



## CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

May 29, 2025  
Agenda Item No. 2

**SUBJECT:** Zak Residence (PA2025-0051)  
▪ Modification Permit

**SITE LOCATION:** 34 Castaways North

**APPLICANT:** Oscar Almendaraz

**OWNER:** Pete Zak

**PLANNER:** Melinda Whelan, Assistant Planner  
949-644-3221 [mwhelan@newportbeachca.gov](mailto:mwhelan@newportbeachca.gov)

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### **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** PC43 (Upper Castaways)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached (RSD-A) (0.0 - 5.9 DU/AC)
- **Coastal Zoning District:** PC43 (Upper Castaways)

### **PROJECT SUMMARY**

The applicant requests a modification permit to allow an addition to an existing single-unit dwelling that is greater than 10% of the existing square footage. The existing single-unit dwelling is nonconforming due to the dimensions of the existing garage. Title 20 (Planning and Zoning) of the Newport Beach Municipal Code (NBMC) limits additions to a maximum of 10% of the existing gross floor area when a residence has nonconforming parking. The addition includes 390 square feet on the first floor and 710 square feet on the second floor (1,100 square feet total), which is a 24% addition. The addition otherwise complies with all applicable development standards and no other deviations are requested.

### **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Article 19 of Chapter 3, Guidelines for Implementation of the California Environmental Quality Act) under Class 1 (Existing Facilities) of the Guidelines for CEQA, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. \_\_ approving the Modification Permit filed as PA2025-0051 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is in the Upper Castaways Planned Community Zoning District (PC 43), which provides for single unit residential development and is consistent with the City's General Plan and Zoning Code. The property is developed with a two-story, 4,640-square-foot single-unit dwelling, including an attached two-car garage and a one-car garage. PC 43 does not limit the maximum allowed square footage but includes a height limit and minimum setbacks. The project includes an addition of 1,100 square feet for a total gross floor area of 5,740 square feet.
- PC 43 requires a minimum of two garage parking spaces per unit, with the size of the garage specified by the residential parking standards of the Newport Beach Municipal Code (NBMC) Section 20.40.090.A (Parking Standards for Residential Uses). The subject lot is greater than 40 feet wide and requires a two-car garage with minimum dimensions of 20 feet wide by 20 feet deep or two one-car garages that are 10 feet wide by 20 feet deep.
- The existing interior clear dimensions of the two-car garage is 20 feet, 1 inch wide by 18 feet 10-inches-deep; and the one-car garage is 10 feet wide by 17 feet, 3 inches deep. These interior clear dimensions were approved with the original construction of the dwelling. However, due to the updated Zoning Code development standards of 20 feet wide by 20 feet deep interior clear dimensions (two-car garage) and 10 feet wide by 20 feet deep interior clear dimensions (single-car garage), the existing dwelling is legal nonconforming. Neither garage meets the minimum depth requirement.
- The property currently consists of one legal lot developed with a single-unit dwelling. The neighborhood is predominantly developed with one- and two-story, single-unit dwellings. The addition on the first floor will allow for a new butler's pantry and a new lounge area off of the kitchen. The addition on the second floor includes bathrooms, an office, a new laundry room and a closet. The project complies with all applicable development standards, including height, setbacks and floor area (no maximum floor area within the PC regulations). The proposed design, bulk, and scale of the development will not appear out of character from the surrounding properties within the neighborhood.
- NBMC Subsection 20.38.030(C) (Determination of Nonconformity) defines a "legal nonconforming structure" as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. The existing

structure is considered legal nonconforming as it was legally permitted, but is now nonconforming due to the substandard interior garage dimensions. At the time of construction in 1997, there were no minimum size requirements for parking spaces.

- NBMC Subsection 20.38.060(A)(2) (Nonconforming Parking - Residential) limits additions to residential structures with nonconforming parking dimensions to 10% of the existing gross floor area within any 10-year period. Larger additions may be permitted subject to the approval of a modification permit. The applicant proposes a 1,100 square foot addition (24% of the existing gross floor area) and leaving the garage dimensions unchanged. Therefore, a modification permit is required for this request.
- The proposed parking configuration will continue to accommodate the parking of two vehicles within the garage and fulfills the intent of the Zoning Code. Additionally, although a substandard space, the existing one-car garage does provide an additional parking space for a smaller vehicle. PC 43 also requires two guest spaces be provided on driveways with a minimum depth of 20 feet. The existing driveway is 20 feet in depth by 20 feet wide and provides two uncovered guest spaces. Demand for on-street parking in the neighborhood is not anticipated to increase as a result of the project.
- An alternative to this proposal is to reduce the size of the addition to no more than 10% of the existing gross floor area of the structure as authorized under NBMC Section 20.38.060(A) (Nonconforming Parking - Residential) or extend the existing garage walls. Modifying the garage wall of the two-car garage is not feasible because it will require removing the powder bathroom and reframing the garage, which is not part of the project scope. Modifying the one-car garage is restricted as the garage is oriented perpendicular to the side property line with the existing exterior wall already abutting the setback line. Furthermore, the entry of the one-car garage could not be pushed out because it would obstruct the existing entrance to the dwelling. Additionally, the intent of the project is to provide more living area for the residents. A redesign to reduce the size of the addition to 464 square feet (i.e. 10% addition) or extend the garage walls significantly impact the objectives of the project and would not provide similar benefits to the applicant.
- The project is exempt from requiring a coastal development permit because it includes an addition located on a property greater than 300 feet from the inland extent of any beach or the mean high tide line of the sea.

## **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The exemption includes additions to existing structures up to 50% of the floor area before the addition, or 2,500 square feet, whichever is less. The proposed project includes a 1,100 square-foot addition and remodel to an existing single-family residence with nonconforming interior parking dimensions in a developed neighborhood with no potential impact on the environment.

## **PUBLIC NOTICE**

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

## **APPEAL PERIOD:**

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Melinda Whelan  
Assistant Planner

LAW/msw

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Justification Letter from Applicant
	ZA 4	Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## **RESOLUTION NO. ZA2025-###**

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING A MODIFICATION PERMIT FOR AN ADDITION GREATER THAN 10% TO A SINGLE-UNIT DWELLING WITH A LEGAL NONCONFORMING GARAGE LOCATED AT 34 CASTAWAYS NORTH (PA2025-0051)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### **SECTION 1. STATEMENT OF FACTS.**

1. An application was filed by Oscar Almendarez, concerning property located at 34 Castaways North, and legally described as Lot 44 in Tract 15012 requesting approval of a modification permit.
2. The applicant requests a modification permit to allow an addition to an existing single-unit dwelling that is greater than 10% of the existing square footage. The existing single-unit dwelling is nonconforming due to the dimensions of the existing garage. Title 20 (Planning and Zoning) of the Newport Beach Municipal Code (NBMC) limits additions to a maximum of 10% of the existing gross floor area when a residence has nonconforming parking. The addition includes 390 square feet on the first floor and 710 square feet on the second floor (1,100 square feet total), which is a 24% addition. The addition otherwise complies with all applicable development standards and no other deviations are requested.
3. The subject property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the PC43 (Upper Castaways) Zoning District.
4. The subject property is located within the coastal zone. The Coastal Land Use Plan category is Single Unit Residential Detached (RSD-A) (0.0 - 5.9 DU/AC) and it is located within the PC43 (Upper Castaways) Coastal Zoning District. The project is exempt from requiring a coastal development permit because it includes an addition located on a property greater than 300 feet from the inland extent of any beach or the mean high tide line of the sea.
5. A public hearing was held on May 29, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by, the Zoning Administrator at this hearing.

#### **SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.**

1. This project is exempt from the California Environmental Quality Act (CEQA) under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of

Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

2. The exemption includes additions to existing structures up to 50% of the floor area before the addition, or 2,500 square feet, whichever is less. The proposed project includes a 1,100 square-foot addition and remodel to an existing single-family residence with nonconforming interior parking dimensions in a developed neighborhood with no potential impact to the environment.

### SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

#### Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

#### Facts in Support of Finding:

1. The surrounding neighborhood is comprised of one- and two-story single-unit dwellings. The Modification Permit will allow an addition to the existing two-story, single-unit dwelling, which is compatible with other properties in the neighborhood. The Project includes an addition on the first floor for a butler's pantry and a lounge area off the kitchen. The addition on the second floor includes bathrooms, an office, a laundry room and a closet. The density or intensity does not change as a result of the Project.
2. The proposed addition will result in a total floor area of 5,740 square feet (including the 687-square-foot garage). The resulting bulk and scale of the Project is compatible with other single-unit dwellings within the neighborhood.

