

Attachment E

Draft Resolution Approving the Major Site Development Review, Conditional Use Permit, and Lot Merger and Revocation of the existing Use Permit and Modification Permit (Includes Project Plans)

RESOLUTION NO. 2019- 76

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING MAJOR SITE DEVELOPMENT REVIEW NO. SD2018-003, CONDITIONAL USE PERMIT NO. UP2018-019, AND LOT MERGER NO. LM2018-004 AND REVOCATION OF USE PERMIT NO. UP2005-017 AND MODIFICATION PERMIT NO. MD2004-059 FOR THE VIVANTE SENIOR HOUSING PROJECT, LOCATED AT 850 AND 856 SAN CLEMENTE DRIVE (PA2018-185)

WHEREAS, an application was filed by Nexus Development Corporation representing Vivante Newport Center, LLC (“Applicant”), with respect to property located at 850 and 856 San Clemente Drive, and legally described as Parcel 2 of Newport Beach Lot Line Adjustment No. 95-3 together with Parcel 2 of Resubdivision No. 501, Assessor’s Parcel Nos. 442-261-05 and 442-261-17 (“Property”);

WHEREAS, the Applicant proposes the demolition of the existing Orange County Museum of Art (“OCMA”) (23,632 square feet) and associated administrative office building (13,935 square feet) to accommodate the development of a 183,983 square foot, six-story combination senior housing (90 unit residential dwelling units) and memory care facility (27 beds) (“Project”). The approximately 2.9 acre site is located on San Clemente Drive opposite the intersection with Santa Maria Road;

WHEREAS, in order to implement the Project, the Applicant, requests the following approvals from the City of Newport Beach (“City”):

- **General Plan Amendment** – To amend Anomaly No. 49 to change the land use category from PI (Private Institutions) to MU-H3 (Mixed-Use Horizontal). The proposed amendment also includes 90 additional dwelling units and would reduce the nonresidential floor area from 45,208 square feet to 16,000 square feet in Statistical Area L1. Table LU1 is amended to reflect a total of 540 dwelling units authorized within the MU-H3 land use designation,
- **Planned Community Development Plan Amendment** – To modify the San Joaquin Plaza Planned Community Development Plan (PC-19) to include development and design standards to allow for 90 senior dwelling units and 27 memory care beds. The Applicant also requests an increase in the height limit from 65 feet to 69 feet with 10 feet for appurtenances,

- **Development Agreement** – To provide public benefits should the Project be approved pursuant to Section 15.45.020 (Development Agreement Required) of the Newport Beach Municipal Code (“NBMC”) because the requested General Plan Amendment includes 50 or more dwelling units and adds dwelling units within Statistical Area L1,
- **Conditional Use Permit** – To allow the operation of the proposed senior housing and memory care facility, alcohol service for dining hall and lounge areas in the form of a Type 47 (On Sale General) and Type 57 (Special On Sale General) Alcoholic Beverage Control (“ABC”) licenses, and ensure land use compatibility,
- **Major Site Development Review** – To allow the construction of 90 senior dwelling units and a 27 bed memory care facility and to ensure the Project is developed in accordance with the applicable planned community and zoning code development standards and regulations pursuant to Section 20.52.080 (Site Development Reviews) of the NBMC,
- **Lot Merger** – To merge the two (2) existing parcels into one development site,
- **Addendum to Environmental Impact Report (SCH#2016021023)** – To address reasonably foreseeable environmental impacts resulting from the legislative and project specific discretionary approvals, the City has determined that an addendum to a previously certified Environmental Impact Report (“EIR”) is warranted pursuant to the California Environmental Quality Act (“CEQA”);

WHEREAS, the Property is designated PI (Private Institutions) by the City of Newport Beach General Plan (“General Plan”) Land Use Element and is located within the PC-19 (San Joaquin Plaza Planned Community) Zoning District;

WHEREAS, the Property is not located within the coastal zone; therefore, a coastal development permit is not required;

WHEREAS, a Planning Commission study session was held on April 18, 2019, in the Council Chambers located at 100 Civic Center Drive, Newport Beach, California, to introduce the Project to the Planning Commission. No action was taken at the study session;

WHEREAS, on July 18, 2019, the Airport Land Use Commission (“ALUC”) found the City of Newport Beach Vivante Senior Housing project to be consistent with the Airport Environs Land Use Plan for John Wayne Airport;

WHEREAS, the Planning Commission held a public hearing on July 18, 2019 in the Council Chambers at 100 Civic Center Drive, Newport Beach, California. A notice of time, place and purpose of the hearing was given in accordance with California Government Code Section 54950 *et seq.* (the "Ralph M. Brown Act") and Chapters 15.45, 20.56 and 20.62 of the NBMC. Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this hearing;

WHEREAS, on July 18, 2019, the Planning Commission adopted Resolution No. PC2019-021 by a unanimous vote of 5 ayes and 0 nays, recommending approval of the Project, and the land use entitlements referenced above, to the City Council;

WHEREAS, the City Council held a public hearing on August 13, 2019, in the Council Chambers at 100 Civic Center Drive, Newport Beach, California. A notice of time, place and purpose of the public hearing was given in accordance with the Ralph M. Brown Act and Chapters 15.45, 20.56 and 20.62 of the NBMC. Evidence, both written and oral, was presented to, and considered by, the City Council at this public hearing;

WHEREAS, a site development review is required for the construction of five (5) or more residential units processed in conjunction with a mixed-use development. The site development review analyzes the Project as a whole for compatibility with the site and surrounding land uses;

WHEREAS, a conditional use permit is required pursuant to the amended PC-19 (San Joaquin Plaza Planned Community) Zoning District land use regulations to allow the operation of the proposed senior housing and memory care facility, alcohol service for dining hall and lounge areas in the form of a Type 47 (On Sale General) and Type 57 (Special On Sale General) Alcoholic Beverage Control ("ABC") licenses, and ensure land use compatibility;

WHEREAS, a lot merger is required to merge the two (2) existing parcels into one (1) development site; and

WHEREAS, revocation of Use Permit No. UP2005-017 is requested by the Applicant. Use Permit No. UP2005-017 allowed beer and wine sales at the museum. Revocation of Modification Permit No. MD2004-059 which allowed additional flagpoles/signage beyond that allowed by the NBMC is also requested by the Applicant.

NOW, THEREFORE, the City Council of the City of Newport Beach resolves as follows:

Section 1: The City Council has considered the recommendation of the Planning Commission and has determined that modifications proposed by the City Council are not major changes that require referral back to the Planning Commission for its recommendation.

Section 2: The City Council hereby approves Major Site Development Review No. SD2018-003, Conditional Use Permit No. UP2018-019, and Lot Merger No. LM2018-004, subject to the conditions of approval set forth in Exhibit "A", which is attached hereto and incorporated herein by reference.

Section 3: A site development review is required for the construction of five or more residential units processed in conjunction with a mixed-use development. The site development review analyzes the Project as a whole for compatibility with the site and surrounding land uses. In accordance with Subsection 20.52.080(F) (Site Development Reviews, Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The proposed development is allowed within the subject zoning district.*

Fact in Support of Finding:

1. The proposed Major Site Development Review for the approximately 184,000 square foot Project is consistent with the proposed amendment to the PC-19 Development Plan, which would allow a residential care facility for the elderly, subject to the approval of a conditional use permit. The Residential Care Facility for the Elderly ("RCFE") would be a combined memory care senior housing/assisted living facility.

Finding:

- B. *The proposed development is in compliance with all of the following applicable criteria in Subsection 20.52.080(C)(2)(c):*
- i. *Compliance with this section, the General Plan, this Zoning Code, any applicable specific plan, and other applicable criteria and policies related to the use or structure;*

- ii. The efficient arrangement of structures on the site and the harmonious relationship of the structures to one another and to other adjacent developments; and whether the relationship is based on standards of good design;*
- iii. The compatibility in terms of bulk, scale, and aesthetic treatment of structures on the site and adjacent developments and public areas;*
- iv. The adequacy, efficiency, and safety of pedestrian and vehicular access, including drive aisles, driveways, and parking and loading spaces;*
- v. The adequacy and efficiency of landscaping and open space areas and the use of water efficient plant and irrigation materials; and*
- vi. The protection of significant views from public right(s)-of-way and compliance with NBMC Section 20.30.100 (Public View Protection).*

Facts in Support of Finding:

1. The Project is consistent with the amended MU-H3 General Plan land use designation and the amended San Joaquin Plaza Planned Community (PC-19) Zoning District.
2. The proposed structure will maintain a similar size and scale to that of the existing adjacent buildings to the west and east along San Clemente Drive. The total gross floor area will be no more than 189,900 square feet, which will be compliant with the maximum floor area allowed pursuant to the amended San Joaquin Plaza PC.
3. The building will be set back a minimum of 15 feet from the San Clemente Drive property line and five (5) feet from all other property lines. The Project is designed such that the building is set back a minimum of approximately 36 feet from the adjacent residential property at the Villas Fashion Island to the north. The setback area will be improved with parking areas and landscaping to help buffer the site from adjacent uses and the public right-of-way.
4. The proposed structure complies with the amended PC-19 maximum height of 69 inches as measured from finished grade to the top of the uppermost ceiling. An additional 10 feet is allowed for roofing and mechanical screening up to 77 feet 10 inches. All mechanical equipment on the rooftop will be screened in compliance with Subsection 20.30.020 (Buffering and Screening) of the NBMC.
5. The proposed structure is required to comply with all Building and Fire Codes. The facility is required to obtain a license from the Department of Social Services (DSS) of the State of California for its operation.

6. The Project will be Italianate in appearance with building materials and finishes that include smooth-coat plaster walls, natural travertine stone, vinyl windows, metal railings, window trims, and a porte-cochère. The building style is complementary to surrounding office buildings in Newport Center and the façade is modeled after 888 San Clemente Drive.
7. Site access, including the new curb cut, drive aisles, driveways, parking, loading spaces, and sight distance have all been reviewed by the Public Works Department for adequacy, efficiency, and safety. The Project does not change any street parking configurations as no parking is allowed on San Clemente Drive
8. The Project design complies with the required parking ratio of 1.2 parking spaces per dwelling unit of congregate care/senior housing (i.e., 90 units multiplied by 1.2 = a minimum of 108 parking spaces) and one (1) parking space for every three (3) beds of memory care (i.e., 27 beds divided by three (3) = a minimum of nine (9) parking spaces). A total of 118 parking spaces are provided on-site.
9. All facility operations including delivery hours to the facility are limited by the conditions of approval to help mitigate potential impacts to the adjacent residential neighbors.
10. The Project includes approximately 15,487 square feet of landscape area, which has been designed to meet Chapter 14.17 (Water-Efficient Landscape) of the NBMC requirements with respect to water efficiency.
11. Lighting of the building is conditioned to meet the requirements of the NBMC to mitigate impacts to neighboring properties.
12. The visual simulations indicate that the Project does not have the potential to obstruct public views from public view points and corridors, as identified on General Plan Figure NR 3 (Coastal Views), to the Pacific Ocean, Newport Bay and Harbor, offshore islands, the Old Channel of the Santa River (the Oxbow Loop), Newport Pier, Balboa Pier, designated landmark and historic structures, parks, coastal and inland bluffs, canyons, mountains, wetlands, and permanent passive open space. The Project is not located near any public view points and there are no designated public views through or across the site.

Finding:

- C. *In accordance with Subsection 20.52.020(F)(5), the proposed development is not detrimental to the harmonious and orderly growth of the City, nor will it endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of person residing or working in the neighborhood of the proposed development.*

Facts in Support of Finding:

1. The Project has been designed to ensure that potential conflicts with surrounding land uses are minimized to the extent possible to maintain a healthy environment for both businesses and residents by providing an architecturally pleasing building with articulation and building modulation to enhance the urban environment consistent with development in Newport Center.
2. The proposed building has been designed to accommodate and provide safe access for emergency vehicles, delivery trucks, and refuse collections vehicles, as determined by the City Traffic Engineer. Emergency, refuse, and delivery trucks will utilize the entry drive off of San Clemente Drive at the southerly side of the Property. Secondary egress and emergency access will be available through the access drive to the northeast. The final size, design, location, and screening of the refuse enclosures will comply with the requirements of Section 20.30.120 (Solid Waste & Recyclable Materials Storage) of the NBMC, ensuring compatibility with the on-site and adjacent uses.
3. Conditions of Approval are included to help ensure any potential impacts are limited, including, but not limited to:
 - a. Condition of Approval No. 12 limits delivery and commercial trash pick-up hours to the facility to mitigate potential impacts to the adjacent neighbors.
 - b. Conditions of Approval Nos. 29 and 30 require all outdoor lighting to meet the requirements of the Zoning Code, prohibiting light and glare spillage from the facility to the adjacent properties. This will be reviewed in more detail as part of the building permit plan check process.
 - c. The noise from a convalescent and/or congregate care facility is typically low. Conditions of Approval Nos. 32 and 33 helps to ensure that the use will comply with Chapter 10.26 (Community Noise Control) of the NBMC.

4. The Project would introduce approximately 153 new residents, which is a nominal increase in the City's overall total population. However, these types of facilities typically require more calls for emergency medical services than a residential community of the same size. Terms may be included in the development agreement to further ensure public welfare and safety.
5. The Project is located in close proximity to Fire Station 3, which will be available to respond to medical emergency calls for the facility.
6. The City has sufficient water supply to serve the Project. Site landscaping will adhere to the requirements of Chapter 14.17 (Water-Efficient Landscaping) of the NBMC.
7. The John Wayne Airport is located approximately 2.94 miles southeast of the Property and is the nearest public airport. The Project is within the notification area of the Airport Environs Land Use Plan ("AELUP") for John Wayne Airport. According to the notice criteria tool, the Project is in proximity to a navigation facility and may impact the assurance of navigation signal reception. However, many adjacent high rise buildings exceed the height of the proposed Project. A "No Hazard" determination was provided by the Federal Aviation Administration ("FAA"). The Project site also falls outside the 60 dBA Community Noise Equivalent Level contour line established by the AELUP and would, therefore, not conflict with any land use compatibility issues related to noise. Finally, the Project site does not fall within any of the AELUP Safety Zones, in which certain land uses have been identified as incompatible and restricted. The General Plan and PC amendments were deemed consistent with the AELUP by the Airport Land Use Commission meeting at their July 18, 2019 meeting.
8. The Project does not involve the use or manufacture of any hazardous substances that could impact nearby development. Moreover, Project construction would comply with all applicable laws and regulations governing application and disposal of any hazardous materials discovered during construction.
9. Rooftop mechanical equipment is located within a mechanical equipment well and within an equipment screen and is not visible from the public right-of-way.
10. The new construction complies with all Building, Public Works, Fire Codes, City ordinances, and all conditions of approval.

11. A structure has existed at this location since 1976. The Project will improve the site with construction that complies with all current requirements. The Project will nominally increase the overall average daily trips ("ADT") by approximately 129 per the existing site trip counts and the 2017 Institute of Transportation Engineers ("ITE") Trip Generation Manual. The Public Works Department has reviewed the proposed operational characteristics and determined that a traffic study is not required to comply with the Traffic Phasing Ordinance.
12. The Project would replace the existing office buildings with a needed service for the aging population, where persons over the age of 65 comprise almost 22 percent of the City's total population according to latest available US Census Bureau data from July 1, 2018.

Section 4: The Applicant requests approval of a senior housing and memory care facility and accompanying Type 47 (On Sale General) and Type 57 (Special On Sale General) ABC licenses for alcohol service within designated dining hall and lounge areas. In accordance with Section 20.48.030 (Alcohol Sales) and Section 20.52.020(F) (Conditional Use Permits and Minor Use Permits, Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The use is consistent with the purpose and intent of Section 20.48.030(C)(3) (Alcohol Sales).*

Facts in Support of Finding:

1. The following criteria has been considered:
 - a. *The crime rate in the reporting district and adjacent reporting districts as compared to other areas in the City.*

The Part One Crimes Rate in Reporting District 39 (RD 39) is higher than the Part One Crimes Rate for the City and adjacent districts due to the high concentration of commercial land uses. However, with the introduction of the new residential units, the crime rate is expected to decrease. The Police Department does not object to this Project as conditioned.

- b. *The numbers of alcohol-related calls for service, crimes, or arrests in the reporting district and in adjacent reporting districts.*

Due to the high concentration of commercial land uses, the calls for service and number of arrests are greater than adjacent Reporting Districts. The Newport Beach Police Department ("NBPD") does not consider the rate high because of the concentration of restaurants and commercial uses within Fashion Island and the surrounding North Newport Center. The NBPD has not previously reported any calls for service to the subject property since the proposed use is part of a new development.

- c. *The proximity of the establishment to residential zoning districts, day care centers, hospitals, park and recreation facilities, places of worship, schools, other similar uses, and any uses that attract minors.*

The Project site is located in a senior housing facility and is intended to serve residents and their guests. The complex is surrounded by commercial and residential zoning districts and uses. The dining area for residents is located inside of the building on the first and second floor levels. There are no day care centers, hospitals, park and recreation facilities, places of worship, or similar uses in the immediate vicinity.

- d. *The proximity to other establishments selling alcoholic beverages for either off-site or on-site consumption.*

The per capita ratio of one license for every 12 residents is higher than all adjacent reporting districts and the average citywide ratio. This is due to the commercial nature of RD 39, which contains all of North Newport Center, including Fashion Island.

- e. *Whether or not the proposed amendment will resolve any current objectionable conditions.*

The Project has been reviewed and conditioned to ensure that the purpose and intent of Section 20.48.030 (Alcohol Sales) of the NBMC, is maintained and that a healthy environment for residents and businesses is preserved. The service of alcohol is intended for the convenience of residents of the apartment complex and their guests. Operational conditions of approval relative to the sale of alcoholic beverages will help ensure compatibility with the surrounding uses and minimize alcohol related impacts.

Finding:

- B. *The use is consistent with the General Plan and any applicable specific plan in accordance with Subsection 20.52.020(F)(1).*

Fact in Support of Finding:

1. The Project is consistent with the amended MU-H3 General Plan land use designation and the amended San Joaquin Plaza Planned Community (PC-19) Zoning District.

Finding:

- C. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code in accordance with Subsection 20.52.020(F)(2).*

Fact in Support of Finding:

1. The Project complies with all NBMC and amended PC-19 development standards, including, but not limited to, height, floor area, parking, and landscaping. See all Facts in Support of Findings 1 through 3 for the Planned Community Development Plan Amendment (II).

Finding:

- D. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity in accordance with Subsection 20.52.020(F)(3).*

Facts in Support of Finding:

1. The Project will replace an existing museum and associated administrative office building with senior housing and a memory care facility. At present, a 45,208 square foot building could be constructed on the Property. The Project improvements will modernize and comprehensively upgrade the general appearance of the site.
2. The Property is located along San Clemente Drive in Newport Center. A new curb cut will be created for site access and will be located directly across from Santa Maria Drive and used as the primary entry and exit. Secondary egress and emergency access will occur across an existing access drive at the northeast corner of the property.

3. The Property is immediately adjacent to professional office buildings to the west and southeast, which are taller or comparable in height. Several residential buildings are located in the immediate vicinity, with The Colony Apartments to the southwest and the Villas Fashion Island to the northeast. These are permitted to have structures with a maximum height of 50 feet on a 15 foot high podium and 65 feet, respectively with an additional 10 feet for appurtenances. The Project is a quasi-residential use and complies with the maximum height limitations as identified in the amended PC-19 Development Plan. It has been designed such that it will be compatible with the adjoining land uses. All proposed building construction will be set back a minimum of approximately 36 feet from the property lines abutting the Villas Fashion Island apartments. The main drive aisle, landscaping, and a perimeter site will serve to further buffer those residential uses from the Project.
4. Condition of Approval No. 2 is included to limit the Project to 90 senior housing dwelling units and 27 memory care beds, which will ensure the operation does not intensify.
5. The Project has been designed to ensure that potential conflicts with surrounding land uses are minimized to the extent possible to maintain a healthy environment for both businesses and residents by providing an architecturally pleasing building with articulation and building modulation to enhance the urban environment consistent with development in Newport Center.
6. The proposed building has been designed to accommodate and provide safe access for emergency vehicles, delivery trucks, and refuse collections vehicles, as determined by the City Traffic Engineer. Emergency, refuse, and delivery trucks will utilize the entry drive off of San Clemente Drive at the southerly side of the Property. Secondary egress and emergency access will be available through the access drive to the northeast. The final size, design, location, and screening of the refuse enclosures will comply with the requirements of Section 20.30.120 (Solid Waste & Recyclable Materials Storage) of the NBMC, ensuring compatibility with the on-site and adjacent uses.
7. Conditions of Approval are included to help ensure any potential impacts are limited, including, but not limited to:
 - a. Condition of Approval No. 12 limits delivery and commercial trash pick-up hours to the facility to mitigate potential impacts to the adjacent neighbors.

- b. Conditions of Approval Nos. 29 and 30 require all outdoor lighting to meet the requirements of the Zoning Code, prohibiting light and glare spillage from the facility to the adjacent properties. This will be reviewed in more detail as part of the building permit plan check process.
- c. The noise from a convalescent and/or congregate care facility is typically low. Conditions of Approval Nos. 32 and 33 helps to ensure that the use will comply with NBMC Chapter 10.26 (Community Noise Control).

Finding:

- E. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities in accordance with Subsection 20.52.020(F)(4).*

Facts in Support of Finding:

- 1. The Property is currently developed with an access drive over the adjacent property at 888 San Clemente Drive. The Project will add its own driveway approach on San Clemente Drive for Project access and a secondary access easement will be recorded for egress and emergency vehicle access.
- 2. The Project provides adequate parking and circulation including turn-around areas for deliveries. Conditions of approval are included to ensure compliance with all the circulation standards and the final plans are required to be reviewed and approved by the Public Works Department.
- 3. Adequate emergency vehicle access has been incorporated into the Project design and have been reviewed by the Fire Department. Conditions of approval are included to help ensure compliance with all emergency vehicle access requirements and the final plans are required to be approved by the Fire Department during plan check.
- 4. The City currently services the site with water and sewer via mains that run through San Clemente Drive and Santa Barbara Drive out to Jamboree Road. The City has indicated that the Project could be adequately served by its infrastructure. The Gas Company and Southern California Edison will continue to service the site for gas and electrical through existing connections.

Finding:

- F. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use in accordance with Subsection 20.52.020(F)(5).*

Fact in Support of Finding:

1. The Project has been designed to ensure that potential conflicts with surrounding land uses are minimized to the extent possible to maintain a healthy environment for both businesses and residents by providing an architecturally pleasing building with articulation and building modulation to enhance the urban environment consistent with development in Newport Center.
2. The proposed building has been designed to accommodate and provide safe access for emergency vehicles, delivery trucks, and refuse collections vehicles, as determined by the City Traffic Engineer. Emergency, refuse, and delivery trucks will utilize the entry drive off of San Clemente Drive at the southerly side of the Property. Secondary egress and emergency access will be available through the access drive to the northeast. The final size, design, location, and screening of the refuse enclosures will comply with the requirements of Section 20.30.120 (Solid Waste & Recyclable Materials Storage) of the NBMC, ensuring compatibility with the on-site and adjacent uses.
3. Conditions of Approval are included to help ensure any potential impacts are limited, including, but not limited to:
 - a. Condition of Approval No. 12 limits delivery and commercial trash pick-up hours to the facility to mitigate potential impacts to the adjacent neighbors.
 - b. Conditions of Approval Nos. 29 and 30 require all outdoor lighting to meet the requirements of the Zoning Code, prohibiting light and glare spillage from the facility to the adjacent properties. This will be reviewed in more detail as part of the building permit plan check process.
 - c. The noise from a convalescent and/or congregate care facility is typically low. Conditions of Approval Nos. 32 and 33 helps to ensure that the use will comply with Chapter 10.26 (Community Noise Control) of the NBMC.

4. The Project would introduce approximately 153 new residents, which is a nominal increase in the City's overall total population. However, these types of facilities typically require more calls for emergency medical services than a residential community of the same size. Terms may be included in the development agreement to further ensure public welfare and safety.
5. The Project is located in close proximity to Fire Station 3, which will be available to respond to medical emergency calls for the facility.
6. The City has sufficient water supply to serve the Project. Site landscaping will adhere to the requirements of Chapter 14.17 (Water-Efficient Landscaping) of the NBMC.
7. The John Wayne Airport is located approximately 2.94 miles southeast of the Property and is the nearest public airport. The Project is within the notification area of the AELUP for John Wayne Airport. According to the notice criteria tool, the Project is in proximity to a navigation facility and may impact the assurance of navigation signal reception. However, many adjacent high rise buildings exceed the height of the proposed Project. A "No Hazard" determination was provided by the FAA. The Project site also falls outside the 60 dBA Community Noise Equivalent Level contour line established by the AELUP and would, therefore, not conflict with any land use compatibility issues related to noise. Finally, the Project site does not fall within any of the AELUP Safety Zones, in which certain land uses have been identified as incompatible and restricted. The General Plan and PC amendments will first be forwarded to the ALUC for their review prior to the City Council consideration.
8. The Project does not involve the use or manufacture of any hazardous substances that could impact nearby development. Moreover, Project construction would comply with all applicable laws and regulations governing application and disposal of any hazardous materials discovered during construction.
9. Rooftop mechanical equipment is located within a mechanical equipment well and within an equipment screen and is not visible from the public right-of-way.
10. The new construction complies with all Building, Public Works, Fire Codes, City ordinances, and all conditions of approval.

11. A structure has existed at this location since 1976. The Project will improve the site with construction that complies with all current requirements. The Project will nominally increase the overall average daily trips ("ADT") by approximately one hundred twenty-nine (129) per the existing site trip counts and the 2017 Institute of Transportation Engineers ("ITE") Trip Generation Manual. The Public Works Department has reviewed the proposed operational characteristics and determined that a traffic study is not required to comply with the Traffic Phasing Ordinance.
12. The Project would replace the existing office buildings with a needed service for the aging population, where persons over the age of 65 comprise almost 22 percent of the City's total population according to latest available US Census Bureau data from July 1, 2018.

Section 5: In accordance with Section 19.68.030(H) (Lot Mergers, Required Findings) of the NBMC, the following findings and facts in support of such findings (N through R) are set forth:

Finding:

- A. *Approval of the merger will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot merger is consistent with the legislative intent of Title 19 in accordance with Subsection 19.68.030(H)(1).*

Facts in Support of Finding:

1. The Project consists of a single building site constructed across 850 and 856 San Clemente Drive.
2. The Property is located within the PC-19 (San Joaquin Plaza Planned Community) Zoning District, which is amended to accommodate the Project.
3. The Project is consistent with the purpose and intent of Title 19 (Subdivisions) of the NBMC, inasmuch as it will help to protect landowners and surrounding residents, and will preserve the public health, safety, and general welfare of the City. It will also be consistent with the policies and provisions of the General Plan, as discussed under Subsection I, Facts 1-3 and Finding P.

4. All building improvements are required to comply with applicable NBMC regulations and City policies.

Finding:

- B. The lots to be merged are under common fee ownership at the time of the merger in accordance with Subsection 19.68.030(H)(2).*

Fact in Support of Finding:

1. The Properties, described in Section 1 of this Resolution, are under common fee ownership by Vivante Newport Center, LLC, as evidenced by the Title Report submitted with the application.

Finding:

- C. The lots, as merged, will be consistent or will be more closely compatible with the applicable zoning regulations and will be consistent with other regulations relating to the subject property including, but not limited to, the General Plan and any applicable Coastal Plan or Specific Plan in accordance with Subsection 19.68.030(H)(3).*

Facts in Support of Finding:

1. The General Plan Land Use Element designation will be amended for this parcel from PI (Private Institutions) to MU-H3 (Mixed-Use Horizontal), which is consistent with the surrounding block in Newport Center. This area is intended to provide for horizontal intermixing of regional commercial, office, hotel, multi-family residential, and ancillary commercial uses. The Project, which consists of senior housing (an attached multi-family residential use) and memory care facility (a nonresidential use), is consistent with the MU-H3 land use designation.
2. The Project is consistent with the following General Plan Land Use Element Policies:
 - a. LU 4.2 - Prohibition of New Residential Subdivisions. Prohibit new residential subdivisions that would result in additional dwelling units unless authorized by an amendment of the General Plan (GPA). Lots that have been legally merged through the Subdivision Map Act and City Subdivision Code approvals are exempt from the GPA requirements and may be re-subdivided to the original underlying legal lots. This policy is applicable to all Single Unit, Two Unit, and Multiple Unit Residential land use categories.*

The Project includes a General Plan amendment to allow for a mixed-use land use designation that would accommodate 90 new residential units and 27 memory care beds as part of the Project on a single building site in Newport Center.

3. Merging of the two (2) existing parcels will comply with Zoning Code requirements relating to minimum lot area and minimum lot width. The proposed parcel will be 126,600 square feet in area (2.9 acres) for which there is no required minimum lot size. The width of the parcel will be 429 feet, for which there is no current minimum lot width. The PC-19 (San Joaquin Plaza Planned Community) text will establish minimum lot area and lot widths based on the proposed lot merger.

Finding:

- D. *Neither the lots, as merged, nor the adjoining parcels, will be deprived of legal access as a result of the merger in accordance with Subsection 19.68.030(H)(4).*

Fact in Support of Finding:

1. Neither of the merged parcels, nor the adjoining parcels, will be deprived of legal access as a result of the merger. Access to both properties is provided from San Clemente Drive and a new driveway and curb cut will be provided to serve the Project. Secondary access will be recorded for egress and emergency vehicle access to the northeast of the property across the Villas Fashion Island property (APN No. 442-261-23).

Finding:

- E. *In accordance with Subsection 19.68.030(H)(5), the lots, as merged, will be consistent with the pattern of development nearby and will not result in a lot width, depth or orientation, or development site that is incompatible with nearby lots. In making this finding, the review authority may consider the following:*

a. Whether development of the merged lots could significantly deviate from the pattern of development of adjacent and/or adjoining lots in a manner that would result in an unreasonable detriment to the use and enjoyment of other properties.

b. Whether the merged lots would be consistent with the character or general orientation of adjacent and/or adjoining lots.

c Whether the merged lots would be conforming or in greater conformity with the minimum lot width and area standards for the zoning district.

Facts in Support of Finding:

1. The orientation and primary access to the merged parcel will remain from San Clemente Drive, a public road.
2. Properties along San Clemente Drive consist of varying shapes and sizes. Although the proposed lot merger will create a larger parcel, it will not create an excessively large parcel in comparison to existing lots and parcels in Newport Center. The width of the San Clemente Drive frontage will appear unchanged and consistent with the widths of other properties on San Clemente Drive.

Section 6: In accordance with Section 19.08.030(A)(3) (Waiver of Parcel Map Requirement) of the NBMC, the review authority (City Council) may approve a waiver of the parcel map requirement in cases where no more than three (3) parcels are eliminated. The following finding and facts in support of such finding are set forth:

Finding:

- A. *That the proposed division of land complies with requirements as to area, improvement and design, flood water drainage control, appropriate improved public roads and property access, sanitary disposal facilities, water supply availability, environmental protection, and other applicable requirements of Title 19, the Zoning Code, the General Plan, and any applicable Coastal Plan or Specific Plan.*

Facts in Support of Finding:

1. Improvements on the Property will be required to comply with the development standards of the NBMC and General Plan.
2. The Project combines the Properties into a single parcel of land and does not result in the elimination of more than three (3) parcels.
3. Approval of the Project would remove the existing interior lot line and allow the Properties to be used as a single site. The Lot Merger in and of itself would not change the land use or intensity at the site. The Project complies with all design standards and improvements required for new subdivisions by Title 19 (Subdivisions), Title 20 (Planning and Zoning), and the General Plan.

