



CITY OF NEWPORT BEACH ADMINISTRATIVE HEARING STAFF REPORT

March 20, 2025
Agenda Item No. 3

SUBJECT: Three-Year Construction Time Limit Extension in Accordance with Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

PERMITS: X2020-2540, XR2023-0079

SITE LOCATION: 3200 Ocean Blvd.

APPLICANT: Michael Reeves

PROPERTY OWNER: EDWARD ZHENG TRUST, COASTAL JADE TRUST

BUILDING INSPECTOR: Jason Rudenick, Senior Building Inspector

PREPARED BY: Tonee Thai, Chief Building Official - 949-718-1867, tthai@newportbeachca.gov

PROJECT SUMMARY

NEW 4,833 SQ. FT. SINGLE-FAMILY DWELLING AND BASEMENT WITH ATTACHED 630 SQ. FT. GARAGE, 2,632 SQ. FT. DECKS WITH SHORING.

BUILDING PERMIT HISTORY

This project first started with Permit X2020-2540 issued on June 15, 2021. Referenced permits above are subject to Newport Beach Municipal Code 15.02.095 with initial three-year construction limit expiration date of June 15, 2024.

Permit XR2023-0079 is for site retaining wall located inside the property that was issued on January 13, 2023.

The first inspection was on July 19, 2021, for a Pre-Grading Meeting.

The last inspection was on December 17, 2024, for Final Electrical inspection.

Please refer to Attachment 1 for detailed permit history.

Notice of pending Three-Year Construction Limit expiration were provided on April 18, 2024.

Please refer to Attachment 2 for detailed notice activities.

BUILDING OFFICIAL EXTENSION

The chief building official granted an extensions for a three-year construction time limit on May 17, 2024 and December 5, 2024, for a total of 275 days, with expiration date of March 17, 2025. (Attachment 3).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

PUBLIC NOTICE

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

ATTACHMENTS

Attachment No. 1 – Building Permit History
Attachment No. 2 – Three-Year Construction Limit Notice Activities
Attachment No. 3 – Building Official Extension

Attachment No. 1

Building Inspection History



LINKED PERMIT INSPECTION HISTORY REPORT (1995-2020) FOR CITY OF NEWPORT BEACH

Permit Type: Plan Check	Application Date: 10/30/2020	Owner: ZHENG EDWARD TR COASTAL JADE TR
Work Class: New	Issue Date: 06/15/2021	Parcel: 052 112 23
Status: Approved	Expiration Date: 11/01/2021	Address: 3200 OCEAN BLVD NEWPORT BEACH, CA 92625
IVR Number: 144047		

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
Inspection Location: 3200 OCEAN BLVD							
Permit: PV2024-0099							
01/28/2025	01/28/2025	Final Building	iBLD-003253-2025	Correction	John Joseph	Yes	Complete
02/11/2025	02/11/2025	Final Building	iBLD-005233-2025	Approved	Jason Rudenick	No	Complete
Reinspection of iBLD-003253-2025							
Permit: X2020-2540							
07/15/2021	07/15/2021	Call Inspector for Pre-Grade Meeting	X2020-2540-A0028 58125	Cancelled		No	Complete
07/19/2021	07/19/2021	Call Inspector for Pre-Grade Meeting	X2020-2540-A0028 59390	Approved		No	Complete
08/02/2021	08/02/2021	Footings and Foundation	X2020-2540-A0028 65577	Correction		No	Complete
08/19/2021	08/19/2021	Footings and Foundation	X2020-2540-A0028 73192	Correction		No	Complete
08/26/2021	08/26/2021	Footings and Foundation	X2020-2540-A0028 76602	Partial Pass		No	Incomplete
09/16/2021	09/16/2021	Footings and Foundation	X2020-2540-A0028 83585	Partial Pass		No	Incomplete
09/27/2021	09/27/2021	Footings and Foundation	X2020-2540-A0028 87768	Partial Pass		No	Incomplete
	09/27/2021	Footings and Foundation	X2020-2540-A0028 88015	Partial Pass		No	Incomplete
09/29/2021	09/29/2021	Footings and Foundation	X2020-2540-A0028 89588	Partial Pass		No	Incomplete
10/01/2021	10/01/2021	Footings and Foundation	X2020-2540-A0028 90594	Cancelled		No	Complete
10/06/2021	10/06/2021	Footings and Foundation	X2020-2540-A0028 92431	Partial Pass		No	Incomplete
12/23/2021	12/23/2021	Footings and Foundation	X2020-2540-A0029 25481	Partial Pass		No	Incomplete
01/05/2022	01/05/2022	Footings and Foundation	X2020-2540-A0029 27609	Partial Pass		No	Incomplete
01/23/2022	01/23/2022	Footings and Foundation	X2020-2540-A0029 34301	Partial Pass		No	Incomplete
	01/23/2022	Masonry Pre-Grout/Wall Steel	X2020-2540-A0029 34302	Partial Pass		No	Incomplete
	01/23/2022	WQ-Best Management Practices	X2020-2540-A0029 34300	Approved		No	Complete
01/28/2022	01/28/2022	Masonry Pre-Grout/Wall Steel	X2020-2540-A0029 37109	Partial Pass		No	Incomplete

LINKED PERMIT INSPECTION HISTORY REPORT (1995-2020)

Permit Type:	Plan Check	Application Date:	10/30/2020	Owner:	ZHENG EDWARD TR COASTAL JADE TR
Work Class:	New	Issue Date:	06/15/2021	Parcel	052 112 23
Status:	Approved	Expiration Date:	11/01/2021	Address:	3200 OCEAN BLVD NEWPORT BEACH, CA 92625
IVR Number:	144047				

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
02/22/2022	02/22/2022	Footings and Foundation	X2020-2540-A0029 47863	Correction		No	Complete
	02/22/2022	Masonry Pre-Grout/Wall Steel	X2020-2540-A0029 47861	Partial Pass		No	Incomplete
03/04/2022	03/04/2022	Footings and Foundation	X2020-2540-A0029 52629	Correction		No	Complete
	03/04/2022	Footings and Foundation	X2020-2540-A0029 52630	Partial Pass		No	Incomplete
03/16/2022	03/16/2022	Area Drains	X2020-2540-A0029 58576	Partial Pass		No	Incomplete
04/06/2022	04/09/2022	Water Pipe Underground	X2020-2540-A0029 69944	Cancelled		No	Complete
04/07/2022	04/07/2022	Soil Pipe	X2020-2540-A0029 68823	Partial Pass	Walter Jones	No	Incomplete
04/18/2022	04/18/2022	Footings and Foundation	X2020-2540-A0029 73014	Correction		No	Complete
05/02/2022	05/02/2022	Footings and Foundation	X2020-2540-A0029 79196	Approved		No	Complete
	05/02/2022	Slab On Grade	X2020-2540-A0029 79197	Approved		No	Complete
06/09/2022	06/09/2022	Slab on Deck	X2020-2540-A0029 95845	Correction		No	Complete
08/03/2022	08/03/2022	Area Drains	iBLD-003159-2022	Partial Pass	Rick La Bare	Yes	Incomplete
	08/03/2022	Sewer	iBLD-003156-2022	Partial Pass	Rick La Bare	Yes	Incomplete
08/15/2022	08/15/2022	Floor Framing & Sheathing	iBLD-004428-2022	Correction	Danny Rodriguez	Yes	Complete
08/16/2022	08/16/2022	Floor Framing & Sheathing	iBLD-004741-2022	Partial Pass	Danny Rodriguez	Yes	Incomplete
Reinspection of iBLD-004428-2022							
09/28/2022	09/28/2022	Floor Framing & Sheathing	iBLD-010403-2022	Correction	Rick La Bare	Yes	Complete
Reinspection of iBLD-004741-2022							
11/03/2022	11/03/2022	Floor Framing & Sheathing	iBLD-015408-2022	Approved	Rick La Bare	No	Complete
Reinspection of iBLD-010403-2022							
11/30/2022	11/30/2022	Footings and Foundation	iBLD-018437-2022	Correction	Rick La Bare	Yes	Complete
12/14/2022	12/14/2022	Footings and Foundation	iBLD-020464-2022	Correction	Rick La Bare	Yes	Complete
Reinspection of iBLD-018437-2022							
	12/14/2022	Masonry Pre-Grout/Wall Steel	iBLD-020678-2022	Correction	Rick La Bare	Yes	Complete
01/10/2023	01/10/2023	Footings and Foundation	iBLD-000738-2023	Partial Pass	Rick La Bare	Yes	Incomplete

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IVR Number:	144047				

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
Reinspection of IBLD-020464-2022							
02/01/2023		Roof Framing, Sheathing & Bldg Height	IBLD-003759-2023	Correction	Rick La Bare	Yes	Complete
02/07/2023	02/07/2023	Roof Framing, Sheathing & Bldg Height	IBLD-004490-2023	Approved	Rick La Bare	No	Complete
Reinspection of IBLD-003759-2023							
04/06/2023	04/06/2023	Area Drains	IBLD-011969-2023	Not Ready for Inspection	Rick La Bare	Yes	Complete
Reinspection of IBLD-003159-2022							
04/12/2023	04/12/2023	Shear and Hold Downs	IBLD-012741-2023	Correction	Rick La Bare	Yes	Complete
05/15/2023	05/15/2023	Masonry Pre-Grout/Wall Steel	IBLD-017562-2023	Cancelled	Rick La Bare	Yes	Complete
Reinspection of IBLD-020678-2022							
07/17/2023	07/17/2023	Area Drains	IBLD-026458-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of IBLD-011969-2023							
	07/17/2023	Gas Pipe Underground	IBLD-026457-2023	Correction	Rick La Bare	Yes	Complete
	07/17/2023	Sewer	IBLD-026456-2023	Approved	Rick La Bare	No	Complete
Reinspection of IBLD-003156-2022							
07/25/2023	07/25/2023	Slab On Grade	IBLD-027691-2023	Correction	Rick La Bare	Yes	Complete
08/24/2023	08/24/2023	Slab On Grade	IBLD-032395-2023	Partial Pass	Jaime Molina	Yes	Incomplete
Reinspection of IBLD-027691-2023							
10/03/2023	10/03/2023	Rough HVAC/Mech/Fireplace	IBLD-037941-2023	Correction	Rick La Bare	Yes	Complete
10/11/2023	10/11/2023	Rough HVAC/Mech/Fireplace	IBLD-039061-2023	Partial Pass	Rick La Bare	Yes	Incomplete
Reinspection of IBLD-037941-2023							
11/27/2023	11/27/2023	Gas Pipe Rough	IBLD-045905-2023	Approved	Jason Rudenick	No	Complete
	11/27/2023	Rough Plumbing & Pan Test	IBLD-045758-2023	Approved	Jason Rudenick	No	Complete
12/01/2023	12/01/2023	Rough Electric Residential	IBLD-046426-2023	Not Ready for Inspection	Jaime Molina	Yes	Complete
12/04/2023	12/04/2023	Fireplace Throat	IBLD-046885-2023	Approved	Jason Rudenick	No	Complete
	12/04/2023	Rough Electric Residential	IBLD-046883-2023	Approved	Jason Rudenick	No	Complete
Reinspection of IBLD-046426-2023							
	12/04/2023	Rough Electrical Service	IBLD-046601-2023	Approved	Jason Rudenick	No	Complete
	12/04/2023	Rough HVAC/Mech/Fireplace	IBLD-046884-2023	Approved	Jason Rudenick	No	Complete
Reinspection of IBLD-039061-2023							

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Status:	Approved	Expiration Date:	11/01/2021	Address:	3200 OCEAN BLVD NEWPORT BEACH, CA 92625
IVR Number:	144047				

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
01/24/2024	01/24/2024	Complete Framing	iBLD-003176-2024	Approved	Jason Rudenick	No	Complete
	01/24/2024	Shear and Hold Downs	iBLD-003177-2024	Approved	Jason Rudenick	No	Complete
Reinspection of iBLD-012741-2023							
02/20/2024	02/20/2024	Insulation/Densglass	iBLD-006304-2024	Approved	Jason Rudenick	No	Complete
04/03/2024	04/03/2024	Drywall Fire Caulk	iBLD-012395-2024	Partial Pass	Charles Wilson	Yes	Incomplete
04/16/2024	04/16/2024	Drywall Fire Caulk	iBLD-014466-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Reinspection of iBLD-012395-2024							
	04/16/2024	Shower Lath	iBLD-014467-2024	Approved	Jason Rudenick	No	Complete
04/18/2024	04/18/2024	Drywall Fire Caulk	iBLD-014704-2024	Approved	Jason Rudenick	No	Complete
Reinspection of iBLD-014466-2024							
05/16/2024	05/16/2024	Other - Building	iBLD-018885-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
05/21/2024	05/21/2024	Vapor Barrier/Exterior Lath/Veneer Lath	iBLD-019094-2024	Approved	Jason Rudenick	No	Complete
10/14/2024	10/14/2024	Soil Pipe	iBLD-040137-2024	Approved	Jason Rudenick	No	Complete
12/05/2024	12/05/2024	Gas Pressure Test	iBLD-047597-2024	Approved	Jason Rudenick	No	Complete
12/17/2024	12/17/2024	Final Electrical	iBLD-049427-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Permit: X2021-1516							
07/19/2021	07/19/2021	Final Building	X2021-1516-A0028 59389	Approved		No	Complete
Permit: XR2023-0079							
05/15/2023	05/15/2023	Masonry Pre-Grout/Wall Steel	iBLD-017818-2023	Approved	Rick La Bare	No	Complete
03/13/2024	03/13/2024	Slab On Grade	iBLD-009468-2024	Approved	Jason Rudenick	No	Complete



City of Newport Beach

Community Development Department - Building Division
100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone: (949) 718-1888
newportbeachca.gov/civic
Combination Type - SFP
Work Class - New



