



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

April 16, 2026  
Agenda Item No. 5

**SUBJECT:** Newman Residence (PA2025-0229)  
▪ Coastal Development Permit

**SITE LOCATION:** 2609 Cove Street

**APPLICANT:** Eric Olsen, Architect

**OWNER:** Rick and Kit Newman

**PLANNER:** Laura Rodriguez, Assistant Planner  
949-644-3216, [lrodriguez@newportbeachca.gov](mailto:lrodriguez@newportbeachca.gov)

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached (RSD-C) (10.0 – 19.9 DU/AC)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

### **PROJECT SUMMARY**

A request for a coastal development permit (CDP) to demolish an existing single-unit dwelling and construct a new, three-story, 2,695-square-foot single-unit dwelling with an attached 481-square-foot two-car garage. Also included in the request is the installation of hardscape, drainage, and site walls. No improvements are proposed to the private deck area at the front of the residence. The permit jurisdiction for the property is bisected and the existing deck area, bulkhead, and a portion of the site walls fall within the permit jurisdiction of the California Coastal Commission (CCC). While no improvements are proposed within this area, future improvements shall require a separate Approval In Concept (AIC) from the City and separate authorization from the CCC.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and

- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving Coastal Development Permit files as PA2025-0229 (Attachment No. ZA 1)

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is located within the China Cove neighborhood and is located adjacent to the sandy public beach, as shown in Figure 1 below. The property is protected by a bulkhead.



*Figure 1: Oblique Image of Subject Property and Surrounding Area*

- The property is located within the R-1 Coastal Zoning District, which allows for single-unit residential development on a single lot. A single-unit dwelling is proposed and is therefore consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- A CDP is required, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.

- The property is bisected by the boundary of the CCC’s original permitting jurisdiction and the City’s permitting jurisdiction. The project is fully within the City’s permitting jurisdiction.
- The China Cove neighborhood is primarily developed with two-story single-unit dwellings and the occasional three-story single-unit dwelling. The project’s design, bulk, and scale are consistent with the existing neighborhood pattern of development and expected future development.
- The proposed single-unit dwelling and accessory structures conform to all applicable development standards, including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

<b>Table 1 – Development Standards</b>		
<b>Development Standard</b>	<b>Standard</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>		
Front (Cove Street)	5 feet	5 feet
2 <sup>nd</sup> Front (waterfront)	5 feet	43 feet
Sides	3 feet	3 feet 2 inches
<b>Allowable Floor Area (max.)</b>	4,276.8 square feet	3,176 square feet
<b>Allowable 3<sup>rd</sup> Floor Area (max.)</b>	427.68 square feet	423 square feet
<b>Allowable 3<sup>rd</sup> Floor Area &amp; Covered (max.)</b>	1,425.6 square feet	775 square feet
<b>Open Space (min.)</b>	427.68 square feet	1,016 square feet
<b>Parking (min.)</b>	2-car garage	2-car garage
<b>Height (max.)</b>	24-foot flat roof 29-foot sloped roof	24-foot flat roof 29-foot sloped roof

*Hazards*

- The property’s existing bulkhead was reinforced and raised to a height of 10.90 feet North American Vertical Datum of 1988 (NAVD 88) which was authorized by the CCC under CDP No.5-24-0635. Subsequently, building permit no. M2025-5013 to raise and reinforced the bulkhead was issued by the City on November 7, 2025, and finalized on December 19, 2025.
- A Coastal Hazards Report and Sea Level Rise Analysis was prepared for the project by PMA Consulting, Inc. dated August 6, 2025, (SLR Report). The SLR Report states that the current maximum bay water elevation is 7.7 feet (NAVD 88) and may exceed the proposed finished floor elevation of 10.50 feet NAVD 88 during high tide or storm events. The SLR Report analyzed future sea level rise scenarios, assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 3.20 feet (likely) to 6.7 feet (very unlikely). Therefore, the SLR Report states that the sea level is estimated to reach approximately 10.9 to 14.4 feet NAVD 88, - (the likely range for sea level rise over

75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update). However, based on the latest adopted State of California Sea Level Rise Guidance 2024 Science and Policy Update, the sea level is estimated to only reach approximately 10.5 to 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure. The SLR Report used for the Project anticipates more severe sea level rise than the 2024 guidance and still concludes that the structure will not be subject to flooding over its economic lifetime.

- The finished floor elevation of the proposed single-unit dwelling is 10.50 feet (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard.
- Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the Newport Beach Municipal Code (NBMC) requires the property owner to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). Condition of Approval No. 2 addresses this item and requires it be satisfied prior to final building inspection.
- Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, requires the owner to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with. This requirement is identified as Condition of Approval No.3 and will need to be satisfied prior to the issuance of building permits.
- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

#### *Water Quality*

- The property is located adjacent to a sandy beach and is abutting the shoreline. A Construction Pollution Prevention Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and minimize pollution of runoff and coastal waters derived from construction chemicals and materials.
- A preliminary Water Quality and Hydrology Plan (WQHP), prepared by DZN Engineering, dated November 10, 2025, was prepared for the project. The WQHP

includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a Low Impact Development approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed by the Building Division for compliance with the approved WQHP prior to permit issuance.

#### *Public Access and Views*

- The property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing beachfront single-unit dwelling with a new single-unit dwelling. Therefore, the project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities.
- The property is located adjacent to a public beach and the shoreline. Vertical access to the beach is provided at the street end of Fernleaf Avenue. Lateral access is provided both along Cove Street and the shoreline. The project does not include any features that would obstruct access along these routes. The project will remove any non-standard paving within the Cove Street right-of-way, thereby improving the visual component of coastal access along Cove Street.
- The property is located near coastal view roads and coastal viewpoints as identified in the Coastal Land Use Plan (CLUP) (Figure 2, below). The project's potential to degrade coastal views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC.

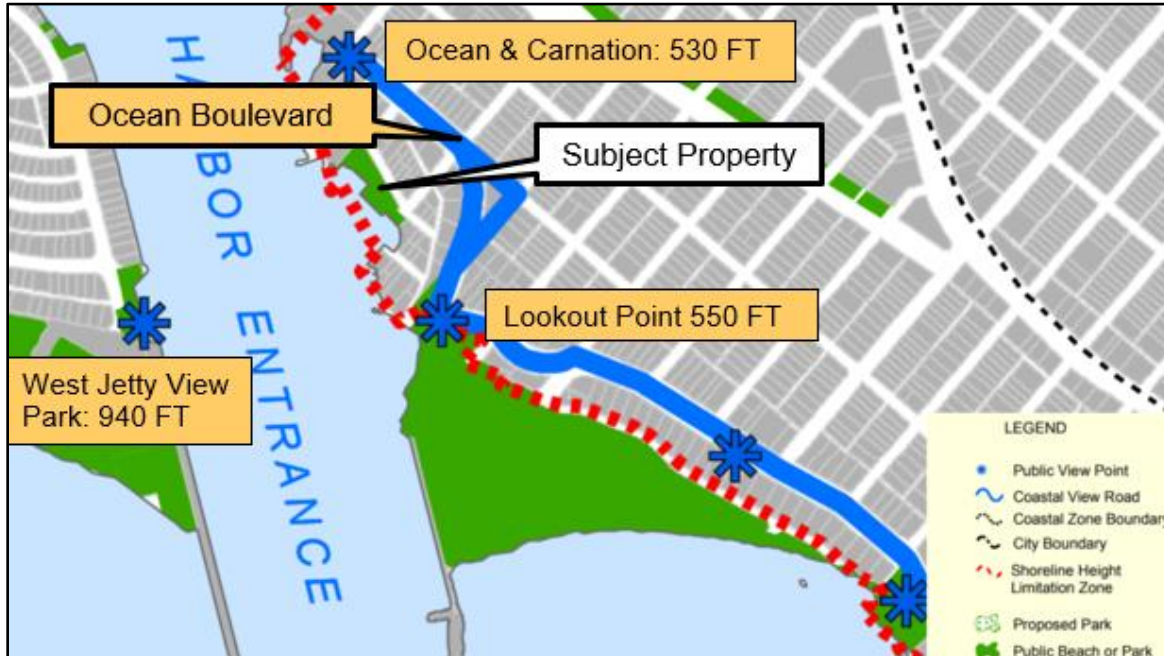
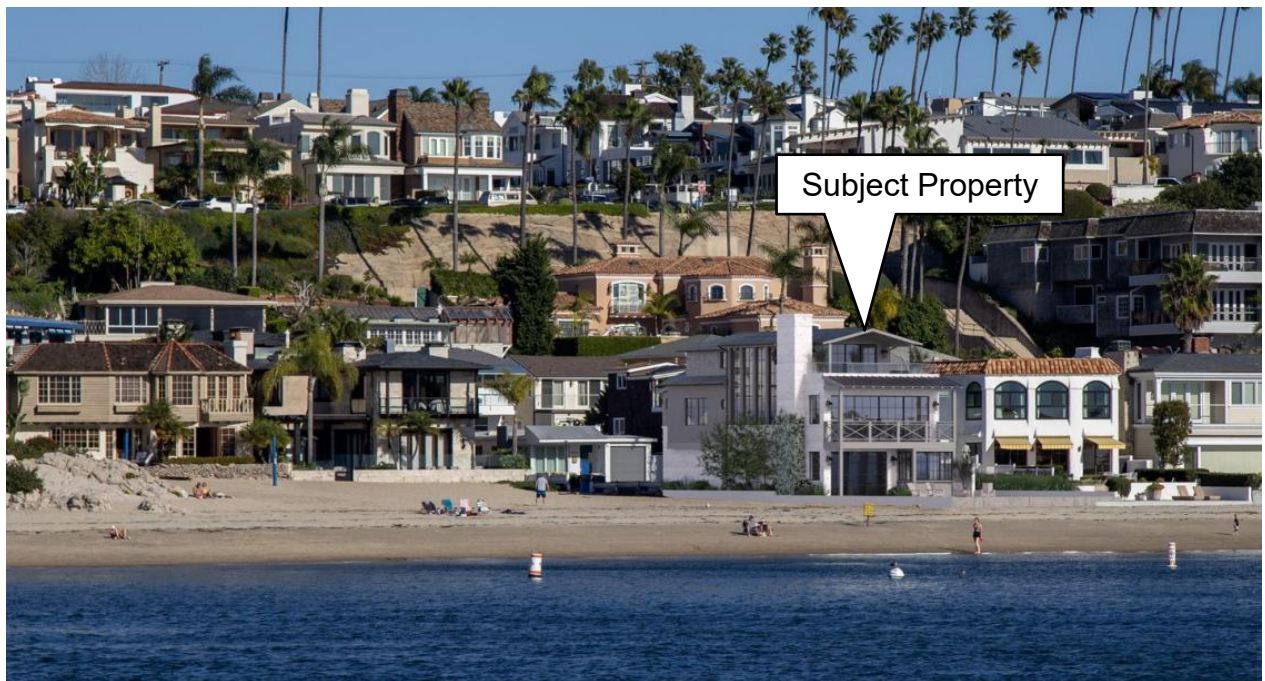


Figure 2: Coastal Viewpoints and Coastal View Roads within Vicinity of Project

- a. The property is located approximately 290 feet south of Ocean Boulevard, which is identified as a coastal view road. The property is visible from Ocean Boulevard. However, the project design is not expected to impact views of the harbor or ocean from this vantage point. The existing development is approximately 29 feet tall. In comparison, the proposed development would also be at 29 feet. A rendering (Figure 3, below) provides a visual comparison of the existing and proposed development building height. The property has historically been visible from Ocean Boulevard, since the neighboring lot at 2608 Cove Street (immediately north of the property) has been developed with a single-story residence. Currently, there is now an active building permit (XR2025-1992) to construct a three-story, single-unit dwelling at 2608 Cove Street. Therefore, view of the subject property from Ocean Boulevard would be partially obstructed once the legally permitted development at 2608 Cove Street is constructed.
- b. The nearest identified coastal viewpoint is located at the corner of Ocean Boulevard and Carnation Avenue, approximately 530 feet to the northwest of the property. Another nearby coastal viewpoint is Lookout Point, located approximately 550 feet southeast of the subject property. The property wouldn't be overly noticeable from these viewpoints because it is surrounded by existing residential development.
- c. Site evaluation revealed that the property is visible from West Jetty View Park, located approximately 940 feet west and across the harbor entrance. Project renderings, as shown on the following page in Figures 3 and Figure 4, were prepared to demonstrate that coastal views from this area would not be affected.



*Figure 3: Existing view of property, as seen from West Jetty View Park*



*Figure 4: Proposed view of property, as seen from West Jetty View Park*

- d. The adjacent beach, China Cove Beach, is not a designated viewpoint in the CLUP. However, staff also analyzed potential impacts of views from this area. As show in Figure 5, below, the project aids in preserving and enhancing the visual quality of development along the shoreline. The proposed building is setback 49 feet from the waterfront and aids in reducing building mass close to the shoreline. The exterior elevation includes a combination of architectural materials like steel windows, brick, and wood siding, as shown in Figure 4 (above) and Figure 5 (below). The variation of architectural elements from these viewpoints can be appealing to the public eye and is also compatible to similar to the surrounding properties that also face the waterfront. Additionally, this design element softens the façades which is considerate for properties along the waterfront. As shown in the project’s landscape plans under Attachment No. 3, a new low fence is proposed on the shared property line adjacent to the beach. A comparison of the existing residence (Figure 5) and the proposed development (Figure 6) is shown below.



*Figure 5: East elevation of existing residence from China Cove Street*



*Figure 6: East elevation of proposed development from China Cove Beach*

- e. While the project proposes a 424-square-foot third floor, this layout is concentrated in the center of the building, more than 50 feet away from the shoreline, which alleviates any building mass from being too close to the water. The third floor also includes an open deck with glass guardrails. The project design complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope that is consistent and compatible with the existing pattern of development within the China Cove neighborhood. The project does not incorporate design elements that will negatively impact the existing coastal views from the locations identified above and does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

## **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition of up to three single-family dwellings and additions of up to 10,000 square feet to existing structures. The project consists of the demolition of a single-unit dwelling and the construction of a new single-unit dwelling located in the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would

invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

**PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the city website.

**APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program Implementation Plan) of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

  
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Laura Rodriguez, Assistant Planner  
JP/lr

Attachments:      ZA 1    Draft Resolution  
                          ZA 2    Vicinity Map  
                          ZA 3    Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## RESOLUTION NO. ZA2026-###

### A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND CONSTRUCT A NEW SINGLE-UNIT DWELLING WITH AN ATTACHED TWO-CAR GARAGE LOCATED AT 2609 COVE STREET (PA2025-0229)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Eric Olsen, Architect (Applicant), on behalf of Rick and Kit Newman (Owners), concerning property located at 2609 Cove Street and legally described as Lot 5 and Lot 13 of Block B32 of the Corona del Mar tract (Property).
2. The Applicant requests a coastal development permit (CDP) to demolish an existing single-unit dwelling and construct a new, three-story, 2,695-square-foot single-unit dwelling with an attached 481-square-foot two-car garage. Also included in the request is the installation of hardscape, drainage, and site walls. The permit jurisdiction for the property is bisected. An existing deck area, bulkhead, and a portion of the site walls fall within the permit jurisdiction of the California Coastal Commission (CCC). This CDP is intended to authorize improvements within the City's jurisdiction and no improvements are proposed to the areas under the CCC jurisdiction. Any future improvements under CCC jurisdiction shall require a separate Approval In Concept (AIC) from the City and separate authorization from the CCC (Project).
3. The Property is categorized as Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Single Unit Residential Detached – 10.0 - 19.9 DU/AC (RSD-C), and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.
5. A public hearing was held on April 16, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given by the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment.