Section 7: The City Council hereby rescinds Modification Permit No. MD2004-059 (PA2004-184) and Use Permit No. UP2005-017 (PA2005-086), which upon vesting of the rights authorized by this resolution, shall become null and void.

Section 8: In accordance with Section 20.68.050(B)(4)(a) (Review Authority's Action) of the NBMC, the following finding and fact in support of the revocation are set forth:

Finding:

- A. *The permit or approval was issued in error or circumstances under which the permit or approval was granted have been modified to an extent that one or more of the findings that justified the original approval can no longer be made and the public health, safety, and welfare require the revocation or modifications.*

Fact in Support of Finding:

1. The Property is subject to changed circumstances under which the Property will no longer be improved with the infrastructure and occupied by a use contemplated by Use Permit No. UP2005-017 and Modification Permit No. MD2004-059.

Section 9: The recitals provided in this resolution are true and correct and are incorporated into the operative part of this resolution.

Section 10: If any section, subsection, sentence, clause or phrase of this resolution is, for any reason, held to be invalid or unconstitutional, such decision shall not affect the validity or constitutionality of the remaining portions of this resolution. The City Council hereby declares that it would have passed this resolution, and each section, subsection, sentence, clause or phrase hereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared invalid or unconstitutional.

Section 11: The Museum House Project Final EIR (SCH No. 2016021023) was prepared in compliance with the California Environmental Quality Act ("CEQA") as set forth in California Code of Regulations, Title 14, Division 6, Chapter 3, and City Council Policy K-3. By Resolution No. 2016-126, the City Council, having final approval authority over the project, adopted and certified as complete and adequate the Museum House Project Final Environmental Impact Report (SCH No. 2016021023) and adopted "Mitigation Monitoring and Reporting Program." Resolution No. 2016-126 is hereby incorporated by reference.

Section 12: The Vivante Senior Housing Environmental Impact Report Addendum (EIR Addendum) (SCH No. 2016021023) was prepared for the Project in compliance with CEQA, the State CEQA Guidelines, and City Council Policy K-3. By Resolution No. 2019-____, the City Council having final approval authority over the Project, adopted and certified as complete and adequate the Vivante Senior Housing Project Final Environmental Impact Report Addendum (SCH No. 2016021023) and adopted "Mitigation Monitoring and Reporting Program." Resolution No. 2019-____ is hereby incorporated by reference.

Section 13: This resolution shall take effect upon the effective date of City Council Ordinance No. 2019-____, adopting Planned Community Development Plan Amendment No. PC2018-001, and City Council Ordinance No. 2019-____, adopting Development Agreement No. DA2018-005, and the City Clerk shall certify the vote adopting the resolution.

ADOPTED this 13th day of August, 2019.

Diane B. Dixon
Mayor

ATTEST:

Leilani I. Brown
City Clerk

APPROVED AS TO FORM:
CITY ATTORNEY'S OFFICE

_____
for Aaron C. Harp
City Attorney

Attachment(s): Exhibit A: Conditions of Approval
 Exhibit B: Project Plans

Exhibit “A”

Conditions of Approval

(Project-specific conditions are in italics)

PLANNING DIVISION

1. The development shall be in substantial conformance with the Property site plan, floor plans and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *This approval authorizes ninety (90) dwelling units of senior housing/congregate care and twenty-seven (27) beds for a memory care facility as a Residential Care Facility for the Elderly, as specified in the adopted Planned Community Development Plan.*
3. *The Project shall adhere to the development standards established in the amended PC-19 Development Plan for the Project site.*
4. *The Applicant shall comply with all Project design features, mitigation measures, and standard conditions contained within the approved mitigation monitoring reporting program (MMRP) of the EIR Addendum (SCH No. 2016021023) for the Project.*
5. The Project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
6. All proposed signs shall be in conformance with the provisions of PC-19 and Chapter 20.42 (Sign Standards) of the NBMC.
7. *Prior to the issuance of building permits, Fair Share Traffic Fees shall be paid for the new elderly residential dwelling units (currently \$895.00 per new additional dwelling unit) in accordance with Chapter 15.38 (Fair Share Traffic Contribution Ordinance) of the NBMC. A credit for the existing commercial square footage shall be applied toward this fee and any remaining balance shall be charged to the Applicant.*
8. *Prior to the issuance of building permits, San Joaquin Transportation Corridor fees shall be paid at the multi-family rate (currently \$2,595 per dwelling unit times one half for each new senior housing unit) and at the nonresidential rate (currently \$5.68 per square foot), if applicable, in accordance with the Zone B fees identified in the City's fee schedule. Fees may not apply if the property is considered property tax exempt, to be determined at the time of building permit issuance.*
9. *Prior to issuance of final building permits, the Applicant shall prepare a written disclosure statement prior to sale, lease, or rental of a residential unit in the proposed mixed-use development consistent with Section 20.48.130.H (Notification to Owners and Tenants) of the Municipal Code.*

10. *Prior to issuance of final building permits, the Applicant shall record a deed notification with the County Recorder's Office approved as to form by the Office of the City Attorney consistent with Section 20.48.130.I (Deed Notification). The deed notification shall state that the residential units are located in a mixed-use project or in a mixed-use zoning district and that an owner may be subject to impacts, including inconvenience and discomfort, from lawful activities occurring in the project or zoning district (e.g. noise, lighting, odors, high pedestrian activity levels, etc.).*
11. *Any material changes in operational characteristics, including but not limited to the following, may require an amendment to this use permit or issuance of a new use permit as determined by the Community Development Director:*
 - a. *Expiration without renewal, or permanent loss of a Department of Social Services (DSS) license as a Residential Care Facility for the Elderly (RCFE).*
 - b. *Change in on-site staffing that creates a deficiency in parking supply or results in a parking impact to surrounding properties.*
 - c. *Increase in physical capacity of facility and increases in floor area of facility.*
 - d. *Request for amendment to any condition or conditions of approval.*
12. *Deliveries and refuse collection for the facility shall be prohibited between the hours of 10:00 p.m. and 7:00 a.m. on weekdays and Saturdays and between the hours of 10:00 p.m. and 9:00 a.m. on Sundays and Federal holidays, unless otherwise approved by the Director of Community Development, and may require an amendment to this Use Permit.*
13. *All residents, visitors, and employees shall park on-site. Parking on any streets is strictly prohibited.*
14. *Prior to the issuance of the final certificate of occupancy, the Operator shall obtain approval of an RCFE license from the DSS and maintain a DSS license at all times for the memory care facility. The use shall be operated in compliance with applicable State and local laws.*
15. *The Operator shall comply with the Business License provisions of the Municipal Code.*
16. *The Operator shall provide and maintain public notice of the Regional DSS Office and the Long-Term Ombudsman addresses and phone numbers for receiving inquiries and/or complaints in reference to the operation of its facility.*
17. *The Operator shall not allow more than two residents in one bedroom for the senior housing dwelling units.*
18. *Smoking on-site shall be restricted to a designated area that will prevent second-hand smoke from traveling to the adjacent properties. This area shall be identified on the final construction drawings.*

19. *On-site assembly-type amenities within the property are limited solely to use by the residents of the facility and their visiting guests, and facility staff during their shift.*
20. *Any and all medical waste generated through the operation of the facility shall be disposed of in accordance with the NBMC, and all other laws and best industry standards and practices.*
21. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies.
22. Prior to the issuance of building permits, the trash enclosure design shall provide a minimum of 384 square feet of trash/recycling area and shall have a decorative solid roof for aesthetic and screening purposes.
23. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.
24. The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within twenty (20) feet of the premises.
25. The Applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the provisions of Title 14; including all future amendments (including Water Quality related requirements).
26. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
27. Prior to the issuance of building permits, the Applicant shall submit a final landscape and irrigation plan prepared by a licensed landscape architect. These plans shall incorporate drought tolerant plantings and water efficient irrigation practices, and the plans shall be approved by the City Urban Forester and the Planning Division. The design shall comply with Chapter 14.17 (Water-Efficient Landscaping) of the NBMC.
28. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing

and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

29. The Property shall be in compliance with Section 20.30.070 (Outdoor Lighting) of the NBMC. If in the opinion of the Community Development Director, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources, the Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
30. Prior to the issuance of building permits, the Applicant shall prepare a photometric study in conjunction with a final lighting plan for approval by the Planning Division. The survey shall show that lighting values are "1" or less at all property lines, unless otherwise approved by the Community Development Director.
31. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
32. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) of the NBMC and other applicable noise control requirements of the NBMC. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

Location	Between the hours of 7 a.m. and 10 p.m.		Between the hours of 10 p.m. and 7 a.m.	
	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

33. Construction activities shall comply with Section 10.28.040 (Construction Activity - Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
34. No outside paging system shall be utilized in conjunction with this establishment.
35. Storage outside of the building in the front or at the rear of the property shall be prohibited, with the exception of the required trash container enclosure.
36. A Special Events Permit is required for any event or promotional activity outside the normal operational characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any

form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.

37. *A valet plan shall be reviewed and approved by Public Works prior to the first use of valet service. The approved valet plan shall be used for each event/holiday. Any changes to the approved plan requires approval of the Public Works Department.*
38. *Prior to issuance of any building permit, the Applicant shall provide satisfactory evidence that a Native American monitor has been retained to observe the site when construction activities occur in native soils. In the event that tribal cultural resources are discovered, the Native American monitor shall be included in the consultation on the recommended next steps.*
39. *Prior to issuance of any building permit, the Applicant shall submit a construction management and delivery plan to be reviewed and approved by the Public Works and Community Development Departments. The plan shall include discussion of Project phasing; parking arrangements for both sites during construction (including construction parking); anticipated haul routes; and construction mitigation. Upon approval of the plan, the Applicant shall be responsible for implementing and complying with the stipulations set forth in the approved plan.*
40. This approval may be modified or revoked by the Planning Commission should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
41. Any change in operational characteristics, expansion in area, or other modification to the approved plans, shall require an amendment to this Use Permit or the processing of a new Use Permit.
42. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or the leasing agent.
43. *The term and expiration of Lot Merger No. LM2018-004, Major Site Development Review No. SD2018-003 and Conditional Use Permit No. UP2018-019 shall be governed by Development Agreement No. DA2018-005.*
44. To the fullest extent permitted by law, Applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Vivante Senior Housing including, but not limited to, General Plan Amendment No. GP2018-003, Planned Community Development Plan Amendment No. PC2018-001, Development

Agreement No. DA2018-005, Major Site Development Review No. SD2018-003, Conditional Use Permit No. UP2018-019, Lot Merger No. LM2018-004, and EIR Addendum No. ER2016-002 (PA2018-185). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The Applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

POLICE DEPARTMENT

45. *Alcohol service be limited to 7:00 a.m. through 11:00 p.m., daily.*
46. *Alcohol service shall be limited to a Type 47 (On Sale General) and Type 57 (Special On Sale General) Alcoholic Beverage Control License.*
47. *Only residents and their guests may be served in the dining halls, café, and lounge areas. The dining halls, café, and lounge areas shall not be open to the general public for food and/or alcohol service.*
48. *Security cameras with at least a two week retention period must be installed in and around the alcohol consumption area in the Lounge, Café, and Dining Hall areas. Those recordings shall be made available to police upon request in a timely manner.*
49. All owners, managers and employees selling alcoholic beverages shall undergo and successfully complete a certified training program in responsible methods and skills for selling alcoholic beverages within sixty (60) days of hire. This training must be updated every three (3) years regardless of certificate expiration date. The certified program must meet the standards of the certifying/licensing body designated by the State of California. The establishment shall comply with the requirements of this section within sixty (60) days of approval. Records of each owner's, manager's, and employee's successful completion of the required certified training program shall be maintained on the premises and shall be presented upon request by a representative of the City of Newport Beach.
50. Approval does not permit the premises to operate as a "bar, tavern, cocktail lounge or nightclub" as defined by the Newport Beach Municipal Code. The Newport Beach Municipal Code defines bars, lounges, and nightclubs as an establishment that sells or serves alcoholic beverages for consumption on the premises and is holding or applying for a public premises license from the California State Department of Alcoholic Beverage Control (ABC) (i.e. ABC License Type 42 (On-Sale Beer and Wine – Public Premises), ABC License Type 48 (On-Sale General – Public Premises), and ABC License Type 61 (On-Sale Beer – Public Premises)). Persons under twenty-one (21) years of age are not allowed to enter and remain on the

premises. The establishment shall include any immediately adjacent area that is owned, leased, rented, or controlled by the licensee.

51. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the licensee.
52. Petitioner shall not share any profits or pay any percentage or commission to a promoter or any other person based upon monies collected as a door charge, cover charge, or any other form of admission charge, including minimum drink orders or the sale of drinks.
53. Food service from the regular menu shall be available at all times when alcohol is served.
54. Strict adherence to maximum occupancy limit is required.
55. The operator shall be responsible for the control of noise generated by the subject facility. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code.
56. The operator shall take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in all areas surrounding the alcoholic beverage outlet and adjacent properties during business hours.

BUILDING DIVISION

57. *A full building code, accessibility, and structural review will be performed at the time of plan review submittal.*
58. The Applicant is required to obtain all applicable permits from the City's Building Division. The construction plans must comply with the most recent, City-adopted version of the California Building Code (CBC). The construction plans must meet all applicable State Disabilities Access requirements.
59. *All new construction shall comply with the latest code edition at the time of plan check submittal. Current code cycle is 2016 California Code Edition with Newport Beach Municipal Code Amendments.*
60. *Prior to grading permit issuance, a grading bond shall be required in accordance with Section 15.10.080 (Bonds) of the NBMC.*
61. *Prior to grading permit issuance, a geotechnical report shall be submitted to the Building Division for review.*
62. *Prior to issuance of grading permits, the Applicant shall prepare and submit a Water Quality Management Plan (WQMP) for the Project, subject to the approval of the Building Division and Code and Water Quality Enforcement Division. The*

WQMP shall provide appropriate Best Management Practices (BMPs) to ensure that no violations of water quality standards or waste discharge requirements occur.

63. *Prior to grading permit issuance, a drainage and hydrology study shall be submitted.*
64. *Prior to issuance of building permits, the Project shall obtain a general construction NPDES storm water permit from the State Water Resources Control Board. Tel. (909) 782-4130.*
65. *Prior to the issuance of grading permits, a Storm Water Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) to comply with the General Permit for Construction Activities shall be prepared, submitted to the State Water Quality Control Board for approval and made part of the construction program. The Applicant will provide the City with a copy of the NOI and their application check as proof of filing with the State Water Quality Control Board. This plan will detail measures and practices that will be in effect during construction to minimize the Project's impact on water quality. *The SWPPP Report shall prepared by a qualified SWPPP Developer (QSD) (<http://cfpub.epa.gov/npdes/stormwater/swppp.cfm>).**
66. The Applicant shall employ the following best available control measures ("BACMs") to reduce construction-related air quality impacts:

Dust Control

- Water all active construction areas at least twice daily.
- Cover all haul trucks or maintain at least two feet of freeboard.
- Pave or apply water four times daily to all unpaved parking or staging areas.
- Sweep or wash any site access points within two hours of any visible dirt deposits on any public roadway.
- Cover or water twice daily any on-site stockpiles of debris, dirt or other dusty material.
- Suspend all operations on any unpaved surface if winds exceed 25 mph.

Emissions

- Require 90-day low-NOx tune-ups for off road equipment.
- Limit allowable idling to 30 minutes for trucks and heavy equipment

Off-Site Impacts

- Encourage carpooling for construction workers.
- Limit lane closures to off-peak travel periods.
- Park construction vehicles off traveled roadways.
- Wet down or cover dirt hauled off-site.
- Sweep access points daily.
- Encourage receipt of materials during non-peak traffic hours.
- Sandbag construction sites for erosion control.

Fill Placement

- The number and type of equipment for dirt pushing will be limited on any day to ensure that SCAQMD significance thresholds are not exceeded.
 - Maintain and utilize a continuous water application system during earth placement and compaction to achieve a 10 percent soil moisture content in the top six-inch surface layer, subject to review/discretion of the geotechnical engineer.
67. A list of “good housekeeping” practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.
 68. Prior to the issuance of building permits, Applicant shall provide full building code analysis on occupancy, type of construction, actual/allowable floor area, actual/allowable height, number of stories, sprinkler system, etc.
 69. Prior to the issuance of building permits, Applicant shall provide a full egress analysis plan.
 70. Prior to the issuance of building permits, Applicant shall provide building or structure setbacks from top and bottom of slope as shown in CBC, Fig. 1808.7.1. For descending slopes less than 12 feet in height, minimum setback from competent slope face material shall be 4 feet.

71. *Prior to the issuance of building permits, Applicant shall provide accessible routes throughout the entire site such as parking lot area, public area, common area, and all pedestrian circulations.*
72. *Prior to the issuance of building permits, Applicant shall clearly distinguish between the public and common area on the plan. Any public areas within the building shall comply with Title 24 Chapter 11B; and all ground-floor dwelling units and common areas shall comply with Title 24 Chapter 11A.*
73. *Prior to the issuance of building permits, the plans shall reflect all ground-floor units shall be adaptable and accessible.*
74. *Prior to the issuance of building permits, accessible parking spaces shall be provided for the public use areas in accordance with Section 11B-208.2.*
75. *Prior to the issuance of building permits, accessible parking spaces shall be provided for unassigned and visitor parking in accordance with Section 1109A.5, in the event provided parking stalls are insufficient.*
76. *If any public funding is received for the proposed Project, the entire building will need to comply with CBC 11B as public housing requirements.*
77. *Prior to the issuance of building permits, building areas used to determine based on the type of construction and occupancy classification shall be the area include within surrounding exterior walls exclusive of vent shafts and courts. See definition of "Area, Building" under CBC.*
78. *Prior to the issuance of building permits, Applicant shall identify/clarify all the dotted lines shown on the civil drawings.*
79. *Prior to the issuance of building permits, the plans shall reflect that the proposed building shall not impose surcharge pressures onto existing neighboring retaining walls.*
80. *Prior to the issuance of building permits, the plans shall reflect that the exit enclosure located at the south wing shall discharge directly out of the building or via passageway.*
81. *Prior to the issuance of building permits, the plans shall reflect a minimum two-hour rated exit enclosure stairway. This will be required when connected to four or more stories.*
82. *Prior to the issuance of building permits, the plans shall reflect where the means of egress from stories above and below converge at an intermediate level, the capacity of the means of egress from the point of convergence shall be not less than the largest minimum width or the sum of the required capacities for the stairways serving the two adjacent stories, whichever is larger (CBC 1005.7)*

83. *Prior to the issuance of building permits, the plans shall provide elevator lobby and hoistway opening protection in accordance with CBC Section 3006.*
84. *Prior to the issuance of building permits, the plans shall identify the pool equipment and list the quantity of all hazardous materials stored on-site.*

FIRE DEPARTMENT

85. The Applicant is required to obtain all applicable permits from the City's Fire Department.
86. *Per California Fire Code (CFC) Section 907.2.9 Group R-2.1, fire alarm systems and smoke alarms shall be installed in Group R-2.1 occupancies as required in Sections 907.2.9.1 and 907.2.9.4.*
87. *A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group A occupancies where the occupant load due to the assembly occupancy is 300 or more (CFC Section 907.2.1).*
88. *Automatic sprinkler systems shall be designed and installed in accordance with Section 903.3.1 through 903.3.9 (CFC Section 903.3).*
89. *Single or multiple station smoke alarms shall be installed and maintained in Group R-2.1 in the following locations:*
 - a. *On the ceiling or wall outside of each, separate sleeping area in the immediate vicinity of bedrooms.*
 - b. *In each room used for sleeping purposes.*
90. *Fire apparatus access roads shall meet the requirements of CFC Section 503.1.1 and Newport Beach Fire Department Guideline C.01 and C.02. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved route around the exterior of the building or facility.*
91. *Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved cul-de-sac for turning around the fire apparatus without backing up. Turnarounds shall meet the turning radius requirements identified in Newport Beach Fire Department Guideline C.01. The minimum cul-de-sac radius is 40 feet without parking. An alternative hammerhead turnaround is acceptable, designed to the dimensions as indicated in Newport Beach Fire Department Guideline C.01.*
92. *Fire access roadways must be constructed of a material that provides an all-weather driving surface and capable of supporting 72,000 pounds imposed load for fire apparatus and truck outrigger loads. Calculations stamped and signed by a Registered Professional Engineer shall certify that the proposed surface meets*

the criteria of an all-weather driving surface and is capable of withstanding the weight of 72,000 pounds (Newport Beach Fire Department Guideline C.01).

93. *An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities and buildings are hereafter constructed or moved into or within the jurisdiction (CFC Section 507.1).*
94. *Fire flow shall be determined as per City Guideline B.01 (CFC 507.3).*
95. *Fire hydrants shall be provided and located within 400 feet of all portions of the building (CFC Section 507.5.1).*
96. *The Fire Department Connection (FDC) shall be on the address side of the building and located a minimum of 30 feet from beginning of the radius for the driveway approach; arranged so they are located immediately adjacent to the approved fire department access road so that hose lines can be readily and conveniently attached to the inlets without interference from nearby objects including building, fence, posts, or other fire department connections (Newport Beach Fire Department Guideline F.04).*
97. *The FDC shall be located no more than 100 feet from a public hydrant (Newport Beach Fire Department Guideline F.04).*
98. *Public Safety Radio Coverage will be required as per CFC Section 510.1 and City Guideline D.05.*
99. *Standby power shall be provided for emergency responder radio coverage systems as required in Section 510.4.2.3. The standby power supply shall be capable of operating the emergency responder radio coverage system for a duration of not less than 24 hours (CFC Section 604.2.3).*
100. *As per Amendment to CFC Section 604.8, provide and install electrical outlets (120 volt, duplex) connected to the emergency generator circuitry system when a generator is required by Section 604.2 of the CFC in every fire control room and in other areas as may be designated by the fire code official in the following locations:*
 - a. *In the main exit corridor of each floor adjacent to each exit enclosure;*
 - b. *On every level in every stairwell;*
 - c. *In each elevator lobby;*
 - d. *In public assembly areas larger than 1,500 square feet;*
 - e. *In every fire control room; and*
 - f. *In such other areas as may be designated by the fire code official.*
101. *Gurney-sized accessible elevator will be required with elevator recall as per CFC Section 607 and CBC Section 3002.*
102. *A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors (CFC Section 609.2).*

103. *Each required commercial kitchen exhaust hood and duct system required by Section 609 to have a Type I hood shall be protected with an approved automatic fire extinguishing system installed in accordance with this code (CFC Section 904.2.2).*
104. *Separation walls and horizontal separations must be provided as per California Building Code (CBC) Sections 420.2 and 420.3*
105. *Smoke barriers shall be provided in Group R-2.1 to subdivide every story used by persons receiving care, treatment or sleeping and to provide other stories with an occupant load of 50 or more persons, into no fewer than two smoke compartments. Such stories shall be divided into smoke compartments with an area of not more than 22,500 square feet and the distance of travel from any point in a smoke compartment to a smoke barrier door shall not exceed 200 feet. The smoke barrier shall be in accordance with CFC Section 709.*
106. *Refuse areas shall be provided within each smoke compartment as per California Building Code (CBC) Section 420.4.1.*
107. *Licensed 24-hour care facilities in a Group R-2.1, R-3.1 or R-4 occupancy shall comply with CBC Section 435 for special provisions for licensed 24-hour care facilities in a Group R-2.1, R3.1 or R-4 occupancy.*
108. *Carbon dioxide systems with more than 100 pounds of carbon dioxide used in beverage dispensing applications shall comply with CFC Sections 5307.2 through 5307.5.2 (CFC Section 5307.1 and City Guideline E.04).*
109. *Where carbon dioxide storage tanks, cylinders, piping and equipment are located indoors, rooms, or areas containing carbon dioxide storage tanks, cylinders, piping and fittings and other areas where a leak of carbon dioxide can collect shall be provided with either ventilation in accordance with Section 5307.5.1 or an emergency alarm system in accordance with Section 5307.5.2 (CFC Section 5307.5).*
110. *Underground Fire line shall be designed as per Newport Beach Fire Department Guideline F.04.*

PUBLIC WORKS DEPARTMENT

111. *All improvements shall be constructed as required by Ordinance and the Public Works Department.*
112. *Reconstruct the existing broken and/or otherwise damaged concrete sidewalk panels, curb, and gutter along the San Clemente Drive frontage.*
113. *Water and sewer demand studies are required.*

114. *All unused sewer laterals to be abandoned shall be capped at the property line. If the sewer lateral to be abandoned has an existing cleanout, abandonment shall include removal of the cleanout riser, the 4TT box and the wye. Sewer lateral shall then be capped where the wye used to be.*
115. *A new sewer cleanout shall be installed on the proposed sewer lateral per STD-406-L adjacent to the property line in the San Clemente Drive public right-of-way or within the sewer easement.*
116. *Prior to the issuance of building permits and in accordance with Chapter 13 of the City Municipal Code, 48-inch box street trees shall be planted along the San Clemente Drive frontage. Tree species (Ficus Rubiganosa) shall be planted per Council Policy G-6. Quantity and location of trees to be determined by Municipal Operations Division at plan check.*
117. *All improvements, including the proposed landscaping at the driveway shall comply with the City's sight distance requirement. See City Standard 110-L and Municipal Code Section 20.30.130.*
118. *In case of damage done to public improvements surrounding the development site by private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.*
119. *All on-site drainage shall comply with the latest City Water Quality requirements.*
120. *The driveway approach shall be constructed per City Standards.*
121. *No permanent structures can be built within the limits of the proposed and existing easements.*
122. *All proposed street trees are to be located at least 10 feet away from all utility services and driveway approaches.*
123. *All dead-end drive aisles shall be accompanied by a dedicated turnaround area and 5-foot wide minimum hammerhead/drive aisle dedication.*
124. *No temporary or permanent structural encroachments will be permitted within the public right-of-way or city easement areas, including but not limited to, caissons, tie-backs, shoring, etc. No excavation will be permitted within the public right-of-way as part of the foundation shoring installation.*
125. *Due to proposed modification or removal of existing City water and sewer facilities, existing easements will need to be adjusted prior to recordation of the lot merger. Applicant is responsible for the preparation of all easement documents.*
126. *Applicant is responsible for all utility upgrades that are required to accommodate the Project, including off-site sewer upgrades.*

127. *Applicant is required to obtain approval from the adjacent property owner (888 San Clemente Drive) regarding the proposed street end configuration and is responsible to construct said improvements.*
128. Orange County Sanitation District fees shall be paid prior to the issuance of any building permits.
129. Prior to commencement of demolition and grading of the Project, the Applicant shall submit a construction management and delivery plan to be reviewed and approved by the Public Works Department. The plan shall include discussion of Project phasing; parking arrangements for both sites during construction; anticipated haul routes and construction mitigation. Upon approval of the plan, the Applicant shall be responsible for implementing and complying with the stipulations set forth in the approved plan.
130. Traffic control and truck route plans shall be reviewed and approved by the Public Works Department before their implementation. Large construction vehicles shall not be permitted to travel narrow streets as determined by the Public Works Department. Disruption caused by construction work along roadways and by movement of construction vehicles shall be minimized by proper use of traffic control equipment and flagman.
131. Prior to the issuance of building permits, the Lot Merger shall be recorded. The Lot Merger exhibits shall be submitted to the Public Works Department for final review and approval. All applicable fees shall be paid.
132. Prior to the final of building permits, a secondary access easement shall be recorded for the rear access drive across Villas Fashion Island (APN No. 442-261-22).
133. Prior to the issuance of building permits, easements for unused utilities shall be abandoned and recorded.

UTILITIES DEPARTMENT

134. *A Standard Stormwater Mitigation Plan (SSMP) is required for the private sewer system. The SSMP shall be recorded with the property similar to a WQMP.*

Exhibit “B”

Project Plans

NEXUS

VIVANTE - SENIOR ASSISTED LIVING

NEWPORT BEACH, CALIFORNIA

HKS



ARCHITECT

HKS ARCHITECTS, INC.
130 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE ARCHITECT

PERKINS+WILL ASSOCIATES
27 MARKET AVENUE
SAN RAFAEL, CA 94561

STRUCTURAL ENGINEER

SHAPIRO-COOPER & HIGER
130 PAUL STREET, SUITE 400
SAN FRANCISCO, CA 94111

MEP ENGINEER

SCHWABER ENGINEERS
80 SOUTH MAIN AVENUE, SUITE 200
PASADENA, CA 91107

OWNER

VERUS COMPANIES
1 WALLSTOWN PLACE, SUITE 300
SANTA ANA, CA 92707

CIVIL ENGINEER

IMP & ASSOCIATES, INC.
101 N. PEARCE STREET, SUITE 100
SANTA ANA, CA 92705

UTILITY ENGINEER

B. PALMER & ASSOCIATES
ONE PRUDENCE DRIVE, SUITE 100
TERRACOTA, CA 92690

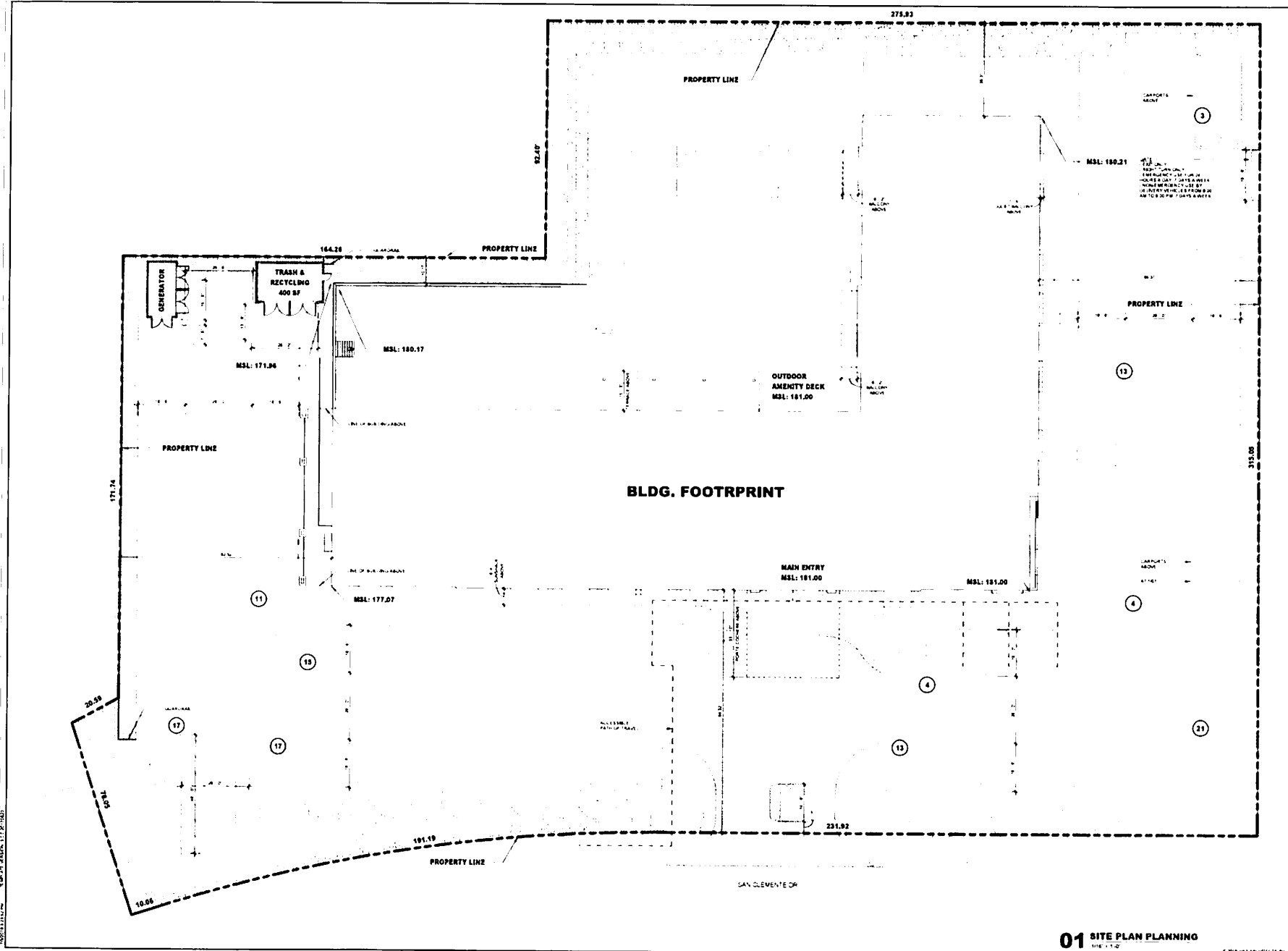
GEOTECHNICAL ENGINEER

GEOTECHNICAL PROFESSIONALS INC. (GPI)
8700 CORPORATE AVENUE
CYPRESS, CA 90630

ENTITLEMENT RESUBMITTAL 3

PROJECT NO. 22222
JUNE 28, 2019

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HKS

ARCHITECT
HKS ARCHITECT'S PC
338 BRYAN STREET, SUITE 100
DALLAS, TEXAS 75201-2001

LANDSCAPE
PERRY BURN & ASSOCIATES
27 MARINE AVENUE
RED BANK, NJ 08040

STRUCTURAL ENGINEER
SIMPSON CAMPBELL & HILGER
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEERS
SCHWABKE ENGINEERS
80 SOUTH LAKE AVENUE SUITE 840

OWNERS
NEXUS COMPANIES
1 BRIGANTHUR P. AVE. SUITE 100
SAN ANTONIO, TX 78201

OWNER CONSULTANT:
CIVIL ENGINEER
TAI & ASSOCIATES INC.

