANELING
COLOR: BLACK
APPLICATION: REF. DTL. 7/AD-2.0
PANEL REVEAL: PER ELEVATION (ARCH TO APPV.)

VERTICAL ALUMINUM SCREEN:
MANUFACTURER: FORTINA
WEB: BNIND.COM
PRODUCT: BATTEN | DIRECT ATTACHMENT - TLKS-4010 + BACKRAIL CLKU-40, ARCH. TO APPV.
COLOR: TA-032 (AIZEN SAKURA), ARCH TO APPV.
SIZE: 40 MM X 100 MM ACTUAL, 2" SPACING (TYP.) - PER ELEVATION
APPLICATION: CONNECTION & SUPPORT PER MFG'R. & STRUCT.

ROOF / DECK MATERIAL:

SLATE TILE ROOFING:
PRODUCT: SLATE, NATURAL STONE
SUPPLIER: TBD
COLOR: DARK GRAY, TO BE APPVD. BY OWNER & ARCH.
APPLICATION: CLOSED VALLEY W/. MITERED HIP CUTS, 16 GAUGE COPPER FLASHING, STAGGERED COURSING
CODE: CLASS 'A' ASSEMBLY, INSTALL PER R905.6 - TILE TO COMPLY W/. ASTM C406
WEIGHT: APPX. 15 PSF

FLAT ROOFING (CLASS 'A'):
PRODUCT: TPO MEMBRANE, CLASS 'A'
MANUFACTURER: EVERGUARD
CODE: UL LISTING - ER 1306-1
COLOR: ENERGY GRAY, TO BE APPVD. BY OWNER & ARCH.
MIN. 3 YEARS AGED, SOLAR REFLECTANCE OF 0.63 AND MIN. THERMAL EMITTANCE OF 0.75 OR 3 YEAR AGED SRI OF AT LEAST 75
APPLICATION: INSTALLATION PER MFG'R REQURIEMENTS

GUTTERS:
MATERIAL: METAL - COPPER/ALUM. PAINTED KYNAR
SHAPE: RECESSED 4" SQUARE (VERIFY W/. ARCH.)

WATERPROOF DECK MEMBRANE:
MFGR: WESTCOAT
ADDRESS: 770 GATEWAY CENTER DRIVE, SAN DIEGO, CA 92101
PRODUCT: ALX WALKING DECK (CLASS 'A') - O/. PLYWOOD
MACOAT WALKING DECK (CLASS 'A') - O/. CONCRETE
APPLICATION: DECK FINISH SURFACE TO BE NON-COMBUSTIBLE
CODE: UES ER-587

FLASHING & WEATHERSTRIPPING
PROVIDE CORROSION-RESISTANCE METAL FLASHING PER CRC FOR ALL EXTERIOR FLASHING, MIN. 24 GUAGE COPPER (16 OZ.) SHEETS U.N.O. IN CRC OR MFGR. INSTALLATION GUIDELINES. ALL METAL IN CONTACTS TO BE OF SIMILAR TYPE TO AVOID GALVANIC CORROSION. VERIFY W/. ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION

A | MATERIAL SPECIFICATIONS

B | GENERAL NOTES

1 SLATE TILE ROOFING - REF. MAT. SCHEDULE A/A-4.0
2 VERTICAL COMPOSITE SCREEN - REF. ELEVATIONS & MATERIAL SCHEDULE SHT. A/A-4.0
3 STONE VENEER - REF. MAT. SCHEDULE A/A-4.0
4 KYNAR PAINTED ALUMINUM - REF. MAT. SCHEDULE A/A-4.0
5 EXTERIOR GLASS GUARDRAIL , TEMPERED - MIN. 42" HIGH ABV. F.F (CNB) - MAX 42" HIGH ABV. F.F. (HOA) - <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1.0
6 STUCCO FINISH - MIN. 7/8" THK. W/. DIA. LATH, COLOR AS SEL., REF. MAT. SCHEDULE A/A-4.0
7 CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BILT. CHIMNEY SYSTEMS ARE INSTALLED IN ACCORDANCE WITH W/. MFGR. INST. INSTRUCTIONS. CMC 802.5.4.3 & 802.6.1.4)
8 FIREPLACE - SOLAS COOL ZONE TECHNOLOGY VENT. SIZE PER MFGR.
9 DOWNSPOUT - AS SELECTED, REF. MAT. SCHED. A/A-4.0 - ARCH. TO APPROVE PROFILE AND COLOR - SIZE PER TABLE 1103.1 OF CPC
10 DECORATIVE CHIMNEY ENCLOSURE TO BE INSTALLED AND TERMINATED PER MFRG. SPEC. OF THE FACTORY-BUILT FIREPLACE AND/OR CHIMNEY(R1005 OF CRC) - GAS VENT TO BE TERMINATED PER CMC 802.6.1 (LISTED DIRECT-VENT PER MFGR. INSTALLATION INSTRUCTION (CMC 802.2.6))
11 (E.) PROPERTY LINE WALL - PLASTER FINISH TO MATCH EXTERIOR FINISH OF MAIN STRUCTURE (MAX. 6' ABV. N.G.)

