



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

July 30, 2026
Agenda Item No. 5

SUBJECT: Haupt Residence (PA2025-0267)
• Coastal Development Permit

SITE LOCATION: 1309 East Balboa Boulevard

APPLICANT: David Parker, Architect

OWNER: Mark Haupt

PLANNER: Jerry Arregui, Assistant Planner
949-644-3219 or jarregui@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached - 6.0 – 9.9 DU/AC (RSD-B)
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A request for a coastal development permit (CDP) to demolish an existing 1,331-square-foot, single-unit dwelling and to construct a new 2,738-square-foot, three-story, single-unit dwelling with an attached 545-square-foot two-car garage. The project also includes hardscaping, drainage devices, and site walls. The project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested. All improvements authorized by this CDP will be located on private property.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving the Coastal Development Permit filed as PA2025-0267 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The subject property is located on the Newport Peninsula, adjacent to the Ocean Front Board Walk as shown in Attachment No. ZA 2.
- The property consists of one legal lot developed with a 1,331-square-foot, single-unit dwelling. The property includes a 7-foot-wide patio with a low block wall that encroaches into East Ocean Front right-of-way, which was authorized by the Public Works Department pursuant to Appendix C (Oceanfront Encroachment Policy Guidelines) of Title 21 (Local Coastal Program Implementation Plan) of the NBMC
- The property is located within the Single-Unit Residential (R-1) Coastal Zoning District, which allows single-unit residential development on a single legal lot. A single-unit dwelling is proposed and is therefore consistent with the City's Coastal Land Use Plan, General Plan, and Zoning Code.
- A CDP is required for the construction of a new dwelling, and the property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The neighborhood is predominantly developed with two- and three-story single-unit dwellings. The project's design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
- The proposed single-unit dwelling and accessory structures conform to all applicable development standards including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (East Ocean Front)	8 feet	8 feet
Side	3 feet	3 feet
Front (East Balboa Boulevard)	0 feet	0 feet
Floor Area Limit (max.)	3,456 square-feet	3,283 square-feet
3rd Floor Limit (max.)	345 square-feet	322 square-feet
Parking (min.)	2-car garage	2-car garage
Height (max.)	24-foot flat 29-foot sloped	24 feet flat 29 feet sloped
Open Volume (min.)	259 square-feet	260 square-feet

Hazards

- The property is separated from the shoreline by an approximately 560-foot-wide sandy beach and may be subject to coastal hazards such as flooding, runup, and erosion. A Coastal Hazards Report was prepared for the project by Skelly Engineering, dated January 18, 2026. The report uses the latest adopted Sea Level Rise Guidance: 2024 Update provided by the State of California. The report concludes that the project is reasonably safe from shoreline erosion due to being over 560 feet from the shoreline and a lack of waves or wakes, which have allowed the beach to maintain consistent width over the last 50 years. The report analyzes future sea level rise scenarios assuming an increase in the maximum water level (7.7 feet based on the North American Vertical Datum of 1988 NAVD [NAVD 88] NAVD 88) of approximately 4.5 feet, resulting in a projected water elevation of 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure based on intermediate-high risk aversion estimates). The finished floor elevation of the first floor of the proposed structure is 12.22 feet NAVD 88, which complies with the minimum 9.0-foot NAVD 88 elevation standard for new structures and exceeds the sea level rise scenario. Based on the data provided, the study concludes that coastal hazards will not significantly impact the property over the next 75 years and there is no anticipated need for a shore protection device over the life of the project.
- The property owner is required to enter into an agreement with the City waiving any potential right for protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority. These requirements are included as Condition of Approval Nos. 8 and 9 of the Draft Resolution (Attachment No. ZA 1) and will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.
- The property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property is located adjacent to a sandy beach and is within proximity to coastal waters. A Construction Erosion Control Plan was provided to implement temporary

Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials.

- The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

Public Access and Views

- The property is located between the first public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bears a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project replaces an existing single-unit dwelling with a new single-unit dwelling, consistent with the existing neighborhood pattern of development and applicable development standards. Therefore, the project does not involve a change in land use or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
- The property is located adjacent to an approximately 560-foot-wide public beach. Lateral access is provided along the Ocean Front Boardwalk, directly in front of the property. Vertical access to the beach and bay is available approximately 150 feet west along E Street and 300 feet east along F Street, which are identified by the Coastal Land Use Plan (CLUP) as public beach access locations. The project is located entirely within private property and does not include any features that would obstruct coastal access along the Ocean Front Boardwalk or interfere with the existing nearby public beach access locations.
- The property is not located within the vicinity of coastal view roads or coastal viewpoints as identified in the CLUP. The potential for the project to degrade coastal views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC. The nearest identified coastal viewpoints are located at Peninsula Park and Balboa Pier, approximately 1,600 feet and 2,500 feet west of the property, respectively. The project is not within line-of-sight of this location and is separated by distance and a row of residential development. The project complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development.

- While the adjacent beach is not a designated coastal viewpoint, the project was analyzed for potential impacts to the visual quality of the coastal zone. The project serves an opportunity to enhance the property by replacing an aging building originally built in 1912 with a new building that includes a high-quality coastal design, typical of remodels and new development throughout the City. To soften the façade, the dwelling includes balconies and decks that incorporate glass guardrails and windows that face the beach. Therefore, the project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

The Class 3 exemption authorizes the demolition of up to three single-unit dwellings and the construction or conversion of up to three single-unit dwellings in urbanized areas. The project is for the demolition of a single-unit dwelling and the construction of a new single-unit dwelling located in the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.

There are no known exceptions listed in CEQA Guidelines Section 15300.2 that would invalidate the use of this exemption. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the NBMC. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 of the NBMC. Final action taken by the

City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Jerry Arregui
Assistant Planner

JH/ja

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND CONSTRUCT A NEW SINGLE-UNIT DWELLING WITH AN ATTACHED TWO-CAR GARAGE LOCATED AT 1309 EAST BALBOA BOULEVARD (PA2025-0267)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by David Parker (Applicant) on behalf of Mark Hauptert (Owner), concerning the property located at 1309 East Balboa Boulevard and legally described as Lot 5 of Block 22 of the East Side Addition of the Balboa Tract (Property).
2. The Applicant requests a coastal development permit (CDP) to demolish an existing 1,331-square-foot single-unit dwelling and to construct a new 2,738-square-foot, three-story, single-unit dwelling with an attached 545-square-foot two-car garage. The project also includes hardscaping, drainage devices, and site walls (Project). The Project complies with all development standards and no deviations from the Newport Beach Municipal Code (NBMC) are requested. All improvements authorized by this CDP will be located on private property.
3. The Property is categorized as Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Single-Unit Residential (R-1) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Single Unit Residential Detached – 6.0 - 9.9 DU/AC (RSD-B), and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.
5. A public hearing was held on July 30, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with Chapter 21.62 (Public Hearings) of the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures) because it has no potential to have a significant effect on the environment.

2. The Class 3 exemption authorizes the demolition of up to three single-unit dwellings and the construction or conversion of up to three single-unit dwellings in urbanized areas. The Project consists of the demolition of a single-unit dwelling and the construction of a new single-unit dwelling located in the R-1 Coastal Zoning District. Therefore, the Class 3 exemption is applicable.
3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Facts in Support of Finding:

1. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and parking.
 - a. The maximum floor area limitation is 3,456 square feet and the proposed floor area is 3,283 square feet.
 - b. The Project provides the minimum required setbacks, which are eight feet along the front property line abutting the East Ocean Front Boardwalk and three feet along each side property line. There is no minimum required setback along East Balboa Boulevard.
 - c. The highest guardrail is 24 feet from established grade (10.91 feet based on the North American Vertical Datum of 1988 NAVD [NAVD 88]) and the highest ridge is 29 feet from established grade, which complies with the maximum height requirements.
 - d. The Project includes a two-car garage, complying with the minimum two-car garage parking requirement for single-unit dwelling with less than 4,000 square feet of habitable floor area.
 - e. The Project proposes a minimum top of slab elevation of 12.22 feet NAVD 88 which complies with the minimum 9.0-foot NAVD 88 top of slab elevation requirement for interior living areas of new structures.

2. The neighborhood is predominantly developed with two- and three-story, single-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
3. The Property is separated from the shoreline by an approximately 560-foot-wide sandy beach and may be subject to coastal hazards such as flooding, runoff, and erosion. A Coastal Hazards Report was prepared for the Project by Skelly Engineering, dated January 18, 2026. The report utilizes the latest adopted Sea Level Rise Guidance: 2024 Update provided by the State of California. The report concludes that the Project is reasonably safe from shoreline erosion due to being over 560 feet from the shoreline and the lack of waves or wakes, which have allowed the beach to maintain consistent width over the last 50 years. The report analyzes future sea level rise scenarios assuming an increase in the maximum water level (7.7 feet NAVD 88) of approximately 4.5 feet, resulting in a projected water elevation of 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure based on intermediate-high risk aversion estimates). The finished floor elevation of the first floor of the proposed structure is 12.22 feet NAVD 88, which complies with the minimum 9.0-foot NAVD 88 elevation standard for new structures and exceeds the sea level rise scenario. Based on the data provided, the study concludes that coastal hazards will not significantly impact the Property over the next 75 years and there is no anticipated need for a shore protection device over the life of the Project.
4. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC, the Owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC. These requirements are included as Condition of Approval Nos. 8 and 9 which will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.
5. The Property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.
6. The Property is located adjacent to a sandy beach and is within 560 feet of coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The Project design also addresses water quality through the inclusion of a

post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.

7. The Project landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. Condition of Approval No. 16 requires a final landscape plan to be reviewed and approved prior to the issuance of a building permit to verify that drought tolerant and non-invasive plant species with water efficient irrigation is provided.
8. The Property is not located within the vicinity of coastal view roads or coastal viewpoints as identified in the CLUP. The potential for the Project to degrade coastal views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC. The nearest identified coastal viewpoints are located at Peninsula Park and Balboa Pier, approximately 1,600 feet and 2,500 feet west of the Property, respectively. The Project is not within line-of-sight of this location and is separated by distance and a row of residential development. The Project complies with all applicable Local Coastal Program (LCP) development standards and maintains a building envelope consistent with the existing neighborhood pattern of development.
9. While the adjacent beach is not a designated coastal viewpoint, the Project was analyzed for potential impacts to the visual quality of the coastal zone. The Project serves an opportunity to enhance the Property by replacing an ageing building originally built in 1912 with a new building that includes a high-quality coastal design, typical of remodels and new development throughout the City. To soften the façade, the dwelling includes balconies and decks that incorporate glass guardrails and windows that face the beach. Therefore, the Project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The Property is located between the first public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bears a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project replaces an existing single-unit dwelling with a new single-unit dwelling, consistent with the existing neighborhood pattern of development and applicable development standards. Therefore, the Project does not involve a change in land use or intensity that will result in increased demand for public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

2. The Property is located adjacent to an approximately 560-foot-wide public beach. Lateral access is provided along the Ocean Front Boardwalk, directly in front of the Property. Vertical access to the beach and bay is available approximately 150 feet west along E Street and 300 feet east along F Street, which are identified by the CLUP as public beach access locations. The Project is located entirely within private property and does not include any features that would obstruct coastal access along the Ocean Front Boardwalk or interfere with the existing nearby public beach access locations.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment, and that the exceptions to this Exemption do not apply.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit filed as PA2025-0267, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Program Implementation Plan), of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in accordance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 30TH DAY OF JULY, 2026

Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT “A”

CONDITIONS OF APPROVAL

(Project-specific conditions are in italics)

Planning Division

1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this CDP or the processing of a new CDP.
3. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
4. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
5. This approval may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
6. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit “A,” shall be incorporated into the Building Division and field sets of plans.
7. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC unless an extension is otherwise granted.
8. *Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the Owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.*
9. *Prior to the issuance of a building permit, the Owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its*

boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.