**UTILITY ENGINEER
ASSOCIATES, INC.**
ONE RIVERCHASE DRIVE, SUITE 101,
DALLAS, TEXAS 75241

TEHOMA, LA 97596
GEOTECHNICAL ENGINEER
 GEOTECHNICAL PROFESSIONALS INC. (JUN)
 5736 CORPORATE AVENUE
 CYPRESS, CA 90630

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

21. 22. 23.

PROJECT NUMBER
22222

DATE
06/28/19
ISSUED
ENTITLEMENT
RESUBMITTAL 3
SHEET TITLE
SITE PLAN

$$S_{\text{eff}}(t \rightarrow \infty)$$

A2.0

HKS

ARCHITECT
HKS ARCHITECTS, INC.
535 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARINER AVENUE
SAN RAFAEL, CA 94801

STRUCTURAL ENGINEER
SIMPSON QUINN & HEGER
100 PINE STREET, SUITE 400
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHNACKEL ENGINEERS
85 SOUTH LAKE AVENUE, SUITE 840
PASADENA, CA 91101

OWNER
NOLUX COMPANIES
1 MARATHON PLACE, SUITE 300
SANTA ANA, CA 92707

OWNER CONSULTANTS
CIVIL ENGINEER
TAT & ASSOCIATES, INC.
751 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE RIDGE GATE DRIVE SUITE 105
THERMIDON, CA 95758

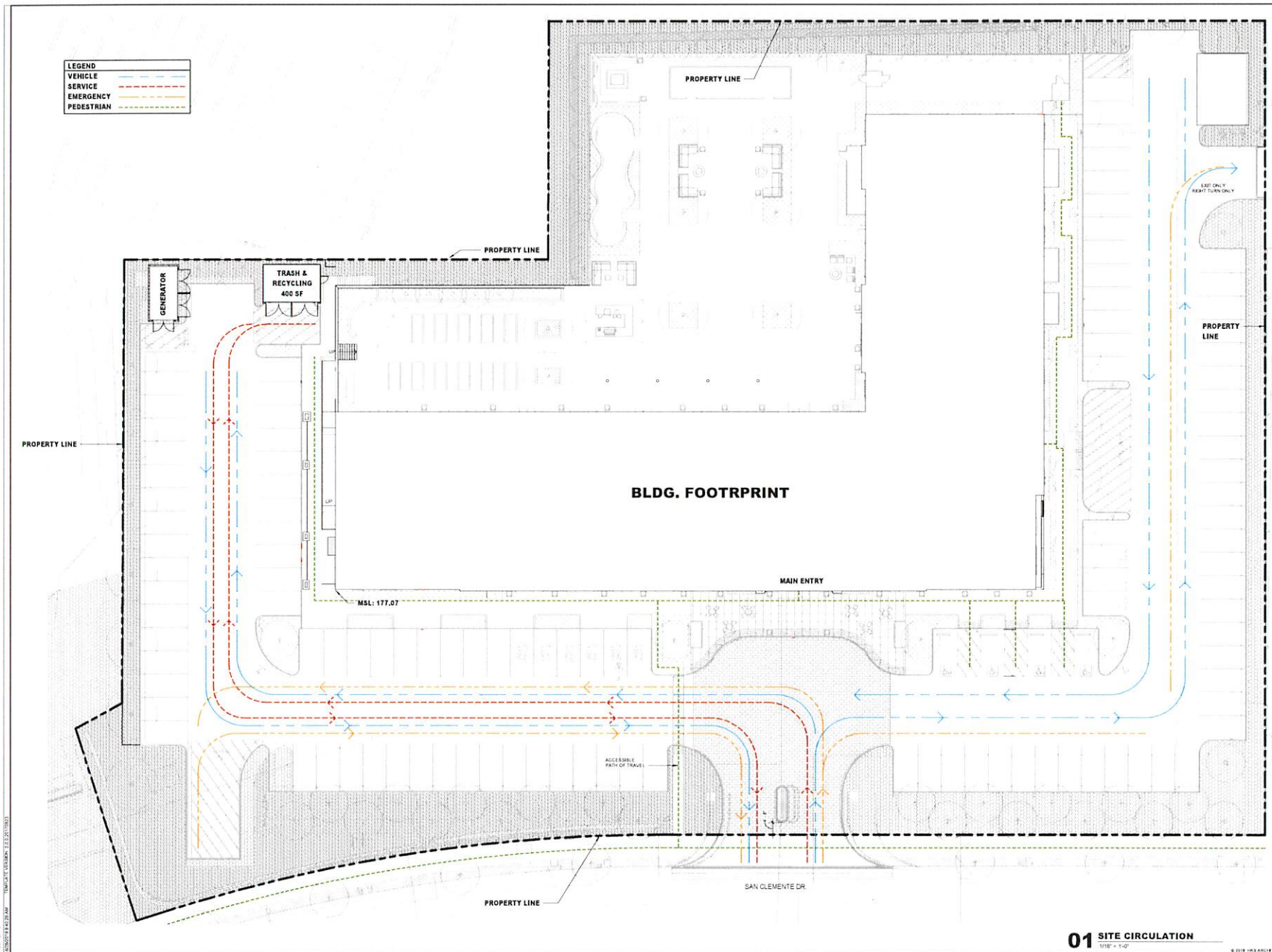
GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS INC. (GPI)
5738 CORPORATE AVENUE
CITYREDS, CA 90830

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222
DATE
06/28/19
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**
SHEET TITLE
SITE CIRCULATION

SHEET NO.
A2.0A



01 SITE CIRCULATION
1/8" = 1'-0"

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HKS

ARCHITECT
HKS ARCHITECTS INC.
135 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94133

LANDSCAPE
FLANNERY & ASSOCIATES
17 MARINER AVENUE
SAN RAFAEL, CA 94903

STRUCTURAL ENGINEER
SIMPSON QUIMPTZ & LEUNG
30 PINO STREET, SUITE 300
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCORPAC ENGINEERS
30 BAYVIEW AVENUE, SUITE 300
PACIFIC PALMS, CA 91361

OWNER
HALLS COMPANY
10000 TULSA PLACE, SUITE 300
SAN FRANCISCO, CA 94122

OWNER CONSULTANTS

CIVIL ENGINEER
TAT & ASSOCIATES INC.
701 W. MARSHALL STREET, SUITE 200
SAN ANTONIO, CA 94701

UTILITY ENGINEER
ASSOCIATES, INC.
301 MONTEGATE DRIVE, SUITE 100
FREMONT, CA 94538

GEOTECHNICAL ENGINEER
GUTENBERG, PUGH & SANDERS INC. (GSI)
5700 CORPORATE AVENUE
LYNNES, CA 94026

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION	DESCRIPTION	DATE
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HKS PROJECT NUMBER
22222

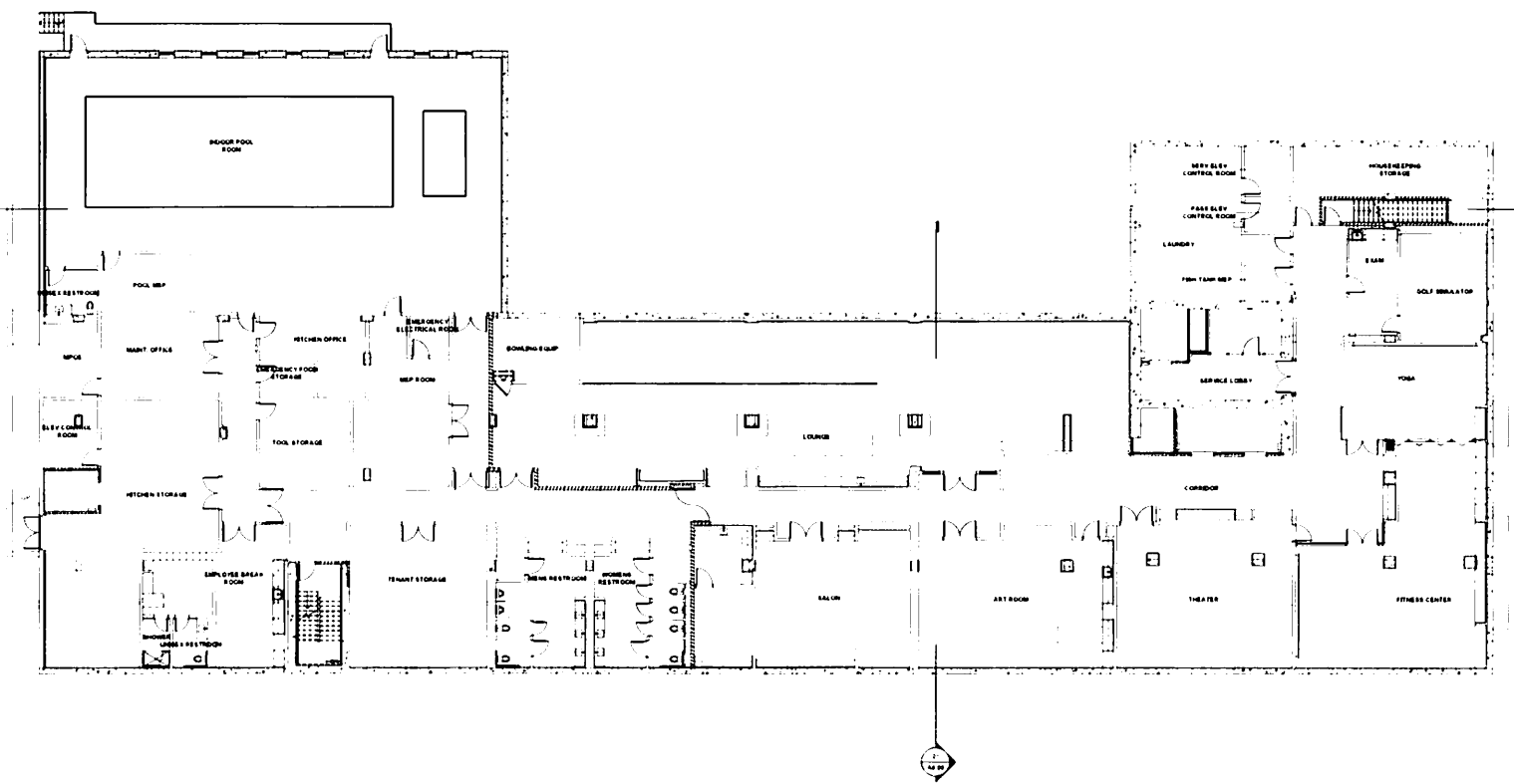
DATE
06/28/19

REVISION
06/28/19

**ENTITLEMENT
RESUBMITTAL 3**

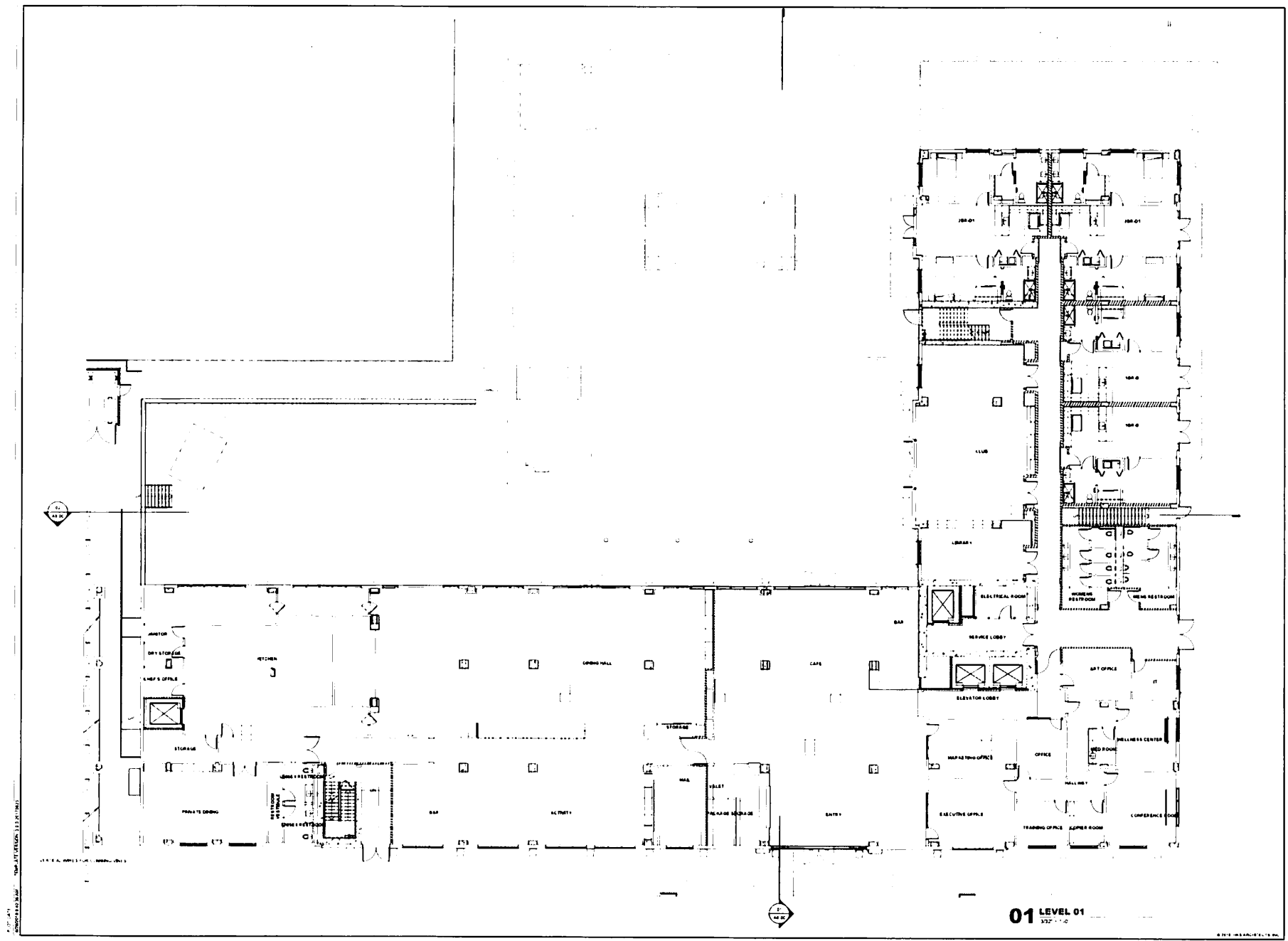
WEEK 101
BASEMENT FLOOR PLAN

WEEK 101
A2.1



01 BASEMENT
1/32" = 1'-0"

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HKS ARCHITECTS INC.
330 BAYVIEW STREET, SUITE 100
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LANDSCAPE
PERRY BLANK ASSOCIATES
37 MARINATA AVENUE
SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER
SIMPSON QUINN & LEUNG
300 FINE STREET, SUITE 800
SAN FRANCISCO, CA 94103

MEP ENGINEER
SUNSHINE ENGINEERS
20 SOUTH SAN ANTONIO SUITE 200
PASADENA, CA 91107

OWNER
HALL'S COMPANIES
7000 TOWN PLACE, SUITE 200
SANTA ANA, CA 92705

OWNER CONSULTANTS

CIVIL ENGINEER
TAYLOR ASSOCIATES INC.
700 N. PARKWAY CENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE REDUCED DRIVE SUITE 100
TERRACE, CA 92680

GEOTECHNICAL ENGINEER
JACOBY, FORD & ASSOCIATES INC.
3700 CORPORATE AVENUE
COSTA MESA, CA 92626

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

PROJECT NO. 22222
DATE 06/28/19
REVISIONS
ENTITLEMENT
RESUBMITTAL 3
SHEET NO.
LEVEL 01 FLOOR
PLAN
A2.2

HKS

ARCHITECT
HKS ARCHITECTS INC.
100 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PERRY BLANK & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER
SIMPSON QUINTERZ & HILL
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHWABER ENGINEERS
80 SOUTH LANE AVENUE, SUITE 800
PASADENA, CA 91101

OWNER
HLS BUILDING COMPANY
1 MOUNTAIN PLACE, SUITE 100
SANTA ANA, CA 92707

OWNER CONSULTANT
CIVIL ENGINEER
TAYLOR ASSOCIATES INC.
261 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE KODAK DRIVE, SUITE 100
TUCULULA, CA 93706

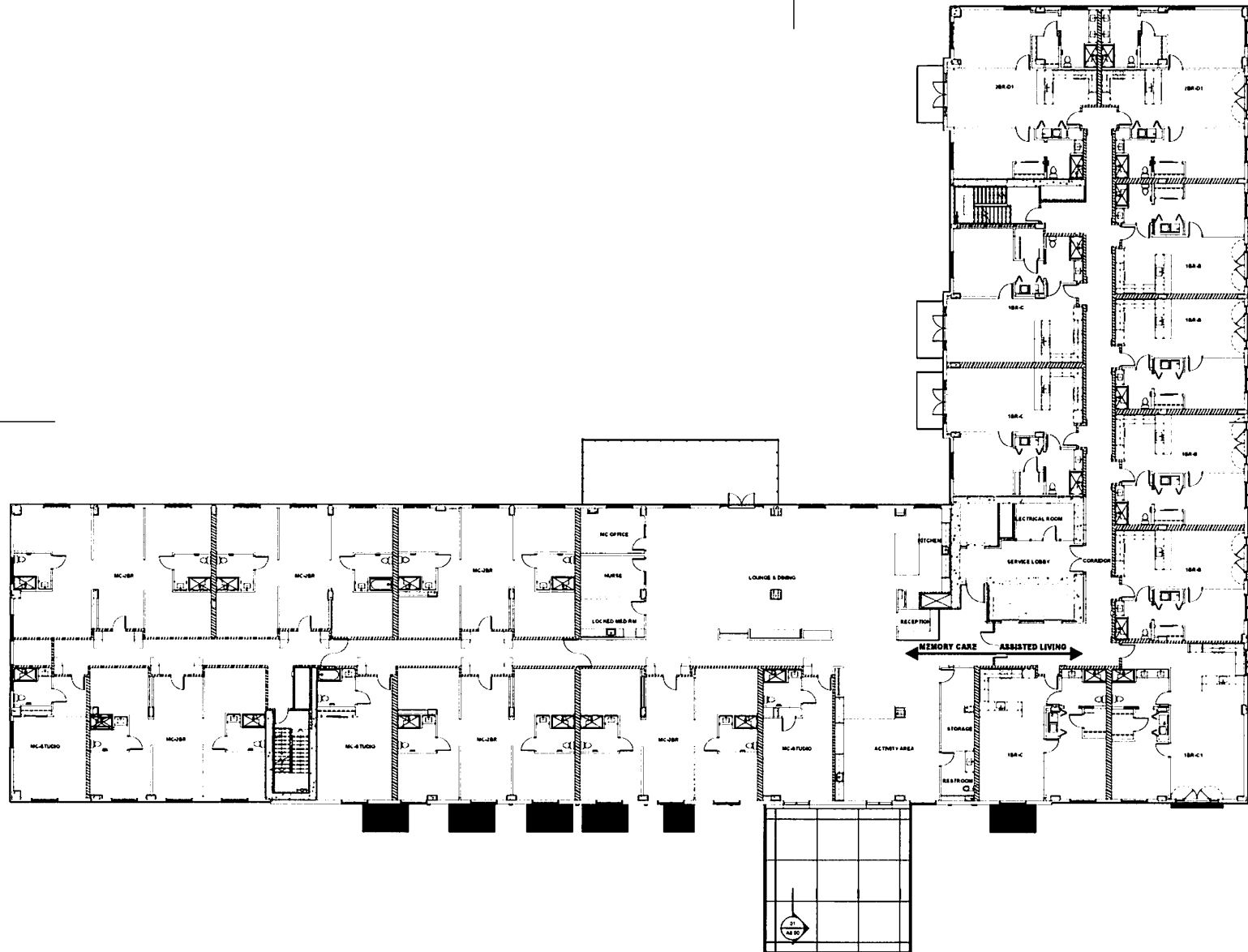
GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS INC.
1735 CORPORATE AVENUE
CITY OF LOS ANGELES

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION
NO. DESCRIPTION DATE

HKS PROJECT NUMBER
22222
DATE
06/28/19
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**
SHEET TITLE
**LEVEL 02 FLOOR
PLAN**

SHEET NO.
A2.3

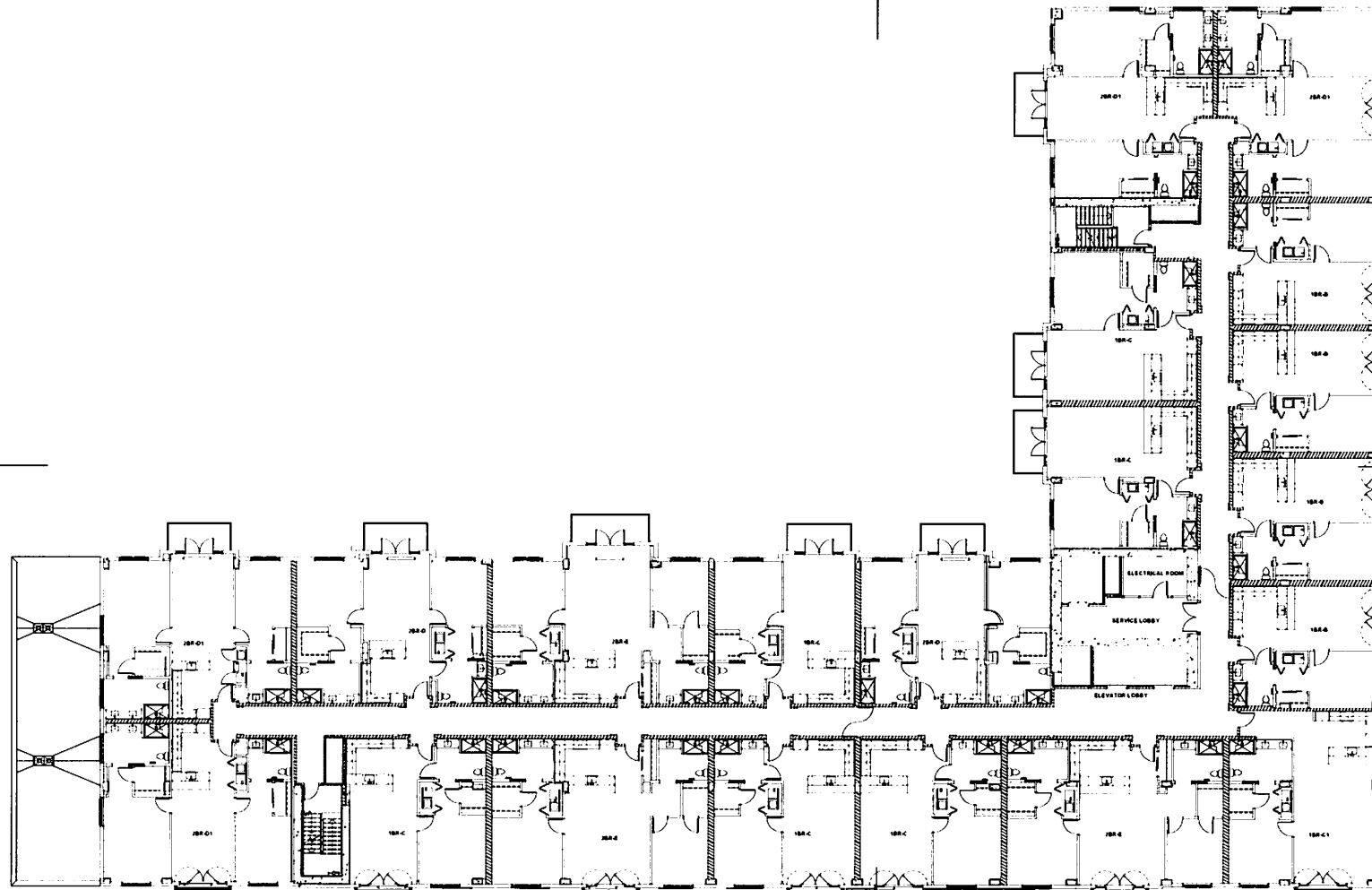


01 LEVEL 02
1/2" = 1'-0"

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4.07 DATE
06/28/19

01 LEVEL 03-04



01 LEVEL 03-04
3/2" = 1'-0"

HKS

ARCHITECT
HKS ARCHITECTS, INC.
100 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94102

LANDSCAPE
PIRELLA GÖTTSCHE LOWE
37 MARKET AVENUE
SAN FRANCISCO, CA 94102

STRUCTURAL ENGINEER
SIMPSON-LAMPERT ENGINEERS
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHWABER ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 400
PACIFIC PALMS, CA 91361

OWNER
HKS COMPANIES
1 MARKET PLACE, SUITE 100
SAN FRANCISCO, CA 94102

OWNER CONSULTANTS
CIVIL ENGINEER
TAYLOR ASSOCIATES, INC.
101 N. PARK CENTER DRIVE
SAN FRANCISCO, CA 94109

UTILITY ENGINEER
ASSOCIATES, INC.
ONE RIDGE GATE DRIVE, SUITE 100
FARMACLO, CA 94601

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC.
1700 CORPORATE AVENUE
CITY OF SAN FRANCISCO, CA 94103

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION NO.	DESCRIPTION	DATE

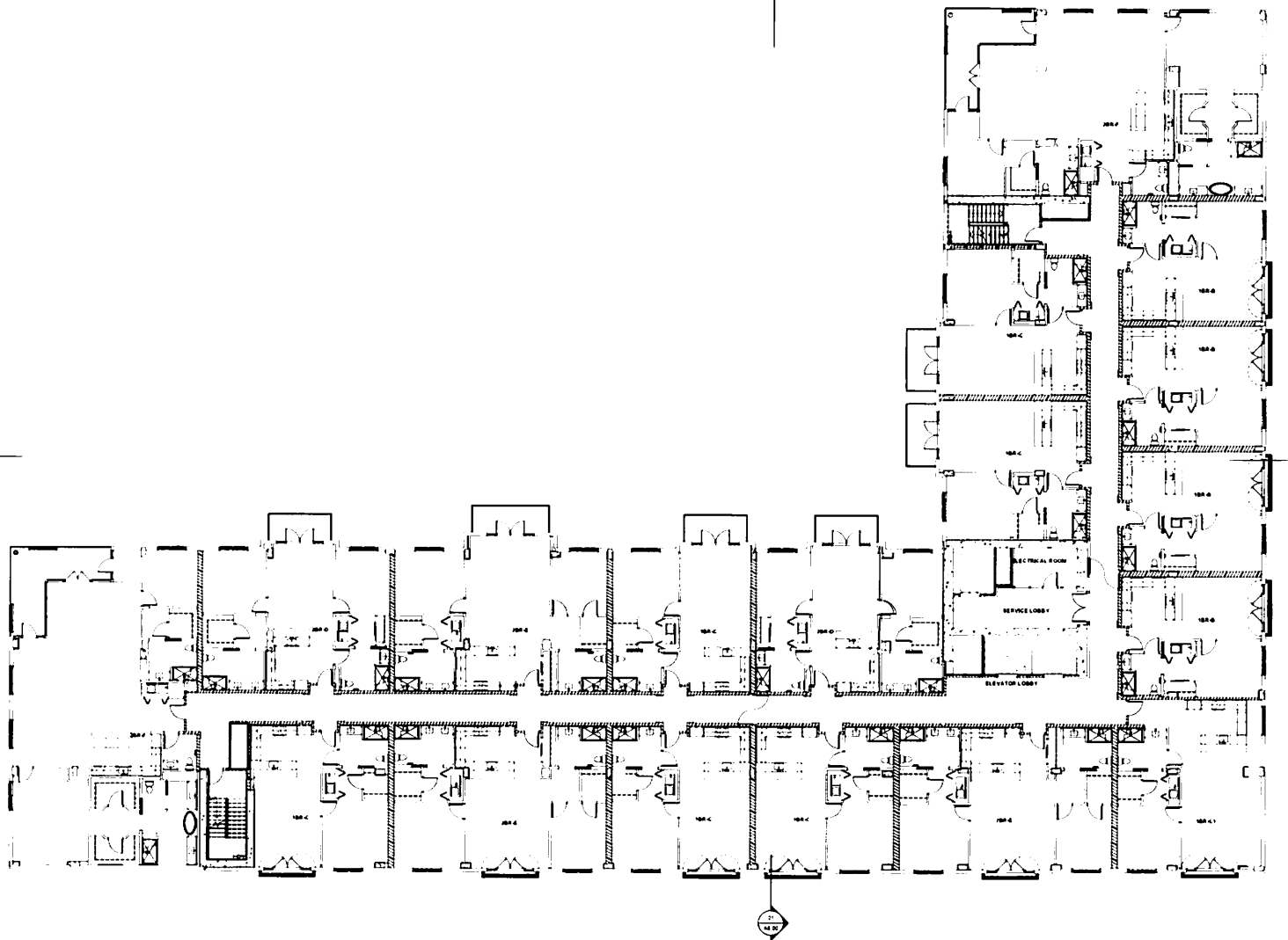
HKS PROJECT NUMBER
22222

DATE
06/28/19

ISSUE
**ENTITLEMENT
RESUBMITTAL 3**

SHEET TITLE
**LEVEL 03-04
FLOOR PLAN**

SHEET NO.
A2.4



01 LEVEL 05-06
1/2" = 1'-0"

HKS

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100 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94133