C | KEYNOTES

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COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

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HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
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GAVIN FRIEHAUF

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OWNER INFORMATION:
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P: 949.280.3866
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DATE
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REVISIONS

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EXTERIOR ELEVATIONS

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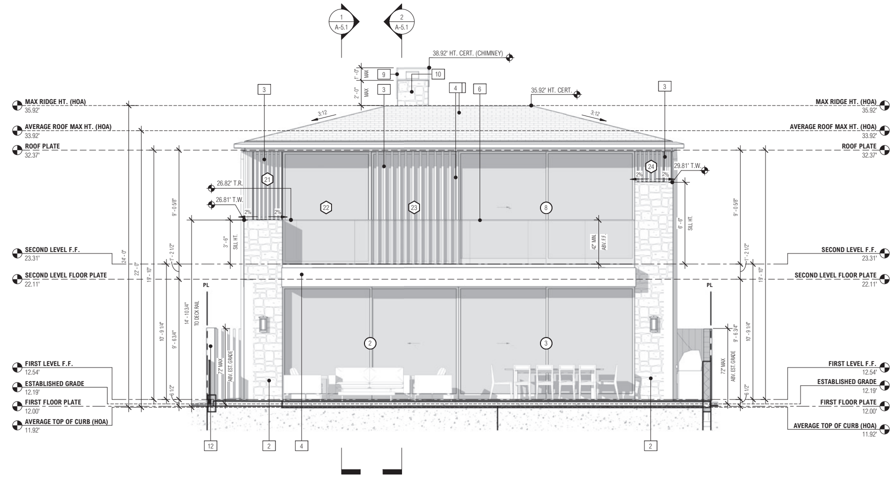
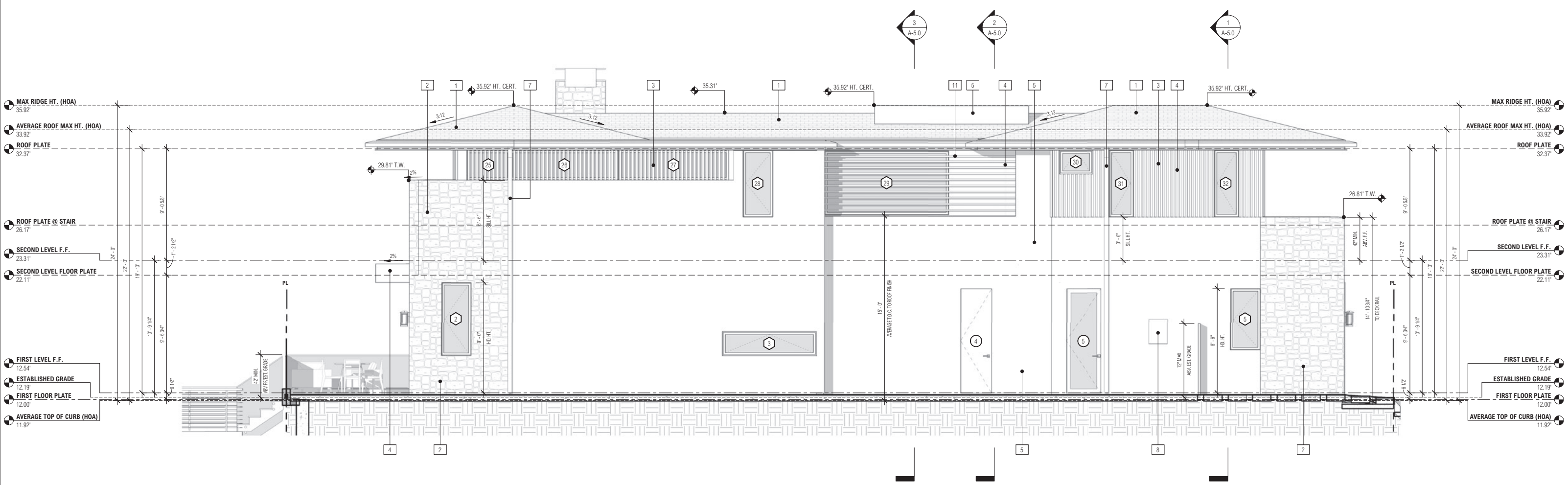