#### Finding:

- B. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

#### Facts in Support of Finding:

1. The existing interior clear dimensions of the property's two-car garage is approximately 20 feet, 1 inch wide by 18 feet 10-inches-deep; and the one-car garage is 10 feet wide by 17 feet, 3 inches deep. These interior clear dimensions were approved with the original construction of the dwelling. However, due to the updated Zoning Code development standards of 20 feet wide by 20 feet deep interior clear dimensions (two-car garage) and 10 feet wide by 20 feet deep interior clear dimensions (single-car garage), the existing dwelling now has nonconforming parking spaces. Neither garage meets the minimum depth requirement.

2. NBMC Subsection 20.38.030(C) (Determination of Nonconformity – Nonconforming Structure) defines a “legal nonconforming structure” as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. The existing structure is considered legal nonconforming as it was legally permitted but is now nonconforming due to the substandard interior garage dimensions. At the time of construction in 1997, there were no minimum size requirements for parking spaces.
3. Modifying the garage wall of the two-car garage is not feasible because it will require removing the powder bathroom and reframing the garage, which is not part of the project scope. Modifying the one-car garage is restricted as the garage is oriented perpendicular to the side property line with the existing exterior wall already abutting the setback line. Furthermore, the entry of the one-car garage could not be pushed out because it would obstruct the existing entrance to the dwelling. These changes would significantly impact the objectives, costs and scope of the project without benefit to the applicant.
4. The granting of the modification permit is necessary to allow a reasonable addition to an existing dwelling that was constructed in compliance with garage standards in effect at the time of original construction, and that are adequate in width for the parking of two vehicles.

Finding:

- C. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code*

Facts in Support of Finding:

1. Facts in Support of Finding B are hereby incorporated by reference.
2. Relocating the interior walls 14 inches to achieve the 20-foot clear depth would eliminate the existing powder bathroom that is part of the original construction of the single-unit dwelling. Modifying the one-car garage depth is restricted due to the orientation of the existing garage that is perpendicular and abutting the minimum side setback. The one-car garage entrance is also adjacent to the existing entrance to the dwelling, leaving no space to push out.
3. A redesign to reduce the size of the addition to 464 square feet (i.e. 10% addition) or extend the garage walls significantly impact the objectives of the project and would not provide similar benefits to the applicant. These alternatives would be contrary to the purpose of the Project and would be costly to implement.

Finding:



- D. *There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. Fact 2 of Finding C is hereby incorporated by reference.
2. The intent of the Project is to provide additional living areas on the first level towards the middle and rear of the existing structure; and on the second level second floor reorienting and adding bathrooms and adding an office and laundry room. A redesign to reduce the size of the addition to 464 square feet will significantly impact the objectives of the Project and would not provide similar benefits to the homeowner.

Finding:

- E. *The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. The Project conforms to all applicable development standards, including floor area limit, setbacks, and height, and will provide adequate protection for light, air, and privacy. The Project is consistent in scale with other dwellings in the neighborhood.
2. The Project maintains more than the minimum three-foot side yard for emergency access in accordance with NBMC Section 20.30.110 (Setbacks Regulations and Exceptions), Subsection A(1)(c).
3. The approval of this Project is conditioned such that the Applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.
4. The Property includes a driveway adequate in size which measures 20 feet wide by 20 feet deep to accommodate parking for the two guest parking spaces per unit pursuant to the PC 43 regulations, thereby minimizing demand for on-street parking.

SECTION 4. DECISION.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

2. The Zoning Administrator of the City of Newport Beach hereby approves the Modification Permit filed as PA2025-0051, subject to the conditions outlined in Exhibit A, which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or a call for review is filed with the Community Development Director by the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

**PASSED, APPROVED, AND ADOPTED THIS 29<sup>th</sup> DAY OF MAY 2025.**

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Benjamin M. Zdeba, AICP, Zoning Administrator

**EXHIBIT “A”****CONDITIONS OF APPROVAL****Planning Division**

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
3. The applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may cause the revocation of this Modification Permit.
4. This Modification Permit may be modified or revoked by the Zoning Administrator if determined should they determine that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
5. The project shall require the approval of a building permit for the proposed construction.
6. Any change to the approved plans shall require review by the Planning Division. An amendment to or the processing of a new modification permit may be required.
7. A copy of the Resolution, including conditions of approval Exhibit “A” shall be incorporated into the Building Division and field sets of plans before issuance of the building permits.
8. *Each parking space within the garage shall be permanently available and maintained for parking purposes. The interior clear dimensions (20 feet 1 inch wide by 18 feet 10 inches deep) shall be kept clear of obstructions including cabinets, shelving, or similar that may impact the ability to adequately park two vehicles.*
9. Before the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
10. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or leasing agent.
11. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the Newport Beach Municipal Code, which restricts hours of

noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays, or Holidays.

12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
13. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Zak Residence including, but not limited to, Modification Permit filed as PA2025-0051**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing the such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

#### **Building Division Requirements**

14. The building permit plans shall comply with the California Residential Code 2022.

## **Attachment No. ZA 2**

Vicinity Map

# VICINITY MAP



Modification Permit  
PA2025-0051

**34 Castaways North**

## **Attachment No. ZA 3**

Project Justification Letter from Applicant

March 14th 2025

## **PROJECT DESCRIPTION AND JUSTIFICATION**

### **To Whom It May Concern,**

On behalf of homeowners Pete and Kimberly Zak, residing at 34 Castaways North, I, Oscar Almendarez, client representative, am submitting an application for a Coastal Development Permit and a Modification Permit.

### **Coastal Development Permit**

This project involves the expansion of the existing living space over two floors, adding a total of 1,100 square feet to the building. The new construction is intended to improve the functionality and layout of the space, incorporating dedicated areas for media, storage, and personal living. The project is not located on a coastal bluff, nor does it impact any views.

- **Lower Floor Addition:** 390 sq.ft.
- **Upper Floor Addition:** 710 sq.ft.

### **Modification Permit**

The proposed modification pertains to an existing two-car garage that does not currently meet the required zoning standards for clear dimensions of 20' x 20'. The issue is due to an existing powder room sink that encroaches into the garage area, occupying approximately 1'-10" by 3'-4" (a total of 6 square feet). This minor encroachment results in a slight reduction of the garage's usable area, causing it to no longer meet the current zoning standard for a two-car garage. The applicant seeks a modification to allow the garage to remain as-is, maintaining its current dimensions and functional layout. The financial cost to expand the garage to meet the zoning standard is deemed prohibitive.

Thank you for your consideration of this request. Please feel free to contact me if you require further information or clarification.

Sincerely,

Oscar Almendarez  
Applicant  
951-990-4834  
oz.almendarez@gmail.com



# **Attachment No. ZA 4**

Project Plans



14. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior or exterior of the building shall comply with low formaldehyde emission standards as set forth in Table 4.504.5 below (4.504.5).

FORMALDEHYDE LIMITS <sup>1</sup> (Maximum Formaldehyde Emissions in Parts per Million)		
PRODUCT		LIMIT
Hardwood plywood veneer core		0.05
Hardwood plywood composite core		0.05
Particleboard		0.09
Medium density fiberboard		0.11
Thin medium density fiberboard <sup>2</sup>		0.13

<sup>1</sup> Values are the upper limit of formaldehyde emissions as determined by the California Air Resources Board, Air Toxics Control Measures for Composite Wood Products, as amended by ASHRAE 153-2010, for additional information, see California Code of Regulations, Title 17, Section 01500 through 01504.10.  
<sup>2</sup> Thin medium density fiberboard has a maximum thickness of 3/8 inch.

15. All duct and other related air distribution component openings shall be covered with tape, plastic, sheet or other methods acceptable to the building inspector to reduce the amount of air in, out, and debris, which may enter the system until final startup of the HVAC equipment. (4.504.1).

16. Bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Units functioning as a component of whole house ventilation system, fans must be controlled by a humidity control capable of adjustment between a relative humidity range of less than or equal to 50% to maximum 60%. (4.504.1).

17. Duct systems are sized, designed and equipment is selected using the following methods (4.507.2):

- Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 (Residential Load Calculations), ASHRAE handbooks or equivalent design software or methods.
- Size duct systems according to ANSI/ACCA 1 Manual D-2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Selection) or other equivalent design software or methods.

#### Installer and Special Inspector Qualifications

18. HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installers in the proper installation of HVAC systems. (702.1).
19. HVAC special inspectors must be qualified and able to demonstrate competence in the discipline they are inspecting. (702.2).