LANDSCAPE
PERKINS+WILL & ASSOCIATES
37 MARKET AVENUE
SAN MATEO, CA 94401

STRUCTURAL ENGINEER
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100 FINE STREET, SUITE 800
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MEP ENGINEER
SOMMERICH ENGINEERS
80 SOUTH AVE AVENUE, SUITE 100
PACIFIC HEIGHTS, CA 94133

OWNER
NALLA COMPANIES
1 BROADVIEW PLACE, SUITE 200
SANTA ANA, CA 92701

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TAYLOR & ASSOCIATES, INC.
101 N. PARKER STREET, SUITE 200
SANTA ANA, CA 92701

UTILITY ENGINEER
ASSOCIATES, INC.
ONE BUCKINGHAM DRIVE, SUITE 100
FERNLEIGH, CA 94506

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC.
5700 COMPTON AVENUE
CYPRESS, CA 90630

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION
NO. DESCRIPTION DATE

HKS PROJECT NUMBER
22222
DATE
06/26/19
REVISION
**ENTITLEMENT
RESUBMITTAL 3**
SHEET TITLE
**LEVEL 05-06
FLOOR PLAN**

SHEET NO.
A2.5

HKS

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HKS ARCHITECTS INC.
330 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94103

LANDSCAPE
PERKINS+WILL ASSOCIATES
27 MARKET AVENUE
SAN FRANCISCO, CA 94103

STRUCTURAL ENGINEER
SIMPSON-LAWRENCE & ASSOCIATES
100 PINE STREET, SUITE 100
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHMACK ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 100
PASADENA, CA 91101

OWNER
NEAL COMPANY
1 BROADWAY PLACE, SUITE 100
SANTA ANA, CA 92701

OWNER CONSULTANTS

CIVIL ENGINEER
TAT & ASSOCIATES INC.
751 N. PARKWAY DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE RIDGE GATE DRIVE, SUITE 100
TREMULA, CA 92560

GEOTECHNICAL ENGINEER
GEOLOGICAL PROFESSIONALS INC. (GPI)
5748 CORPORATE AVENUE
LYNNES, CA 94030

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE
	1	ISSUED FOR PERMIT	08/28/19
	2	REVISIONS	
	3	REVISIONS	
	4	REVISIONS	
	5	REVISIONS	
	6	REVISIONS	
	7	REVISIONS	
	8	REVISIONS	
	9	REVISIONS	
	10	REVISIONS	

HKS PROJECT NUMBER
22222

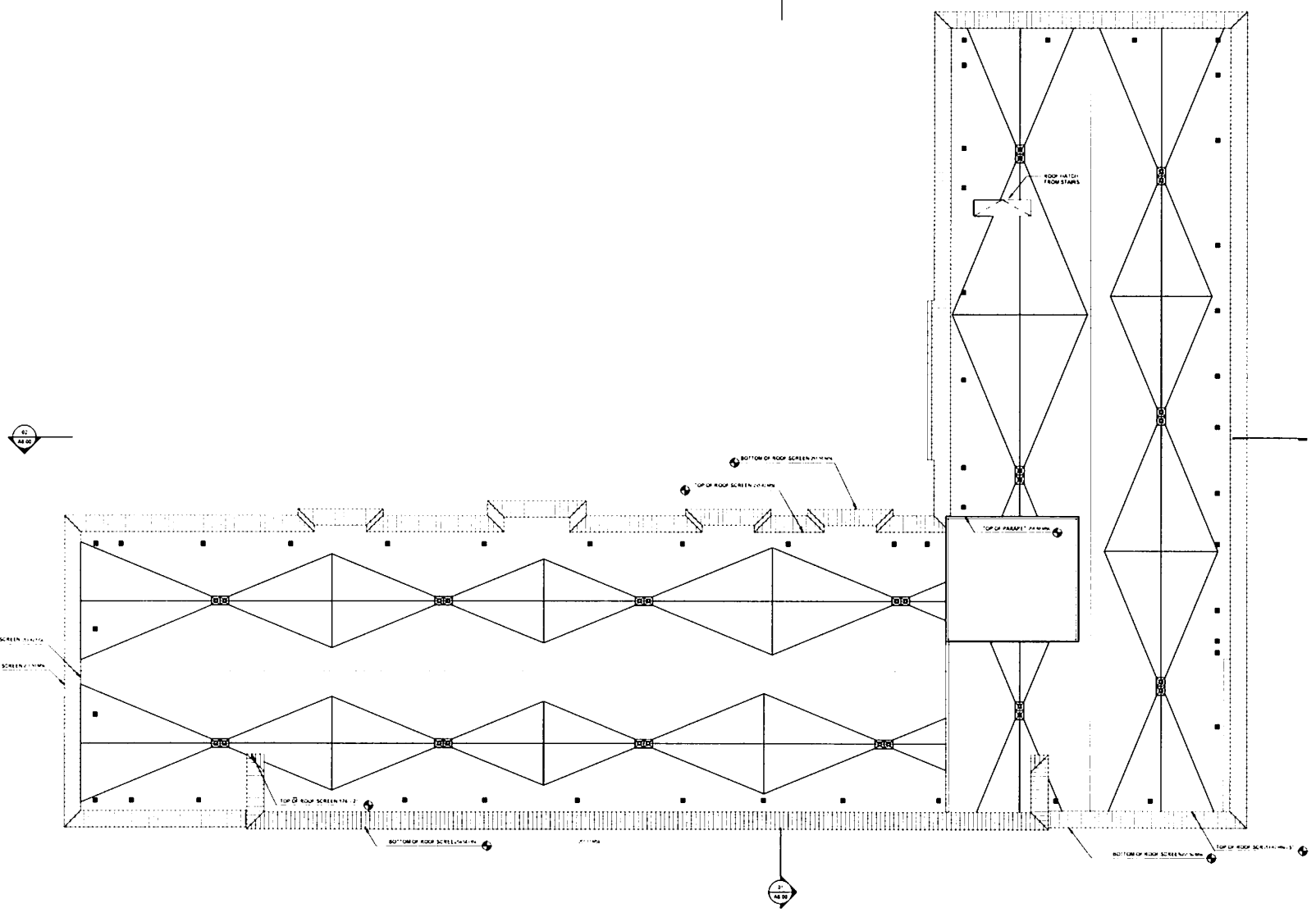
DATE
08/28/19

ISSUE
ENTITLEMENT

RESUBMITTAL 3

SHEET TITLE
ROOF PLAN

SHEET NO.
A2.6



01 ROOF LEVEL
3/32" = 1'-0"

HKS ARCHITECTS INC.

PILOT DATE
06/28/2019

06/28/2019

06/28/2019

06/28/2019

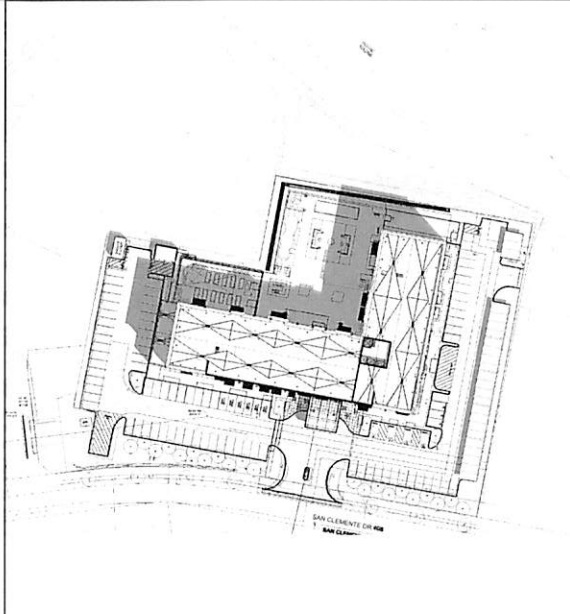
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06/28/2019

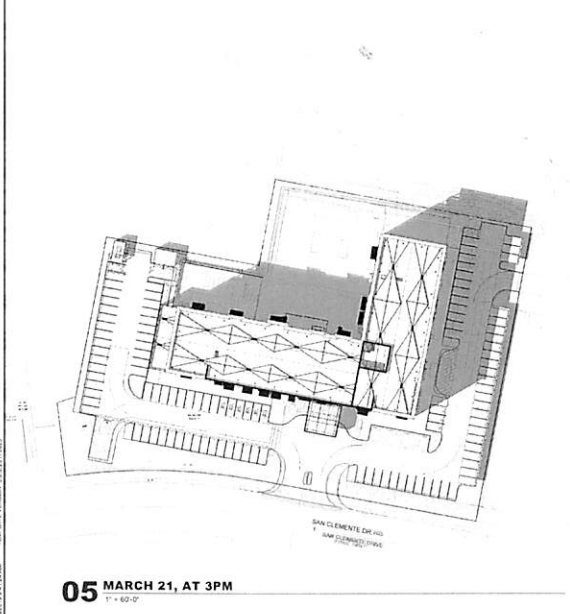
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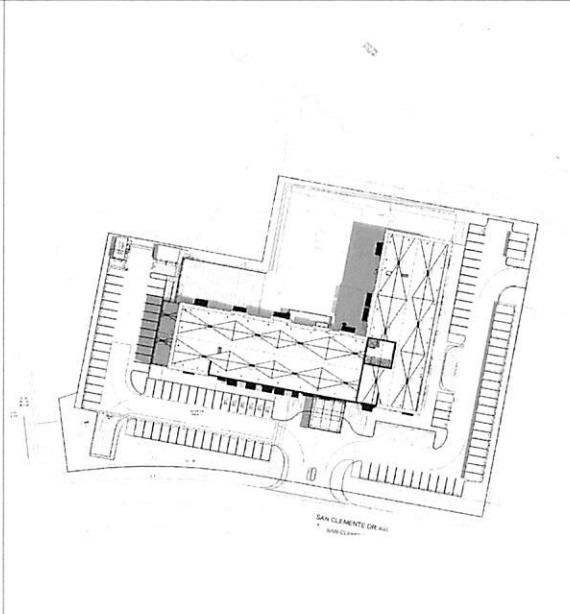
06/28/2019



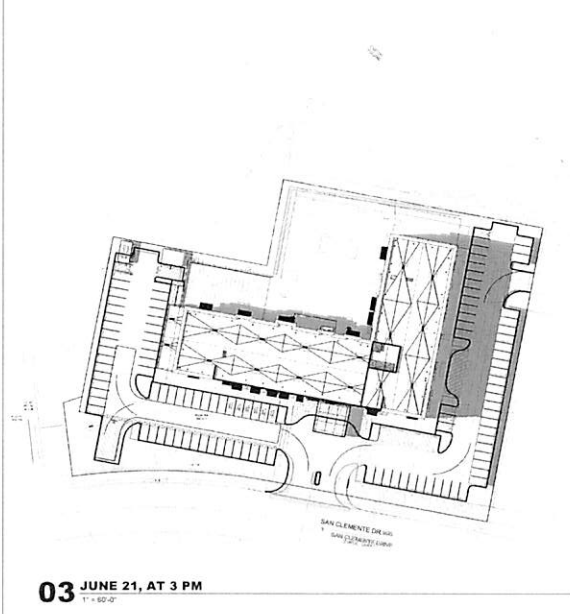
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1" = 60'-0"



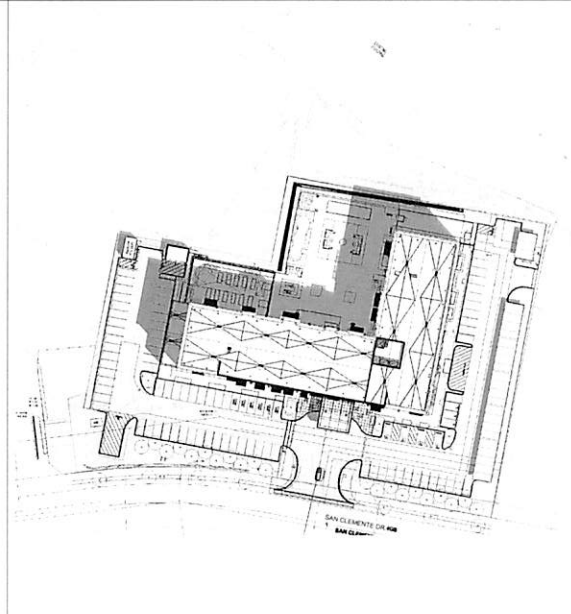
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1" = 60'-0"



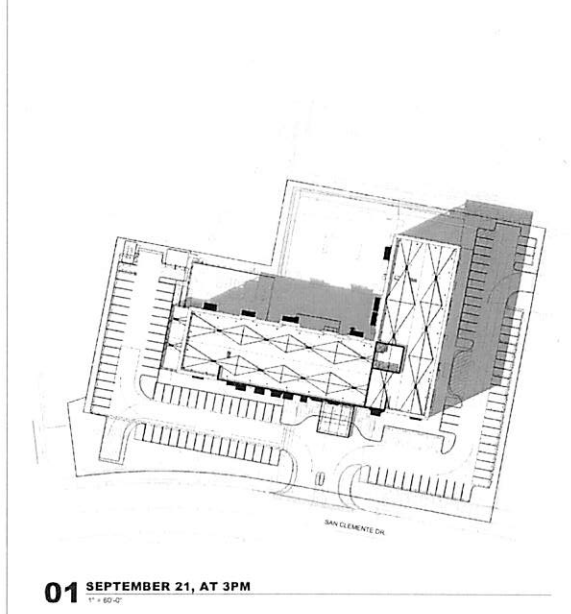
04 JUNE 21, AT 10 AM
1" = 60'-0"



03 JUNE 21, AT 3 PM
1" = 60'-0"



02 SEPTEMBER 21, AT 10AM
1" = 60'-0"



01 SEPTEMBER 21, AT 3PM
1" = 60'-0"

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HKS

ARCHITECT
HKS ARCHITECTS, INC.
538 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94117

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARINER AVENUE
SAN RAFAEL, CA 94581

STRUCTURAL ENGINEER
SIMPSON GUMPERTZ & HEGER
100 PINE STREET, SUITE 400
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHNACKEL ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 840
PASADENA, CA 91101

OWNER
NEALUS COMPANIES
1 MARSHALL PLACE, SUITE 300
SANTA ANA, CA 92701

OWNER CONSULTANTS

CIVIL ENGINEER
TAPI & ASSOCIATES, INC.
201 N. FARMINGTON DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE REDOUBT DRIVE, SUITE 100
TEMECULA, CA 92590

GEOTECHNICAL ENGINEER
GEOTECHNICAL ENGINEERS, INC.
5728 CORPORATE AVENUE
CYPRESS, CA 90630

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE

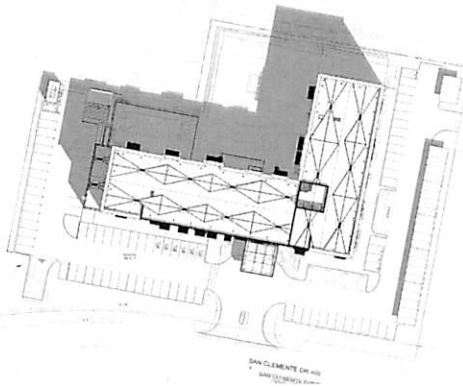
HKS PROJECT NUMBER
22222

DATE
06/28/19

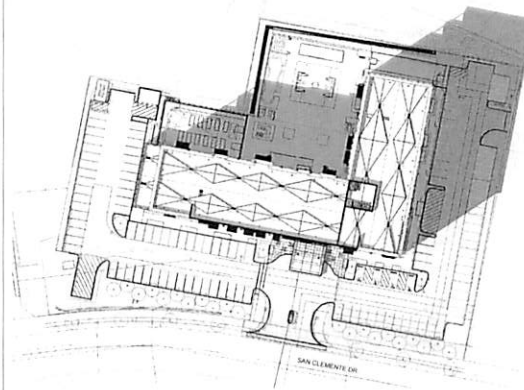
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**

SHEET TITLE
SHADOW STUDIES

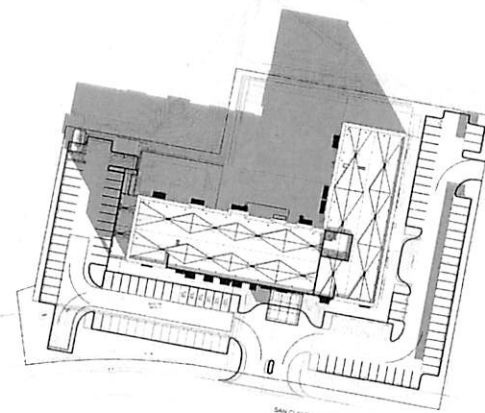
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A3.1



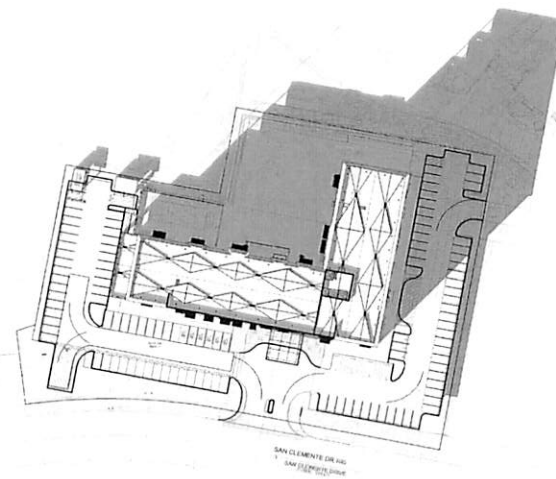
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1" = 60'-0"



03 OCTOBER 21, AT 3PM
1" = 60'-0"



02 DECEMBER 21, AT 10AM
1" = 60'-0"



01 DECEMBER 21, AT 3 PM
1" = 60'-0"

HKS

ARCHITECT

HKS ARCHITECTS, INC.
100 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94117

LANDSCAPE

PERRY BURR & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER

SIMPSON GUMPERTZ & HENDERSON
100 FINE STREET, SUITE 600
SAN FRANCISCO, CA 94111

MEP ENGINEER

SCINACKE ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 840
PACIFIC PALISADES, CA 91321

OWNER

NEALUS COMPANIES
1 MARATHON PLACE, SUITE 300
SANTA ANA, CA 92707

OWNER CONSULTANTS

CIVIL ENGINEER
TAYLOR & ASSOCIATES, INC.
201 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER

ASSOCIATES, INC.
ONE ROOSEVELT DRIVE, SUITE 100
TAMPA, FL 33606

GEOTECHNICAL ENGINEER

GEOTECHNICAL PROFESSIONALS, INC.
5728 CORPORATE AVENUE
CYPRESS, CA 90630

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER

22222

DATE

06/28/19

ISSUE

ENTITLEMENT

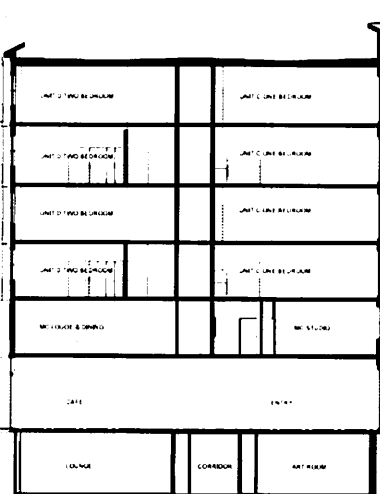
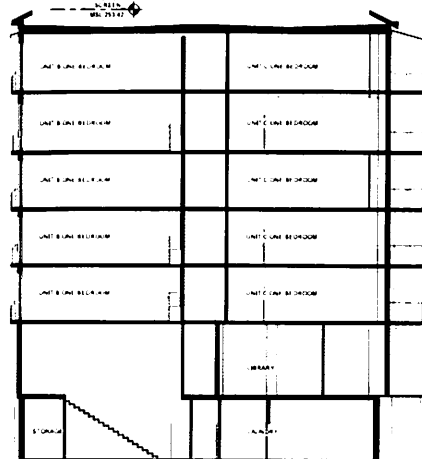
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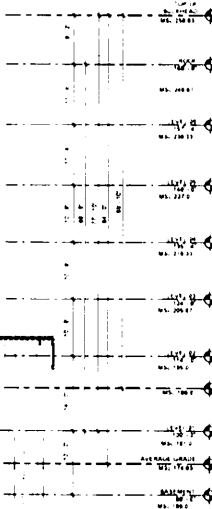
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A3.2

NO. 11



02 BUILDING SECTION



01 BUILDING SECTION

GEOTECHNICAL ENGINEERING
GEOTECHNICAL PROFESSIONALS, INC.
1738 CORPORATE AVENUE
LYNN, MA 01902

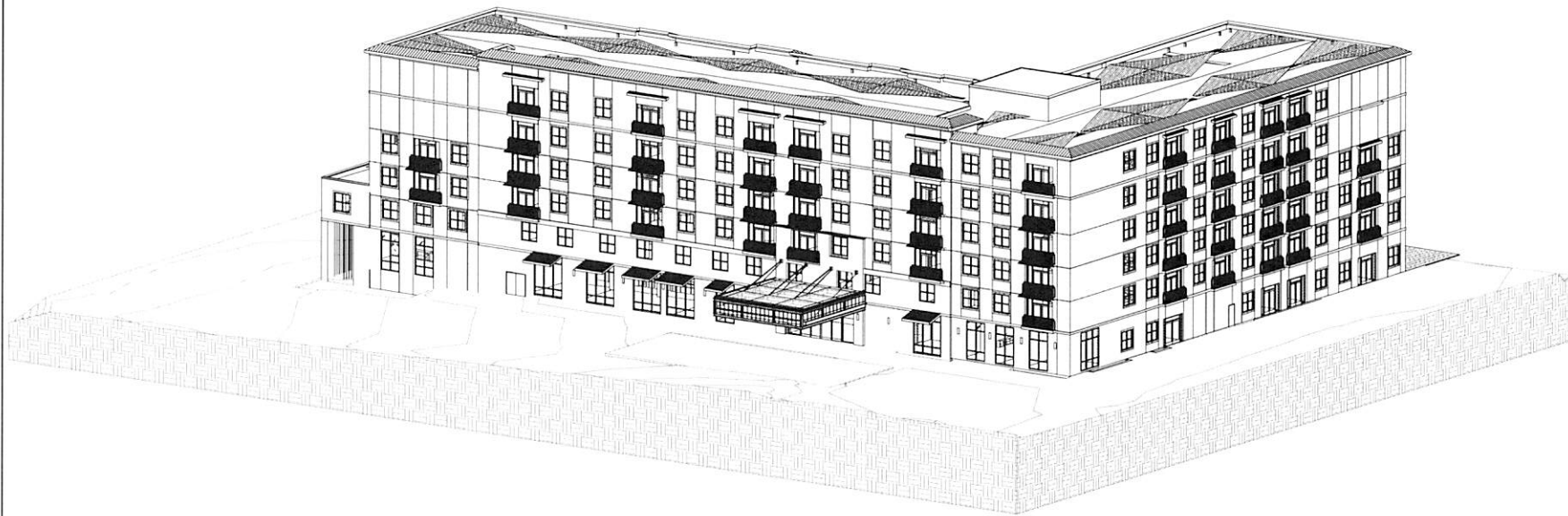
**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

KEYWORDS: child abuse; child sexual abuse; child sexual exploitation; child sexual abuse investigation; child sexual abuse assessment

PROJECT NUMBER
22222
DATE
06/28/19
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**
SHEET TITLE
**PROPOSED
BUILDINGS
SECTIONS**

A4.1

PLOT DATE
2020/04/22 09:00 AM
TWO PLAT COORDINATES 123.071062



01 SOUTH AXO

HKS

ARCHITECT
HKS ARCHITECTS, INC.
538 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94801

STRUCTURAL ENGINEER
SIMPSON QUINN & HENDERSON
100 PINE STREET, SUITE 400
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHNACKEL ENGINEERS
85 SOUTH LAKE AVENUE, SUITE 840
PASADENA, CA 91101

OWNER
NEBUS COMPANIES
1 MARATHON PLACE, SUITE 300
SANTA ANA, CA 92707

OWNER CONSULTANTS

CIVIL ENGINEER
TAT & ASSOCIATES, INC.
751 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE RIDGE CREEK DRIVE, SUITE 100
TULACALIA, CA 95060

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS INC. (GPI)
5738 CORPORATE AVENUE
DUBLIN, CA 94568

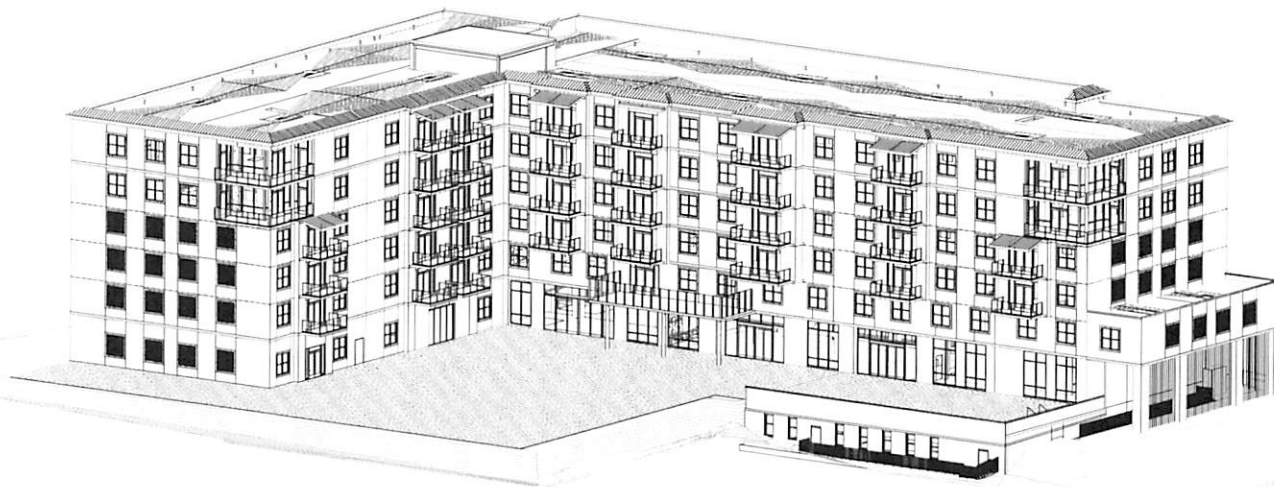
**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222
DATE
06/28/19
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**
SHEET TITLE
**BUILDING AXO
VIEWS**

SHEET NO.
A6.1

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01 NORTH AXO

HKS

ARCHITECT
HKS ARCHITECTS, INC.
555 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94501

STRUCTURAL ENGINEER
SIMPSON GUMPERT & HEDDER
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHWABER ENGINEERS
85 SOUTH LAKE AVENUE, SUITE 840
PASADENA, CA 91101

OWNER
NEAVIS COMPANIES
1 MARATHON PLACE, SUITE 300
SANTA ANA, CA 92707

OWNER CONSULTANTS
CIVIL ENGINEER
TAYLOR & ASSOCIATES, INC.
701 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE HIGGINS DRIVE, SUITE 105
TREMULA, CA 92566

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC. (GPI)
5708 CORPORATE AVENUE
CYPRESS, CA 90630

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222

DATE
06/28/19

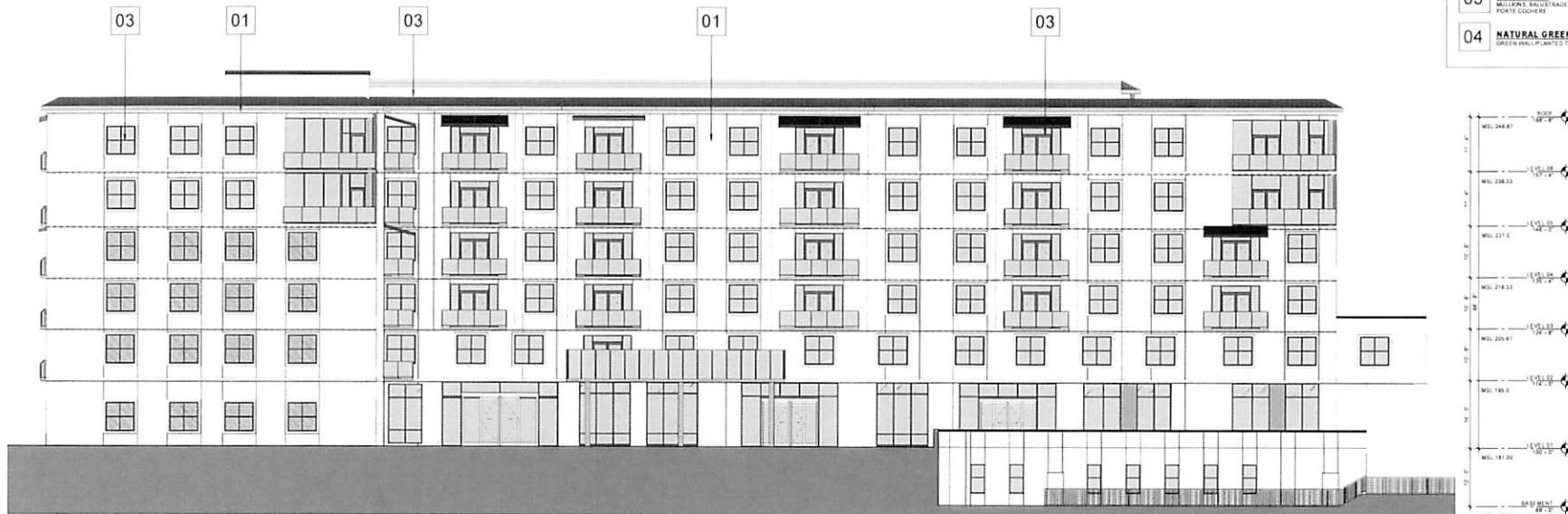
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**

SHEET TITLE
**BUILDING AXO
VIEWS**

SHEET NO.
A6.2

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16-211
06/28/19 11:20 AM
16-211-01-01



02 NORTH ELEVATION



01 EAST ELEVATION

MATERIAL LEGEND	
01	BLANCO SMOOTH COAT PLASTER
02	NATURAL LIMESTONE
03	GUNMETAL MULLION & BALUSTRADE PORTE COCHERE
04	NATURAL GREEN GREEN WALLPLANTED TRELLIS

