

March 20, 2025 Agenda Item No. 3

Three-Year Construction Time Limit Extension in Accordance with SUBJECT:

Newport Beach Municipal Code (NBMC) 15.02.095 (Addition of

Sections 105.3.3, 105.3.4 and 105.3.5), Section 105.3.4, Item 2

**PERMITS:** X2020-2540, XR2023-0079

**SITE LOCATION:** 3200 Ocean Blvd.

APPLICANT: Michael Reeves

**PROPERTY** 

EDWARD ZHENG TRUST. COASTAL JADE TRUST OWNER:

BUILDING

Jason Rudenick, Senior Building Inspector INSPECTOR:

Tonee Thai, Chief Building Official - 949-718-1867, PREPARED BY:

tthai@newportbeachca.gov

#### PROJECT SUMMARY

NEW 4,833 SQ. FT. SINGLE-FAMILY DWELLING AND BASEMENT WITH ATTACHED 630 SQ. FT. GARAGE, 2,632 SQ. FT. DECKS WITH SHORING.

#### **BUILDING PERMIT HISTORY**

This project first started with Permit X2020-2540 issued on June 15, 2021. Referenced permits above are subject to Newport Beach Municipal Code 15.02.095 with initial threeyear construction limit expiration date of June 15, 2024.

Permit XR2023-0079 is for site retaining wall located inside the property that was issued on January 13, 2023.

The first inspection was on July 19, 2021, for a Pre-Grading Meeting.

The last inspection was on December 17, 2024, for Final Electrical inspection.

Please refer to Attachment 1 for detailed permit history.

Notice of pending Three-Year Construction Limit expiration were provided on April 18, 2024.

Please refer to Attachment 2 for detailed notice activities.

#### **BUILDING OFFICIAL EXTENSION**

The chief building official granted an extensions for a three-year construction time limit on May 17, 2024 and December 5, 2024, for a total of 275 days, with expiration date of March 17, 2025. (Attachment 3).

#### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, because this project has no potential to have a significant effect on the environment;
- 3) The hearing officer may grant, or conditionally grant, up to a 180-calendar day extension, per application for extension, if the officer finds special circumstances warrant an extension of time, or the failure to meet the time limit was caused by circumstances beyond the property owner, applicant, or the contractor's control. If the officer makes the findings to grant an extension, then the officer shall consider whether conditions are necessary to ensure the timely completion of the project in a manner that limits impacts to the surrounding property owners. The hearing officer shall deny the application if they cannot make the findings set forth in Newport Beach Municipal Code Section 15.02.095 (Addition of Sections 105.3.3, 105.3.4, and 105.3.5).

#### **PUBLIC NOTICE**

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant, and posted on the subject property at least 10 days before the scheduled meeting, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

#### **ATTACHMENTS**

Attachment No. 1 – Building Permit History

Attachment No. 2 – Three-Year Construction Limit Notice Activities

Attachment No. 3 – Building Official Extension

### Attachment No. 1

Building Inspection History



## LINKED PERMIT INSPECTION HISTORY REPORT (1995-2020) FOR CITY OF NEWPORT BEACH

Permit Type: Plan Check Application Date: 10/30/2020 Owner: ZHENG EDWARD TR COASTAL JADE

TR

Work Class: New Issue Date: 06/15/2021 Parcel 052 112 23

Status: Approved Expiration Date: 11/01/2021 Address: 3200 OCEAN BLVD

IVR Number: 144047 NEWPORT BEACH, CA 92625

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
Inspection L	ocation: 3200	OCEAN BLVD					
Permit: PV20	024-0099						
01/28/2025	01/28/2025	Final Building	iBLD-003253-2025	Correction	John Joseph	Yes	Complete
02/11/2025	02/11/2025	Final Building	iBLD-005233-2025	Approved	Jason Rudenick	No	Complete
			Reinspection of iBLI	D-003253-2025			
Permit: X202	20-2540						
07/15/2021	07/15/2021	Call Inspector for Pre-Grade Meeting	X2020-2540-A0028 58125	Cancelled		No	Complete
07/19/2021	07/19/2021	Call Inspector for Pre-Grade Meeting	X2020-2540-A0028 59390	Approved		No	Complete
08/02/2021	08/02/2021	Footings and Foundation	X2020-2540-A0028 65577	Correction		No	Complete
08/19/2021	08/19/2021	Footings and Foundation	X2020-2540-A0028 73192	Correction		No	Complete
08/26/2021	08/26/2021	Footings and Foundation	X2020-2540-A0028 76602	Partial Pass		No	Incomplete
09/16/2021	09/16/2021	Footings and Foundation	X2020-2540-A0028 83585	Partial Pass		No	Incomplete
09/27/2021	09/27/2021	Footings and Foundation	X2020-2540-A0028 87768	Partial Pass		No	Incomplete
	09/27/2021	Footings and Foundation	X2020-2540-A0028 88015	Partial Pass		No	Incomplete
09/29/2021	09/29/2021	Footings and Foundation	X2020-2540-A0028 89588	Partial Pass		No	Incomplete
10/01/2021	10/01/2021	Footings and Foundation	X2020-2540-A0028 90594	Cancelled		No	Complete
10/06/2021	10/06/2021	Footings and Foundation	X2020-2540-A0028 92431	Partial Pass		No	Incomplete
12/23/2021	12/23/2021	Footings and Foundation	X2020-2540-A0029 25481	Partial Pass		No	Incomplete
01/05/2022	01/05/2022	Footings and Foundation	X2020-2540-A0029 27609	Partial Pass		No	Incomplete
01/23/2022	01/23/2022	Footings and Foundation	X2020-2540-A0029 34301	Partial Pass		No	Incomplete
	01/23/2022	Masonry Pre-Grout/Wall Steel	X2020-2540-A0029 34302	Partial Pass		No	Incomplete
	01/23/2022	WQ-Best Management Practices	X2020-2540-A0029 34300	Approved		No	Complete
01/28/2022	01/28/2022	Masonry Pre-Grout/Wall Steel	X2020-2540-A0029 37109	Partial Pass		No	Incomplete
March 03 202	25		100 Civic Center	Dr. Newport Beach, C	Δ 92660		L Page 1 of 4

#### **LINKED PERMIT INSPECTION HISTORY REPORT (1995-2020)**

Permit Type: Plan Check Application Date: 10/30/2020 Owner: ZHENG EDWARD TR COASTAL JADE

TR

Work Class: New Issue Date: 06/15/2021 Parcel 052 112 23

Status: Approved Expiration Date: 11/01/2021 Address: 3200 OCEAN BLVD

IVR Number: 144047 NEWPORT BEACH, CA 92625

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
02/22/2022	02/22/2022	Footings and Foundation	X2020-2540-A0029 47863	Correction		No	Complete
	02/22/2022	Masonry Pre-Grout/Wall Steel	X2020-2540-A0029 47861	Partial Pass		No	Incomplete
03/04/2022	03/04/2022	Footings and Foundation	X2020-2540-A0029 52629	Correction		No	Complete
	03/04/2022	Footings and Foundation	X2020-2540-A0029 52630	Partial Pass		No	Incomplete
03/16/2022	03/16/2022	Area Drains	X2020-2540-A0029 58576	Partial Pass		No	Incomplete
04/06/2022	04/09/2022	Water Pipe Underground	X2020-2540-A0029 69944	Cancelled		No	Complete
04/07/2022	04/07/2022	Soil Pipe	X2020-2540-A0029 68823	Partial Pass	Walter Jones	No	Incomplete
04/18/2022	04/18/2022	Footings and Foundation	X2020-2540-A0029 73014	Correction		No	Complete
05/02/2022	05/02/2022	Footings and Foundation	X2020-2540-A0029 79196	Approved		No	Complete
	05/02/2022	Slab On Grade	X2020-2540-A0029 79197	Approved		No	Complete
06/09/2022	06/09/2022	Slab on Deck	X2020-2540-A0029 95845	Correction		No	Complete
08/03/2022	08/03/2022	Area Drains	iBLD-003159-2022	Partial Pass	Rick La Bare	Yes	Incomplete
	08/03/2022	Sewer	iBLD-003156-2022	Partial Pass	Rick La Bare	Yes	Incomplete
08/15/2022	08/15/2022	Floor Framing & Sheathing	iBLD-004428-2022	Correction	Danny Rodriguez	Yes	Complete
08/16/2022	08/16/2022	Floor Framing & Sheathing	iBLD-004741-2022	Partial Pass	Danny Rodriguez	Yes	Incomplete
			Reinspection of iBL	D-004428-2022			
09/28/2022	09/28/2022	Floor Framing & Sheathing	iBLD-010403-2022	Correction	Rick La Bare	Yes	Complete
			Reinspection of iBL	D-004741-2022			
11/03/2022	11/03/2022	Floor Framing & Sheathing	iBLD-015408-2022	Approved	Rick La Bare	No	Complete
			Reinspection of iBL	D-010403-2022			
11/30/2022	11/30/2022	Footings and Foundation	iBLD-018437-2022	Correction	Rick La Bare	Yes	Complete
12/14/2022	12/14/2022	Footings and Foundation	iBLD-020464-2022	Correction	Rick La Bare	Yes	Complete
			Reinspection of iBL	D-018437-2022			
	12/14/2022	Masonry Pre-Grout/Wall Steel	iBLD-020678-2022	Correction	Rick La Bare	Yes	Complete
01/10/2023	01/10/2023	Footings and Foundation	iBLD-000738-2023	Partial Pass	Rick La Bare	Yes	Incomplete

#### **LINKED PERMIT INSPECTION HISTORY REPORT (1995-2020)**

Permit Type: Plan Check **Application Date:** 10/30/2020 ZHENG EDWARD TR COASTAL JADE Owner:

06/15/2021 052 112 23 Work Class: New Issue Date: Parcel

11/01/2021 Status: Approved **Expiration Date:** Address: 3200 OCEAN BLVD

NEWPORT BEACH, CA 92625 144047 IVR Number:

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
			Reinspection of iBL	D-020464-2022			
02/01/2023		Roof Framing, Sheathing & Bldg Height	iBLD-003759-2023	Correction	Rick La Bare	Yes	Complete
02/07/2023	02/07/2023	Roof Framing, Sheathing & Bldg Height	iBLD-004490-2023	Approved	Rick La Bare	No	Complete
			Reinspection of iBL	D-003759-2023			
04/06/2023	04/06/2023	Area Drains	iBLD-011969-2023	Not Ready for Inspection	Rick La Bare	Yes	Complete
			Reinspection of iBL	D-003159-2022			
04/12/2023	04/12/2023	Shear and Hold Downs	iBLD-012741-2023	Correction	Rick La Bare	Yes	Complete
05/15/2023	05/15/2023	Masonry Pre-Grout/Wall Steel	iBLD-017562-2023	Cancelled	Rick La Bare	Yes	Complete
			Reinspection of iBL	D-020678-2022			
07/17/2023	07/17/2023	Area Drains	iBLD-026458-2023	Partial Pass	Rick La Bare	Yes	Incomplete
			Reinspection of iBL	D-011969-2023			
	07/17/2023	Gas Pipe Underground	iBLD-026457-2023	Correction	Rick La Bare	Yes	Complete
	07/17/2023	Sewer	iBLD-026456-2023	Approved	Rick La Bare	No	Complete
			Reinspection of iBL	D-003156-2022			
07/25/2023	07/25/2023	Slab On Grade	iBLD-027691-2023	Correction	Rick La Bare	Yes	Complete
08/24/2023	08/24/2023	Slab On Grade	iBLD-032395-2023	Partial Pass	Jaime Molina	Yes	Incomplete
			Reinspection of iBL	D-027691-2023			
10/03/2023	10/03/2023	Rough HVAC/Mech/Fireplac	iBLD-037941-2023 e	Correction	Rick La Bare	Yes	Complete
10/11/2023	10/11/2023	Rough	iBLD-039061-2023	Partial Pass	Rick La Bare	Yes	Incomplete
		HVAC/Mech/Fireplac	e Reinspection of iBL	D-037941-2023			
11/27/2023	11/27/2023	Gas Pipe Rough	iBLD-045905-2023	Approved	Jason Rudenick	No	Complete
	11/27/2023	Rough Plumbing & Pan Test	iBLD-045758-2023	Approved	Jason Rudenick	No	Complete
12/01/2023	12/01/2023	Rough Electric Residential	iBLD-046426-2023	Not Ready for Inspection	Jaime Molina	Yes	Complete
12/04/2023	12/04/2023	Fireplace Throat	iBLD-046885-2023	Approved	Jason Rudenick	No	Complete
	12/04/2023	Rough Electric Residential	iBLD-046883-2023	Approved	Jason Rudenick	No	Complete
			Reinspection of iBL	D-046426-2023			
	12/04/2023	Rough Electrical Service	iBLD-046601-2023	Approved	Jason Rudenick	No	Complete
	12/04/2023	Rough HVAC/Mech/Fireplac	iBLD-046884-2023	Approved	Jason Rudenick	No	Complete
		•	Reinspection of iBL	D-039061-2023			