#### Documentation

20. An operation and maintenance manual, CD, web-based reference or other approved media shall be provided by the builder to the building occupant or owner at the final inspection. It shall include operation and maintenance instruction of the equipment and appliances. (4.10.1).
21. Documentation shall be provided to verify that final materials used comply with VOC limits as set forth in Tables 4.504.1, 4.504.2, & 4.504.3. (4.504.2.4)
22. Documentation shall be provided to verify that composite wood products used comply with formaldehyde limits as set forth in Tables 4.504.5. (4.504.5.1)
23. Documentation which shows compliance with CAL Green code including construction documents, plans, specifications, builder or installer certification, and inspection reports and verification shall be available at the final inspection. (703.1).
24. CAL Green Documentation Compliance Certification form (Cly form) is required to be submitted to the Building Inspector prior to final building inspection. (703.1).

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13. Paints, stains, and other coatings shall be compliant with VOC and other toxic compound limits set forth in Table 4.504.3. (4.504.3.2).

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sup>1,2</sup> (Grams of VOC per Liter of Coating, Less Water and Less Exempt Components) COATING CATEGORY			VOC LIMIT
Field coatings			50
Nonflat coatings			100
Nonflat high gloss coatings			150
SPECIALTY COATINGS			
Aluminum roof coatings			400
Reemert specialty coatings			400
Blumorous roof coatings			50
Blumorous roof primers			300
Bond breakers			300
Concrete curing compounds			300
Concrete/masonry sealers			100
Driveway sealers			50
Dry fog coatings			150
Floor coating coatings			100
Fine resin coatings			200
Floor coatings			100
Form-release compounds			250
Graphic arts coatings (sign paints)			420
High temperature coatings			420
Industrial maintenance coatings			250
Low solids coatings <sup>3</sup>			120
Magnesium cement coatings			400
Mastic texture coatings			100
Mastic pigmented coatings			100
Multicolor coatings			250
Penetrating wall primers			100
Primer, sealers, and undercoaters			100
Reactive penetrating sealers			250
Recoiled coatings			250
Roof coatings			50
Rust preventive coatings			250
Stucco			750
Clear			580
Organic			100
Specialty primers, sealers and undercoaters			100
Stains			340
Stone consolidants			450
Swimming pool coatings			340
Traffic marking coatings			100
Tie and tie refinish coatings			100
Waterproofing membranes			250
Wood coatings			175
Wood preservatives			350
Zinc-rich primers			340

<sup>1</sup> Series of VOC per liter of coating, including water and including exempt components.  
<sup>2</sup> The weight of the dry film in grams after water has been removed is the basis for the calculation.  
<sup>3</sup> Low solids coatings are defined as coatings that have a maximum solids content of 10 percent by weight.  
January 1, 2008. More information is available from the Air Resources Board.

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12. Adhesives, sealants and caulks shall be compliant with volatile organic compound (VOC) limits set forth in Table 4.504.1 or Table 4.504.2. (4.504.2.1).

ADHESIVE VOC LIMIT <sup>1</sup> (Less Water and Less Exempt Compounds in Grams per Liter)			VOC LIMIT
ARCHITECTURAL APPLICATIONS			
Indoor carpet adhesives			50
Carpet pad adhesives			50
Outdoor carpet adhesives			100
Wood flooring adhesives			100
Rubber floor adhesives			50
Subfloor adhesives			50
Concrete tile adhesives			50
VCT and asphalt tile adhesives			50
Driveway and garage adhesives			50
Core joint adhesives			50
Multipurpose construction adhesives			100
Structural glazing adhesives			250
Single ply roof membrane adhesives			250
Other adhesives not specifically listed			50
SPECIALTY APPLICATIONS			
PVC welding			510
CPVC welding			490
ABS welding			345
Plastic cement welding			250
Adhesive primer for plastic			550
Conductive adhesive			80
Special purpose contact adhesive			250
Structural wood member adhesive			140
Tie and form adhesive			250
SUBSTRATE SPECIFIC APPLICATIONS			
Heat to metal			30
Plastic foams			50
Porous material (except wood)			50
Wood			80
Fiberglass			80

<sup>1</sup> A reference is used to bond decorative substrates together, the adhesive with the highest VOC content shall be allowed.  
<sup>2</sup> For additional information regarding industry practices, see the California Green Building Air Quality Management District Rule 1105.

SEALANT VOC LIMIT <sup>1</sup> (Less Water and Less Exempt Compounds in Grams per Liter)			VOC LIMIT
SEALANTS			
Architectural			250
Marine deck			300
Nonpermeable roof			300
Hooding			250
Single ply roof membrane			400
Other			420
SEALANT PRIMERS			
Architectural			250
Nonporous			775
Porous			500
Modified bituminous			750
Marine deck			750
Other			750

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#### Material Conservation and Resources Efficiency

4. Amovable spaces around pipe, electric cables, conduits, or other openings in subbottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or other similar method. (4.406.1).
5. Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (4.408.1, 4.408.3).

#### Water Efficiency and Conservation

6. New residential developments shall comply with City's water conservation ordinance. (4.504.1, NBAC 14.17).
7. Plumbing fixtures and fittings shall comply with the following (4.503.1):

FIXTURE TYPE		MAXIMUM FLOW RATE
Single Showersheads		1.8 gpm @ 80 psi
Multiple Showersheads		Combine flow rate of 1.8 gpm @ 80 psi
Residential Lavatory Faucets		1.2 gpm @ 60 psi
Common and Public use Lavatory Faucets		0.5 gpm @ 60 psi
Men's Urinals		1.0 gpm @ 60 psi
Men's Urinals		0.5 gallons per cycle maximum
Water Closets		1.28 gallons/flush
Wall Mounted Urinal		0.125 gallons/flush
All Other Types of Urinal		0.5 gallons/flush

<sup>1</sup> Includes single and dual flow water closets with an effective bowl area of 1.0 gallon or less when tested per ASME A102.19.2012 for single flush and ASME A102.19.2012 for dual flush.  
<sup>2</sup> Lavatory faucets shall not have a flow rate less than 0.2 gpm at 60 psi.

#### Environmental Quality

8. Moisture content of building materials used in wall and floor framing is checked before enclosure according to one of the following (4.505.3):
- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
  - Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the ground stamped end of each place to be verified.
  - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency recorded at the time of approval to enclose the wall and floor framing.
9. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for VOC in Section 94522(a)(2) and other local requirements in Section 94522(a)(1) and (f)(1) of the California Code of Regulations, Title 17, commencing with Section 94520. (4.504.2.3).
10. Carpet and carpet systems shall be compliant with one of the following (4.504.3):
- Carpet and Rug Institute's Green Label Plus Program.
  - California Department of Public Health Specification 01350.
  - NSF/ANSI 140 at the Gold level.
  - Scientific Certifications Systems Indoor Advantage™ Gold.
11. Minimum 80% of floor area receiving resilient flooring shall comply with one of the following (4.504.4):
- VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Product Database.
  - Products certified under U.S. GREENGUARD Gold.
  - Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.
  - California Department of Public Health Specification 01350.

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**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**  
100 Civic Center Drive | P.O. Box 1789 | Newport Beach, CA 92668-8915  
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#### 2022 CALGREEN - RESIDENTIAL MINIMUM REQUIREMENTS

##### Scope

1. 2022 California Green Building Standards Code (CGS) is applicable to all new residential buildings, including but not limited to, dwellings, apartment houses, condominiums, hotels, and other types of buildings containing sleeping accommodations with or without common halls or cooling facilities regulated by the Department of Housing and Community Development (HCD-1). (NBAC 15.11.010, CGS Section 013.1.03).
2. 2022 California Green Building Standards Code (CGS) is applicable to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. (001.1.1).

##### Energy Efficiency

3. New one- and two-family dwellings and townhouses with attached private garages shall install a listed nominal 1 inch inside diameter raceway to accommodate a dedicated 208/240 volt branch circuit. (4.106.4.1).
- The raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box, or enclosure in close proximity to the proposed location of an EV charger.
  - The service panel or subpanel shall provide capacity to install a minimum 40 ampere dedicated branch circuit and space reserved for installation of a branch circuit overcurrent protective device.
  - The service panel or subpanel circuit diagram shall identify the overcurrent protective devices space reserved for future EV charging as "EV CAPABLE."
  - The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

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#### MEANS OF EGRESS

Emergency escape and rescue opening required for bedrooms, an emergency escape and rescue opening shall meet all of the following R310

- A net clear opening area of not less than 5.7 sq. ft. (5.0 sq. ft. for grade-floor windows).
- Minimum clear opening height 24"
- Minimum clear opening width 20"
- The bottom of window opening shall not be more than 44" from the floor.
- Shall open directly into a public way, public alley, yard or court, R310.1.