10. *This Coastal Development Permit does not authorize any improvements, including landscaping, within the public beach, public right-of-way, or the Oceanfront Encroachment Area. Improvements within the Oceanfront Encroachment Area require a new Oceanfront Encroachment Permit, subject to review by the Public Works Department, and shall comply with Appendix C (Oceanfront Encroachment Policy Guidelines) of Title 21 of the NBMC.*
11. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
12. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
13. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
14. Debris from demolition shall be removed from work areas each day and removed from the Property within 24 hours of the completion of the Project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
15. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
16. Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
17. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall

be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

18. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, 2 or 1 short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
19. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturday, Sundays, or Holidays.
20. All noise generated by the proposed use shall comply with Chapter 10.26 (Community Noise Control) and other applicable noise control requirements of the NBMC.
21. Prior to the issuance of a building permit, the Applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
22. Should the Property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
23. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Hauptert Residence, including but not limited to, the Coastal Development Permit filed as PA2025-0267**. This indemnification shall include,

but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The Applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The Applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Building Division

24. Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.
25. Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.
26. Prior to the issuance of a building permit, the final Water Quality and Hydrology Plan/ Water Quality Management Plan (WQHP/WQMP) shall be reviewed and approved by the Building Division. Implementation shall comply with the approved Construction Pollution Prevention Plan and WQHP/WQMP and any changes could require separate review and approval by the Building Division.

Fire Department

27. The installation of a residential fire sprinkler system complying with the National Fire Protection Association (NFPA) 13D shall be installed.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit
PA2025-0267

1309 East Balboa Boulevard

Attachment No. ZA 3

Project Plans

1309 EAST BALBOA BLVD., NEWPORT BEACH, CA

NEW SINGLE FAMILY RESIDENCE

PERMIT
NUMBER:
PA2025-0267

REVISIONS:
4-14-26



SCOPE OF WORK:
Demolition of existing 3 bedroom SFD and detached garage (total 1331 SF).
Removal of existing hardscape, planters, fences, site walls and perimeter walls.
Grading and construction of new SFD with 4 BDRMS and 3.5 BATHS, 2 car GARAGE, 2 ROOF DECKS with gas fire pits and Family Room at the 3rd level.
Tile over Concrete Patio with gas fire pit in front yard.
New boundary walls to be built at property lines.

RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH NFPA 13D - DEFERRED SUBMITTAL.

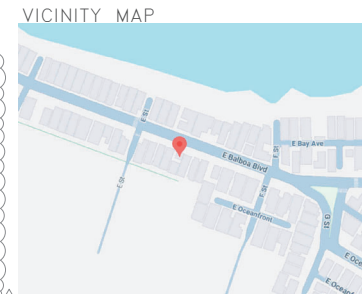


OWNER
TANLIE, LLC
2518 N. SANTIAGO BLVD.
ORANGE, CA 92667

ADDRESS:
1309 E. BALBOA BLVD., NEWPORT BEACH, CA
LOT 5, BLOCK 22
APN: 048-164-05
OCCUPANCY: R-3
BUILDING TYPE: VB
CODE:
2025 CALIFORNIA RESIDENTIAL CODE
2025 CALIFORNIA MECHANICAL CODE
2025 CALIFORNIA PLUMBING CODE
2025 CALIFORNIA ELECTRICAL CODE
2025 BLDG ENERGY EFFICIENCY STANDARDS
2025 CALIFORNIA GREEN BUILDING CODE
2025 CALIFORNIA BUILDING CODE
OWNER:
TANLIE LLC
2518 N. SANTIAGO BLVD. ORANGE, CA, 92867
TEL.: 714-998-3400
EMAIL: MARK@TANLIELLC.COM
ARCHITECT:
DAVID PARKER, ARCHITECT AIA
1502 N. COAST HWY., LAGUNA BEACH, CA 92651
TEL.: 949-872-6616
EMAIL: dmparchitect88@gmail.com

PROJECT SUMMARY TABLE				
ZONING STANDARDS				
DESCRIPTION	REQUIRED/ ALLOWED	EXISTING	PROPOSED	CONFORMS
ZONING DESIGNATION	R-1	R-1	R-1	YES
USE	SFD	SFD	SFD	YES
LOT SIZE		2400 SF	2400 SF	YES
REQ. SETBACKS				
Front Yard	8'-0"	8'-0"	8'-0"	YES
Rear Yard	0'-0"	0'-0"	0'-0"	YES
Side Yard	3'-0"	3'-0"	3'-0"	YES
HEIGHT LIMIT	24'-0" FLAT ROOF 29'-0" SLOPING ROOF	-	24'-0" FLAT ROOF 29'-0" SLOPING ROOF	YES
PARKING REQ.	2	2	2	YES
MAX. SQUARE FOOTAGE	BUILDABLE AREA X2 = 1728 X2 = 3,456 SF	N/A	3286.37 SF	YES
REQ. OPEN SPACE	15% OF BUILDABLE AREA = 1728 X .15 = 259.2 SF	N/A	140.84 SF + 1205 SF = 260.84 SF	YES
THIRD FLOOR LIMITATION (FLOOR AREA + COVERED DECK)	50% OF BUILDABLE AREA = 1728 X .5 = 864 SF		322.84 SF (3RD FLOOR) + 270.59 SF (ROOF COVER) = 593.43 SF	YES
THIRD FLOOR AREA LIMITATION (FLOOR AREA)	20% OF BUILDABLE AREA = 1728 X .2 = 345.6 SF		322.84 SF	YES
PROJECT DATA				
DESCRIPTION	EXISTING	DEMOLITION	PROPOSED	TOTAL
LIVING AREA (SF)				
First Floor	N/A	N/A	958.05	958.05
Second Floor	N/A	N/A	1460.38	1460.38
Third Floor	N/A	N/A	322.84	322.84
TOTAL LIVING	N/A	N/A	2741.27	2741.27
GARAGE	N/A	N/A	545.10	545.10
TOTAL W/ GARAGE	1331	1331	3286.37 SF	3286.37 SF
STORAGE/ MECHANICAL	N/A	N/A	76 SF (MECH FAU) + 42.75 SF (MECH AC) = 32.86 SF	75.61 SF
DECK AREA	30	30	726.88 SF (DECK1) + 383.53 SF (DECK 2) = 1110.41 SF	1110.41 SF

SHEET INDEX	
SHEET	SHEET NAME
A.01	Cover Page
1	Topographic Survey
A.02	Site Plan
A.03	Establishment of Grade
A.04	Preliminary Drainage and Grading Plan
A.05	Preliminary Grading Sections
A.06	Demolition Plan
A.07	Floor Plans 1st & 2nd
A.08	Floor Plan 3rd and Roof Plan
A.09	Area Calculations 1st & 2nd
A.10	Area Calculations 3rd & Roof Cover
A.11	Bldg Sections A & B
A.11a	Bldg Sections C
A.11b	Bldg Sections D,E,F & G
A.12	Exterior Elevations Front & Rear
A.13	Exterior Elevations Right and Left
A.14	Exterior Elevations Front and Rear - Color
A.15	Exterior Elevations Right and Left - Color
A.16	Erosion Control Plan



DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 N. COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616

PROJECT:
NEW SINGLE FAMILY RESIDENCE
1309 E. BALBOA BLVD.
NEWPORT BEACH, CA 92661

TITLE
COVER PAGE

SCALE:
DATE:
12-12-2025
SHEET:

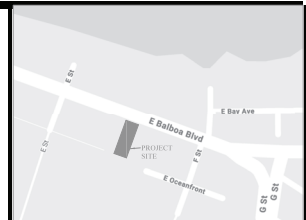
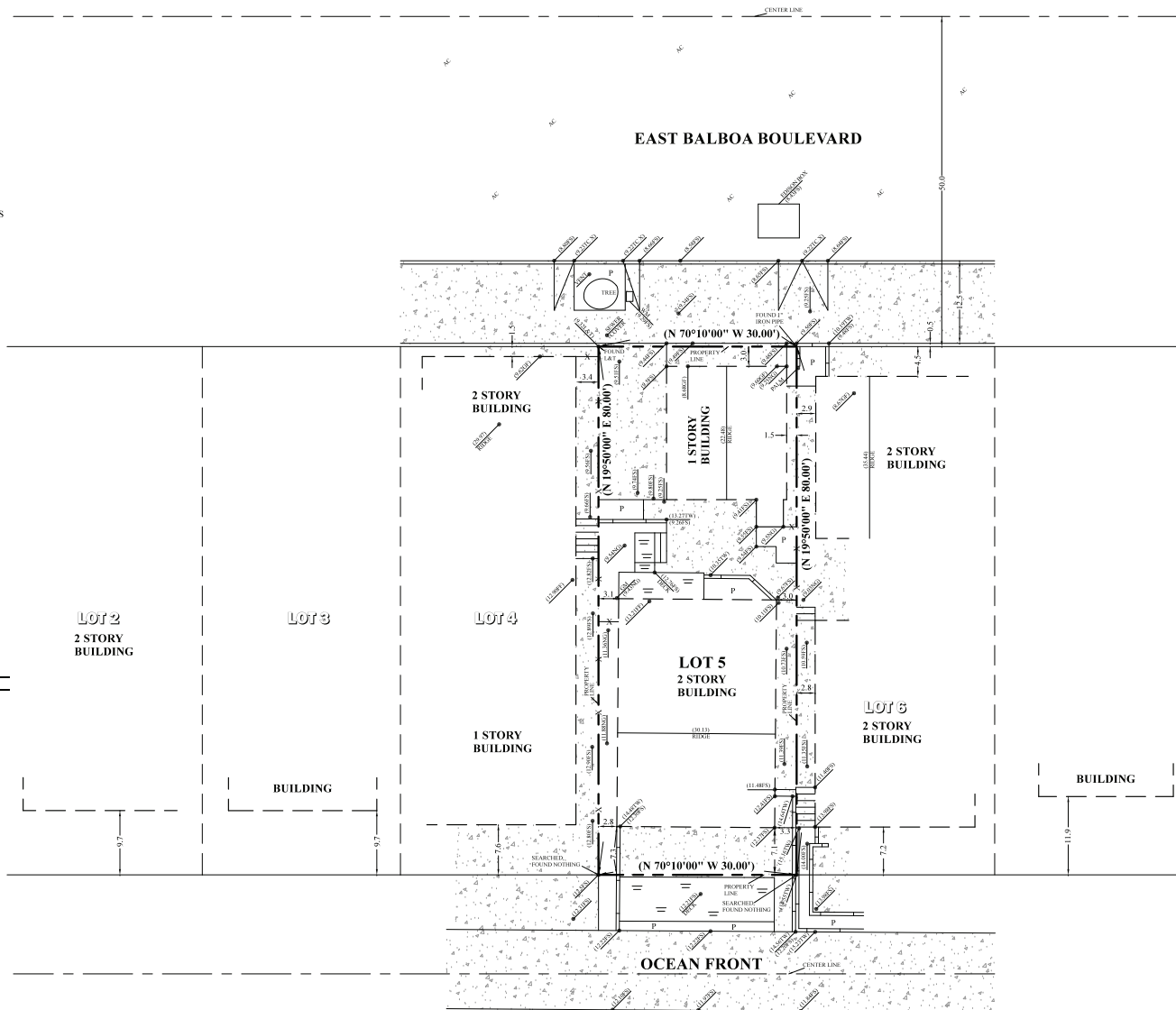
A.01



SURVEY NOTES

1. ALL MEASUREMENTS SHOWN HEREON ARE TO EXISTING EXTERIOR FINISHED SURFACE.
2. THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.
3. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.