2. Class 3 exempts the demolition of up to three single-unit dwellings and the construction or conversion of up to three single-unit dwellings. The Project will demolish a single-unit dwelling and construct a new single-unit dwelling within the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015 (Coastal Development Permits, Findings, and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

#### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program (LCP).*

#### Facts in Support of Finding:

1. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
  - a. The maximum floor area limitation is 4,276 square feet and the proposed floor area is 3,176 square feet.
  - b. The Project provides the minimum required setbacks, which are five feet along the property line abutting Cove Steet, five feet along the property line abutting the shoreline, and three feet along each side property line.
  - c. The highest flat roof element does not exceed the maximum 24 feet from the established grade (10.83 based on the North American Vertical Datum of 1988 (NAVD 88)) and the highest ridge is 29 feet from established grade, which complies with the maximum height requirements.
  - d. The Project includes a two-car garage, complying with the minimum two-car garage parking requirement for single-unit dwellings with less than 4,000 square feet of habitable floor area.
2. The Project is located within the China Cove neighborhood and is adjacent to a sandy public beach. The neighborhood is primarily developed with two-story, single-unit dwellings and several three-story single-unit dwellings. The proposed design, bulk, and

- scale of the development are consistent with the existing neighborhood pattern of development.
3. The Property is protected from coastal hazards by an existing bulkhead. On May 7, 2025, the CCC approved CDP No.5-24-0635, authorizing the bulkhead to be reinforced and raised to a height of 10.90 feet NAVD 88. Subsequently, building permit no. M2025-5013 to raise and reinforce the bulkhead was issued by the City on November 7, 2025, and received final inspection on December 19, 2025.
  4. A Coastal Hazards Report and Sea Level Rise Analysis (SLR Report) was prepared for the Project by PMA Consulting, Inc. dated August 6, 2025. The SLR Report states that the current maximum bay water elevation is 7.7 feet (NAVD 88) and may exceed the proposed finished floor elevation of 10.50 feet NAVD 88 during high tide or storm events. The SLR Report analyzed future sea level rise scenarios, assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 3.20 feet (likely) to 6.7 feet (very unlikely). Therefore, the SLR Report states that the sea level is estimated to reach approximately 10.9 to 14.4 feet NAVD 88, - (the likely range for sea level rise over 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update). However, based on the latest adopted State of California Sea Level Rise Guidance 2024 Science and Policy Update, the sea level is estimated to only reach approximately 10.5 to 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure. The SLR Report used for the project anticipates more severe sea level rise than the 2024 guidance and still concludes that the structure will not be subject to flooding over its economic lifetime.
  5. The finished floor elevation of the proposed single-unit dwelling is 10.50 (NAVD 88), which complies with the minimum 9.00-foot (NAVD 88) elevation standard.
  6. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC, the Owners will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). This requirement is included as a condition of approval that will need to be satisfied prior to final building inspection.
  7. Pursuant to Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, the Owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) of the NBMC. This requirement is included as a condition of approval that will need to be satisfied prior to issuance of building permits.
  8. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified

in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

9. The Property is located adjacent to a sandy beach and is abutting the shoreline. A Construction Erosion Control Plan (CPPP) was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The Project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
10. Due to the proximity of the Project to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the NBMC. A preliminary WQHP was prepared for the Project by DZN Engineering dated, November 10, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a Low Impact Development (LID) approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.
11. Proposed landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. A condition of approval is included that requires drought-tolerant species. Before the issuance of building permits, the final landscape plans will be reviewed to verify that invasive species are not planted.
12. The Property is located within the vicinity of coastal view roads and coastal viewpoints, as identified in the Coastal Land Use Plan (CLUP). In accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC, the Project has been evaluated for the potential to degrade coastal views through site visits and view simulations.
  - a. The Property is located approximately 290 feet south of Ocean Boulevard, which is identified by the CLUP as a coastal view road. The Property is visible from Ocean Boulevard, however, views of the harbor and ocean from this vantage point are not expected to be impacted by the Project. The existing single-unit dwelling is approximately 29 feet tall. In comparison, the Project also proposes a 29-foot tall single-unit dwelling and complies with the R-1 height limits. Development at the Property has historically been visible from Ocean Boulevard, as the property at 2608 Cove Street immediately north of the Property has been developed with a single-story residence. There is now an active building permit (XR2025-1992) to construct a three-story, single-unit dwelling on that property. Once the legally permitted development at 2608 Cove Street is constructed, view of the Property from Ocean Boulevard will be partially obstructed.
  - b. The nearest identified coastal viewpoints are located at Ocean Boulevard at Carnation Avenue and Lookout Point. The viewpoint on Ocean Boulevard at Carnation Avenue is approximately 530 feet to the northwest of the Property. Lookout Point is approximately 550 feet southeast of the Property. As the

Property is surrounded by the existing residential development of the China Cove neighborhood, it is not overly noticeable from these viewpoints. Development of China Cove dates to the 1940s and 1950s. The Project does not change the visual character of the already developed neighborhood.

- c. Another nearby coastal viewpoint is West Jetty View Park, approximately 940 feet west of the Property and across the Newport Beach Bay Entrance Channel. As a beachfront property, the Property is visible from portions of West Jetty View Park. The Project visually blends in with the existing residential development within the China Cove neighborhood.
- d. The Project includes a 424-square-foot third floor located at the center of the building and more than 50 feet away from the shoreline. The third floor also includes an open deck with glass guardrails which further minimizes building mass. As designed, the Project complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope that is consistent and compatible with the existing pattern of development within the China Cove neighborhood.
- e. While the adjacent beach is not a designated viewpoint, the Project also analyzed potential impacts of views from this area. The Project voluntarily provides a large 49-foot front setback along the waterfront. The proposed building setback preserves the existing view of the corridor from the beach and would also be in line with the adjoining properties. The exterior elevation facing the beach includes a combination of high quality architectural materials including wood siding, brick, and expansive steel-framed windows approximately 16-feet deep and 13-feet high in the center. The use of these materials is appealing to the public eye and similar to the surrounding properties that also face the waterfront. The Project's landscape plan demonstrates that a new low fence will be placed on the shared property line adjacent to the beach. The finished floor height of the existing residence is approximately 11.15 feet (NAVD88). The Project's finished floor is 10.50 feet (NAVD88) (living area) and 11.25 feet (NAVD88) for the garage. This difference is less than a foot and would not visually be noticeable from the beach.
- f. The Project does not incorporate design elements that will negatively impact the existing coastal views from the locations identified above and does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project replaces an existing single-unit dwelling located on a standard R-1 lot with a new single-unit dwelling. Therefore, the Project does not involve a change in land use, density, or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. The Property is located adjacent to a public beach and the shoreline. Vertical access to the beach is provided at the street end of Fernleaf Avenue. Lateral access to the beach is provided both along Cove Street and the shoreline. The Project does not include any features that would obstruct access along these routes. As conditioned, any non-standard paving within the Cove Street right of way shall be removed and replaced with City standard paving, thereby improving the visual component of coastal access along Cove Street.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit filed as PA2025-0229 subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program (LCP) Implementation Plan), of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 16TH DAY OF APRIL 2026.**

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Liz Westmoreland, AICP, Zoning Administrator

**EXHIBIT "A"****CONDITIONS OF APPROVAL**  
*(Project-specific conditions are in italics)*

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the property owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices including the repair and maintenance, enhancement, reinforcement, or any other activity affecting the bulkhead, that results in any encroachment seaward of the authorized footprint of the bulkhead or other shoreline protective device. The agreement shall be binding against the property owners and successors and assigns.*
3. *Prior to the issuance of a building permit, the property owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the development. This letter shall be scanned into the plan set before building permit issuance.*
4. *A separate Approval In Concept (AIC) from the City and separate authorization from the California Coastal Commission (CCC) is required for any improvements proposed within the CCC's permit jurisdiction. This authorization is required prior to the issuance of a building permit*
5. *Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.*
6. *Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.*
7. *Prior to the issuance of a demolition permit or grading permit, the Applicant shall submit a construction management and delivery plan to be reviewed and approved by the Planning Division and Public Works Department. The plan shall include a discussion of project phasing, parking arrangements during construction, anticipated haul routes and construction mitigation. Upon approval of the plan, the Applicant shall be responsible for implementing and complying with the stipulations outlined in the approved plan.*

8. *Prior to the issuance of a building permit, the Applicant shall apply for a Certificate of Compliance with the Planning Division. The certificate shall be signed, notarized, and recorded with the County prior to permit issuance.*
9. *Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
10. *Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought-tolerant plantings, non-invasive plant species, and water-efficient irrigation design. The plans shall be approved by the Planning Division.*
11. *Prior to the issuance of a building permit, the final WQHP/WQMP shall be reviewed and approved by the Building Division. The implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.*
12. *Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.*
13. *Should future sea level elevations reach the Finished Floor Elevation of 10.90 feet (NAVD 88), the bulkhead shall be raised to a height of 14.40 (NAVD 88), in compliance with the City of Newport Beach Waterfront Project Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities.*
14. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to the public trust shall require a CDP approved by the California Coastal Commission.
15. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter the sensitive habitat, receiving waters, or storm drains or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
16. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of native birds under MBTA:
  - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction

activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.

B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one or two short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.

17. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
18. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
19. Debris from demolition shall be removed from work areas each day and removed from the project site within 24 hours of the completion of the project. Stockpiles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
20. Trash and debris shall be disposed of in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed of in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
21. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new coastal development permit.
22. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
23. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this CDP.
24. This CDP may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to the Property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
25. All landscape materials and irrigation systems shall be maintained by the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing

condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

26. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
27. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Regulations) of the NBMC and other applicable noise control requirements of the NBMC.
28. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
29. This CDP shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
30. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to the City's approval of **Newman Residence including but not limited to, the Coastal Development Permit filed as PA2025-0229**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

### **Public Works Department**

31. The existing wall and fence located within the beach area shall be removed.
32. Non-standard paving within the Cove Street right-of-way shall be removed and City standard paving shall be installed.

### **Fire Department**

33. A residential fire sprinkler system complying with the National Fire Protection Agency (NFPA) 13D shall be required.
34. One unobstructed minimum 36-inch passageway from the front to the rear of the property shall be required for emergency access.

**Building Division**

35. Infiltration trenches for quality shall require pre-treatment due to shallow groundwater.

# **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



Coastal Development Permit  
PA2025-0229

**2609 Cove Street**

# **Attachment No. ZA 3**

Project Plans



### Housing Crisis Act Compliance for Demolitions

Community Development Department  
Planning Division  
1100 Civic Center Drive / P.O. Box 1768 / Newport Beach, CA 92658-8915  
(949) 644-3204 Telephone / (949) 644-3229 Facsimile  
[www.newportbeachca.gov](http://www.newportbeachca.gov)

#### General Information

The Housing Crisis Act of 2019 [SB 330 (Chapter 654, Statutes of 2019) and SB 8 (Chapter 161, Statutes of 2021)] set a temporary 10-year prohibition on reducing residential density when associated with the approval of a "housing development project", beginning January 1, 2020 and concluding on January 1, 2030. A "housing development project" is defined as: a residential project of one or more units; a mixed-use project with two-thirds of the floor area designated for residential use; or a transitional or supportive housing project. In addition, existing units that are defined as "protected" under the law (see below for qualifications) must be replaced with units that have an equivalent number of bedrooms, rents affordable at the same income category as the displaced tenant(s) (or if incomes are unknown, according to the proportion of lower income renter households in the jurisdiction), and displaced tenants must be provided relocation benefits. Assembly Bill No. 1218 (Chapter 754, Statutes of 2023) also prohibits the loss of protected units associated with the approval of a non-housing development project that requires the demolition of occupied or vacant protected units. Therefore, consent with the application of any development project that involves the demolition of any residential unit(s), or the application of a non-housing development project, the property owner shall answer the questions below for Housing Crisis Act compliance.

Site Address: 2609 COVE ST. Legal Description: LOTS 5 AND 13, COM TRACT BLOCK 8-32 PARCELS NUMBER: 0209030

1) Units proposed for demolition: 1 Units proposed for construction: 1

2) Are you proposing to redevelop the site with a "housing development project"?  Yes  No

For housing development projects, reductions in density are prohibited whether or not units are deemed "protected" and a demolition permit cannot be issued.

3) If you answer yes to any of the following questions, the unit(s) are considered "protected" and must be replaced:

a. Currently, or within the last 5 years, are any of the units subject to a recorded covenant, ordinance, or law restricting rents to levels affordable to low- or very low-income households?  Yes  No

b. Currently, or within the last 5 years, are any of the units occupied by low- or very-low income households (see attachment for current income limits)?  Yes  No

If any of the units proposed for demolition meet the "protected" criteria, please provide a summary of units (i.e., apartment number, size, number of bedrooms, household size, and income level of tenant) and schedule a meeting with a planner to discuss replacement requirements. A demolition permit cannot be issued until an agreement is executed with the City guaranteeing the replacement of the protected units and tenant relocation benefits.

#### Property Owner Certification (required):

I, Richard Newman, Jr., Trustee, hereby certify that I am the property owner of the above described property. I declare under the penalty of perjury, the facts, statements and information presented in this document are true and correct to the best of my knowledge and belief.

Signature: *[Signature]* Date: 8/1/2025 Phone Number: 310-266-0880

<sup>1</sup> The City of Newport Beach does not have a local rent control ordinance. As such, the categories of "protected units" are limited to those stated above. Updated: 08/15/2024

# NEWMAN RESIDENCE

2609 COVE ST.  
NEWPORT BEACH, CA

CITY OF NEWPORT BEACH CONSTRUCTION NOTES:  
-THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER AUGUST 21, 2019 AS REQUIRED BY NBMC SECTION 15.02.095  
-PROVIDE EVIDENCE OF THE 90 DAY NOTIFICATION FOR COMPLETE DEMOLITION OR EXCAVATION TO ADJOINING PROPERTIES AS REQUIRED BY NBMC SECTION 15.02.120  
-PROVIDE A PROJECT INFORMATION SIGN FOR PROJECTS REQUIRING FENCING (NEW STRUCTURE OR ADDITION AND REMODEL TO AN EXISTING STRUCTURE WITH A COMBINED FLOOR AREA EXCEEDING SEVENTY-FIVE (75) PERCENT OF THE FLOOR AREA OF THE PROPOSED STRUCTURE) IN DESIGNATED "HIGH DENSITY AREAS". PROJECT SIGN SHALL COMPLY WITH NBMC SECTION 15.60.030.

PROJECT: **NEWMAN RESIDENCE**  
2609 COVE ST.  
NEWPORT BEACH, CA

ERIC OLSEN DESIGN  
2728 S. COMSTOCK RD. SUITE A  
CORONA DEL MAR, CA 92626  
TELEPHONE: 949.387.2698

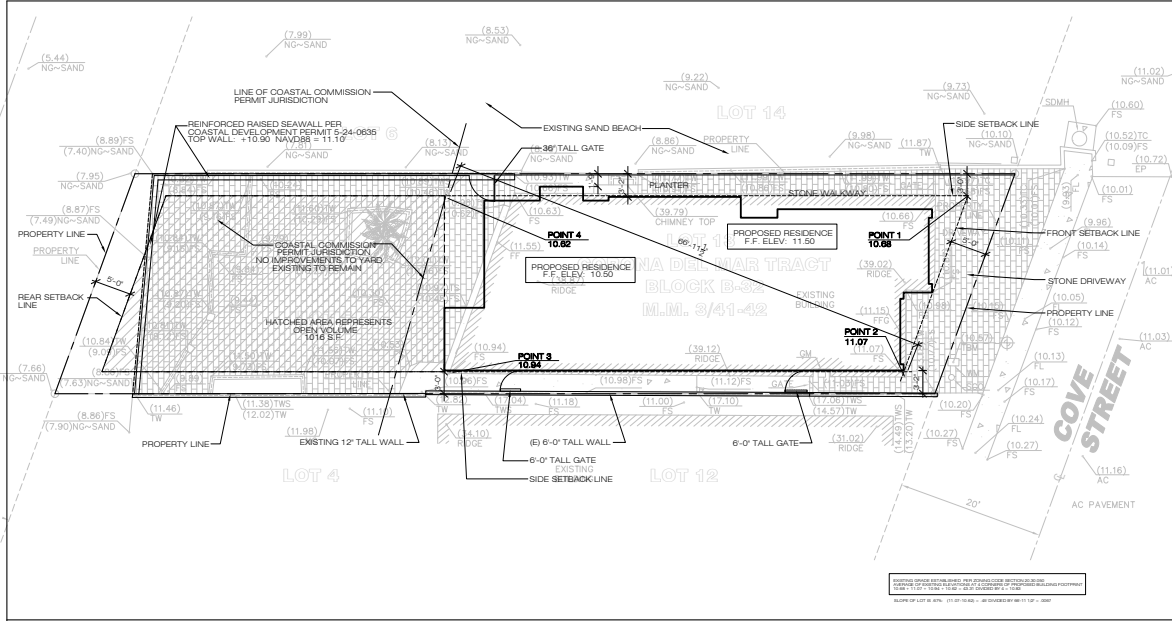
REVISION:	DATE:



DRAWING: **COVER SHEET**  
JOB NUMBER:  
DATE: 01/30/26  
DRAWN BY: E.O.  
SCALE: 1/4" = 1'-0"

DRAWING NUMBER: **C**

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GENERAL NOTES

FOR GENERAL CONSTRUCTION: ALL WORK SHALL CONFORM TO THE 2022 CBC, 2022 CEC, 2022 CFC, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS, CEC 608 AND CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE...