#### **LINKED PERMIT INSPECTION HISTORY REPORT (1995-2020)**

Permit Type: Plan Check **Application Date:** 10/30/2020 ZHENG EDWARD TR COASTAL JADE Owner:

06/15/2021 052 112 23 Work Class: New Issue Date: **Parcel** 

11/01/2021 Status: Approved **Expiration Date:** Address: 3200 OCEAN BLVD

NEWPORT BEACH, CA 92625 144047 IVR Number:

Scheduled Date	Actual Start Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection Required?	Complete
01/24/2024	01/24/2024	Complete Framing	iBLD-003176-2024	Approved	Jason Rudenick	No	Complete
	01/24/2024	Shear and Hold Downs	iBLD-003177-2024	Approved	Jason Rudenick	No	Complete
			Reinspection of iBL	D-012741-2023			
02/20/2024	02/20/2024	Insulation/Densglass	iBLD-006304-2024	Approved	Jason Rudenick	No	Complete
04/03/2024	04/03/2024	Drywall Fire Caulk	iBLD-012395-2024	Partial Pass	Charles Wilson	Yes	Incomplete
04/16/2024	04/16/2024	Drywall Fire Caulk	iBLD-014466-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
			Reinspection of iBL	D-012395-2024			
	04/16/2024	Shower Lath	iBLD-014467-2024	Approved	Jason Rudenick	No	Complete
04/18/2024	04/18/2024	Drywall Fire Caulk	iBLD-014704-2024	Approved	Jason Rudenick	No	Complete
			Reinspection of iBL	D-014466-2024			
05/16/2024	05/16/2024	Other - Building	iBLD-018885-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
05/21/2024	05/21/2024	Vapor Barrier/Exterior Lath/Veneer Lath	iBLD-019094-2024	Approved	Jason Rudenick	No	Complete
10/14/2024	10/14/2024	Soil Pipe	iBLD-040137-2024	Approved	Jason Rudenick	No	Complete
12/05/2024	12/05/2024	Gas Pressure Test	iBLD-047597-2024	Approved	Jason Rudenick	No	Complete
12/17/2024	12/17/2024	Final Electrical	iBLD-049427-2024	Partial Pass	Jason Rudenick	Yes	Incomplete
Permit: X202	1-1516						
07/19/2021	07/19/2021	Final Building	X2021-1516-A0028 59389	Approved		No	Complete
Permit: XR20	23-0079						
05/15/2023	05/15/2023	Masonry Pre-Grout/Wall Steel	iBLD-017818-2023	Approved	Rick La Bare	No	Complete
03/13/2024	03/13/2024	Slab On Grade	iBLD-009468-2024	Approved	Jason Rudenick	No	Complete



Work Class - New

City of Newport Beach
Community Development Department - Building Division
100 Civic Center Drive, Newport Beach, CA 92660
Permit Counter Phone: (949) 718-1888 newportbeachca.gov/civic Combination Type - SFP



COMB Permit : **X2020-2540** 

Plan Check No: 1995-2020

Issued Date: 06/15/2021

Final Date:

Permit Status: Issued Inspection Area: 5

		IANCE OR LAST VALID INSPECTION, BUT NO LATER THA ATURDAY OR SUNDAY IN HIGH DENSITY AREAS AND NO			
Job Address	: 3200 OCEAN BLVD : NEW SFR W/ ATT GARAGE/BASEMEN	Legal Desc : A TR RESUB OF CORONA DEL MAR BL T 4,833/630 SF, DECKS 2,632 SF W/SHORING	.K 138 LOT 7 RE	SUB O	
Address:  Phone:  Applicant: Address:	ZHENG EDWARD TR COASTAL JADE TR 25519 BRASSIE LN LA VERNE, CA 91750  BRION S JEANNETTE 470 OLD NEWPORT BLVD NEWPORT BEACH, CA 92663 (949) 645-5854	Contractor: CORBIN REEVES CONSTRUCTION  Address: 144 BAY FRONT S	Architect : Address : Phone : State Lic : Engineer : Address :	BRION S JEANN 470 OLD NEWP BEACH, CA 926 (949) 645-5854 C008012 NARAGHI-ARAN 30423 CANWOO AGOURA HILLS (818) 865-2026	ORT BLVD NEWPORT 63 NI KAMRAN DD ST #223
Owner/Build Address :	er:	Policy No: MAWC545011  W. C. Expire: 2/23/2025	Designer : Address :		
Phone:			Phone :		
Code Edition Type of Cons Occupancy 6 Bldg Height	struction: V-B Groups: U,R-3	Fire Sprinklers: YES Fire Hazard Zone: NO Fire Alarms: NO No of Units: 1 No of Stories: 3 No of Basement:	Added/New Alteration s	ı. ft. Garage :	\$0.00 0 0 0
Building Set Flood Zone : Use Zone :					
PROCESSEI	D BY :				
SPECIAL CO	ONDITIONS:				



### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Clvlo Center Drive J P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

#### PRE-GRADE MEETING AGREEMENT

DAT	e: <b>8</b> /	9/21	. Job address:	3200	Ocam)		
. •	(	T	· ×	20201	*	· ·	**
4.	The grading	j plan checi	k number for this site is	2546 and	will be referred to in a	ll reports, certifications	5

- and correspondence.
- 2. STOP ORDERS Whenever any work is being done contrary to the provisions of the City Codes, the Chief Building Official or his authorized representative may order the work stopped by notice in writing served on any persons engaged in the doing or causing such work to be done and any such persons shall forthwith stop such work until authorized by the Chief Building Official to proceed with the work.
- 3. The stamped set of approved plane shall be on the job site at all times.
- 4. NOTIFICATION OF NONCOMPLIANCE If, in the course of fulfilling their responsibilities, the civil engineer, surveyor, the soils engineer, the engineering geologist or the testing agent finds that the work is not being done in conformance with the approved grading plans, the discrepancies shall be reported immediately in writing to the person in charge of the grading work and to the Building Division. Recommendations for corrective measures, if necessary, shall be submitted to the Building Division for approval.
- 5. When import or export of materials is required, haul routes to and from the site shall be approved by the City Traffic Engineer and hauling procedures shall be in accordance with Chapter 15 of the Newport Beach Municipal Code (NBMC). Contractor shall use Best Management Practices (BMP's) to insure that all water quality issues are addressed.
- 6. Between October 1 and April 30, erosion control BMP measures shall be in place. During the remainder of the year dry season wind erosion BMP's (dust control) shall be implemented. Sediment control BMP's shall be installed and maintained at all operational storm drain inless internal to the project. BMP's to control off-site sediment tracking shall be implemented and maintained. Appropriate BMP's to prevent contamination of stormwater from construction activities shall be implemented. A "weather triggered" action plan and the ability to deploy BMP's to protect all exposed portions of the site within 48-hours when the National Weather Service forecasts a 50% or greater chance of rain.
- 7. All fills shall be compacted throughout to a minimum of 90 percent compaction as determined by ASTM test method 1667 and approved by the soils engineer. Compaction tests shall be performed according to the preliminary soils report.
- All trench (Including Interior and exterior utility trenches) and retaining wall backfill shall be compacted throughout to a minimum of 90 percent relative compaction and approved by the soils engineer.
- 9. Whenever work on which required Inspection/testing is covered by additional work without first being inspected/tested, the Chief Building Official shall require by written notice that the work be exposed for examination. The work of exposing and recovering shall not entail or be subject to expense to the City of Newport Beach and will be the sole expense of the Permittee.
- 10. Landscaping of all slopes and pads shall be in accordance with 15.10.130 of the NBMC.
- 11. Approved drainage provisions shall be used to protect adjoining properties during the grading operation.

		•	
12.	Th fol	ne permittee or his agent shall notify the Building Divis Ilowing inspections:	ion when the grading operation is ready for each of the
	a.	<u>PRE-GRADE MEETING</u> When the permittee is ready to brushing is started.	o begin work, but not less than two days before any grading
	b.	DRAINAGE DEVICE INSPECTION After forming of te subdrains, but before any concrete or filter material is	rrace drains, down drains or after placement of pipe in placed.
	o,	SPECIAL	
-	ď.	ROUGH GRADING When all rough grading has been the Building Inspector at foundation inspection or soo	completed, the rough grade report shall be provided to
	e,		nage structures and other protective devices, has been
13.	All En	footing excavations, slab on grade areas and subdrain gineer or Engineering Geologist. Written approval sha	ns shall be inspected and approved by the Geotechnical Il be submitted to the Building inspector.
14.	ins	or to the start of grading, all permanent property corne pections, proof of recordation of the "corner record" o wided.	or monuments shall be in place. Prior to any foundation r "record of survey" with the County of Crange shall be
15.	The Ne	e undersigned acknowledge a copy of the above and wport Beach, the recommendations of the project soils	agrae to comply with the Grading Code of the City of report and any special requirements of the permit.
16.	Pri rec	or to foundation inspection a Line and Grade Certific ord and submitted to the building inspector. A Structu	ate Form must signed and stamped by the surveyor of rail Observation Report may be required.
17,	All	parties listed below must be present for the pregrade t	neeting unless approved by the building inspector.
OWi By: Addi	IER	AR CHITETTE FROM LAWNETTE	DESIGN CIVIL ENGR.: Toal Engineering Inc. By: Viktor Meum
Tole:			Telephone: 139 Ave. Navarro, San Clement Telephone: 949-492-8586
GEO	TEC	CHNICAL ENGINEER: 2045 LAMPS	GEOLOGIST: KEVIN TRIGG
Ву:		<u> </u>	By: GEOFIRM
Addı	ess	: Bel augunewre he L.D.	·Address: <u>&amp;ME</u>
Tele	ofic	ne: <u>949/380-4886</u>	Telephone: SAME
GRA By:	מום	GONTRI TIM GARENUEAF ENG.	COORDINATOR: Corbin Reurs Conflaction  By: DEREICK DELAYME!
⊏y; Addr	ARE		Address: 245 FICHER ALL AL
		A CANADAM OF COUNTY I STATE TO SHIP I SAME.	

Telephone:

NEWPORT BEACH REPRESENTATIVE:

INSPECTION REQUESTS: (949) 644-3255

Newport Beach Construction Hours: Monday through Friday: 7:00 a.m. to 6:30 p.m.

714 847 2700

Telephone:

8:00 a.m. to 6:00 p.m.

Saturdays: 8:00 a.m. to No work on Sundays and Holidays

Forms/pregrade meeting agreement 8-12

214-540-

PHONE #:\_

3700

949-644.3262

# CONSULTANTS, INC. GEOFIRM

33 JOURNEY, SUITE 200 · ALISO VIEJO, CA 92656 · 949-380-4886

May 6, 2022

Edward and Carol Zheng c/o Brion Jeannette Architecture 470 Old Newport Boulevard Newport Beach, CA 92663

Project No.: 72476-10 Report No.: 21-9053

Attention:

Ms. Amy Creager

Subject:

Temporary Shoring and Rough Grade Earthwork Observation Report

New Single-Family Residence

3200 Ocean Boulevard Corona Del Mar, California

Reference:

Geofirm, 2020, "Preliminary Geotechnical Investigation for Foundation Design,

3200 Ocean Boulevard, Corona Del Mar, California," Project No.: 72476-00,

Report No.: 20-8669, dated February 28.

#### INTRODUCTION

This report presents the results of the temporary shoring and earthwork observation provided by Geofirm during rough grading for the construction of a new single-family residence at the subject site. The testing and observations reported herein were conducted from July 29, 2021 through December 2, 2021. This report should not be considered as a final report for the development of the subject lot as remaining observation and testing services are anticipated in the near future.