#### DOOR SCHEDULE

DOOR REF	DOOR SIZE WxH	TYPE	MANUFACTURE	MODEL	MATERIAL	FINISH	TEMPERED	EGRESS	SHGC	U-FACTOR	QTY.
A	4'-0" x 8'-0"	DUTCH DOOR	T.B.D.	T.B.D.	WHITE OAK	LIGHT STAIN	YES	NO	23	30	1
B	8'-0" x 7'-0"	GARAGE DOOR	T.B.D.	T.B.D.	WHITE OAK	LIGHT STAIN	YES	NO	N/A	N/A	1
C	3'-0" x 8'-0"	SHINGLE	La Carinka	SWING	CLAD EXT	CLAD INT	BLACK	YES	23	30	1
D	8'-0" x 8'-0"	SLIDER	La Carinka	SLIDER	CLAD EXT	CLAD INT	BLACK	YES	23	30	1
E	16'-0" x 8'-0"	DOOR	La Carinka	CLAD EXT	CLAD INT	CLAD INT	BLACK	YES	23	30	1
F	6'-6" x 8'-0"	DOOR	La Carinka	CLAD EXT	CLAD INT	CLAD INT	BLACK	YES	23	30	1
G	2'-6" x 8'-0"	DUTCH DOOR	T.B.D.	T.B.D.	WHITE OAK	LIGHT STAIN	YES	NO	23	30	1
H	16'-0" x 8'-0"	GARAGE DOOR	T.B.D.	T.B.D.	WHITE OAK	LIGHT STAIN	YES	NO	N/A	N/A	1

#### FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

WINDOW SCHEDULE											
WINDOW REF	WINDOW SIZE WxH	TYPE	MANUFACTURE	MODEL	MATERIAL	FINISH	TEMPERED	EGRESS	SHGC	U-FACTOR	QTY.
1	2'-6" x 4'-0"	FIXED	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	YES	NO	23	30	2
2	3'-0" x 4'-0"	CASEMENT (R)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
3	1'-0" x 4'-0"	FIXED	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	3
4	1'-0" x 1'-10"	CASEMENT (R)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
5	2'-0" x 4'-0"	CASEMENT (R)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
6	2'-6" x 4'-0"	CASEMENT (L)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
7	3'-0" x 3'-0"	AWNING	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
8	1'-10" x 2'-10"	FIXED	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	2
9	8'-0" x 9'-0"	DOUBLE CASEMENT	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	YES	NO	23	30	2
10	2'-6" x 4'-0"	FIXED	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
11	1'-0" x 3'-0"	FIXED	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	3
12	8'-0" x 4'-0"	DOUBLE CASEMENT	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	3
13	2'-6" x 4'-0"	CASEMENT (R)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	YES	23	30	4
14	2'-6" x 4'-0"	CASEMENT (L)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	YES	23	30	4
15	5'-0" x 9'-0"	DOUBLE CASEMENT	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
16	2'-6" x 4'-0"	CASEMENT (L)	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	YES	23	30	2
17	2'-6" x 3'-0"	AWNING	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1
18	4'-0" x 4'-0"	DOUBLE CASEMENT	J&W-Wen	SITELINE	CLAD EXT WOOD INT	BLACK	NO	NO	23	30	1

#### FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

REV.	DESCRIPTION/DATE
	ISSUE 03-03-25

PLANS PREPARED BY:  
GHA CONSTRUCTION  
26972 VIA ESCORIAL  
MISSION VILLO, CA 90931  
PH: 951-960-4834  
EMAIL: Gha.construction@gmail.com

ZAK RESIDENCE  
34 CASTAWAYS NORTH  
NEWPORT BEACH, CA 92660

CLIENT

SHEET NAME

Project number 2022-00000  
Date 12-00-22  
Drawn by Author  
Checked by Checker  
A-0.1  
Scale 1/2" = 1'-0"

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45. Isolation valves are required for tankless water heaters on the hot and cold supply lines with hose bibbs on each valve, to flush the heat exchanger. (Cal Energy Code 110.3 (6))
46. Install 1 automatic clothes washer connection per one- and two-family dwelling. (CPC Table 422.1)

**ELECTRICAL:**

47. Electrical service shall be underground for new construction, replacement building, or addition to an existing building exceeds fifty (50) percent of the gross floor area of the existing building. (NBMC 15.3.2 (15))
48. Edison Company approval is required for meter location prior to installation.
49. Field inspectors shall review and approve underground service requirement prior to concrete placement.
50. Service equipment and subpanels shall have a min 30" wide by 36" deep clear work space. (CEC 110.26)
51. All lighting is required shall be high efficiency. (California energy code section 150.0 (k) and Table 150.0(A))
52. Provide a listed 1-inch raceway to accommodate a dedicated 208/240-volt circuit for future electrical vehicle (EV) charger. (Cal Green 4.106.4.1)
53. All receptacle outlets are required shall be listed tamper resistant (CEC 406.12 and 250.52)
54. Combination type AFCI circuit breakers are required for all 120-volt single phase 15/20 amp branch circuits. Except for bathrooms, garages, and outdoors. (CEC 210.12)
55. A minimum of one dedicated 20 amp circuit is required for a bathroom. (CEC 210.11(C)(3))
56. GFCI protection is required for all receptacle outlets located outdoors, garages, accessory buildings, bathrooms, crawl spaces, kitchens, laundry areas, kitchen dishwasher branch circuit, garbage disposal, all areas within 6 feet of a sink, and all receptacles within 6 feet of a bathtub or shower stall. (CEC 210.8)
57. Receptacle outlets are not allowed within or over a bathtub or shower stall. (CEC 406.9 (C))
58. Subpanels are not allowed to be located in bathrooms or clothes closets. Avoid installing sub-panels in fire wall envelope unless the panel is listed, or fire protection is clearly detailed to the satisfaction of the building official. (CEC 240.24 (D) and (E))
59. Circuits sharing a grounded conductor (neutral) with two ungrounded (hot) conductors must use a two-pole circuit breaker or an identified handle tie. Group non-cable circuits in panel. (CEC 210.4(B)) (CEC 210.4(D))
60. The receptacle outlets that serve kitchen counter tops, dining room, breakfast area, and pantry, must have a min of 2 dedicated 20 amp circuits. (CEC 210.52 (B)(1))
61. Kitchen counter tops 12 inches or wider must have a receptacle outlet. (CEC 210.52(C)(1))
62. Kitchen counter tops must have receptacle outlets so no point along the counter walls is more than 24 inches from a receptacle. (CEC 210.52(C)(1))
63. Island and peninsula counter tops must have at least one receptacle. (CEC 210.52(C)(1), (2), and (3))
64. The spacing for general receptacle outlets must be located so that no point on any wall, floor, glass, or ceiling is over 6 feet from a receptacle outlet. (CEC 210.52(A)(1))

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65. Hallways 10 feet or more must have at least one receptacle outlet. (CEC 210.52(H))
66. Garages shall have at least one receptacle for each car space on the interior. The branch circuit supplying the receptacles shall not serve outlets outside of the garage. (CEC 210.52 (G) (1))
67. Laundry rooms must have at least one dedicated 20 amp receptacle circuit. (CEC 210.11(C) (2))
68. Provide 120V receptacle within 3 feet of water heater. (Cal Energy Code 150.0 (n) 1 A.)

**FOUNDATION:**

69. Weep screed for stucco at the foundation plate line shall be a minimum of 4 inches above the earth or 2 inches above paved areas. (CRC R703.7.1, CBC 2512.1.2)
70. Fasteners and connectors (nails, anchor bolts, etc.) in contact with preservative-treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (CRC R317.3, CBC 2304.10.6)
71. Anchor bolts shall include steel plate washers, a minimum of 0.229" x 3" x 3" in size, between all plate and nut. (CRC R802.11.1, CBC 2308.3, Acceptable alternate SDPWs 4.3.6.4.3)

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**FIREPLACE:**

19. All fireplaces:
- a. Factory-built fireplaces, chimneys and all their components shall be listed and installed in accordance with their listing and manufacturer's installation instructions. (CRC R1004.1)
- b. Factory built wood burning fireplaces shall be qualified at the U.S. EPA's Voluntary Fireplace Program Phase 2 emissions level. (CRC 1004.1.1)
- c. Decorative shutouts shall not be installed at the termination of factory-built chimneys except where such shutouts are listed and labeled for use with the specific factory-built chimney system and are installed in accordance with manufacturer's installation instructions. (CRC R1005.2 & CMC 802.5.1.1 & CMC 802.5.4.3)
- d. Horizontal openings are not allowed, for exhaust vents, in walls closer than 3 feet to a property line. (Tables R302.1(1) & (2)). Horizontal vent caps shall be 2 feet clear from property lines.
- e. Exhaust openings shall not be directed onto walkways. (R303.5.2)
20. Solid fuel burning fireplaces:
- a. Provide a permanently anchored gaseous fuel burning pan to the firebox of a solid fuel burning fireplace.
- b. Solid fuel burning fireplace must comply with the California Energy Standards mandatory measures.
- c. Chimney shall extend at least 2 ft higher than any portion of the building within 10 ft, but shall not be less than 3 ft above the highest point where the chimney passes through the roof. (CRC R1003.9)
- d. Liquid fueled fireplaces are not allowed for interior use.
21. Direct vent gas appliance fireplace:
- a. Direct vent sealed-combustion gas appliance fireplace must comply with the Cal Green code requirements and must comply with US EPA New Source Performance Standards (NSPS). (Cal Green 4.503.1)