LEGEND	DESCRIPTION
(123.45)	MEASURED ELEVATIONS
()	RECORD BEARING & DISTANCE
#	BRICK
■	CONCRETE
▬	DECK
▬	WALL
▬	BUILDING
▬	CENTER LINE
▬	PROPERTY LINE
+	BENCH MARK
AC	ASPHALT
CF	CURB FACE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
L&T	LEAD & TAG
MH	MAN HOLE
NG	NATURAL GRADE
P	PLANTER
PP	POWER POLE
TC	TOP OF CURB
TW	TOP OF WALL
TG	TOP OF GRATE
TOR	TOP OF ROOF
S&W	SPIKE & WASHER
WM	WATER METER
WV	WATER VALVE



VICINITY MAP

NOT TO SCALE

ADDRESS OF PROJECT

1309 EAST BALBOA BOULEVARD
NEWPORT BEACH, CA

OWNER

MARK HAUPERT

LEGAL DESCRIPTION

LOT 5, BLOCK 22, EAST SIDE ADDITION TO
THE BALBOA TRACT

APN 048-164-05

BENCH MARK

BENCH MARK #NB1-4-71
DATUM: NAVD88
ELEVATION: 7.828

TOPOGRAPHIC SURVEY

JOB: 100-20

DATE: 5/29/25



RDM
SURVEYING INC.
AMBER MIEDEMA L.S. 9730
23016 LAKE FOREST DRIVE #409
LAGUNA HILLS, CA 92653
(949) 607-6039 OFFICE
RDMSURVEYING@COX.NET





OWNER
TANIELLE, LLC
2518 N. SANTIAGO BLVD
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
INTERIOR DESIGN
1502 NORTH COAST HWY, LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616

PROJECT:
NEW SINGLE FAMILY RESIDENCE
2504 S BALBOA BLVD
LAGUNA BEACH, CA 92651

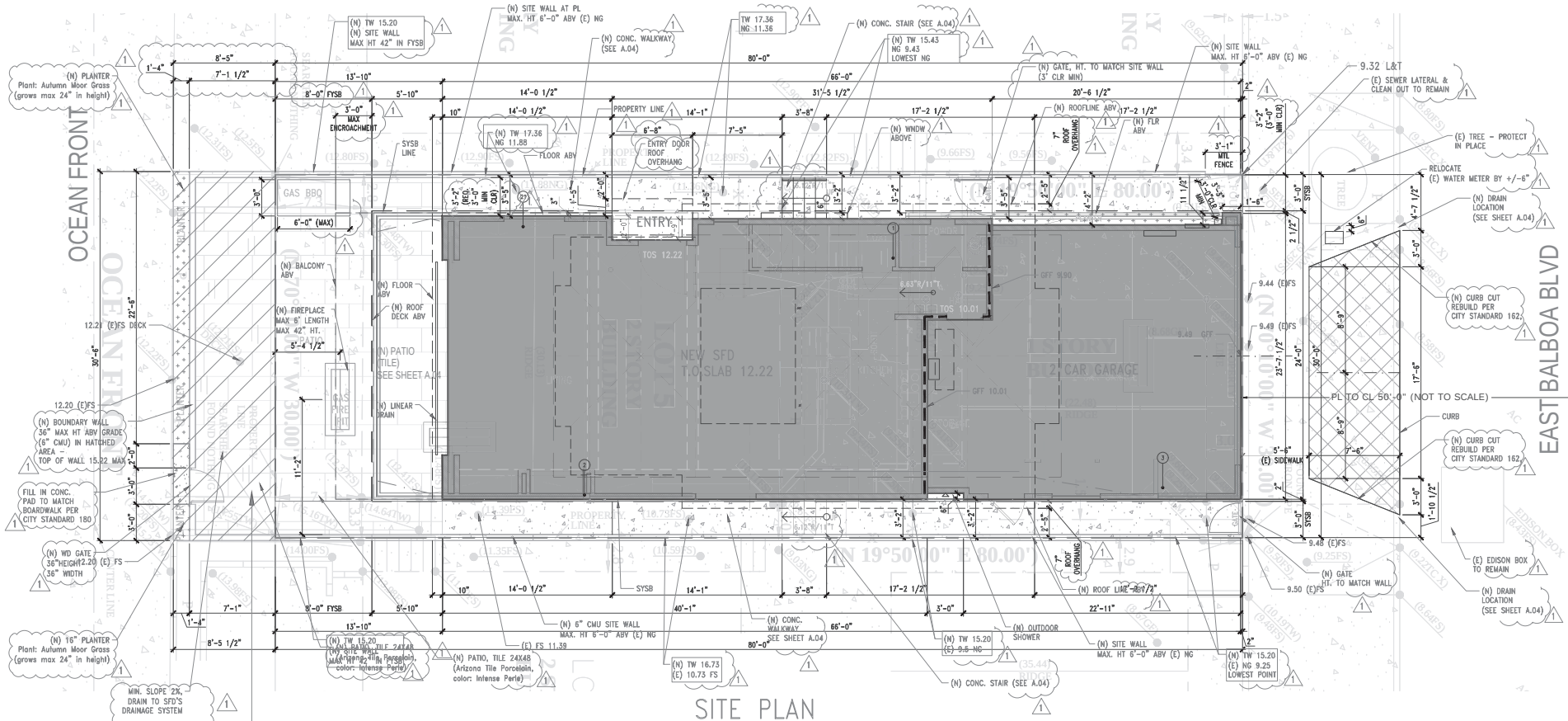
TITLE
SITE PLAN

SCALE:
1/4" = 1'-0"

DATE:
12-12-2025

SHEET:

A.02



SITE PLAN

NOTES;

POOLS, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS, AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA(S).

ACCESSORY LIVING AREAS— THERE SHALL BE NO FACILITIES USED FOR FOOD PREPARATION WITHIN OR BE USED FOR RESIDENTIAL PURPOSES SEPARATELY OR INDEPENDENTLY FROM OCCUPANTS OF THE PRINCIPAL STRUCTURE.

LEGEND:

-----	ROOF LINE ABOVE		AREA THIS SEPARATE PERMIT
---	SETBACK		BLDG FOOTPRINT
----	FLOOR ABOVE		(N) HARDSCAPE SEE SHEET A.04
FS	FINISHED SURFACE		(N) LANDSCAPING
TW	TOP OF WALL		(N) CURB CUT
NG	NATURAL GRADE		

AREA UNDER THIS SUBMITAL
(SEE SHEET A.04)



OWNER
TANLIE, LLC
2518 N. SANTIAGO BLVD.,
ORANGE, CA 92667

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TEL: (949) 872-6616
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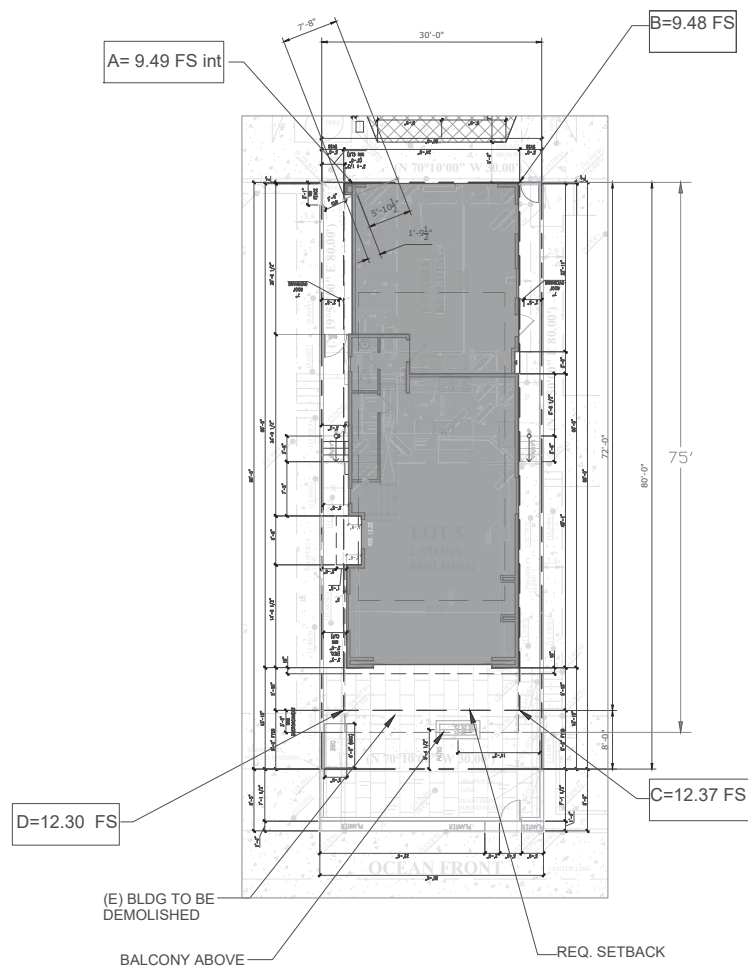
TITLE:
ESTABLISHMENT
OF GRADE

S C A L E:
1/8" = 1'-0"

D A T E:
12-12-2025

S H E E T:

A.03


$$A: 9.44 + [(9.51 - 9.44)/7.66] + 5.875 = 9.49$$

ESTABLISHED GRADE:
 $(A+B+C+D)/4 =$
 $9.49 + 9.48 + 12.37 + 12.30 =$
 $43.64/4 = 10.91$

SLOPE:
 $(A+B)/2 = (9.49+9.48)/2=9.485$
 $(C+D)/2 = (12.30+12.37)/2=12.335$

$$12.335 - 9.485 = 2.85$$
$$2.85 / 75 = 3.8\%$$

GENERAL

6. Work hours are limited from 7:00 Am to 6:30 PM Monday through Friday; 8:00 AM to 6:00 PM Saturdays; and NO WORK ON SUNDAYS AND HOLIDAYS per section 10-28 of the NBMC.

7. Noise generation, delivery and removal shall be controlled per Section 10.28 of the NRC.

8. The stamped set of approved plans shall be on the job site at all times.

9. Permittee and Contractor are responsible for locating and protecting utilities.

10. Approved shoring, drainage provisions and protective measures must be used to protect adjoining properties during the grading operation.

11. Cesspools and septic tanks shall be abandoned in compliance with the Uniform Plumbing Code and approved by the Building Official.

12. Haul routes for import or export of materials shall be

13. Positive drainage shall be maintained away from all building and slope areas.

14. Failure to request inspections and/or have removable erosion control devices on-site at the appropriate times shall result in a "Stop Work" order.

15. All plastic drainage pipes shall consist of PVC or ABS plastic schedule 40 or SDR 35 or ADS 3000 with glued joints.

10. No dirt, plaster, cement, soil, muck or other waste shall be allowed to enter streets, roads, gutters or storm drains. All material and waste shall be removed from the site.

 $\triangle$

- LEGEND:

LEGEND.
----- ROOF LINE ABOVE

_____ SETBACK

— — — — FLOOR ABOVE

→ — — → DRAIN LINE - INSTALL
4" PVC DRAIN PIPE,
PVC, SCHEDULE 40
SLOPE MIN 1% TO DRAIN.
SEE NOTE.