#### **Project Data**

Site:

3200 Ocean Boulevard, Corona Del Mar, California

**Observation Period:** 

July 29, 2021 through December 2, 2021

Owner:

Edward and Carol Zheng

Architect:

Brion Jeannette Architecture

Civil Engineer:

Toal Engineering, Inc.

Structural Engineer:

KNA Engineering, Inc.

**Grading Plan:** 

Toal Engineering, Inc., 2021, "Precise Grading and Drainage Plan for The Zheng Residence, 3200 Ocean Blvd, Newport Beach, California"

Sheet C-2, revision dated June 8, 2021.

**Shoring Plan:** 

KNA Engineering, Inc., 2021, "Shoring Plan, 3200 Ocean Blvd,

Newport Beach, California" Sheet SH-2, revision dated March 30,

2021.

May 6, 2022

Project No: 72476-10

Report No: 21-9053 Page No: 2

General Contractor:

**Corbin Reeves Construction** 

**Grading Contractor:** 

Tim Greenleaf Engineering

**Drilling Contractor:** 

Drilco, Inc.

Jurisdictional Agency:

City of Newport Beach

#### **TEMPORARY SHORING OBSERVATIONS**

A total of twenty-eight caissons were drilled to support a temporary shoring wall along the western, northern, and eastern property boundaries. The caissons were observed to be drilled to depths that met or exceeded the minimum criteria specified in the shoring plans and are considered suitable for their intended use and continued construction. The location of the caissons is presented on the Shoring Location Plan, Figure 2. A summary of caisson observations is presented in Appendix A.

#### **EARTHWORK OBSERVATIONS**

Rough grading generally included the excavation and export of the overburden material within the shoring, and the over-excavation and re-compaction of the upper 3± feet of exposed subgrade soils to create a relatively uniform fill blanket below the proposed new residence The proposed new exterior hardscape area over-excavation was not completed at this time by the contractor or observed by Geofirm. Exposed over-excavation subgrades were observed to be founded in competent terrace deposit soils and were considered geotechnically suitable for placement of backfill. Fill soil consisted of on-site materials which were placed in thin lifts and compacted to meet or exceed 90 percent relative compactions as recommended in the referenced report. The approximate location of grading limit and field density tests are depicted on the Density Test Location Plan, Figure 1.

#### FIELD AND LABORATORY TESTING

Field density tests were performed in accordance with ASTM D 6938 (Nuclear Gauge Method). The compaction standard is 90 percent or more of the maximum density as evaluated by ASTM D 1557 (the Five Layer Method). Results of the field density tests and laboratory tests are presented in Appendix A. Field density test locations are depicted on the Density Test Location Plan, Figure 1. Testing was performed on representative areas to render a professional opinion as to the compaction of fill. This is not a warranty that all fills are at 90 percent compaction.

#### **CONCLUSIONS**

Based on our field observations, geologic conditions encountered are generally consistent with those anticipated as described in the referenced reports. Based upon our observations, the earthwork as described herein were performed in general accordance with the reported

Project No: 72476-10 Report No: 21-9053

Page No:

3

recommendations and the requirements of the City of Newport Beach. The observed excavation and earthwork are considered geotechnically suitable for their intended use and continued construction.

#### **LIMITATIONS**

Our description of geotechnical observations and testing services has been limited to those operations performed from July 29, 2021 through December 2, 2021. Earthwork activities not described herein are excluded from this report. Our firm was not responsible for line and grade. Elevations and locations used in this report are estimated based on field surveys done by others.

The opinions rendered apply to conditions in the subject areas observed and tested by use as of the date of our final site visit. We are not responsible for any changes in the conditions that may occur after that date and outside our purview.

This opportunity to be of continued service is appreciated. If you have any questions, please contact this office.

Respectfully,

**GEOFIRM** 

Chief Engineering Geologist,

Russell C. Lamb, R.C.E Chief Geotechnical Engineer,

Date Signed: 5/6/2022

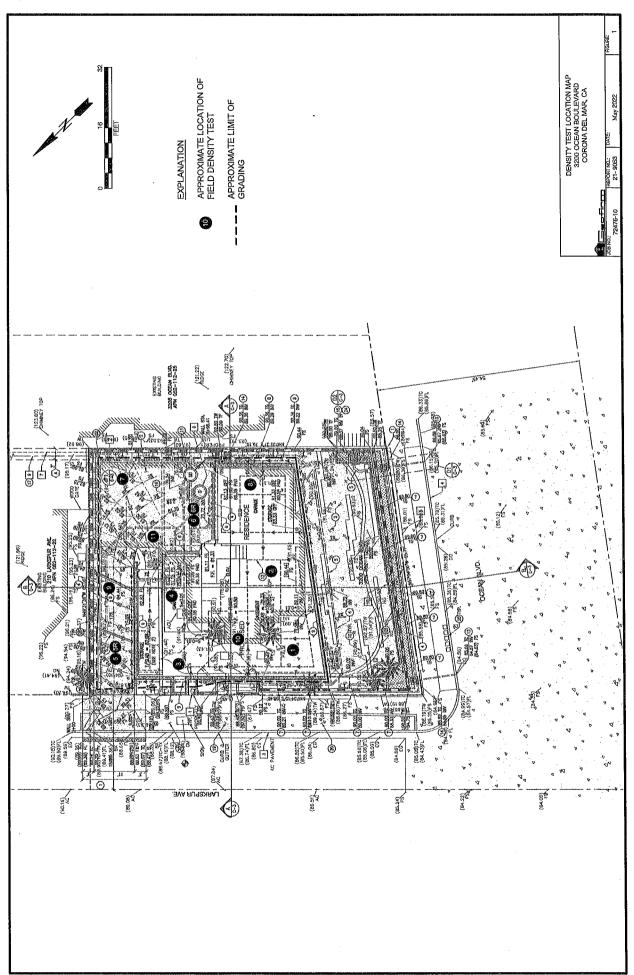
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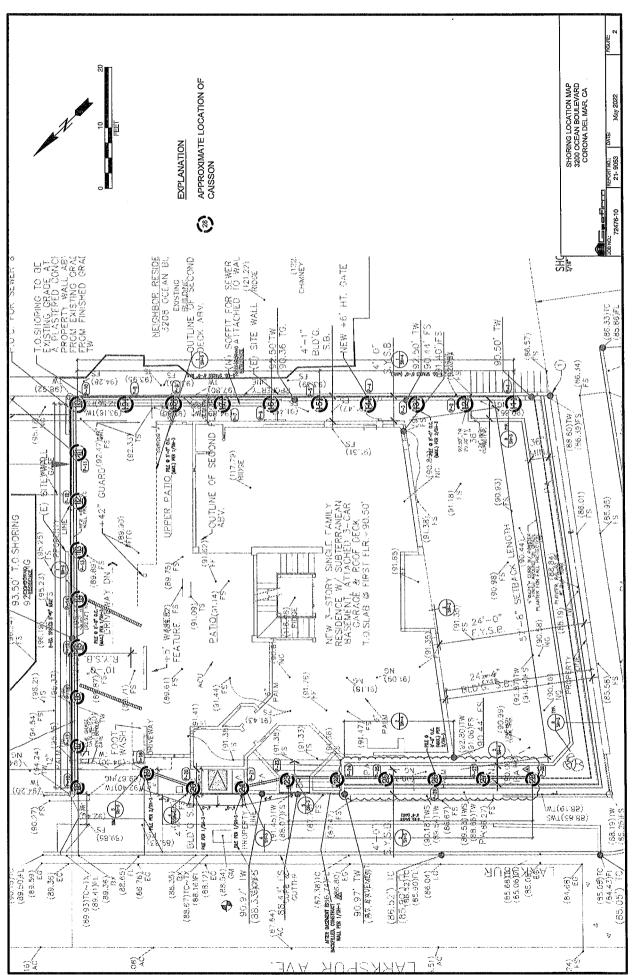
Attachments: Figure 1 - Density Test Location Plan

Figure 2 - Shoring Location Plan

NO. 1619 CERTIFIED ENGINEERING

Appendix A - Temporary Shoring Observations Appendix B - Laboratory and Field Density Tests





# APPENDIX A <u>TEMPORARY SHORING OBSERVATIONS</u>

APPENDIX A

TEMPORARY SHORING OBSERVATIONS

Caisson Number	Ref Elevation (ft.)	Depth To Competent Terrace (ft.)	Depth To Bedrock (ft.)	Top of Concrete elev. (ft.)	Bottom of Concrete elev. (ft.)	Design Embed (ft.)	Actual Embed (ft.)	Actual Tip elev. (ft.)	Design Drill Depth (ft.)	Actual Drill Depth (ft.)
P-1	88.5	5	26	83	64	19	21.5	61.5	24.5	27
P-2	89	5	26	83	53	30	34	49	36	40
P-3	91	5	26	78	35	43	45.5	32.5	56	58.5
P-4	91	5	26	77.9	34.9	43	44.9	33	56.1	58
P-5	91	5	26	77.9	34.9	43	45.9	32	56.1	59
P-6	91	5	26	77.9	34.9	43	44.9	33	56.1	58
P-7	91.2	5	26	77.9	34.9	43	44.7	33.2	56.3	58
P-8	93	7	26	77.9	34.9	43	45.4	32.5	58.1	60.5
P-9	93	5	26	77.9	34.9	43	43.9	34	59.6	59
P-10	96	5	26	77.9	34.9	43	44.9	33	61.1	63
P-11	93	9	26	77.9	35.9	43	44.4	33.5	57.1	59.5
P-12	93	9	28	77.9	35.9	43	44.5	33.4	57.1	59.6
P-13	93	9	28	77.9	36,9	43	44.4	33.5	56.1	59.5
P-14	93	9	28	77.9	41.9	38	38.0	39.9	51.1	53.1
P-15	93	9	28	80.9	50.9	30	32.9	48	42.1	45
P-16	93	9	24	82.9	52.9	30	30.9	52	40.1	41
P-17	93	9	28	83.9	53.9	30	34.4	49.5	39.1	43.5
P-18	93	5	25	84.9	65.9	19	20.9	64	27.1	29
P-19	89	5	24	77.5	34.5	43	45.5	32	54.5	57
P-20	88.8	5	24	77.5	34.5	43	45.8	31.8	54.3	57
P-21	88.2	5	24	77.5	34.5	43	45.8	31.7	53.7	56.5
P-23	87.8	5	24	77.5	34.5	43	48.7	28.8	53.3	59
P-24	87.4	5	24	77.5	34,5	43	46.1	31.4	52.9	56
P-25	87.3	5	24	77.5	34.5	43	45.2	32.3	52.8	55
P-26	86.8	5	25	77.5	34.5	30	33.7	43.8	52.3	43
P-27	86.4	5	24	80.5	61.5	19	22	58.4	24.9	28
P-28	85.7	5	25	83	64	19 ·	23.3	59.7	21.7	26

# APPENDIX B LABORATORY AND FIELD DENSITY TESTS

#### APPENDIX B

#### **LABORATORY AND FIELD DENSITY TESTS**

#### **Maximum Density and Optimum Moisture Determinations**

Optimum moisture and maximum density were determined in accordance with Test Designation ASTM D 1557-07. Results are tabulated below:

Soil	Description	Moisture Content	Dry Density
Type		(%) Optimum	Maximum (pcf)
1	Silty Sand	11.4	116.0

#### **Summary of Field Density Tests**

Test	Date	Soil Type	Elevation (ft.)	Dry Density (pcf)	Moisture Content (%)	Relative Compaction (%)
1	11/23/21	1	77	104.0	13.8	90
2	11/23/21	1	76	105.3	13.6	91
3	11/24/21	1	77	104.8	13.9	90
4	11/24/21	1	79	104.4	14.4	90
5	12/2/21	1	87	105.1	12.4*	91
5R	12/2/21	1	87	106.3	14.1	92
6	12/2/21	1	78	105.7	12.4*	91
6R	12/2/21	1	78	104.1	14.1	90
7	12/2/21	1	80	106.1	14.0	91
8	12/2/21	1	FG	106.1	14.4	91
9	12/2/21	1	FG	104.9	13.9	90
10	12/2/21	1	FG	105.5	14.1	91
11	12/2/21	1	FG	105.1	14.6	91

FG = Finish Grade

<sup>\*=</sup> Failed due to low moisture content

SHEET 1 OF 1

#### RECORD OF SURVEY No. 2021-1182

IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA BEING A SURVEY OF LOT 6 AND PORTIONS OF LOTS 7 & 8, BLOCK 138, MAP OF RE-SUBDIVISION OF CORONA DEL MAR, AS SHOWN ON A MAP FILED IN BOOK 4, PAGE 67 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DATE OF SURVEY: JULY & DECEMBER 2021 PAUL D. CRAFT, P.L.S. 8516 - APEX LAND SURVEYING, INC.