HKS

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

PL07 DATE
05/05/2019 11:27:10 AM



02 SOUTH ELEVATION
332' x 1'-0"



01 WEST ELEVATION
332' x 1'-0"

MATERIAL LEGEND

01	BLANCO SMOOTH COAT PLASTER
02	NATURAL LIMESTONE
03	GUNMETAL MILLENBURY BALUSTRADE PORTLAND CEMENT
04	NATURAL GREEN GREEN KALIPALANTO TRELLIS

HKS

ARCHITECT
HKS ARCHITECTS, INC.
150 RYAN STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PENNY BURR & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94581

STRUCTURAL ENGINEER
SIMPSON GUMPERTZ & HILL
100 PINE STREET, SUITE 900
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHNACKEL ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 840
PACIFIC PALMS, CA 91061

OWNER
PACIFIC COMPANIES
1 MARATHON PLACE, SUITE 300
SANTA ANA, CA 92707

OWNER CONSULTANTS

CIVIL ENGINEER
TAYLOR ASSOCIATES, INC.
101 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER ASSOCIATES, INC.
ONE RODEGATE DRIVE, SUITE 100
THERMIDALE, CA 91350

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS & INC. (GPI)
1708 CORPORATE AVENUE
CITY OF LOS ANGELES, CA 90008

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION

NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222

DATE
06/28/19

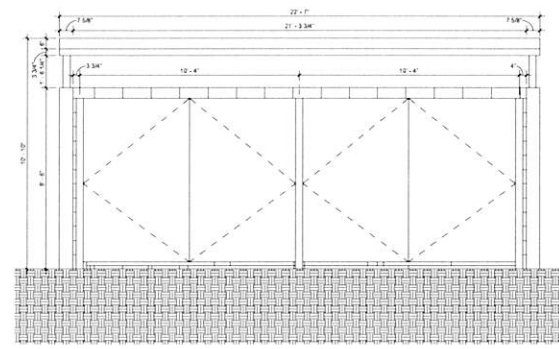
ISSUE
**ENTITLEMENT
RESUBMITTAL 3**

SHEET NO.
ELEVATIONS

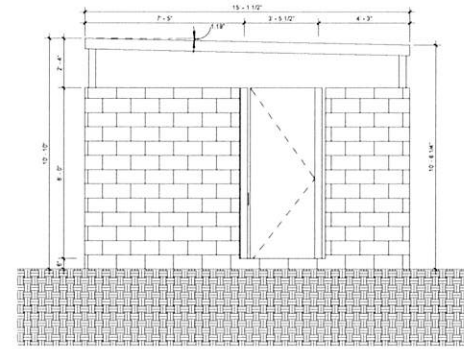
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PL 07 DATE: 06/28/19 11:42 AM 11/01/2019 11:42 AM

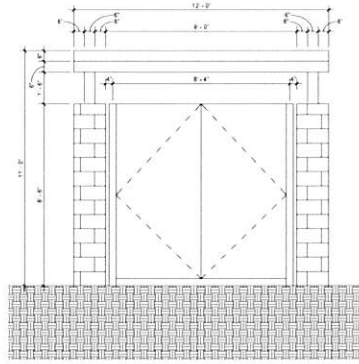


07 SOUTH ELEVATION
3/8" = 1'-0"

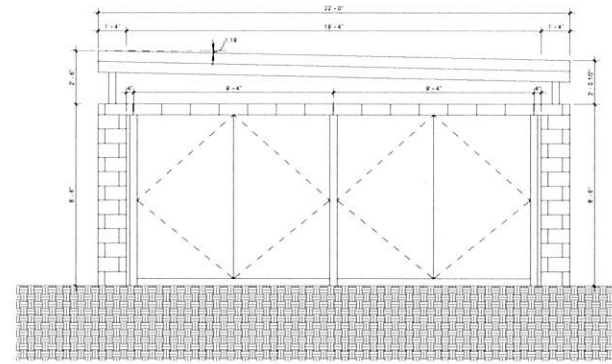


06 EAST ELEVATION
3/8" = 1'-0"

TRASH ENCLOSURE

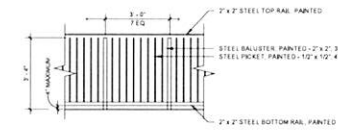


05 SOUTH ELEVATION
3/8" = 1'-0"



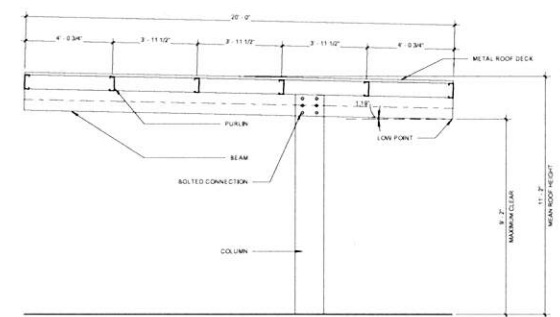
04 EAST ELEVATION
3/8" = 1'-0"

GENERATOR ENCLOSURE

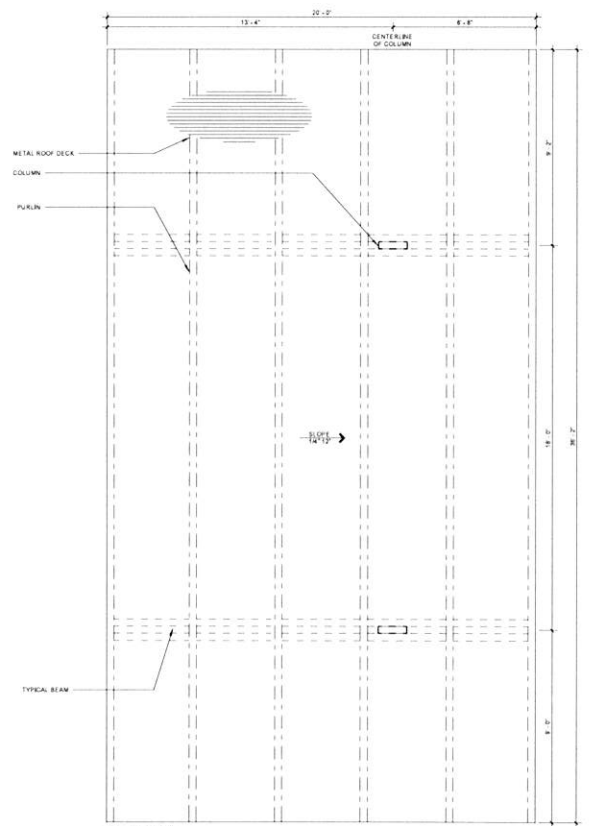


03 RAILING ELEVATION
3/8" = 1'-0"

SITE RAILING



02 SECTION
3/8" = 1'-0"



01 PLAN
3/8" = 1'-0"

CARPORT

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HKS

ARCHITECT
HKS ARCHITECTS, INC.
330 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94103

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER
SIMPSON JAWPEITZ & HEDGER
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHACKEL ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 840
PASADENA, CA 91101

OWNER
NFIUS COMPANIES
1 MARKETPLACE, SUITE 300
SANTA ANA, CA 92701

OWNER CONSULTANTS
CIVIL ENGINEER
TAYLOR ASSOCIATES, INC.
701 N. PARKCENTER DRIVE
SANTA ANA, CA 92705

UTILITY ENGINEER
ASSOCIATES, INC.
ONE RIDGEWAY DRIVE, SUITE 100
TEMECULA, CA 92590

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC. (GPI)
5708 CORPORATE AVENUE
CYPRESS, CA 90630

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222

DATE
06/28/19

ISSUE
**ENTITLEMENT
RESUBMITTAL 3**

SHEET TITLE
DETAILS

SHEET NO.
A7.1

PREPARED FOR:
NEXUS COMPANIES
1 MacARTHUR PLACE; SUITE 300
SANTA ANA, CA 92707

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NEWPORT BEACH, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2, IN THE CITY OF NEWPORT BEACH, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 81, PAGES 8 AND 9 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA

EXCEPTING THEREFROM ANY OIL OR GASES, MINERALS, MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAND LANDS AND THE RIGHT TO TRANSFER SAME, TOGETHER WITH ALL RIGHTS AND INTERESTS IN AND TO THE SAME, TO ANY PARTY, AND TO THE EXTENT ANY SUCH RIGHTS OR INTERESTS ARE SUBJECT TO THE EXPRESS LIMITATION THAT ANY AND ALL OPERATIONS FOR THE EXPLORATION, DEVELOPMENT, EXTRACTION AND TACKING OF ANY OF SAID SUBSTANCES SHALL BE CARRIED ON AT LEVELS BELOW THE DEPTH OF ONE HUNDRED (100) FEET FROM THE SURFACE OF SAND LAND BY MEANS OF WELLS, CENOS, AND/OR OTHER DEVICES, THE EXPRESS LIMITATION THAT THE FOREGOING RESERVATION SHALL IN NO WAY BE INTERPRETED TO INCLUDE ANY RIGHT OF ENTRY IN AND UPON THE SURFACE OF SAND LANDS, AS RESERVED BY THE WYOMING COMPANY, INC. BY DEED DATED AND RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF FREEMONT, WYOMING, DEED RECORD # 1877 AS INSTRUMENT NO. 350608 IN BOOK 12005 PAGE 1561 OF OFFICIAL RECORDS.

PARCEL 2 AS SHOWN ON EXHIBIT "B" OF CITY OF NEWPORT BEACH LOT LINE ADJUSTMENT, NO. 95-3, RECORDED OCTOBER 31, 1995 AS INSTRUMENT NO. 1995048321 OF OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA.

[illegible]

ALSO EXCEPTING THEREFROM ANY AND ALL WATER, WATER RIGHTS OR INTERESTS, THEREIN OR APPURTINENT OR RELATING TO THE LAND OR OWNED OR USED BY THE ABOVE COMPANY IN CONNECTION WITH AND WITH RESPECT TO THE LAND (WATER NOW ACCUMULATED BY THE ABOVE COMPANY), WHETHER SUCH WATER RIGHTS SHALL BE PERMANENT, OVERLAPPING, APPROPRIATE, LITIGAL, PERCOLATING, PRESUMED, ADJUDICATED, STATUTORY OR OTHERWISE, AND ANY AND ALL RIGHTS, CLAIMS, DEMANDS, INTERESTS, ETC., IN OR TO SUCH WATER, THE SAME FROM OR IN THE LAND OR TO OVERTHROW OR OTHERWISE UTILIZE SUCH WATER, RIGHTS OR INTERESTS, ON ANY OTHER PROPERTY OWNED OR LEASED BY THE ABOVE COMPANY, BUT WITHOUT, HOWEVER, ANY RIGHTS TO ENTER UPON THE SURFACE OF THE LAND FOR THE PURPOSES OF SUCH WATER, AS PROVIDED BY THE ABOVE COMPANY, A WHOLESALE CORPORATION, IN THE DEED RECORDED NOVEMBER 22, 1995 AS INSTRUMENT NO. 19950219660 OF OFFICIAL RECORDS.

AN APPURTENANT NON-EXCLUSIVE JOINT ACCESS EASEMENT FOR ACCESS, INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 1 AS SHOWN ON EXHIBIT "B" OF CITY OF NEWPORT BEACH LOT LINE ADJUSTMENT NO 95-RECORDED OCTOBER 31, 1995 AS INSTRUMENT NO 19950483821 OF OFFICIAL RECORDS, AS MORE FULLY DESCRIBED IN THE DECLARATION OF EASEMENTS RECORDED OCTOBER 31, 1995 AS INSTRUMENT NO 19950483434 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS

BEGINNING AT THE MOST SOUTHERLY SOUTHEASTERLY CORNER OF SAID PARCEL 1, THENCE NORTHERLY ALONG THE EASTERLY PARCEL LINE OF SAID PARCEL 1 NORTH 0° 01' WEST 55.00 FEET, THENCE SOUTH 82° 56' 59" WEST 83.00 FEET, THENCE SOUTH 0° 01' EAST 55.00 FEET TO A POINT ON THE MOST SOUTHERLY RIGHT OF WAY LINE OF SAID PARCEL 1, SAID POINT BEING ALSO ON THE MOST NORTHERLY RIGHT OF WAY LINE OF SAN CLEMENTE DRIVE, THENCE EASTERLY ALONG SAID SOUTHERLY LINE AND SAID RIGHT OF WAY LINE NORTH 82° 56' 59" EAST 83.00 FEET TO THE POINT OF BEGINNING.

OCBM 34-56-77 NAVD83 ELEV = 119.926' YEAR LEVELED 1989

DESCRIBED BY OCS 2004 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3N-56-77", SET IN THE TOP NORTHERLY CORNER OF A 4.5 FT BY 8 FT. CONCRETE CATCH BASIN MONUMENT IS LOCATED IN THE SOUTHEASTERLY PORTION OF THE INTERSECTION OF JAMBOREE ROAD AND SAN JOAQUIN HILLS ROAD, SET IN THE CENTER MEDIAN FOR SAN JOAQUIN HILLS ROAD, 14 FT. SOUTHEASTERLY OF THE NORTHWESTERLY NOSE OF THE MEDIAN AND 4 FT. NORTHERLY OF THE SOUTHERLY CURB FACE OF THE MEDIAN MONUMENT IS SET LEVEL WITH THE SIDEWALK.

BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF SAN CLEMENTE DRIVE BEING NORTH 76°22'13"
WEST AS SHOWN ON THE PARCEL MAP 2016-105 RECORDED IN BOOK 389, PAGES 30-35, OF PARCEL MAPS,
RECORDS OF ORANGE COUNTY, CALIFORNIA.

811 Call TOLL FREE
1-800-422-4133

KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
TWO WEEKS BEFORE YOU DIG.

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APPROVED BY THE PREPARED BY THE
WITH GENERALLY ACCEPTED CONSTRUCTION
ASSUME SOLE AND COMPLETE RESPONSIBILITY
OF THE PROJECT, INCLUDING SAFETY OF
TO APPLY CONTINUOUSLY AND NOT BE
FURTHER AGREES TO DEFEND, INDEMNIFY
LIABILITY REAL OR ALLEGED, IN CONNECTION
LIABILITY ARISING FROM THE SOLE NEGLIGENCE

THE SUBJECT PROPERTY LIES IN ZONE X
(UNSHADED). AREAS DETERMINED TO BE OUTSIDE
THE 0.2% ANNUAL CHANCE FLOODPLAIN PER MAP
NO 06030003022. REVISED DATE OF DECEMBER
3, 2009. PUBLISHED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY

NEWS DEVELOPMENT CORPORATION
1 SACARINUS PLACE, SUITE 300
SOUTH COAST BEACH, CA 92701
(714) 346-3800

EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A REASONABLE RECORD, TO THE BEST OF OUR KNOWLEDGE, THERE BEING UTILITIES EXCEPT AS SHOWN ON THESE PLANS, WE CANNOT ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF ANY UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN, IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES. IF THE CONTRACTOR FEELS UNRELIABLE, HE SHALL NOTIFY THE OWNER IMMEDIATELY PRIOR TO CONTINUING OR CEASING WORK.

[illegible]

AT&T
PHONE (800) 288-2020
LBN AT&T U-NERSE
(800) 828-6242

2051 PLACENZA AVE
COSTA MESA, CA 92627
PHONE (800) 875-8735

THE BARNER CABLE
8260 TOPANGA CANYON B
CHATSWORTH CA 91311
PHONE (800) 882-2253

NEWPORT BEACH CITY UTILITIES
WATER DEPARTMENT
940 W 18TH STREET
NEWPORT BEACH, CA 92663
PHONE (949) 844-3011

SOUTHERN CALIFORNIA Edison
P.O. BOX 800
RANCHO CUCAMONGA, CA 91770
PHONE: (800) 655-4555

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

STATEMENT OF QUANTITIES			
CUT	9.148	CUBIC	YARDS
FILL	13.453	CUBIC	YARDS
NET	3.442	CUBIC	YARDS

NOTE: THE QUANTITIES AS SHOWN HEREON ARE FOR PERMIT AND/OR BONDING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF QUANTITIES PRIOR TO THE START OF GRADING AND ACCOUNT FOR DISCREPANCY ANY EXCESS MATERIAL OR SUPPLYING ANY DEFICIENCIES TO BRING SITE TO DESIGN GRADE. THE ABOVE CUT AND FILL FIGURES REPRESENT PLUMB VOLUME FIGURES ONLY. THERE IS NO CONSIDERATION TAKEN FOR SHRINKAGE, SUBSIDENCE, OR ANY OTHER LOSS FACTOR. THE CONTRACTOR'S BID WILL BE THE SOLID BASIS FOR ALL PAYMENTS FOR WORK DONE.

- LIGHT DUTY PCC
- HEAVY DUTY PCC
- DECORATIVE PAVEMENT
- CONCRETE SIDEWALK, CURB AND GUTTER

646 7. No.

CITY OF NEWPORT BEACH GRADING GENERAL NOTES

- PLEASE NOTE ON PLAN: "ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBTAIN COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY. TO OBTAIN PLANS, YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT."
- PLEASE NOTE ON PLAN: "PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENFORCEMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT."
- ALL WORK SHALL CONFORM TO CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NIMC), THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
- DUST SHALL BE CONTROLLED BY WATERING AND/OR DUST PALMATION.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
- WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY, 8:00 AM TO 6:00 PM SATURDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS PER SECTION 10-20 OF THE NIMC.
- NOISE, EXCAVATION, DELIVERY AND REMOVAL SHALL BE CONTROLLED PER SECTION 10-28 OF THE NIMC.
- THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- PERMITTEE AND CONTRACTOR ARE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES.
- APPROVED SHORING, DRAINAGE, PROVISIONS AND PROTECTIVE MEASURES MUST BE USED TO PROTECT ADJACENT PROPERTIES DURING THE GRADING OPERATION.
- CELESTIAL AND SPOTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE AND APPROVED BY THE BUILDING OFFICE.
- HALL MARKS FOR IMPORT OR EXPORT OF MATERIALS SHALL BE APPROVED BY THE CITY TRAFFIC ENGINEER AND PROCEDURES SHALL CONFORM WITH CHAPTER 15 OF THE NIMC.
- POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPES AREAS.
- FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER.
- ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ADS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLEED JOINTS.
- NO PAINT, PLASTER, CEMENT, SALT, WORTER OR OTHER RESIDUE SHALL BE ALLOWED TO LIE IN STREET CURBS, CURBS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

EROSION CONTROL

- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. PROBABILITY OF RAIN EXCEEDS 50 PERCENT DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY. WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
- TEMPORARY SEEDING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

REMOVED AREAS/NOTES

- IN PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING: PROJECT PRESENT, OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE CONDUCTED AT THE MEETING.
- A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING. WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE CONDUCTED AT THE MEETING.

GRADING SLOPES

- GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION UP TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE QUALITY OF COMPACTION EFFORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILL SHALL BE KETED OR BENCHED INTO COMPACT MATERIAL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ANY EXISTING IRRIGATION LINES AND OTHERS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEANSING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- THE EXACT LOCATION OF THE SUBURRANS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
- ALL BENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE COVER OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
- LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NIMC.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEMS EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEW GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL REPLY TRANSFER WATER IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER. A CONCRETE BLANKET WILL BE PLACED OVER THE BEDROCK.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
- NOTIFICATION OF NONCOMPLIANCE IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE IMMEDIATELY REPORTED IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

- AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. THE CIVIL ENGINEER SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
- A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING, AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT, SHALL PROVIDE WRITTEN APPROVAL AS TO THE ACCURACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
- A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST INCLUDING A FULL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN, SHALL PROVIDE WRITTEN APPROVAL AS TO THE ACCURACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL BE STRICTLY IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND PROVISIONS OF THE CITY OF NEWPORT BEACH AND THE COUNTY OF ORANGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK. SEPARATE CITY OF PLACENTIA PUBLIC WORKS PERMIT WILL BE REQUIRED FOR ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- A CONSTRUCTION EASEMENT AND "RIGHT TO ENTER" WILL BE REQUIRED FOR WORK ON ADJACENT PROPERTY.
- THE EXTENT OF DEMOLITION WORK SHALL BE AS SHOWN ON THE DEMOLITION PLANS. DEMOLITION INCLUDES COMPLETE REMOVAL OF EXISTING IMPROVEMENTS AND REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS. ANY SALVAGE OPERATIONS SHALL BE COORDINATED WITH THE "OWNER".
- TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE UNHINDERED INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, AND OTHER ADJACENT OCCUPIED FACILITIES.
- PROTECTIONS: ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, AND PERSONS.
- DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE CITY.
- UTILITY SERVICES: PRIOR TO THE START OF DEMOLITION WORK, THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AND MAKE PROVISIONS TO HAVE ALL EXISTING ON-SITE WATER, SEWER, GAS, ELECTRIC, IRRIGATION, AND TELEPHONE LINES REMOVED, ABANDONED, OR RELOCATED THAT SERVE THE BUILDINGS TO BE DEMOLISHED, OR THAT INTERFERE WITH PROPOSED CONSTRUCTION.
- CONTRACTOR TO MEET RULE 403.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED UNPAVED ROADS AND DISTURBED AREAS WITHIN THE PROJECT ARE WATERED AT LEAST THREE TIMES DAILY DURING DRY WEATHER.
 - THE CONTRACTOR SHALL ENSURE THAT TRAFFIC SPEEDS ON UNPAVED ROADS AND PROJECT SIDE AREAS ARE REDUCED TO 15 MPH PER HOUR OR LESS TO REDUCE PAVEMENT AND PAVEMENT DUST. TRAFFIC SHALL BE MAINTAINED BY APPROXIMATELY 4 MPH.
- DISPOSAL: REMOVE FROM SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- THE CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE, REGIONAL AND LOCAL LAWS REGARDING THE ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD-BASED PAINT AND ASBESTOS THAT MAY BE FOUND IN THE EXISTING BUILDINGS.
- ALL CONSTRUCTION SHALL ADOBE BY THE NEWPORT BEACH NOISE ORDINANCES IN THAT NOISE CONSTRUCTION ACTIVITIES ARE PROHIBITED BETWEEN 8:00 P.M. AND 7:00 A.M. ON WEEKDAYS (INCLUDING SATURDAY) AND PROHIBITED ALL DAY ON SUNDAY.
- SITE CLEANSING: REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, INCLUDING ALL ROOT SYSTEMS, IMPROVEMENTS, OR OBSTRUCTIONS AS INDICATED.
- BELOW-GRADE DEMOLITION: DEMOLISH AND REMOVE EXISTING BELOW-GRADE IMPROVEMENTS AND ALL FOOTINGS, CONCRETE SLABS AND UNDERGROUND UTILITY LINES.
- FILLING BELOW-GRADE VOIDS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF EXISTING STRUCTURES.
 - USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATERIAL, AS RECOMMENDED BY SOILS REPORT.
 - Prior TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, TRASH AND DEBRIS.
 - PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6" IN LOOSE DEPTH. COMPACT EACH LAYER OF FILL MATERIAL AT OPTIMUM MOISTURE CONTENT TO A DENSITY EQUAL TO ORIGINAL ADJACENT GROUND, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE OWNER.
 - AFTER FINAL PLACEMENT AND COMPACTION, GRADE SURFACE TO MEET ADJACENT CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR SOILS COMPACTION TESTS. COMPACTION TEST SHALL MEET ALL REQUIREMENTS OF THE CITY (ENTER CITY).
- FINISH SITE CONDITION: THE FINISH GROUND SURFACES SHALL BE LEFT IN SMOOTH, UNIFORM GRADED CONDITION.
- THIS DEMOLITION PLAN IS NOT INTENDED TO, AND DOES NOT DETERMINE THE METHOD, DETAILS, AND MEANS OF PERFORMING THE DEMOLITION. THIS PLAN MAKES NO INQUIRY OR DETERMINATION AS TO THE EXISTENCE OF ANY HAZARDOUS OR TOXIC MATERIALS EXISTING ON THE SITE.
- CONTRACTOR SHALL MAINTAIN/PROVIDE ON-SITE DRAINAGE AND STORM WATER CONVEYANCE SYSTEM TO ACCOMMODATE PASSAGE OF OFF-SITE STORM WATER RUNOFF THROUGH THE DEMOLITION LOTS TO AN EXISTING STORM DRAIN SYSTEM.
- NO DEMOLITION WORK SHALL COMMENCE PRIOR TO INSTALLATION OF THE PROJECT'S STORM WATER POLLUTION PREVENTION PROGRAM (SWPPP) BEST MANAGEMENT PRACTICES (BMPs).

CITY OF NEWPORT BEACH WATER NOTES

- THE WATER SYSTEM AS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF NEWPORT BEACH STANDARD SPECIFICATIONS AND DRAWINGS FOR CONSTRUCTION OF DOMESTIC WATER AND SEWER FACILITIES. LATEST EDITION. CONTRACTOR SHALL KEEP A COPY OF THE STANDARD SPECIFICATIONS AND DRAWINGS ON THE JOB SITE AT ALL TIMES.
- A PRE-CONSTRUCTION MEETING CONFERENCE OF REPRESENTATIVES FROM AFFECTED AGENCIES AND THE CONTRACTOR SHALL BE HELD AT LEAST 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (UGS ALERT) AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION AT 811 OR 1-800-422-4133.
- APPROVAL OF THIS PLAN BY CITY OF NEWPORT BEACH DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONS TO PROTECT ALL UTILITY LINES, NOT OF RECORD OR NOT SHOWN IN THIS PLAN, CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL BECOME FAMILIAR WITH THIS SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY FROM CONSTRUCTION OPERATIONS.
- IN ACCORDANCE WITH CITY OF NEWPORT BEACH, TITLE 8, SECTION 341 (PERMIT REQUIREMENTS) THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO ANY TRENCH EXCAVATION. A COPY OF SAID PERMIT SHALL BE KEPT AT THE JOB SITE AND AVAILABLE TO THE CITY REPRESENTATIVE UPON REQUEST.
- CONTRACTOR SHALL REPLACE IN KIND ALL IMPROVEMENTS REMOVED OR DISTURBED DURING CONSTRUCTION UNLESS OTHERWISE NOTED.
- THE WATER SYSTEM SHALL BE INSTALLED A MINIMUM OF 1' BELOW ALL CURBS HAVE BEEN INSTALLED IF THERE ARE NO CURBS PLANNED. THEN THE WATER SYSTEM SHALL BE STAYED BY THE DEVELOPER'S ENGINEER AT MINIMUM 30'-FEET STATIONING AT NO COST TO THE CITY.
- ANY WATER SERVICE FOUND TO BE WITHIN A DRIVEWAY SHALL BE REMOVED COMPLETELY FROM THE CORPORATION STOP AND REINSTALLED AT THE PROPER LOCATION AT NO COST TO THE CITY.
- ALL MAIN LINE VALVES SHALL BE MAINTAINED 50' AS TO BE ACCESSIBLE DURING TRACT DEVELOPMENT AND ALL MAINS STAY TOPS HAVING OVER 48" HIGHER OF COVER WILL REQUIRE AN EXTENSION.
- IN RESIDENTIAL STREETS, THE TOP OF THE PIPE 12" INCHES AND SMALLER SHALL BE A MINIMUM OF 36" HIGHER BELOW THE FINISHED STREET SURFACE AND 48" HIGHER BELOW FINISHED STREET SURFACE FOR PIPE GREATER THAN 12" INCHES.
- ALL 12" BARRIER FIRE HYDRANTS SHALL BE SET WITH THE BOTTOM OF THE TOP FLANGE OF THE BREAK-OUT Riser 36" HIGHER BELOW THE FINISHED STREET SURFACE.
- BLUE REFLECTOR DOTS SHALL BE INSTALLED IN STREETS ADJACENT TO ALL FIRE HYDRANT INSTALLATIONS.
- ACTUAL FIRE HYDRANT INSTALLATION LOCATION SHALL HAVE A MINIMUM OF 5' FEET RADIUS UNSTRUCTURED CLEARANCE ALL AROUND.
- EXISTING DRY - BARRIER FIRE HYDRANTS THAT REQUIRE RELOCATION OR REPLACEMENT SHALL BE REPLACED WITH 12" BARRIER FIRE HYDRANTS.
- EXISTING 12" WATER MAINS THROUGH 12" INCH DRAINAGE SHALL BE PVC 900 CL 350 OR DWP CL 350, UNLESS OTHERWISE NOTED. LARGER THAN 12" INCH SHALL BE DWP (PRESSURE CLASS AS SHOWN ON PLANS) OR STEEL COUPLER CND, A C, UNLESS OTHERWISE NOTED. PVC MAY BE USED UP TO 16" INCH DRAINAGE WITH USE OF EXTERNAL REINFORCING SYSTEM AND ENGINEERING MANAGER APPROVAL.
- NO TAPS OR OTHER CONNECTIONS SHALL BE MADE TO EXISTING WATER MAINS PRIOR TO CONDUCTING AN APPROVED PRESSURE TEST AND BACTERIA TEST ON THE NEW WATER DISTRIBUTION SYSTEM TAPPING SLEEVES SHALL BE CONDUCTED IN AN APPROVED MANNER IN THE FIELD IN THE PRESENCE OF THE INSPECTOR PRIOR TO TAPPING THE MAIN LINE. TAPPING OF THE MAIN SHALL NOT PROCEED UNLESS A INSPECTOR IS PRESENT.
- ALL FITTINGS SHALL BE MINIMUM 200 PSI RATING.
- ALL WATER MAINS AND WATER MAINS LOCATED UNDER SLOPES, THE ANGLE WATER STOPS SHALL BE 50' LOCATED THAT THE METERS AND BOXES WILL BE PARALLEL AND FLUSH, RESPECTIVELY, WITH THE FINISHED SURFACE.
- CURBS SHALL BE INCORPORATED WITH A "Y" INDICATING LOCATIONS OF ALL DOMESTIC WATER SERVICES. AFTER NEW PORTABLE WATER IMPROVEMENTS ARE INSTALLED AND APPROVED BY THE CITY, THESE IMPROVEMENTS ARE CONSIDERED TO BE CONNECTED TO THE EXISTING WATER SYSTEM THEREFORE, ALL NEWLY INSTALLED VALVES, INCLUDING EXISTING VALVES, SHALL BE OPERATED BY AUTHORIZED CITY EMPLOYEES ONLY.
- ALL BURIED NUTS AND BOLTS SHALL BE TYPE 316 STAINLESS STEEL.
- STATIONS SHOWN ARE ALONG THE HORIZONTAL CENTERLINE OF THE PIPE.
- INDIVIDUAL PRESSURE REGULATORS SHALL BE REQUIRED BY JURISDICTIONAL AGENCY IF AVERAGE STATIC PRESSURE IS 80 PSI OR GREATER.
- ALL VALVES SHALL BE INSTALLED CLEAR OF ALL SPANDERS WITHIN A STREET.
- WHERE VALVES ARE LOCATED, CURBS SHALL BE INCORPORATED WITH "Y" AND THE DISTANCE TO THE VALVE IN TWO (2) LOCATIONS.
- ALL WATER SERVICES FOR LANDSCAPING, AGRICULTURE, COMMERCIAL AND INDUSTRIAL BUILDINGS SHALL HAVE A SEPARATE PRESSURE RESPONSIBLE BACKFLOW ASSEMBLY.
- ALL RESIDENTIAL BUILDINGS REQUIRED BY THE ORANGE COUNTY FIRE AUTHORITY TO INSTALL A FIRE SPINNER SYSTEM, SHALL HAVE A DOUBLE CHECK VALVE BACKFLOW ASSEMBLY.
- ALL FIRE AND INDUSTRIAL BACKFLOW DEVICES SHALL BE TESTED AFTER INSTALLATION BY A CERTIFIED TESTER LICENSED TO OPERATE IN ORANGE COUNTY.
- ALL WATER MAIN CROSSINGS OF SEWER LINES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF DRAINAGE WORK.
- BEFORE FINAL ACCEPTANCE OF THE WORK BY THE CITY, THE CONTRACTOR SHALL FURNISH A COMPLETE SET OF "AS-BUILT" RECORD PLANS TO THE CITY AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE CITY ONE (1) WEEK PRIOR TO ANY PROPOSED SHUT DOWN OF EXISTING MAINS OR SERVICES. CONTRACTOR SHALL COMPLETE ALL WORK WITHIN AN 8-HOUR (8) HOUR PERIOD FOR THE SCHEDULED SHUT DOWN.
- IN ACCORDANCE WITH THE LATEST CITY RULES AND REGULATIONS FOR WATER SERVICE, JUMPERS ARE NOT PERMITTED ON SERVICES. CONTRACTOR SHALL COMPLETE ALL WORK WITHIN AN 8-HOUR (8) HOUR PERIOD FOR THE SCHEDULED SHUT DOWN.
- THE WATER SHALL BE SET BY THE CITY.