DEFERRED SUBMITTALS

- 1. FIRE SPRINKLER SYSTEM PER NFPA 13D IS REQUIRED THROUGHOUT INCLUDING UNDER FIRE SPRINKLER SHALL BE A DEFERRED SUBMITTAL... 2. PROVIDE A SEPARATE PERMIT APPLICATION AND DOCUMENTATION FOR AN ON-CHECK INSPECTING HVAC EQUIPMENT COMPLIERS WITH SOUND LEVELS...

LANDSCAPE NOTES

TURF AREA DOES NOT EXCEED 20% OF LANDSCAPE PLANTING AREA EXCEPT ON SLOPE AREA AND PARKWAYS LESS THAN 10% SLOPE... ADAPTED PLANTS WITH AN AVERAGE WATERSHIP PLANT FACTOR OF AT LEAST 0.4...

PROJECT DESCRIPTION

LEGAL DESCRIPTION: PARCEL NUMBER: 052-04-303 LEGAL DESCRIPTION: LOTS 5 AND 12 IN BLOCK B-32 PROPERTY MAILING ADDRESS: 2609 COVE ST, NEWPORT BEACH, CA 92625

ZONING: R-1 OCCUPANCY GROUP: R3 U

TYPE OF CONSTRUCTION: TYPE-VI, SPRINKLERED PER NFPA 13D

LOT SIZE: 9,840.4 S.F.

PROJECT DESCRIPTION: AN EXISTING RESIDENCE WILL BE DEMOLISHED AND A NEW THREE STORY SINGLE FAMILY RESIDENCE WILL BE CONSTRUCTED

PROJECT DATA: 1. SETBACK REQUIREMENTS: FRONT (COVE ST) 5'-0", FRONT (SHELL ST) 5'-0", SIDE 5'-0"

2. BUILDABLE AREA: BUILDABLE AREA (LOT AREA MINUS SETBACKS) = 2,851.2 SF

3. FLOOR AREA LIMITATION: 1.5 X BUILDABLE AREA: 2,851.2 S.F. X 1.5 = 4,276.8 S.F. MAXIMUM FLOOR AREA: FLOOR AREA PROVIDED: 3,178.5 S.F.

4. AREA OF BUILDING: FIRST FLOOR HABITABLE SPACE: 914.8 S.F., SECOND FLOOR HABITABLE SPACE: 1537.7 S.F., THIRD FLOOR HABITABLE SPACE: 426.8 S.F.

5. OPEN VOLUME AREA REQUIREMENTS: REQUIRED: 15% OF THE BUILDABLE AREA: 15 X 2,851.2 S.F. = 427.68 S.F. OPEN VOLUME AREA PROVIDED: 1,016.5 S.F.

6. THIRD FLOOR LIMITATION: 15% MAXIMUM OF THE BUILDABLE AREA: 15 X 2,851.2 S.F. = 427.68 S.F. THIRD FLOOR AREA PROVIDED: 424.5 S.F.

7. COMBINED THIRD FLOOR AREA AND COVERED DECK LIMITATION: 15% MAXIMUM OF THE BUILDABLE AREA: 15 X 2,851.2 S.F. = 427.68 S.F. THIRD FLOOR AREA AND COVERED DECK PROVIDED: 424 + 351 = 775.5 S.F.

8. REQUIRED PARKING: 2 GARAGE SPACES, 2 PROVIDED

SHEET INDEX

Table with 2 columns: SHEET INDEX and ARCHITECTURAL. Includes rows for COVER SHEET, SITE PLAN AND PROJECT NOTES, ROOF AND WINDOW SCHEDULE, etc.

STRUCTURAL

Table with 2 columns: SHEET INDEX and STRUCTURAL. Includes rows for STRUCTURAL GENERAL NOTES, FOUNDATION PLAN, etc.

CIVIL

Table with 2 columns: SHEET INDEX and CIVIL. Includes rows for GRADING COVER SHEET, SITE PLAN, etc.

LANDSCAPE

Table with 2 columns: SHEET INDEX and LANDSCAPE. Includes rows for LANDSCAPE SITE SHEET, IRRIGATION DETAILS, etc.

PROJECT TEAM

Table with 2 columns: OWNER, ARCHITECT, STRUCTURAL ENGINEER, CIVIL ENGINEER, SOILS ENGINEER. Lists names and contact information for each role.

CITY OF NEWPORT BEACH REQUIREMENTS

APPLICABLE STANDARDS: 2022 CBC, 2022 CEC, 2022 CFC, 2022 CEC, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS, CEC 608 AND CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (MBC) (MBCS)

GENERAL: 1. REINFORCED BUILDING UNDERGROUND PERMITTED ALTERNATION: ADDITION OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CLOSING AND PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CLOSING AND PLUMBING FIXTURES...

2. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR ON DEEDS...

3. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

4. A SITE SURVEY BY A LICENSED SURVEYOR SHALL BE REQUIRED PRIOR TO FOUNDATION POUR. DAMAGE RESULTING FROM THE MIN. UNOBTAINED SURVEY CLEARANCE FOR PARKING SPACES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5. UTILIZATION OF THE CITY APPROVED FENCIBLES TO BE USED AS A MINIMUM OF 6" OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE... (CALIFORNIA A 408, 4408, 4409, 4410, 4411, 4412, 4413, 4414, 4415, 4416, 4417, 4418, 4419, 4420, 4421, 4422, 4423, 4424, 4425, 4426, 4427, 4428, 4429, 4430, 4431, 4432, 4433, 4434, 4435, 4436, 4437, 4438, 4439, 4440, 4441, 4442, 4443, 4444, 4445, 4446, 4447, 4448, 4449, 4450, 4451, 4452, 4453, 4454, 4455, 4456, 4457, 4458, 4459, 4460, 4461, 4462, 4463, 4464, 4465, 4466, 4467, 4468, 4469, 4470, 4471, 4472, 4473, 4474, 4475, 4476, 4477, 4478, 4479, 4480, 4481, 4482, 4483, 4484, 4485, 4486, 4487, 4488, 4489, 4490, 4491, 4492, 4493, 4494, 4495, 4496, 4497, 4498, 4499, 4500)

6. ADVISORY NOTE: HOMEOWNERS ASSOCIATION FROM APPROVAL MAY BE REQUIRED FOR THE IMPROVEMENT. ADDITIONAL FEES ARE REQUIRED FOR SCHEDULED STRUCTURES INCLUDING BUT NOT LIMITED TO: ACCREDITED STRUCTURAL ENGINEER'S STAMP AND TRUSSES.

7. ELECTRICAL AND PLUMBING FOR EXTERIOR IMPROVEMENTS DETACHED FROM THE HOUSE IS THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION: 10. PRESTRESS PROTECTION: ADVISORY TO BUILD WAY TO BE AS FOLLOWS: TABLE 10.1: PRESTRESS PROTECTION TO BE MAINTAINED THROUGHOUT CONSTRUCTION.

Table with 3 columns: TYPE OF CONSTRUCTION, ADVISORY FROM CONSTRUCTION TO LOT USE, TYPE OF CONSTRUCTION REQUIRED. Includes rows for 0-1 DAY, 1-10 FEET, MORE THAN 1 DAY.

11. ALL EXTERIOR WALL AND FLASHER SHALL HAVE TWO LAYERS OF GEMD OVER OVER ALL WOOD BASE SHEATHING... (CBC 902.3, CBC 901.9)

12. WALL COVERINGS OF SHEATHING OR FIBRO GLASS SHEATHING SHALL BE OF GRANITE PLESTER, THE GRANITE PLESTER SHALL BE A FEET OF FULL BLENDED FINISH... (CBC 902.3, CBC 901.9)

13. SAFETY: GROUNDING SHALL BE PROVIDED AT THE FOLLOWING HAZARDOUS LOCATIONS: (CBC 902.3, CBC 901.9)

14. ALL DOORS AND OPERABLE WINDOWS SHALL BE HEIGHT LESS THAN 48" ABOVE THE RECTOR FINISHED FLOOR OR APPROVED ALTERNATE FINISHING FLOORING SAFETY FEATURE... (CBC 1016.4.2)

15. RECESSED BATHROOM: A. RECESSED BATHROOM: A RECESSED BATHROOM SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

16. CARPORT: A. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

17. CARPORT: B. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

18. CARPORT: C. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

19. CARPORT: D. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

20. CARPORT: E. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

21. CARPORT: F. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

22. CARPORT: G. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

23. CARPORT: H. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

24. CARPORT: I. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

25. CARPORT: J. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

26. CARPORT: K. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

27. CARPORT: L. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

28. CARPORT: M. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

29. CARPORT: N. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

30. CARPORT: O. CARPORT: A CARPORT SHALL BE PROVIDED WITH AN EXISTING WATER CLOSURE COORDINATE EQUIPMENT OF THE BATHROOM OR SHOWER AREA... (CBC 902.3, CBC 901.9)

PROJECT: NEWMAN RESIDENCE 2609 COVE ST, NEWPORT BEACH, CA

ERIC OLSEN DESIGN

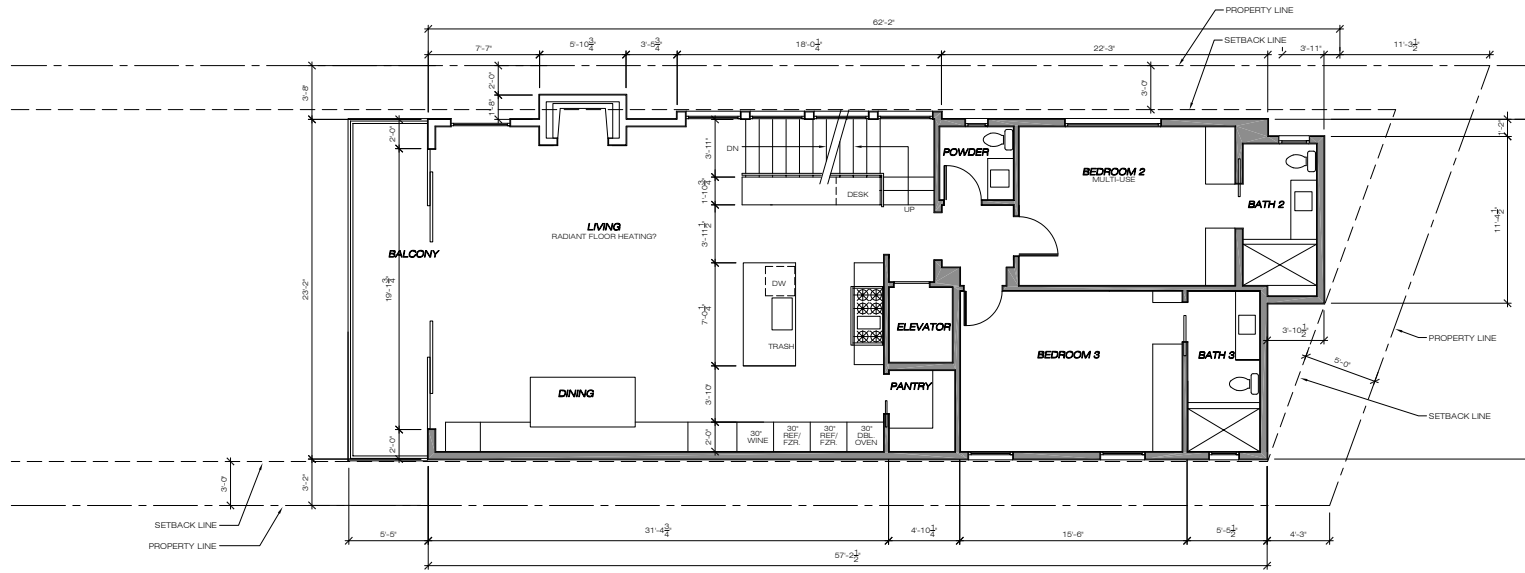
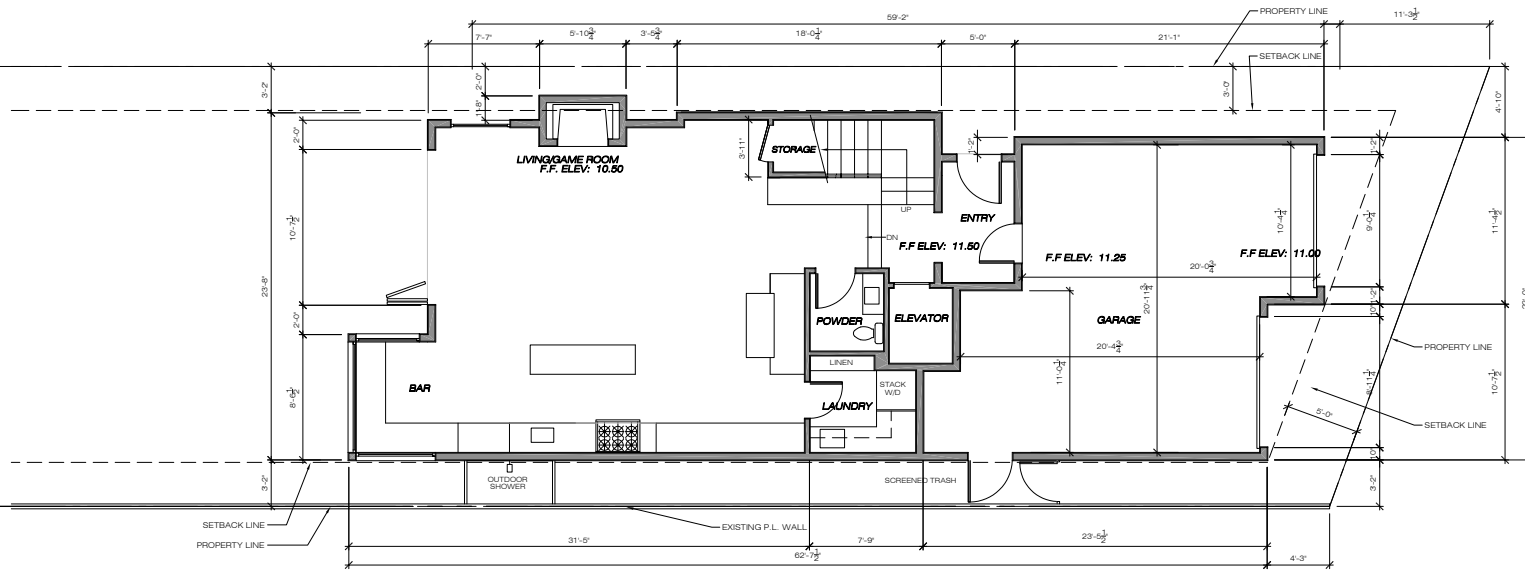
5738 E. COAST HIGHWAY, SUITE A CORONA DEL MAR, CA 92625



REVISION: DATE: DRAWING: SITE PLAN

JOB NUMBER: DRAWING NUMBER: A-1.1

DATE: 03/19/26 DRAWN BY: SCALE: 1/8" = 1'-0"



- FLOOR PLAN KEYNOTES**
- WOOD FLOORING
  - STONE FLOORING
  - CARPET
  - MASON-LITE MGFP44 GAS FIREPLACE, ICC REPORT ESR-2401 AND 221 50/CSA 2.22-2016 FOR DECORATIVE GAS APPLIANCES, MODULAR GAS FIRE FIREPLACE WITH BOLTED DOWN GAS LOG SET AND APPROVED GLASS DOORS. (CROWN-BRECKENRIDGE OR MCKENZIE-PENDELTON CLASS DOOR PER ICC ESR-2401)
  - WOOD DINING TABLE
  - SINK
  - STONE COUNTERTOP
  - WALL HUNG TOILET
  - SHOWER W/ 3/8" TEMPERED GLASS ENCLOSURE
  - DSHWASHER
  - REFRIGERATOR
  - DOUBLE OVENS
  - BUILT IN BENCH SEATING
  - TRASH PULLOUT
  - SHOWER W/ NO CURB - DEPRESS SLAB 3" - 3/8" TEMP. GLASS ENCLOSURE
  - LINEAR DRAIN
  - 48" RANGE TOP
  - TRELLIS - SEE CEILING PLAN
  - CABINETS - SEE INTERIOR ELEVATIONS
  - UNDERMOUNT TUB
  - FREESTANDING TUB
  - CLOSET CABINETS. VERIFY IF DONE BY OUTSIDE VENDOR OR CARPENTER
  - STONE HEARTH FLUSH WITH WOOD FLOOR
  - DEX-O-TEK WEATHERWEAR ROOF DECK COVERING. ICC REPORT #ESR-1757 CLASS B MINIMUM FIRE CLASSIFICATION

**FIREPLACE NOTES**

-FIREPLACE OPENING COMBUSTIBLE MATERIALS SURROUNDING THE OPENING TO BE MIN. 6" FROM OPENING MATERIAL ABOVE AND WITHIN 12" SHALL NOT PROJECT MORE THAN 1/8" FOR EACH INCH DISTANCE FROM OPENING. COMBUSTIBLE MATERIAL AT SIDES THAT PROJECT MORE THAN 1 1/2" FROM THE FACE OF THE FIREPLACE SHALL HAVE AN ADDITIONAL CLEARANCE EQUAL TO THE PROJECTION

-PROVIDE 2 INCH CLEARANCE TO FRAMING AROUND PERBOX AND CHIMNEY OR THICKNESS FROM LINING TO COMBUSTIBLES TO BE 12 INCHES.