COMB Permit : X2020-2540

Plan Check No : 1995-2020

Issued Date : 06/15/2021

Final Date:

Permit Status: Issued

Inspection Area : 5

PERMITS EXPIRE 180 DAYS AFTER ISSUANCE OR LAST VALID INSPECTION, BUT NO LATER THAN 3 YEARS FROM ORIGINAL ISSUANCE DATE
NO CONSTRUCTION RELATED NOISE ON SATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO WORK ON SUNDAY AND HOLIDAYS IN ALL AREAS

Job Address : 3200 OCEAN BLVD

Legal Desc : A TR RESUB OF CORONA DEL MAR BLK 138 LOT 7 RESUB O

Description : NEW SFR W/ ATT GARAGE/BASEMENT 4,833/630 SF, DECKS 2,632 SF W/SHORING

Owner : ZHENG EDWARD TR COASTAL JADE TR

Address : 25519 BRASSIE LN
LA VERNE, CA 91750

Phone :

Applicant : BRION S JEANNETTE

Address : 470 OLD NEWPORT BLVD
NEWPORT BEACH, CA 92663

Phone : (949) 645-5854

Owner/Builder :

Address :

Phone :

Code Edition : 2019

Type of Construction : V-B

Occupancy Groups : U,R-3

Bldg Height :

Building Setbacks : Front: 24, Side: 4, Side: 4, Rear: 10

Flood Zone : X

Use Zone : R-1 - Single-Unit Residential

Contractor : CORBIN REEVES CONSTRUCTION

Address : 144 BAY FRONT S
NEWPORT BEACH, CA 92662

Phone : (714) 540-3700

Con State Lic : 721515

Lic Expire : 04/30/2026

Bus Lic : BT30057133

Bus Lic Expire : 01/31/2025

Workers' Compensation Insurance

Carrier : OAK RIVER INSURANCE CO

Policy No : MAWC545011

W. C. Expire : 2/23/2025

Fire Sprinklers : YES

Fire Hazard Zone : NO

Fire Alarms : NO

No of Units : 1

No of Stories : 3

No of Basement :

Architect : BRION S JEANNETTE

Address : 470 OLD NEWPORT BLVD NEWPORT
BEACH, CA 92663

Phone : (949) 645-5854

State Lic : C008012

Engineer : NARAGHI-ARANI KAMRAN

Address : 30423 CANWOOD ST #223
AGOURA HILLS, CA 91301

Phone : (818) 865-2026

Designer :

Address :

Phone :

Construction Valuation : \$0.00

Added/New/TL sq. ft. Bldg : 0

Alteration sq. ft. Bldg : 0

Add/New sq. ft. Garage : 0

TOTAL sq. ft. : 0

PROCESSED BY : _____

SPECIAL CONDITIONS:



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

PRE-GRADE MEETING AGREEMENT

DATE: 8/19/21 JOB ADDRESS: 3200 Ocean

1. The grading plan check number for this site is X2020' 2546 and will be referred to in all reports, certifications and correspondence.
2. **STOP ORDERS** Whenever any work is being done contrary to the provisions of the City Codes, the Chief Building Official or his authorized representative may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done and any such persons shall forthwith stop such work until authorized by the Chief Building Official to proceed with the work.
3. The stamped set of approved plans shall be on the job site at all times.
4. **NOTIFICATION OF NONCOMPLIANCE** If, in the course of fulfilling their responsibilities, the civil engineer, surveyor, the soils engineer, the engineering geologist or the testing agent finds that the work is not being done in conformance with the approved grading plans, the discrepancies shall be reported immediately in writing to the person in charge of the grading work and to the Building Division. Recommendations for corrective measures, if necessary, shall be submitted to the Building Division for approval.
5. When import or export of materials is required, haul routes to and from the site shall be approved by the City Traffic Engineer and hauling procedures shall be in accordance with Chapter 15 of the Newport Beach Municipal Code (NBMC). Contractor shall use Best Management Practices (BMP's) to insure that all water quality issues are addressed.
6. Between October 1 and April 30, erosion control BMP measures shall be in place. During the remainder of the year dry season wind erosion BMP's (dust control) shall be implemented. Sediment control BMP's shall be installed and maintained at all operational storm drain inlets internal to the project. BMP's to control off-site sediment tracking shall be implemented and maintained. Appropriate BMP's to prevent contamination of stormwater from construction activities shall be implemented. A "weather triggered" action plan and the ability to deploy BMP's to protect all exposed portions of the site within 48-hours when the National Weather Service forecasts a 50% or greater chance of rain.
7. All fills shall be compacted throughout to a minimum of 90 percent compaction as determined by ASTM test method 1557 and approved by the soils engineer. Compaction tests shall be performed according to the preliminary soils report.
8. All trench (including interior and exterior utility trenches) and retaining wall backfill shall be compacted throughout to a minimum of 90 percent relative compaction and approved by the soils engineer.
9. Whenever work on which required inspection/testing is covered by additional work without first being inspected/tested, the Chief Building Official shall require by written notice that the work be exposed for examination. The work of exposing and recovering shall not entail or be subject to expense to the City of Newport Beach and will be the sole expense of the Permittee.
10. Landscaping of all slopes and pads shall be in accordance with 15.10.130 of the NBMC.
11. Approved drainage provisions shall be used to protect adjoining properties during the grading operation.

12. The permittee or his agent shall notify the Building Division when the grading operation is ready for each of the following inspections:
 - a. PRE-GRADE MEETING When the permittee is ready to begin work, but not less than two days before any grading or brushing is started.
 - b. DRAINAGE DEVICE INSPECTION After forming of terrace drains, down drains or after placement of pipe in subdrains, but before any concrete or filter material is placed.
 - c. SPECIAL
 - d. ROUGH GRADING When all rough grading has been completed, the rough grade report shall be provided to the Building Inspector at foundation inspection or sooner based on the Building Inspector's discretion.
 - e. FINAL When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan, professional approvals and the required reports have been submitted.
13. All footing excavations, slab on grade areas and subdrains shall be inspected and approved by the Geotechnical Engineer or Engineering Geologist. Written approval shall be submitted to the Building Inspector.
14. Prior to the start of grading, all permanent property corner monuments shall be in place. Prior to any foundation inspections, proof of recordation of the "corner record" or "record of survey" with the County of Orange shall be provided.
15. The undersigned acknowledge a copy of the above and agree to comply with the Grading Code of the City of Newport Beach, the recommendations of the project soils report and any special requirements of the permit.
16. Prior to foundation inspection a Line and Grade Certificate Form must signed and stamped by the surveyor of record and submitted to the building inspector. A Structural Observation Report may be required.
17. All parties listed below must be present for the pregrade meeting unless approved by the building inspector.

OWNER/CONTRACTOR: AR. CHITT. JEANETTE
 By: _____
 Address: 478 OLD NEWPORT BLVD
 Telephone: 949/644-6455854

DESIGN CIVIL ENGR.: Toal Engineering Inc
 By: Viktor Meum
 Address: 137 Ave. Navarro, San Clemente
 Telephone: 949-492-8586

GEOTECHNICAL ENGINEER: ROSS LAND
 By: GEOFIRM
 Address: 201 QUINNWAY #F L.D.
 Telephone: 949/380-4286

GEOLOGIST.: KEVIN TRIGG
 By: GEOFIRM
 Address: SAME
 Telephone: SAME

GRADING CONTR.: TIM GREENLEAF ENG.
 By: BEN THATCHER
 Address: 1657 BURKE LN
 Telephone: 714 847 2700

COORDINATOR: CAC Corbin Reurs Construction
 By: DERICK DEJAYNES
 Address: 245 FISCHER AVE A1
 Telephone: 714-540-3700

NEWPORT BEACH REPRESENTATIVE: Juan Rueda PHONE #: 949-644-3262
 INSPECTION REQUESTS: (949) 644-3255

Newport Beach Construction Hours:

Monday through Friday: 7:00 a.m. to 6:30 p.m.
 Saturdays: 8:00 a.m. to 6:00 p.m.
 No work on Sundays and Holidays

STONEY MILLER
CONSULTANTS, INC. | **GEOFIRM**

33 JOURNEY, SUITE 200 • ALISO VIEJO, CA 92656 • 949-380-4886

May 6, 2022

Edward and Carol Zheng
c/o Brion Jeannette Architecture
470 Old Newport Boulevard
Newport Beach, CA 92663

Project No.: 72476-10
Report No.: 21-9053

Attention: Ms. Amy Creager

Subject: **Temporary Shoring and Rough Grade Earthwork Observation Report**
New Single-Family Residence
3200 Ocean Boulevard
Corona Del Mar, California

Reference: Geofirm, 2020, "Preliminary Geotechnical Investigation for Foundation Design,
3200 Ocean Boulevard, Corona Del Mar, California," Project No.: 72476-00,
Report No.: 20-8669, dated February 28.

INTRODUCTION

This report presents the results of the temporary shoring and earthwork observation provided by Geofirm during rough grading for the construction of a new single-family residence at the subject site. The testing and observations reported herein were conducted from July 29, 2021 through December 2, 2021. This report should not be considered as a final report for the development of the subject lot as remaining observation and testing services are anticipated in the near future.

Project Data

Site:	3200 Ocean Boulevard, Corona Del Mar, California
Observation Period:	July 29, 2021 through December 2, 2021
Owner:	Edward and Carol Zheng
Architect:	Brion Jeannette Architecture
Civil Engineer:	Toal Engineering, Inc.
Structural Engineer:	KNA Engineering, Inc.
Grading Plan:	Toal Engineering, Inc., 2021, "Precise Grading and Drainage Plan for The Zheng Residence, 3200 Ocean Blvd, Newport Beach, California" Sheet C-2, revision dated June 8, 2021.
Shoring Plan:	KNA Engineering, Inc., 2021, "Shoring Plan, 3200 Ocean Blvd, Newport Beach, California" Sheet SH-2, revision dated March 30, 2021.

May 6, 2022

Project No: 72476-10

Report No: 21-9053

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General Contractor: Corbin Reeves Construction

Grading Contractor: Tim Greenleaf Engineering

Drilling Contractor: Drilco, Inc.

Jurisdictional Agency: City of Newport Beach

TEMPORARY SHORING OBSERVATIONS

A total of twenty-eight caissons were drilled to support a temporary shoring wall along the western, northern, and eastern property boundaries. The caissons were observed to be drilled to depths that met or exceeded the minimum criteria specified in the shoring plans and are considered suitable for their intended use and continued construction. The location of the caissons is presented on the Shoring Location Plan, Figure 2. A summary of caisson observations is presented in Appendix A.

EARTHWORK OBSERVATIONS

Rough grading generally included the excavation and export of the overburden material within the shoring, and the over-excavation and re-compaction of the upper 3± feet of exposed subgrade soils to create a relatively uniform fill blanket below the proposed new residence. The proposed new exterior hardscape area over-excavation was not completed at this time by the contractor or observed by Geofirm. Exposed over-excavation subgrades were observed to be founded in competent terrace deposit soils and were considered geotechnically suitable for placement of backfill. Fill soil consisted of on-site materials which were placed in thin lifts and compacted to meet or exceed 90 percent relative compactions as recommended in the referenced report. The approximate location of grading limit and field density tests are depicted on the Density Test Location Plan, Figure 1.

FIELD AND LABORATORY TESTING

Field density tests were performed in accordance with ASTM D 6938 (Nuclear Gauge Method). The compaction standard is 90 percent or more of the maximum density as evaluated by ASTM D 1557 (the Five Layer Method). Results of the field density tests and laboratory tests are presented in Appendix A. Field density test locations are depicted on the Density Test Location Plan, Figure 1. Testing was performed on representative areas to render a professional opinion as to the compaction of fill. This is not a warranty that all fills are at 90 percent compaction.

CONCLUSIONS

Based on our field observations, geologic conditions encountered are generally consistent with those anticipated as described in the referenced reports. Based upon our observations, the earthwork as described herein were performed in general accordance with the reported

May 6, 2022

Project No: 72476-10
Report No: 21-9053
Page No: 3

recommendations and the requirements of the City of Newport Beach. The observed excavation and earthwork are considered geotechnically suitable for their intended use and continued construction.

LIMITATIONS

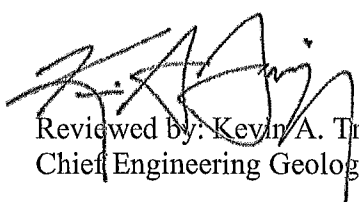
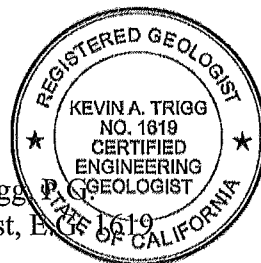
Our description of geotechnical observations and testing services has been limited to those operations performed from July 29, 2021 through December 2, 2021. Earthwork activities not described herein are excluded from this report. Our firm was not responsible for line and grade. Elevations and locations used in this report are estimated based on field surveys done by others.

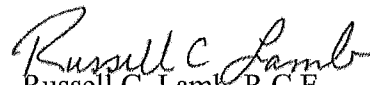
The opinions rendered apply to conditions in the subject areas observed and tested by use as of the date of our final site visit. We are not responsible for any changes in the conditions that may occur after that date and outside our purview.

This opportunity to be of continued service is appreciated. If you have any questions, please contact this office.