**MECHANICAL:**

22. Rooms containing bathtubs, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 60 CFM ducted to terminate outside the building. (CRC R303.3, Cal Green 4.506.1, CBC 1202.5.2.1, CMC 402.3)
23. Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust fan with humidity control sensor, min. 50 CFM capacity. (CRC R303.3)
24. Where whole house fans are used in bathroom areas, the fan must run continuously and shall not be tied to a humidity control sensor. (Cal Green 4.506.12)
25. The clothes dryer vent shall not exceed 14 ft, in overall length with maximum two 90-degree elbows. (CMC 504.4.2.1)
26. Environmental air ducts shall terminate min. 3 feet from property line or openings into building, and 10 feet from a forced air duct. (CMC 202.2.1)

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27. Mechanical equipment shall be installed per the manufacturer's installation instructions. (CMC 303.1)
28. Domestic range vents to be smooth metallic interior surface. (CMC 504.3)
29. Supply and return air ducts to be insulated at a minimum of R-6. (Cal Energy Code Table 150.1A.4)

**PLUMBING:**

30. Separate water meters are required for all new duplexes. Separate fire risers are required at each water meter.
31. Plumbing Fixtures:
- a. New Construction & Addition/Alterations that increases condition space area, volume, or size (Cal Green 4.303.1)
- i. Comply with CAL Green Mandatory Requirements
- b. Addition & Alteration: Existing fixtures shall be replaced to meet the following requirements:
- i. Shower Heads: 1.8 gpm @ 80 psi
- ii. Lavatory Faucets: 1.2 gpm @ 60 psi
- iii. Kitchen Faucets: 1.8 gpm @ 60 psi
- iv. Water Closet: 1.28 gallons per flush
32. Clearance for water closet to be a minimum of 24 inches in front, and 15 inches from its center to any side wall or obstruction. (CPC 402.5)
33. The water heater burner to be at least 18 inches above the garage floor, if located in a garage. (CPC 507.13)
34. Install a 3-inch diameter by 3 ft. tall steel pipe embedded in concrete slab for protection of water heaters located in garage. (CPC 507.13.1)
35. Water heaters to be strapped at top and bottom with 1 1/2" x 16-gauge strap with 3/8" diameter X 3" lag bolt each end. (CPC 507.2)
36. ABS and PVC drain waste and vent piping material is limited to 2 stories maximum. (CPC 701.2(2) (a), and 703.1.1)
37. ABS and PVC not and deck drain material is limited to 2 stories maximum. (CPC 1101.4)
38. Roof and deck drain systems inside the building are required to be installed with directional DIVV drainage fittings. (CPC 1101.4 and 706.0)
39. Cleanouts are required within 2 feet of the connection between the building interior roof/deck drain piping system and the exterior outside storm drain system. (CPC 1101.13)
40. All hose bibbs shall have vacuum breakers. (CPC 603.5.7)
41. The maximum amount of water closets on a 3-inch horizontal drainage system line is 3. (CPC Table 703.2)
42. The maximum amount of water closets on a 3-inch vertical drainage system line is 4. (CPC Table 703.2)
43. Provide a condensate drain no more than 2 inches above the base of the water heater space. (Cal Energy Code 150.0 (n))
44. Insulate all hot water pipes. (Cal Energy Code 150.0 (j) (1), and CPC 606.12)

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- a. In each sleeping room.
- b. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
- c. On each additional story, including basements and habitable attics.
- d. Not less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower.
- e. A minimum of 20 feet horizontally from any permanently installed cooking appliance.
- f. Smoke alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R314.4 & R314.5 or CBC 907.2.11.5 & 907.2.11.6.

16. Carbon monoxide alarms shall be installed in the following locations (CRC R315.3):
- a. Outside of each sleeping area in the immediate vicinity of the bedrooms.
- b. On every occupiable level of the dwelling unit including basements.
- c. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.
- Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R315.6(4).
17. Electrical receptacle outlets, switches and controls shall be located no more than 48" measured from the top of the outlet box and not less than 15" measured from the bottom of the outlet box above the finish floor. CRC R327.1.2
18. Doorbell buttons shall not be installed more than 48" above exterior floor or landing. CRC R327.1.4
19. All fenestrations on windows and doors shall have U-Factors (0.30 max) and Solar Heat Gain Coefficient (SHGC=0.23 max) values in accordance with 7.54 energy calculations. All fenestrations must have temporary and permanent labels.

**TEMPORARY GENERATOR:**

20. Hand operated construction tools powered by electricity must use power provided by Southern California Edison through a temporary pole or available outlet. In the rare case where electricity is not readily available and a portable temporary generator is necessary, then the following restrictions must be adhered to:
- a. Must be portable and may be easily relocated.
- b. Temporary generators are to be located a minimum distance from any property line according to the following table:
- | Time in Use<br>Hours | Required<br>Setback from<br>Property Line | Required Setback<br>from Adjacent<br>Structures |
|----------------------|---|---|
| 0 - 1 day            | 10 feet                                   | 5 feet  |
| > 1 day              | 20 feet                                   | 5 feet  |
- c. If the minimum distance cannot be achieved, then the generator shall be located the most extreme distance practical to inhibit noise. Other methods to inhibit noise may be utilized when practical.

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- d. May be operational for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided using a temporary power pole.
- e. Usage is limited to weekdays between the hours from 8:00 AM and 3:30 PM Monday through Friday. No use on the weekends or federal holidays.



**CITY OF NEWPORT BEACH**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**  
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**RESIDENTIAL**  
**CONSTRUCTION MINIMUM REQUIREMENTS**

**Applicable Standards:** 2022 California Residential Code (CRC); 2022 California Building Code (CBC); 2022 California Plumbing Code (CPC); 2022 California Electrical Code (CEC); 2022 California Mechanical Code (CMC); 2022 Building Energy Efficiency Standards (BEES); 2022 California Green Building Standards Code (Cal Green); & Chapter 15 of the Newport Beach Municipal Code (NBMC)

**GENERAL:**

1. Residential building undergoing permitted alterations, additions or improvements shall replace non-compliant plumbing fixtures with water-conserving plumbing fixtures meeting the requirements of 2022 California Green Building Standards Code, Section 4.303.1 Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or final inspection by the Chief Building Officer. (Civl Code, Section 1101.1 et seq, NBMC 15.11.010)
2. Issuance of a building permit by the City of Newport Beach does not relieve applicants of the legal requirements to observe covenants, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community associations prior to commencement of any construction authorized by this permit.
3. Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Department.
4. A site survey by a licensed surveyor shall be required prior to foundation concrete pour.
5. Garage ceiling height: The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the front four feet may have a minimum vertical clearance of four feet. (NBMC 20.40.090 A.4)
6. Utilize one of the city's approved franchise hauler to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (Cal Green 4.408.1, 4.408.3)
7. Stairways shall not be less than 36 inches clear width. (CRC 311.7.1) The minimum head clearance shall be 6'-8" measured vertically from the sloped line adjoining tread nosing. (CRC 311.7.2)
8. **Advisory Note:** Homeowners Association (HOA) approval is independent of the City process and may be required for this improvement. Please check with the HOA Board.
9. **Additional permits** are required for detached structures including but not limited to:
- a. Accessory structures, detached patio covers, and trellises.
- b. Masonry or concrete fences over 3.5 ft. high or within 3 feet of the property line.
- c. Retaining walls over 4 ft. high from the bottom of the foundation to the top of the wall and any retaining wall within 3 ft. of property line regardless of height.