-HEARTH THICKNESS TO BE 2 INCHES MIN.

**PLUMBING NOTES:**

-ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

**INTERIOR NOTES**

-VERIFY BASEBOARD WITH INTERIOR DESIGNER

-THERE WILL BE NO CASING AT DOORS. ALL JAMBS WILL BE CURFED WITH 3/4" OAK EDGE EXPOSED

-THERE WILL BE NO CASING AT WINDOWS. DRYWALL CURFED JAMBS, SILLS, AND HEADERS

NOTE: PLEASE REFER TO SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULE

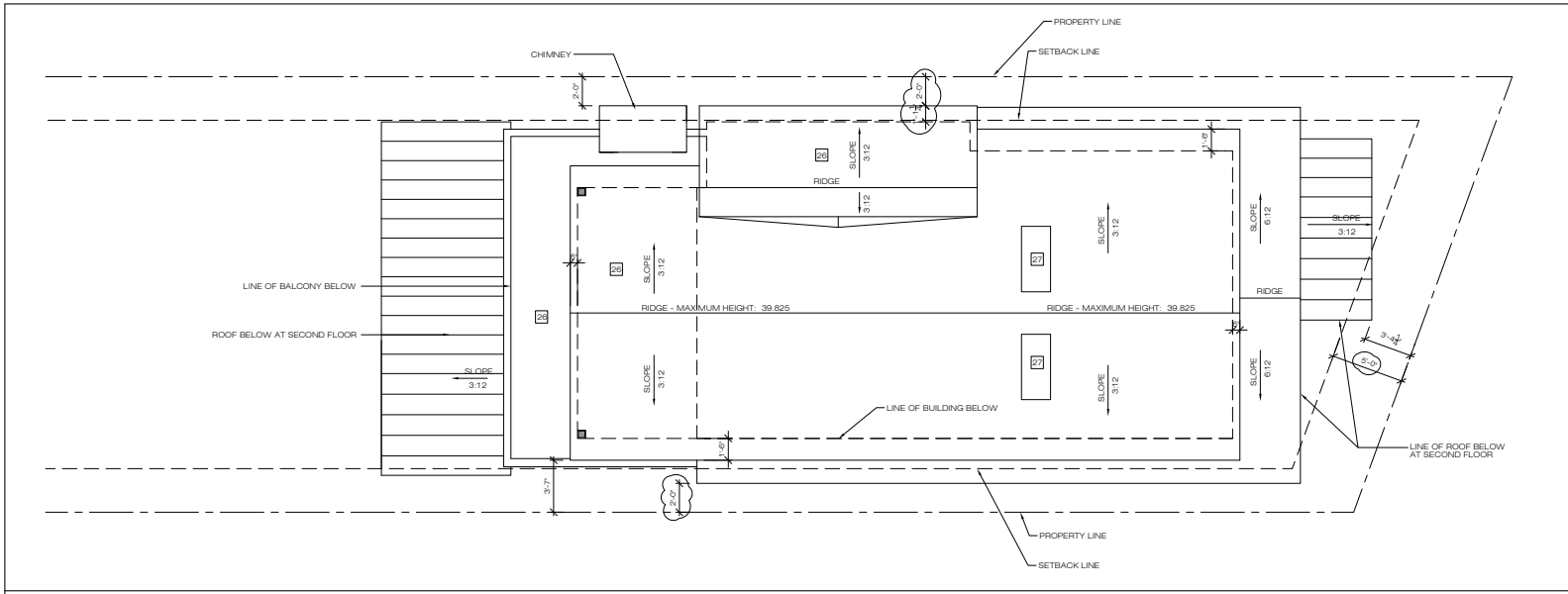
**WALL LEGEND**

NEW WALL

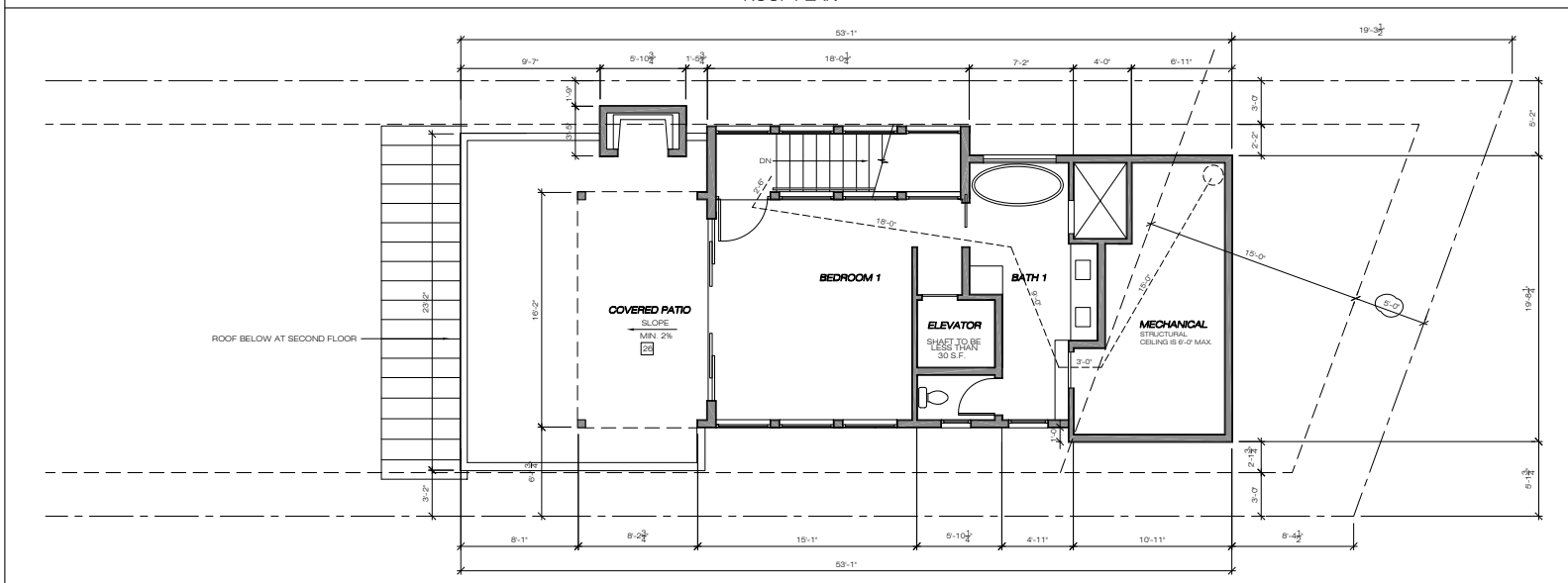
ALL EXTERIOR WALLS AND INTERIOR WALLS BETWEEN THE R-3 AND U OCCUPANCY SHALL BE 2X6 AT 16" O.C. WITH R-21 INSULATION

PROJECT: <b>NEWMAN RESIDENCE</b> 2609 COVE ST. NEWPORT BEACH, CA	ARCHITECT: <b>ERIC OLSEN DESIGN</b> 5728 E. COMST-HIGHWAY 58/1A CORONA DEL MAR, CA 92626 TELEPHONE: 949.567.8888	REVISION:	DATE:		DRAWING:	JOB NUMBER:	DRAWING NUMBER:
		FIRST AND SECOND FLOOR PLANS	DATE: 03.19.26 DRAWN BY: E.O. SCALE: 1/4" = 1'-0"		A-2.1		

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ROOF PLAN



THIRD FLOOR PLAN

FLOOR PLAN KEYNOTES

- 1 WOOD FLOORING
- 2 STONE FLOORING
- 3 CARPET
- 4 MASON-LITE MGFP44 GAS FIREPLACE - ICC REPORT ESR-2401 AND 221 SDCSA 2.22-2016 FOR DECORATIVE GAS APPLIANCES. MODULAR GAS FIRE FIREPLACE WITH BOLTED DOWN GAS LOG SET AND APPROVED GLASS DOORS. (CROWN-BRECKNIDGE OR MCKENZIE-PENDELTON GLASS DOOR PER ICC ESR-2401)
- 5 WOOD DINING TABLE
- 6 SINK
- 7 STONE COUNTERTOP
- 8 WALL HUNG TOILET
- 9 SHOWER W/ 3/8" TEMPERED GLASS ENCLOSURE
- 10 DSHWASHER
- 11 REFRIGERATOR
- 12 DOUBLE OVENS
- 13 BUILT IN BENCH SEATING
- 14 TRASH PULLOUT
- 15 SHOWER W/ NO CURB - DEPRESS SLAB 3" - 3/8" TEMP. GLASS ENCLOSURE
- 16 LINEAR DRAIN
- 17 48" RANGE TOP
- 18 TRELLIS - SEE CEILING PLAN
- 19 CABINETS - SEE INTERIOR ELEVATIONS
- 20 UNDERMOUNT TUB
- 21 FREESTANDING TUB
- 22 CLOSET CABINETS - VERIFY IF DONE BY OUTSIDE VENDOR OR CARPENTER
- 23 STONE HEARTH FLUSH WITH WOOD FLOOR
- 24 DEX-O-TEX WEATHERWEAR ROOF DECK COVERING - ICC REPORT #ESR-1757 CLASS B MINIMUM FIRE CLASSIFICATION

FIREPLACE NOTES

-FIREPLACE OPENING COMBUSTIBLE MATERIALS SURROUNDING THE OPENING TO BE MIN. 6" FROM OPENING MATERIAL ABOVE AND WITHIN 12" SHALL NOT PROJECT MORE THAN 1/8" FOR EACH INCH DISTANCE FROM OPENING. COMBUSTIBLE MATERIAL AT SIDES THAT PROJECT MORE THAN 1 1/2" FROM THE FACE OF THE FIREPLACE SHALL HAVE AN ADDITIONAL CLEARANCE EQUAL TO THE PROJECTION.

-PROVIDE 2 INCH CLEARANCE TO FRAMING AROUND FIREBOX AND CHIMNEY OR THICKNESS FROM LINING TO COMBUSTIBLES TO BE 12 INCHES.

-HEARTH THICKNESS TO BE 2 INCHES MIN.

PLUMBING NOTES:

-ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

INTERIOR NOTES

-VERIFY BASEBOARD WITH INTERIOR DESIGNER

-THERE WILL BE NO CASING AT DOORS. ALL JAMBS WILL BE CURFED WITH 3/4" OAK EDGE EXPOSED

-THERE WILL BE NO CASING AT WINDOWS. DRYWALL CURFED JAMBS, SILLS, AND HEADERS

NOTE: PLEASE REFER TO SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULE

ROOF PLAN NOTES

- 25 ROOF TO BE FIRE RETARDANT WOOD SHINGLE CLASS A ROOFING ASSEMBLY. SHINGLE OVER ONE LAYER OF 1/4" THICK DENS-DECK OVER SOLID PL WOOD SHEATHING. DENS DECK FASTENED TO SHEATHING WITH MIN. OF 4 FASTENERS PER BOARD. ICC REPORT #ESR-1410
- 26 DEX-O-TEX WEATHERWEAR ROOF DECK COVERING - ICC REPORT #ESR-1757
- 27 ABRABRIGHT CURB MOUNTED OPERABLE 2'-0" x 6'-6" SKYLITE - GRAY TEMPERED OVER LAMM WITH LOW E2. ICC REPORT #ESR-2415

WALL LEGEND

NEW WALL

ALL EXTERIOR WALLS AND INTERIOR WALLS BETWEEN THE R-3 AND U OCCUPANCY SHALL BE 2X6 AT 16" O.C. WITH R-21 INSULATION

PROJECT: **NEWMAN RESIDENCE**  
 2609 COVE ST.  
 NEWPORT BEACH, CA

**ERIC OLSEN DESIGN**  
 5758 S. COMSTOCKWAY, SUITE A  
 CORONA DEL MAR, CA 92626  
 TELEPHONE: 949.567.8888

REVISION:	DATE:



DRAWING: **THIRD FLOOR PLAN AND ROOF PLAN**

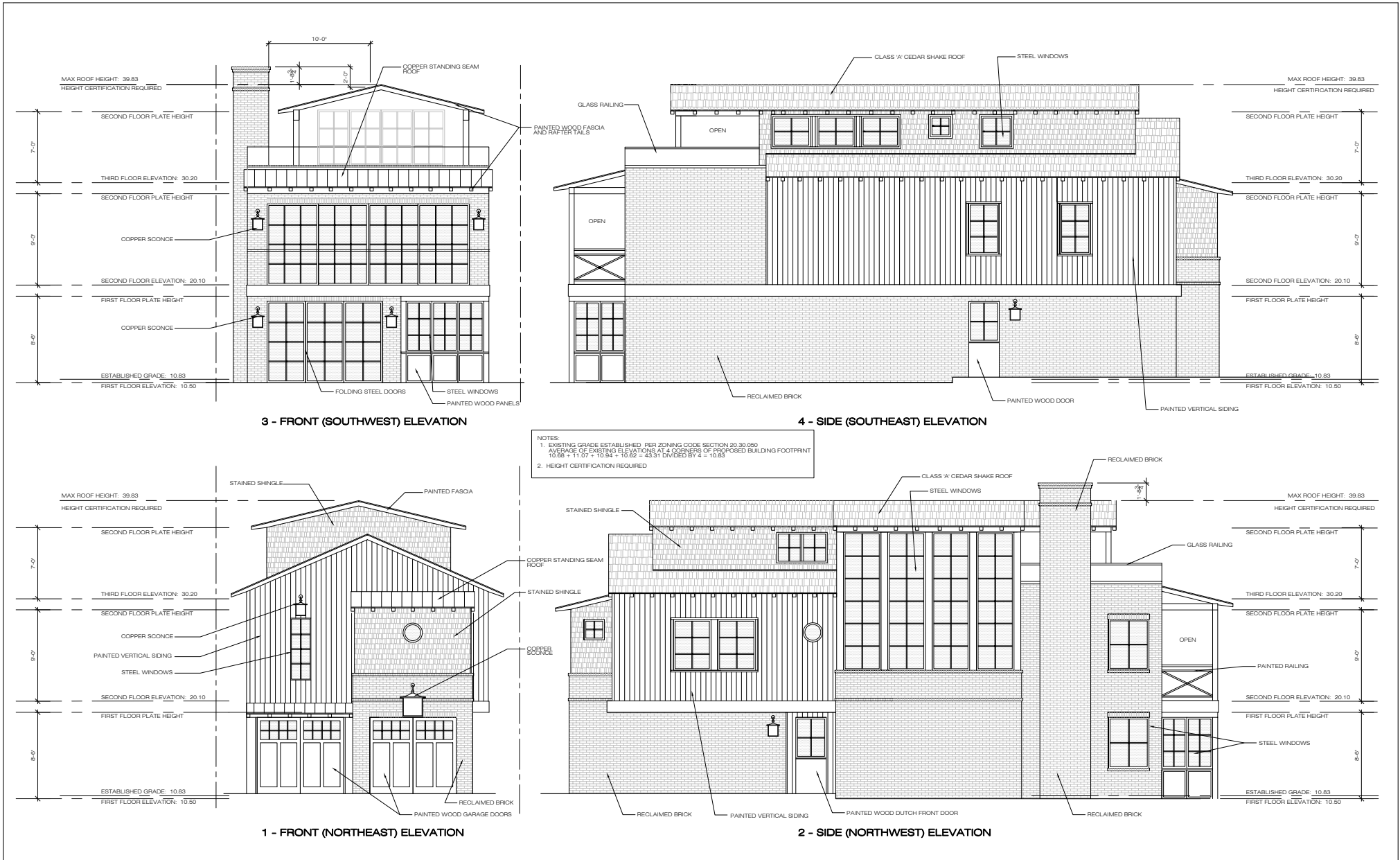
JOB NUMBER: **03.19.26**

DRAWN BY: **E.O.**

SCALE: **1/4" = 1'-0"**

DRAWING NUMBER: **A-2.2**

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PROJECT:

**NEWMAN RESIDENCE**  
2609 COVE ST.  
NEWPORT BEACH, CA

**ERIC OLSEN DESIGN**

3728 E. COMET HIGHWAY, SUITE A  
CORONA DEL MAR, CA 92626  
TELEPHONE: 949.567.8888

REVISION:

DATE:

DRAWING:



**EXTERIOR ELEVATIONS**

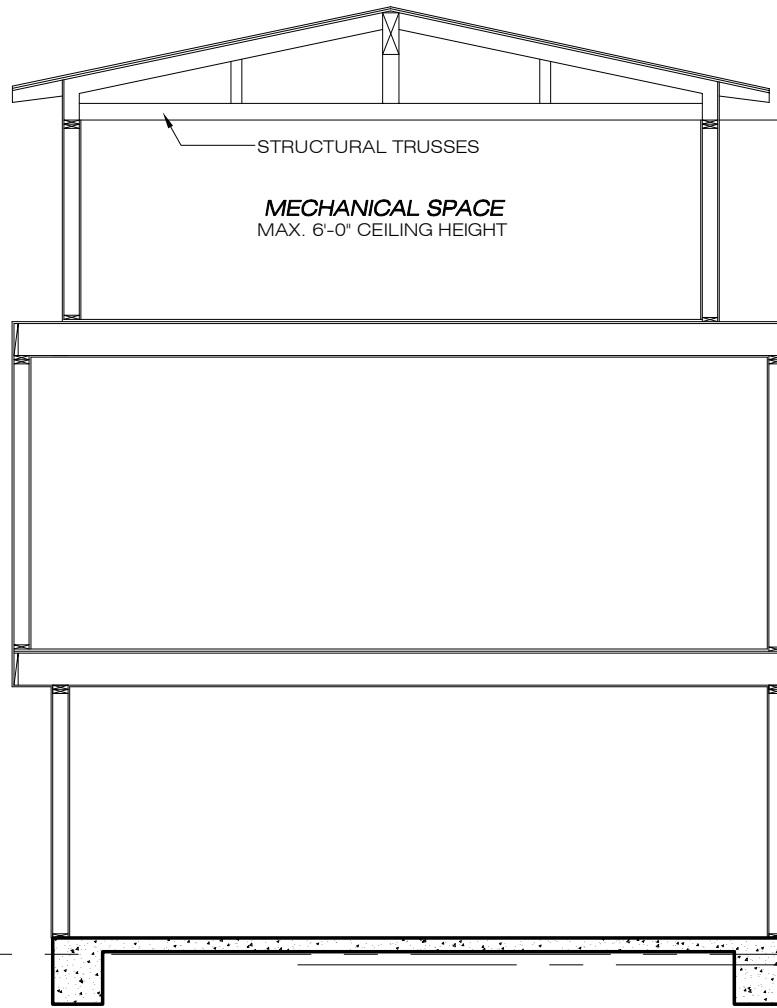
JOB NUMBER:

DRAWING NUMBER:

DATE:  
03.19.26  
DRAWN BY:  
E.O.  
SCALE:  
1/4" = 1'-0"

**A-5**

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ESTABLISHED GRADE: 10.825

THIRD FLOOR ELEVATION: 30.20

SECOND FLOOR PLATE HEIGHT

SECOND FLOOR ELEVATION: 20.10

FIRST FLOOR PLATE HEIGHT

FIRST FLOOR ELEVATION: 10.50

6'-0"

8'-10"

8'-5"

## GRADING LEGEND, SYMBOLS AND ABBREVIATIONS

=====	PROPOSED 6" STORM DRAIN LINE	FL	PROPERTY LINE
-----	PROPOSED 4" STORM DRAIN LINE	FG	FINISHED GRADE
.....	PROPOSED EARTHEN DRAINAGE SWALE	FS	FINISHED SURFACE
-----	PROPOSED CONCRETE DRAINAGE SWALE	DS	DOWNSPOUT
-----	STORM DRAIN SUMP PUMP DISCHARGE ASSEMBLY	INV	INVERT ELEVATION
-----	PROPOSED PERFORATED SUBDRAIN	TOB	TOP OF SLAB
-----	PROPOSED 4" PERFORATED PIPE	TG	TOP OF GRATE (DRAIN INLET)
-----	PROPOSED CHANNEL DRAIN	FL	FLOW LINE
□	PROPOSED SQ. GRATE DRAIN INLET	NG	NATURAL GRADE ELEV.
○	PROPOSED PLANTER DRAIN INLET	TG	TOP OF CURB
⊕	PROPOSED ROOF DOWN SPOT	TA	TOP OF WALL
■	PROPOSED 12" MAIN CATCH BASIN	TF	TOP OF FOOTING
=====	PROPOSED RETAINING WALL	FF	FINISHED FLOOR
=====	PROPOSED SITE SCREEN WALL	GFF	GARAGE FINISHED FLOOR
=====	PROPOSED SIDE PROPERTY WALL	HP	HIGH POINT
-----	PROPERTY LINE	VD	WOOD DECK

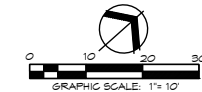
  

+	FLOW ARROW	[Pattern]	DRIVEWAY	[Pattern]	BUILDING
X	XXXX TG	[Pattern]	GRAVEL/ DG PEBBLE	[Pattern]	LAWN/TURF
X	XXXX INV	[Pattern]	POOL/ SPA/ WATER FEATURE	[Pattern]	SYNTHETIC LAWN/TURF
X	CONSTRUCTION NOTE	[Pattern]	HARDSCAPE	[Pattern]	WOOD DECK
XX	PROPOSED SPOT ELEVATION	[Pattern]	PLANTER AREA/ NATURAL GROUND	[Pattern]	PROPOSED TREE BOX LOCATION
FG	EXISTING SPOT ELEVATION				
XX %	GRADE SLOPE PERCENTAGE				

NOTE: NOT ALL SYMBOLS USED

## PUBLIC WORKS GENERAL NOTES:

- ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING.
- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER. (MUNICIPAL CODES 14.24.020 AND 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE RECONSTRUCTION WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT OF WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED FOR ANY DAMAGE OR UNMAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6.
- POOLS SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
- FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS, AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED AREA(S).



PLANS PREPARED BY:



271 ENGINEERING  
180 MATTHEW CIRCLE  
ALSO VELD, CA 94088  
TEL: (415) 325-9420

CLIENT/OWNER:

**RICK & KIT NEWMAN**

2604 Cove St. Newport Beach CA 92659  
CONTACT: ERIC GLEN, AIA  
P: (949) 501-5558

SHEET TITLE:

**PRELIMINARY GRADING & DRAINAGE PLAN**

PROJECT ADDRESS:

2604 Cove St.  
Newport Beach  
CA 92622

BENCHMARK:

ENCROACHMENT NO. 1504  
RECORDING NO. 2024-0004-10000-01-00  
APN: 052-043-03  
THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:

ERIC GLEN, CIVIL ENGINEER  
BASIS OF BEARINGS:  
LTS 8 400 12 8.00N 0-30

APN: 052-043-03

THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:



DATE:

11/18/2024

ENGINEER:

E. GLEN

CHECKER:

E. GLEN

PROJECT NO. 2424

REVISIONS:

A

A

A

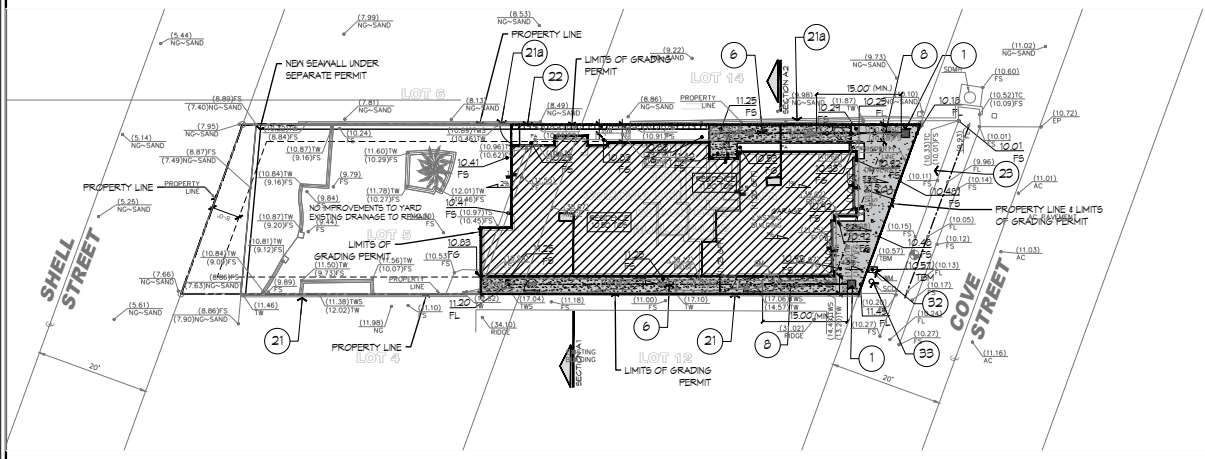
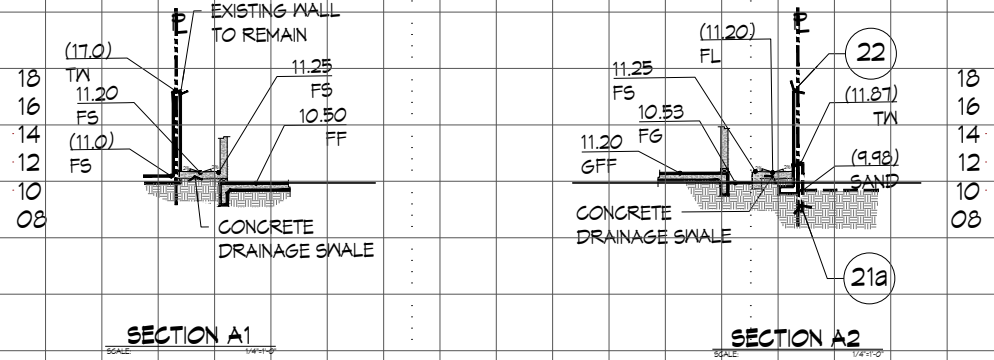
STATUS:

SUBMITTAL 2

SHEET:

CDP-01

1 of 2 SHEETS



## PRELIMINARY GRADING/DRAINAGE PLAN

SCALE: 1/4" = 1'

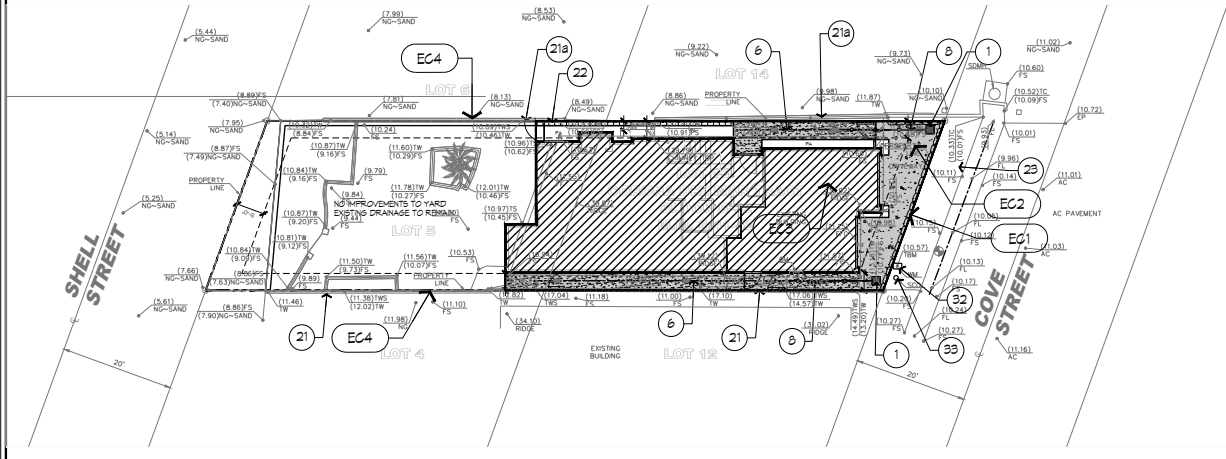
### CONSTRUCTION NOTES:

- |    |  |     |  |
|----|--|-----|--|
| 1  | INSTALL 12X12 SHALLOW CATCH BASIN-PER FLO-GARD, LOPRO, FG-M1212 OR APPROVED EQUAL. SEE DETAIL 1 ON G-03.   | 21a | REMOVE EXISTING WALL LOCATED ON THE BEACH.                           |
| 6  | CONSTRUCT 5" CONCRETE FLATWORK ON GRADE PER SOILS REPORT RECOMMENDATIONS. PROVIDE DRAINAGE SWALE ON CONCRETE FLATWORK (5-2% MIN.). SEE DETAIL 1 ON G-03.                     | 22  | CONSTRUCT NEW PROPERTY WALL PER ARCHITECTURAL PLANS.                 |
| 8  | INSTALL 4" PERFORATED SCH 40 PIPES SURROUNDED BY 1 CUBIC FEET OF CRUSHED ROCK, WRAPPED WITH GEO FABRIC PER SOILS REPORT. PIPE LENGTH=19' (MIN.). SEE DETAIL 8 ON SHEET G-03. | 23  | EXISTING COBBLESTONE PAVERS TO BE REPLACED. PER CITY DETAIL STD-162. |
| 21 | EXISTING WALL TO REMAIN. PROTECT-IN-PLACE.   | 32  | EXISTING WATER METER TO REMAIN. PROTECT-IN-PLACE.                    |
|    |  | 33  | EXISTING SEWER CLEANOUT TO REMAIN. PROTECT-IN-PLACE.                 |

**EROSION CONTROL NOTES:**

(MINIMUM BMP REQUIREMENTS FOR CONSTRUCTION ACTIVITIES FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS)

1. IN CASE OF EMERGENCY, CALL ERIC OLSEN AT PHONE # (949) 325-8420.
2. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. RUNOFF ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 2 FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE NOT TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
10. EVERY EFFORT SHALL BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. OVERSIGHTS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
15. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF QUARTER INCH OR MORE OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOGS SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL. (COPIES OF THE SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
16. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. HOME OWNER TO ROUTINELY CLEAN ALL CATCH BASINS AND DRAIN LINES OF DEBRIS.
20. ADDITIONAL BMP'S WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.