Respectfully,

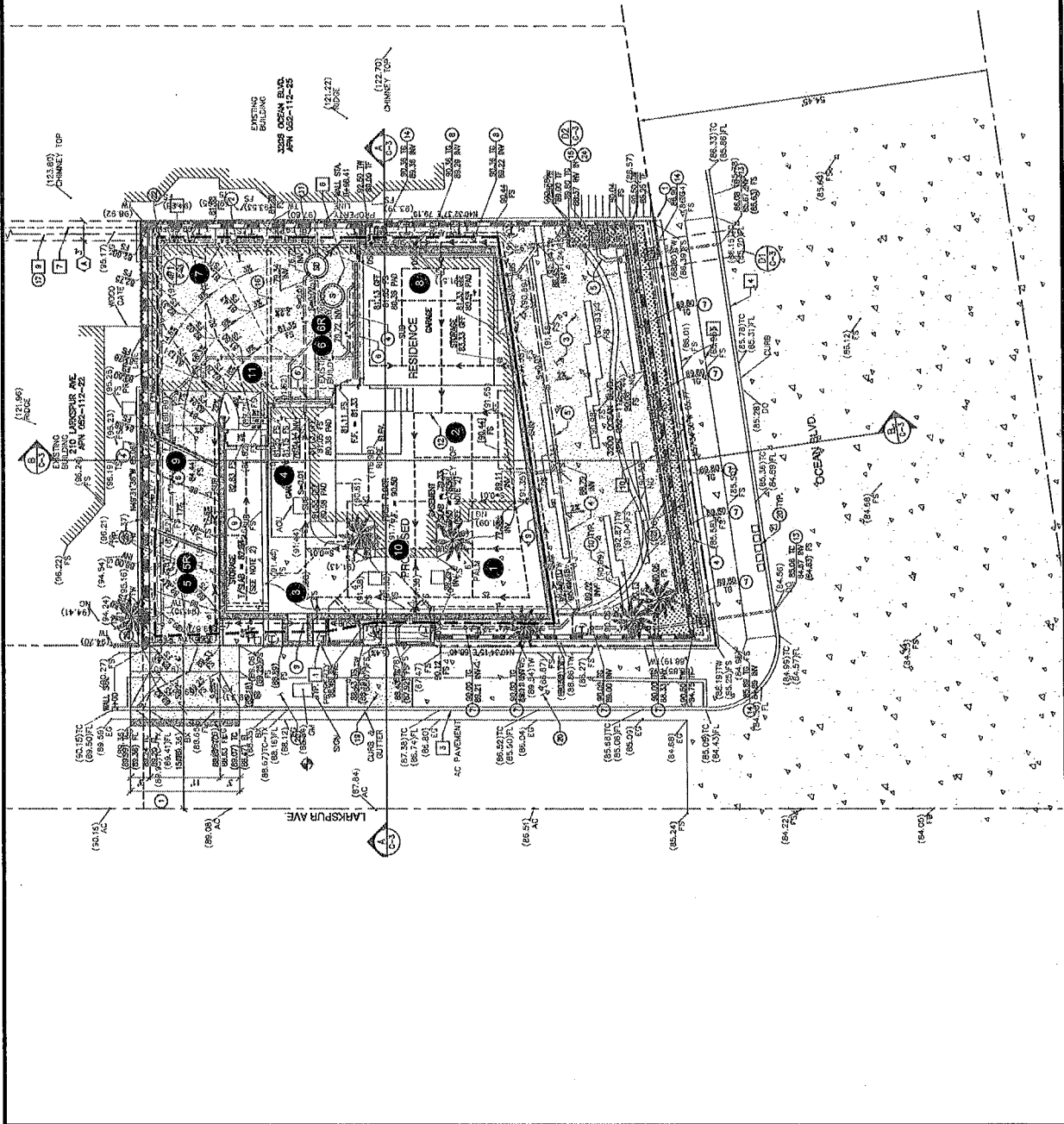
GEOFIRM


Reviewed by: Kevin A. Trigg, P.G.
Chief Engineering Geologist, No. 1619



Russell C. Lamb, R.C.E.
Chief Geotechnical Engineer, No. 2207
Date Signed: 5/6/2022


KAT/RCL: ma

Attachments: Figure 1 - Density Test Location Plan
Figure 2 - Shoring Location Plan
Appendix A - Temporary Shoring Observations
Appendix B - Laboratory and Field Density Tests



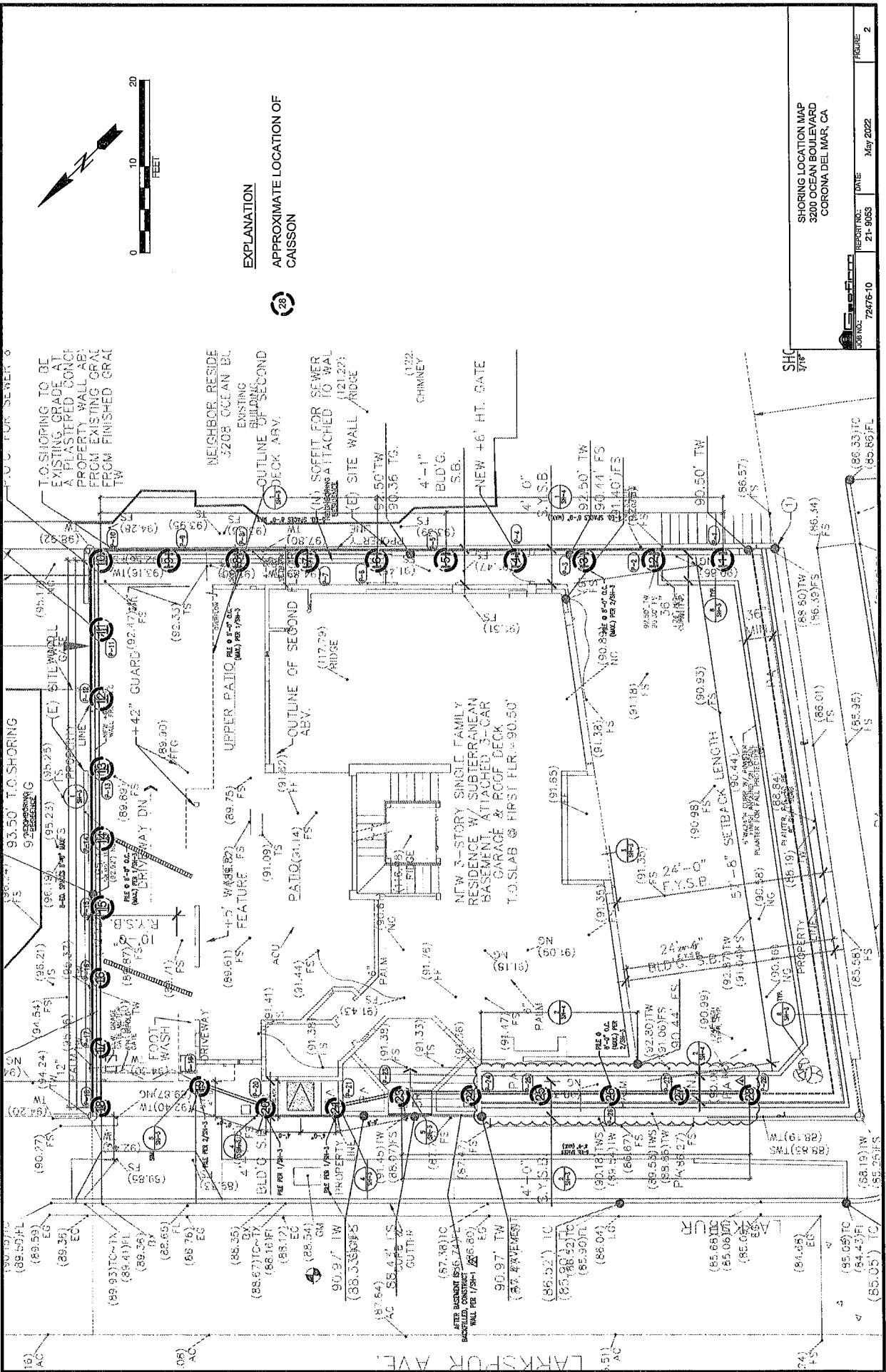
EXPLANATION

● APPROXIMATE LOCATION OF
FIELD DENSITY TEST

--- APPROXIMATE LIMIT OF
GRADING

DENSITY TEST LOCATION MAP
3200 OCEAN BOULEVARD
CORONA DEL MAR, CA

PROJECT NO.	72476-10	REPORT NO.	21- 9033	DATE	May 2022	FIGURE	1
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APPENDIX A
TEMPORARY SHORING OBSERVATIONS

APPENDIX A

TEMPORARY SHORING OBSERVATIONS

Caisson Number	Ref Elevation (ft.)	Depth To Competent Terrace (ft.)	Depth To Bedrock (ft.)	Top of Concrete elev. (ft.)	Bottom of Concrete elev. (ft.)	Design Embed (ft.)	Actual Embed (ft.)	Actual Tip elev. (ft.)	Design Drill Depth (ft.)	Actual Drill Depth (ft.)
P-1	88.5	5	26	83	64	19	21.5	61.5	24.5	27
P-2	89	5	26	83	53	30	34	49	36	40
P-3	91	5	26	78	35	43	45.5	32.5	56	58.5
P-4	91	5	26	77.9	34.9	43	44.9	33	56.1	58
P-5	91	5	26	77.9	34.9	43	45.9	32	56.1	59
P-6	91	5	26	77.9	34.9	43	44.9	33	56.1	58
P-7	91.2	5	26	77.9	34.9	43	44.7	33.2	56.3	58
P-8	93	7	26	77.9	34.9	43	45.4	32.5	58.1	60.5
P-9	93	5	26	77.9	34.9	43	43.9	34	59.6	59
P-10	96	5	26	77.9	34.9	43	44.9	33	61.1	63
P-11	93	9	26	77.9	35.9	43	44.4	33.5	57.1	59.5
P-12	93	9	28	77.9	35.9	43	44.5	33.4	57.1	59.6
P-13	93	9	28	77.9	36.9	43	44.4	33.5	56.1	59.5
P-14	93	9	28	77.9	41.9	38	38.0	39.9	51.1	53.1
P-15	93	9	28	80.9	50.9	30	32.9	48	42.1	45
P-16	93	9	24	82.9	52.9	30	30.9	52	40.1	41
P-17	93	9	28	83.9	53.9	30	34.4	49.5	39.1	43.5
P-18	93	5	25	84.9	65.9	19	20.9	64	27.1	29
P-19	89	5	24	77.5	34.5	43	45.5	32	54.5	57
P-20	88.8	5	24	77.5	34.5	43	45.8	31.8	54.3	57
P-21	88.2	5	24	77.5	34.5	43	45.8	31.7	53.7	56.5
P-23	87.8	5	24	77.5	34.5	43	48.7	28.8	53.3	59
P-24	87.4	5	24	77.5	34.5	43	46.1	31.4	52.9	56
P-25	87.3	5	24	77.5	34.5	43	45.2	32.3	52.8	55
P-26	86.8	5	25	77.5	34.5	30	33.7	43.8	52.3	43
P-27	86.4	5	24	80.5	61.5	19	22	58.4	24.9	28
P-28	85.7	5	25	83	64	19	23.3	59.7	21.7	26

APPENDIX B
LABORATORY AND FIELD DENSITY TESTS

APPENDIX B

LABORATORY AND FIELD DENSITY TESTS

Maximum Density and Optimum Moisture Determinations

Optimum moisture and maximum density were determined in accordance with Test Designation ASTM D 1557-07. Results are tabulated below:

Soil Type	Description	Moisture Content (%) Optimum	Dry Density Maximum (pcf)
1	Silty Sand	11.4	116.0

Summary of Field Density Tests

Test	Date	Soil Type	Elevation (ft.)	Dry Density (pcf)	Moisture Content (%)	Relative Compaction (%)
1	11/23/21	1	77	104.0	13.8	90
2	11/23/21	1	76	105.3	13.6	91
3	11/24/21	1	77	104.8	13.9	90
4	11/24/21	1	79	104.4	14.4	90
5	12/2/21	1	87	105.1	12.4*	91
5R	12/2/21	1	87	106.3	14.1	92
6	12/2/21	1	78	105.7	12.4*	91
6R	12/2/21	1	78	104.1	14.1	90
7	12/2/21	1	80	106.1	14.0	91
8	12/2/21	1	FG	106.1	14.4	91
9	12/2/21	1	FG	104.9	13.9	90
10	12/2/21	1	FG	105.5	14.1	91
11	12/2/21	1	FG	105.1	14.6	91

FG = Finish Grade

*= Failed due to low moisture content

DUPLICATE

33S 50

SHEET 1 OF 1
SCALE: 1"=30'

RECORD OF SURVEY No. 2021-1182

IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA
BEING A SURVEY OF LOT 6 AND PORTIONS OF LOTS 7 & 8, BLOCK 138, MAP OF RE-SUBDIVISION
OF CORONA DEL MAR, AS SHOWN ON A MAP FILED IN BOOK 4, PAGE 67 OF MISCELLANEOUS
MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DATE OF SURVEY: JULY & DECEMBER 2021
PAUL D. CRAFT, P.L.S. 8516 - APEX LAND SURVEYING, INC.