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**CONSTRUCTION:**

10. Pedestrian protection adjacent to public way to be as follows:

HEIGHT OF CONSTRUCTION	CBC TABLE 3306.1 PROTECTION OF PEDESTRIANS	
	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQUIRED
8 feet or less	Less than 5 feet 5 feet or more	Construction signage None
More than 8 feet	Less than 5 feet 5 feet or more, but not more than one-fourth the height of construction	Barrier and covered walkway
	5 feet or more, but between one-fourth and one-half the height of construction 5 feet or more, but exceeding one-half the height of construction	Barrier None

11. All exterior lath and plaster shall have two layers of 10-minute Grade D paper over wood-based sheathing. (CRC R703.7.3, CBC 2510.6)
12. Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain tile. Backing for tile shall be cement board or cement plaster. (CRC R507.2, CBC 1209.2.3)
13. Safety glazing shall be provided at the following hazardous locations: (CRC R306.4, CBC 2406.4)
- a. Sliding, bi-fold, and sliding doors.
- b. When located within 60 inches above the floor of wet surfaces such as tubs, showers, saunas, steam rooms, or outdoor swimming pool.
- c. Glazing adjacent to doors:
- i. Within a 24-inch arc of either vertical edge of doors or within 60 inches of walking surface.
- ii. Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.
- d. Where glazing area is more than 9 sq. ft. in area, with the bottom edge less than 18 inches above the floor, top edge more than 36 inches above floor, and within 36 inches of a walking surface, measured horizontally.
- e. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
- f. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
- g. Glazing in guards and railings.
14. All doors from the house into the pool area shall be equipped with an approved alarm or an approved alternate drowning prevention safety feature. (CBC 3109 (115922))
15. Smoke alarms shall be installed in the following locations (CRC R314.3, CBC 907.2.11.2, 907.2.11.3 & 907.2.11.4):

2022 Council RESIDENTIAL Construction Requirements 11/2022 2

REV.	DESCRIPTION/DATE
	ISSUE 03-03-25

PLANS PREPARED BY:  
GMA CONSTRUCTION  
28972 VIA ESCOBAR  
MISSION Viejo, CA 92038  
PH: 951-950-4834  
EMAIL: [GMAnewport@gmail.com](mailto:GMAnewport@gmail.com)



**ZAK RESIDENCE**  
**34 CASTAWAYS NORTH**  
**NEWPORT BEACH, CA 92660**

SHEET NAME:

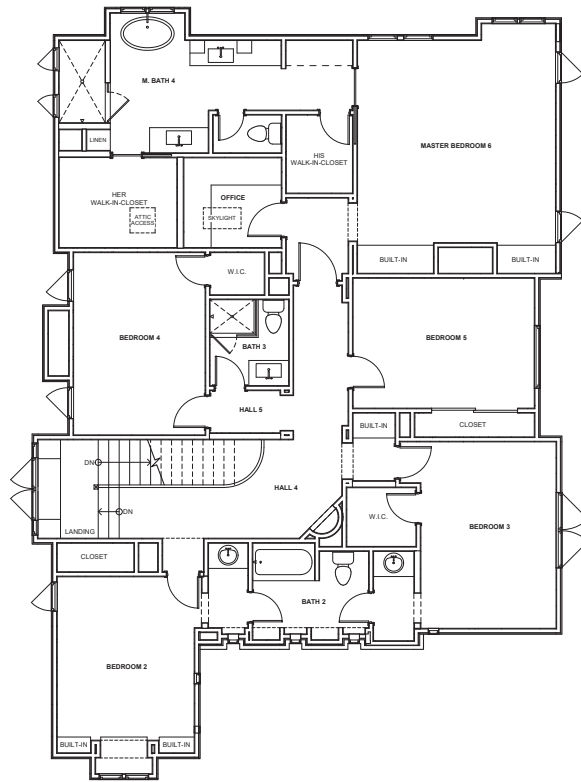
SCALE:

**CITY NOTES**

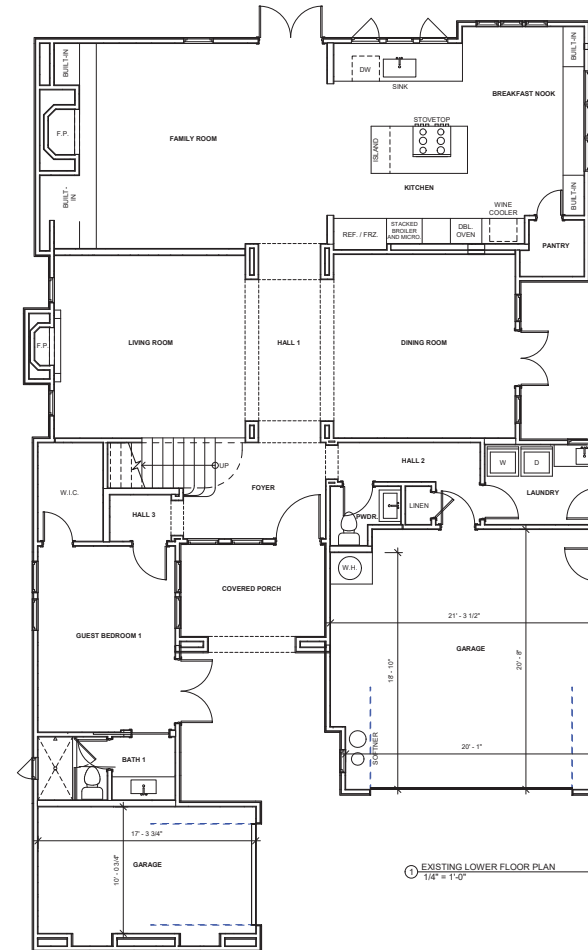
Project number: 2022-00000  
Date: 12-00-22  
Drawn by: Author  
Checked by: Checker

**A-0.2**  
Scale:

24/08/2023 PM



② EXISTING UPPER FLOOR PLAN  
1/4" = 1'-0"



① EXISTING LOWER FLOOR PLAN  
1/4" = 1'-0"



EXISTING 2X4 STUD WALL  
PLAN LEGEND

REV.	DESCRIPTION	DATE
ISSUE	03-03-25	

PLANS PREPARED BY:  
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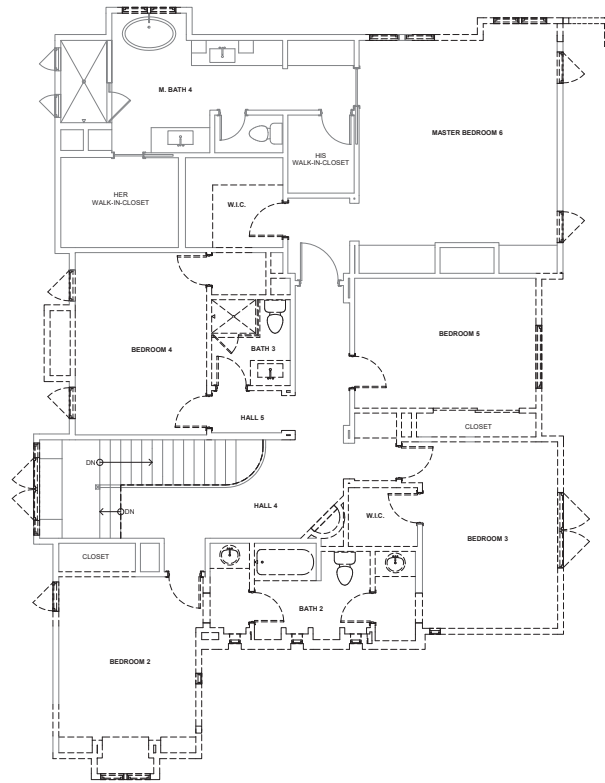
ZAK RESIDENCE  
34 CASTAWAYS NORTH  
NEWPORT BEACH, CA 92660

EXISTING FLOOR PLANS

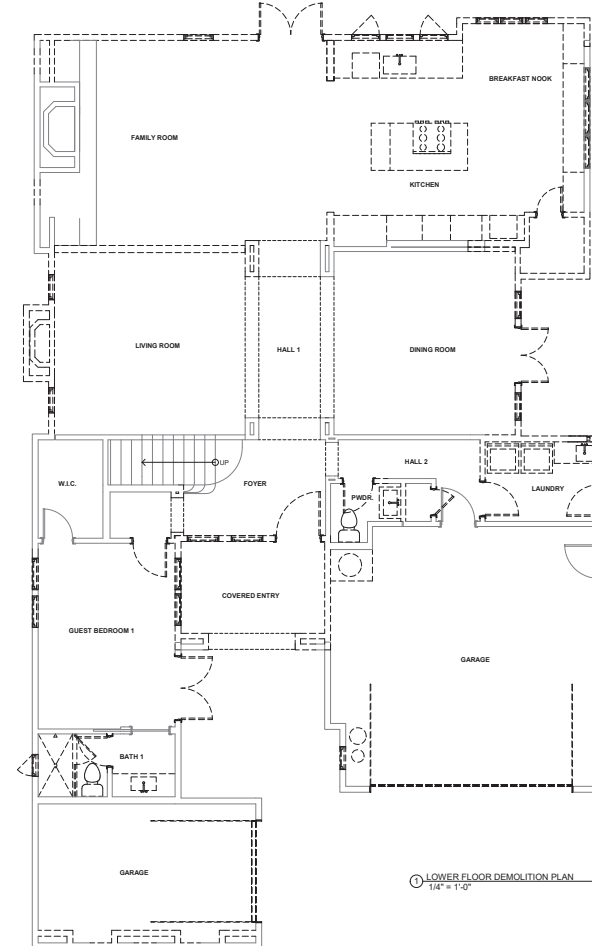
Project number	2022-00000
Date	12-00-22
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