ACCEPTED AND FILED AT THE REQUEST OF THE ORANGE COUNTY SURVEYOR'S OFFICE

DATE: August 30, 2023 TIME: 2:50 pm FEE: \$ 81 5 INSTRUMENT NO. 2023 COD 211999 воок 335 PAGE SO P/S

COUNTY CLERK-RECORDER BY: Xeticia

WHEZ &

10.8492 xp. 6226

#### MONUMENT NOTES:

- A DILIGENT SEARCH FOR ALL RECORD MONUMENTS IN THE AREA WAS PERFORMED TO ASSIST IN ESTABLISHING THE BOUNDARY LINES OF THIS SURVEY. ALL OF THE MONUMENTS THAT WERE FOUND ARE SHOWN HEREON MONUMENTS ARE FLUSH UNLESS NOTED OTHERWISE
- INDICATES FOUND MONUMENT AS NOTED BELOW.
   SET LEAD, TACK & TAG STAMPED "PLS 8516" ON PROPERTY LINE PROD. 2.00" FROM PROPERTY CORNER.
- O SET LEAD, TACK & TAG STAMPED "PLS 8516", IN TOP OF CURB, AT PROPERTY CORNER.
- 1 FOUND LEAD, TACK & TAG STAMPED "RCE 31720" AT CENTERLINE INTERSECTION PER R2.
- FOLIND LEAD, TACK A TAG STAMPED \*LS 829A\* PER R8. ACCEPTED AS CENTERLINE INTERSECTION - FOUND (1)-2.00' LEAD, TACK & TAG SWING TIES STAMPED "LS 8294" PER R9, OVER MANHOLE, ACCEPTED AS CENTERLINE INTERSECTION PER R10.
- (A) FOUND (4)-2.00' LEAD, TACK & TAG SWING TIES STAMPED 'RCE 31720', OVER MANHOLE, PER R2.
  (5) FOUND LEAD, NAIL & TAG STAMPED 'LS 4653' IN TOP OF WALL, NO REFERENCE, ACCEPTED AS ON THE SOUTHWESTERLY LINE OF THE NORTHEASTERLY 65' PER RG, N49"36'58"W 0.08' FROM THE NORTHEASTERLY PROPERTY CORNER AS ESTABLISHED HEREON
- (6)- FOUND LEAD, TACK & TAG STAMPED \*RCE 31720\*, IN LIEU OF 1\* IRON PIPE WITH TAG STAMPED \*RCE 31720\*, AT PROPERTY CORNER, PER R2.
- (7)- FOUND 3/4" IRON PIPE WITH TAG STAMPED "RCE 11066" AT THE SOUTHERLY CORNER OF LOT 7 PER R2, DOWN 0.25".
  (B)-FOUND CHISELED "X", NO REFERENCE, ACCEPTED AS ON PROPERTY LINE PROD. S40"32"39"W 9.72" FROM THE
- PROPERTY CORNER, SET LEAD, TACK & TAG STAMPED 'PLS 8516" AT CHISELED "X". (9)- FOUND LEAD, TACK & TAG STAMPED "LS 4212" AT CENTERLINE INTERSECTION OF LARKSPUR & CONSTRUCTION CENTERLINE OF OCEAN BOULEVARD PER R4.
- (ii) FOUND LEAD, TACK & TAG STAMPED "LS 8294" PER R11, ACCEPTED AS CENTERLINE INTERSECTION.

  (iii) FOUND LEAD, TACK & TAG STAMPED "LS 4212" AT POINT OF INTERSECTION OF A 500.00" RADIUS CURVE PER R4.

  (iii) FOUND LEAD, TACK & TAG STAMPED "LS 4212" AT CENTERLINE INTERSECTION PER R4.

- REFERENCE NOTES:

  ( ) INDICATES RECORD OR CALC'D FROM RECORD DATA PER REFERENCE LISTED BELOW.

  (R1) MAP OF RE-SUBDIVISION OF CORONA DEL MAR, M.M. 4/67,

  (R2) PARCEL MAP NO. 2002-153, P.M.S. 336/5-6.

- PARCEL MAP NO. 2002-153, P.M.B. 336/5-6.
  RECORD OF SURVEY NO. 2013-1006, R.S.D. 264/22.
   RECORD OF SURVEY NO. 2013-1004, R.S.D. 2014-17.
   JACK RAUB NOTES DATED 12/01/1949, JN. 571R, THE NE'LY 65' OF LOTS 7 &t 8,, BLOCK 138, M.M.
   A/67, JSR1031, ON FILE AT THE OFFICE OF THE COUNTY SURVEYOR.
   GRANT DEED RECORDED 03/20/2019 AS INSTRUMENT NO. 2019000376704, OF OFFICIAL RECORDS.
   INTENTIONALLY LETE BLANCE.
   CORNER RECORD 2015-1794.
   CORNER RECORD 2015-1794.

- \* CORNER RECORD 2015-1792

- (R9) CORNER RECORD 2015-1732. (R10) PARCEL MAP NO. 2015-184, P.M.B. 393/37-38. (R11) CORNER RECORD 2015-1796. (R12) RECORD OF SURVEY NO. 2009-1102, R.S.B. 260/49.
- (R13) RECORD OF SURVEY NO. 2017-1048, R.S.B. 303/48.

#### SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION TO CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT, AT THE REQUEST OF EDWARD &C CAROL ZHENG IN JULY 2021, AND RON & MARSHA BEARD IN DECEMBER 2021.

7com PAUL D. CRAFT, P.L.S. 8516

COUNTY SURVEYOR'S STATEMENT: THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL

LAND SURVEYORS' ACT THIS ABOTT August DAY OF

KEVIN R. HILLS, COUNTY SURVEYOR

STATEMENT OF PURPOSE:

THE PURPOSE OF THIS RECORD OF SURVEY IS TO RE-ESTABLISH AND RE-MONUMENT LOT 6, BLOCK 136, MAP OF RE-SUBDIVISION OF CORONA DEL MAR, M.M. 4/67 AT THE REQUEST OF RON & MARSHA BEARD, AND TO ALSO ESTABLISH AND MONUMENT PORTIONS OF LOTS 7 & 8, BLOCK 138, MAP OF RE-SUBDIVISION OF CORONA DEL MAR, M.M. 4/67, MORE PARTICULARLY DESCRIBED IN A GRANT DEED RECORDED SEPTEMBER 30, 2013 AS INSTRUMENT NO. 2019000376704, O.R. AT THE REQUEST OF EDWARD & CAROL ZHENG.

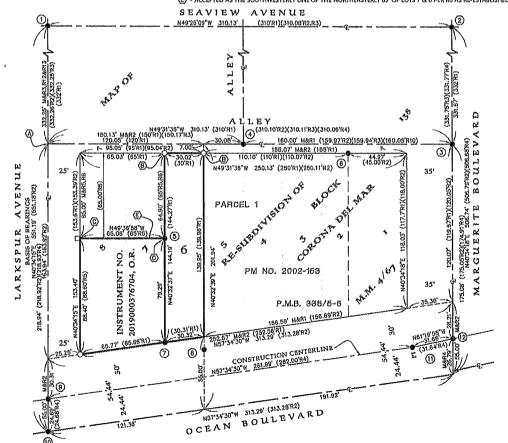
#### SURVEYOR'S BOUNDARY NOTE:

THERE ARE NO CONFLICTS WITH EXISTING VISIBLE IMPROVEMENTS AND THE EXTERIOR BOUNDARY LINE (DISTINCTIVE BORDER) OF THIS MAP AS ESTABLISHED HEREON.

#### BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF LARKSPUR AVENUE, HAVING A BEARING OF N40°34'15'E PER (R2).

- (A) RE-ESTABLISHED AT RECORD DISTANCE 332.25' PER R2, R12 & R13.
  (B) RE-ESTABLISHED BY PROPORTION PROPERTY.
- RE-ESTABLISHED BY PROPORTION PER R1.
- RE-ESTABLISHED AS THE WESTERLY CORNER OF THE NORTHEASTERLY 65' OF LOT 8 PER RG.
- RE-ESTABLISHED BY INTERSECTION, ESTABLISHED AS THE SOUTHERLY CORNER OF THE NORTHEASTERLY 65' OF LOT 7 PER RG. - ACCEPTED AS THE SOUTHWESTERLY LINE OF THE NORTHEASTERLY 65' OF LOTS 7 & 8 PER R6 AS RE-ESTABLISHED HEREON





### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 926588915 <u>www.newportbeachca.gov</u> | (949) 644-3200

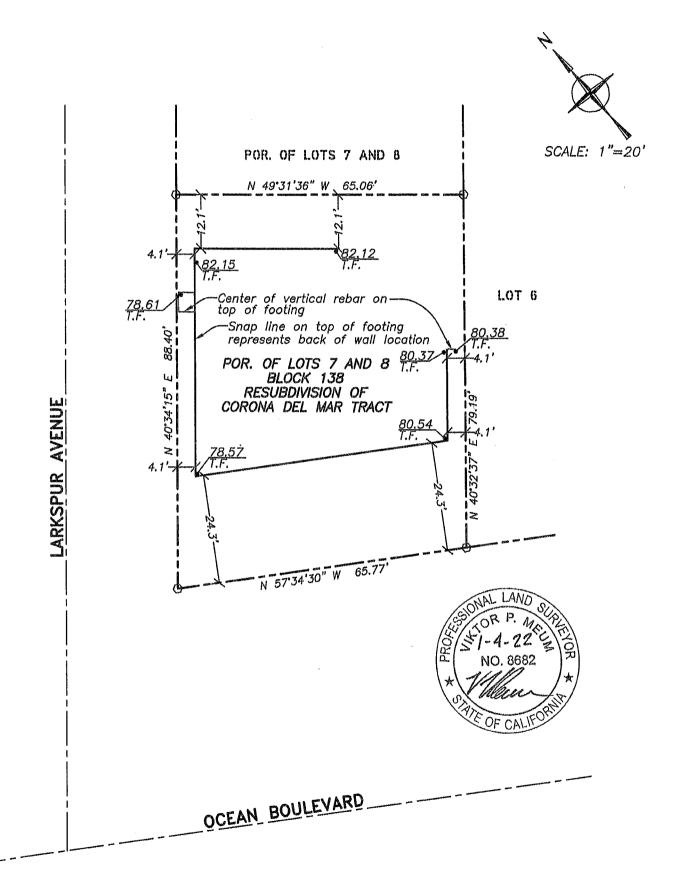
## SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

The purpose of this certificate is to insure that the structure is located properly on site per the approved drawings. This certificate also verifies the top of slab/floor elevation noted on the approved drawings.

After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is built, but prior to starting wall framing.