1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
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PHONE: 949-872-3319
FAX: 206-666-2150
EMAIL: JYOUNAN@ABSSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: HYLINE
PRODUCT: HYWIN + / HYSTYLE
ADDRESS: ZONA INDUSTRIAL DE ESPOSENDA, RUA DR., FRANCISCO SA CARNEIRO, 475 C
PHONE: +351.253.968.468/7
WEB: WWW.HYLINE-BS.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: HYLINE
PRODUCT: HYSLIM
ADDRESS: ZONA INDUSTRIAL DE ESPOSENDA, RUA DR., FRANCISCO SA CARNEIRO, 475 C
PHONE: +351.253.968.468/7
WEB: WWW.HYLINE-BS.COM

GARAGE DOORS:
SUPPLIER: ZIEGLER GARAGE DOORS
WEB: WWW.ZIEGLERDOORSINC.COM
STYLE: CUSTOM
MATERIAL: CUSTOM BUILT, WOOD

EXTERIOR MATERIALS:

EXTERIOR STONE / MASONRY VENEER:
SUPPLIER: SANDRINE SCOTT COMMODITIES
STONE TYPE: LIMESTONE (ARCH. TO VERIFY)
COLOR: LIGHT BEIGE, TO BE APPROVED BY ARCH. & OWNER
APPLICATION: VARIATION AND NON-UNIFORM FORMAT, OVER GROUT
THICKNESS: 1" - 1.5" NOMINAL
WEIGHT: <40 LBS/S.F.

STUCCO:
MANUFACTURER: LA HABRA, PAREX USA
ADDRESS: 2911 ORANGE-OLIVE RD., ORANGE, CA 92865
PHONE: 714.637.1700
COLOR: CRYSTAL WHITE, ARCH. TO APPV.
TEXTURE: SMOOTH WALL, TROWELED EDGES, NO BULLNOSE, VERTICAL FLOAT LEVEL TO 1/8" IN 10"
APPLICATION: PROVIDE EXPANSION JOINTS (STUCCO REVEALS), WIDTH TO BE DETERMINED, LOCATIONS TO BE SPECIFIED AND FIELD VERIFITED BY ARCH., REF. DTL. 5/AD-2.0
CODE: MIN. 7/8" THK. O/. MIN. 2-LAYERS GRADE 'D' PAPER

EXTERIOR ACM PANELING:
MANUFACTURER: ALUCOBOND OR EQUIV.
PRODUCT: ACM METAL PANELING
COLOR: BLACK
APPLICATION: REF. DTL. 7/AD-2.0
PANEL REVEAL: PER ELEVATION (ARCH TO APPV.)

VERTICAL ALUMINUM SCREEN:
MANUFACTURER: FORTINA
WEB: BNIND.COM
PRODUCT: BATTEN | DIRECT ATTACHMENT - TLKS-4010 + BACKRAIL CLKU-40, ARCH. TO APPV.
COLOR: TA-032 (AIZEN SAKURA), ARCH TO APPV.
SIZE: 40 MM X 100 MM ACTUAL, 2" SPACING (TYP.) - PER ELEVATION
APPLICATION: CONNECTION & SUPPORT PER MFG'R. & STRUCT.

ROOF / DECK MATERIAL:

SLATE TILE ROOFING:
PRODUCT: SLATE, NATURAL STONE
SUPPLIER: TBD
COLOR: DARK GRAY, TO BE APPVD. BY OWNER & ARCH.
APPLICATION: CLOSED VALLEY W/. MITERED HIP CUTS, 16 GAUGE COPPER FLASHING, STAGGERED COURSING
CODE: CLASS 'A' ASSEMBLY, INSTALL PER R905.6 - TILE TO COMPLY W/. ASTM C406
WEIGHT: APPX. 15 PSF

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PRODUCT: TPO MEMBRANE, CLASS 'A'
MANUFACTURER: EVERGUARD
CODE: UL LISTING - ER 1306-1
COLOR: ENERGY GRAY, TO BE APPVD. BY OWNER & ARCH.
MIN. 3 YEARS AGED, SOLAR REFLECTANCE OF 0.63 AND MIN. THERMAL EMITTANCE OF 0.75 OR 3 YEAR AGED SRI OF AT LEAST 75
APPLICATION: INSTALLATION PER MFG'R REQURIEMENTS

GUTTERS:
MATERIAL: METAL - COPPER/ALUM. PAINTED KYNAR
SHAPE: RECESSED 4" SQUARE (VERIFY W/. ARCH.)