A-0.3

3/4/2025 1:04:18 PM



② UPPER FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



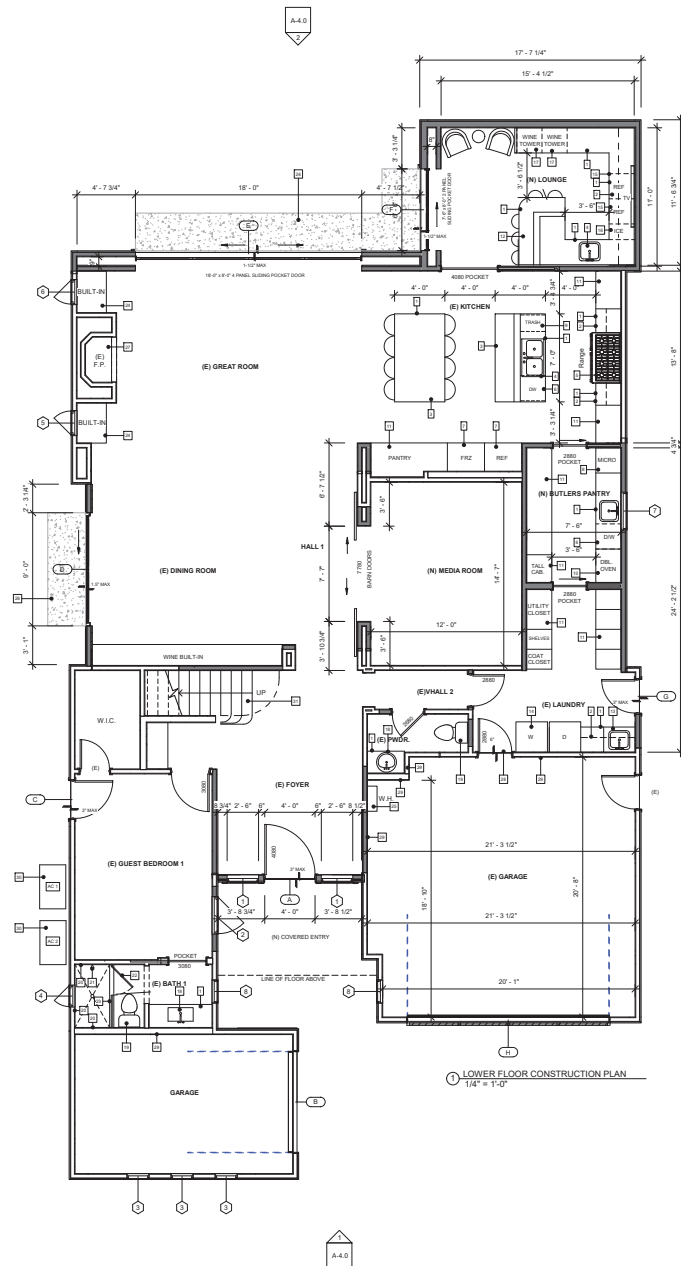
① LOWER FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



	EXISTING 2X4 STUD WALL
	DEMOLITION
PLAN LEGEND	

REV.	DESCRIPTION	DATE
	ISSUE	03-03-25
PLANS PREPARED BY: CHA CONSTRUCTION 28972 VIA ESCORIAL HAYWARD, CA 94541 PH: 925-960-4834 EMAIL: CHA@chaconstruction.com		
CLIENT: <b>ZAK RESIDENCE</b> <b>34 CASTAWAYS NORTH</b> <b>NEWPORT BEACH, CA 92660</b>		
PROJECT NAME: <b>DEMOLITION PLANS</b>		
Project number: 2022-00000 Date: 12-00-22 Drawn by: Author Checked by: Checker <b>A-0.4</b> Scale: 1/4" = 1'-0"		





- CONSTRUCTION KEY NOTES:**
1. NEW GRANITE OR EQUIV. COUNTERTOP
  2. NEW UPPER AND LOWER CABINETS
  3. NEW DEEP ISLAND CABINETS WITH COUNTERTOP OVERHANG
  4. NEW KITCHEN SINK WITH FAUCET & TUBS DISPOSAL
  5. NEW GAS RANGE AND HOOD ABOVE
  6. LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 180 CFM, MEETS 150.0(b) ENR, 5.6-102.6(A) AIRFHE HL 62.2 DWELLING UNIT FLOOR AREA = 1500 SQ.FT.
  7. NEW 20\"/>

- TYPICAL CONSTRUCTION NOTES:**
1. ALL EXISTING TO REMAIN UNLESS OTHERWISE NOTED
  2. CONTRACTOR TO VERIFY ALL DIMENSIONS. DIMENSIONS TAKEN FROM FRAMING EXTERIOR TO CENTERLINE OF WALLS
  3. MINIMUM 1\"/>

- TYPICAL MECHANICAL PLUMBING ELECTRICAL NOTES:**
1. PROVIDE THE FOLLOWING MANDATORY REQUIREMENTS
    - a. A 120V electrical receptacle located within 3 feet of the water heater and accessible to the water heater with no obstructions, and
    - b. A category II or IV vent, or a type B vent with straight pipe (no bands or offsets) between the outside termination and the space where the water heater is located, and
    - c. A condensate drain, run to an approved receptor location, that is no more than 2\"/>

**PLAN LEGEND**

- EXISTING 2X4 STUD WALL
- NEW WALL - 2 x 6 STUDS @ 16\"/>

REV.	DESCRIPTION	DATE
ISSUE	03-03-25	

PLANS PREPARED BY:  
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**ZAK RESIDENCE**  
34 CASTAWAYS NORTH  
NEWPORT BEACH, CA 92660

**LOWER FLOOR CONSTRUCTION PLAN**

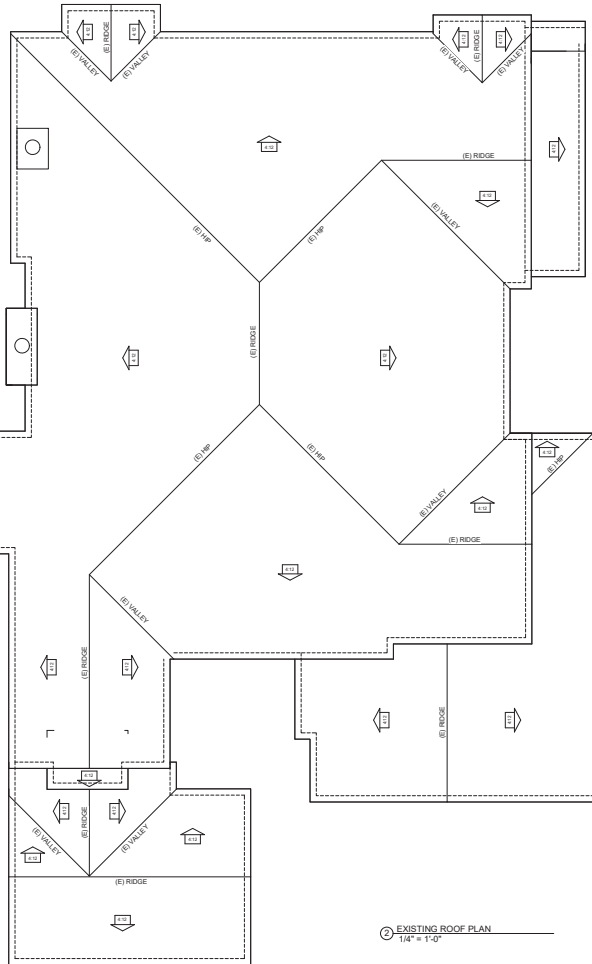
Project number: 2022-00000  
Date: 12-00-22  
Drawn by: Author  
Checked by: Checker