Engineer/Surveyor's Name	Viktor Meum, P.L.S.	License # _	8682
Engineer/Surveyor's Address	139 Avenida Navarro, San G	Clemente CA 92672	
Job Address 3200 Ocean I	Boulevard		
Setbacks: Sketch a site plan a	nd specify surveyed setbacks (use	back page).	•
* Top of slab/floor elevation:	see sketch		
* If slab/floor elevation varie elevations. Use same datum t	s, sketch a plan or section throused in the survey of record.	agh slab on the back pa	age and specify the
I certify that the setbacks are from-plans:	e X, are not I, per City ap	proved plans. <del>Describe</del>	any deviations
	elevation(s) is , is not , is not , , is not , , , , , , , , , , , , , , , , , , ,	anarradi ann alentah	SOR P. ME
1-4-2022 Date	William Engineer/Surv	veyor's stamp and signa	D. NO.
Forms/SetbacksandTopofSlabElevationC	<del>-</del>		20184ffc1)





### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 926588915 www.newportbeachca.gov | (949) 644-3200

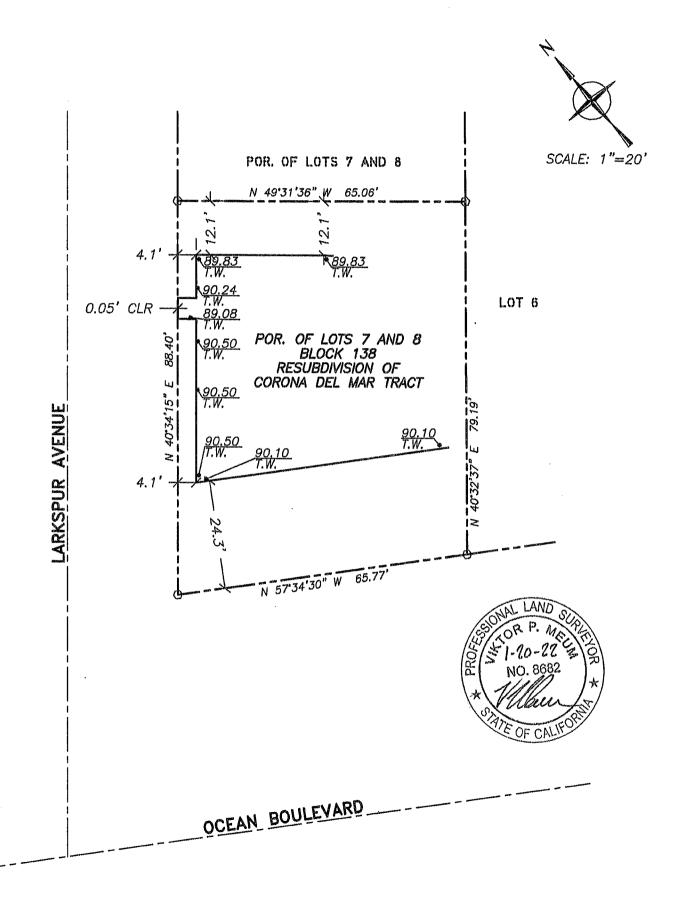
#### SETBACKS AND TOP OF SLAB/FLOOR ELEVATION CERTIFICATE

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After the top of slab/floor elevation is verified to match the elevation specified on the approved drawings, the contractor and inspector can measure the height of the structure to the top of slab/floor to verify that it is equal or less than the dimension shown on building sections and elevations.

This form must be filled out by a registered surveyor or civil engineer authorized to perform surveys. The survey must be done after the concrete forms are in place or preferable after the concrete slab is poured or raised floor is bullt, but prior to starting wall framing.

Engineer/Surveyor's Name	Viktor Meum, P.L.S.	License # <u>8</u>	682
Engineer/Surveyor's Address	139 Avenida Navarro, San Cle	emente CA 92672	· · · · · · · · · · · · · · · · · · ·
Job Address 3200 Ocean E	Boulevard		The state of the s
Setbacks: Sketch a site plan ar	d specify surveyed setbacks (use b	ack page).	
* Top of slab/floor elevation:	see sketch		
* If slab/floor elevation varie elevations. Use same datum u	s, sketch a plan or section through sed in the survey of record.	n slab on the back page	and specify the
I certify that the setbacks are from-plans:	X, are not , per City appro	oved plans. Describe an	y deviations
I certify that top of slab/floor of any deviations from plans:N	elevation(s) is $\square$ , is not $\square$ , IA - top of wall forms measured	per City approved drawi	TAND
1-20-2022	Molecu	-	NO. 8682
Date	Engineer/Surve	or's stamp and signature	
Forms/SetbacksandTopofSlabElevationC	ert.	(JN 201	84ffc2)





## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

### **Structural Observation Report**

Project Address: 3200 OCENNES	Project Address:  Report date: 1/14/24		CNB Inspector Name:	Inspector Name: CNB Permit #: X2020-2546		
Building Owner Name:	entremon de Aparella maiorian de la companya de la Resultativa y estre a antica a actual de la companya de la c	Owner's Mailing address (if different from site);		Owner's Telephone #:	CNB	Plan Check #:
Full Name of Structural Ob	server (SO);	SO email Address:		SO Telephone #:	SO L	lcense / Reg. #:
Kamran Naraghi-Arar	ran Naraghi-Arani knaeng@pacbell.net		818-865-2026	C040	0986	
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🗀 Calssons, Piles, Grade Beams	☐ Wood or Manuf. Shear Panels	☐ Masonry	.D Wood	- The second sec	- Carrier and a second	)///
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I declare that the following statements are true to the best of my knowledge:  1. I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;  2. I, or another licensed design professional whom I have designated above and is unde my responsible charge, have performed the required site visits at each significan construction stage to verify that the structure is in general conformance with the approved construction documents;  3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.			KAMES ISTER	ESS 10N RA 0H 7 2040985 3-31-25	THE WAR	

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

Project Address:	D. Newpord-Bead	Report date: 23/25		CNB Inspector Name:	CNB Permit #: X2020-2540	
Building Owner Name:	time and in the control of the second se	manufacture of the second	es (If different from elte);	Owner¹a Telephone ∜:	CNB Plan Check #:	
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PLEASE INDI	DATE STRUCTURAL	ELEMENTS AND (		SERVED (check applic	able boxes)	
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I declare that the following	ng statements are true to	the best of my know	ledge:			
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	SIGNATURE OF STRUCTURAL OBSERVER OF RECORD DATE					

STRUCTURAL OBSERVATION DOES NOT MAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Forms\StructuralObservationReport@Instructions



PormalStructuralObsorvationReport&instructions

### CITY OF NEWPORT BEACH

### COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION
3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

### Structural Observation Report

Project Address: 3200 Octan	Blud	Report date:	<del>rti Varitiik a kraw kern nit ee waa dalaan maa labay oo adagaho o qaa go ga ah</del> joor	CNB Inspector Name:	CNB Permit #: X2020 -2 540
Bullding Owner Name;	<del>สมาเลงสมาเล็จเลืองสิ่งสิ่งสมาเลขาง ของ</del> คน <u>สมาเลยสมาเลยสมาเลยสมาเลยสมาเลยสมา</u> เลยสมาเลยสมาเลยสมาเลยสมาเลยสมาเลยสม	Owner's Malling addre	es (If dilfferent from site);	Owner's Telephone #:	CNB Plan Check #:
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Full Name of Structural Observer (SO): SO email Address:		SO Telephone #:	SO License / Reg. #:		
LKamran Naraghi-Arani Iknaeng@pacbeli.net [8		818-866-2026	C040986		
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND	CONNECTIONS OB	SERVED (check applica	able boxes)
FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Flopr/Root)	INDICATE LOCATION OBSERVED	(8) DATE OBSERVED
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#### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

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Project Address:	<b>4.4</b> 0	Report date:	/ou to	CNB Inspector Name:	CNB Permit #:
3200 Ocean Blvd		9/20/22			1×2020-250
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LKamran Naraghi-Arar	<b></b>	[knaeng@pacbel	net	818-865-2026	C040985
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SIGNATURE OF STRUCT	URAL OBSERVER OF REC	ORD	-DATE	STAMP OF STRUCT	URAL OBSERVER
STRUCTURAL OBSERVATION DOES NOT WANTE ANY REQUIREMENTS FOR FUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWBORT BEACH					

Ponns\StructuralObsgrvationiCoport&Instructions



## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

### **Structural Observation Report**

Project Address: 3 200 G-CR	for Blody	Report date:	1/14/22	CNB Inspector Name:	CNB Permit #: X20 20 - Z4 4C)	
Building Owner Name: Owner's Malli		Owner's Malling addre	es (if different from elte);	Owner's Telephone #:	CNB Plan Check #:	
Full Name of Structural Observer (SO): SO email A		SO emall Address:	n 1944 tri melli Michale (in 1311 stein 14), terli cheretori di dispolicie la Latolid ese eseptembra	SO Telephone #:	SO License / Reg. #:	
Kamran Naraghi-Aran	Компания размения помения профессионального померования по предоставления по предоставления по предоставления	knaeng@pacbell.n	et	818-865-2026	C040985	
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND	CONNECTIONS OB	SERVED (check applic	able boxes)	
FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDIGATE LOGATION OBSERVED		
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STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

Points/StructuralObservationReport&Instructions



COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

Structural Observation Report

SOO CXEAN BUD	Newport Beach	Report date:		CNB Inspector Name:	CNB Permit#:
Building Owner Name:	org over <del>en in en i</del> n	www.com.kamanikapye.apye.ap	es (if different from elte);	Owner's Telephone #:	CNB Plan Chack #:
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Kamran Naraghi-Arani knaeng@pacbell.net		818-866-2026	C040985		
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PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND	CONNECTIONS OB	BERVED (check applice	able boxes)
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## COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION
3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658

www.newportbeachca.gov | (949) 644-3200

**Structural Observation Report** 

Project Address:	Blud	Report date:	(7)	CNB Inspector Name:	2020-2540		
Bullding Owner Name:	o Vigilia da	I	ss (If different from site);	Owner's Telephone #:	CNB Plan Chack #k		
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Full Name of Structural Ob		SO email Address:		80 Telephone #:	SO License / Reg. #:		
Kamran Naraghi-Arani knaeng@pacbeli.net		818-866-2026	C040986				
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND	ООИИЕСТІОИЯ ОВ	SERVED (check applica	able boxes)		
FOUNDATIONS	SHEAR WALLS	PRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION(   OBSERVED	S) DATE OBSERVED		
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•	SIGNATURE OF STRUCTURAL OF SERVER OF RECORD DATE						

FormalStructuralObservationReport&Instructions



## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

### **Structural Observation Report**

Project Address: Report date: 1/2/23.		<del>Ministrophic proposed to Administrating Applications</del>	CNB Inspector Name:	XXOXO - X 5 4 O	
Building Owner Name:	COTTON OF BE AND COME OF THE COTTON OF T	Owner's Mailing address (if different from site);		Owner's Telephone #:	CNB Plan Check#;
Full Name of Structural Ob	aerver (SO):	SO email Address:	tronggraphy B. Lig. or square at the Gry spagny produced for the material still dispose year and place conference and many	SQ Telephone #:	80 License / Reg. #:
Kamran Naraghi-Aran	İ	knaeng@pacbell.r	10t	818-865-2026	C040985
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND	CONNECTIONS OB	SERVED (check applic	
FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDIGATE LOCATION OBSERVED	OBSERVED
☐ Conventional Footings & Slab	☐ Concréte	Cl Steel	□ Condrete	8/94-3 \$ 2/5H-	. 1
☐ Mat Foundation, Prestressed Concrete	☐ Mesonry	C) Concrete	CI Steel Deck	NORTH WEST, SOM	1/3/2/3
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<ol> <li>I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the</li> </ol>			ilts at each significant		40955
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STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH,

FormsStructuralObservationReport&Instructions

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD



## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

### **Structural Observation Report**

Project Address: 3200 Ocean Blvd		Report date:  N / 76 /3:>-		CNB Inspector Name:	CNB Permit #: 2020 - 2540
Building Owner Name:	<del></del>	Owner's Malling addre	ss (If different from elte);	Owner's Telephone #:	CNB Plan Check #:
Full Name of Structural Ob	server (SO):	90 email Address:	ydd y briad y dyngwydd yggwyriau ar gann gyddiol y gygyniaith ar dron y cyf a daellig El awy araet El a Gyllogy	SO Telephone #:	80 License / Reg. #:
Kamran Naraghi-Aran	L	knaeng@pacbell.r	iet	818-865-2026	C040985
PLEASE INDI	CATE STRUCTURAL	ELEWENTS AND	CONNECTIONS OB	SERVED (check applic	able boxes)
FOUNDATIONS	อมัยผู้สิขางเนอ	FRANCS	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION OBSERVED	(8) DATE OBSERVED
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final acceptance of the structural systems by the City of Newport Beach, Building Division.			Tre Control	A LEGISLA	

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

PornstStructuralObservationReport&Instructions



#### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

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	Suruc	iurai Ubs	ervation Ke	port		
Project Address: 3200 OCEAN BLVD, NEVRORT BEACH			123	CNB Inspector Name:	S Inspector Name: CNB Permit #: X2020-25	
Building Owner Name: Owner's Mailing address		ress (if different from site);	Owner's Telephone #:	and amonthers bet answern	Plan Chook #:	
Full Name of Structural Ob	Berver (SO):	SO email Address:	<del>alan kanan men menengan aran menin darin gerapa perinti dalam telebahan dalah kilar</del> A	SO Telephone #:	80 License / Reg. #:	
   Kamran Naraghl-Arar	A destruction of the second se	knaeng@pacbell.	net	818-865-2026		0985
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND	CONNECTIONS OB	SERVED (check applic		
FOUNDATIONS	WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION   OBSERVED	V(8)	DATE OBŞERVED
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<ul> <li>I, or another iconsed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;</li> <li>I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Bullding</li> </ul>					r 1 11 W	

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

Division.