WATERPROOF DECK MEMBRANE:
MFGR: WESTCOAT
ADDRESS: 770 GATEWAY CENTER DRIVE, SAN DIEGO, CA 92101
PRODUCT: ALX WALKING DECK (CLASS 'A') - O/. PLYWOOD
MACOAT WALKING DECK (CLASS 'A') - O/. CONCRETE
APPLICATION: DECK FINISH SURFACE TO BE NON-COMBUSTIBLE
CODE: UES ER-587

FLASHING & WEATHERSTRIPPING
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A | MATERIAL SPECIFICATIONS

B | GENERAL NOTES

1 SLATE TILE ROOFING - REF. MAT. SCHEDULE A/A-4.0
2 STONE VENEER - REF. MAT. SCHEDULE A/A-4.0
3 VERTICAL COMPOSITE SCREEN - REF. ELEVATIONS & MATERIAL SCHEDULE SHT. A/A-4.0
4 KYNAR PAINTED ALUMINUM - REF. MAT. SCHEDULE A/A-4.0
5 STUCCO FINISH - MIN. 7/8" THK. W/. DIA. LATH, COLOR AS SEL., REF. MAT. SCHEDULE A/A-4.0
6 EXTERIOR GLASS GUARDRAIL , TEMPERED - MIN. 42" HIGH ABV. F.F (CNB) - MAX 42" HIGH ABV. F.F. (HOA) - <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1.0
7 DOWNSPOUT - AS SELECTED, REF. MAT. SCHED. A/A-4.0 - ARCH. TO APPROVE PROFILE AND COLOR - SIZE PER TABLE 1103.1 OF CPC
8 MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36"" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
9 CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BILT. CHIMNEY SYSTEMS ARE INSTALLED IN ACCORDANCE WITH W/. MFGR. INST. INSTRUCTIONS. CMC 802.5.4.3 & 802.6.1.4)
10 DECORATIVE CHIMNEY ENCLOSURE TO BE INSTALLED AND TERMINATED PER MFRG. SPEC. OF THE FACTORY-BUILT FIREPLACE AND/OR CHIMNEY(R1005 OF CRC) - GAS VENT TO BE TERMINATED PER CMC 802.6.1 (LISTED DIRECT-VENT PER MFGR. INSTALLATION INSTRUCTION (CMC 802.2.6))
11 HORIZONTAL COMPOSITE SCREEN - REF. ELEVATIONS & MATERIAL SCHEDULE SHT. A/A-4.0
12 (E.) PROPERTY LINE WALL - PLASTER FINISH TO MATCH EXTERIOR FINISH OF MAIN STRUCTURE (MAX. 6' ABV. N.G.)

C | KEYNOTES

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DATE
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REVISIONS

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EXTERIOR ELEVATIONS

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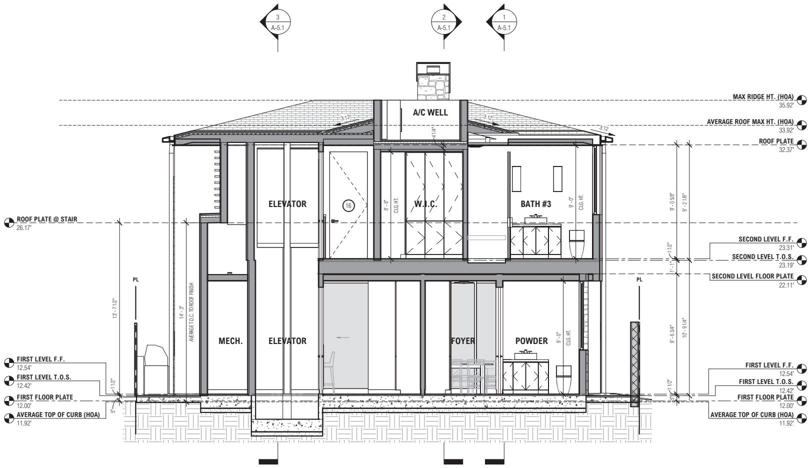
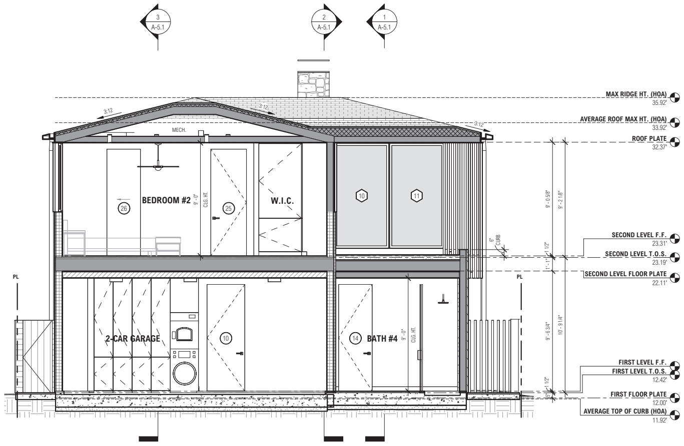
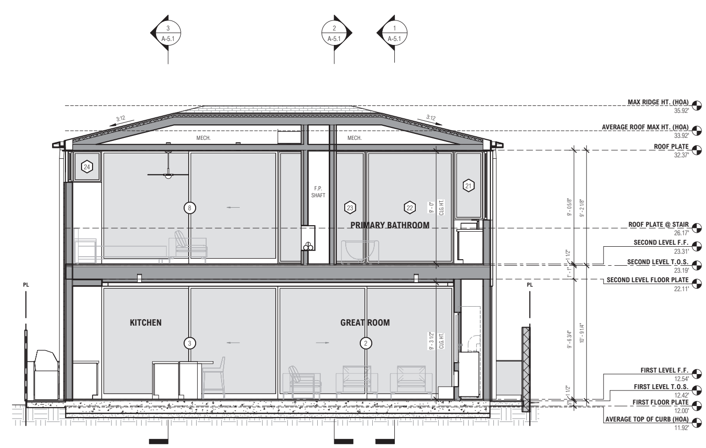