DEMOLITION NOTES

- PROTECT IN PLACE
- REMOVE AND DISPOSE BUILDING AND PAD
- REMOVE AND DISPOSE ASPHALT AND BASE
- REMOVE AND DISPOSE UTILITY, PER PLAN
- REMOVE AND DISPOSE REFINING WALL
- REMOVE AND DISPOSE CONCRETE
- REMOVE AND DISPOSE CURB OR CURB & GUTTER
- REMOVE AND DISPOSE EXISTING IMPROVEMENT, PER PLAN
- REMOVE AND DISPOSE LANDSCAPE
- ABANDON EXISTING MONITORING WELL, BY OTHERS
- DEMOLISH EXISTING CATCH BASIN AND PROTECT OUTLET PIPE

SIGNAGE & STRIPING NOTES

- INSTALL 4" WHITE PARKING STALL STRIPING PER PLAN (TYPICAL)
- PAINT CURB RED AND PLACE FIRE LANE MARKING ALONG FIRE LANE AT A MAXIMUM SPACING OF 100' PER DETAIL "A" ON SHEET 1
- INSTALL ACCESSIBLE PARKING & LOADING ZONE STRIPING PER DETAIL "B" ON SHEET 5
- INSTALL ACCESSIBLE PARKING SIGNAGE PER DETAIL "C" ON SHEET 5
- INSTALL TOW ARMY & ACCESSIBLE ENTRANCE SIGNAGE AND POST PER DETAIL "D" ON SHEET 5
- INSTALL ELECTRIC VEHICLE PARKING STALL STRIPING AND SIGNAGE PER DETAIL "E" ON SHEET 5

PRECISE GRADING CONSTRUCTION NOTES

- PROTECT IN PLACE
- CONSTRUCT 6" CURB & GUTTER PER CITY OF NEWPORT BEACH STD-182-L TYPE A
- CONSTRUCT 6" CURB PER CITY OF NEWPORT BEACH STD-182-L, TYPE B
- CONSTRUCT COMMERCIAL DRIVEWAY PER CITY OF NEWPORT BEACH STD-160-L-A
- CONSTRUCT CURB ACCESS RAMP PER CITY OF NEWPORT BEACH STD-181-L-A, CASE "C"
- CONSTRUCT DETECTABLE WARNING SURFACE PER CITY OF NEWPORT BEACH STD-181-L-D
- CONSTRUCT SIDEWALK PER CITY OF NEWPORT BEACH STD-180-L
- CONSTRUCT STANDARD DUTY PAVEMENT PER DETAIL ON SHEET 5
- CONSTRUCT HEAVY DUTY PAVEMENT PER DETAIL ON SHEET 5
- CONSTRUCT 6" THICK X 4" DEEP POC V-GUTTER
- RECONSTRUCT ALL DAMAGED CURB, GUTTER, SIDEWALK AND STREET ALONG HIGHWAY IF DEEMED NECESSARY BY INSPECTOR
- CONSTRUCT RETAINING WALL PER SSPRC STD 10-B10-3 RETAINING WALL TO HAVE DECORATIVE FINISH. SEE CONSTRUCTION SPECIFICATIONS
- CONSTRUCT RETAINING WALL PER SEPARATE PLAN AND PERMIT RETAINING WALL TO HAVE DECORATIVE FINISH. SEE CONSTRUCTION SPECIFICATIONS

STORM DRAIN CONSTRUCTION NOTES

- INSTALL HOPE STORM DRAIN, INCLUDING ALL BEDS, FITTINGS, AND TRANSITIONS (SIZE AND SLOPE PER PLAN) BECOMING PER MANUFACTURER RECOMMENDATIONS
- CONSTRUCT STORM DRAIN MANHOLE PER SSPRC STD 321-2
- CONSTRUCT 24" TRAFFIC RATED GRATED WALL PER DETAIL 3 ON SHEET 11 WITH FILTER INSERT PER DETAIL 11 ON SHEET 11 (MODEL NAME: FOP-1488)
- CONSTRUCT 12" PEDESTAL RATED AREA DRAIN PER DETAIL 4 ON SHEET 11 WITH FILTER INSERT PER DETAIL 11 ON SHEET 11 (MODEL NAME: FOP-1488)
- CONNECT TO ROOF DRAIN DOWNSPOUT WITH PIPE TO PIPE COUPLER. SEE ARCHITECTURAL PLANS FOR CONNECTIONS.
- PROVIDE STENCIL "NO DUMPING-DRAINS TO BAY" AT CATCH BASIN, PER DETAIL 9 ON SHEET 11
- CONSTRUCT 6" ADS N-12 STORM DRAIN CLEANOUT RISER PER DETAIL 11 ON SHEET 11
- FURNISH AND INSTALL MODULAR MILELAND SYSTEM PER DETAIL 12 ON SHEET 11
- FURNISH AND INSTALL STORMTOWN UNDERGROUND DETENTION SYSTEM
- INSTALL ROP STORM DRAIN, INCLUDING ALL BEDS, FITTINGS, AND TRANSITIONS (SIZE AND SLOPE PER PLAN) BECOMING PER MANUFACTURER RECOMMENDATIONS
- FURNISH AND INSTALL 12"x12" SHALLOW CONCRETE CATCH BASIN AND SHALLOW CATCH BASIN STYLE FLO-GARD CATCH BASIN FILTER INSERT PER DETAILS 13 ON SHEET 12
- INSTALL STORM DRAINAGE LINE. SUB: SEE PLUMBING PLANS FOR CONTINUATION

SEWER CONSTRUCTION NOTES

- PROTECT IN PLACE
- INSTALL 6" VCP PRIVATE SANITARY SEWER LINE, BEDDING PER CITY OF NEWPORT BEACH DING NO STD-108-L
- INSTALL VCP SANITARY SEWER LATERAL CONNECTION PER CITY OF NEWPORT BEACH DING NO STD-405-L
- INSTALL 6" VCP SEWER MANHOLE PER CITY OF NEWPORT BEACH DING NO STD-408-L
- INSTALL SANITARY SEWER MANHOLE PER CITY OF NEWPORT BEACH DING NO STD-401-L
- INSTALL JENSEN 1500 GAL GREASE INTERCEPTOR MODEL JF1500SG PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SEE DETAIL 11 ON SHEET C1.05.
- INSTALL JENSEN MODEL 200 24" SAMPLE BOX PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SEE DETAIL 12 ON SHEET C1.05
- ADJUST EXISTING MANHOLE TO GRADE PER NO STD-111-L
- GREATER SYSTEM HOLDING TANK, SEE PLUMBING PLANS FOR DESIGN AND CONTINUATION
- REMOVE EX 8" SANITARY SEWER PIPE

WATER CONSTRUCTION NOTES

- PROTECT IN PLACE
- INSTALL 3" WATER METER & BACKFLOW PREVENTION ASSEMBLY ABOVE GROUND WITH NO VALVE PER NO STD-520-L-B
- INSTALL 3" C-900 PVC WATERLINE PER NO STD-533-L
- CONNECT TO EXISTING 12" WATERLINE PER NO STD-507-L
- CONNECT TO BUILDING PLUMBING (SEE MEP PLANS)
- INSTALL 8" CAP AND BLIND FLANGE
- REMOVE EX 6" DWP WATERLINE AND FIRE HYDRANT ASSEMBLY. RETURN FIRE HYDRANT ASSEMBLY TO NEWPORT BEACH UTILITIES TARD PER CITY INSPECTOR
- INSTALL AND FURNISH HOSE BOB CONNECTION

EROSION CONTROL CONSTRUCTION NOTES

- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET 11 (CONTRACTOR TO LOCATE ON-SITE AS NECESSARY FOR CONSTRUCTION)
- INSTALL GRAVEL BAG PROTECTION PER DETAIL ON SHEET 11
- INSTALL CONCRETE TRUCK WASHOUT PER DETAIL ON SHEET 11 (CONTRACTOR TO LOCATE ON-SITE AS REQUIRED FOR CONSTRUCTION)
- SUGGESTED SOLO WASTE MANAGEMENT LOCATION, PER BMP 10A (SIZE=STD TRAILER SIZE) (CONTRACTOR TO LOCATE ON-SITE AS NECESSARY FOR CONSTRUCTION)
- SUGGESTED SPILL PREVENT & CONTROL STORAGE AREA, PER BMP 10A (SIZE 10X10) (CONTRACTOR TO LOCATE ON-SITE AS NECESSARY FOR CONSTRUCTION SEQUENCING)
- INSTALL GRATE INLET PROTECTION PER DETAIL ON SHEET 11 EXISTING INLET TO RECEIVE INLET PROTECTION WHILE IT REMAINS IN USE.
- INSTALL TEMPORARY CONSTRUCTION FENCE/SAFETY FENCE
- INSTALL GRAVEL BAG CHECK DAM INSPECT MISTS AT END OF CONSTRUCTION FOR SANDBAGS THAT MAY HAVE FALLEN IN

HKS

ARCHITECT
HKS ARCHITECTS, INC.
300 BAYVIEW STREET, SUITE 100
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LANDSCAPE
PENNY BLUM & ASSOCIATES
17 MARIN AVENUE
SAN MARINO, CA 91077

STRUCTURAL ENGINEER
LAMPSON LAMPERT & BECHTOLD
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SAN MARINO, CA 91077

MEP ENGINEER
SCHWACHKE ENGINEERS
1800 LUTHER AVENUE, SUITE 100
FARMINGTON, CA 91325

OWNER
HKS CORPORATION
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SAN MARINO, CA 91077

OWNER CONSULTANTS
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SAN MARINO, CA 91077

UTILITY ENGINEER
BLUMBERG & ASSOCIATES, INC.
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GEOTECHNICAL ENGINEER
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1700 MARIN AVENUE, SUITE 100
SAN MARINO, CA 91077

VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA

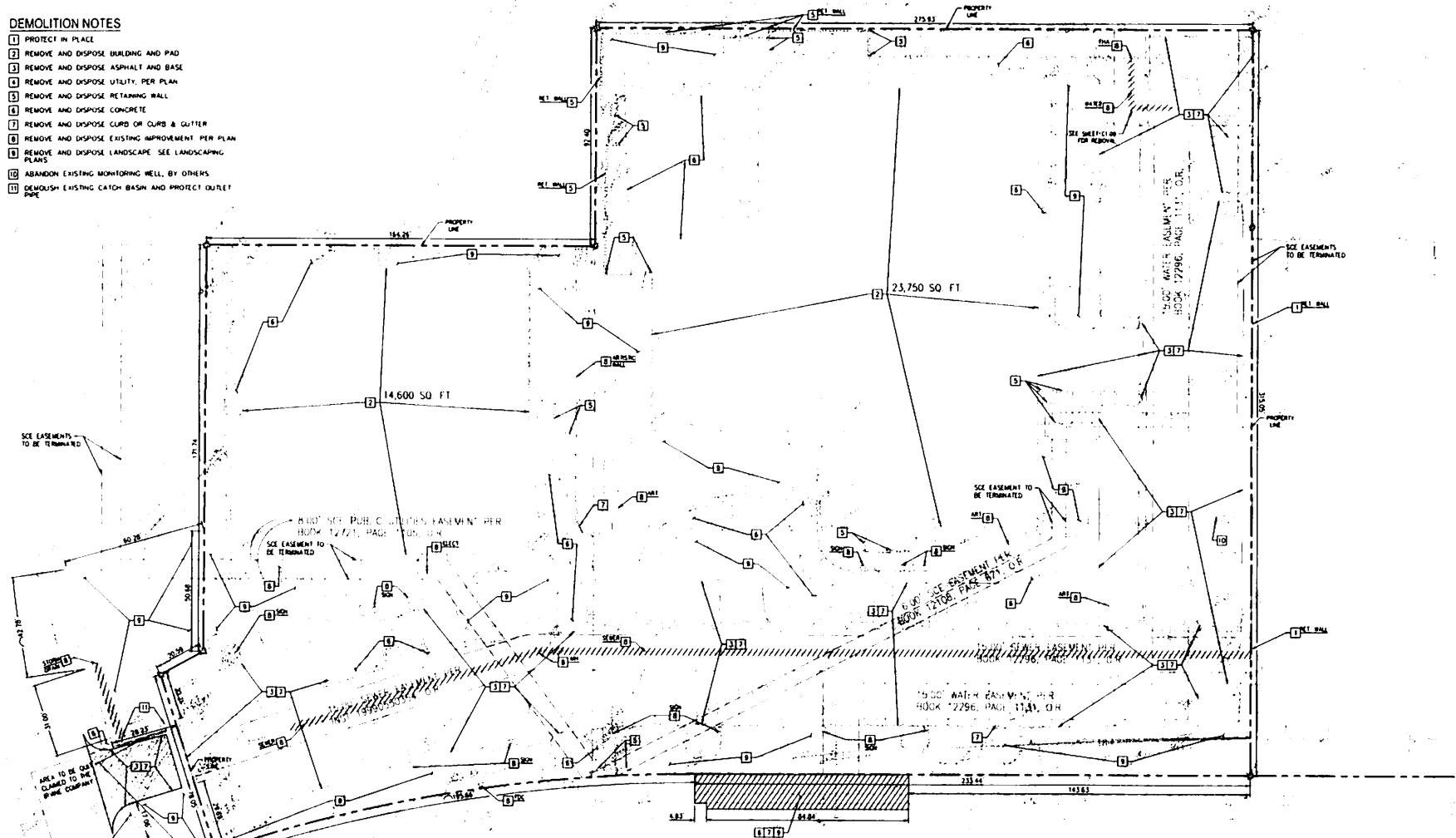
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202222
2019/05/28
PLANNING
REBUBMITAL 3
GENERAL NOTES

C1.02

DEMOLITION NOTES

- 1 PROTECT IN PLACE
- 2 REMOVE AND DISPOSE BUILDING AND PAD
- 3 REMOVE AND DISPOSE ASPHALT AND BASE
- 4 REMOVE AND DISPOSE UTILITY PER PLAN
- 5 REMOVE AND DISPOSE RETAINING WALL
- 6 REMOVE AND DISPOSE CONCRETE
- 7 REMOVE AND DISPOSE CURB OR CURB & GUTTER
- 8 REMOVE AND DISPOSE EXISTING IMPROVEMENT PER PLAN
- 9 REMOVE AND DISPOSE LANDSCAPE SEE LANDSCAPING PLANS
- 10 ABANDON EXISTING MONITORING WELL, BY OTHERS
- 11 DEMOLISH EXISTING CATCH BASIN AND PROTECT OUTLET PIPE



BASIS OF BEARINGS
SAN CLEMENTE DRIVE

LEGEND
////// TO BE REMOVED

NOTES TO CONTRACTOR

- 1 ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST
- 2 SEWER LINE SHALL BE CAPPED
- 3 ALL BASEMENT WALLS SHALL BE CLEAN AND UNIFORM
- 4 STREETS AND SIDEWALKS ARE TO REMAIN CLEAN AND FREE OF ANY CONSTRUCTIONS
- 5 EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15
- 6 BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT
- 7 TEMPORARY DRAINAGE BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT

UNDERGROUND SERVICE ALERT

811 CALL TOLL FREE
1-800-422-4133

KNOW WHAT'S BELOW
CALL BEFORE YOU DIG
TWO WORKING DAYS IN ADVANCE

LANDSCAPING NOTES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR VIOLATIONS OF THESE PLANS. THE ENGINEER WILL BE RESPONSIBLE FOR ANY CHANGES TO OR VIOLATIONS OF THESE PLANS. THE ENGINEER WILL BE RESPONSIBLE FOR ANY CHANGES TO OR VIOLATIONS OF THESE PLANS. THE ENGINEER WILL BE RESPONSIBLE FOR ANY CHANGES TO OR VIOLATIONS OF THESE PLANS.

ENGINEER'S NOTE TO CONSTRUCTION

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS ARE BASED UPON THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ACCEPT THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THESE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR DISCOVERS ANY UNEXPECTED UTILITIES OR AREAS WHICH HE FEELS UNDESIRABLE, HE SHALL NOTIFY THE ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR CEASING FROM THIS PLAN.

HKS

ARCHITECT
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SAN FRANCISCO, CA 94133

LANDSCAPE
HKS LANDSCAPE ARCHITECTS
27 MARKET STREET, SUITE 200
SAN FRANCISCO, CA 94102

STRUCTURAL ENGINEER
LAWRENCE L. BROWN, INC.
1000 CALIFORNIA STREET, SUITE 100
SAN FRANCISCO, CA 94109

MEP ENGINEER
HKS MECHANICAL, ELECTRICAL & PLUMBING
300 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94133

OWNER
HKS LANDSCAPE ARCHITECTS
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OWNER CONSULTANTS
CIVIL ENGINEER
TAYLOR ASSOCIATES, INC.
1000 CALIFORNIA STREET, SUITE 100
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UTILITY ENGINEER
HKS MECHANICAL, ELECTRICAL & PLUMBING
300 BAYVIEW STREET, SUITE 100
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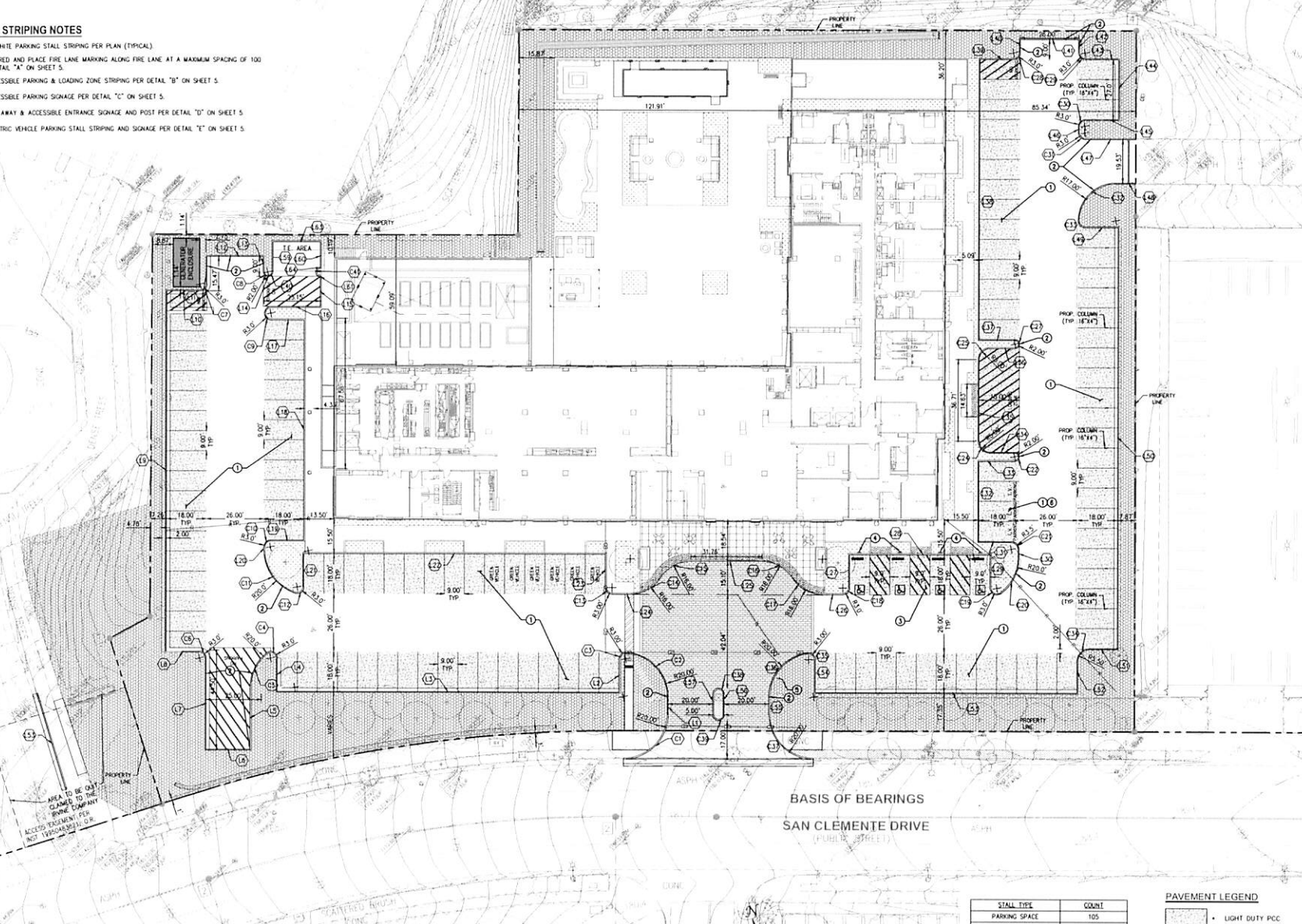
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HKS LANDSCAPE ARCHITECTS
27 MARKET STREET, SUITE 200
SAN FRANCISCO, CA 94102

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

22222
2019/05/28
PLANNING
RESUBMITTAL 3
DEMOLITION PLAN

C1.03

- ① INSTALL 4" WHITE PARKING STALL STRIPING PER PLAN (TYPICAL).
- ② PAINT CURB RED AND PLACE FIRE LANE MARKING ALONG FIRE LANE AT A MAXIMUM SPACING OF 100 FEET PER DETAIL "A" ON SHEET 5.
- ③ INSTALL ACCESSIBLE PARKING & LOADING ZONE STRIPING PER DETAIL "B" ON SHEET 5.
- ④ INSTALL ACCESSIBLE PARKING SIGNAGE PER DETAIL "C" ON SHEET 5.
- ⑤ INSTALL TOW AWAY & ACCESSIBLE ENTRANCE STRIPING AND POST PER DETAIL "D" ON SHEET 5.
- ⑥ INSTALL ELECTRIC VEHICLE PARKING STALL STRIPING AND SIGNAGE PER DETAIL "E" ON SHEET 5.



BASIS OF BEARINGS
SAN CLEMENTE DRIVE

STALL TYPE	COUNT
PARKING SPACE	105
GREEN VEHICLE SPACE	6
ADA SPACE	4
EV SPACE	3
TOTAL SPACES	118

NOTE:
SEE SHEET C1.05 FOR LINE AND CURVE TABLES.

- LIGHT DUTY PCC
- HEAVY DUTY PCC
- DECORATIVE PAVEMENT
- CONCRETE SIDEWALK, CURB, AND GUTTER

811
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1-800-422-4133

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TWO WORKING DAYS BEFORE YOU DIG.

THE ENGINEER, PREPARING THESE PLANS, WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARED OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO OBTAIN THE CONSTRUCTION CONTRACTOR'S APPROVAL OF ANY CHANGES TO THE PLANS. THE APPROVAL OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONSTRUCTION AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL DAMAGES, LOSSES AND ALL OTHERS, INCLUDING REASONABLE ATTORNEY'S FEES, INCURRED BY DESIGN PROFESSIONAL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THESE PLANS, OF WHICH WE SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES, CONFLICTS OR AREAS WHICH HE FEELS UNFAVORABLE, HE SHALL NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEVIATING FROM THIS PLAN.

A

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

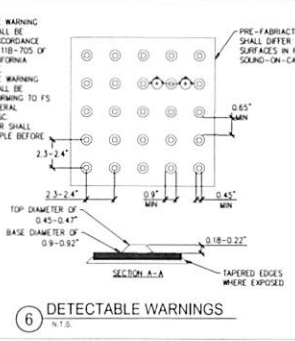
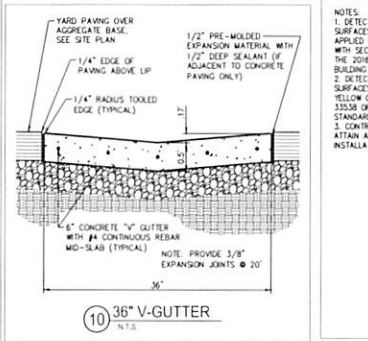
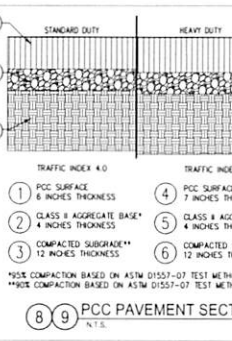
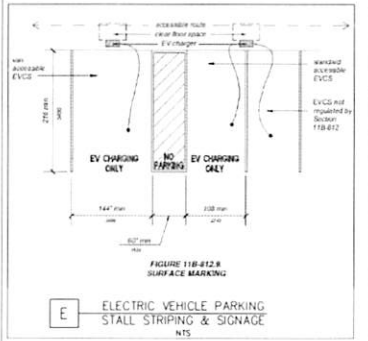
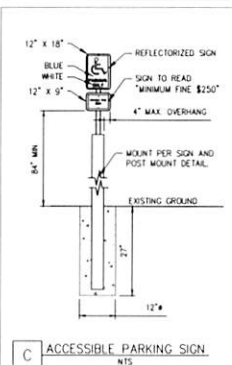
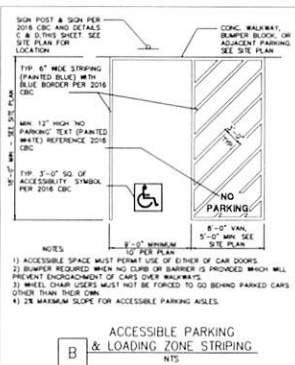
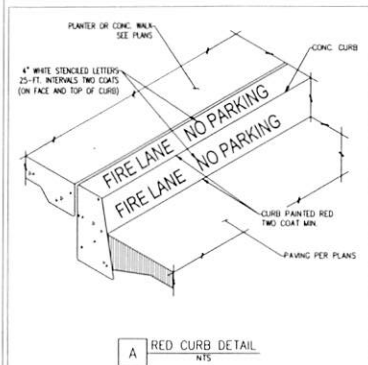
REVISION

HKS PROJECT NUMBER
22222

DATE
2019/05/28
ISSUE
**PLANNING
RESUBMITAL 3**
SHEET TITLE
**HORIZONTAL
CONTROL PLAN**

SHEET NO.

C1.04



HKS

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BARTON MALOWE & ASSOCIATES
1000 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102

MEP ENGINEER
SCOTT & BROWN
1000 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102

OWNER
HKS COMPANIES
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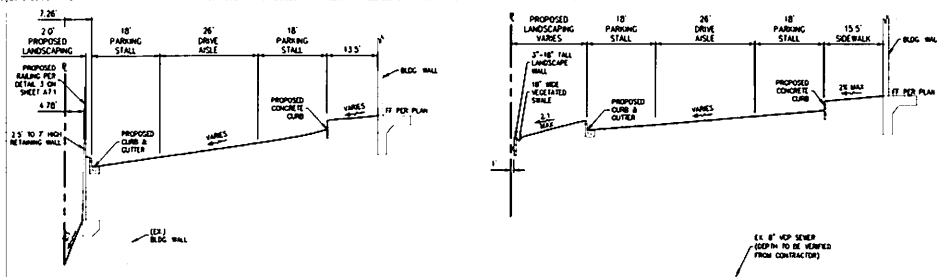
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CIVIL ENGINEER
HKS & ASSOCIATES, INC.
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SAN FRANCISCO, CA 94102

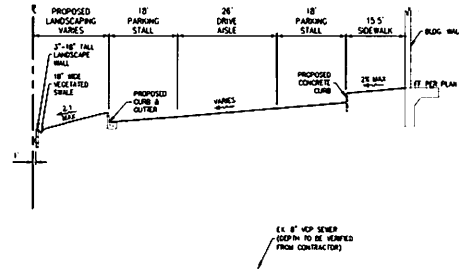
UTILITY ENGINEER
BARTON MALOWE & ASSOCIATES, INC.
1000 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102

GEOTECHNICAL ENGINEER
HKS & ASSOCIATES, INC.
1700 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102

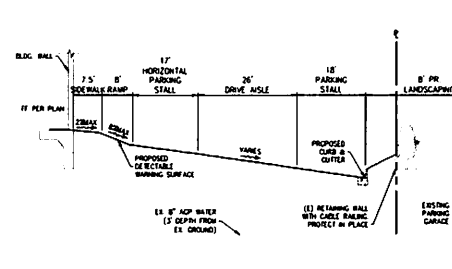
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ASSISTED LIVING
NEWPORT BEACH, CA**



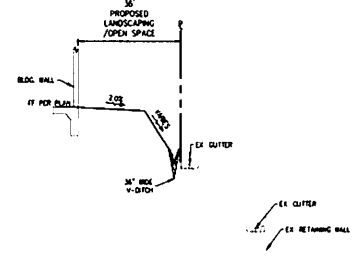
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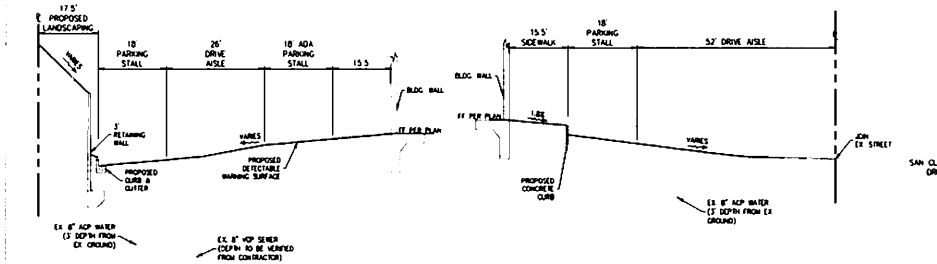
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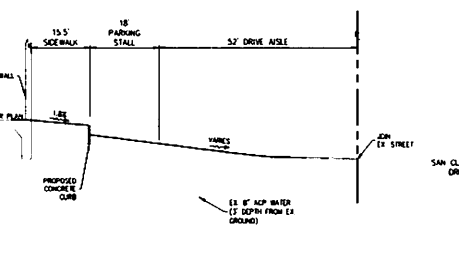
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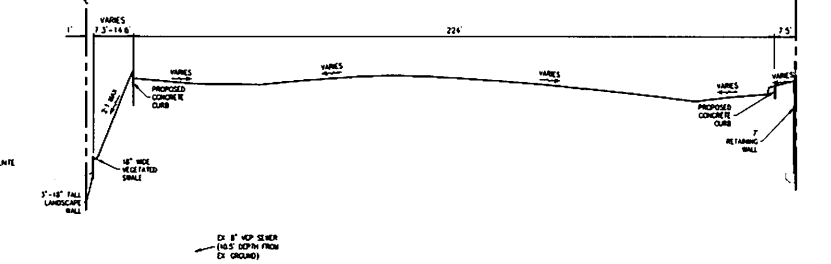
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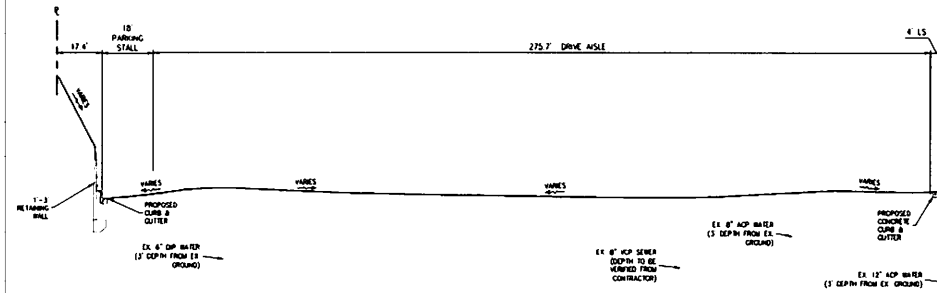
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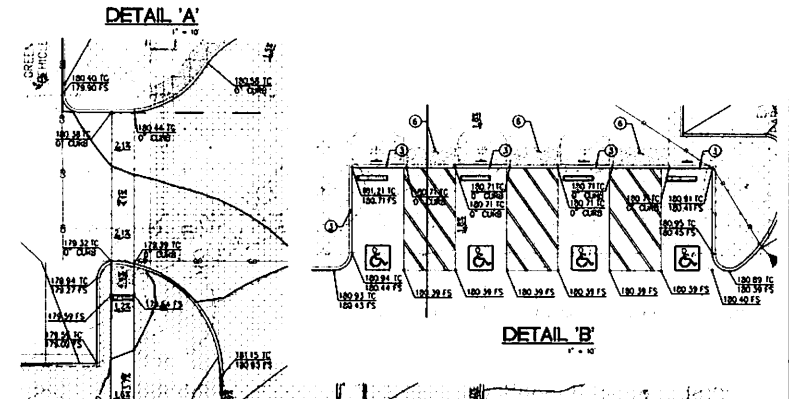
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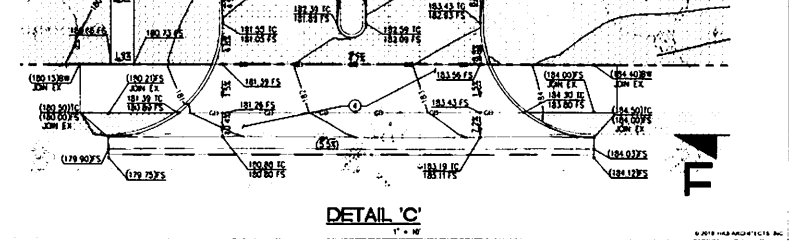
SECTION G-G
N.T.S.