ACCEPTED AND FILED AT THE
REQUEST OF
THE ORANGE COUNTY SURVEYOR'S OFFICE

DATE: August 30, 2023
TIME: 2:50 PM FEE: \$ 81
INSTRUMENT NO. 2023 000 21182
BOOK 33S PAGE 50 e/s

HUGH NGUYEN
COUNTY CLERK-RECORDER
BY: *Letitia Sills*
DEPUTY

MONUMENT NOTES:

- A DILIGENT SEARCH FOR ALL RECORD MONUMENTS IN THE AREA WAS PERFORMED TO ASSIST IN ESTABLISHING THE BOUNDARY LINES OF THIS SURVEY. ALL OF THE MONUMENTS THAT WERE FOUND ARE SHOWN HEREON.
- MONUMENTS ARE FLUSH UNLESS NOTED OTHERWISE.
- - INDICATES FOUND MONUMENT AS NOTED BELOW.
- - SET LEAD, TACK & TAG STAMPED "PLS 8516" ON PROPERTY LINE PROD. 2.00' FROM PROPERTY CORNER.
- - SET LEAD, TACK & TAG STAMPED "PLS 8516", IN TOP OF CURB, AT PROPERTY CORNER.
- ① - FOUND LEAD, TACK & TAG STAMPED "RCE 31720" AT CENTERLINE INTERSECTION PER R2.
- ② - FOUND LEAD, TACK & TAG STAMPED "LS 8294" PER R8, ACCEPTED AS CENTERLINE INTERSECTION.
- ③ - FOUND (4)-2.00' LEAD, TACK & TAG SWING TIES STAMPED "LS 8294" PER R9, OVER MANHOLE, ACCEPTED AS CENTERLINE INTERSECTION PER R10.
- ④ - FOUND (4)-2.00' LEAD, TACK & TAG SWING TIES STAMPED "RCE 31720", OVER MANHOLE, PER R2.
- ⑤ - FOUND LEAD, NAIL & TAG STAMPED "LS 4653" IN TOP OF WALL, NO REFERENCE, ACCEPTED AS ON THE SOUTHWESTERLY LINE OF THE NORTHEASTERLY 65' PER R6, N49°36'58"W 0.08' FROM THE NORTHEASTERLY PROPERTY CORNER AS ESTABLISHED HEREON.
- ⑥ - FOUND LEAD, TACK & TAG STAMPED "RCE 31720", IN LIEU OF 1" IRON PIPE WITH TAG STAMPED "RCE 31720", AT PROPERTY CORNER, PER R2.
- ⑦ - FOUND 3/4" IRON PIPE WITH TAG STAMPED "RCE 11066" AT THE SOUTHERLY CORNER OF LOT 7 PER R2, DOWN 0.25'.
- ⑧ - FOUND CHISELED "X", NO REFERENCE, ACCEPTED AS ON PROPERTY LINE PROD. 540°32'39"W 9.72' FROM THE PROPERTY CORNER, SET LEAD, TACK & TAG STAMPED "PLS 8516" AT CHISELED "X".
- ⑨ - FOUND LEAD, TACK & TAG STAMPED "LS 4212" AT CENTERLINE INTERSECTION OF LARKSPUR & CONSTRUCTION CENTERLINE OF OCEAN BOULEVARD PER R4.
- ⑩ - FOUND LEAD, TACK & TAG STAMPED "LS 8294" PER R11, ACCEPTED AS CENTERLINE INTERSECTION.
- ⑪ - FOUND LEAD, TACK & TAG STAMPED "LS 4212" AT POINT OF INTERSECTION OF A 500.00' RADIUS CURVE PER R4.
- ⑫ - FOUND LEAD, TACK & TAG STAMPED "LS 4212" AT CENTERLINE INTERSECTION PER R4.

REFERENCE NOTES:

- () - INDICATES RECORD OR CALC'D FROM RECORD DATA PER REFERENCE LISTED BELOW.
- (R1) - MAP OF RE-SUBDIVISION OF CORONA DEL MAR, M.M. 4/67.
- (R2) - PARCEL MAP NO. 2002-153, P.M.B. 336/5-6.
- (R3) - RECORD OF SURVEY NO. 2013-1006, R.S.B. 264/22.
- (R4) - RECORD OF SURVEY NO. 2015-1084, R.S.B. 280/10-17.
- (R5) - JACK RAUB NOTES DATED 12/01/1949, J.N. 571R, THE NELY 65' OF LOTS 7 & 8, BLOCK 138, M.M. 4/67, JSR1031, ON FILE AT THE OFFICE OF THE COUNTY SURVEYOR.
- (R6) - GRANT DEED RECORDED 09/30/2019 AS INSTRUMENT NO. 2019000376704, OF OFFICIAL RECORDS.
- (R7) - INTENTIONALLY LEFT BLANK.
- (R8) - CORNER RECORD 2015-1794.
- (R9) - CORNER RECORD 2015-1792.
- (R10) - PARCEL MAP NO. 2015-184, P.M.B. 393/37-38.
- (R11) - CORNER RECORD 2015-1796.
- (R12) - RECORD OF SURVEY NO. 2009-1102, R.S.B. 260/49.
- (R13) - RECORD OF SURVEY NO. 2017-1048, R.S.B. 303/48.

RE-ESTABLISHMENT NOTES:

- (A) - RE-ESTABLISHED AT RECORD DISTANCE 332.25' PER R2, R12 & R13.
- (B) - RE-ESTABLISHED BY PROPORTION PER R1.
- (C) - RE-ESTABLISHED AS THE WESTERLY CORNER OF THE NORTHEASTERLY 65' OF LOT 8 PER R6.
- (D) - RE-ESTABLISHED BY INTERSECTION, ESTABLISHED AS THE SOUTHERLY CORNER OF THE NORTHEASTERLY 65' OF LOT 7 PER R6.
- (E) - ACCEPTED AS THE SOUTHWESTERLY LINE OF THE NORTHEASTERLY 65' OF LOTS 7 & 8 PER R6 AS RE-ESTABLISHED HEREON.

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT, AT THE REQUEST OF EDWARD & CAROL ZHENG IN JULY 2021, AND RON & MARSHA BEARD IN DECEMBER 2021.

Paul D. Craft
PAUL D. CRAFT, P.L.S. 8516
7/30/2023
DATE



COUNTY SURVEYOR'S STATEMENT:

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 23RD DAY OF August 2023.

KEVIN R. HILLS, COUNTY SURVEYOR
L.S. 6617

Julie M. N. Sanibee
BY JULIE M. N. SANIBEE, DEPUTY COUNTY SURVEYOR
P.L.S. 8402



STATEMENT OF PURPOSE:

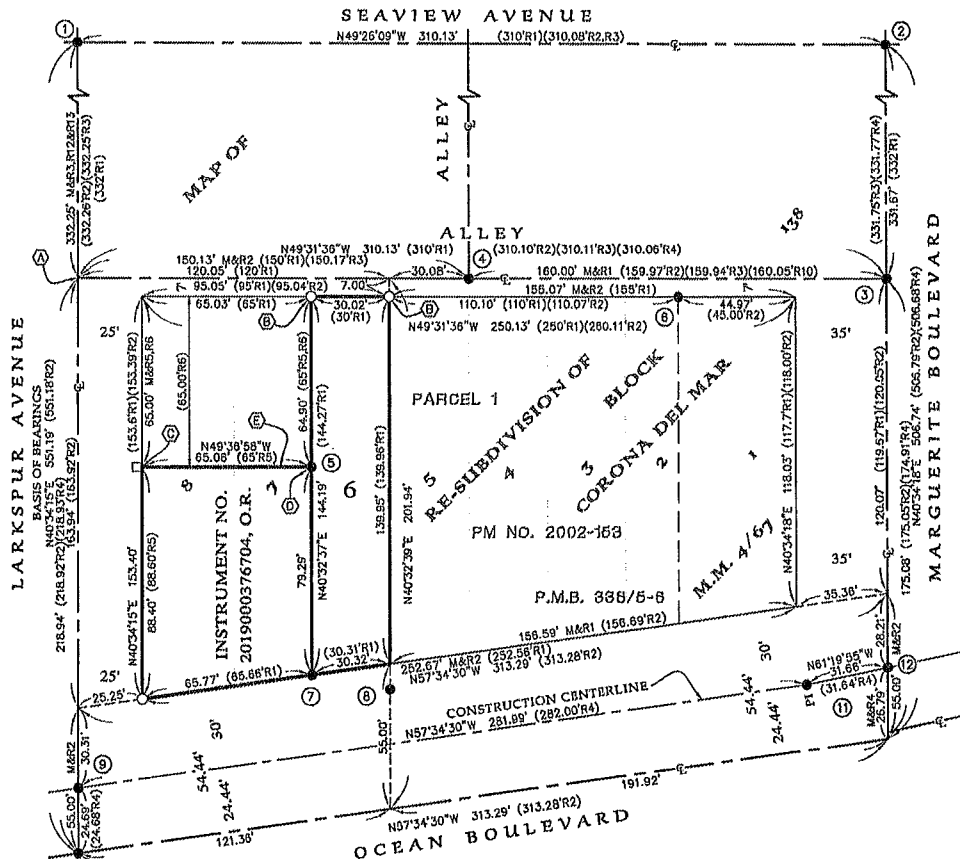
THE PURPOSE OF THIS RECORD OF SURVEY IS TO RE-ESTABLISH AND RE-MONUMENT LOT 6, BLOCK 138, MAP OF RE-SUBDIVISION OF CORONA DEL MAR, M.M. 4/67 AT THE REQUEST OF RON & MARSHA BEARD, AND TO ALSO ESTABLISH AND MONUMENT PORTIONS OF LOTS 7 & 8, BLOCK 138, MAP OF RE-SUBDIVISION OF CORONA DEL MAR, M.M. 4/67, MORE PARTICULARLY DESCRIBED IN A GRANT DEED RECORDED SEPTEMBER 30, 2019 AS INSTRUMENT NO. 2019000376704, O.R. AT THE REQUEST OF EDWARD & CAROL ZHENG.

SURVEYOR'S BOUNDARY NOTE:

THERE ARE NO CONFLICTS WITH EXISTING VISIBLE IMPROVEMENTS AND THE EXTERIOR BOUNDARY LINE (DISTINCTIVE BORDER) OF THIS MAP AS ESTABLISHED HEREON.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF LARKSPUR AVENUE, HAVING A BEARING OF N40°34'15"E PER R2.



DUPLICATE

20



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 926588915
www.newportbeachca.gov | (949) 644-3200

SETBACKS AND TOP OF SLAB/FLOOR
ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Viktor Meum, P.L.S. License # 8682

Engineer/Surveyor's Address 139 Avenida Navarro, San Clemente CA 92672

Job Address 3200 Ocean Boulevard

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).

* Top of slab/floor elevation: see sketch

* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

I certify that the setbacks are ☒, are not ☐, per City approved plans. Describe any deviations from plans: _____

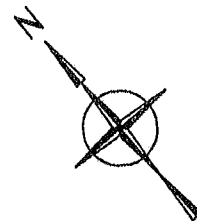
I certify that top of slab/floor elevation(s) is ☐, is not ☐, per City approved drawings. Describe any deviations from plans: NA - snap lines on top of footings measured; see sketch

1-4-2022
 Date

Viktor Meum

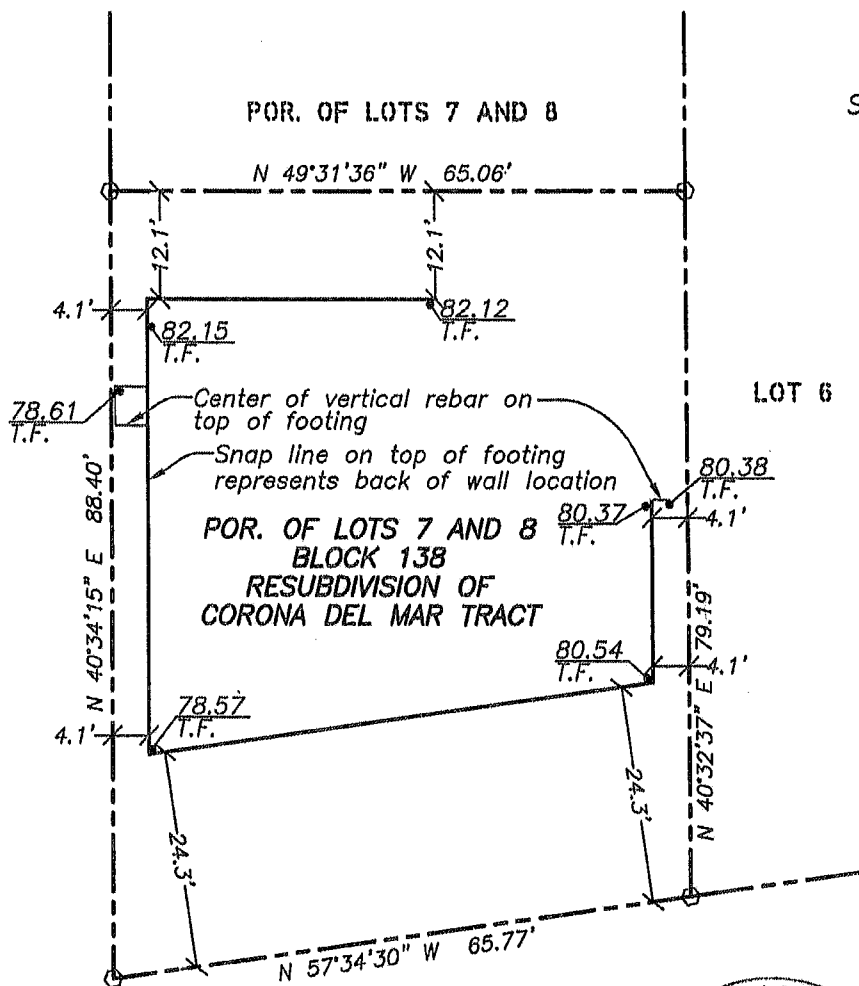
Engineer/Surveyor's stamp and signature





SCALE: 1"=20'

LARKSPUR AVENUE



OCEAN BOULEVARD



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 926588915
www.newportbeachca.gov | (949) 644-3200

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This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name Viktor Meum, P.L.S. License # 8682

Engineer/Surveyor's Address 139 Avenida Navarro, San Clemente CA 92672

Job Address 3200 Ocean Boulevard

Setbacks: Sketch a site plan and specify surveyed setbacks (use back page).


* Top of slab/floor elevation: see sketch

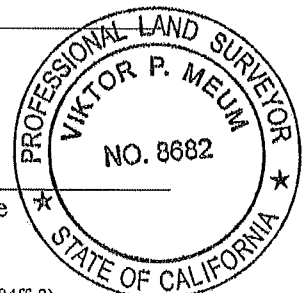
* If slab/floor elevation varies, sketch a plan or section through slab on the back page and specify the elevations. Use same datum used in the survey of record.