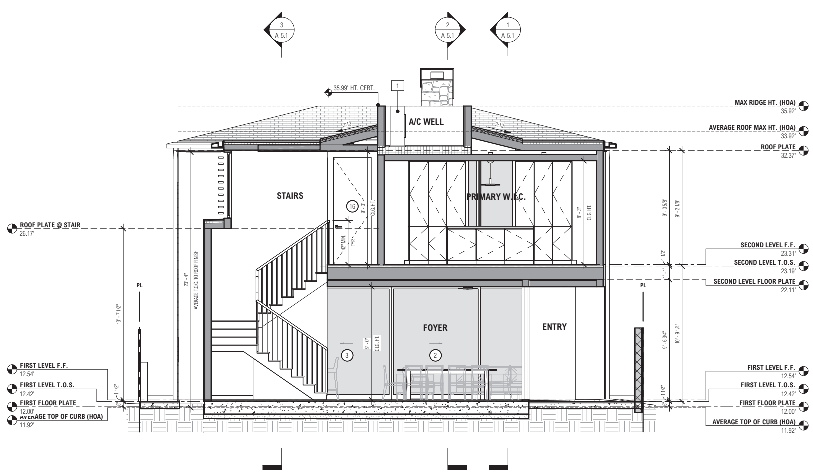
2 TRANSVERSE SECTION 2
1/4" = 1'-0"



1 TRANSVERSE SECTION 1
1/4" = 1'-0"



4 TRANSVERSE SECTION 4
1/4" = 1'-0"



3 TRANSVERSE SECTION 3
1/4" = 1'-0"

[No Slope]

FIREBLOCKING AND DRAFT STOPS NOTES:

FIREBLOCKING: IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS: (CRC R302.11)

1.IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
   1.1.VERTICALLY AT THE CEILING AND FLOOR LEVELS.
   1.2.HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
2.AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3.IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
4.AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
5.FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
6.FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

FIREBLOCKING MATERIALS: EXCEPT AS PROVIDED ABOVE (SECTION R302.11) IN ITEM 4, FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS. (CRC R302.11.1)
1. TWO-INCH (51 MM) NOMINAL LUMBER.
2. TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS.
3. ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS.
4. ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH (19.1 MM) PARTICLEBOARD.
5. ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.
6. ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD.
7. BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.

- **BATTS OR BLANKETS OF MINERAL OR GLASS FIBER:** BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT (3048 MM) HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. (CRC R302.11.1.1)
- **UNFACED FIBERGLASS:**UNFACED FIBERGLASS BATT INSULATION USED AS FIREBLOCKING SHALL FILL THE ENTIRE CROSS SECTION OF THE WALL CAVITY TO A HEIGHT OF NOT LESS THAN 16 INCHES (406 MM) MEASURED VERTICALLY. WHERE PIPING, CONDUIT OR SIMILAR OBSTRUCTIONS ARE ENCOUNTERED, THE INSULATION SHALL BE PACKED TIGHTLY AROUND THE OBSTRUCTION. (CRC R302.11.1.2)
- **LOOSE-FILL INSULATION MATERIAL**: LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES. (CRC R302.11.1.3)
- **FIREBLOCKING INTEGRITY:** THE INTEGRITY OF FIREBLOCKS SHALL BE MAINTAINED. (CRC R302.11.2)

DRAFTSTOPPING: IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 M2). DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR-CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES: (CRC R302.12)
1.CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
2.FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

DRAFTSTOPPING MATERIALS: DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH (12.7 MM) GYPSUM BOARD, 3/8-INCH (9.5 MM) WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPS SHALL BE MAINTAINED. (CRC R302.12.1)

FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED. (CRC R302.13)

COMBUSTIBLE INSULATION CLEARANCE: COMBUSTIBLE INSULATION SHALL BE SEPARATED NOT LESS THAN 3 INCHES (76 MM) FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES. (CRC R302.14)
   EXCEPTION: WHERE HEAT-PRODUCING DEVICES ARE LISTED FOR LESSER CLEARANCES, COMBUSTIBLE INSULATION COMPLYING WITH THE LISTING REQUIREMENTS SHALL BE SEPARATED IN ACCORDANCE WITH THE CONDITIONS STIPULATED IN THE LISTING.