SECTION H-H
N.T.S.



DETAIL 'A'
N.T.S.



DETAIL 'B'
N.T.S.



DETAIL 'C'
N.T.S.

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TWO WORKING DAYS BEFORE YOU DIG

CONTRACTOR'S NOTE TO CONSTRUCTION
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES SHOWN AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ACCEPT THE TRUE HORIZONTAL AND VERTICAL LOCATION OF THESE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT, SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY UNEXPECTED, CONFLICTS OF AREAS WHICH HE FEELS UNDESIRABLE, HE SHALL NOTIFY THE GEOTECHNICAL ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR CEASING FROM THIS PLAN.

C1.07

HKS

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SAN FRANCISCO, CA 94133

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARIN AVENUE
SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER
SAMUEL GUPTON & HILLER
100 BAYVIEW STREET, SUITE 100
SAN FRANCISCO, CA 94133

MEP ENGINEER
SCHWABER ENGINEERS
100 SOUTH LANE AVENUE, SUITE 340
PASADENA, CA 91101

OWNER
MAGNA COMMUNITIES
1 MAGNASTAR PLACE, SUITE 300
SAN FRANCISCO, CA 94107

OWNER CONSULTANTS

CIVIL ENGINEER
HKS & ASSOCIATES, INC.
101 N. PARKCENTER DRIVE
SAN FRANCISCO, CA 94109

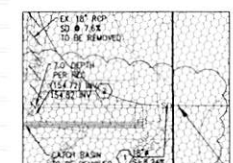
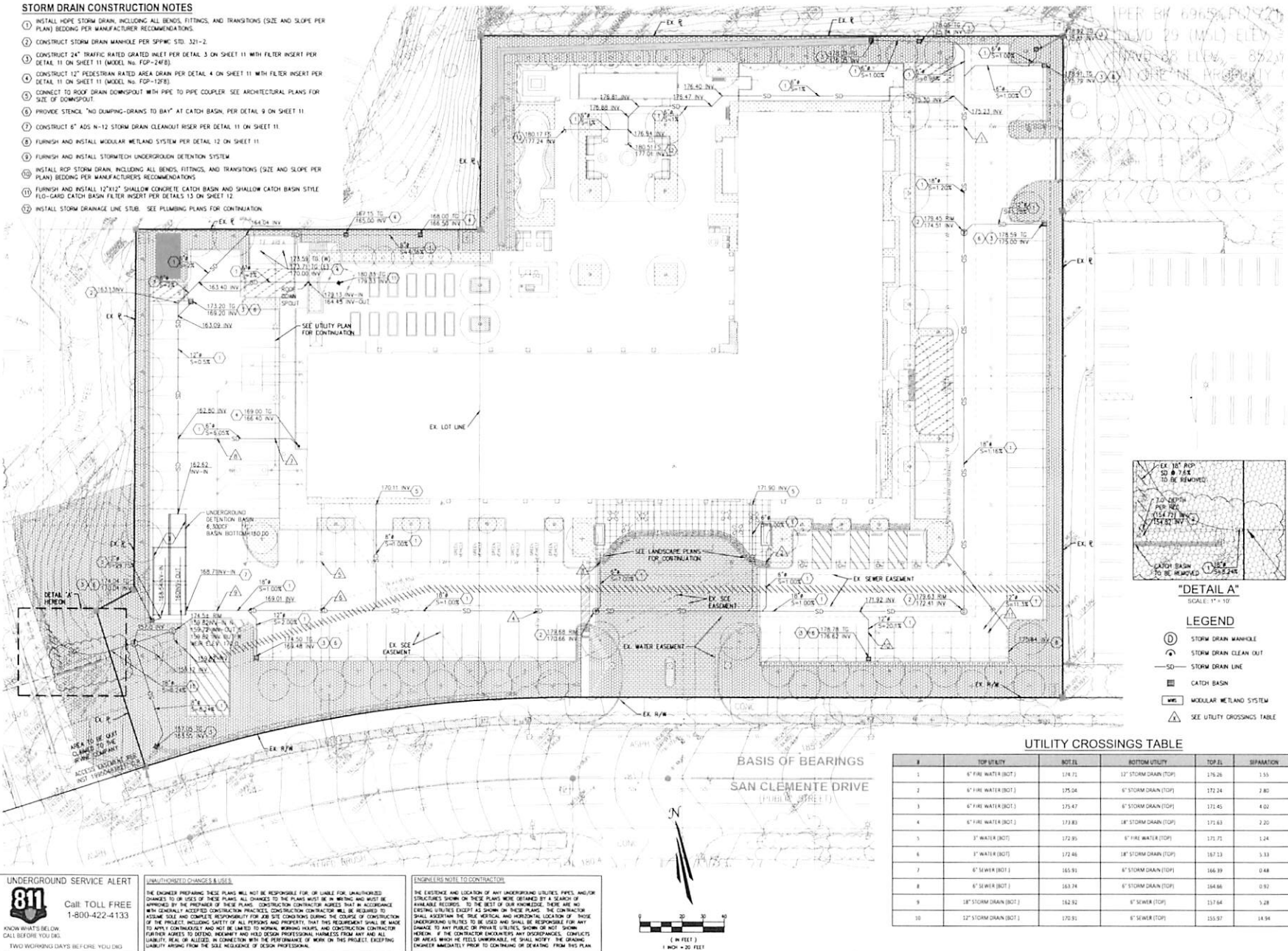
UTILITY ENGINEER
BU-FARMER & ASSOCIATES, INC.
ONE WEDGE GATE DRIVE, SUITE 100
TAMPA, FL 33606

GEOTECHNICAL ENGINEER
GEOLOGICAL PROFESSIONALS & INC. (GPI)
8700 CORPORATE AVENUE
CITY OF LOS ANGELES, CA 90045

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

STORM DRAIN CONSTRUCTION NOTES

1. INSTALL HOPE STORM DRAIN, INCLUDING ALL BENDS, FITTINGS, AND TRANSITIONS (SIZE AND SLOPE PER PLAN) BEDDING PER MANUFACTURER RECOMMENDATIONS.
2. CONSTRUCT STORM DRAIN MANHOLE PER SPWM STD. 321-2.
3. CONSTRUCT 24" TRAFFIC RATED GRATED INLET PER DETAIL 3 ON SHEET 11 WITH FILTER INSERT PER DETAIL 11 ON SHEET 11 (MODEL NO. FGP-24F).
4. CONSTRUCT 12" PEDESTAL RATED AREA DRAIN PER DETAIL 4 ON SHEET 11 WITH FILTER INSERT PER DETAIL 11 ON SHEET 11 (MODEL NO. FGP-12F).
5. CONNECT TO HOPE DRAIN DOWNSPUT WITH PIPE TO PIPE COUPLER. SEE ARCHITECTURAL PLANS FOR SIZE OF DOWNSPUT.
6. PROVIDE STENCIL "NO DUMPING-GRABS TO BAY" AT CATCH BASIN, PER DETAIL 9 ON SHEET 11.
7. CONSTRUCT 8" ADS N-12 STORM DRAIN CLEANOUT RISER PER DETAIL 11 ON SHEET 11.
8. FURNISH AND INSTALL MODULAR METLAND SYSTEM PER DETAIL 12 ON SHEET 11.
9. FURNISH AND INSTALL STORMTECH UNDERGROUND DETENTION SYSTEM.
10. INSTALL RCP STORM DRAIN, INCLUDING ALL BENDS, FITTINGS, AND TRANSITIONS (SIZE AND SLOPE PER PLAN) BEDDING PER MANUFACTURER RECOMMENDATIONS.
11. FURNISH AND INSTALL 12"x12" SHALLOW CONCRETE CATCH BASIN AND SHALLOW CATCH BASIN STYLE FLO-GARD CATCH BASIN FILTER INSERT PER DETAILS 13 ON SHEET 12.
12. INSTALL STORM DRAINAGE LINE STUB. SEE PLUMBING PLANS FOR CONTINUATION.



LEGEND

- 1. STORM DRAIN MANHOLE
- 2. STORM DRAIN CLEAN OUT
- 3. STORM DRAIN LINE
- 4. CATCH BASIN
- 5. MODULAR METLAND SYSTEM
- 6. SEE UTILITY CROSSINGS TABLE

UTILITY CROSSINGS TABLE

#	TOP UTILITY	NOTES	BOTTOM UTILITY	TOP EL.	SEPARATION
1	6" FIRE WATER (BOT.)	174.72	12" STORM DRAIN (TOP)	174.26	0.55
2	6" FIRE WATER (BOT.)	175.04	6" STORM DRAIN (TOP)	172.24	2.80
3	6" FIRE WATER (BOT.)	175.47	6" STORM DRAIN (TOP)	171.45	4.02
4	6" FIRE WATER (BOT.)	173.83	18" STORM DRAIN (TOP)	171.63	2.20
5	3" WATER (BOT.)	172.85	6" FIRE WATER (TOP)	172.75	0.10
6	3" WATER (BOT.)	172.46	18" STORM DRAIN (TOP)	167.13	5.33
7	6" SEWER (BOT.)	165.93	6" STORM DRAIN (TOP)	166.99	0.94
8	6" SEWER (BOT.)	163.74	6" STORM DRAIN (TOP)	164.86	0.92
9	18" STORM DRAIN (BOT.)	162.92	6" SEWER (TOP)	157.64	5.28
10	12" STORM DRAIN (BOT.)	170.91	6" SEWER (TOP)	155.97	14.94

UNDERGROUND SERVICE ALERT

811 Call TOLL FREE 1-800-422-4133

KNOW WHAT'S BELOW
CALL BEFORE YOU DIG

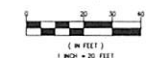
TWO WORKING DAYS BEFORE YOU DIG

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH USUALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. FURTHERMORE, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

ENGINEER'S NOTE TO CONTRACTOR

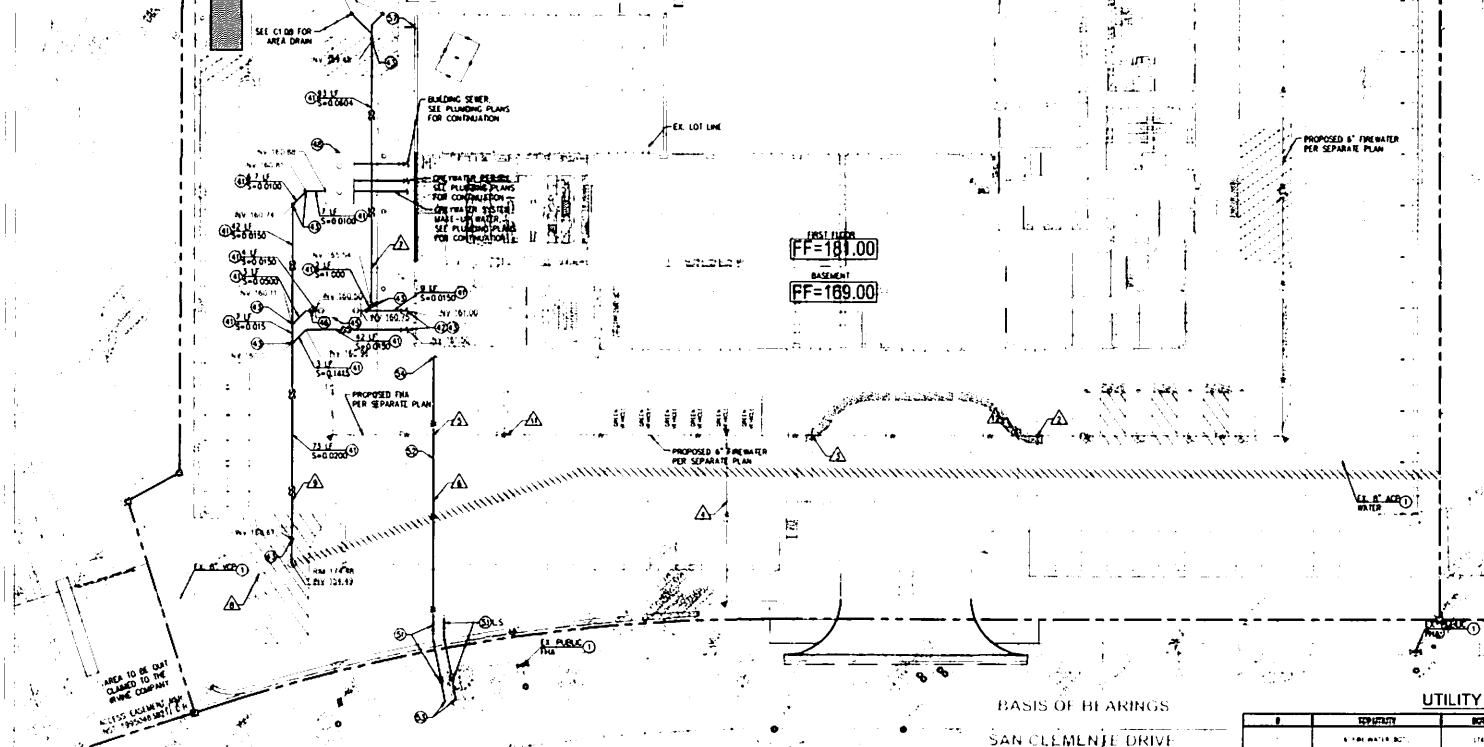
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY UNDISCOVERED UTILITIES OR AREAS WHICH HE FEELS UNDESIRABLE, HE SHALL NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEPARTING FROM THIS PLAN.



C1.08

LEGEND

- EXISTING SEWER LINE
- EXISTING WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED FIRE WATERLINE
- CLEANOUT
- MANHOLE
- GREASE INTERCEPTOR
- WATER METER
- BACKFLOW PREVENTER
- DOUBLE CHECK DETECTOR ASSEMBLY
- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION
- THRUST BLOCK
- POSITION INDICATOR VALVE (PIV)
- CAP AND BLIND FLANGE
- BEND OR TEE (WITH THRUST BLOCK)
- POINT OF CONNECTION
- GATE VALVE



NOTES:

1. GC SHALL MAINTAIN 1' MIN. VERTICAL CLEARANCE FROM BOTTOM OF WATER PIPES TO TOP OF SEWER PIPE.
2. ALL WATER SEWER CROSSINGS THE PIPES SHALL BE CENTERED AT POINT OF CROSSING.
3. SURVEY BEACHES SHALL CONFORM TO SPWPC 100-L-100.
4. EXISTING BUILDING FOOTING INFORMATION UNKNOWN. GC SHALL MAINTAIN PROPOSED GREASE INTERCEPTOR LOCATIONS TO DETERMINE FOOTING DEPTH.
5. GC RESPONSIBLE TO PROVIDE SHORING AND PLANS AS NECESSARY TO PERFORM WORK.
6. DENOTES WORK IN PUBLIC RIGHT OF WAY. GC SHALL OBTAIN NECESSARY ENCROACHMENT PERMIT THROUGH NEWPORT BEACH DEPARTMENT OF PUBLIC WORKS.
7. ALL WORK SHOWN HEREON SHALL COMPLY WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SPWPC) CURRENT EDITION. NEWPORT BEACH SPECIAL PROVISIONS TO SPWPC AND CALIFORNIA BUILDING AND PLUMBING CODES WASTE LINES TO BE 24" MIN. SLOPE.
8. SDR 35 WASTE PIPE IS NOT ALLOWED UNDER THE FOOTPRINT OF BUILDINGS/HOOPS OR STRUCTURES.
9. GREASE INTERCEPTORS SIZED PER CURRENT ANTICIPATED TENANT DEMANDS. EACH 750 GALLON GREASE INTERCEPTOR EXPECTED TO HANDLE UP TO 18 FUTURE UNITS.

SEWER CONSTRUCTION NOTES

1. PROTECT IN PLACE.
2. INSTALL 8" VCP PRIVATE SANITARY SEWER LINE, BEHIND PER CITY OF NEWPORT BEACH DWG. NO STD-106-L.
3. INSTALL VCP SANITARY SEWER LATERAL CONNECTION PER CITY OF NEWPORT BEACH DWG. NO STD-405-L.
4. INSTALL 8" VCP SEWER CLEANOUT PER CITY OF NEWPORT BEACH DWG. NO STD-401-L.
5. INSTALL JENSEN 1500 GAL GREASE INTERCEPTOR MODEL PJ1500G PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SEE DETAIL 11 ON SHEET C1-05.
6. INSTALL JENSEN MODEL 200 24" SAMPLE BOX PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SEE DETAIL 12 ON SHEET C1-05.
7. ADJUST EXISTING MANHOLE TO GRADE PER NB STD-111-L.
8. GREATER SYSTEM HOLDING TANK. SEE PLUMBING PLANS FOR DESIGN AND CONNECTION.
9. REMOVE EX 8" SANITARY SEWER PIPE.

WATER CONSTRUCTION NOTES

1. PROTECT IN PLACE.
2. INSTALL 3" WATER METER & BACKFLOW PREVENTION ASSEMBLY ABOVE GROUND WITH NO VALVE PER NB STD-520-L-B.
3. INSTALL 3" C-900 PVC WATERLINE PER NB STD-533-L.
4. CONNECT TO EXISTING 12" WATERLINE PER NB STD-507-L.
5. CONNECT TO BUILDING PLUMBING (SEE MEP PLANS).
6. INSTALL 8" CAP AND BLIND FLANGE.
7. REMOVE EX 8" DIP WATERLINE AND FIRE HYDRANT ASSEMBLY. RETURN FIRE HYDRANT ASSEMBLY TO NEWPORT BEACH UTILITIES YARD PER CITY INSPECTION.
8. INSTALL AND FURNISH HOSE END CONNECTION.

SEE UTILITY CROSSINGS TABLE HEREON



UTILITY CROSSINGS TABLE

#	UTILITY	SPWPC	BOTTOM STORY	TOP D.	FINISH
1	8" FIRE WATER (BOT.)	174.75	12" STORM DRAIN TOP	174.25	1.55
2	8" FIRE WATER (BOT.)	175.04	8" STORM DRAIN TOP	172.24	2.80
3	8" FIRE WATER (BOT.)	175.87	8" STORM DRAIN TOP	172.45	3.42
4	8" FIRE WATER (BOT.)	175.83	8" STORM DRAIN TOP	172.84	2.99
5	8" WATER (BOT.)	172.95	8" FIRE WATER TOP	172.73	0.22
6	8" WATER (BOT.)	172.46	18" STORM DRAIN TOP	167.23	5.23
7	8" WATER (BOT.)	169.95	8" STORM DRAIN TOP	166.39	3.56
8	8" WATER (BOT.)	169.74	8" STORM DRAIN TOP	164.66	5.08
9	18" STORM DRAIN (BOT.)	162.92	8" SEWER TOP	157.64	5.28
10	18" STORM DRAIN (BOT.)	170.92	8" SEWER TOP	155.97	4.95

UNDERGROUND SERVICE ALERT

811 Call Toll FREE 1-800-422-4133

KNOW WHAT'S BELOW
CALL BEFORE YOU DIG

BEWARE: WORKING LINES BEHIND YOU!

UNDERGROUND SERVICE ALERT

THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAN IS NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR VIOLATIONS OF ANY EXISTING OR PROPOSED UTILITY LINES OR STRUCTURES SHOWN ON THESE PLANS. THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAN IS NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR VIOLATIONS OF ANY EXISTING OR PROPOSED UTILITY LINES OR STRUCTURES SHOWN ON THESE PLANS.

KNOW WHAT'S BELOW

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS ARE BASED ON A RECORD OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITY, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR DISCOVERS ANY UNRECORDED UTILITY OR GREATLY EXCEEDS THE DEPTH OF ANY EXISTING UTILITY, HE SHALL NOTIFY THE CHAIRMAN IMMEDIATELY PRIOR TO CONTINUING OR RESUMING WORK ON THIS PLAN.

HKS

ARCHITECT
HKS ARCHITECTS, INC.
300 WEST STREET, SUITE 100
SAN FRANCISCO, CA 94101

LANDSCAPE
PLANNING & ASSOCIATES
1000 MARIN AVENUE, SUITE 100
SAN FRANCISCO, CA 94101

STRUCTURAL ENGINEER
KIMBLE ENGINEERS
1000 MARIN AVENUE, SUITE 100
SAN FRANCISCO, CA 94101

MEP ENGINEER
KIMBLE ENGINEERS
1000 MARIN AVENUE, SUITE 100
SAN FRANCISCO, CA 94101

OWNER
HKS ARCHITECTS, INC.
300 WEST STREET, SUITE 100
SAN FRANCISCO, CA 94101

OWNER CONSULTANTS
CIVIL ENGINEER
TAYLOR ENGINEERING, INC.
1000 MARIN AVENUE, SUITE 100
SAN FRANCISCO, CA 94101

UTILITY ENGINEER
KIMBLE ENGINEERS
1000 MARIN AVENUE, SUITE 100
SAN FRANCISCO, CA 94101

GEOTECHNICAL ENGINEER
KIMBLE ENGINEERS
1000 MARIN AVENUE, SUITE 100
SAN FRANCISCO, CA 94101

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

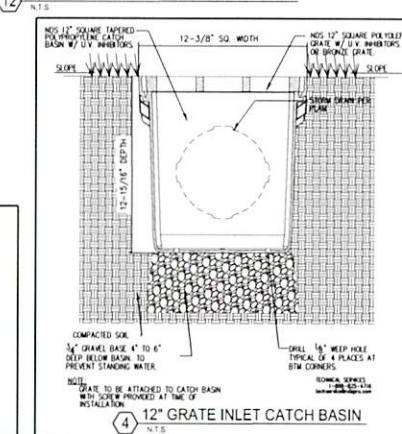
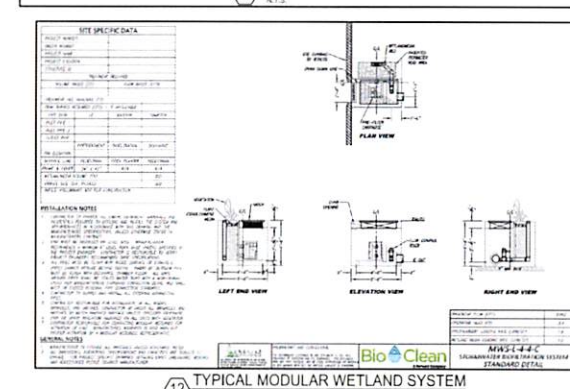
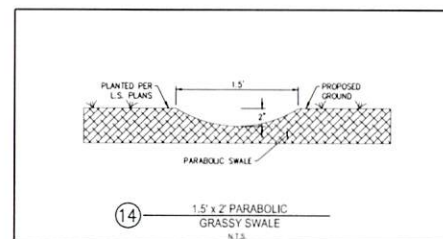
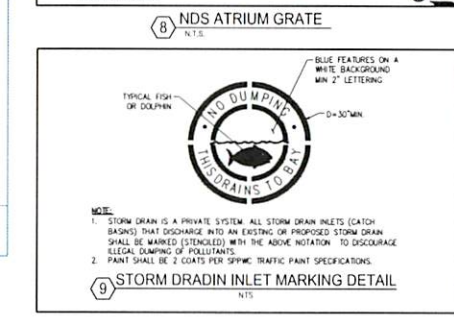
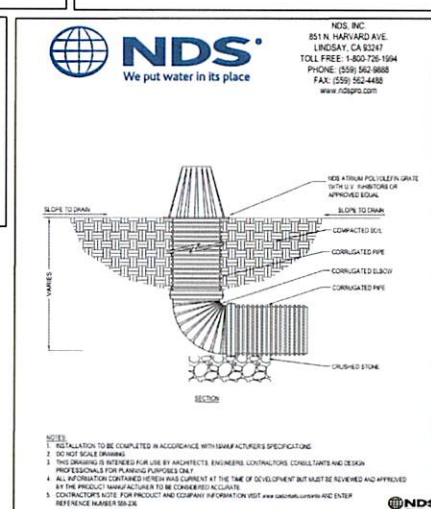
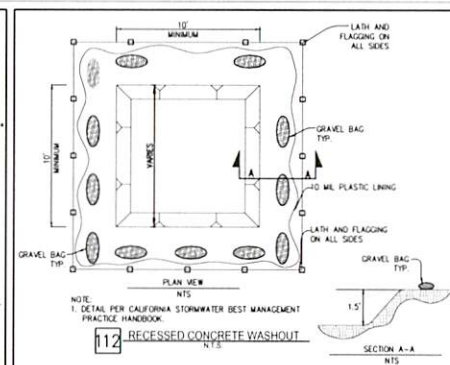
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22222

DATE
2019/05/28

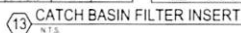
PROJECT
PLANNING REBUSUBMITAL 3

SHEET TITLE
UNDERGROUND UTILITY PLAN

SHEET NO.
C1.09



**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

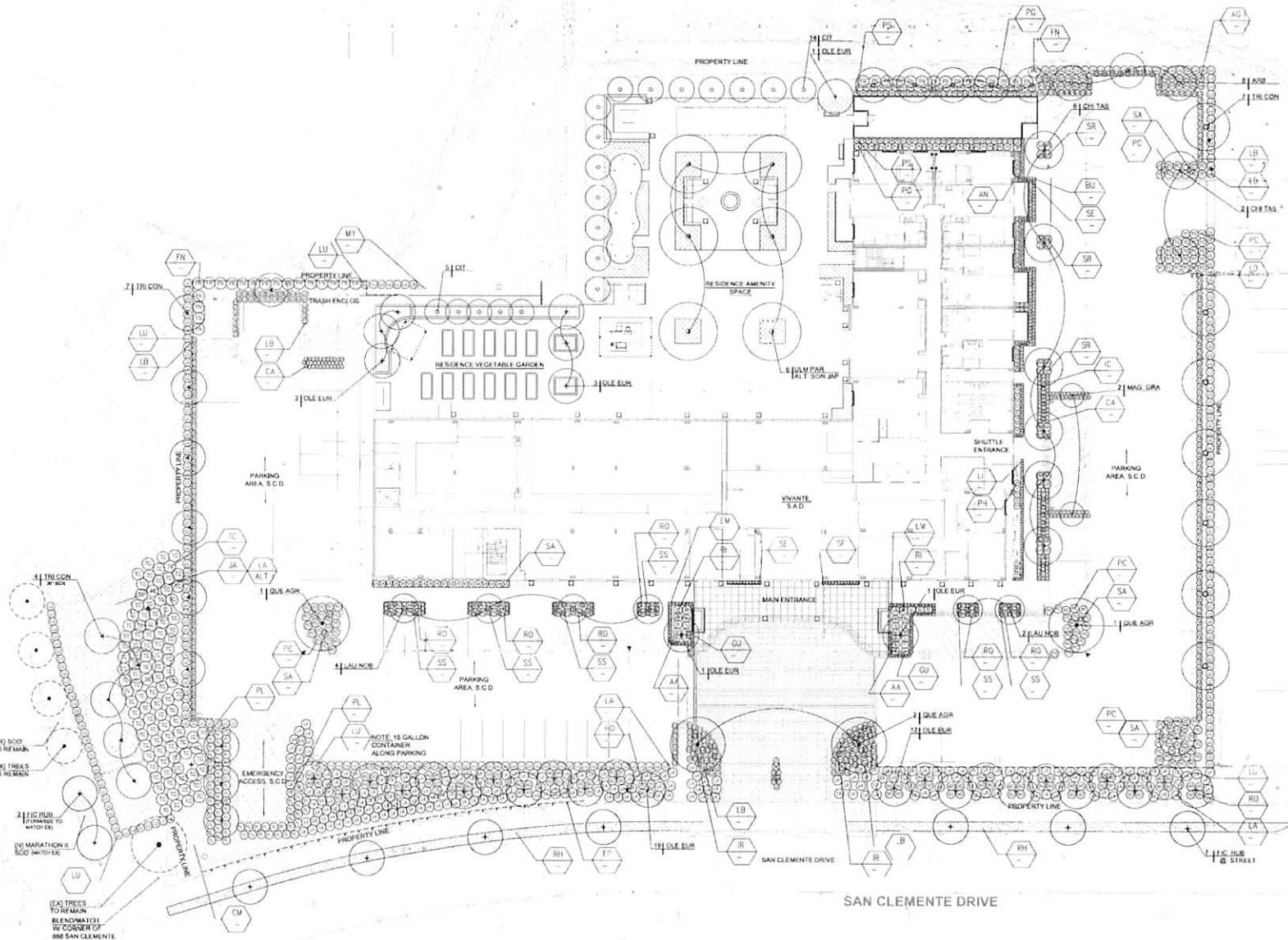


**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

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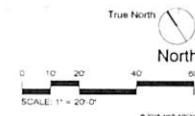
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22222
DATE
06/28/2019
ISSUE
PLANNING
RESUBMITTAL 3
SHEET TITLE