○ DS DOWNSPOUT

○ SD STORM DRAIN



UNDER SEPARATE PERMIT

BLDG FOOTPRINT

(N) HARDCAPE

(N) LANDSCAPING



(N) CURB CUT - CONCRETE
PER CITY STANDARD

PERMIT
NUMBER:
PA2025-0267

REVISIONS:

4-14-26



OWNER
TANLIE, LLC
2518 N. SANTIAGO BLVD.,
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY, LAGUNA BEACH, CA 92653
PHONE: (949) 772-6616
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616
PROJECT
PROJEC SINGLE FAMILY RESIDENCE

TITLE:
PRELIMINARY
DRAINAGE/
GRADING
PLAN

SCALE:
1/4" = 1'-0"

D A T E:
12-12-2025

S H E E T:

A.04

GRADING GENERAL NOTES
GENERAL

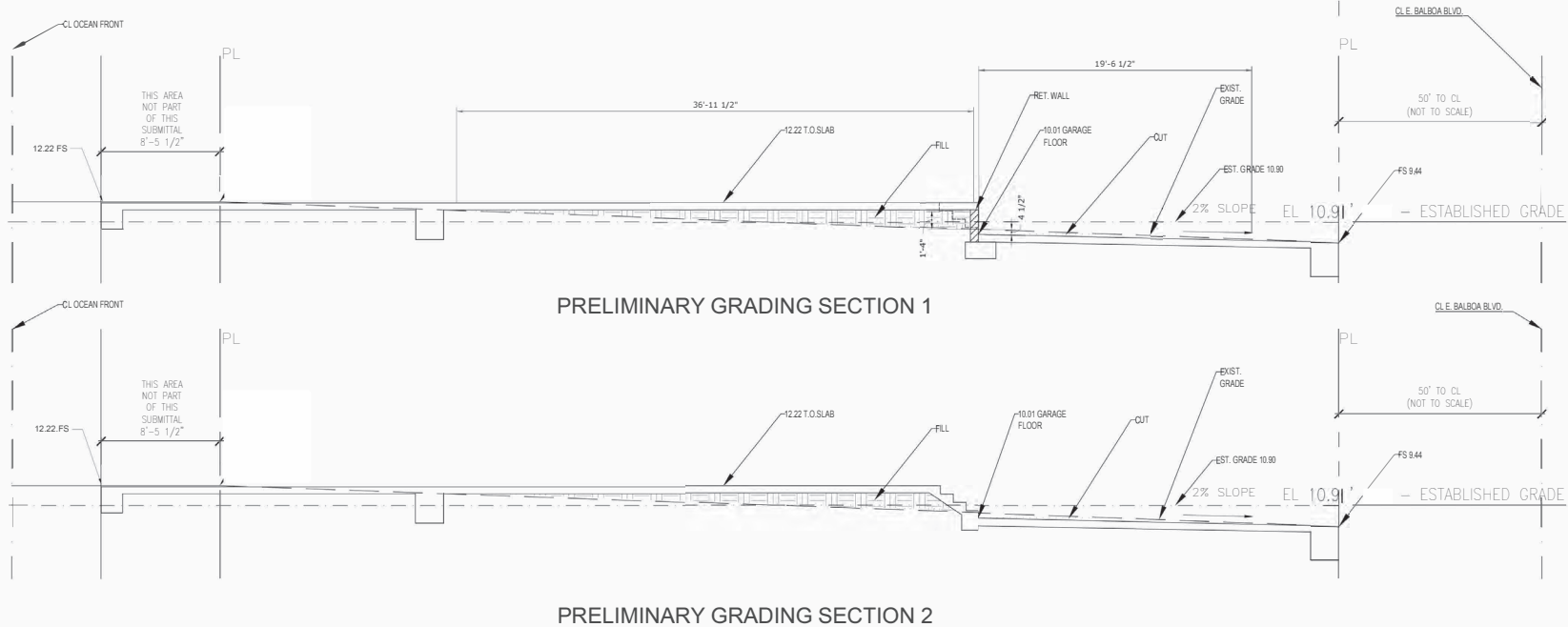
1. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
3. All work shall conform to Chapter 15 of the Newport Beach Municipal code (NBMC), the project soils report and special requirements of the permit.
4. Dust shall be controlled by watering and/or dust palliative.
5. Sanitary facilities shall be maintained on the site during the construction period.
6. Work hours are limited from 7:00 Am to 8:30 PM Monday through Friday, 8:00 AM to 6:00 PM Saturdays, and NO WORK ON SUNDAYS AND HOLIDAYS per section 10-28 of the NBMC.
7. Noise, excavation, delivery and removal shall be controlled per Section 10-28 of the NBMC.
8. The stamped set of approved plans shall be on the job site at all times.

9. Permittee and Contractor are responsible for locating and protecting utilities.
10. Approved shoring, drainage provisions and protective measures must be used to protect adjoining properties during the grading operation.
11. Cesspools and septic tanks shall be abandoned in compliance with the Uniform Plumbing Code and approved by the Building Official.
12. Haul routes for import or export of materials shall be approved by the City Traffic Engineer and procedures shall conform with Chapter 15 of the NBMC.
13. Positive drainage shall be maintained away from all building and slope areas.
14. Failure to request inspections and/or have removable erosion control devices on-site at the appropriate times shall result in a "Stop Work" order.
15. All plastic drainage pipes shall consist of PVC or ABS plastic schedule 40 or SDR 35 or ADS 3000 with glued joints.
16. No paint, plaster, cement, soil, mortar or other residue shall be allowed to enter streets, curbs, gutters or storm drains. All material and waste shall be removed from the site.

LEGEND:

CUT (3.25 CY)

FILL (21.37 CY)



PERMIT
NUMBER:
XX-XXXX

REVISIONS:
XXX



DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY, LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616

PROJECT:
NEW SINGLE FAMILY RESIDENCE 2518 N. SANTIAGO BLVD.
1309 E. BALBOA BLVD.
NEWPORT BEACH, CA 92661

OWNER:
TANIEL LLC

TITLE:

PRELIMINARY
GRADING
SECTION

SCALE:
1/4" = 1'-0"

DATE:
5-15-2026

SHEET:

A.05



OWNER
TANJIE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616
PROJECT:
NEW SINGLE FAMILY RESIDENCE
2518 EAST BALBOA BLVD.
LAGUNA BEACH, CA 92651

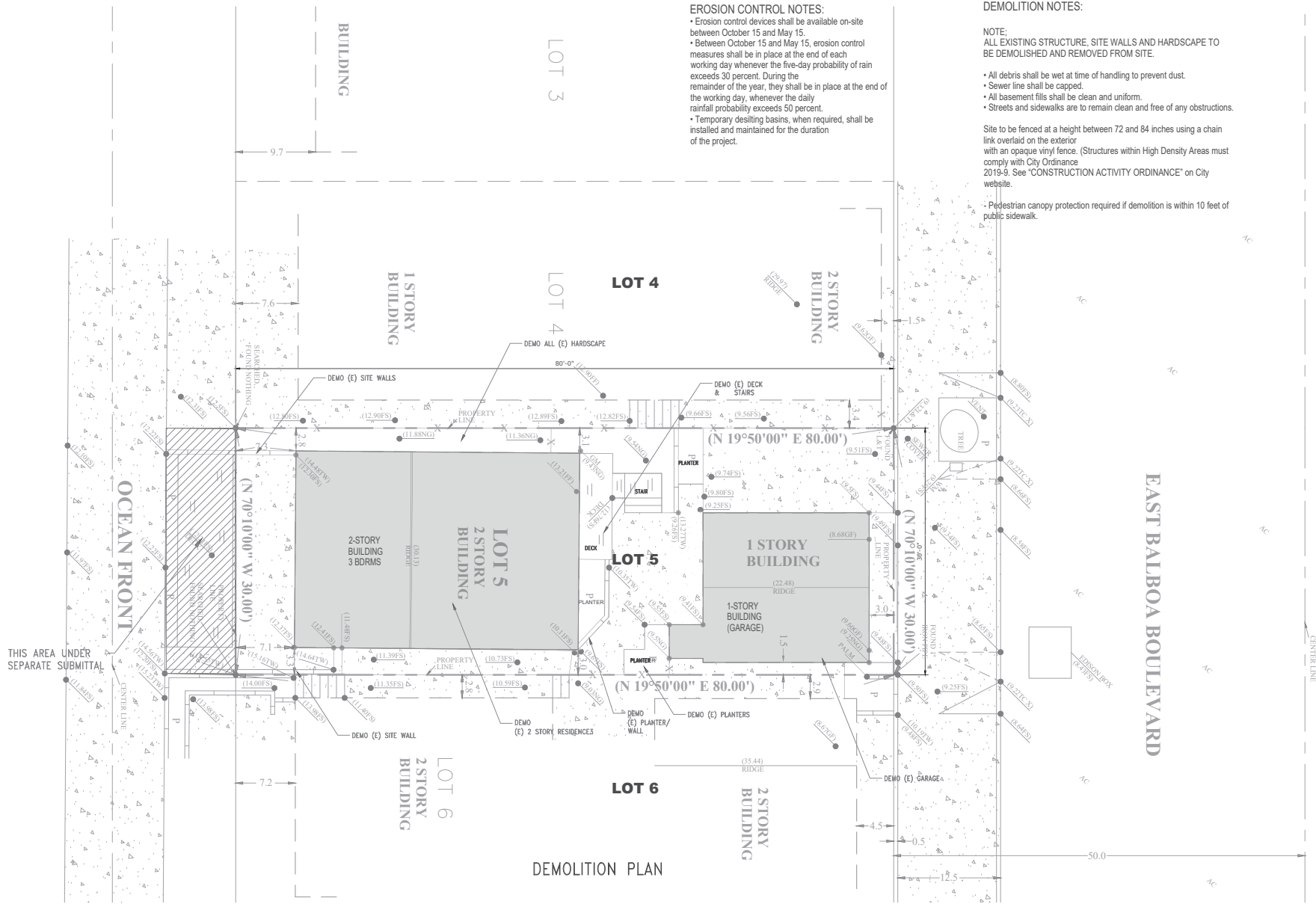
TITLE
DEMOLITION PLAN

SCALE:
3/16" = 1'-0"

DATE:
12-12-2025

SHEET:

A.06





OWNER
TANLIE, LLC
2518 N. SANTIAGO BLVD.,
ORANGE, CA 92867

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY, LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616