A | FIRE-BLOCKING & DRAFT STOP NOTES

EXTERIOR WALL:	
2 x 4 CONST.:	R-13 MIN.
2 x 6 CONST. OR LARGER:	R-20 MIN.
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30

NOTES:
1. REF. T-24 REPORT FOR MORE INFORMATION
2. PROVIDE BID FOR INSULATION OF ENTIRE HOME
*TOTAL R-VALUE INCLUDING THE RIDGID AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT

B | INSULATION SCHEDULE

ROOM NAME	**ROOM TAG**
1 A-5.0	**ELEVATION / SECTION INDICATOR**
1 AD-1.0	**CALL-OUT TAG**
10.00'	**SPOT ELEVATION**
?	**KEYNOTE TAG**
1 1 1	**DOOR / WINDOW / WINDOW WALL TAG**
1	**REVISION TAG**
	FIRE RATED CEILING ASS'Y - REF. DTLS. 8/AD-1.0
	1-HR RATED INT CONDITION - REF. DTLS. 8/AD-1.0
	1-HR RATED EXT CONDITION - REF. DTLS. 12/AD-1.0
	CONCRETE WALL/PODIUM DECK - PER STRUCT. REF. STRUCT DWGS. – FOR SLAB ON GRADE PROVIDE BASE PER R506.2.2 AND VAPOR RETARDER PER R506.2.3 W/. CAPILLARY BREAK, SEE SLAB ON GRADE NOTES ON SLAB EDGE PLAN FOR MORE INFO.
	UNVENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT., REF. STRUCT. DWGS. – UNVENTED ASSEMBLY TO COMPLY W/. SECTION R806.5 OF CRC, AIR-IMPERMEABLE VALUE PER TABLE R806.5 OF CRC
	VENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT., REF. STRUCT. DWGS. – PROVIDE CROSS VENTILATION PER SECTION R806 OF CRC, SEE ROOF PLAN SHEET A-3.0 FOR ATTIC VENT CALC AND MORE INFO
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIMENSION PLANS FOR MORE INFO – INSULATION PER INSULATION SCHEDULE AND T-24 ENERGY REPORTS

C | ANNOTATION LEGEND

1 A/C CONDENSER OR HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED, VERIFY W/. OWNER - SIZE TBD, REF. ENERGY REPORT FOR MORE INFO – PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. – INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFGR. INSTRUCTION

D | KEYNOTES

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PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