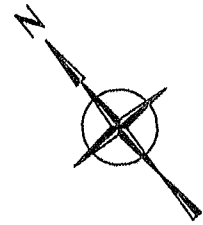
I certify that the setbacks are ☒, ~~are not~~ ☐, per City approved plans. ~~Describe any deviations from plans:~~ _____

I certify that top of slab/floor elevation(s) is ☐, is not ☐, per City approved drawings. Describe any deviations from plans: NA - top of wall forms measured

1-20-2022
 Date

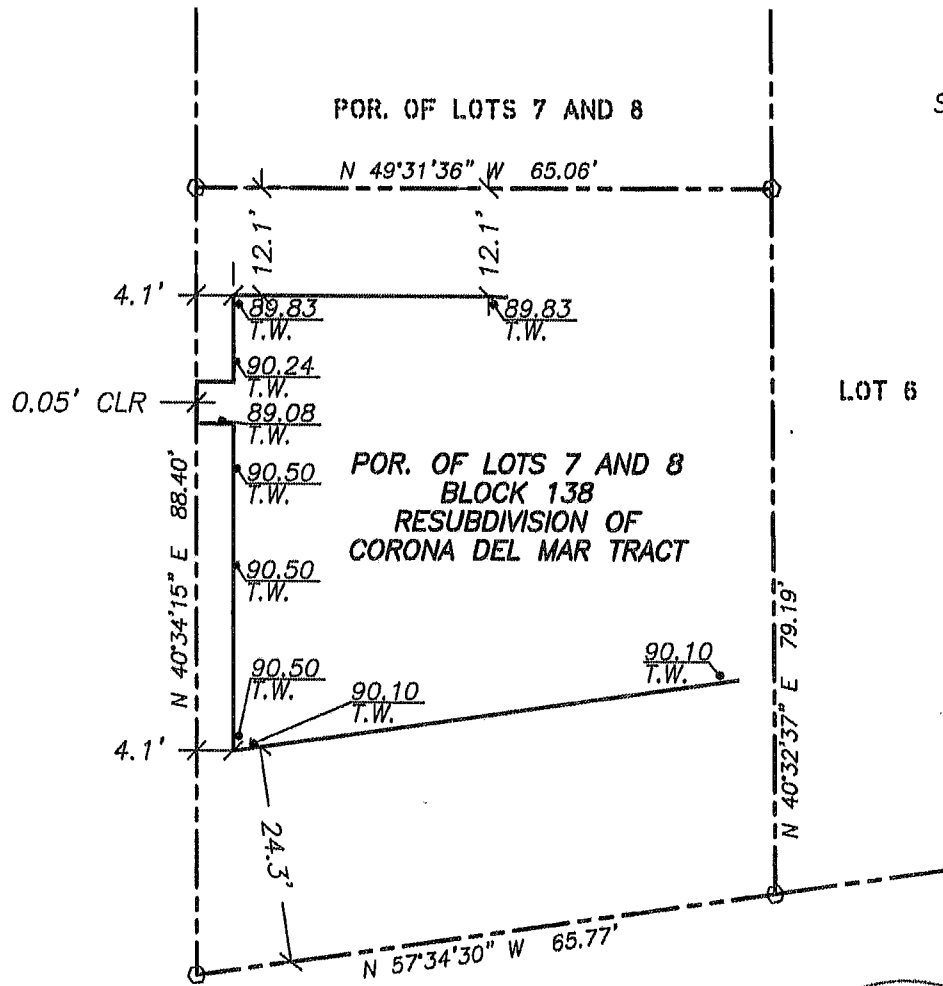

 Engineer/Surveyor's stamp and signature





SCALE: 1"=20'

LARKSPUR AVENUE



OCEAN BOULEVARD



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd, Newport	Report date: 1/16/24	CNB Inspector Name:	CNB Permit #: X220-2540
Building Owner Name:	Owner's Mailing address (If different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	ENTIRE RANGE FRAMING OK	1/16/24
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

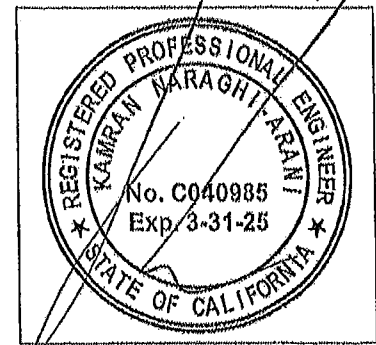
☐ REPORT CONTINUED ON ATTACHED PAGES.

☒ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

1/16/24

STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 844-3200

Structural Observation Report

Project Address: 3200 OCEAN BLVD, Newport Beach	Report date: 2/23/22	CNB Inspector Name:	CNB Permit #: X2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: khaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: G040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete <i>Concrete</i>	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	<i>North & East Ret. walls & Grade beams</i>	
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	<i>per SH-2 & Details</i>	<i>2/23/22</i>
<input checked="" type="checkbox"/> Caissons, Piles, (Grade Beams)	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	<i>1/SH-3, 6/SH-4, 1/SH-5</i>	
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<i>& 2/5-4, 1, Retnt, spacing, clearances</i>	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

No Deficiencies

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

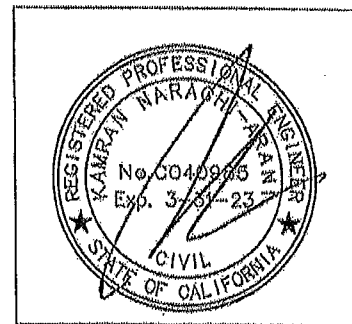
I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

2/23/22



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form Structural Observation Report & Instructions



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd	Report date: 12/21/21	CNB Inspector Name:	CNB Permit #: X2020-2640
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Ret. wall footing & plaster rebar	
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	per S-2.0, details	12/21/21
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	1/5-4.1, 4/5-7.0	
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	Rebar, wall dowels spacing, sizes	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

NO Deficiencies

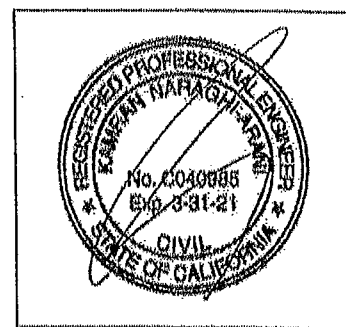
☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form 5 Structural Observation Report & Instructions



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658

www.newportbeachca.gov | (949) 844-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd	Report date: 4/20/22	CNB Inspector Name:	CNB Permit #: X2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Pad Footings & templates in place per S-2.0, S-1.1 COLUMN SCHED. Reinf. sizes	
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Calsons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

No Deficiencies

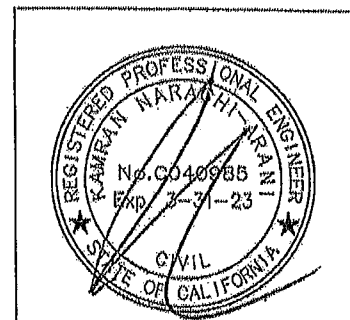
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☐ FINAL STRUCTURAL OBSERVATION REPORT:

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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

4/20/22

STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form Structural Observation Report & Instructions



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd,	Report date: 12/14/22	CNB Inspector Name:	CNB Permit #: X2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

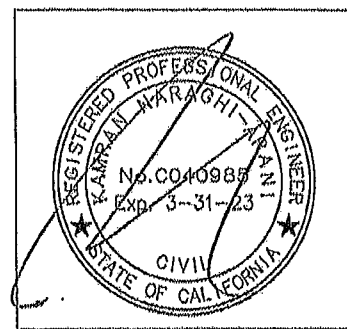
FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Basement 1st floor 2nd floor (perimeter) 3rd floor (perimeter) 4th floor (perimeter) 5th floor (perimeter) 6th floor (perimeter) 7th floor (perimeter) 8th floor (perimeter) 9th floor (perimeter) 10th floor (perimeter) 11th floor (perimeter) 12th floor (perimeter) 13th floor (perimeter) 14th floor (perimeter) 15th floor (perimeter) 16th floor (perimeter) 17th floor (perimeter) 18th floor (perimeter) 19th floor (perimeter) 20th floor (perimeter) 21st floor (perimeter) 22nd floor (perimeter) 23rd floor (perimeter) 24th floor (perimeter) 25th floor (perimeter) 26th floor (perimeter) 27th floor (perimeter) 28th floor (perimeter) 29th floor (perimeter) 30th floor (perimeter) 31st floor (perimeter) 32nd floor (perimeter) 33rd floor (perimeter) 34th floor (perimeter) 35th floor (perimeter) 36th floor (perimeter) 37th floor (perimeter) 38th floor (perimeter) 39th floor (perimeter) 40th floor (perimeter) 41st floor (perimeter) 42nd floor (perimeter) 43rd floor (perimeter) 44th floor (perimeter) 45th floor (perimeter) 46th floor (perimeter) 47th floor (perimeter) 48th floor (perimeter) 49th floor (perimeter) 50th floor (perimeter) 51st floor (perimeter) 52nd floor (perimeter) 53rd floor (perimeter) 54th floor (perimeter) 55th floor (perimeter) 56th floor (perimeter) 57th floor (perimeter) 58th floor (perimeter) 59th floor (perimeter) 60th floor (perimeter) 61st floor (perimeter) 62nd floor (perimeter) 63rd floor (perimeter) 64th floor (perimeter) 65th floor (perimeter) 66th floor (perimeter) 67th floor (perimeter) 68th floor (perimeter) 69th floor (perimeter) 70th floor (perimeter) 71st floor (perimeter) 72nd floor (perimeter) 73rd floor (perimeter) 74th floor (perimeter) 75th floor (perimeter) 76th floor (perimeter) 77th floor (perimeter) 78th floor (perimeter) 79th floor (perimeter) 80th floor (perimeter) 81st floor (perimeter) 82nd floor (perimeter) 83rd floor (perimeter) 84th floor (perimeter) 85th floor (perimeter) 86th floor (perimeter) 87th floor (perimeter) 88th floor (perimeter) 89th floor (perimeter) 90th floor (perimeter) 91st floor (perimeter) 92nd floor (perimeter) 93rd floor (perimeter) 94th floor (perimeter) 95th floor (perimeter) 96th floor (perimeter) 97th floor (perimeter) 98th floor (perimeter) 99th floor (perimeter) 100th floor (perimeter)	12/14/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Columns, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		
<input checked="" type="checkbox"/> ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.					
<input type="checkbox"/> OBSERVED DEFICIENCIES AND COMMENTS:					
<input type="checkbox"/> REPORT CONTINUED ON ATTACHED PAGES.					
<input type="checkbox"/> FINAL STRUCTURAL OBSERVATION REPORT: The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.					

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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 OCEAN BLVD, Newport Beach	Report date: 6/10/22	CNB Inspector Name:	CNB Permit #:
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #: X2020-2540
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-886-2028	SO License / Reg. #: C040986

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	1ST FLR METAL DECK, S-2,1	6/10/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Steel Deck	STUD SIZE & SPACING,	
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	WIRE MESH, DETAILS 1/5-4,2,	
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	2/5-4,2, 4/5-4,2,	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

6/5-4,2, 7/5-4,2, 8/5-4,2

☐ OBSERVED DEFICIENCIES AND COMMENTS:

No Deficiencies

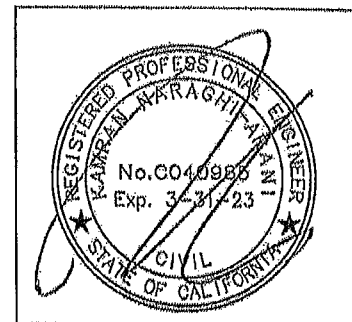
☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

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STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

6/10/22

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form: StructuralObservationReportInstructions



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 844-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd	Report date: 9/26/22	CNB Inspector Name:	CNB Permit #: 2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	3rd floor diaphragm	9/26/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	per S-I.O. on	
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Wood	S-2.3. Nailing	
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	Straps	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

No deficiencies

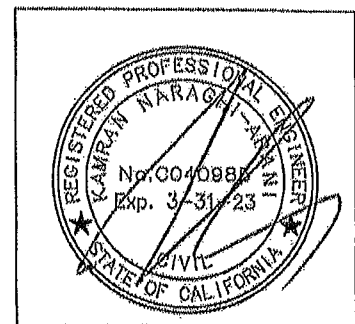
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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

9/26/22

STAMP OF STRUCTURAL OBSERVER

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Form Structural Observation Report & Instructions



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 844-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd	Report date: 1/3/23	CNB Inspector Name:	CNB Permit #: X2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-866-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	8/9K-3 & 2/5H-4	
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	North, West, South P.L. 5H-2	1/3/23
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	Dowels spacing, size,	
<input checked="" type="checkbox"/> Other: stem wall	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	wall thickness	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

NO Deficiencies

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

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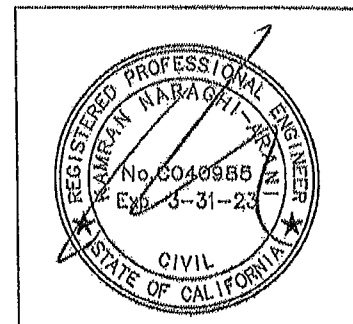
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[Signature]

1/3/23

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE



STAMP OF STRUCTURAL OBSERVER

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CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 Ocean Blvd	Report date: 11/28/22	CNB Inspector Name:	CNB Permit #: 2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	WALLS SITE SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	North, west & south wall footing & dowels on SH-2, details per 1/SH-1 & 8/SH-3	11/28/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

No deficiencies

☐ OBSERVED DEFICIENCIES AND COMMENTS:

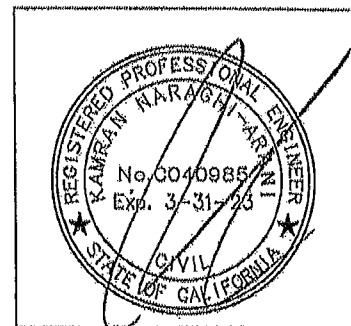
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SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form StructuralObservationReportInstructions



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 OCEAN BLVD, NEWPORT BEACH	Report date: 5/11/23	CNB Inspector Name:	CNB Permit #: X2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Bio Retention CMU WALL PER	
<input type="checkbox"/> Mat. Foundation, Prestressed Concrete	<input checked="" type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	7/54-4 . Reinf.,	5/11/23
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	clearances	
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

No Deficiencies

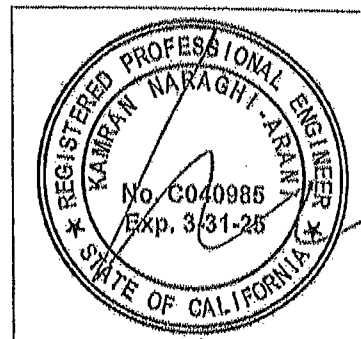
☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

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STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

5/11/23

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 OCEAN BLVD	Report date: 7/21/23	CNB Inspector Name:	CNB Permit #: X 2070 - 2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-866-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Ratio slab & foundation	
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	per SN-2 & 8/11-3	7/21/23
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

NO DEFICIENCIES

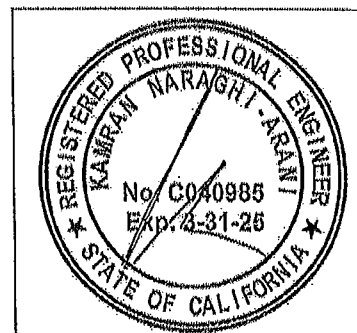
☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.