STAMP OF STRUCTURAL OBSERVER



#### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

#### Structural Observation Report

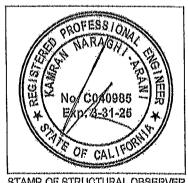
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Full Name of Structural Ob	server (SO):	SO email Address:		SO Telephone #:	SO License / Reg.		
Kamran Naraghi-Arar	A CONTRACTOR OF THE PROPERTY O	knaeng@pacbell.net 8		818-865-2026	0040	)985	
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND		SERVED (check applic			
FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION OBSERVED	(8)	DATE OBSERVED	
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I declare that the followi 	ing statements are true to	the best of my know	ledge:	Total and another source of the source of th		The state of the s	
1. I am the licensed	1. Lam the licensed design professional retained by the owner to be in responsible						

charge of the structural observation;

I, or another licensed design professional whom I have designated above and is under my reaponable charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;

I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division,

SIGNATURE OF STRUCTURAL OBSERVER



STAMP OF STRUCTURAL OBSERVER

STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.

FormstStructuralObservationReport&Instructions



#### COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

### Structural Observation Report

3200 OCEAN BLVD 8/31/23		Civis inapactor Name: 2020 - 2					
Building Owner Name;		Owner's Malling address (if different from site);		The state of the s		CNB Plan Check #:	
Full Name of Structural Observer (SO):		SO email Address:	- Innanterior Contract Contrac	SO Telephone 1/6:	SOL	icense / Reg. #:	
Kamran Naraghl:Arani		knaeng@pacbell.n		818-865-2026	C040	0986	
PLEASE INDI	CATE STRUCTURAL	ELEMENTS AND C	CONNECTIONS OB	SERVED (check application		oxes)	
FOUNDATIONS	SHEAR WALLS	FRAMES	DIAPHRAGMS (Floor/Roof)	INDICATE LOCATION OBSERVED	(8)	DATE OBSERVED	
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☐ Calssons, Piles, Grade Beams	☐ Wood or Manuf. Shear Panels	LI Masonry	[ C] Wood	Detail 6/9-4.0		***************************************	
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			Name Bredon Linner Col. Co. A. Chen	CI REPORT CONTINUED	ON AT	TACHED PAGES.	
<b>i</b> '	AL OBSERVATION REP		documents, and all	observed deficiencies we	re cor	rected.	
The structure generally complies with the approved construction documents, and all observed deficiencies were corrected.							

I declare that the following statements are true to the best of my knowledge:

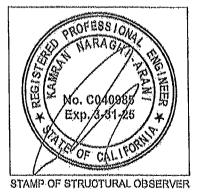
 I am the licensed design professional retained by the owner to be in responsible charge of the structural observation;

 I, or another licensed design professional whom I have designated above and is under my responsible charge, have performed the required site visits at each significant construction stage to verify that the structure is in general conformance with the approved construction documents;

3. I understand that all deficiencies which I have documented must be corrected, prior to final acceptance of the structural systems by the City of Newport Beach, Building Division.

SIGNATURE OF STRUCTURAL OBSERVER OF RECORD

8/31/23



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STRUCTURAL OBSERVATION DOES NOT WAIVE ANY REQUIREMENTS FOR BUILDING INSPECTION BY AUTHORIZED EMPLOYEES OF THE CITY OF NEWPORT BEACH.



Forms\StructumdObsorvationReport&Instructions

## CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING DIVISION

3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658

www.newportbeachca.gov | (949) 644-3200

## Structural Observation Report

Project Address: F		Report date:		CNB inspector Name:	CNB Permit #;	
Building Owner Name:	VII X VI	Owner's Mailing address	se (if different from site);	Owner's Telephone #:	CNB Plan Check #:	
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## CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
3300 Newport Boulevard | P.O. Box 1768 | Newport Beach, CA 92658
www.newportbeachca.gov | (949) 644-3200

# Structural Observation Report

Project Address:	MUS	Report date:	3/2~	CNB Inspector Name:		Permit #:
Building Owner Name:	e: Owner's Mailing address (if different from site);		Owner's Telephone #: ONB Pl		Plan Check #:	
Full Name of Structural Ob	` .	80 email Address:		SO Telephone #:	i i	.lcense / Reg. #:
Kamran Naraghi-Arar		knaeng@pacbell	4-4-1	818-865-2026		0985
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Structural Observation Report

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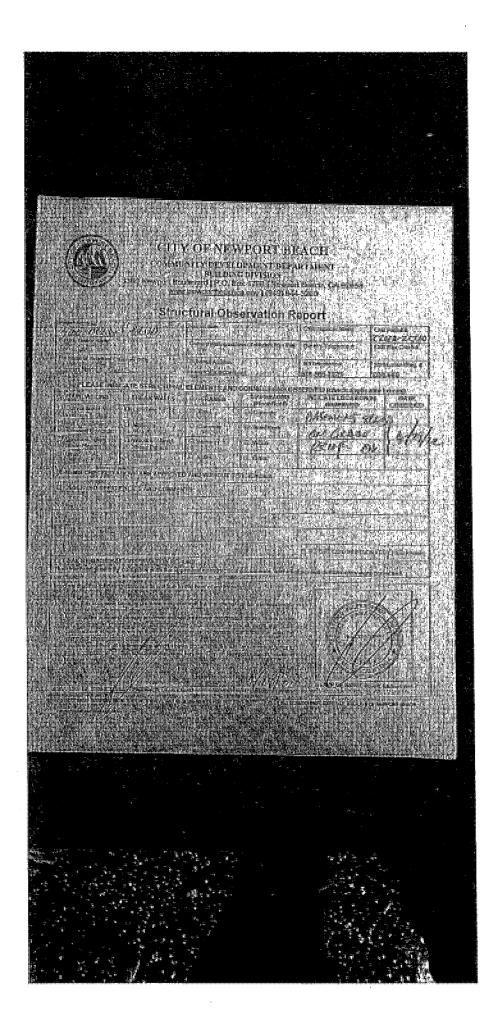
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## CITY OF NEWPORT BEACH

# COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

### **BUILDING HEIGHT CERTIFICATION**

Project Street Address	200 Ocea	n Blyd.			
Building Permit Number	er(s): X2020-254	40 (project D20	17-0521)		
As the surveyor of reco	ord for the project	ct at the above a and original topo	ddress, I hereb ographic survey	and based the e	elevations listed
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February 23, 2024

Edward and Carol Zheng c/o Brion Jeannette Architecture 470 Old Newport Boulevard Newport Beach, CA 92663 Project No.: 72476-10 Report No.: 23-9442

Attention:

Ms. Amy Creager

Subject:

Final Report of Earthwork Observation and Testing

New Single-Family Residence

3200 Ocean Boulevard Corona Del Mar, California

### INTRODUCTION

This report presents the results of the earthwork observation provided by Geofirm during the construction of a new single-family residence at the subject site. Based on the information provided, foundation and earthwork activities on the site have been completed as of August 15, 2023. Therefore, this report is considered as a final report for the development of the subject lot.

We previously prepared a report for rough grading for earthwork construction and shoring caissons at the subject site (Geofirm, 2022, see references).

### **Project Data**

Site:

3200 Ocean Boulevard, Corona Del Mar, California

**Observation Period:** 

December 3, 2021 through August 15, 2023

Owner:

Edward and Carol Zheng

Architect:

Brion Jeannette Architecture

Civil Engineer:

Toal Engineering, Inc.

Structural Engineer:

KNA Engineering, Inc.

**Grading Plan:** 

Toal Engineering, Inc., 2021, "Precise Grading and Drainage Plan for

The Zheng Residence, 3200 Ocean Blvd, Newport Beach, California"

Sheet C-2, revision dated November 17, 2022.

Structural Plan:

KNA Engineering, Inc., 2022, "Foundation Plan, 3200 Ocean Blvd,

Newport Beach, California" Sheet S-2.0, revision dated November 16.

**General Contractor:** 

Corbin Reeves Construction

**Grading Contractors:** 

Tim Greenleaf Engineering/Al's Engineering

Jurisdictional Agency:

City of Newport Beach

Project No: 72476-10

Report No: 23-9442

Page No:

### Geotechnical Observation and Testing reported herein include:

A. Previous Site Preparation and Grading

- B. Current Site Preparation and Grading
- C. Residence Foundation Excavations
- D. Retaining Walls
- E. Hardscape and Landscape Subgrades
- F. Utility Trench Backfill
- G. Exclusions

### EARTHWORK OBSERVATIONS

### A. Site Preparation and Grading

Site preparation and grading generally included the excavation and export of the overburden material within the constructed shoring and included the over-excavation and re-compaction of the upper 3± feet of exposed subgrade soils to create a relatively uniform fill blanket below the proposed new residence. This work was performed from July 29, 2021 through December 2, 2021. The results of our geotechnical services performed during this period are presented in our "Temporary Shoring Observation and Rough Grade Earthwork Observation Report", Reference 6.

### B. Current Site Preparation and Grading

Remedial grading operations for the hardscape and landscape areas generally included the over-excavation and re-compaction of the upper  $\pm 3$  feet of existing soil down to competent terrace deposits. The front patio area, behind the bio-retention planter retaining wall, was observed to be backfilled with  $\pm 6$ -feet of imported soil. Fills consisting of excavated and imported materials were placed and compacted in general accordance with the geotechnical recommendations to at least 90 percent relative compaction and were suitable for continued construction.

### C. Residence Foundation Excavations

The excavation subgrades for the new residence foundations and slab were observed to be excavated into competent engineered fill. The exposed subgrades were considered geotechnically suitable for their intended use and continued construction at the time of our observation.

Project No: 72476-10 Report No: 23-9442

Page No:

3

### D. Retaining Walls

Retaining wall foundation excavation subgrades for perimeter retaining walls and basement retaining walls were observed to consist of competent engineered fill that was placed during rough grading. The subgrades were considered geotechnically suitable for their intended use and continued construction at the time of our observation.

The subdrain for the basement retaining wall was observed to consist of a 4-inch, Schedule 40, perforated PVC pipe that was covered in crushed rock and wrapped in filter fabric and was considered suitable for continued construction.

The basement retaining wall was backfilled with pea gravel that was placed and compacted with hand-compaction equipment and were considered suitable for their intended use and continued construction.

### E. Hardscape and Landscape Subgrades

The subgrade soil for the hardscape, landscape, and driveway approach was over-excavated approximately 2 feet. Excavated materials were reused as fill materials and placed in relatively thin lifts, moisture-conditioned, and recompacted. The driveway approach included a base course consisting of 4-inches of crushed rock was placed over the approved subgrade soil; and in the patio area, 2 inches of crushed rock was placed over the approved subgrade soil. The base course was placed and compacted using hand-operated compaction equipment. Our observation and testing indicated the subgrades and base courses were suitable for their intended use and continued construction.

### F. Utility Trench Backfill

The utility trench backfill for the electric box, area drains, plumbing, sewer, and storm drain were backfilled and compacted in accordance with our recommendations. Our observation and testing indicated that the backfills placed were suitable for their intended use and continued construction.

### G. Exclusions

The following items were not observed by this office and are hereby excluded from this report:

- Basement Slab Subdrains
- Concrete Slab Underlayment
- Biofiltration System

While not necessarily indicative of potential issues, we cannot comment on the suitability of the items above and the performance of associated improvements.

Project No: 72476-10

Report No: 23-9442 Page No: 4

### FIELD AND LABORATORY TESTING

Field density tests were performed in accordance with ASTM D 6938 (Nuclear Gauge Method). The compaction standard is 90 percent or more of the maximum density as evaluated by ASTM D 1557 (the Five Layer Method). Results of the field density tests, and laboratory tests are presented in Appendix B. Field density test locations are depicted on the Geotechnical Plot Plan, Figure 1.

Testing was performed on representative areas to render a professional opinion as to the compaction of fill. This is not a warranty that all fills are at 90 percent compaction.