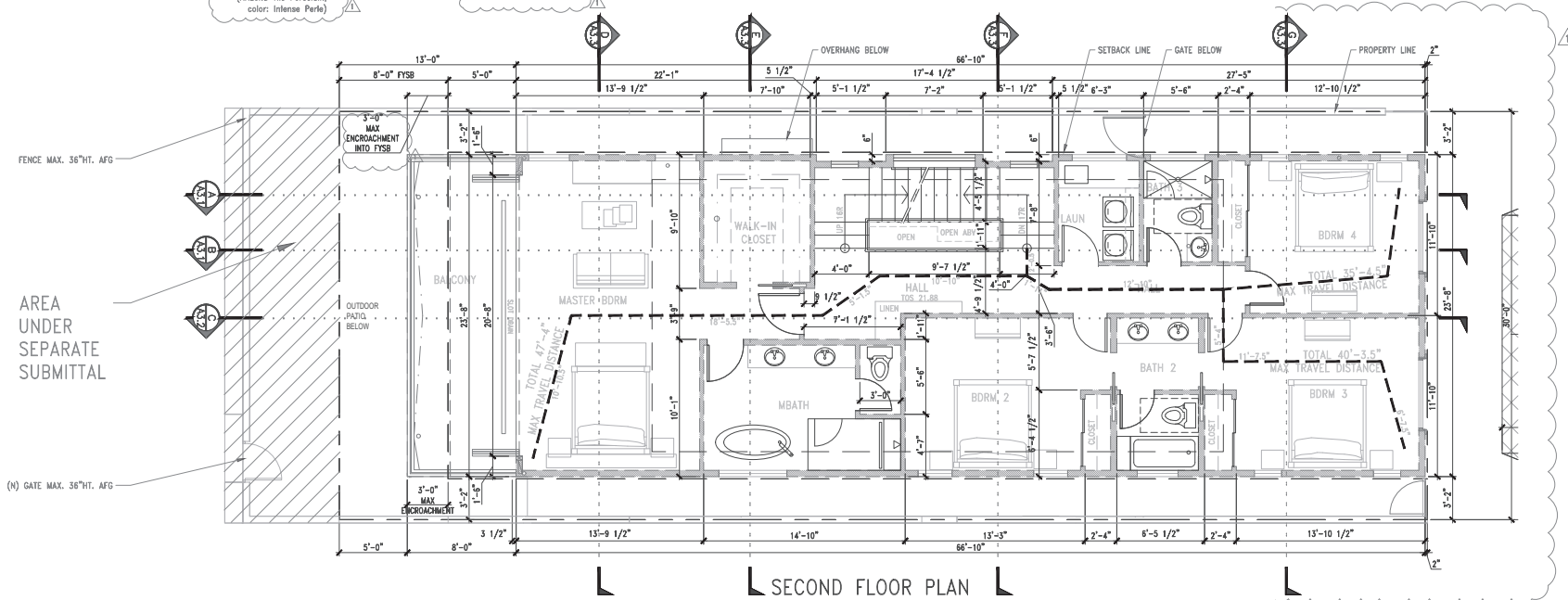
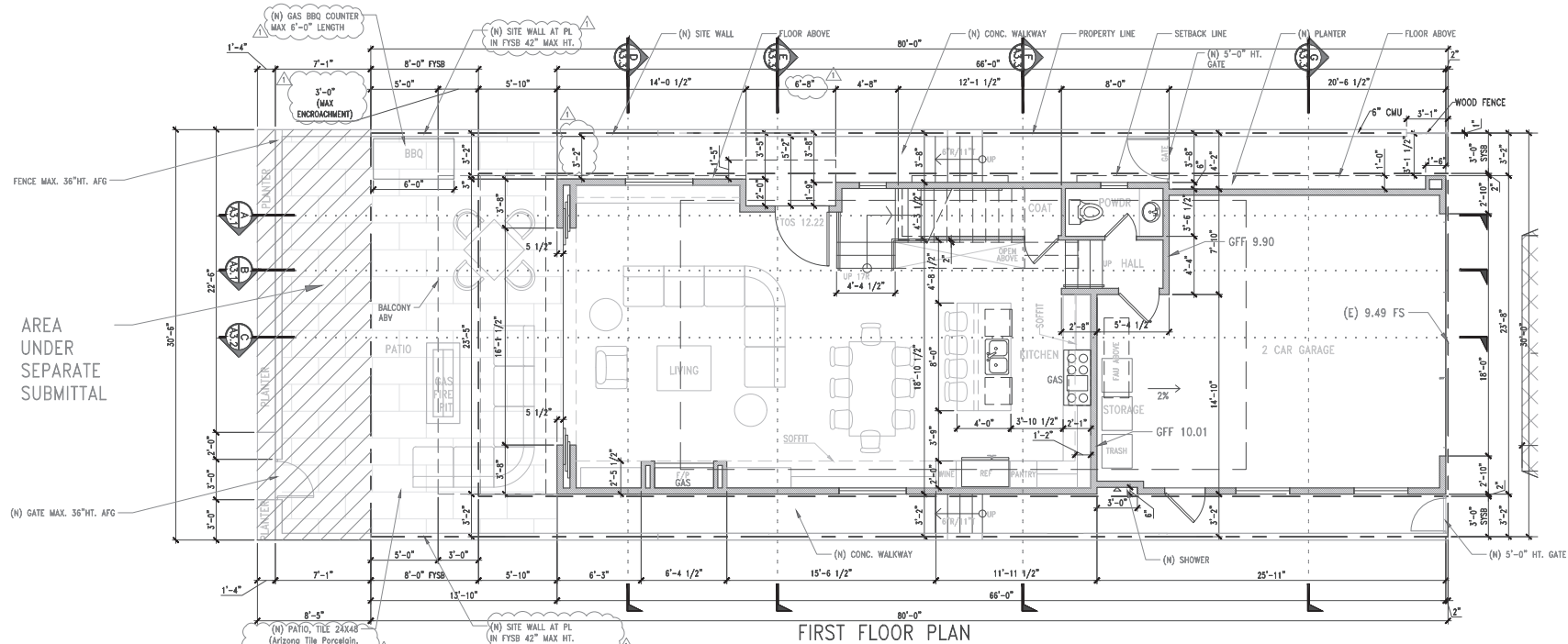
TITLE:
FLOOR PLANS
1ST & 2ND

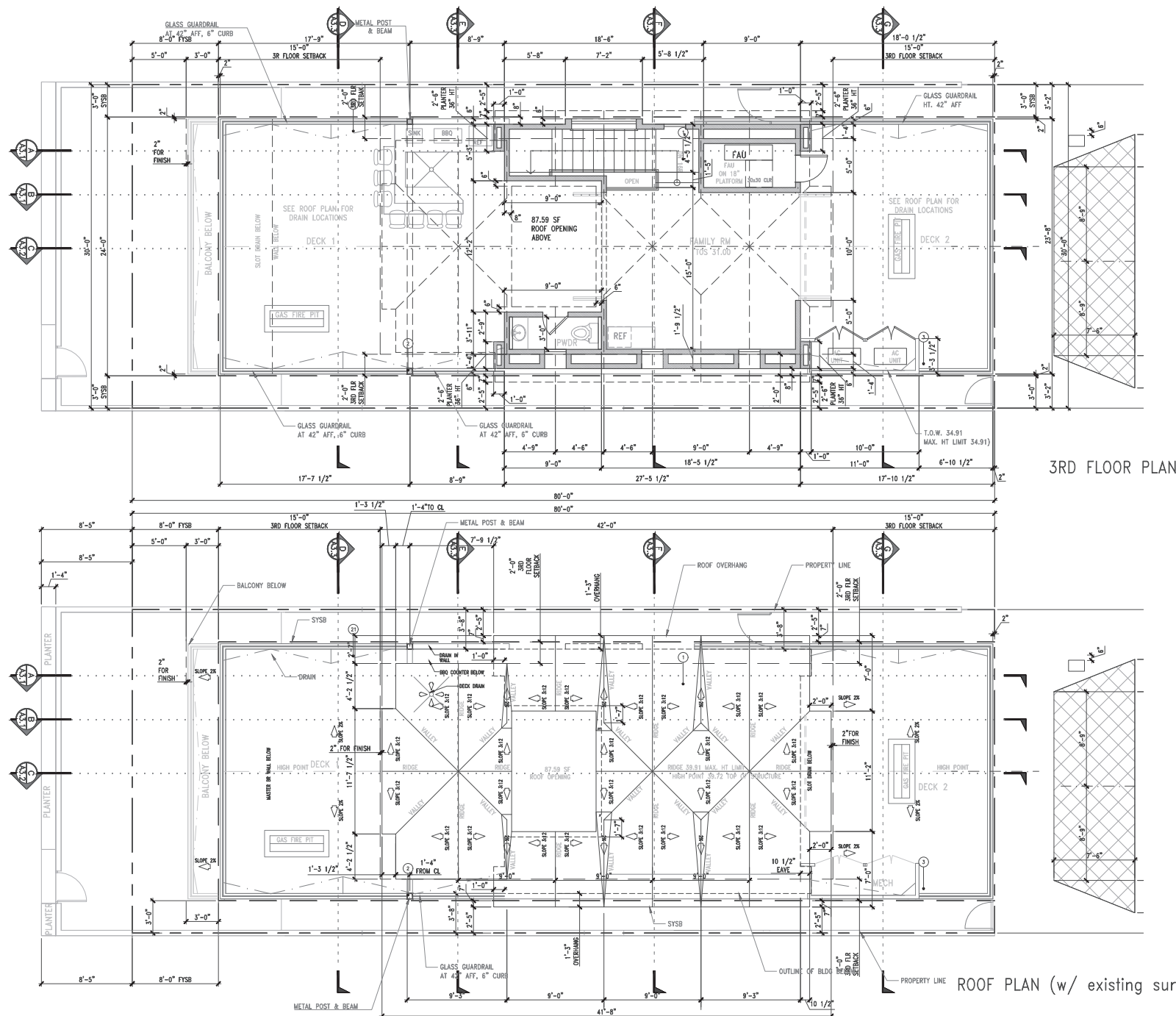
SCALE:
1/4" = 1'-0"

DATE:
12-12-2025

S H E E T:

A.07





PERMIT
NUMBER:
PA2025-0267

REVISIONS:
 4-14-26



OWNER:
TANLIE, LLC
2518 N. SANTIAGO BLVD.,
ORANGE, CA 92867

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY, LAGUNA BEACH, CA 92651
EMAIL: DMPARKER1@GMAIL.COM TEL: (949) 872-9266

PROJECT
NEW SINGLE FAMILY RESIDENCE
1109 EAST BALBOA BLVD.
LAGUNA BEACH, CA 92661

TITLE:
FLOOR PLAN
3RD/
ROOF PLAN

SCALE:
1/4" = 1'-0"

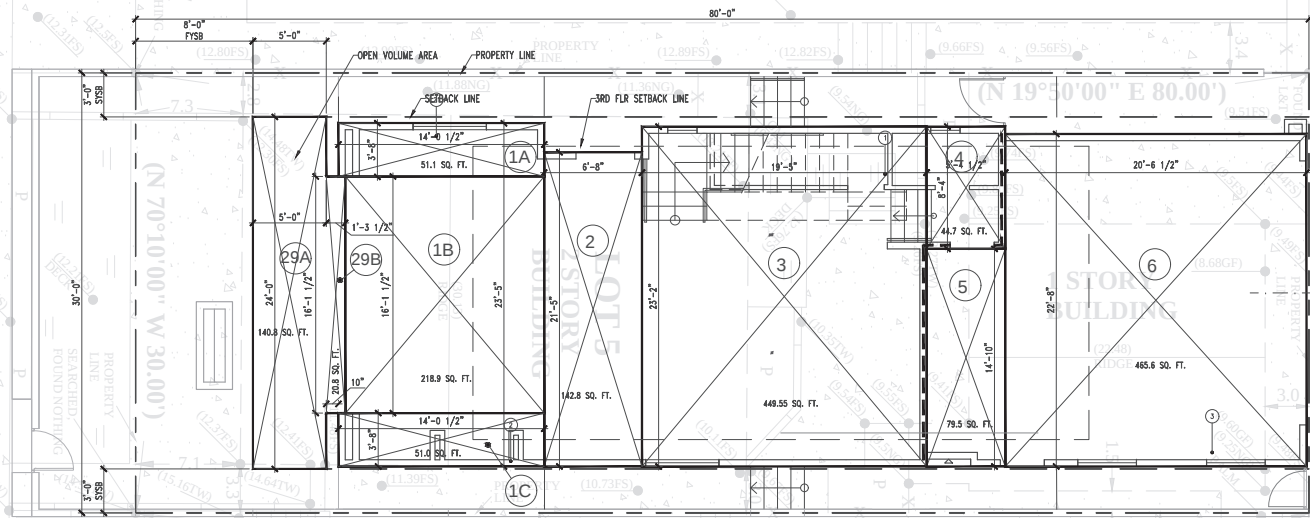
D A T E:
12-12-2025

S H E E T:

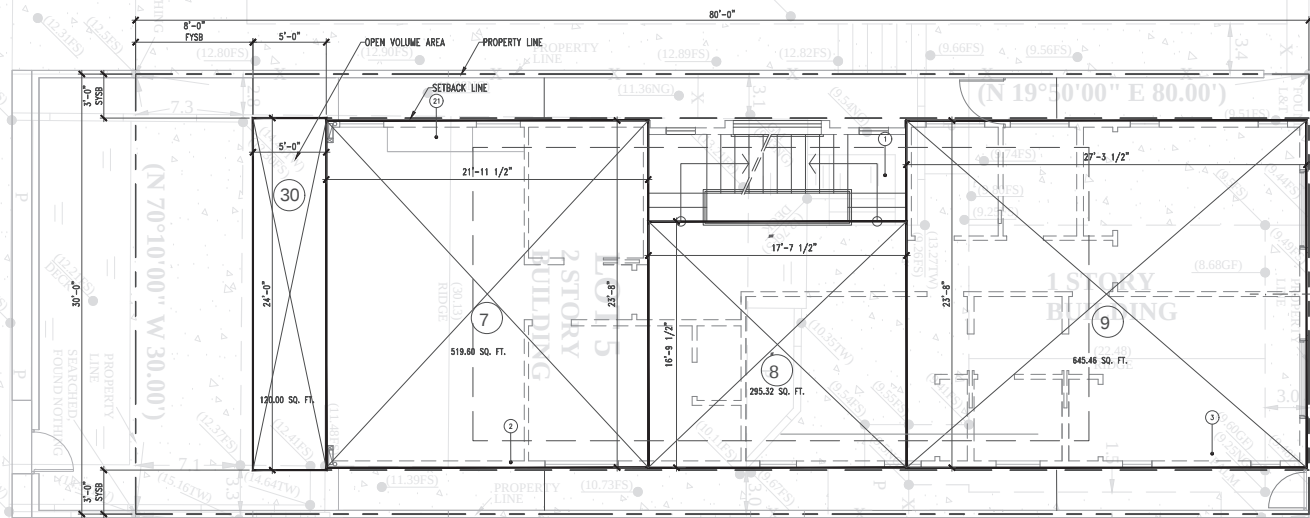
A.08

AREA CALCULATIONS:

1ST LIVING - AREA #	FEET	FEET	SF
1A			51.10
1B			218.90
1C			51.00
2			142.80
3			449.55
4			44.70
TOTAL 1ST LIVING			958.05
GARAGE - AREA #	FEET	FEET	SF
5			79.50
6			465.60
TOTAL GARAGE			545.10
TOTAL 1ST FLOOR			1503.15
2 ND LIVING - AREA#	FEET	FEET	SF
7			519.60
8			295.32
9			645.46
TOTAL 2ND LIVING			1460.38
3RD LIVING - AREA#	FEET	FEET	SF
11			1.80
12			35.20
13			285.84
TOTAL 3RD LIVING			322.84
TOTAL LIVING			2741.27
TOTAL W/ GARAGE (SF)			3286.37
DECK1 (on ROOF)	FEET	FEET	SF
15			599.98
15A			17.39
16			109.51
			726.88
DECK 2 (on ROOF)			
17			343.35
17A			17.67
18			22.51
			383.53
TOTAL DECK			1110.41
MECH	FEET	FEET	SF
14			42.75
19			32.86
TOTAL MECH			75.61
ROOF COVER	FEET	FEET	SF
20A			2.75
20B			2.75
21			14.85
22			34.03
23			122.75
24			34.04
25A			8.14
25B			3.88
25C			6.10
25D			3.88
26			2.78
27			31.85
28			2.79
TOTAL ROOF COVER			270.59
OPEN VOLUME AREA	FEET	FEET	SF
29A			120.00
29B			20.80
30			120.00
TOTAL OPEN VOLUME AREA			260.8



AREA CALCULATIONS - FIRST FLOOR



AREA CALCULATIONS - SECOND FLOOR PLAN



OWNER
TANLIE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE
INTERIOR DESIGN
1502 NORTH COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616
PROJECT
NEW SINGLE FAMILY RESIDENCE
5599 S. BEACH BLVD.
LAGUNA BEACH, CA 92651

TITLE:
AREA CALCS
FLOOR PLANS
1ST & 2ND

SCALE:
1/4" = 1'-0"

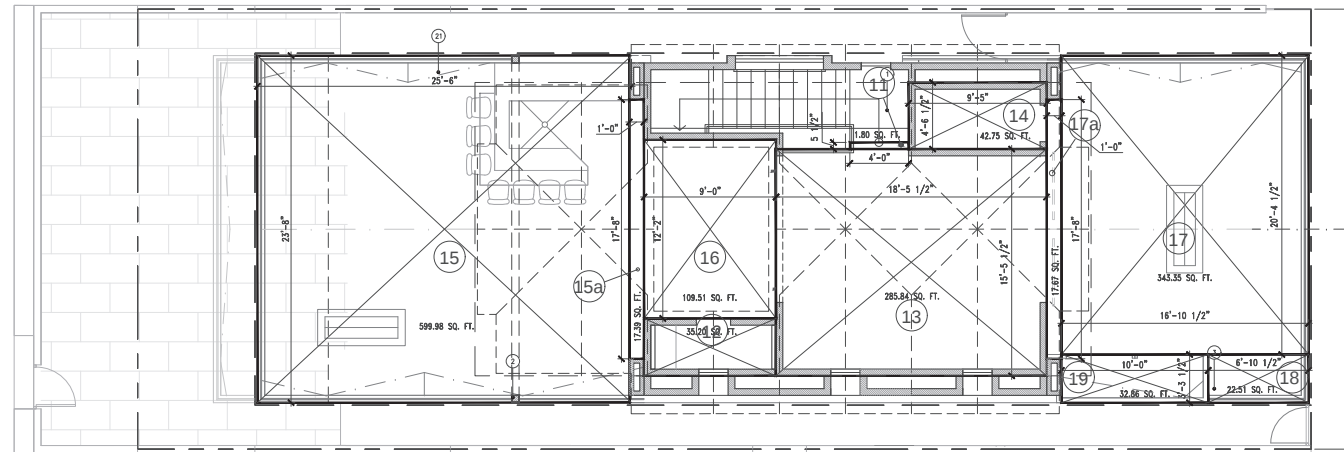
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12-12-2025

SHEET:

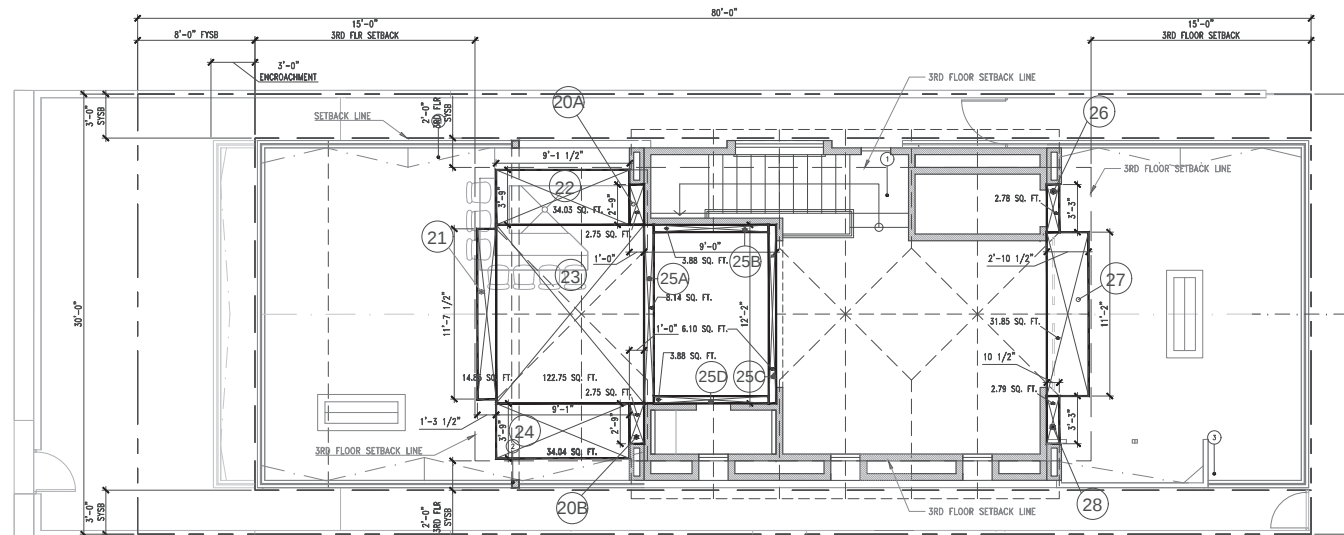
A.09

AREA CALCULATIONS:

1ST LIVING - AREA #	FEET	FEET	SF
1A			51.10
1B			218.90
1C			51.00
2			142.80
3			449.55
4			44.70
TOTAL 1ST LIVING			958.05
GARAGE - AREA #	FEET	FEET	SF
5			79.50
6			465.60
TOTAL GARAGE			545.10
TOTAL 1ST FLOOR			1503.15
2 ND LIVING - AREA#	FEET	FEET	SF
7			519.60
8			295.32
9			645.46
TOTAL 2ND LIVING			1460.38
3RD LIVING - AREA#	FEET	FEET	SF
11			1.80
12			35.20
13			285.84
TOTAL 3RD LIVING			322.84
TOTAL LIVING			2741.27
TOTAL W/ GARAGE (SF)			3286.37
DECK1 (on ROOF)	FEET	FEET	SF
15			599.98
15A			17.39
16			109.51
DECK 2 (on ROOF)			726.88
17			343.35
17A			17.67
18			22.51
19			383.53
TOTAL DECK			1110.41
MECH	FEET	FEET	SF
14			42.75
19			32.86
TOTAL MECH			75.61
ROOF COVER	FEET	FEET	SF
20A			2.75
20B			2.75
21			14.85
22			34.03
23			122.75
24			34.04
25A			8.14
25B			3.88
25C			6.10
25D			3.88
26			2.78
27			31.85
28			2.79
TOTAL ROOF COVER			270.59
OPEN VOLUME AREA	FEET	FEET	SF
29A			120.00
29B			20.80
30			120.00
TOTAL OPEN VOLUME AREA			260.8



AREA CALCULATIONS - THIRD FLOOR PLAN & ROOF DECK



AREA CALCULATIONS - ROOF COVER

PERMIT
NUMBER:
PA2025-0267
REVISIONS:
1 4-14-26



OWNER
TANLIE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616
PROJECT
NEW SINGLE FAMILY RESIDENCE
2518 N. SANTIAGO
LAGUNA BEACH, CA 92651

TITLE:
AREA CALCS
FLOOR PLAN
3RD/
ROOF COVER

SCALE:
1/4" = 1'-0"
DATE:
12-12-2025

SHEET:

A.10



A.11





OWNER
TANIELLE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
ARCHITECTURE PLANNING INTERIOR DESIGN
1502 NORTH COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6618

PROJECT:
NEW SINGLE FAMILY RESIDENCE
2509 S. BEACH BLVD.
NEWPORT BEACH, CA 92661

TITLE:

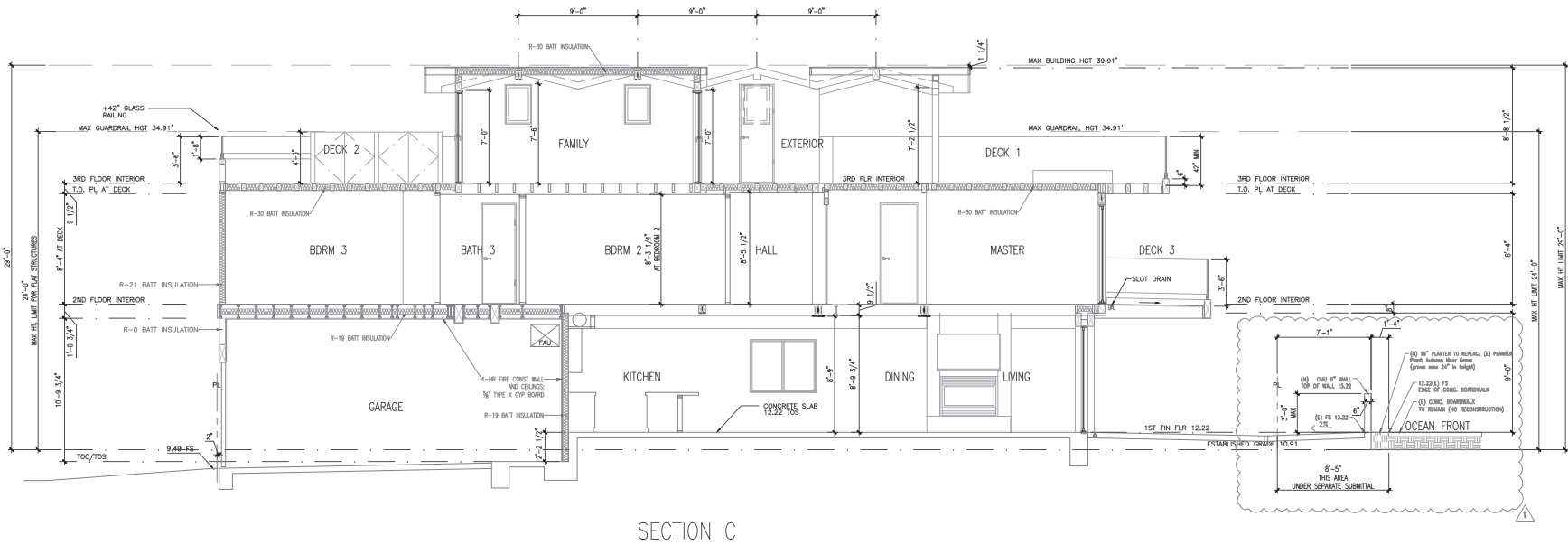
BLDG
SECTIONS
2 & 3

SCALE:
1/4" = 1'-0"