**A-1.0**

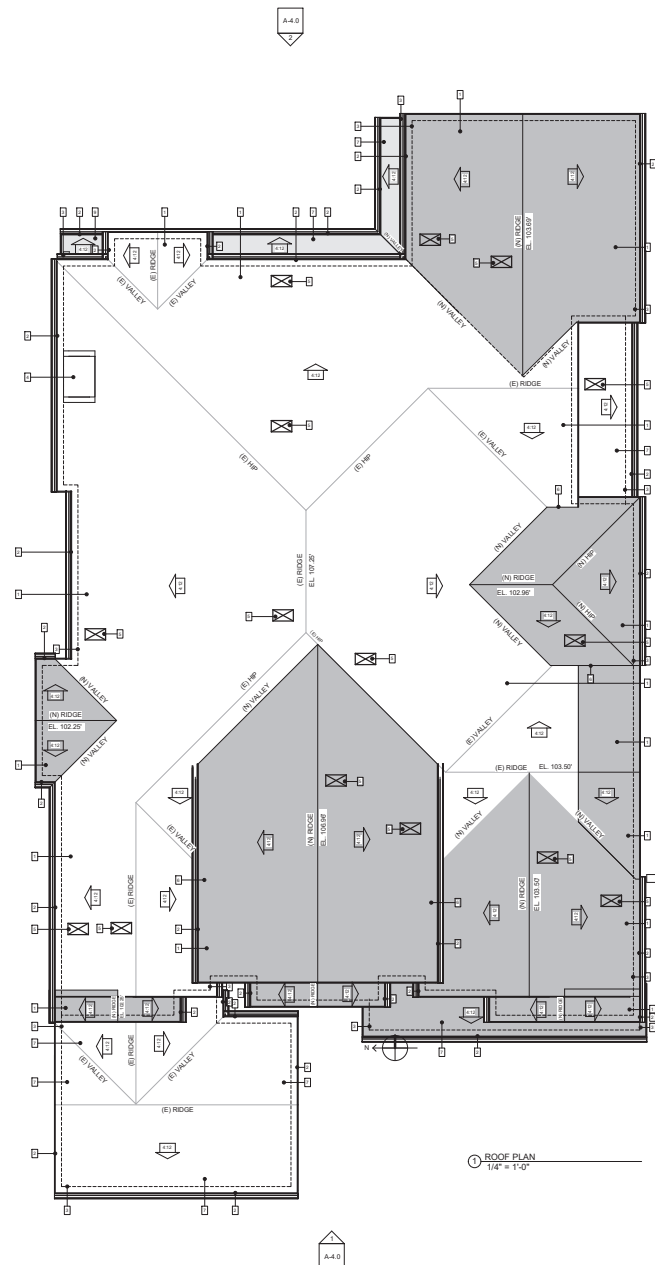
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2. EXISTING ROOF PLAN  
1/4" = 1'-0"



1. ROOF PLAN  
1/4" = 1'-0"

**TYPICAL ROOF NOTES:**

1. ALL ROOF SHEATHING PER STRUC.
2. NEW FLASHING FINISH TO MATCH RAIN GUTTERS TYPICAL.
3. ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1/350, PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 2" ABOVE EAVE OR CORNER VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH WITH 1/16" MINIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF VENTS. CIRC RIGID.
4. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE 1" RIGID SPACE BETWEEN INSULATION AND ROOF SHEATHING PER SECTION R906.3.

**ROOF KEY NOTES:**

1. NEW ROOF TO BE LIGHTWEIGHT CONCRETE ROOF TILE, CLASS "A" ROOF.
2. NEW FLASHING FINISH TO MATCH RAIN GUTTERS TYPICAL.
3. ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1/350, PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 2" ABOVE EAVE OR CORNER VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH WITH 1/16" MINIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF VENTS. CIRC RIGID.
4. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE 1" RIGID SPACE BETWEEN INSULATION AND ROOF SHEATHING PER SECTION R906.3.

**NEW ROOF ONLY (VENT CALCULATIONS)**

REQUIRED NFPA	2,730 sq ft / 2600 = 10.5 sq ft
CONVERT TO INCHES	10.5 sq ft x 144 = 1,512 sq in.
HIGH AND LOW VENT	1,512 sq in. x 50% = 756 sq in.
O'Hagen roof vent	97.5 sq in. NFPA
High Profile Model S	
O'Hagen Vent Calculator Below	
TOTAL # OF HIGH VENTS	655 sq in / 97.5 sq in = 6.72 = 7 VENT
TOTAL # OF LOW VENTS	655 sq in / 97.5 sq in = 6.72 = 7 VENT
PROVIDED 7 HIGH VENTS & 8 LOWER VENTS	

	AREA OF NEW ROOF FRAMING 1ST FLOOR
	AREA OF NEW ROOF FRAMING 2ND FLOOR
	LINE OF ROOF
	LINE OF EXTERIOR WALL

**ROOF PLAN LEGEND**

REV.	DESCRIPTION	DATE
	ISSUE	03-03-25

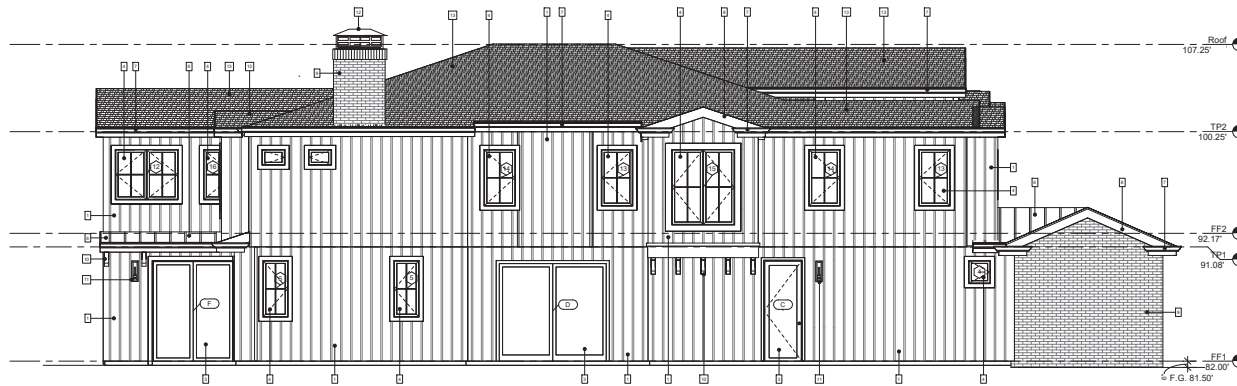
PLANS PREPARED BY:  
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NEWPORT BEACH, CA 92660

ROOF PLAN

Project number	2022-00000
Date	12-00-22
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

**A-3.0**



4 SIDE 2 EXTERIOR ELEVATION  
1/4" = 1'-0"



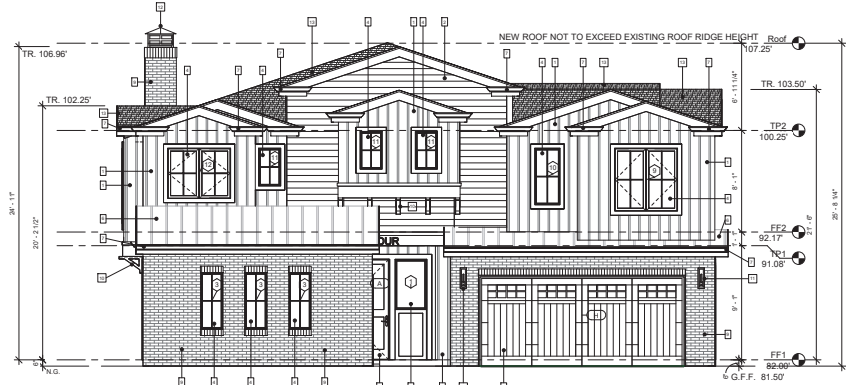
3 SIDE 1 EXTERIOR ELEVATION  
1/4" = 1'-0"

**ELEVATION KEY NOTES:**

1. NEW BOARD AND BATTEN EXTERIOR FINISH - WINDSOR ONE BATTEN 1"x3"
2. PAINTED BENJAMIN MOORE "WHITE DOVE" SATIN FINISH
3. NEW HORIZONTAL LAP SIDING 6" PAINTED BENJAMIN MOORE "WHITE DOVE" SATIN FINISH
4. NEW WINDOW PER SCHEDULE SHEET A-0.1
5. NEW GARAGE DOOR PER SCHEDULE A-0.1
6. NEW CLASS "X" STANDING SEAM METAL ROOF - COLOR BLACK
7. NEW ALUMINUM RAIN GUTTERS COLOR BLACK
8. FASCIA BOARD AND TRIM PAINTED BENJAMIN MOORE "SIMPLY WHITE" SATIN FINISH
9. NEW STONE VENEER 1-1/2" MAX THICKNESS
10. NEW WOOD CORBEL PAINTED BENJAMIN MOORE "SIMPLY WHITE" SATIN FINISH
11. NEW EXTERIOR LED SCIENCE
12. NEW CHIMNEY 12" W/ SPARK ARRESTOR
13. NEW CLASS "X" LIGHT WEIGHT CONCRETE TILE ROOF EagleLix "PONDERROSA" 303 Sierra Marble



2 REAR EXTERIOR ELEVATION  
1/4" = 1'-0"



1 FRONT EXTERIOR ELEVATION  
1/4" = 1'-0"

REV.	DESCRIPTION/DATE
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CLIENT

EXTERIOR ELEVATIONS

SHEET NAME

Project number	2022-00000
Date	12-09-22
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

A-4.0