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DATE
08/13/25

REVISIONS

NO.	REVISION	DATE

BUILDING SECTIONS

A-5.0

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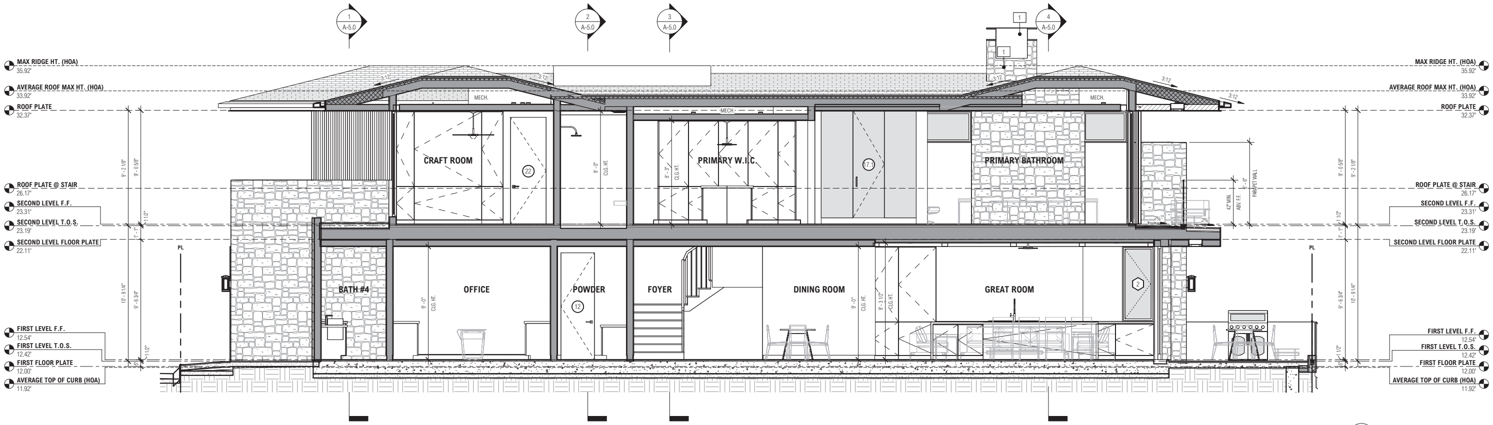
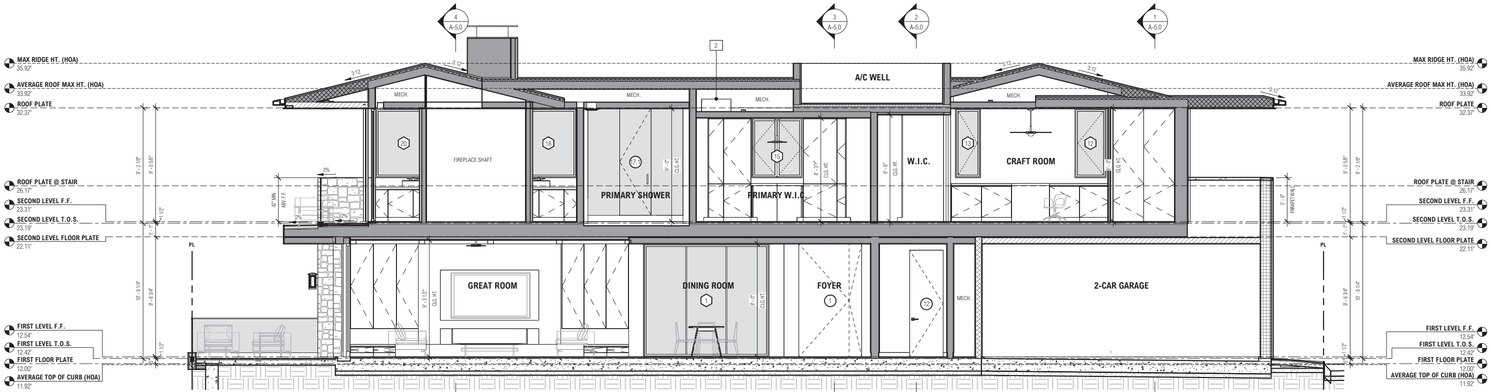
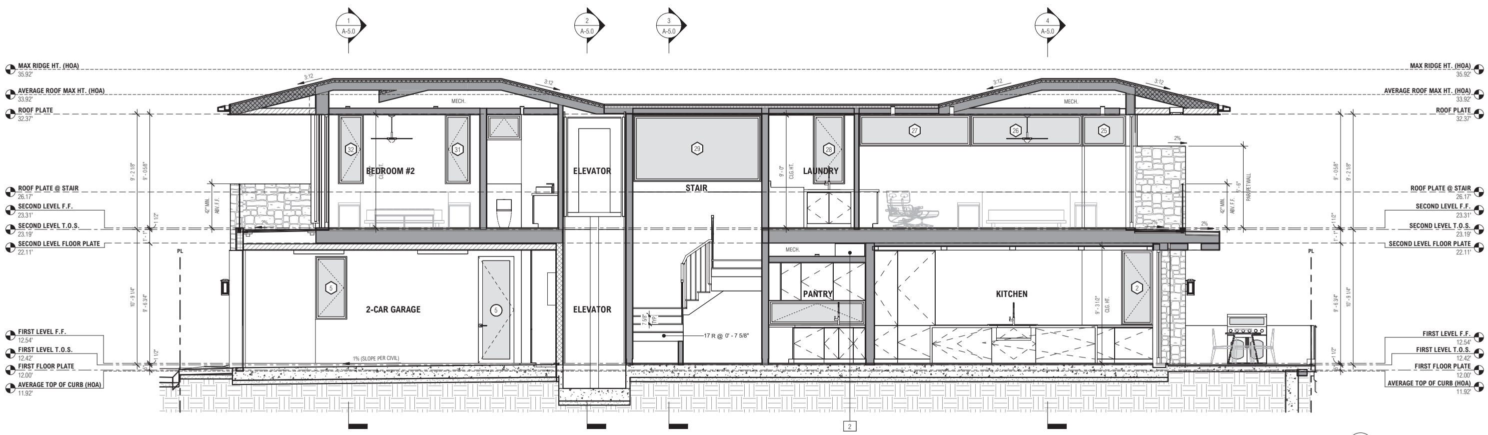


1 LONGITUDINAL SECTION 1
1/4" = 1'-0"



2 LONGITUDINAL SECTION 2
1/4" = 1'-0"



3 LONGITUDINAL SECTION 3
1/4" = 1'-0"

FIREBLOCKING AND DRAFT STOPS NOTES:
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1.2.HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
2.AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3.IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
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2. TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS.
3. ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS.
4. ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH (19.1 MM) PARTICLEBOARD.
5. ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.
6. ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD.
7. BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.