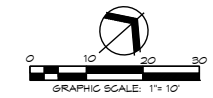
**CONSTRUCTION POLLUTION PREVENTION PLAN**

SCALE: 1"=10' BASIS OF BEARINGS: LOTS 4 AND 12, BLOCK 33

**EROSION & SEDIMENT CONTROL CONSTRUCTION NOTES:**

ALL BMP'S SHALL BE IN ACCORDANCE WITH MODEL BMP'S FROM THE CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION AT [WWW.CABMPHANDBOOKS.COM](http://WWW.CABMPHANDBOOKS.COM)

- (EC1)** CONSTRUCT GRAVEL BAG EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BAGS SHOULD BE 24" WIDE AND 10" HIGH MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEETS # SE-8.
- (EC2)** CONSTRUCT SANITARY WASTE MANAGEMENT AREA IN ACCORDANCE WITH BMP FACTS SHEETS # PM-4.
- (EC3)** CONSTRUCT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEETS # PM-1.
- (EC4)** EXISTING WALL TO REMAIN, PROTECT IN PLACE.

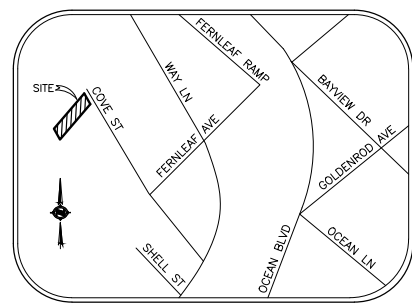


- LEGEND**
- █ BLOCK WALL
  - AC ASPHALT PAVEMENT
  - ⊕ CENTERLINE
  - EP EDGE OF PAVEMENT
  - FINISHED FLOOR
  - FFG FINISHED FLOOR GARAGE
  - FL FLOWLINE
  - FS FINISHED SURFACE
  - GM GAS METER
  - NG NATURAL GROUND
  - PC PALM TREE CLUSTER
  - SCD SEWER CLEANOUT
  - SDMH STORM DRAIN MANHOLE
  - TC TOP OF CURB
  - TS TOP OF STEP
  - TW TOP OF WALL
  - TWS TOP OF WALL STEP
  - WM WATER METER
  - ( ) EXISTING ELEVATION
  - SEARCHED, FOUND NOTHING, SET NOTHING
  - ⊕ T.B.M. TEMPORARY BENCHMARK SET ON A WATER METER (WM) ELEVATION = 10.57 FEET

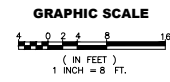
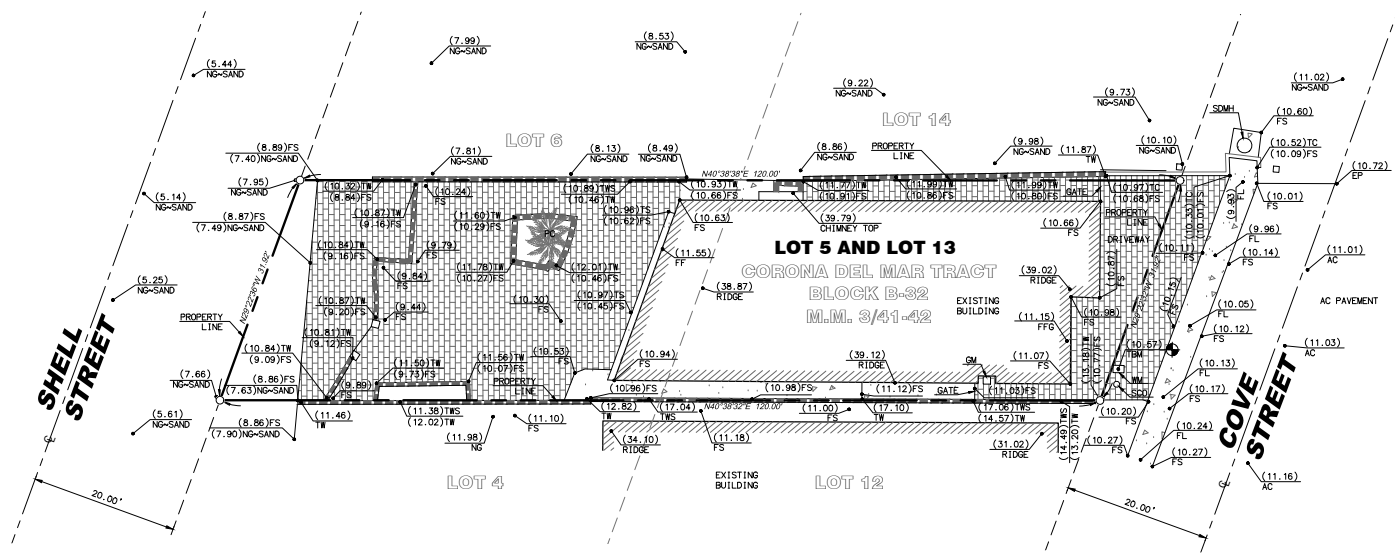
**TITLE REPORT/EASEMENT NOTES**  
 2609 COVE STREET  
 CORONA DEL MAR, CA 92625  
 (APN: 052-043-03)  
 NO TITLE REPORT PROVIDED

**LEGAL DESCRIPTION**  
 REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
 LOTS 5 AND 13 IN BLOCK B-32 OF CORONA DEL MAR TRACT, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 3, PAGES 41-42, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BENCHMARK INFORMATION**  
 BENCHMARK NO: TIDAL-1  
 RECOVERY NOTE BY OCS 2001 - FOUND 3.34" BRASS U.S. COAST AND GEODETIC SURVEY DISK STAMPED "No 1 1508" FLUSH IN SANDSTONE ROCK OUTCROPPING. MONUMENT IS LOCATED SOUTHWEST OF THE T-JUNCTION OF OCEAN BOULEVARD AND DAHLIA AVENUE, AT THE NEWPORT BAY ENTRANCE CHANNEL, 11.4 METERS (37.4 FT.) SOUTHWEST OF THE SOUTHWEST WALL OF THE WILLIAM O. KERKOFF LABORATORY, 8.1 METERS (26.6 FT.) NORTHWEST OF TIDAL BENCHMARK 2, 6.1 METERS (20 FT.) SOUTHEAST OF THE SOUTHWEST EDGE OF A SMALL PIER LEADING FROM THE WEST CORNER OF THE LAB TO THE WALL AROUND THE SOUTHWEST END OF THE LAB. THE STATION IS 2.4 METERS BELOW THE HEIGHT OF THE WALL.  
 ELEVATION: 10.190 FEET (NAV/D88), YEAR: LEVELLED 2011



**VICINITY MAP**  
NO SCALE



*Paul D. Craft*  
 PAUL D. CRAFT, P.L.S. 8516  
 LICENSE RENEWAL DATE 12/31/26  
 DATE 2/2/2026

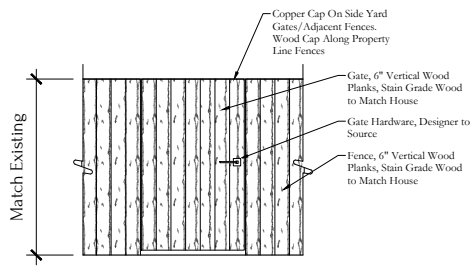
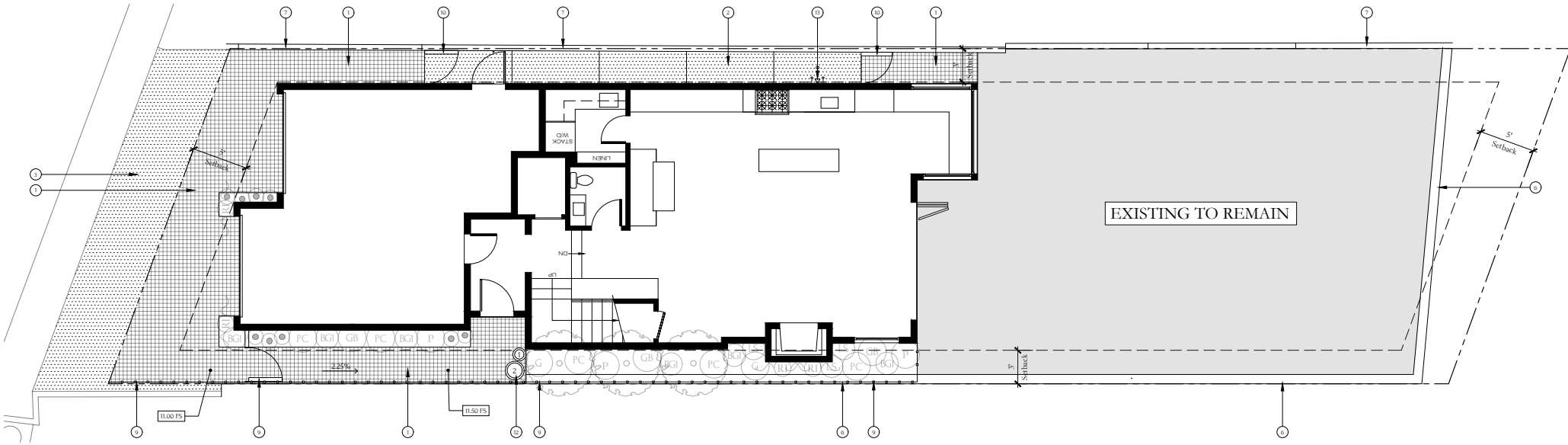


NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

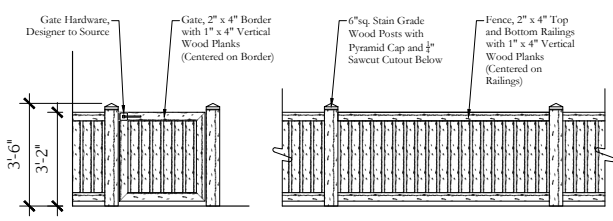
PROJECT NO.	1	OR	1
<b>TOPOGRAPHIC MAP</b> 2609 COVE STREET CORONA DEL MAR, CA 92625 (APN: 052-043-03)			
DATE	3/29/2023	SCALE	1" = 8'
DRAWN	J. A. H.	CHECKED	J. A. H.
PROJECT SURVEYOR	<b>APEX LAND SURVEYING</b> VILLA PARK, CA 92683, USA 952663 PHONE: (714) 488-9006 APEXLSIND@GMAIL.COM		
REVISIONS	DATE	APPD	P. D. C.

**HARDSCAPE LEGEND**

1. Existing Cobblestone Pavers to be Replaced
2. Smooth Sand Finish Concrete (Top Cast #3), Davis' Miami Buff
3. City Standard Concrete Paving
4. Not Used
5. Not Used
6. New Sea Wall, Per Separate Permit
7. Existing Property Line Wall to Remain
8. Not Used
9. Replace Existing Low Fence and Gate with New, See Elevation this Sheet
10. Replace Existing Side Yard Gate with New, See Elevation this Sheet
11. Not Used
12. 20" dia. Pots and 14" dia. Pots. Designer to Source. See Sheet L-2 for Plant Material
13. Outdoor Shower Fixture. Designer to Source. Contractor to Install Deck Drain



**Side Yard Gate/Fence Elevation**



**Entry Gate and Fence Elevation**



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**NEWMAN RESIDENCE**

2609 Cove St. Newport Beach, CA

**HARDSCAPE PLAN**  
 Scale 1/4"=1'-0"

Sheet L-1.0

Plot Date: 02.09.2026



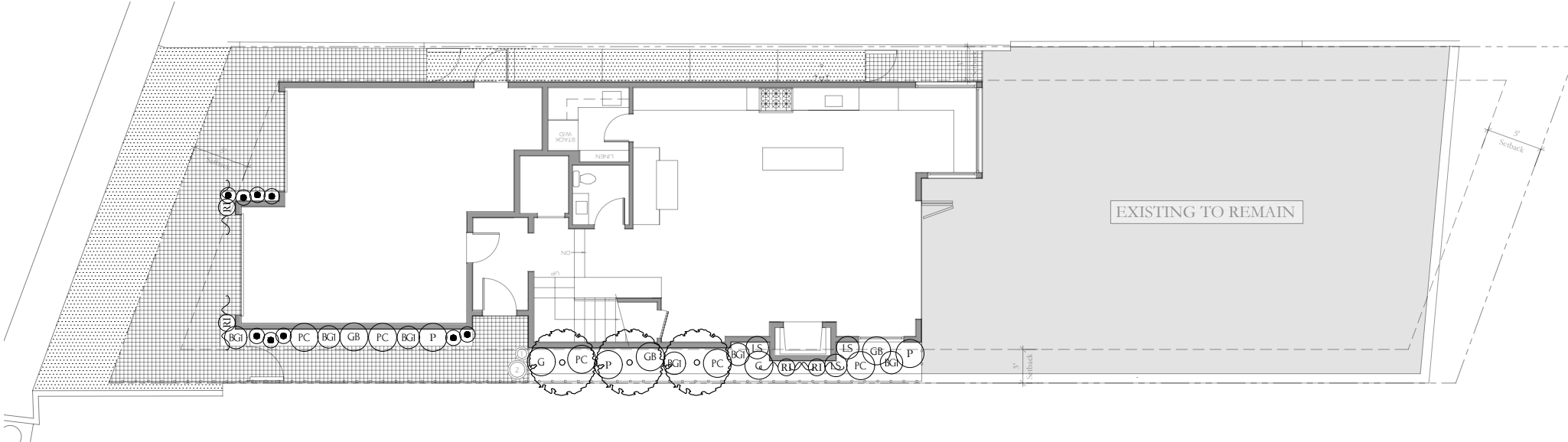
**Plant Schedule:**

Trees	Size	Quantity	Wucol	Shrubs	Size	Quantity	Wucol
Magnolia 'Little Gem' Little Gem Magnolia	24" Box (Large, Upright)	3	Moderate	G Gardenia jasminoides 'Mystery' Mystery Gardenia	5 Gal.	2	Low
<b>Vines</b>	<b>Size</b>	<b>Quantity</b>	<b>Wucol</b>	LS Lavandula stoechas Spanish Lavender	5 Gal.	3	Low
Rosa 'KORbin' Espalier Iceberg Rose Vine	15 Gal.	4	Moderate	GB Buxus microphylla 'Wintergreen' Globe Boxwood Globe	24" Dia.	6	Low
				PC Pittosporum crassifolium 'Compactum' Dwarf Karo	5 Gal.	5	Moderate
				P Pittosporum tenuifolium 'Golf Ball' Golf Ball Pittosporum	5 Gal.	3	Low
				W Rosa spp. 'Iceberg' White Iceberg Rose	5 Gal.	4	Moderate
				● Sesleria autumnalis Autumn Moor Grass	1 Gal.	9	Moderate
				GB Westringia fruticosa 'Grey Box' Dwarf Coast Rosemary	5 Gal.	3	Low

Note: Hedges and landscape in the front yard setbacks shall not exceed 42 inches from the existing grade; and shall not exceed 6 feet within the side yard setback.

**City of Newport Beach - Landscape General Notes:**

- PLANTING SCHEDULE (1 WEEK)
- 90% COVERAGE IN 90 DAYS; REPEAT AS NECESSARY
- MAINTAIN PLANTING & REPLACE AS REQUIRED TO ENSURE CONTINUES COMPLIANCE WITH LANDSCAPE PLAN
- ALL LIGHTING TO BE DOWNWARD, NOT IMPACTING ADJACENT WETLANDS.
- WATER SUPPLY FOR ALL LANDSCAPING SHALL BE PROVIDED BY EXISTING WATER SERVICE FROM CITY OF NEWPORT BEACH.
- ALL LANDSCAPE AREA SHALL HAVE SOIL WITH COMPOST RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES (UNLESS CONTRA-INDICATED BY A SOIL TEST)
- ALL PLANTS INDICATED ARE DROUGHT TOLERANT AND COMPLIANT WITH CALIFORNIA COASTAL COMMISSION REQUIREMENTS. IF SUBSTITUTES ARE PROPOSED, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVG.). WUCOLS PLAN FACTOR 0.3 FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- A MINIMUM THREE INCH (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- IRRIGATION SYSTEM
  - AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA SOURCE IS INTERRUPTED.
  - IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
  - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
  - MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
  - ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014, "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD". ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.