**OVERALL
PLANTING
PLAN**
SHEET NO.
L1.1



01 OVERALL PLANTING PLAN

NOTE:
1. SEE SHEET L2.0 FOR PLANT MATERIAL SCHEDULE



TREES



MAGNOLIA GRANDIFLORA 'LITTLE GEM'
DWARF MAGNOLIA TREE



ARBUTUS UNEDO
STRAWBERRY TREE



OLEA EUROPAEA 'SWAN HILL' OLIVE
SWAN HILL OLIVE



QUERCUS AGRIFOLIA
COAST LIVE OAK



FICUS RUBIGINOSA
RUSTY FIG



TRISTANIA CONFERTA
BRISBANE BOX



FICUS NITIDA
INDIAN LAUREL



LAURUS NOBILIS 'ANGUSTIFOLIA'
STANDARD BAY TREE



HANDROANTHUS IMPETIGINOSUS
PINK TRUMPET TREE

PLANT MATERIAL SCHEDULE- VIVANTE

SIZE	ID	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	NOTES
TREES						
48" Box	QUE AGR	Quercus agrifolia	Coast Live Oak	-	VL	
36" Box	OLE EUR	Olea europaea 'Swan Hill'	Swan Hill Olive	15'-0" O.C.	L	
24" Box	MAG GHA	Magnolia grandiflora 'Little Gem'	Dwarf Magnolia	-	M	
48" Box	FIC RUB	Ficus rubiginosa	Rusty Fig	50'-0" O.C.	L	
24" Box	TR CON	Tristania conferta (Brisbane Box)	Indian Laurel	4'-0" O.C.	M	Column Hedge Form
36" Box	LAU NOB	Laurus nobilis 'angustifolia'	Standard Bay Tree	25'-0" & 35'-0"	M	
36" Box	HAN IMP	Handroanthus impetiginosus	Pink trumpet tree	-	M	ALTERNATE
36" Box	CHI TAS	Chitalpa tashkentensis	Chitalpa	-	M	
24" Box	ARB UNE	Arbutus unedo	Strawberry tree	15'-0" O.C.	L	
24" Box	ULM PAR	Ulmus parviflora 'Drake'	Chinese Elm	12'-0" O.C.	M	
60" Box	SOP JAP	Sophora japonica 'Regent'	Chinese Scholar Tree	-	M	ALTERNATE

SIZE	ID	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	NOTES
GRASSES/SHRUBS/PERENNIALS/SUCCULENTS						
5 Gal.	AV	Agave viviparula	Octopus agave	-	L	ALTERNATE
1 Gal.	AA	Agave attenuata	Monk's Tail	1'-6" O.C.	M	
1 Gal.	BP	Baccharis pilularis 'Pigeon Point'	Coyote Brush	-	L	ALTERNATE
1 Gal.	CA	Carax brachy	European City Sedge	1'-6" O.C.	L	
1 Gal.	SS	Semeda serpens	Chalk Sticks	1'-6" O.C.	L	
1 Gal.	LA	Lantana montevidensis 'Aba'	White Trailing Lantana	3'-0" O.C.	L	
1 Gal.	LI	Liriope 'Spicata'	Lily Turf	1'-0" O.C.	M	
1 Gal.	LB	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	2'-0" O.C.	L	
15 Gal.	LIJ	Ligustrum japonicum	Ligustrum japonicum	3'-6" O.C.	M	Column Hedge Form
5 Gal.	MY	Myoporum parvifolium	Myoporum	3'-0" O.C.	L	
1 Gal.	EM	Eurythmum japonicum 'mikrophyllum'	Roadside Eurythmum	2'-0" O.C.	M	
5 Gal.	PC	Pinus ponderosa 'Nana'	Pinus ponderosa	2'-0" O.C.	L	
1 Gal.	PH	Philodendron Xanadu	Dwarf Philodendron	2'-0" O.C.	M	
5 Gal.	PL	Plumbago auriculata	Cape Plumbago	3'-6" O.C.	L	
15 Gal.	TC	Tecomaria capensis	Cape Honeysuckle	4'-0" O.C.	L	
1 Gal.	SE	Sedum sedum 'Jazz'	Autumn Joy	2'-0" O.C.	L	
5 Gal.	IG	Rosmarinus officinalis 'Prostratus'	Creeping Rosemary	-	L	ALTERNATE
5 Gal.	BQ	Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	4'-0" O.C.	L	
5 Gal.	SR	Strelitzia reginae	Bird of Paradise	3'-6" O.C.	M	
1 Gal.	BU	Buxus sempervirens 'suffruticosa'	Dwarf Boxwood	1'-6" O.C.	M	
1 Gal.	IR	Iris douglasiana 'canyon snow'	Iris douglasiana-white	RANDOM	L	
1 Gal.	IC	Iris douglasiana 'orange harvest'	Iris douglasiana-orange	RANDOM	L	
1 Gal.	AN	Anemone hupehensis 'honorine jobert'	Japanese Anemone	2'-0" O.C.	M	
1 Gal.	JA	Jasminum angulatum	South African Jasmine	3'-0" O.C.	M	
2 Gal.	SA	Salvia leucantha	Mexican Bush Sage	3'-0" O.C.	L	
5 Gal.	HI	Hibiscus spp.	Kobberg Rose	3'-0" O.C.	M	White
1 Gal.	AG	Agapanthus africanus	Agapanthus	2'-0" O.C.	L	Blue
5 Gal.	SA	Salvia leucantha	Mexican Bush Sage	2'-0" O.C.	L	
5 Gal.	GU	Guara lindheimeri	Guara	3'-0" O.C.	L	
1 Gal.	PS	Phloxium 'Sweet Mist'	Sweet Mist New Zealand Flax	1'-6" O.C.	L	
5 Gal.	PG	Phloxium Gulf Ball	Gulf Ball Forsythia	3'-0" O.C.	M	
1 Gal.	EU	Euphorbia characias 'Dwarf'	Dwarf Boxwood	1'-6" O.C.	M	Globe Form
1 Gal.	BU	Buxus sempervirens 'suffruticosa'	Buxus Indian Hawthorn	3'-0" O.C.	M	
1 Gal.	CM	Cardisa macrocarpa	Natal Plum	3'-0" O.C.	M	

SIZE	ID	BOTANICAL NAME	COMMON NAME	SPACING	WUCOL	NOTES
VINES						
1 Gal.	FIC PUM	Ficus Pumila	Ficus Vine	6'-0" O.C.	M	

NOTE:
PROPOSED LANDSCAPE IRRIGATION DESIGN, & INSTALLATION WILL MEET OR EXCEED THE CITY OF NEWPORT BEACH DESIGN STANDARDS FOR WATER EFFICIENT LANDSCAPE (MUNICIPAL CODE: CHAPTER 14.17)
PROPOSED TREE TOTALS
99 TOTAL (INCLUDING THE PUBLIC R.O.W.)



CHITALPA TASHKENTENSIS
CHITALPA



ULMUS PARVIFLORA
CHINESE ELM

HKS

ARCHITECT
HKS ARCHITECTS, INC.
333 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PERRY BURR & ASSOCIATES
27 MARKET AVENUE
SAN DIEGO, CA 92101

STRUCTURAL ENGINEER
BARTON MALOW & ASSOCIATES
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER
BONACCHI ENGINEERS
80 SOUTH LANE AVENUE, SUITE 840
PASADENA, CA 91101

OWNER
NEULS COMPANY
1000 MARSHALL PLACE, SUITE 300
SANTA ANA, CA 92707

OWNER CONSULTANTS
CIVIL ENGINEER
TATLA ENGINEERING INC.
SAN ANTONIO, TX 78201

UTILITY ENGINEER
BULLER & ASSOCIATES, INC.
ONE REGGATE DRIVE, SUITE 100
TENCULULA, CA 95066

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC. (GPI)
1000 CORPORATE AVENUE
CYNES, CA 94001

VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222
DATE
06/28/2019
ISSUE
PLANNING
RESUBMITTAL 4
SHEET NO.
PLANT SCHEDULE
& PLANT IMAGES

SHEET NO.
L2.0

LARGE SHURBS



LIGUSTRUM JAPONICA 'TEXANUM'
WAXLEAF PRIVET



PLUMBAGO AURICULATA
PLUMBAGO



CITRUS LEMON 'MEYER IMPROVED'



CITRUS X AURANTIFOLIA
LIME TREE



ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
TUSCAN BLUE ROSEMARY



TECOMARIA CAPENSIS
CAPE HONEYSUCKLE



FICUS NITIDA
INDIAN FICUS

HKS

ARCHITECT
HKS ARCHITECTS, INC.
535 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PODOLY BURR & ASSOCIATES
27 MARINER AVENUE
SAN FRANCISCO, CA 94111

STRUCTURAL ENGINEER
BRANTON GUMPERTZ & HEGER
100 PINE STREET, SUITE 600
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHWABER ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 340
PACIFIC PALMS, CA 91107

OWNER
NEALUS COMPANY
1 MARINER AVENUE, SUITE 300
SAN FRANCISCO, CA 94111

OWNER CONSULTANTS
CIVIL ENGINEER
TALIA MAGUISTRAE AND ASSOCIATES
SAN FRANCISCO, CA 94111

UTILITY ENGINEER
R. J. PALMER & ASSOCIATES, INC.
ONE HERRINGDALE DRIVE, SUITE 100
TUCUMAN, CA 95700

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC. (GPI)
3700 COMMERCIAL AVENUE
CITY OF SAN FRANCISCO, CA 94111

VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222
DATE
06/28/2019
REVISION
PLANNING
RESUBMITTAL 4
SHEET TITLE
PLANT SCHEDULE
& PLANT IMAGES

SHEET NO.
L2.1

SHRUBS, GROUNDCOVER, PERENNIALS & GRASSES, VINES



AGAPANTHUS AFRICANUS
LILY OF THE NILE



ANEMONE X HYBRIDA
'HONOREE JOBERT'
Honoree Jobert Japanese
Anemone



AGAVE ATTENUATA
FOX TAIL AGAVE



SEDUM 'AUTUMN JOY'
AUTUMN JOY



BUXUS SEMPERVIRENS
DWARF BOXWOOD



AGAVE VILMORINIA
OCTOPUS AGAVE



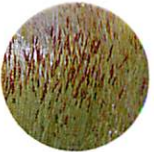
BACCHARIS PILULARIS
'PIGEON POINT'
COYOTE BUSH



GUARA LINDHEIMERI
GUARA



CAREX DIVULSA
GRASSLAND SEDGE



CHONDROPETALUM
TECTORUM
CAPE RUSH



PHORMIUM 'SWEET
MIST'
SWEET MIST NEW
ZEALAND FLAX



LIRIOPE MUSCARI 'BIG BLUE'
LIRIOPE



ROSA SPP
'ICEBERG' ROSE



IRIS DOUGLASIANA
FORT NIGHT LILY



EUONYMUS JAPONICUS
DWARF EUONYMUS



ROSMARINUS OFFICINALIS
'PROSTRATUS'
CREEPING ROSEMARY



LANTANA MONTEVIDENSIS
'ALBA'
WHITE TRAILING LANTANA



LAVANDULA
ANGUSTIFOLIA
ENGLISH LAVENDER



LOMANDRA LONGIFOLIA
BREEZE
LOMANDRA



LIGUSTRUM JAPONICUM
JAPANESE PRIVET



EUPHORBIA CHARACIAS DWARF
EUPHORBIA



ROSA X 'NOASCHNEE'
FLOWER CARPET WHITE
GROUNDCOVER ROSE



JASMINUM ANGULARE
SOUTH AFRICAN JASMINE



SENECIO
MANDRALISCAE
BLUE CHALK STICKS



PITTOSPORUM
TENUIFOLIUM 'GOLF
BALL'
GOLF BALL KOHUIHU



PITTOSPORUM
CRASSIFOLIUM
'NANA'
DWARF KARO



PHILODENDRON XANADU
'NANA'
WINTERBORN
PHILODENDRON



PLUMBAGO AURICULATA
CAPE LEADWORT



MYOPORUM PARVIFOLIUM
MYOPORUM



ROSMARINUS OFFICINALIS
TUSCAN BLUE ROSEMARY



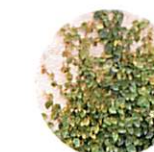
STRELITZIA REGINAE
BIRD OF PARADISE



WESTRINGIA FRUTICOSA
COAST ROSEMARY



RHIPSOLEPIS INDICA 'BALLERINA'
BALLERINA INDIAN HAWTHORNE



FICUS PUMILA
FIG VINE

HKS

ARCHITECT

HKS ARCHITECTS, INC.
324 BRYANT STREET, SUITE 100
SAN FRANCISCO, CA 94103

LANDSCAPE

FLANNERY BURR & ASSOCIATES
27 MARINATA AVENUE
SAN RAFAEL, CA 94901

STRUCTURAL ENGINEER

SAMPSON GUMPERTZ & HEGGER
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER

BOYANIEL ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 840
PASADENA, CA 91707

OWNER

NEALUS COMPANY
1 BROADWAY PLACE, SUITE 300
SAN FRANCISCO, CA 94103

OWNER CONSULTANTS

CIVIL ENGINEER
TATTA PROJECTS INC.
SAN FRANCISCO, CA 94103

UTILITY ENGINEER

BU PALMER & ASSOCIATES, INC.
ONE WEDGE DRIVE, SUITE 100
TEHAMA, CA 96068

GEOTECHNICAL ENGINEER

GEOTECHNICAL PROFESSIONALS INC. (GPI)
5700 CORPORATE AVENUE
CITY OF CA 94103

**VIVANTE - SENIOR
ASSISTED LIVING
NEWPORT BEACH, CA**

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER

22222

DATE

06/28/2019

REUSE

PLANNING

RESUBMITTAL 4

PLANT SCHEDULE

& PLANT IMAGES

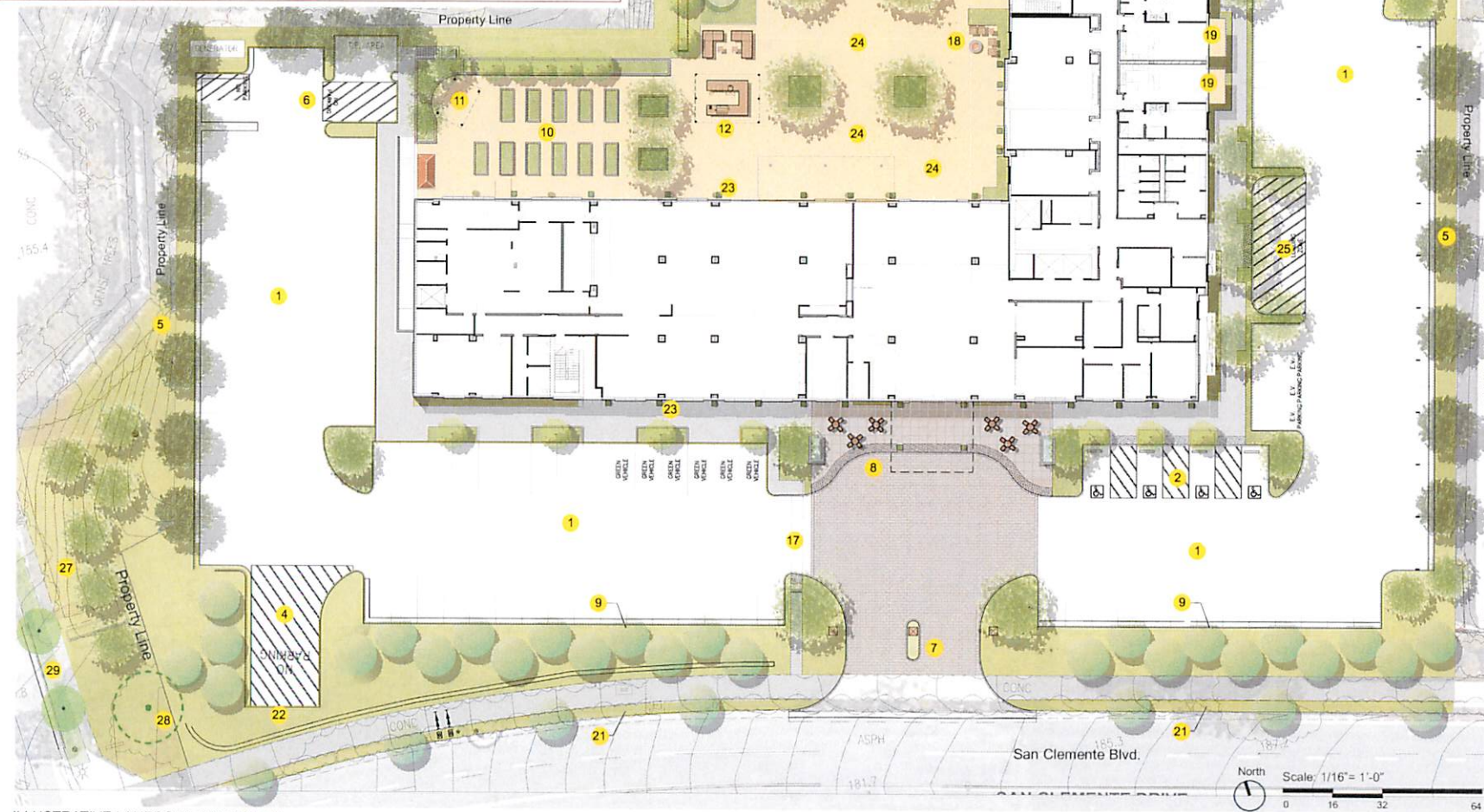
SHEET NO.

L2.2

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SITE SUMMARY

1. Vivante Parking
2. Accessible Parking Area
3. Gated Vehicular Exit
4. Emergency Vehicle Turn-a-round
5. Perimeter Landscape @ Parking
6. Service Area
7. Vivante Main Entry
8. Stone Entry Columns
9. Decorative Landscape
10. Porte Cochere & Main Drop off Area
11. Decorative Paving
12. Water Feature Elements
13. Resident Seating Area
14. Intimate Landscaping
15. Truncated Domes
16. Decorative Bollards
17. Olive Tree Grove - Frontage Parking Screen
18. Resident Gardens & Vegetable Planters
19. Garden Shed
20. Garden Trellis
21. Outdoor BBQ w/ Shade Trellis & Seating Niche
22. Putting Green
23. Bocce Court
24. Gas Firepit & Seating Area
25. Formal Seating Plaza (Gas Firepit & Water feature)
26. Accessible Route to San Clemente Blvd.
27. Seating Niche With Gas Firepit
28. Residence Ground Level Patio
29. Dog Park
30. New Plant Material & Trees Consistent With The City of Newport Beach Guidelines
31. Low Shrub Screening
32. Decorative Planters
33. Outdoor Dining & Entertainment Area
34. Shuttle Drop-Off
35. Planting Screen
36. Landscape Improvements Along 888 San Clemente Property
37. (Ex) Ficus Tree To Remain
38. (N) Ficus Trees & Planter Strip, Match (Ex)



ILLUSTRATIVE LANDSCAPE SITE PLAN

HKS

ARCHITECT
HKS ARCHITECTS, INC.
100 WINTHROP STREET, SUITE 100
SAN FRANCISCO, CA 94107

LANDSCAPE
PERRY BLUM & ASSOCIATES
27 WARDEN AVENUE
SAN JOSE, CA 95128

STRUCTURAL ENGINEER
SMITH GROUP JENSEN & JENSEN
100 PINE STREET, SUITE 800
SAN FRANCISCO, CA 94111

MEP ENGINEER
SCHWABER ENGINEERS
80 SOUTH LAKE AVENUE, SUITE 840
PALMDALE, CA 91301

OWNER
NEALUS COMPANIES
100 WARDEN AVENUE, SUITE 800
SAN JOSE, CA 95128

OWNER CONSULTANTS
CIVIL ENGINEER
TATIANA MANDICHOVICH
SAN JOSE, CA 95128

UTILITY ENGINEER
B.J. PALMER & ASSOCIATES, INC.
ONE REDUCCATE DRIVE, SUITE 100
TAMPA, FL 33604

GEOTECHNICAL ENGINEER
GEOTECHNICAL PROFESSIONALS, INC. (GPI)
1700 CORPORATE AVENUE
CITY OF LOS ANGELES

VIVANTE - SENIOR ASSISTED LIVING NEWPORT BEACH, CA

REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
22222
DATE
06/28/2019
ISSUE
PLANNING
RESUBMITTAL 4
COLOR
LANDSCAPE SITE
PLAN

SHEET NO.
L1.0

EXHIBIT "A"
CITY OF NEWPORT BEACH
LOT MERGER NO. LM 2018-004

SHEET 1 OF 6

(LEGAL DESCRIPTION)

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
VIVANTE NEWPORT CENTER, LLC	442-261-05	PARCEL 1
	442-261-17	PARCEL 1

PARCEL 1:

PARCEL 2, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 81, PAGES 8 AND 9 OF PARCEL MAPS TOGETHER WITH, PARCEL 2 OF NEWPORT BEACH LOT LINE ADJUSTMENT NO. 95-3 RECORDED OCTOBER 31, 1995 AS INSTRUMENT NO. 19950483821 OF OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

CONTAINING A TOTAL AREA OF 126,600 SQUARE FEET OR 2.91 ACRES, MORE OR LESS.

ALSO SHOWN IN EXHIBIT "B", ATTACHED HERewith AND MADE A PART HEREOF.

04/11/19

DATE


MICHAEL FURLONG, PLS 8899
LICENSE EXPIRES: 12/31/2019



SP8384

SHEET 2 OF 6

(MAP)

LEGEND:

———— LOT MERGER BOUNDARY

----- EXISTING LOT LINE TO BE REMOVED



EXHIBIT "B"
CITY OF NEWPORT BEACH
LOT MERGER NO. LM 2018-004

SHEET 3 OF 6

(EASMENT MAP)

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
VIVANTE NEWPORT CENTER, LLC	442-261-05	PARCEL 1
	442-261-17	PARCEL 1

LEGEND:

- LOT MERGER BOUNDARY
- EXISTING LOT LINE TO BE REMOVED
- EXISTING EASEMENTS

N

1" = 80'

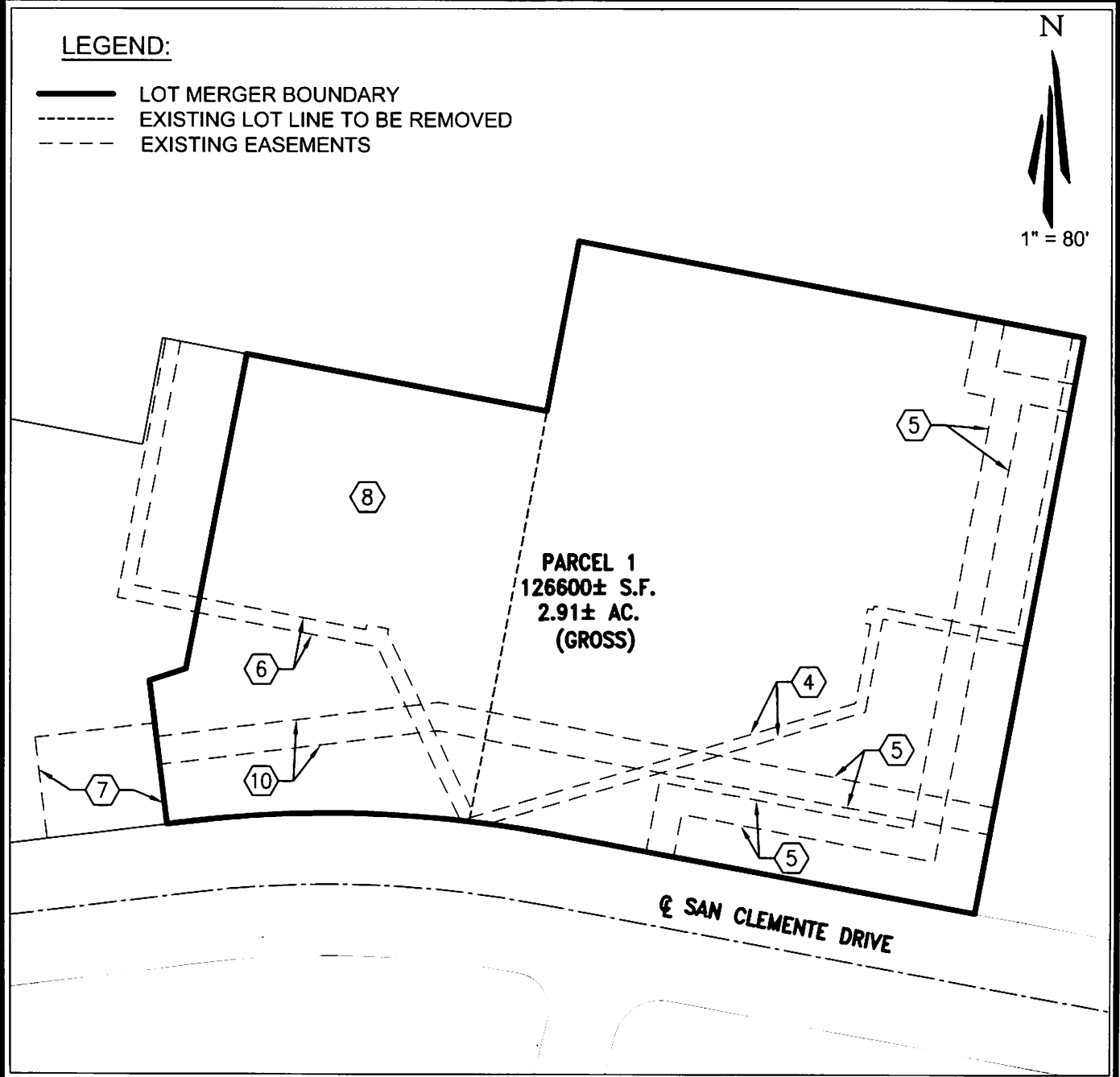


EXHIBIT "B"
CITY OF NEWPORT BEACH
LOT MERGER NO. LM 2018-004

SHEET 4 OF 6

(EXISTING EASEMENTS)

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
VIVANTE NEWPORT CENTER, LLC	442-261-05	PARCEL 1
	442-261-17	PARCEL 1

EXISTING EASEMENTS:

- 3 AN EASEMENT FOR PERPETUAL AIR OR FLIGHT EASEMENT, SAID EASEMENT AND RIGHTS BEING MORE PARTICULARITY DESCRIBED AND DEFINED IN A GRANTED TO THE ORANGE COUNTY BY DEED RECORDED MARCH 17, 1964 IN BOOK 6965, PAGE 721 OF OFFICIAL RECORDS (BLANKET OVER PARCEL 2 OF LLA 95-3 AND PARCEL 2 OF PMB 81 PG 8 AND 9)
- 4 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, REORDERED MARCH 17, 1977 AS INSTRUMENT NO. 24207 IN BOOK 12108, PAGE 671 OF OFFICIAL RECORDS.
- 5 AN EASEMENT FOR SEWER AND WATER PURPOSES AND INCIDENTAL PURPOSES, RECORDED JULY 19, 1977 AS INSTRUMENT NO. 28073 IN BOOK 12296, PAGE 1131 OF OFFICIAL RECORDS.
- 6 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, REORDERED JUNE 19, 1978 IN BOOK 12721, PAGE 1105 OF OFFICIAL RECORDS.
- 7 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF EASEMENTS" RECORDED OCTOBER 31, 1995 AS INSTRUMENT NO. 19950484848 OF OFFICIAL RECORDS. (JOINT ACCESS EASEMENT PLOTTED AND DRAINAGE EASEMENT BLANKET OVER PARCEL 2 OF LLA 95-3 AND PARCEL 2 OF PMB 81 PG 8 AND 9)
- 8 EASEMENTS, COVENANTS AND CONDITIONS CONTAINED IN THE DEED FROM THE IRVINE COMPANY RECORDED NOVEMBER 22, 1995 AS INSTRUMENT NO. 19950519960 OF OFFICIAL RECORDS. REFERENCE BEING MADE TO THE DOCUMENT FOR FULL PARTICULARS. (BLANKET OVER PARCEL 2 OF LLA 95-3 AND PARCEL 2 OF PMB 81 PG 8 AND 9)

04/11/19

DATE



MICHAEL FURLONG, PLS 8899
LICENSE EXPIRES: 12/31/2019



EXHIBIT "B"
CITY OF NEWPORT BEACH
LOT MERGER NO. LM 2018-004

SHEET 5 OF 6

(EXISTING EASEMENTS)

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
VIVANTE NEWPORT CENTER, LLC	442-261-05	PARCEL 1
	442-261-17	PARCEL 1

EXISTING EASEMENTS:

- 9 MATTERS IN A DOCUMENT ENTITLED "DECLARATION OF SPECIAL LAND USE RESTRICTIONS, RIGHT OF FIRST REFUSAL, MORTGAGE LIEN AND OTHER REMEDIES", EXECUTED BY AND BETWEEN THE IRVINE COMPANY, A MICHIGAN CORPORATION AND NEWPORT HARBOR ART MUSEUM, A CALIFORNIA NONPROFIT PUBLIC BENEFIT CORPORATION, RECORDED NOVEMBER 22, 1995 AS INSTRUMENT NO. 19950519961 OF OFFICIAL RECORDS, INCLUDING BUT NOT LIMITED TO COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS AND CHARGES.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AMENDED AND RESTATED DECLARATION OF SPECIAL LAND USE RESTRICTIONS, RIGHT OF FIRST REFUSAL, MORTGAGE LIEN AND OTHER REMEDIES" RECORDED MAY 09, 2018 AS INSTRUMENT NO. 2018000168646 OF OFFICIAL RECORDS.(BLANKET OVER PARCEL 2 OF LLA 95-3 AND PARCEL 2 OF PMB 81 PG 8 AND 9)

10

AN EASEMENT FOR SEWER PURPOSES AND INCIDENTAL PURPOSES,RECORDED JULY 28, 1999 AS INSTRUMENT MO. 19990550354 OF OFFICIAL RECORDS.

04/11/19

DATE


MICHAEL FURLONG, PLS 8899
LICENSE EXPIRES: 12/31/2019



EXHIBIT "C"

CITY OF NEWPORT BEACH

LOT MERGER NO. LM 2018-004

SHEET 6 OF 6

(SITE PLAN)

OWNER	EXISTING PARCEL AP NUMBER	PROPOSED PARCELS REFERENCE NUMBERS
VIVANTE NEWPORT CENTER, LLC	442-261-05	PARCEL 1
	442-261-17	PARCEL 1

04/11/19

DATE

Michael Furlong
MICHAEL FURLONG, PLS 8899
LICENSE EXPIRES: 12/31/2019



N

1" = 80'