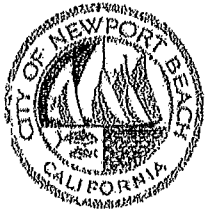
SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

7/21/23

STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 OCEAN BLVD	Report date: 8/31/23	CNB Inspector Name:	CNB Permit #: 2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input checked="" type="checkbox"/> Conventional Footings & Slab	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Driveway slab on	
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	grade, str-2	8/31/23
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	Detail 6/5-4.0	
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	Reinforcement, clearance	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

NO Deficiencies

☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

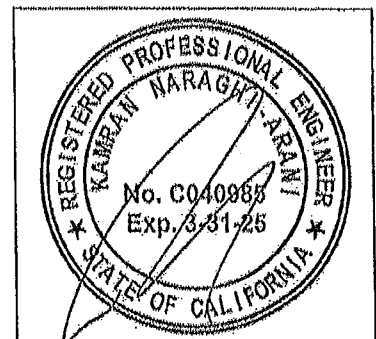
I declare that the following statements are true to the best of my knowledge:

1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

[Signature]

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

8/31/23
DATE



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3200 OCEAN Blvd	Report date: 1/19/22	CNB Inspector Name:	CNB Permit #: 2020-2540
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-866-2026	SO License / Reg. #: C040988

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	Remainder of Basement & garage retaining walls	1/19/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck		
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

NO DEFICIENCIES

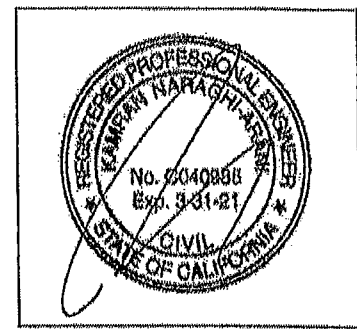
☐ REPORT CONTINUED ON ATTACHED PAGES.

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

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- I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
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STAMP OF STRUCTURAL OBSERVER

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

DATE

1/19/22

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Form 9 Structural Observation Report & Instructions



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address: 3260 Ocean Blvd	Report date: 1/19/22	CNB Inspector Name:	CNB Permit #: X2090-256
Building Owner Name:	Owner's Mailing address (if different from site):	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Observer (SO): Kamran Naraghi-Arani	SO email Address: knaeng@pacbell.net	SO Telephone #: 818-865-2026	SO License / Reg. #: C040985

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Slab	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	North side wall	1/19/22
<input type="checkbox"/> Mat Foundation, Prestressed Concrete	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	RAMP. OK	
<input type="checkbox"/> Caissons, Piles, Grade Beams	<input type="checkbox"/> Wood or Manuf. Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood		
<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:	<input type="checkbox"/> Other:		

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

☐ REPORT CONTINUED ON ATTACHED PAGES.

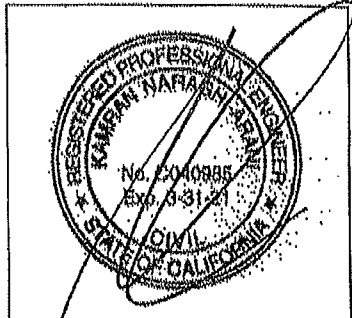
☐ FINAL STRUCTURAL OBSERVATION REPORT:
The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

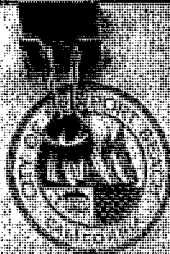
1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;
2. I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;
3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD **DATE** **1/19/22**

STAMP OF STRUCTURAL OBSERVER



STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

3300 Newport Boulevard, P.O. Box 1708, Newport Beach, CA 92658
www.newportbeach.gov (949) 644-3200

Structural Observation Report

Project Address: <u>3300 CLAY BLVD</u>	Report Date: <u>4/13/23</u>	CND Inspector Number: <u>K2111-2140</u>	CND License #: <u>CD40885</u>
Building Owner Name: <u>Kaitian Maragh-Amm</u>	Owner's Name (if different from above):	Owner's Telephone #:	CND Plan Check #:
Full Name of Structural Observer (NOC): <u>Kaitian Maragh-Amm</u>	Observer Address:	SC Telephone #: <u>818-965-2026</u>	SC License / Reg. #:
	Observer Email Address: <u>kmaragh@newportbeach.gov</u>		

PLEASE INDICATE STRUCTURAL ELEMENTS AND CONNECTIONS OBSERVED (check applicable boxes)

FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(S) OBSERVED	DATE OBSERVED
<input type="checkbox"/> Conventional Footings & Bldg	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel	<input type="checkbox"/> Concrete	<u>STEEL WDM</u>	<u>4/9/23</u>
<input type="checkbox"/> Mat Foundations	<input type="checkbox"/> Masonry	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Deck	<u>NAIL ON</u>	<u>4/9/23</u>
<input type="checkbox"/> Cast-in-Place Concrete	<input checked="" type="checkbox"/> Wood or Metal Shear Panels	<input type="checkbox"/> Masonry	<input type="checkbox"/> Wood	<u>SIDE INJ. OK</u>	
<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<u>2x8 NAIL INSTEAD</u>	
				<u>SP-11 OK</u>	

☒ ITEMS CHECKED ABOVE ARE APPROVED AND WITHOUT DEFICIENCIES.

☐ OBSERVED DEFICIENCIES AND COMMENTS:

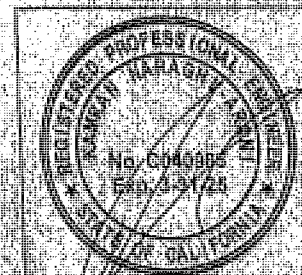
☐ REPORT CONTINUED ON ATTACHED PAGE(S)

☐ FINAL STRUCTURAL OBSERVATION REPORT:

The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.

I declare that the following statements are true to the best of my knowledge:

- I am the licensed design professional retained by the owner to be in responsible charge of the structural observation.
- or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visit at each significant construction stage to verify that the structure is in general conformance with the approved construction documents.
- I understand that all deficiencies which I have documented must be corrected prior to final acceptance of the structural systems by the City of Newport Beach Building Division.



STRUCTURAL OBSERVATION OBSERVER'S REPORT

DATE

4/13/23



CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

1100 WEST BROADWAY, P.O. BOX 4700, NEWPORT BEACH, CALIFORNIA 92660
PHONE: (714) 251-1000 FAX: (714) 251-1001

Structural Observation Report

Project Name: <u>1100 WEST BROADWAY</u>	City: <u>NEWPORT BEACH</u>	Site Address: <u>1100 WEST BROADWAY</u>	City: <u>NEWPORT BEACH</u>
Project Number: <u>1100</u>	City: <u>NEWPORT BEACH</u>	City: <u>NEWPORT BEACH</u>	City: <u>NEWPORT BEACH</u>
Project Name: <u>1100 WEST BROADWAY</u>	City: <u>NEWPORT BEACH</u>	City: <u>NEWPORT BEACH</u>	City: <u>NEWPORT BEACH</u>
Project Number: <u>1100</u>	City: <u>NEWPORT BEACH</u>	City: <u>NEWPORT BEACH</u>	City: <u>NEWPORT BEACH</u>

DATE	TIME	LOCATION	DESCRIPTION	REMARKS
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.

11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.

11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.
11/11/00	10:00 AM	1100 WEST BROADWAY	Structural Observation	Foundation, walls, floors, roof, etc.



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
 www.newportbeachca.gov | (949) 644-3200

BUILDING HEIGHT CERTIFICATION

Project Street Address: 3200 Ocean Blvd.

Building Permit Number(s): X2020-2540 (project D2017-0521)

As the surveyor of record for the project at the above address, I hereby certify that I have reviewed the City of Newport Beach approved plan and original topographic survey and based the elevations listed below on those plans.

Elevations shall include an allowance for roofing material thickness if not yet installed. Provide each critical ridge and flat roof, or roof deck railing elevations indicated on the approved plans. Use the format below on the back of this form if additional space is necessary or further explanation is needed. Provide original copy to the inspector before roof framing inspection.

All elevation points are based on: ☒ NAVD88 ☐ NGVD29 ☐ Assumed

Please provide the following elevation information for the highest roof ridges, flat roofs, or parapets/guardrails. Additional elevation points may be requested by the Building Inspector.

RIDGES (3:12 slope or greater)

1. Approved elevation point of ridge is 119.87' and actual elevation point is 119.68'.
2. Approved elevation point of ridge is 119.87' and actual elevation point is 119.66'.
3. Approved elevation point of ridge is 119.87' and actual elevation point is 119.65'.

FLAT ROOFS, PARAPETS AND GUARDRAILS

1. Approved elevation point of flat roof or parapet is NA and actual elevation point is NA.
2. Approved elevation point of flat roof or parapet is NA and actual elevation point is NA.
3. Approved elevation point of flat roof or parapet is NA and actual elevation point is NA.

Measured heights are on beams. Plan elevations are per sheet A-21.

I certify that the above height measurements are correct and the above project:

- ☒ **IS** in compliance with the City-approved plans.
- ☐ **IS NOT** in compliance with the City-approved plans (Provide explanation).

Please describe any deviation from the City-approved plans on the back of this form.

Surveyor or Civil Engineer's* signature and seal
 (Wet stamp and signature required)



11-1-22
 Date
 (JN 20184.fhc)

* License number of 33965 or lower

February 23, 2024

Edward and Carol Zheng
c/o Brion Jeannette Architecture
470 Old Newport Boulevard
Newport Beach, CA 92663

Project No.: 72476-10
Report No.: 23-9442

Attention: Ms. Amy Creager

Subject: **Final Report of Earthwork Observation and Testing**
New Single-Family Residence
3200 Ocean Boulevard
Corona Del Mar, California

INTRODUCTION

This report presents the results of the earthwork observation provided by Geofirm during the construction of a new single-family residence at the subject site. Based on the information provided, foundation and earthwork activities on the site have been completed as of August 15, 2023. Therefore, this report is considered as a final report for the development of the subject lot.

We previously prepared a report for rough grading for earthwork construction and shoring caissons at the subject site (Geofirm, 2022, see references).

Project Data

Site:	3200 Ocean Boulevard, Corona Del Mar, California
Observation Period:	December 3, 2021 through August 15, 2023
Owner:	Edward and Carol Zheng
Architect:	Brion Jeannette Architecture
Civil Engineer:	Toal Engineering, Inc.
Structural Engineer:	KNA Engineering, Inc.
Grading Plan:	Toal Engineering, Inc., 2021, "Precise Grading and Drainage Plan for The Zheng Residence, 3200 Ocean Blvd, Newport Beach, California" Sheet C-2, revision dated November 17, 2022.
Structural Plan:	KNA Engineering, Inc., 2022, "Foundation Plan, 3200 Ocean Blvd, Newport Beach, California" Sheet S-2.0, revision dated November 16.
General Contractor:	Corbin Reeves Construction
Grading Contractors:	Tim Greenleaf Engineering/Al's Engineering
Jurisdictional Agency:	City of Newport Beach

Geotechnical Observation and Testing reported herein include:

- A. Previous Site Preparation and Grading
- B. Current Site Preparation and Grading
- C. Residence Foundation Excavations
- D. Retaining Walls
- E. Hardscape and Landscape Subgrades
- F. Utility Trench Backfill
- G. Exclusions

EARTHWORK OBSERVATIONS

A. Site Preparation and Grading

Site preparation and grading generally included the excavation and export of the overburden material within the constructed shoring and included the over-excavation and re-compaction of the upper $3\pm$ feet of exposed subgrade soils to create a relatively uniform fill blanket below the proposed new residence. This work was performed from July 29, 2021 through December 2, 2021. The results of our geotechnical services performed during this period are presented in our "Temporary Shoring Observation and Rough Grade Earthwork Observation Report", Reference 6.

B. Current Site Preparation and Grading

Remedial grading operations for the hardscape and landscape areas generally included the over-excavation and re-compaction of the upper ± 3 feet of existing soil down to competent terrace deposits. The front patio area, behind the bio-retention planter retaining wall, was observed to be backfilled with ± 6 -feet of imported soil. Fills consisting of excavated and imported materials were placed and compacted in general accordance with the geotechnical recommendations to at least 90 percent relative compaction and were suitable for continued construction.