### **CONCLUSIONS**

Based on our field observations, the geologic conditions encountered were generally consistent with those anticipated as described in the referenced reports. It is our opinion that the earthwork and structural construction observed by this office were accomplished in accordance with the geotechnical recommendations within the referenced reports and the requirements of the City of Newport Beach. The earthwork conditions reported herein are considered suitable for the intended use and continued construction.

### **LIMITATIONS**

Our description of geotechnical observations and testing services has been limited to those operations performed from December 3, 2021 through August 15, 2023. Earthwork activities not described herein are excluded from this report. Geofirm did not control the frequency or adequacy of our onsite observation or testing services relative to the needs of the project. Our firm was not responsible for line and grade. Elevations and locations used in this report are estimated based on field surveys done by others. Elevations and locations used in this report are estimated based on field surveys done by others. The opinions rendered apply to conditions in the subject areas observed and tested by us as of the date of our final site visit. We are not responsible for any changes in the conditions that may occur after that date and outside our purview.

February 23, 2024

Project No: 72476-10

Report No: 23-9442

Page No:

5

This opportunity to be of continued service is appreciated. If you have any questions, please contact this office.

Respectfully,

**GEOFIRM** 

Christopher L. Tomlin, E.G. 2006

Senior Engineering Geologist

CERTIFIED BORGERING GEOLOGIST Jesse D. Bearfield, P.E. 843

OF CALIFOR Associate Engineer

C 84335

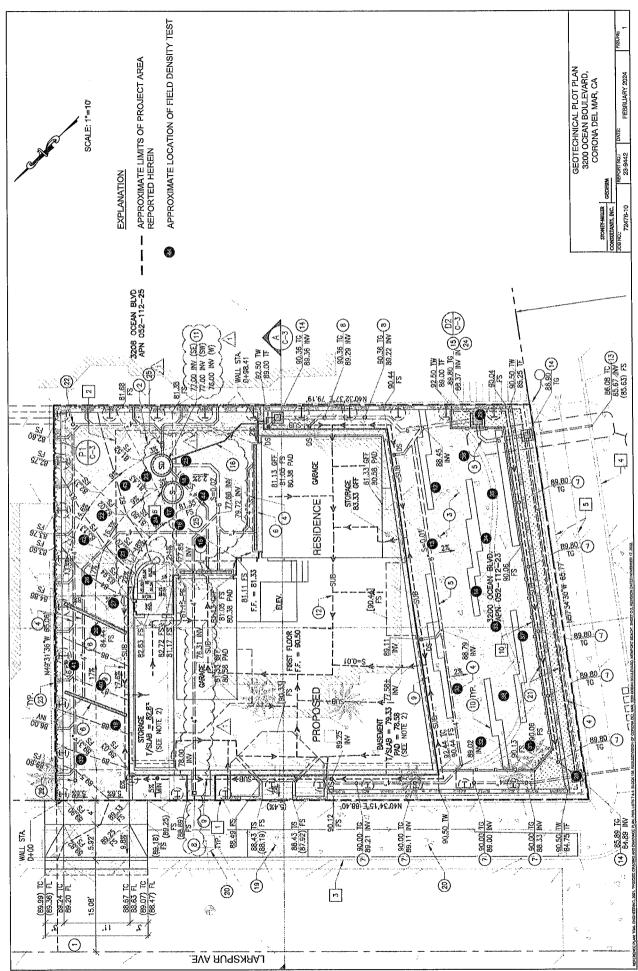
CLT/JDB: ma

Attachments:

Figure 1 - Geotechnical Plot Plan

Appendix A - References

Appendix B - Laboratory and Field Density Tests



# APPENDIX A REFERENCES

#### APPENDIX A

### REFERENCES

- 1. Geofirm, 2020, "Preliminary Geotechnical Investigation for Foundation Design, Proposed New Single-Family Residence, 3200 Ocean Boulevard, Corona Del Mar, California," Project No.: 72476-00, Report No.: 20-8669, dated February 28.
- 2. Geofirm, 2020, "Response to City of Newport Beach, Geotechnical Report Review Checklist, dated November 5, 2020, Proposed New Single-Family Residence, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 20-8812, dated November 12.
- 3. Geofirm, 2021, "Response to City of Newport Beach, Shoring and Retaining Wall Review Checklist, 1st Review, dated December 2, 2020, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-8913, dated April 28.
- 4. Geofirm, 2021, "Supplemental Shoring/Lagging Recommendations, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-8927, dated May 20.
- 5. Geofirm, 2021, "Supplemental Shoring/Lagging Recommendations, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-8939, dated June 4.
- 6. Geofirm, 2022, "Temporary Shoring and Rough Grade Earthwork Observation Report, New Single-Family Residence, 3200 Ocean Boulevard, Corona Del Mar, California," Project No: 72476-01, Report No: 21-9053, dated May 6.

# APPENDIX B LABORATORY AND FIELD DENSITY TESTS

### APPENDIX B

### LABORATORY AND FIELD DENSITY TESTS

### **Maximum Density and Optimum Moisture Determinations**

Optimum moisture and maximum density were determined in accordance with Test Designation ASTM D1557-07. Results are tabulated below:

Soil Type	Description	Optimum Moisture Content (%)	Dry Density Maximum (pcf)
1	Silty Sand (SM)	11.4	116.0
2	Sand with Gravel (SP)	6.6	139.7
3	Aggregate Base (CMB)	7.6	129.6

### **Summary of Field Density Tests**

Test No.	Date	Soil Type	Elevation (ft.)	Dry Density (pcf)	Moisture Content (%)	Relative Compaction (%)
12	3/16/2022	1	89	108.4	12.6	93
13	3/16/2022	1	90	109.4	12.3	94
14	3/17/2022	1	89	108.0	12.5	93
15	4/12/2022	1	78	113.0	11.0	97
16	4/12/2022	1	78	111.4	11.0	96
17	4/15/2022	1	89	110.4	8.6	95
18	4/15/2022	1	89	115.8	7.2	99
19	6/15/2022	1	FG	112.6	9.3	91
20	6/15/2022	1	FG	110.0	8.9	95
21	6/15/2022	1	FG	113.3	10.5	97
22	6/15/2022	1	FG	111.0	9.9	96
23	6/15/2022	1	FG	114.1	12.0	98
24	6/15/2022	1	FG	109.8	11.4	95
25	6/15/2022	1	FG	112.4	9.5	97
26	6/16/2022	1	FG	110.4	10.9	95
27	6/16/2022	1	FG	113.0	11.1	97
28	11/9/2022	1	88	114.0	13.9	98
29	11/9/2022	1	88	114.4	14.0	98
30	6/9/2023	2	86	134.2	9.0	96
31	6/9/2023	2	87	132.8	8.7	95
32	6/9/2023	2	88	132.4	9.1	95
33	6/9/2023	2	FG	133.6	9.0	96

Test No.	Date	Soil Type	Elevation (ft.)	Dry Density (pcf)	Moisture Content (%)	Relative Compaction (%)
34	6/9/2023	2	FG	128.0	10.1	92
35	6/12/2023	2	FG	125.7	10.6	90
36	6/12/2023	2	FG	125.9	10.1	90
37	6/12/2023	2	FG	132.8	9.0	95
38	6/12/2023	2	FG	132.1	8.6	95
39	8/14/2023	2	SG	135.0	8.8	97
40	8/14/2023	2	SG	132.3	9.0	95
41	8/14/2023	2	SG	135.1	8.6	97
42	8/15/2023	3	FG	125.7	8.6	97
43	8/15/2023	3	FG	125.5	8.3	97
44	8/15/2023	3	FG	123.0	8.5	95

FG = Finish Grade SG = Driveway Subgrade

## **ELEVATOR BOUTIQUE**

Elevator Boutique LA, LLC CA #1070972 service@elevatorboutique.com elevatorboutique.com

NOTICE TO THE CITY OR COUNTY OF ORANGE AND CLIENT ELEVATOR CERTIFIED AS SAFE TO OPERATE

Client

Corbin Reeves Construction

Corona Del Mar, CA 92625

Site ID

CA-06909

Address

3200 Ocean Blvd,

**Elevator Type** 

E1-2 with shaft

The Client is required to register this elevator as a structural component as outlined as per your local regulations. The following information is provided and recommended to be included in the submittal form, as provided by your local Department of Building and Safety, city or county office.

**Weight Capacity** 

881lbs

**Person Capacity** 

5 person

Class

Private Residence Elevator

#### BUILDING REGULATED ITEMS AS NOTED BY ELEVATOR CONTRACTOR

Certification is issued subject to a qualified person, provided by others, certifying that the building housing the subject elevator is in a satisfactory condition and built to manufacturers specifications. Implicit in this building certification is the acknowledgement that the safety of elevator users and or elevator workers is not compromised including the satisfaction of all Statutory Authority requirements.

#### PLANT IS SAFE TO OPERATE SUBJECT TO THE ITEMS

It is recommended that the elevator should not be placed into service until the building has been certified as outlined in items below. This includes the rectification of items as noted by the elevator certifier. The following list is provided as a service and does not cover all building related items. Our competence in certification relates only to elevator technicalities.

**CERTIFICATION** 

Certifier Name

Zeke Poulton

Client Name

Mark Winans

Title

Sales and Design

Client Type

General contractor

Signature

Signature

Date

Date



### **CITY OF NEWPORT BEACH**

Community Development Department | Building Division 100 Civic Center Dr.| P.O. Box 1768 | Newport Beach, CA 92658 www.newportbeachca.gov | (949) 644-3200

### CALGREEN DOCUMENTATION COMPLIANCE CERTIFICATION

ADDRESS: 3200 Ocean Blvd, CDM	PERMIT NO.:_x2020-2540					
THIS FORM SHALL BE COMPLETED AND SIGNED PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION. ONE COPY OF THIS FORM SHALL BE SUBMITTED TO THE BUILDING INSPECTOR AT FINAL INSPECTION AND ONE SHALL BE PROVIDED TO THE BUILDING OWNER AS PART OF THE CAL GREEN CERTIFICATION PACKAGE.						
The following section shall be completed by a persor design portion of the project.	n with overall responsibility for the planning and					
REQUIRED DOCUMENTATIONS PROVIDED TO THE PR	ROPERTY OWNER(S)					
Franchise Hauler for Construction/Demolition V	Vaste (65% min. reuse of nonhazardous waste)					
Formaldehyde Emissions Limitation	18 8 8 N. 28 . BAN A HA W W W W W W W					
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Operations and Maintenance Manual						
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MOISTURE CONTENT OF BUILDING MATERIAL (RESI	•					
☐ I certify that the moisture content of the wall an determined in accordance with Section 4.505.3	d floor framing is less than 19 percent as of CAL Green prior to being enclosed.					
DECLARATION STATEMENT						
<ul> <li>I certify under penalty of perjury, under the laws provided is true and correct.</li> </ul>	s of the State of California, the information					
<ul> <li>I certify that the installed measures, materials, components, or manufactured devices identified on this certificate conform to all applicable codes and regulations, and the installation is consistent with the plans and specifications approved by the enforcing agency.</li> </ul>						
Responsible Person's Name:	Responsible Person's Signature:					
MEG Inc	Dat Knight					
Date Signed:	Position/Title:					
2-4-25	owner					
Notes:						

1-2017

## Attachment No. 2

Three-Year Construction Limit Notice Activities



# PERMIT ACTIVITY REPORT (X2020-2540) FOR CITY OF NEWPORT BEACH

Created Date	Activity Type	Activity Name	<b>Activity Number</b>	<b>Activity Comments</b>	Created By
01/30/2025					
	Generic Activity	3yr Hearing App	ACT-000483-2025	Jason LM with Mark (GC), 9496482400. Dropped off Hearing App Exp 3/17/24.	Jason Rudenick
	Generic Activity	3 yr Hearing App	ACT-000482-2025	Jason LM with Mark (GC), 9496482400. Dropped off Hearing App Exp 3/17/24.	Jason Rudenick
10/23/2024					
	Generic Activity	Application delivered	ACT-004141-2024	Jason hand delivered 2nd application, request for additional 6 months.	Jason Rudenick
11/14/2024					
	Generic Activity	App Submitted	ACT-004430-2024	On SL's desk 11/14/24.	Jason Rudenick
2/10/2024					
	Generic Activity	3-YEAR DEADLINE EXTENSION	ACT-004804-2024	MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank
12/05/2024					
	Generic Activity	Building Official Extension Approved	ACT-004677-2024	3-YEAR CONSTRUCTION TIME LIMIT 275 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 03/17/2025 UNLESS AN ADDITIONAL EXTENSION IS GRANTED.	Tonee Thai
02/10/2025					
	Generic Activity	Hearing App received	ACT-000598-2025	2/10/25 Hearing App received on SL's desk to TT.	Jason Rudenick
	Generic Activity	Hearing App received	ACT-000597-2025	2/10/25 Hearing App received on SL's desk	Jason Rudenick
2/25/2025					
	Generic Activity	Email -Hearing Packet	ACT-000796-2025	2/25/25 Hearing Packet emailed to SL and TT. Hearing date 3/20/25.	Jason Rudenick
02/04/2025					