- **BATTS OR BLANKETS OF MINERAL OR GLASS FIBER:** BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT (3048 MM) HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. (CRC R302.11.1.1)
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- **LOOSE-FILL INSULATION MATERIAL**: LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES. (CRC R302.11.1.3)
- **FIREBLOCKING INTEGRITY:** THE INTEGRITY OF FIREBLOCKS SHALL BE MAINTAINED. (CRC R302.11.2)

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1.CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
2.FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

DRAFTSTOPPING MATERIALS: DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH (12.7 MM) GYPSUM BOARD, 3/8-INCH (9.5 MM) WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPS SHALL BE MAINTAINED. (CRC R302.12.1)

FIRE PROTECTION OF FLOORS: FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED. (CRC R302.13)

COMBUSTIBLE INSULATION CLEARANCE: COMBUSTIBLE INSULATION SHALL BE SEPARATED NOT LESS THAN 3 INCHES (76 MM) FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES. (CRC R302.14)
EXCEPTION: WHERE HEAT-PRODUCING DEVICES ARE LISTED FOR LESSER CLEARANCES, COMBUSTIBLE INSULATION COMPLYING WITH THE LISTING REQUIREMENTS SHALL BE SEPARATED IN ACCORDANCE WITH THE CONDITIONS STIPULATED IN THE LISTING.

A FIRE-BLOCKING & DRAFT STOP NOTES

EXTERIOR WALL:
2 x 4 CONST.: R-13 MIN.
2 x 6 CONST. OR LARGER: R-20 MIN.

RAISED FLOOR: R-30 MIN.

ROOF: R-30

NOTES:
1. REF. T-24 REPORT FOR MORE INFORMATION
2. PROVIDE BID FOR INSULATION OF ENTIRE HOME
*TOTAL R-VALUE INCLUDING THE RIDGID AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT

B INSULATION SCHEDULE

ROOM NAME	ROOM TAG
1 A-5.0	ELEVATION / SECTION INDICATOR
1 AD-1.0	CALL-OUT TAG
10.00'	SPOT ELEVATION
?	KEYNOTE TAG
1 1 1	DOOR / WINDOW / WINDOW WALL TAG
1	REVISION TAG
	FIRE RATED CEILING ASS'Y - REF. DTLS. 8/AD-1.0
	1-HR RATED INT CONDITION - REF. DTLS. 8/AD-1.0
	1-HR RATED EXT CONDITION - REF. DTLS. 12/AD-1.0
	CONCRETE WALL/PODIUM DECK - PER STRUCT. REF. STRUCT DWGS. – FOR SLAB ON GRADE PROVIDE BASE PER R506.2.2 AND VAPOR RETARDER PER R506.2.3 W/. CAPILLARY BREAK, SEE SLAB ON GRADE NOTES ON SLAB EDGE PLAN FOR MORE INFO.
	UNVENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT., REF. STRUCT. DWGS. – UNVENTED ASSEMBLY TO COMPLY W/. SECTION R806.5 OF CRC, AIR-IMPERMEABLE VALUE PER TABLE R806.5 OF CRC
	VENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT., REF. STRUCT. DWGS. – PROVIDE CROSS VENTILATION PER SECTION R806 OF CRC, SEE ROOF PLAN SHEET A-3.0 FOR ATTIC VENT CALC AND MORE INFO
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIMENSION PLANS FOR MORE INFO – INSULATION PER INSULATION SCHEDULE AND T-24 ENERGY REPORTS

C ANNOTATION LEGEND

1 CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BILT. CHIMNEY SYSTEMS ARE INSTALLED IN ACCORDANCE WITH W/. MFGR. INST. INSTRUCTIONS. CMC 802.5.4.3 & 802.6.1.4)

2 FAU - PROVIDE GAS S.O., POWER, CLEARANCES AND VENTING AS REQ'D. BY MFG. – INSTALL PER MFG. INSTRUCTION, SEE FAU NOTES ON B/T-1.1 FOR MORE INFO

D KEYNOTES

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COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
HOA - FIFTH SUBMITTAL

PLAN CHECK NO.
PA2025-0089

PROJECT CONTACT
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E: AFORE10@GMAIL.COM

DATE
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REVISIONS

NO.	REVISION	DATE

BUILDING SECTIONS

A-5.1

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