C. Residence Foundation Excavations

The excavation subgrades for the new residence foundations and slab were observed to be excavated into competent engineered fill. The exposed subgrades were considered geotechnically suitable for their intended use and continued construction at the time of our observation.

D. Retaining Walls

Retaining wall foundation excavation subgrades for perimeter retaining walls and basement retaining walls were observed to consist of competent engineered fill that was placed during rough grading. The subgrades were considered geotechnically suitable for their intended use and continued construction at the time of our observation.

The subdrain for the basement retaining wall was observed to consist of a 4-inch, Schedule 40, perforated PVC pipe that was covered in crushed rock and wrapped in filter fabric and was considered suitable for continued construction.

The basement retaining wall was backfilled with pea gravel that was placed and compacted with hand-compaction equipment and were considered suitable for their intended use and continued construction.

E. Hardscape and Landscape Subgrades

The subgrade soil for the hardscape, landscape, and driveway approach was over-excavated approximately 2 feet. Excavated materials were reused as fill materials and placed in relatively thin lifts, moisture-conditioned, and recompact. The driveway approach included a base course consisting of 4-inches of crushed rock was placed over the approved subgrade soil; and in the patio area, 2 inches of crushed rock was placed over the approved subgrade soil. The base course was placed and compacted using hand-operated compaction equipment. Our observation and testing indicated the subgrades and base courses were suitable for their intended use and continued construction.

F. Utility Trench Backfill

The utility trench backfill for the electric box, area drains, plumbing, sewer, and storm drain were backfilled and compacted in accordance with our recommendations. Our observation and testing indicated that the backfills placed were suitable for their intended use and continued construction.

G. Exclusions

The following items were not observed by this office and are hereby excluded from this report:

- Basement Slab Subdrains
- Concrete Slab Underlayment
- Biofiltration System

While not necessarily indicative of potential issues, we cannot comment on the suitability of the items above and the performance of associated improvements.

February 23, 2024

Project No: 72476-10
Report No: 23-9442
Page No: 4

FIELD AND LABORATORY TESTING

Field density tests were performed in accordance with ASTM D 6938 (Nuclear Gauge Method). The compaction standard is 90 percent or more of the maximum density as evaluated by ASTM D 1557 (the Five Layer Method). Results of the field density tests, and laboratory tests are presented in Appendix B. Field density test locations are depicted on the Geotechnical Plot Plan, Figure 1.

Testing was performed on representative areas to render a professional opinion as to the compaction of fill. This is not a warranty that all fills are at 90 percent compaction.

CONCLUSIONS

Based on our field observations, the geologic conditions encountered were generally consistent with those anticipated as described in the referenced reports. It is our opinion that the earthwork and structural construction observed by this office were accomplished in accordance with the geotechnical recommendations within the referenced reports and the requirements of the City of Newport Beach. The earthwork conditions reported herein are considered suitable for the intended use and continued construction.

LIMITATIONS

Our description of geotechnical observations and testing services has been limited to those operations performed from December 3, 2021 through August 15, 2023. Earthwork activities not described herein are excluded from this report. Geofirm did not control the frequency or adequacy of our onsite observation or testing services relative to the needs of the project. Our firm was not responsible for line and grade. Elevations and locations used in this report are estimated based on field surveys done by others. Elevations and locations used in this report are estimated based on field surveys done by others. The opinions rendered apply to conditions in the subject areas observed and tested by us as of the date of our final site visit. We are not responsible for any changes in the conditions that may occur after that date and outside our purview.

February 23, 2024

Project No: 72476-10
Report No: 23-9442
Page No: 5

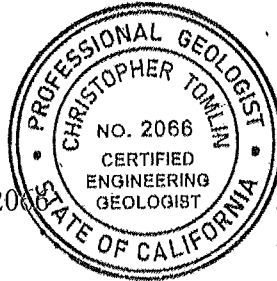
This opportunity to be of continued service is appreciated. If you have any questions, please contact this office.

Respectfully,

GEOFIRM



Christopher L. Tomlin, E.G. 2066
Senior Engineering Geologist

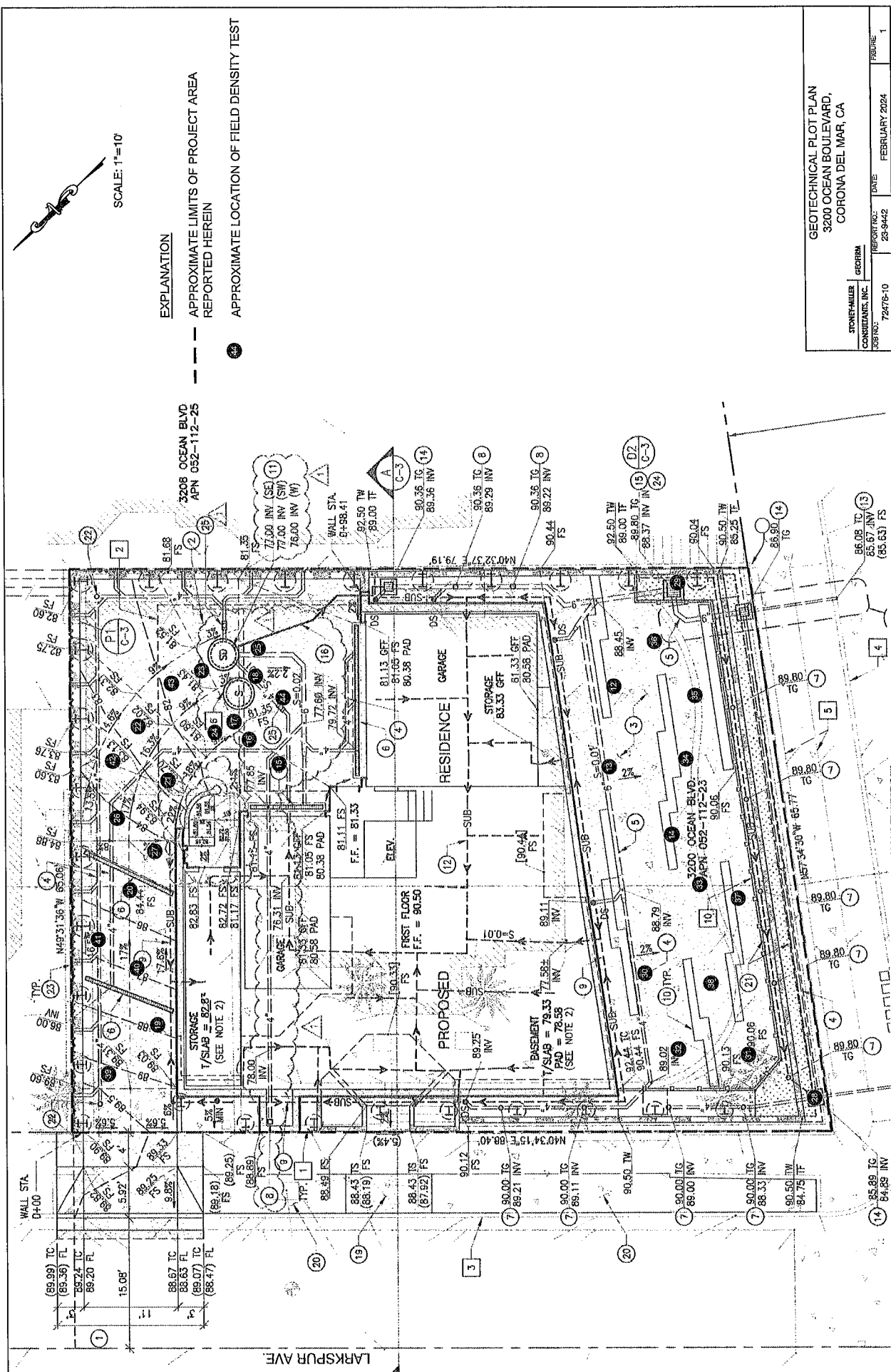


Jesse D. Bearfield, P.E. 84335
Associate Engineer



CLT/JDB: ma

Attachments: Figure 1 - Geotechnical Plot Plan
Appendix A - References
Appendix B - Laboratory and Field Density Tests



APPENDIX A
REFERENCES

APPENDIX A

REFERENCES

1. Geofirm, 2020, "Preliminary Geotechnical Investigation for Foundation Design, Proposed New Single-Family Residence, 3200 Ocean Boulevard, Corona Del Mar, California," Project No.: 72476-00, Report No.: 20-8669, dated February 28.
2. Geofirm, 2020, "Response to City of Newport Beach, Geotechnical Report Review Checklist, dated November 5, 2020, Proposed New Single-Family Residence, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 20-8812, dated November 12.
3. Geofirm, 2021, "Response to City of Newport Beach, Shoring and Retaining Wall Review Checklist, 1st Review, dated December 2, 2020, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-8913, dated April 28.
4. Geofirm, 2021, "Supplemental Shoring/Lagging Recommendations, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-8927, dated May 20.
5. Geofirm, 2021, "Supplemental Shoring/Lagging Recommendations, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-8939, dated June 4.
6. Geofirm, 2022, "Temporary Shoring and Rough Grade Earthwork Observation Report, New Single-Family Residence, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-9053, dated May 6.

APPENDIX B

LABORATORY AND FIELD DENSITY TESTS

APPENDIX B

LABORATORY AND FIELD DENSITY TESTS

Maximum Density and Optimum Moisture Determinations

Optimum moisture and maximum density were determined in accordance with Test Designation ASTM D1557-07. Results are tabulated below:

Soil Type	Description	Optimum Moisture Content (%)	Dry Density Maximum (pcf)
1	Silty Sand (SM)	11.4	116.0
2	Sand with Gravel (SP)	6.6	139.7
3	Aggregate Base (CMB)	7.6	129.6

Summary of Field Density Tests

Test No.	Date	Soil Type	Elevation (ft.)	Dry Density (pcf)	Moisture Content (%)	Relative Compaction (%)
12	3/16/2022	1	89	108.4	12.6	93
13	3/16/2022	1	90	109.4	12.3	94
14	3/17/2022	1	89	108.0	12.5	93
15	4/12/2022	1	78	113.0	11.0	97
16	4/12/2022	1	78	111.4	11.0	96
17	4/15/2022	1	89	110.4	8.6	95
18	4/15/2022	1	89	115.8	7.2	99
19	6/15/2022	1	FG	112.6	9.3	91
20	6/15/2022	1	FG	110.0	8.9	95
21	6/15/2022	1	FG	113.3	10.5	97
22	6/15/2022	1	FG	111.0	9.9	96
23	6/15/2022	1	FG	114.1	12.0	98
24	6/15/2022	1	FG	109.8	11.4	95
25	6/15/2022	1	FG	112.4	9.5	97
26	6/16/2022	1	FG	110.4	10.9	95
27	6/16/2022	1	FG	113.0	11.1	97
28	11/9/2022	1	88	114.0	13.9	98
29	11/9/2022	1	88	114.4	14.0	98
30	6/9/2023	2	86	134.2	9.0	96
31	6/9/2023	2	87	132.8	8.7	95
32	6/9/2023	2	88	132.4	9.1	95
33	6/9/2023	2	FG	133.6	9.0	96

Test No.	Date	Soil Type	Elevation (ft.)	Dry Density (pcf)	Moisture Content (%)	Relative Compaction (%)
34	6/9/2023	2	FG	128.0	10.1	92
35	6/12/2023	2	FG	125.7	10.6	90
36	6/12/2023	2	FG	125.9	10.1	90
37	6/12/2023	2	FG	132.8	9.0	95
38	6/12/2023	2	FG	132.1	8.6	95
39	8/14/2023	2	SG	135.0	8.8	97
40	8/14/2023	2	SG	132.3	9.0	95
41	8/14/2023	2	SG	135.1	8.6	97
42	8/15/2023	3	FG	125.7	8.6	97
43	8/15/2023	3	FG	125.5	8.3	97
44	8/15/2023	3	FG	123.0	8.5	95

FG = Finish Grade

SG = Driveway Subgrade

NOTICE TO THE CITY OR COUNTY OF ORANGE AND CLIENT ELEVATOR CERTIFIED AS SAFE TO OPERATE

Client	Corbin Reeves Construction	Site ID	CA-06909
Address	3200 Ocean Blvd, Corona Del Mar, CA 92625	Elevator Type	E1-2 with shaft

The Client is required to register this elevator as a structural component as outlined as per your local regulations. The following information is provided and recommended to be included in the submittal form, as provided by your local Department of Building and Safety, city or county office.

Weight Capacity	881lbs
Person Capacity	5 person
Class	Private Residence Elevator

BUILDING REGULATED ITEMS AS NOTED BY ELEVATOR CONTRACTOR

Certification is issued subject to a qualified person, provided by others, certifying that the building housing the subject elevator is in a satisfactory condition and built to manufacturers specifications. Implicit in this building certification is the acknowledgement that the safety of elevator users and or elevator workers is not compromised including the satisfaction of all Statutory Authority requirements.

PLANT IS SAFE TO OPERATE SUBJECT TO THE ITEMS

It is recommended that the elevator should not be placed into service until the building has been certified as outlined in items below. This includes the rectification of items as noted by the elevator certifier. The following list is provided as a service and does not cover all building related items. Our competence in certification relates only to elevator technicalities.

CERTIFICATION

Certifier Name	Zeke Poulton	Client Name	Mark Winans
Title	Sales and Design	Client Type	General contractor
Signature		Signature	
Date		Date	



CITY OF NEWPORT BEACH
Community Development Department | Building Division
100 Civic Center Dr. | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

CALGREEN DOCUMENTATION COMPLIANCE CERTIFICATION

ADDRESS: 3200 Ocean Blvd, CDM

PERMIT NO.: x2020-2540

THIS FORM SHALL BE COMPLETED AND SIGNED PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION. ONE COPY OF THIS FORM SHALL BE SUBMITTED TO THE BUILDING INSPECTOR AT FINAL INSPECTION AND ONE SHALL BE PROVIDED TO THE BUILDING OWNER AS PART OF THE CAL GREEN CERTIFICATION PACKAGE.