DATE:
12-12-2025

SHEET:

A.11a





OWNER
TANILIE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

DAVID M. PARKER ARCHITECT, AIA
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1502 NORTH COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616

PROJECT:
NEW SINGLE FAMILY RESIDENCE
2509 EAST BOCA BLVD.
NEWPORT BEACH, CA 92661

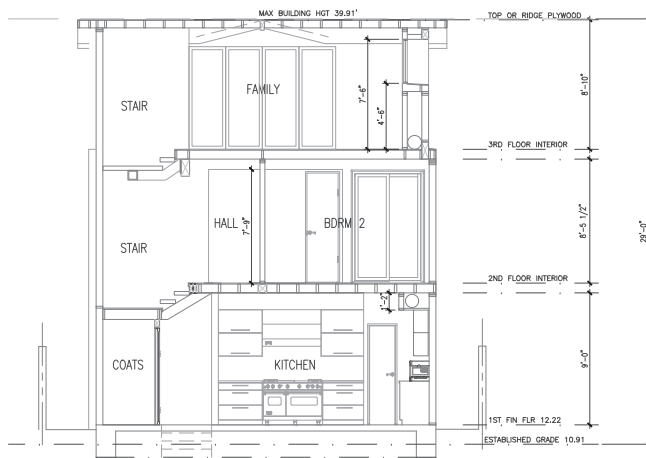
TITLE
BLDG
SECTIONS
2 & 3

SCALE:
1/4" = 1'-0"

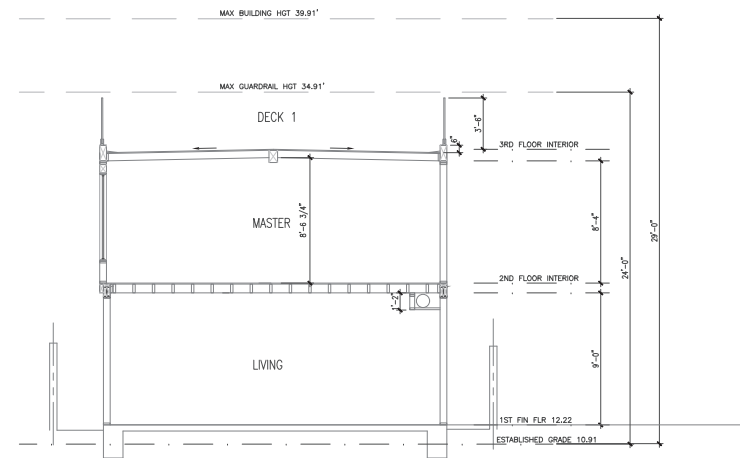
DATE:
12-12-2025

SHEET:

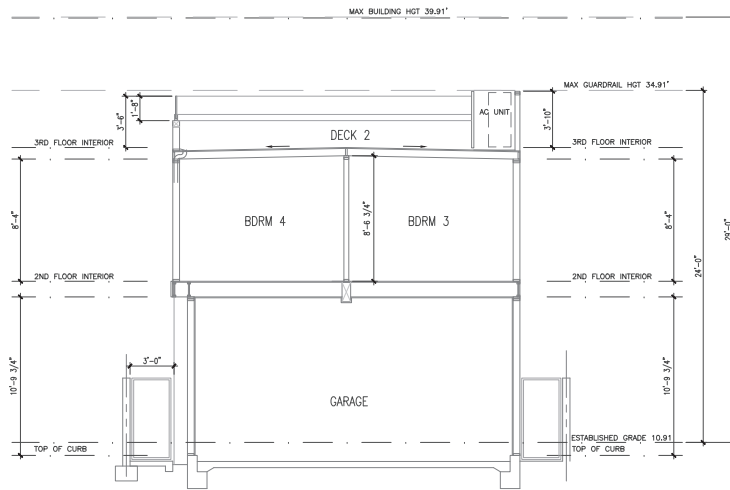
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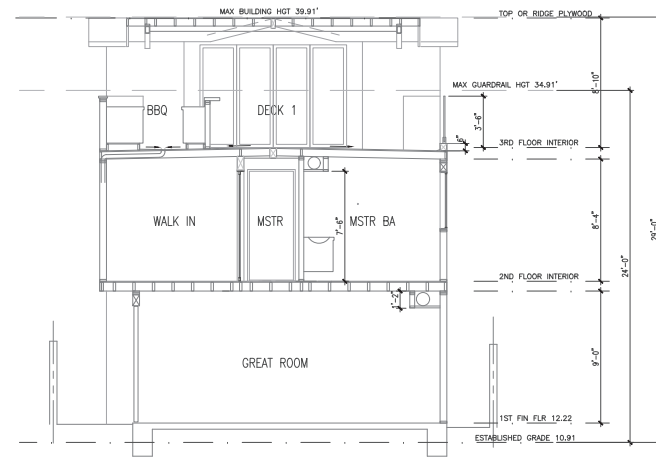
SECTION F



SECTION D



SECTION G



SECTION E



OWNER
TANIELLE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

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1502 NORTH COAST HWY., LAGUNA BEACH, CA 92651
EMAIL: DM@PARKERARCHITECT.COM TEL: (949) 872-6818

PROJECT:
NEW SINGLE FAMILY RESIDENCE
2518 N. SANTIAGO
LAGUNA BEACH, CA 92667

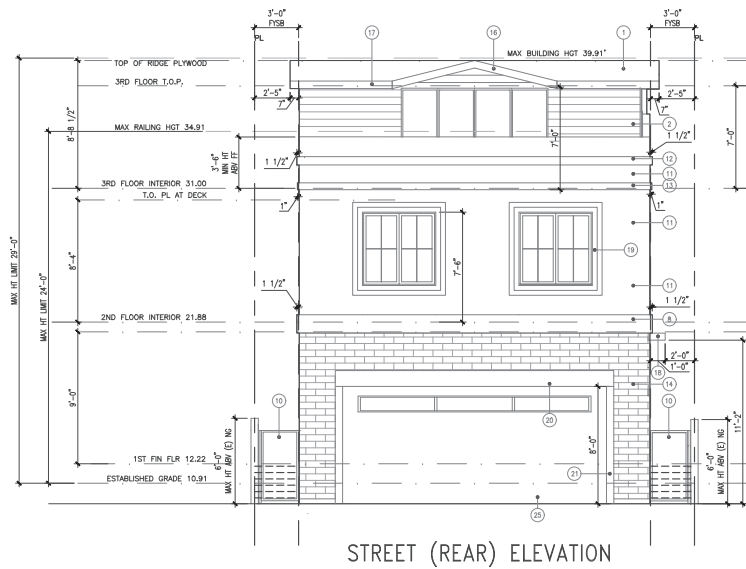
TITLE:
EXTERIOR
ELEVATIONS
FRONT & REAR/
BLDG SECTION 1

SCALE:
1/4" = 1'-0"

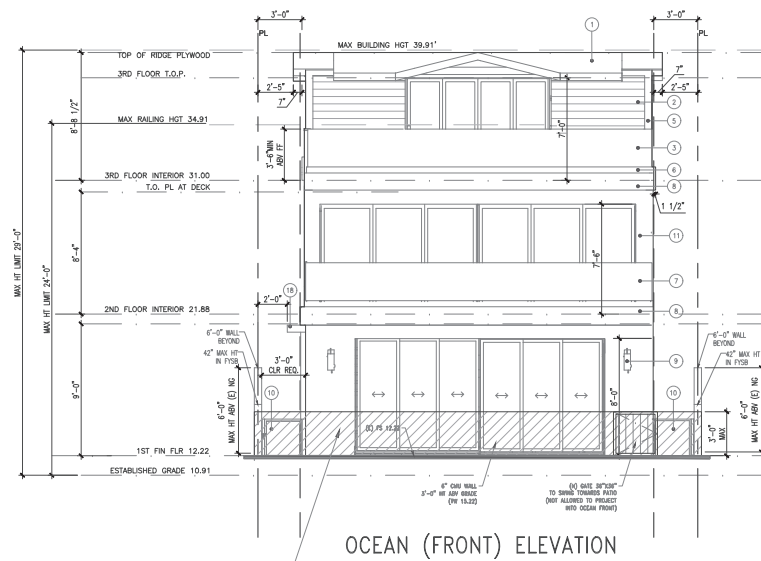
DATE:
12-12-2025

SHEET:

A.12



STREET (REAR) ELEVATION



OCEAN (FRONT) ELEVATION

THIS WALL UNDER
SEPARATE SUBMITTAL

- EXT ELEV NOTES
1. SHINGLE ROOF
 2. WOOD SIDING
 3. GLASS RAILING MIN 42" AFF
 4. TRIM
 5. STEEL FRAME
 6. BACK SHOE
 7. GLASS RAILING MIN 42"H AFF
 8. TRIM
 9. EXT LIGHTING
 10. GATE AT STREET
 11. STUCCO
 12. TRIM
 13. TRIM
 14. BRICK VENEER
 15. STREET SIDE GATE
 16. FACIA
 17. EAVE
 18. ROOF OVERHANG
 19. STUCCO (DIFFERENT COLOR)
 20. TRIM
 21. 42"H WALL
 22. ENTRY DOOR
 23. OUTDOOR SHOWER
 24. GARAGE DOOR
 25. PONY WALL 42"H

PERMIT
NUMBER:
PA2025-0267

REVISIONS:
1 4-14-26



OWNER
TANILIE, LLC
2518 N. SANTIAGO
ORANGE, CA 92667

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EMAIL: DMPARCHITECT@GMAIL.COM TEL: (949) 872-6616
PROJECT:
NEW SINGLE FAMILY RESIDENCE
809653 BEACH BLVD.
LAGUNA BEACH, CA 92651