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**NEWMAN RESIDENCE**

2609 Cove St. Newport Beach, CA

**PLANTING PLAN**

Scale 1/4"=1'-0"

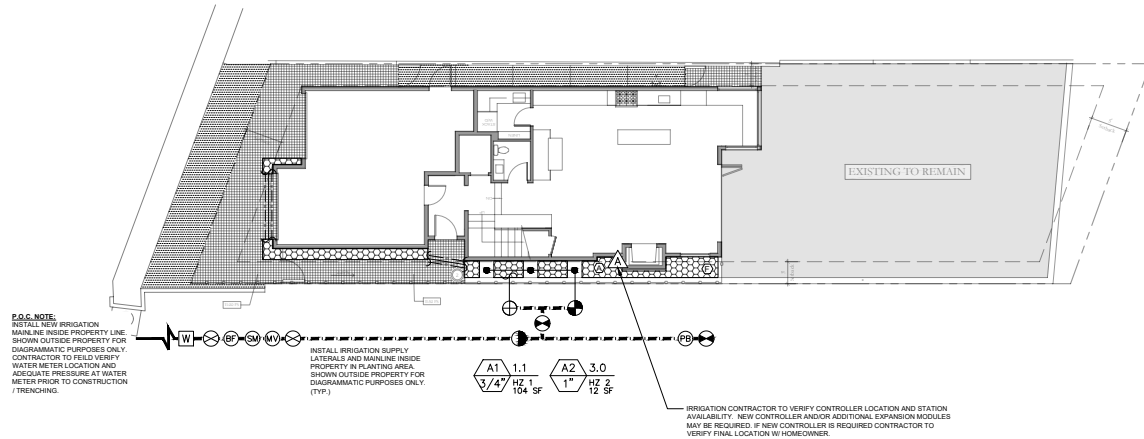
Sheet L-2.0

Plot Date: 02.09.2026

IRRIGATION LEGEND	
<b>IRRIGATION UTILITIES &amp; VALVES</b>	
	WATER METER EXISTING DOMESTIC WATER METER. CONTRACTOR TO FIELD VERIFY LOCATION AND ADEQUATE PRESSURE PRIOR TO COMMENCING IRRIGATION WORK.
	NBCO T-111 BRASS GATE VALVE. LINE SIZE ASSEMBLY WITH AUSTENITIC STAINLESS STEEL HARDWARE. INSTALL IN A 10" ROUND VALVE BOX.
	LASCO SLO-CLOSE SERIES BALL VALVE. SIZE PER LINE.
	HUNTER PVG-151G - REMOTE CONTROL VALVE WITH FLOW CONTROL
	HUNTER BTT - BATTERY OPERATED REMOTE CONTROL VALVE
	HUNTER HC-100-FLOW SUB METER AND FLOW SENSOR
	HUNTER BW-151G-FS BRASS MASTER VALVE, NORMALLY CLOSED
	FEBCO 765 1" PVB BACKFLOW PREVENTOR
	HUNTER HEAVY DUTY HOSE BIB PER CONTRACTOR
	HUNTER SPARE WIRE PULL BOX - CONTRACTOR TO ADD (3) SPARE WIRE
<b>IRRIGATION CONTROLLER</b>	
	IRRIGATION CONTROLLER HUNTER HPC (HYBRID WISE PRO-C) CONTROLLER. CONTRACTOR TO VERIFY FINAL LOCATION W/ OWNER.
NO SYMBOL	HUNTER INSTALL WIRELESS RAIN/CLIM AND CONNECT TO CONTROLLER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
<b>IRRIGATION PIPING</b>	
	AS APPROVED NON-PRESSURE LATERAL SCH 40 PVC WITH SCHEDULE 40 FITTINGS UP TO 1/2" - BURY MIN. 12" BELOW GRADE (SIZE AS NOTED ON PLAN).
	AS APPROVED NON-PRESSURE UVR LATERAL SCH 40 PVC WITH SCHEDULE 40 FITTINGS UP TO 1/2" - ON GRADE, PROVIDE PIPE STABILIZERS 10' O.C. (SIZE AS NOTED ON PLAN).
	AS APPROVED IRRIGATION PRESSURE MAINLINE SCH 40 PVC 1" TO 1 1/2" CLASS 315 PVC 2" AND LARGER - BURY MIN. 18" BELOW GRADE. WITH SCHEDULE 80 FITTINGS.
	AS APPROVED STEEL SLEEVE FOR PIPE AND WIRE BUNDLE (SEPARATELY) - EXTEND 12" BEYOND PAVING EDGE & PLACE BELOW ALL HARDSCAPE. TWICE THE SIZE OF LATERAL.

SUB-SURFACE DRIP IRRIGATION	
	HUNTER PCZ-075. 7" IN-LINE REMOTE CONTROL VALVES FILTER SYSTEM.
	HUNTER - ECO WRAP (0.6 GPM WITH 18" SPACED EMITTERS) SUB-SURFACE DRIPLINE TUBING 0.6 GPM EMITTERS AT 18" ON CENTER SPACING- ALL TUBING SHALL BE INSTALLED 4" MINIMUM BELOW FINISHED SOIL GRADE. W/ 1/2" WIRE STAKES FIVE (5) FEET ON CENTER. VERIFY THE LAYOUT AND 18" MIN. ON CENTER SPACING IN THE FIELD PRIOR TO STARTING WORK. INSTALL SUB-SURFACE DRIP IRRIGATION SYSTEM per MANUFACTURER'S SPECIFICATIONS. USE HUNTER FITTINGS FOR CONNECTION BETWEEN PVC LATERAL LINES AND DRIPPERLINE TUBING.
	AS APPROVED NON-PRESSURE LATERAL SCH. 40 SUPPLY LATERAL. <b>NOTE:</b> EXHAUST LATERALS NOT SHOWN.
	NETAFIM DRIPLINE AUTOMATIC LINE FLUSH VALVE. - PROVIDE SCH 40 SOLVENT. WELD BALL VALVE FOR FLUSH OFF OF PCV EXHAUST MANIFOLD PIPE. INSTALL FLUSH VALVE INSIDE 6" ROUND VALVE BOX. ONE AT THE END OF ANY DRIPLINE LATERAL or PVC EXHAUST HEADER. MULTIPLE FLUSH VALVES MAY BE REQUIRED WITHIN DRIPLINE LAYOUT. ALWAYS INSTALL VALVES IN OPPOSITE DIRECTIONS OF THE PVC/DRIP CONNECTION MANIFOLD.
	HUNTER PLD-ARV-075 AIR/VACUUM RELIEF VALVE INSTALLED WITH COMBINATION TEE AND A 3/4" x 1/2" REDUCER BUSHING. INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER. MIN. 1 ARV PER 500' OF DISTRIBUTION TUBING. USING AIR RELIEF LATERAL. CONNECT AIR RELIEF VALVE TO ALL DRIPPERLINE LATERALS WITHIN THE ELEVATED AREA. MULTIPLE ARVS SHALL BE REQUIRED PER ROW WITHIN UNDULATING AREAS. VERIFY QUANTITY PRIOR TO STARTING WORK. FLUSH VALVES and AIR RELIEF VALVES SHOWN DIAGRAMMATICALLY. INSTALL EMITTER BOX. RAINBIRD-SEB-PXB 18" MIN. FROM PAVING/WALLS AND AT HIGH POINTS OF PLANTER AREA.
<b>VALVE KEY</b>	
	VAL.# GPM SIZE Hydrozone Area
<b>IRRIGATION MISCELLANEOUS EQUIPMENT</b>	
NO SYMBOL	AS APPROVED IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)
NO SYMBOL	SPEARS DS-400 PRE-FILLED WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS
NO SYMBOL	3M DBY DIRECT BURIAL WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS

SPRAY AND BUBBLER IRRIGATION	
NO SYMBOL	HUNTER INSTALL ALL NOZZLES AND BUBBLERS LISTED BELOW ON PRO-6-PRS-64-CV FOR TURF AREAS AND PRO-12-PRS-64-CV FOR SHRUB AREAS. USE PCS SCREENS FOR HEADS WITH OVERSPRAY ONTO HARDSCAPE. ALL HEADS ON LOWEST POINTS OF ZONES TO BE INSTALLED WITH HUNTER HCV CHECK VALVES. PCB BUBBLERS - 1' to 2' RADIUS (0.5 GPM). INSTALL (1) BUBBLERS PER POT PCB BUBBLERS - 2' to 4' RADIUS (0.5 GPM). INSTALL (2) BUBBLERS PER TREE PCB BUBBLERS - 4' to 8' RADIUS (0.5 GPM). INSTALL (1) BUBBLERS PER VINE
	HUNTER MP800 (Adjustable Nozzle) - 6' to 12' RADIUS (GPMs = Q 0.23 / H 0.42 / F 0.78), 0.8 INHR
	HUNTER MP1000 (Adjustable Nozzle) - 8' to 15' RADIUS (GPMs = Q 0.21 / H 0.42 / F 0.84), 0.41 INHR
	HUNTER MP2000 (Adjustable Nozzle) - 13' to 21' RADIUS (GPMs = Q 0.43 / H 0.77 / F 1.48), 0.45 INHR
	HUNTER MPCORNER - 5X15 PATTERN (0.22GPM) 0.45 INHR
<b>REFERENCE NOTES</b>	
FOR IRRIGATION CALCULATIONS & NOTES SEE SHEET L-3.1 FOR IRRIGATION DETAILS SEE SHEETS L-3.2 & L-3.3	



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# NEWMAN RESIDENCE

2609 Cove St. Newport Beach, CA

## IRRIGATION PLAN

Scale 1/8"=1'-0"

Sheet L-3.0

Plot Date: 02.09.2026

**GENERAL NOTES**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN ORIGINAL SET OF THESE PRINTED IRRIGATION PLANS FOR BIDDING AND CONSTRUCTION. COPIES OF THESE PLANS ARE NOT ALLOWED FOR BIDDING AND CONSTRUCTION AS THEY MAY NOT SHOW IRRIGATION NUMBERS, LINE WEIGHTS, OR LINE TYPES CLEARLY.
- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, PROPERTY LINES, DIMENSIONS AND THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WOULD MAKE THESE PLANS BEING PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEMAND NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTION DEVICE AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONTACT CONTROLLER BEFORE COMMENCING WORK.
- CONTRACTOR IS TO PROVIDE TWO ADDITIONAL CONTROL WIRES AND ONE ADDITIONAL VOMADON'S WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE. CARRIED SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLERS TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLERS TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLERS WITHIN 18" OF HORSERACE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERTSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIPES OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIIUS UNITS, AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARCS UNITS.
- THE CONTRACTOR SHALL USE (U.L. APPROVED GROUND RODS) AND/OR (GROUND PLATES) WITH GALVANIZED ONE-SHOT CONNECTION PROCESS FOR CONNECTING THE CONDUCTOR WIRE TO THE RODS AND/OR PLATES. THE NUMBER OF RODS OR PLATES SHALL DEPEND ON THE CONDUCTIVITY OF THE IMMEDIATE SOIL SURROUNDING THE RODS) AND/OR PLATES). MAXIMUM GROUND RESISTANCE SHALL BE PER CONTROLLER MANUFACTURERS SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO IRRIGATION LEGEND FOR CONTROLLER TYPE, FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC. SHALL BE COMBINED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- MAINLINE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE WITHIN PLANTER, A MINIMUM OF 18" OFF ADJACENT HANDSAP, AND OTHER OBSTACLES ETC.
- CONTRACTOR SHALL PAINT ALL EXPOSED PVC PIPE WHICH IS ON-GRADE TO REDUCE VISIBILITY TO THE PUBLIC EYE AND IMPROVE THE AESTHETICS OF THE NATURAL ENVIRONMENT. PAINT SHALL BE AN OUTDOOR PAINT RESISTANT TO SUN EXPOSURE. CONTRACTOR SHALL CONFIRM PAINT COLOR AND TYPE WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. CONTRACTOR SHALL ADD SPRINKLER HEADS AS REQUIRED TO ACHIEVE 100% COVERAGE IN ALL AREAS THAT REQUIRE ADJUSTING. ADDITIONAL HEADS SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE CONTRACTOR. VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- LATERAL LINES MAY BE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER. CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- REMOTE CONTROL VALVES AND ISOLATION VALVE LOCATIONS ON THIS DRAWING ARE APPROXIMATE. THE LANDSCAPE CONTRACTOR SHALL STAKE OUT EACH ELECTRICAL CONTROL VALVE AND ISOLATION VALVE LOCATION FOR REVIEW AND APPROVAL BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF ALL VALVES. FINAL LOCATION AND EXACT POSITIONING FOR ELECTRIC CONTROL VALVES AND ISOLATION VALVES SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. MINOR MODIFICATIONS OF REMOTE CONTROL VALVES AND ISOLATION VALVE LOCATIONS AS REQUESTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT. FAILURE TO OBTAIN OWNER'S APPROVAL PRIOR TO THE INSTALLATION SHALL CAUSE THE CONTRACTOR TO MAKE PROJECT DIRECTED REVISIONS AT NO ADDITIONAL COST TO THE OWNER. IN GENERAL, UNLESS OTHERWISE DIRECTED BY OWNER, ALL VALVES SHALL BE INSTALLED WITHIN THREE FEET FROM EDGE OF HORSERACE, WALL OR CURB IN SHRUB PLANTING AREAS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS IS RECOMMEND.

**IRRIGATION SCHEDULE & WATER MANAGEMENT**

- THE IRRIGATION SCHEDULES WILL BE BASED UPON HISTORICAL ET0 DATA AND WILL BE ASSISTED WITH THE USE OF A CERTIFIED SMART IRRIGATION CONTROLLER. SEE LEGEND. THE SCHEDULE WILL SERVE AS A BASE AND THE LANDSCAPE MAINTENANCE CONTRACTOR IN CONTRACT WITH THE PRIVATE OWNER SHALL BE RESPONSIBLE FOR ADJUSTING FOR ABNORMAL CLIMATES, MICROCLIMATES, ETC.
- AFTER INSTALLATION THE CONTRACTOR SHALL BE REQUIRED TO HAVE A CERTIFIED LANDSCAPE IRRIGATION AUDITOR PERFORM AN AUDIT TO DETERMINE THE ACTUAL EFFICIENCY OF THE INSTALLED SYSTEM. THE PER STATION RUN-TIMES WILL BE DIRECTLY PROPORTIONAL TO THE EFFICIENCY OF THE IRRIGATION SYSTEM OF EACH VALVE. THE ACTUAL RUN-TIMES SHALL BE DETERMINED AFTER THE AUDIT BUT PRIOR TO TURNING THE PROJECT OVER TO LONG TERM MAINTENANCE. RESULTS OF THE IRRIGATION AUDIT SHALL BE DISTRIBUTED TO THE OWNER, ARCHITECT, AND LANDSCAPE ARCHITECT FOR THEIR RECORDS.
- THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL STRIVE FOR MAXIMIZING PLANT HEALTH AND AESTHETICS WHILE MINIMIZING WATER USE. IF IT IS APPARENT THAT THE BASE SCHEDULES SUPPLY MORE OR LESS WATER THAN NECESSARY TO SUSTAIN PLANT VIABILITY, THE CONTRACTOR SHALL CONTACT THE MAINTENANCE PERSONNEL HANDLING THE LANDSCAPE AREA IMMEDIATELY AND ASK FOR THE VALVES TO BE ADJUSTED ACCORDINGLY.
- THE RUN-TIMES WILL BE CHANGED ACCORDING TO THE MONTH OF THE YEAR. IT WILL BE THE RESPONSIBILITY OF THE PRIVATE OWNER & LANDSCAPE CONTRACTOR TO ADJUST THE RUN-TIMES AS PER THE SCHEDULE, AND SHALL BE RESPONSIBLE OF DETERMINING THE NUMBER OF DAYS BETWEEN CYCLES BASED UPON SOIL CONDITIONS ON SITE.
- THE CONTRACTOR SHALL NOT ALLOW ANY WATER TO RUN-OFF OR COLLECT ABOVE GRADE DURING AN IRRIGATION CYCLE. THE CONTRACTOR SHALL CONDUCT THE NECESSARY REPEAT CYCLES TO ELIMINATE ANY RUN-OFF OR POOLING OF WATER.
- ALL IRRIGATION SHALL BE DONE DURING THE HOURS OF 5:00 PM TO 9:00 AM PER THE LOCAL WATER DISTRICT AND/OR THE CITY RULES AND REGULATIONS.
- THE IRRIGATION SYSTEM WILL UTILIZE POTABLE WATER FOR IRRIGATION AND ALL RULES AND REGULATIONS SET BY THE WATER DISTRICT AND/OR THE CITY FOR IRRIGATION WATER USE SHALL APPLY TO THE WATER MANAGEMENT.