The following section shall be completed by a person with overall responsibility for the planning and design portion of the project.

REQUIRED DOCUMENTATIONS PROVIDED TO THE PROPERTY OWNER(S)

- ☒ Franchise Hauler for Construction/Demolition Waste (65% min. reuse of nonhazardous waste)
- ☒ VOC Contents Limitation
- ☒ Formaldehyde Emissions Limitation
- ☒ T-24 Energy Certificate of Installations (Env., QII, Lighting, Photovoltaic, Mech., Plumb.)
- ☒ T-24 Energy Certificate of Verifications or Acceptance (Env., QII, Lighting, Photovoltaic, Mech., Plumb., HERS)
- ☒ Operations and Maintenance Manual

MOISTURE CONTENT OF BUILDING MATERIAL (RESIDENTIAL CONSTRUCTION ONLY)

- ☒ I certify that the moisture content of the wall and floor framing is less than 19 percent as determined in accordance with Section 4.505.3 of CAL Green prior to being enclosed.

DECLARATION STATEMENT

- I certify under penalty of perjury, under the laws of the State of California, the information provided is true and correct.
- I certify that the installed measures, materials, components, or manufactured devices identified on this certificate conform to all applicable codes and regulations, and the installation is consistent with the plans and specifications approved by the enforcing agency.

Responsible Person's Name:

MEG Inc

Responsible Person's Signature:

Dee Knight

Date Signed:

2-4-25

Position/Title:

owner

Notes:

Attachment No. 2

Three-Year Construction Limit Notice Activities



PERMIT ACTIVITY REPORT (X2020-2540) FOR CITY OF NEWPORT BEACH

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
01/30/2025					
	Generic Activity	3yr Hearing App	ACT-000483-2025	Jason LM with Mark (GC), 9496482400. Dropped off Hearing App Exp 3/17/24.	Jason Rudenick
	Generic Activity	3 yr Hearing App	ACT-000482-2025	Jason LM with Mark (GC), 9496482400. Dropped off Hearing App Exp 3/17/24.	Jason Rudenick
10/23/2024					
	Generic Activity	Application delivered	ACT-004141-2024	Jason hand delivered 2nd application, request for additional 6 months.	Jason Rudenick
11/14/2024					
	Generic Activity	App Submitted	ACT-004430-2024	On SL's desk 11/14/24.	Jason Rudenick
12/10/2024					
	Generic Activity	3-YEAR DEADLINE EXTENSION	ACT-004804-2024	MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank
12/05/2024					
	Generic Activity	Building Official Extension Approved	ACT-004677-2024	3-YEAR CONSTRUCTION TIME LIMIT 275 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 03/17/2025 UNLESS AN ADDITIONAL EXTENSION IS GRANTED.	Tonee Thai
02/10/2025					
	Generic Activity	Hearing App received	ACT-000598-2025	2/10/25 Hearing App received on SL's desk to TT.	Jason Rudenick
	Generic Activity	Hearing App received	ACT-000597-2025	2/10/25 Hearing App received on SL's desk	Jason Rudenick
02/25/2025					
	Generic Activity	Email -Hearing Packet	ACT-000796-2025	2/25/25 Hearing Packet emailed to SL and TT. Hearing date 3/20/25.	Jason Rudenick
02/04/2025					

PERMIT ACTIVITY REPORT (X2020-2540)

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
	Generic Activity	Email	ACT-000530-2025	<p>Good morning Mark</p> <p>Just following up. The Hearing Application must be completed and submitted (45 days prior to expiration) along with all supporting docs (as listed). The Hearing requires an in-person meeting scheduled in advance with the Hearing Officer, by the NB Building dept..</p> <p>Thank you</p> <p>Jason</p> <p>Jason Rudenick Senior Building Inspector Community Development Department Office: 949-644-3262</p> <p>100 Civic Center Drive Newport Beach, CA 92660</p>	Jason Rudenick
04/18/2024					
	Generic Activity	letter dropped off	ACT-001628-2024	<p>Jason dropped of letter in person, spoke with the Dave GC on site, he understands the application, submittal and fee process.</p>	Jason Rudenick
05/01/2024					
	Generic Activity		ACT-001821-2024	<p>Application fee was paid and put on Jason's desk (without supporting docs attached). Jason stopped by explained again to GC onsite the requirements. He is to work with his office to provide the required supporting docs (i.e. letter of explanation and letter of permission for GC to sign for owner).</p>	Jason Rudenick
05/17/2024					
	Generic Activity	APPLICATION SUBMITTE	ACT-002073-2024	<p>APPLICATION INITIATED ON 04/18/2024. COMPLETED APPLICATION SUBMITTED ON 05/01/2024.</p>	Tonee Thai
	Generic Activity	BUILDING OFFICIAL EXTENSION GRANTED	ACT-002075-2024	<p>3-YEAR CONSTRUCTION TIME LIMIT 180 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 12/12/2024 UNLESS AN ADDITIONAL EXTENSION IS GRANTED.</p>	Tonee Thai
06/05/2024					

PERMIT ACTIVITY REPORT (X2020-2540)

Created Date	Activity Type	Activity Name	Activity Number	Activity Comments	Created By
	Generic Activity	3-YEAR DEADLINE EXTENSION	ACT-002260-2024	MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank

Attachment No. 3

Building Official Extension



CITY OF NEWPORT BEACH

BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

RECEIVED BY
COMMUNITY
DEVELOPMENT

FEB 07 2025

CITY OF
NEWPORT BEACH

Three Year Construction Time Limit Extension Hearing Officer Application

Project Address: 3200 OCEAN BLVD, CORONA DEL MAR, CA		Receipt No.: INN-00037453	
Permit No.: X2020-2540	Original Permit Issued Date: 6/15/21	Hearing Fee: \$1,422.50	Date Fee Paid: 02/07/25
PETITIONER/PROPERTY OWNER INFORMATION			
Name (Must be payor of fees): MICHAEL REEVES		Company Name: CORBIN REEVES CONSTRUCTION	
Street Address: 245 FISCHER AVE, STE A-1		City: COSTA MESA	State: CA Zip Code: 92626
Email: GTOMBRELLO@CORBINREEVES.COM		Phone: 714-540-3700	
PROJECT INFORMATION			
Length of extension requested: 3 MONTHS 6/17/25			
New end date if request is approved: 6/17/24			
Previous Extension(s) Granted? (Y/N): YES		If Yes, How Many?:	
Description of Work Under Permit:	SFR W/ ATTACHED BASEMENT/GARAGE XR-2023-0079 SITE RETAINING WALLS		
Reason for Extension Request	(Attach Supporting Documents as Needed for Hearing) OWNER/ARCHITECT/DESIGNER RELATED CHANGE ORDERS FOR APPLIANCES, CABINETS, HAND RAILING, WOOD CLADDED STAIRS - LONG LEAD TIMES		
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.			
Petitioner's Signature: [Signature]		Relationship to Property Owner: GENERAL CONTRACTOR	Date: 2 15 25
FOR STAFF USE ONLY			
Hearing Officer's Action: <input type="checkbox"/> Approved <input type="checkbox"/> Denied			
Conditions of Approval:			
City Clerk's Staff Reviewed:	Name:	Signature:	Date: / /
Revenue's Staff Reviewed:	Name:	Signature:	Date: / /



Feb. 3, 2025

RE: Permit X2020-2540 Main House "EXTENSION REQUEST"

-F2022-0331 Fire Sprinkler.
-H2023-0633 AC units
-PV2024-0099 Solar
-XR2023-0079 Wall
-P2023-0268 Fire Pit

The **previous** extension was required due to significant delays for the following circumstances:

1. Very wet winters prohibited timely completion of the basement/foundation construction as well as the complex Roof Deck waterproofing process. The Roof Deck waterproofing process (and obtaining a 72-hour water test), was critical to moving forward with construction tasks within the building envelope. Weather related delays to the critical path schedule, attributable to the Roof Deck waterproofing completion alone, are estimated at 9 months.
2. Revisions to the plans for engineer approved pathways/home runs around steel beams, columns and engineered lumber for Hvac, plumbing and electrical (drilling not permitted by structural engineer), created significant delays to the schedule.
3. Architect/Owner change orders. Typical change orders encountered in construction of custom homes, merely compounded delays resulting from the above noted circumstances.

The current extension request is required due to additional delays resulting from several Owner/Architect Change Orders pertaining to cabinets, appliances, handrailing and stairwell wood cladding, that has resulted in long fabrication/lead-time delays. We do believe we will be very close to completing the project by March 17th, but in the event these lead-time delays run longer than anticipated, we would appreciate the extension just in case.

If you have any questions or need additional information, please feel free to contact me.

Best regards,

Mark Winans

MARK WINANS | Project Manager
CORBIN REEVES CONSTRUCTION
C: (949) 648-2400

E: mwinans@corbinreeves.com

W: corbinreevesconstruction.com

245 Fischer, Suite A-1, Costa Mesa, CA 92626

License No. 721515



CITY OF NEWPORT BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915
www.newportbeachca.gov | (949) 644-3200

RECEIVED BY
COMMUNITY
DEVELOPMENT

NOV 12 2024

CITY OF
NEWPORT BEACH

Three Year Construction Time Limit Extension
Building Official Application

Project Address:	3200 OCEAN BLVD, CORONA DEL MAR, CA			Receipt No.:	INV-0034408		
Permit No.:	X2020-2540	Original Permit Issued Date:	6/15/21	Extension Fee:	\$214	Date Fee Paid:	11/12/24
PETITIONER/PROPERTY OWNER INFORMATION							
Name (Must be payor of fees): MICHAEL REEVES				Company Name: CORBIN REEVES CONSTRUCTION			
Street Address: 245 FISCHER AVE, STE A-2				City: COSTA MESA	State: CA.	Zip Code: 92626	
Email: G.TOMARELLO@CORBINREEVES.COM				Phone: 714-540-3700			
PROJECT INFORMATION							
Length of extension requested: 5 MONTHS 3/15/25							
New end date if request is approved: 3-15-25							
Previous Extension(s) Granted? (Y/N): Y				If Yes, How Many?: 1			
Description of Work Under Permit: SFR W/ ATTACHED BASEMENT & GARAGES XR2023-0079 - SITE RETAINING WALL							
Reason for Extension Request: (Attach Supporting Documents as Needed) (SEE ATTACHED) CHANGE ORDERS							
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.							
Petitioner's Signature: 				Relationship to Property Owner: GC PROJECT MANAGER		Date: 11/6/24	
FOR STAFF USE ONLY							
Department Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied							
Conditions of Approval or Comments: ADDITIONAL 75 DAYS FOR TOTAL OF 275 DAYS EXTENSION GRANTED. PERMITS SHALL EXPIRE ON 3/17/2025 UNLESS ADDITIONAL EXTENSION IS GRANTED.							
Building Inspector Reviewed:		Name: Jesse Redenick		Signature: 		Date: 11/14/24	
Building Official Approval:		Name: TONGEE HAI		Signature: 		Date: 12/05/24	



Nov 1, 2024

RE: Permit X2020-2540 EXTENSION

The previous extension was required due to significant delays for the following circumstances:

1. Very wet winters prohibited timely completion of the basement/foundation construction as well as the complex Roof Deck waterproofing process. The Roof Deck waterproofing process (and obtaining a 72-hour water test), was critical to moving forward with construction tasks within the building envelope. Weather related delays to the critical path schedule, attributable to the Roof Deck waterproofing completion alone, are estimated at 9 months.
2. Revisions to the plans for engineer approved pathways/home runs around steel beams, columns and engineered lumber for Hvac, plumbing and electrical (drilling not permitted by structural engineer), created significant delays to the schedule.
3. Architect/Owner change orders. Typical change orders encountered in construction of custom homes, merely compounded delays resulting from the above noted circumstances.

The **current extension request** is required due to further delays resulting from numerous Owner/Architect Change Orders as well as the negative impact to this project from the Pirch bankruptcy fiasco.

If you have any questions or need additional information, please feel free to contact me.

Best regards,

Mark Winans

MARK WINANS | Project Manager

CORBIN REEVES CONSTRUCTION

C: (949) 648-2400

E: mwinans@corbinreeves.com

W: corbinreevesconstruction.com

245 Fischer, Suite A-1, Costa Mesa, CA 92626

License No. 721515

May 7, 2024

Subject: Request for Extension of Permit X2020-2540

To whom it may concern,

I am writing to request an extension for Permit X2020-2540, as our project has encountered several significant delays due to factors beyond our control. The primary issues include:

1. ****Weather-Related Delays:**** Unusually wet winter conditions have severely impacted our ability to complete the basement/foundation construction and the critical Roof Deck waterproofing process. The completion of this waterproofing, and the subsequent required 72-hour water test, was essential for progressing with further construction tasks within the building envelope. Delays related specifically to the Roof Deck waterproofing process are estimated at nine months.
2. ****Structural Revisions:**** Changes in the construction plans to accommodate engineer-approved pathways for HVAC, plumbing, and electrical systems around steel beams, columns, and engineered lumber have also introduced substantial delays. These modifications were necessary as drilling through these structural components was not permitted by our structural engineer.
3. ****Change Orders:**** Additional delays have stemmed from typical change orders by the architect/owner, which are common in the construction of custom homes but have further compounded the aforementioned issues.

Given these circumstances, we authorize Mark Winans and Mike Reeves of Corbin Reeves Construction to act on our behalf and formally request the extension of Permit X2020-2540.

Should you require further details or have any questions, please feel free to contact me at (909)568-8077.

Sincerely,

Edward Zheng