## PERMIT ACTIVITY REPORT (X2020-2540)

Created Date	<b>Activity Type</b>	<b>Activity Name</b>	<b>Activity Number</b>	<b>Activity Comments</b>	Created By
Created Date	Activity Type  Generic Activity	Email	ACT-000530-2025	Good morning Mark  Just following up. The Hearing Application must be completed and submitted (45 days prior to expiration) along with all supporting docs (as listed). The Hearing requires an in-person meeting scheduled in advance with the Hearing Officer, by the NB Building dept  Thank you  Jason	Jason Rudenick
				Jason Rudenick Senior Building Inspector Community Development Department Office: 949-644-3262  100 Civic Center Drive	
				Newport Beach, CA 92660	
04/18/2024					
	Generic Activity	letter dropped off	ACT-001628-2024	Jason dropped of letter in person, spoke with the Dave GC on site, he understands the application, submittal and fee process.	Jason Rudenick
05/01/2024					
	Generic Activity		ACT-001821-2024	Application fee was paid and put on Jason's desk (without supporting docs attached). Jason stopped by explained again to GC onsite the requirements. He is to work with his office to provide the required supporting docs (i.e. letter of explanation and letter of permission for GC to sign for owner).	Jason Rudenick
05/17/2024	_	_	_	_	_
	Generic Activity	APPLICATION SUBMITTE	ACT-002073-2024	APPLICATION INITIATED ON 04/18/2024. COMPLETED APPLICATION SUBMITTED ON 05/01/2024.	Tonee Thai
	Generic Activity	BUILDING OFFICIAL EXTENSION GRANTED	ACT-002075-2024	3-YEAR CONSTRUCTION TIME LIMIT 180 DAYS TOTAL EXTENSION GRANTED. PERMIT SHALL EXPIRE ON 12/12/2024 UNLESS AN ADDITIONAL EXTENSION IS GRANTED.	Tonee Thai

## PERMIT ACTIVITY REPORT (X2020-2540)

Created Date	Activity Type	Activity Name	<b>Activity Number</b>	Activity Comments	Created By
	Generic Activity	3-YEAR DEADLINE EXTENSION	ACT-002260-2024	MAILED & EMAILED APPROVED 3-YEAR CONSTRUCTION LIMIT EXTENSION TO PROPERTY OWNER	Debi Schank

## Attachment No. 3

**Building Official Extension** 



## **CITY OF NEWPORT BEACH**

RECEIVED BY COMMUNITY DEVELOPMENT

### **BUILDING DIVISION**

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

FEB 07 2025

CITY OF

# Three Year Construction Time Limit Extension NewPORT BEACH Hearing Officer Application

Project Address: 32	00 OCEAN BLY	D. CORONA A	BEL MAK	e, ca	Receipt No.:	037453
Dormit	X2020-2540	Original Permit Issued Date:	6/15/2	,	Hearing Fee: \$1,422514	Date Fee Paid: 69 02/07 /25
	PETITIO	NER/PROPE	RÍY ÓWN	IER INFORM	MOITAN	
Name (Must be )	payor of fees):	OMERO DE DISTRIBUIR DE LA COMPANION DE LA COMP	Company Nam	ne:		-
MICH	AEL REEVES		CORBIN	PREVES C	ONSTRUC	770N
Street Address:		A	City	***************************************	State:	Zip Code:
245 fist	OHER AVE, STE	A-1	COSTA	MESA	CA.	92626
Emall:			t	Phone:	2411	
GTOMBRE	ELLO D CORBIN PRE	EVED, COM		714-540	23100	
	A Control of the Cont	PROJEC	CT INFORMA	TION		
Length of extens	sion requested: 3 /	NONTHS 6	117/25			
New end date if	request is approved:	6/17/24			A	
Previous Extens	sion(s) Granted? (Y/N):	YES		How Many?:		
Description of Work Under	SFR W/ATT	TACHED BAS	EMENT/	GARAGE		
Permit:	XR-2023-0	9079 SITE	RETAIN	ING WALLS	r	
				•		
Reason for	(Attach Supporting Doc	······································				
Extension Request	OWNER/ ARE	HITECT/DESIG	WIEN RE	LATED CH	ANGE OR	DERS FOR
	APPLIANCES, CA	BINETS, HA	MB BAILL	46, WOOD	CLADDED S	THAS - LONG
	→ HEREBY (	CERTIFY THAT	THE ABOV	E STATEMEN	IT IS TRUE.	
Petitioner's Sign	natura:		************************************	Property Owner:		Date:
1 <i>         </i>	UK KORR	11	GONGLEM C	ONTRACTOR		a 15 125
			TAFF USE	ONLY		
Hearing Officer						
		Approved	□De	enied		
Conditions						
of						
Approval:						
City Clerk's St Reviewed:	aff Name:		Signature:			Date:
Revenue's Sta	aff Name:		Signature:			Date:
Reviewed:						/ /



Feb. 3, 2025

RE: Permit X2020-2540 Main House

"EXTENSION REQUEST"

- -F2022-0331 Fire Sprinkler.
- -H2023-0633 AC units
- -PV2024-0099 Solar
- -XR2023-0079 Wall
- -P2023-0268 Fire Pit

The *previous* extension was required due to significant delays for the following circumstances:

- 1. Very wet winters prohibited timely completion of the basement/foundation construction as well as the complex Roof Deck waterproofing process. The Roof Deck waterproofing process (and obtaining a 72-hour water test), was critical to moving forward with construction tasks within the building envelope. Weather related delays to the critical path schedule, attributable to the Roof Deck waterproofing completion alone, are estimated at 9 months.
- 2. Revisions to the plans for engineer approved pathways/home runs around steel beams, columns and engineered lumber for Hvac, plumbing and electrical (drilling not permitted by structural engineer), created significant delays to the schedule.
- 3. Architect/Owner change orders. Typical change orders encountered in construction of custom homes, merely compounded delays resulting from the above noted circumstances.

The current extension request is required due to additional delays resulting from several Owner/Architect Change Orders pertaining to cabinets, appliances, handrailing and stairwell wood cladding, that has resulted in long fabrication/lead-time delays. We do believe we will be very close to completing the project by March 17<sup>th</sup>, but in the event these lead-time delays run longer than anticipated, we would appreciate the extension just in case.

If you have any questions or need additional information, please feel free to contact me.

Best regards,

Mark Winans

MARK WINANS I Project Manager CORBIN REEVES CONSTRUCTION
C: (949) 648-2400

### E: <u>mwinans@corbinreeves.con</u>

W: corbinreevesconstruction.com

245 Fischer, Suite A-1, Costa Mesa, CA 92626

License No. 721515



## CITY OF NEWPORT BEACH

## COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1768 | Newport Beach, CA 92658-8915 www.newportbeachca.gov | (949) 644-3200

RECEIVED BY COMMUNITY DEVELOPMENT

NOV 12 2024

CITY OF NEWPORT BEACH

# Three Year Construction Time Limit Extension Building Official Application

Project Address:	3200 OCEAN BUD, CARONA DEL MAR,								Receipt No.: 0005-1-108		
Permit No.:	<del> </del>	0-25		Original F	ermit	6/1			Extension Fee: \$214		
PETITIONER/PROPERTY OWNER INFORMATION											
Name (Must be payor of fees): Company Name:											
MICHAEL REEVES					CORBIN REEVES CONSTRUCTION						
Street Address:						City:			State:	Zip Code:	
245 FIBENER AVE, STE A-2						COSTA MESS			CA.	92626	
Email: Phone:											
GTONERELLO & CORBIN MEENES. COM 714-540-3700											
PROJECT INFORMATION											
Length of extension requested: 3 MONTHS 3/15/25											
New end date if request is approved: 3 = 15 = 25											
Previous Extension(s) Granted? (Y/N):											
Description of SFR W/ATTACHED BASEMENT & GARAGES											
Work Under Permit:	V12-	X2-2023-0079- SITE RETAINING LIDAU									
Reason for	(Attac	(Attach Supporting Documents as Needed) (5EE ATTACHED)									
Extension Reguest	CH	CHAMBE ORDERS -									
Request											
I HEREBY CERTIFY THAT THE ABOVE STATEMENT IS TRUE.											
Petitioner's Signature:  Relationship to Property Owner:  Oct Property Owner:  Date:											
		Constant Const							Rouf but his man explica-		
FOR STAFF USE ONLY											
Department Action: ☐ Denied ☐ Denied											
		\ <del>□</del> \ <del>©</del> \\	OVOC	1	шver	ii <del>c</del> u					
Conditions /											
of Approval HODITIONAL 15 DITYS FOR (BITTLE IT DITYS)											
or	£1(2	ERANGED. PERMUS SHAMER PIRE ON 3/17/2025 WALESS									
Comments:	AD	ADDITIONAL EXTENSION IS GRANCIED.									
Building Inspector Name: S						Signa	ture			Date:	
Reviewed: Jasa Radenish				uck.		4			11/14/24		
Building Office	cial	Name:	p.,			Signa	iture:	The state of the s		Date:	
Approval:		TONJEE I HAT				The second secon				12-105/24	



Nov 1, 2024

### RE: Permit X2020-2540 EXTENSION

The previous extension was required due to significant delays for the following circumstances:

- 1. Very wet winters prohibited timely completion of the basement/foundation construction as well as the complex Roof Deck waterproofing process. The Roof Deck waterproofing process (and obtaining a 72-hour water test), was critical to moving forward with construction tasks within the building envelope. Weather related delays to the critical path schedule, attributable to the Roof Deck waterproofing completion alone, are estimated at 9 months.
- 2. Revisions to the plans for engineer approved pathways/home runs around steel beams, columns and engineered lumber for Hvac, plumbing and electrical (drilling not permitted by structural engineer), created significant delays to the schedule.
- 3. Architect/Owner change orders. Typical change orders encountered in construction of custom homes, merely compounded delays resulting from the above noted circumstances.

**The current extension request** is required due to further delays resulting from numerous Owner/Architect Change Orders as well as the negative impact to this project from the Pirch bankruptcy fiasco.

If you have any questions or need additional information, please feel free to contact me.

Best regards,

Mark Winans

MARK WINANS | Project Manager CORBIN REEVES CONSTRUCTION

C: (949) 648–2400

E: mwinans@corbinreeves.con

W: corbinreevesconstruction.com

245 Fischer, Sulte A-1, Costa Mesa, CA 92626

Ltcense No. 721515

May 7, 2024

Subject: Request for Extension of Permit X2020-2540

To whom It may concern,

I am writing to request an extension for Permit X2020-2540, as our project has encountered several significant delays due to factors beyond our control. The primary issues include:

- 1. \*\*Weather-Related Delays: \*\* Unusually wet winter conditions have severely impacted our ability to complete the basement/foundation construction and the critical Roof Deck waterproofing process. The completion of this waterproofing, and the subsequent required 72-hour water test, was essential for progressing with further construction tasks within the building envelope. Delays related specifically to the Roof Deck waterproofing process are estimated at nine months.
- 2. \*\*Structural Revisions:\*\* Changes in the construction plans to accommodate engineer-approved pathways for HVAC, plumbing, and electrical systems around steel beams, columns, and engineered lumber have also introduced substantial delays. These modifications were necessary as drilling through these structural components was not permitted by our structural engineer.
- 3. \*\*Change Orders:\*\* Additional delays have stemmed from typical change orders by the architect/owner, which are common in the construction of custom homes but have further compounded the aforementioned issues.

Given these circumstances, we authorize Mark Winans and Mike Reeves of Corbin Reeves Construction to act on our behalf and formally request the extension of Permit X2020-2540.

Should you require further details or have any questions, please feel free to contact me at (909)568-8077.

Sincerely,

Edward Zheng