**GENERAL IRRIGATION NOTES**

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECTED DEVICES. THIS IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A PRESSURE OF 66-69 PSI. IF THE WATER PRESSURE VARIES BY MORE THAN 20% THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT ON HOW TO PROCEED.

CHECK VALVES OR ANTI-BACKFLOW VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COLLIS OCCUR.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

CONTROL OF IRRIGATION WATER IS A NECESSARY PART OF SITE MAINTENANCE. SOGGY GROUND AND FENCED WATER MAY RESULT IF IRRIGATION WATER IS EXCESSIVELY APPLIED. IRRIGATION SYSTEMS SHOULD BE ADJUSTED TO PROVIDE THE MINIMUM WATER NEEDED. ADJUSTMENTS SHOULD BE MADE FOR CHANGES IN CLIMATE AND RAINFALL.

SLEEVES ARE REQUIRED FOR ALL IRRIGATION PIPING INSTALLED UNDER OR THROUGH PAVING. RETAINING WALLS, KEYS TO IRRIGATION SLEEVING SHOWN ON DETAILS SHEET. IT IS RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, FOOTINGS AND COORDINATE THIS WORK WITH OTHER TRADES.

ALL PRIVATE IRRIGATION SPRINKLER HEADS SHALL BE INSTALLED AND POSITIONED IN A MANNER THAT WILL NOT CAUSE IRRIGATION OVERTSPRAY ONTO THE PUBLIC RIGHT-OF-WAY.



**Exhibit B – Prescriptive Compliance Option Checklist/Submittal Requirements**

**Applicability:**

- New or rehabilitated projects landscape projects (including new single-family, multifamily, public, institutional or commercial projects) with an aggregate landscape area equal to or greater than five hundred (500) square feet but less than 2,500 square feet.
- Graywater or rainwater on-site capture with less than 2,500 sq. ft. of landscape area

Preparation by a Licensed Professional is not required for the Prescriptive Compliance Option. Refer to the **Landscape Design Standards (Appendix H)** for comprehensive information about submittal requirements and copies of the appendices referenced below.

**Prescriptive Compliance Submittal Requirements:** Sheet #  
(All submittal items must be inserted into the plan set):

- Project information:** Date, project name, project address and/or lot number(s), total landscape area (square feet), project type, water supply type, contact information for the project applicant and property owner. **L-3.1**
- Written notes/confirmation that:** Turf area does not exceed 25% of landscape planting area (prohibited on slope areas and parkways less than 10 feet wide) 75% of landscape area must be planted with climate adapted plants with an average WUCOLS plant factor of 0.3 Compost at a rate of four cubic yards per 1,000 square feet to a depth of six inches 3-inch mulch layer applied to all planting areas (excluding turf areas) Automatic irrigation controllers will use evapotranspiration or soil moisture sensor data and will have manual shut-off valves **L-3.1**
- Written statement:** "I agree to comply with the requirements of the prescriptive compliance option to the MWEL0." **L-3.1**

**Certification of Completion Package (Prior to final):**

- Landscape Installation Certificate of Completion (**Appendix E**)
- Irrigation audit report (**Appendix G**) or enrollment in a regional or local water suppliers water conservation program
- Post installation irrigation schedule and landscape/irrigation maintenance schedule

Project: 2009 Cove Street, Newport Beach, CA

Rev: 02.09.2024

**PROJECT INFORMATION**

Date: 02.09.2024  
Project Name: Newman Residence  
Project Address: 2609 Cove Street, Newport Beach, CA  
Total Landscape Area: 116 S.F.  
Project Type: New Construction  
Water Supply Type: Potable

Contact Information  
Cedar Society Inc. - Spencer Lujan  
spencer@cedarsocietystudio.com  
949.903.4771

Property Owner - Rick Newman  
ricknewman@gmail.com

**WRITTEN STATEMENT**

I agree to comply with the requirements of the prescriptive compliance option to the MWEL0.

**IRRIGATION NOTES**

Turf area does not exceed 25% of landscape planting area (prohibited on slope areas and parkways less than 10 feet wide)  
75% of landscape area must be planted with climate adapted plants with an average WUCOLS plant factor of 0.3  
Compost at a rate of four cubic yards per 1,000 square feet to a depth of six inches  
3-inch mulch layer applied to all planting areas (excluding turf areas)  
Automatic irrigation controllers will use evapotranspiration or soil moisture sensor data and will have manual shut-off valves

IRRIGATION CONTROLLER SCHEDULE													
CLM.S. STATION: NEWPORT BEACH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	ANNUAL TOTAL
ET0 DATA: MONTHLY	2.6	2.5	3.5	4.2	5.0	4.7	5.3	5.3	4.5	3.3	2.5	2.0	= 45.4

WATER EFFICIENT LANDSCAPE WORKSHEET									
Reference Evapotranspiration (ET0): 45.4	Landscape Area Sector Type							<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Non-Residential
	HYDROZONE	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PFIE)	LANDSCAPE AREA	ETAF x AREA	ETWU	
	HZ 1	0.4	SHRUB DRIP	81%	.49	104	51	1,438	
	HZ 2	0.4	TREE/VINE DRIP	81%	.49	12	6	169	
					<b>AVERAGE</b>	<b>TOTAL</b>	<b>TOTAL</b>		
					.49	116	57		
Special Landscape Area:	Average ETAF for Regular Landscape Areas (below 0.55):							<input type="checkbox"/> In Compliance	<input type="checkbox"/> Not In Compliance
SLA 1					-	-	-	-	
	<b>TOTALS</b>								
<b>MAWA = (Eto) x (0.62) x ((ETAF x LA)+(1 - ETAF) x SLA)</b>	<b>ETWU = (Eto) x (0.62) x (ETAF x Area)</b>							<b>Total Landscape Area</b> 116	
<b>MAWA = (45.4) x (0.62) x ((.55 x 116)+(1 - .55) x 0)</b>								<b>Site Wide ETAF</b> .49	
<b>MAWA = 1,795</b>								<b>ETWU Total</b> 1,607	
								<b>Maximum Allowed Water Allowance (MAWA)</b> 1,795	



Drawn By: Spencer Lujan  
Email: spencer@cedarsocietystudio.com  
Phone: 949.903.4771  
Address: PO15091, Newport Beach, CA 92659

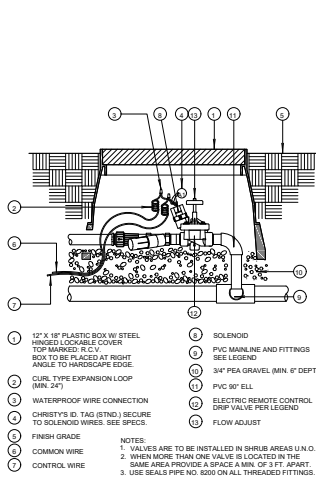
**NEWMAN RESIDENCE**

2609 Cove St. Newport Beach, CA

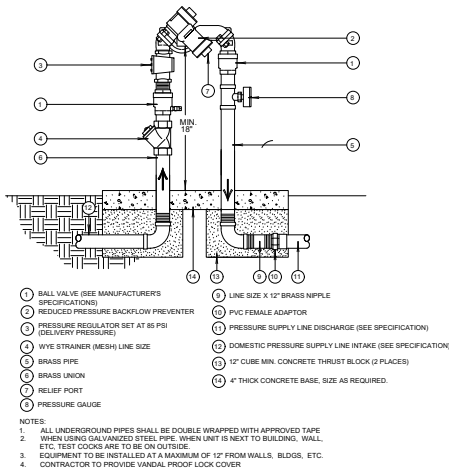
**IRRIGATION CALCULATIONS & NOTES**

Sheet L-3.1

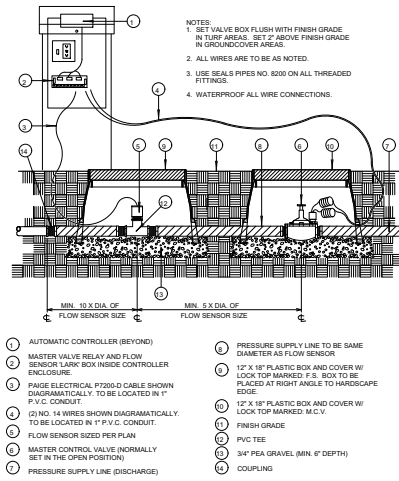
Plot Date: 02.09.2024



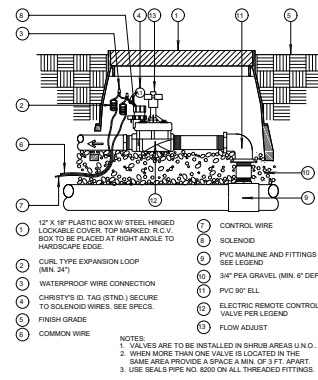
**DRIP VALVE DETAIL** SCALE N.T.S. **6**



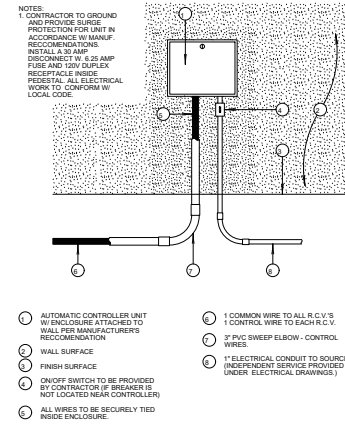
**BACKFLOW PREVENTER DETAIL** SCALE N.T.S. **7**



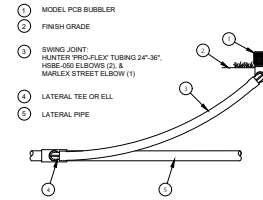
**MASTER VALVE & FLOW SENSOR DETAIL** SCALE N.T.S. **4**



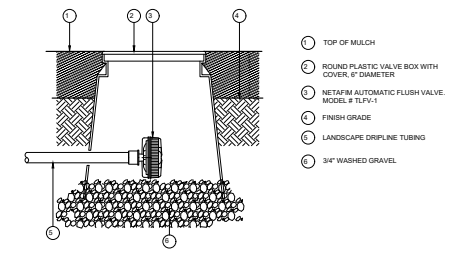
**REMOTE CONTROL VALVE DETAIL** SCALE N.T.S. **5**



**CONTROLLER DETAIL** SCALE N.T.S. **1**



**TREE BUBBLER ASSEMBLY DETAIL** SCALE N.T.S. **2**



**FLUSH VALVE DETAIL** SCALE N.T.S. **3**



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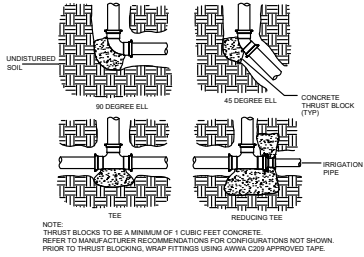
**NEWMAN RESIDENCE**

2609 Cove St. Newport Beach, CA

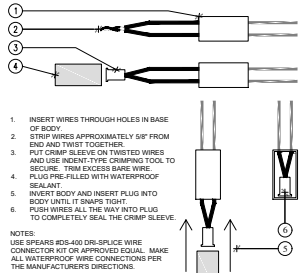
**IRRIGATION DETAILS**

Sheet L-3.2

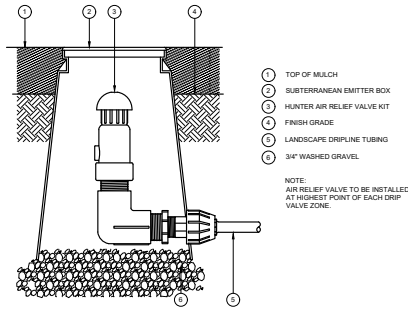
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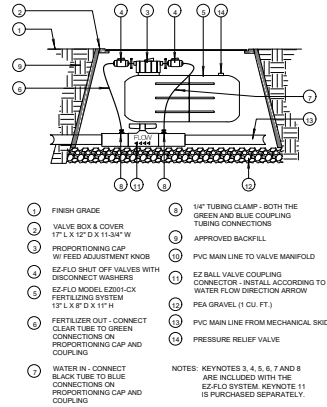
THRUST BLOCKS DETAIL SCALE N.T.S. 14



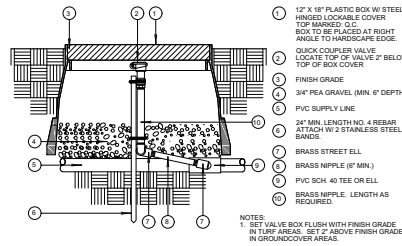
WIRE CONNECTION DETAIL SCALE N.T.S. 15



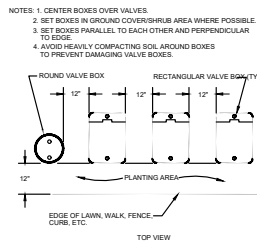
AIR RELIEF VALVE DETAIL SCALE N.T.S. 16



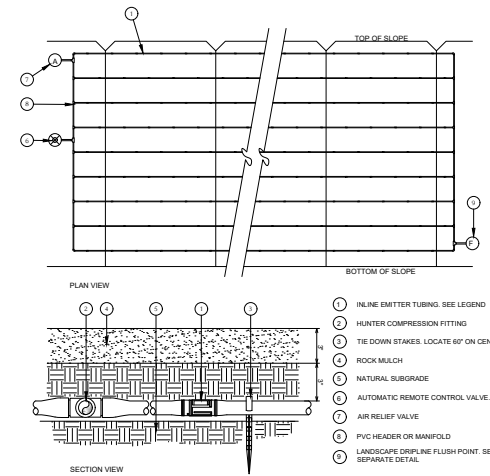
FERTIGATION SYSTEM DETAIL SCALE N.T.S. 11



QUICK COUPLER DETAIL SCALE N.T.S. 12

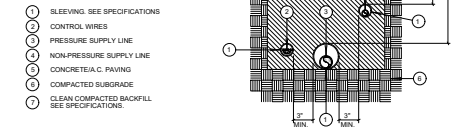


VALVE SPACING, TYP. SCALE N.T.S. 13

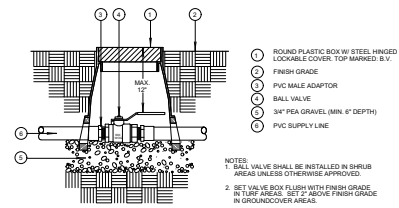


DRIP LINE LAYOUT DETAIL SCALE N.T.S. 8

SIZE	DESCRIPTION	SLEEVE SIZE
3/4" - 1 1/4"	PRESSURE SUPPLY LINE	2" SCHEDULE 40 PVC
1 1/2" - 2"	PRESSURE SUPPLY LINE	2" SCHEDULE 40 PVC
2 1/2" - 3"	PRESSURE SUPPLY LINE	4" SCHEDULE 40 PVC
1/2" - 1"	NON-PRESSURE LINE	2" SCHEDULE 40 PVC
1 1/4" - 2"	NON-PRESSURE LINE	2" SCHEDULE 40 PVC
2 1/2" - 3"	NON-PRESSURE LINE	4" SCHEDULE 40 PVC
1-30	CONTROL WIRES	2" SCH 40 PVC



TRENCHING DETAIL SCALE N.T.S. 9



ISOLATION VALVE DETAIL SCALE N.T.S. 10



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NEWMAN RESIDENCE

2609 Cove St. Newport Beach, CA

IRRIGATION DETAILS

Sheet L-3.3

Plot Date: 02.09.2026