TITLE
EXTERIOR
ELEVATIONS
RIGHT & LEFT

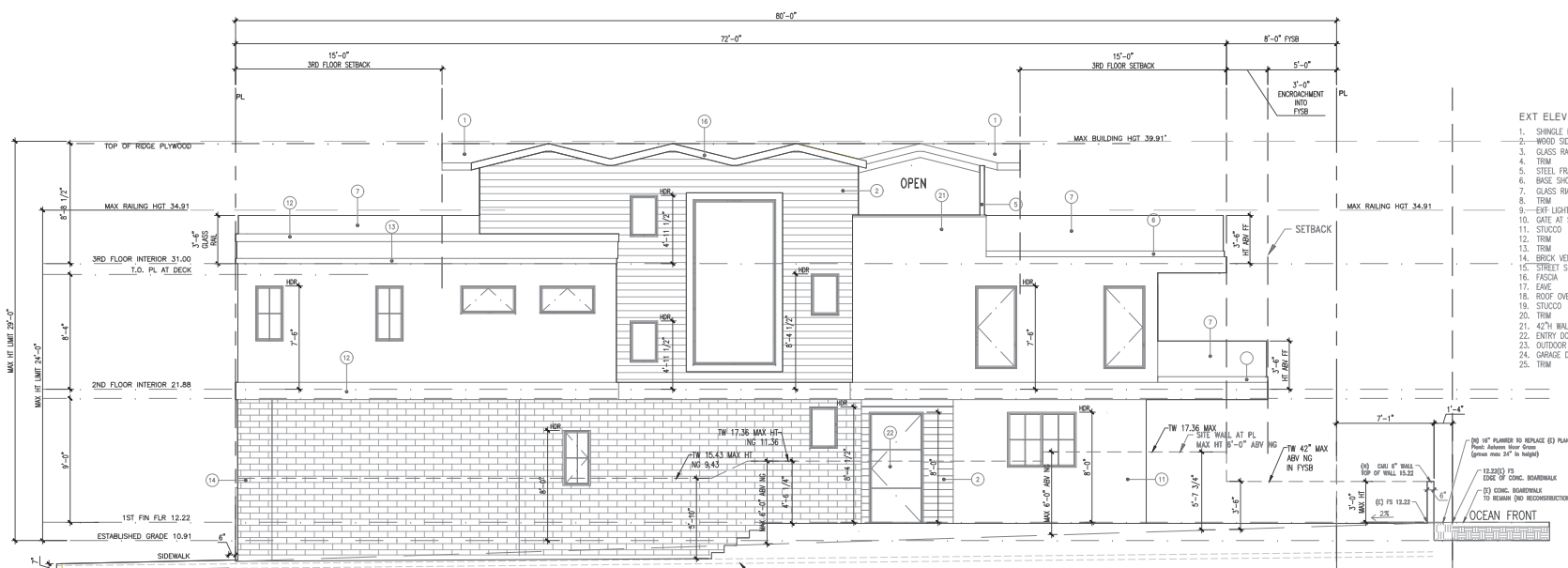
SCALE:

DATE:
12-12-2025

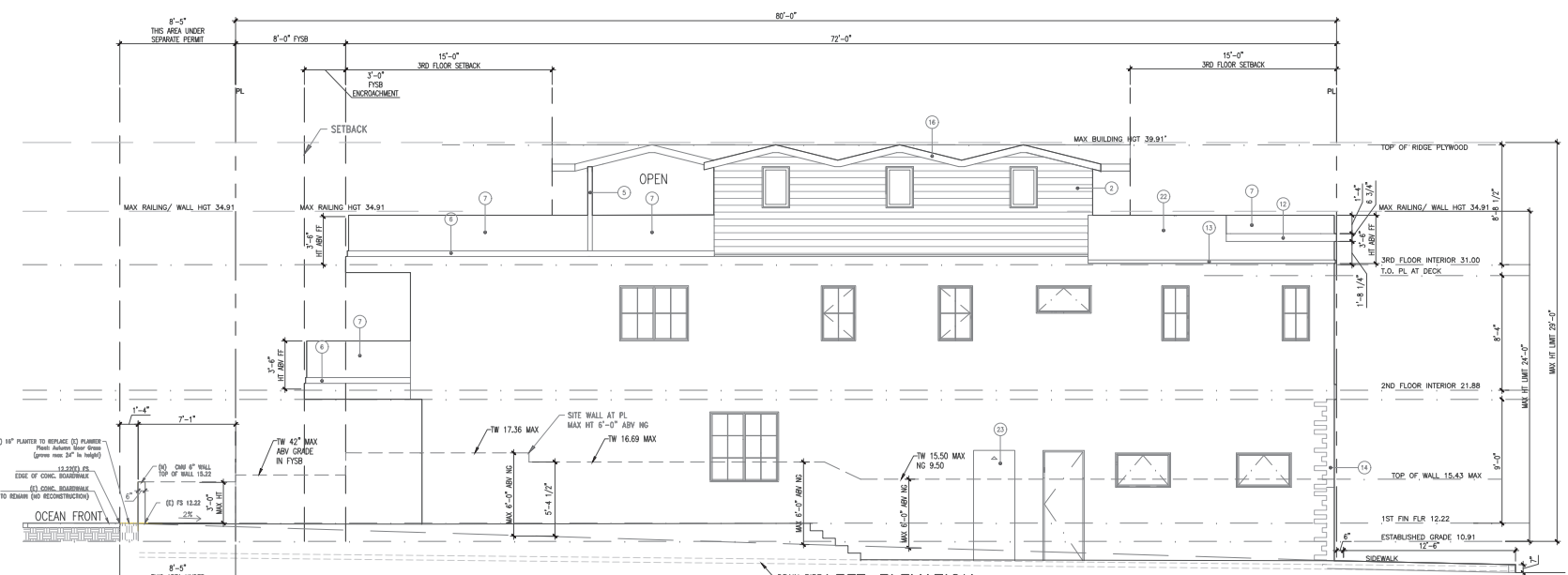
SHEET:

A.13

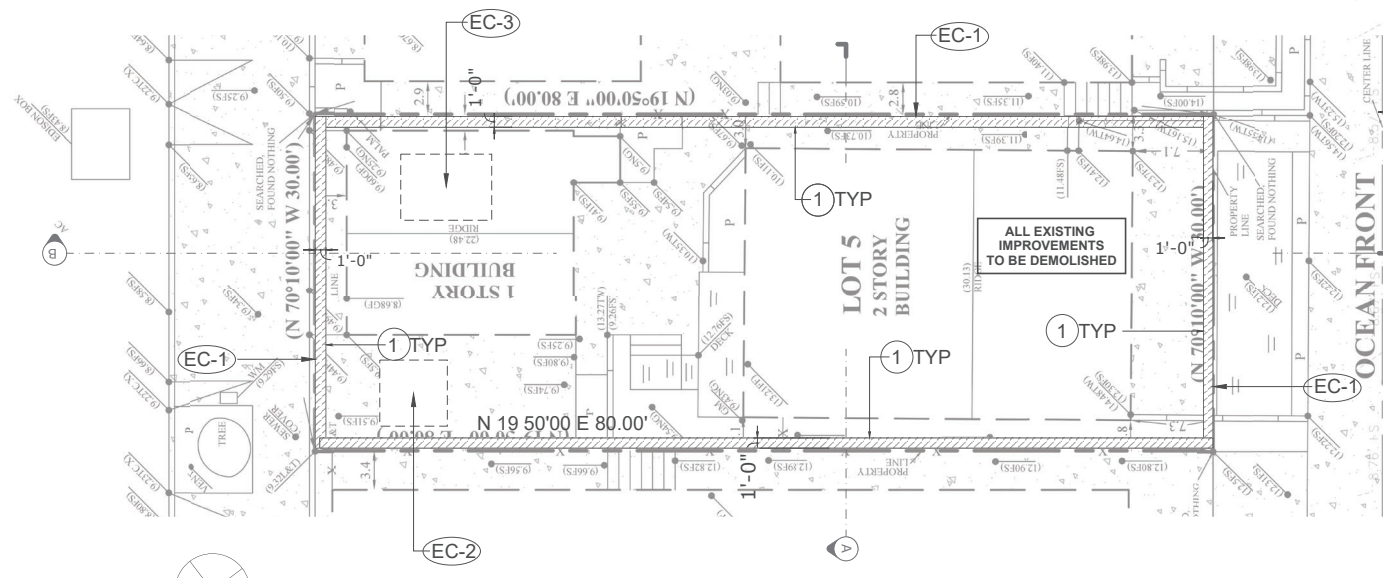
- EXT ELEV NOTES
1. SHINGLE ROOF
 2. WOOD SIDING
 3. GLASS RAILING MIN 42" AFF
 4. TRIM
 5. STEEL FRAME
 6. BASE SHOE
 7. GLASS RAILING MIN 42" AFF
 8. TRIM
 9. EXT LIGHTING
 10. GATE AT STREET
 11. STUCCO
 12. TRIM
 13. TRIM
 14. BRICK VENEER
 15. STREET SIDE GATE
 16. FASCIA
 17. EAVE
 18. ROOF OVERHANG
 19. STUCCO
 20. TRIM
 21. 42" WALL
 22. ENTRY DOOR
 23. OUTDOOR SHOWER
 24. GARAGE DOOR
 25. TRIM



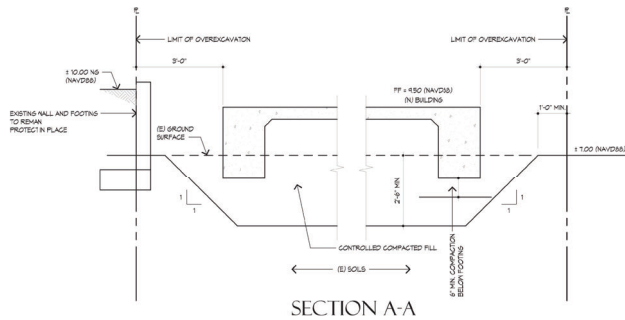
RIGHT ELEVATION



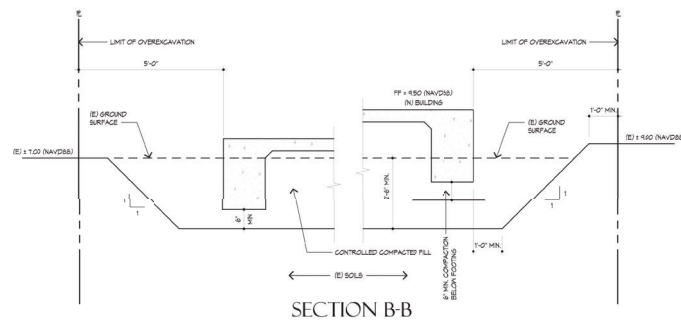
LEFT ELEVATION



EROSION CONTROL PLAN

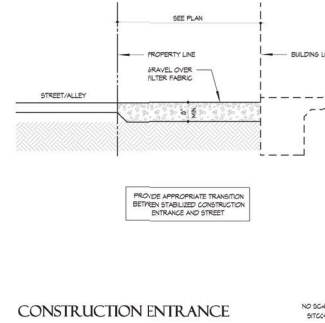
$$1/4'' = 1'-0''$$


SECTION A-A



SECTION B-B

CONSTRUCTION ENTRANCE



GRAVEL BAG LAYOUT

BMP FACTS SHEET

- [illegible]

EXCAVATION NOTES

- ① BUILDING PAD AREA SHALL BE OVEREXCAVATED A
BELOW EXISTING GRADE OR A MINIMUM OF ONE FC
OF OVEREXCAVATION.

EROSION & SEDIMENT CONTROL
CONSTRUCTION NOTES

ALL BMPs SHALL BE IN ACCORDANCE WITH MODEL BMPs FROM THE CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION AT WWW.CSBMPHANDBOOKS.COM

- (EC1) CONSTRUCT GRAVEL BASE EROSION CONTROL ALONG PROPERTY LINES EXCEPT DRIVEWAY APPROACHES. THE SAND BASES SHOULD BE 24" WIDE AND 10" HIGH. MINIMUM PER DETAIL HEREON AND IN ACCORDANCE WITH BMP FACTS SHEET # B6-B.
- (EC2) CONSTRUCT SANITARY WASTE MANAGEMENT AREAS IN ACCORDANCE WITH BMP FACTS SHEET # PM-3.
- (EC3) CONSTRUCT MATERIALS STORAGE AREA IN ACCORDANCE WITH BMP FACTS SHEET # PM-1.
- (EC4) EXISTING WALL TO REMAIN. PROTECT IN PLACE.

PERMIT
NUMBER:
XX-XXXX

REVISIONS:
XXX



A | A
N
A 9 2 6 5 1
3 1 6

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PROJECT: _____ OWNER: _____

NEW SINGLE FAMILY RESIDENCE
2518 N. SANTIAGO BLVD.,
TANIELLO
ORANGE, CA 92867

T I T L E:

EROSION
CONTROL
PLAN

SCALE:

D A T E:
5-15-2026

S H E E T:

A.16