

Attachment No. PC 4

Project Plans

INTENTIONALLY BLANK PAGE

Tracy Residence

1020 White Sails Way

Newport Beach • California • 92625



Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

Abbreviations

AB	Anchor Bolt	DIM	Dimension	MECH	Mechanical
AC	Air Conditioning	DR	Drawing	MAX	Maximum
ACOU	Acoustical	D.F.	Drinking Fountain	MET	Metal
AD	Area Drain	EA	Each	MIN	Minimum
ADJ	Adjustable	ELEC	Electrical	(N)	New
ADJT	Adjacent	ELEV	Elevation	NIC	Not In Contract
AL	Aluminum	EQUIP	Equipment	N.T.S.	Not To Scale
ALT	Alternate	EX	Existing	NAT	Natural
APPRX	Approximate	EXP. JT.	Expansion Joint	OC	On Center
ARCH	Architect	EXT	Exterior	OPG	Opening
ASB	Asbestos	EQ	Equal	OD	Outside Dim
ASP	Asphalt	FOF	Face Of Finish	OH	Overhrad
ASBO	As Selected By Owner	FOC	Face Of Concrete	PLAS	Plaster
BD	Board	FS	Face Of Slud	PLPG	Plate
BUILD	Building	FIN	Finish	PG	Point
BL	Block	FP	Fire Proof	PR	Pair
BLK	Blocking	FIN. SRF.	Finish Surface	RAD	Radius
BM	Beam	FT	Foot	REQ	Required
BOT	Bottom	FTG	Footing	RD	Roof Drain
BED	Bedroom	F.D.C.	Fire Department Connection	RM	Room
BRK	Bracket	GI	Galvanized	REV	Revised
CAB	Cabinet	G.I.	Galvanized Iron	RWD	Redwood
CB	Catch Basin	G	Gauge	RO	Rough
CM	Cement	GL	Glass	R.O.	Rough Opening
CER	Ceramic	GYP	Gypsum	REG	Register
C.I.	Cast Iron	GC	General Contractor	SCH	Schedule
CLG	Ceiling	HDWR	Hardware	SECT	Section
CA	Calking	HWD	Hardwood	SIM	Similar
CL	Center Line	HT	Height	STD	Standard
CLOS	Closet	HC	Hollow Core	STL	Steel
CLR	Clear	HM	Hollow Metal	STR	Structural
CEM	Concrete	HORIZ	Horizontal	SUSP	Suspended
CTR	Counter	HB	Hose Bibb	TEL	Telephone
COL	Column	HVAC	Heating Venting Ac	TEMP	Temporary
CONC	Concrete	IN	Inch	T&G	Tongue And Groove
COND	Condition	ID	Inside Dim.	TC	Top Of Curb/Concrete
CONN	Connection	INSUL	Insulation	TS	Top Of Slab
CONST	Construction	INT	Interior	TYP	Typical
CONT	Continuous	INV	Invert	TW	Top Of Wall
CONTR	Contractor	JT	Joint	VTR	Vent Thru Roof
COR	Corridor	KIT	Kitchen	VERT	Vertical
CT	Center	LAV	Lavatory	VT	Vinyl Tile
CTSK	Countersunk	LIN. FT.	Linear Foot	WC	Water Closet
CL	Center Line	LINOL	Linoleum	WH	Water Heater
C.T.	Ceramic Tile	LG	Long	WT	Weight
CLR	Clear	LAM	Laminated	WD	Wood
DET	Detail	LT	Light	WWM	Welded Wire Mesh
DIA	Diameter	MB	Machine Bolt	WI	Wrought Iron
				WS	Weather Strip

Consultants

ARCHITECT:

C.J. Light Associates

1401 Quail Street, Suite 120

Newport Beach, CA 92660

(949) 851-8345

Architect: Christian R. Light

Contact: Ron Thorpe

RdM SURVEYING INC.

Project Surveyor

23016 Lake Forest Drive # 409

Laguna Hills, CA 92653

(949) 858 - 2924

Contact : Ron Miedema

LANDSCAPE ARCHITECT:

Philips Design :

Landscape Architecture

25622 Eastwind Drive,

Dana Point, CA 92629

(949) 338 - 8097

Contact : Pete Philips

Owner / Client

Mr. Mike Tracey

1020 White Sails Way

Newport Beach, CA 92625

Scope of Work

1. Add new master suite in location of current exsting garage at the entry level. Redesign and add a new 2 car semi - subterranean garage including 1 car tandem space, a new required driveway, exterior stairs, elevator, elevator machine room, and misc. hardscape and planting.

2. All new materials will match with the existing materials of the existing house. (roof finished materials, fascia, gutters and downspouts, etc. Also new plaster walls, stone cladding, and roof eaves, new doors and windows, etc. with all new finishes to match with exisiting home)

Sheet Index

Architectural	
C1	Cover Sheet
SP0	Site Plan (as reference for) original existing site plan / floor plan
SP1	Site Plan (as reference for) current existing conditions & "as built" conditions
SP2	Site Plan (as reference for) current existing "as built" conditions to remain, & new proposed conditions
SP3	Site Plan / Floor Plan (as reference for) current existing "as built " conditions to remain, & new proposed conditions
SP4	Site Plan (as reference for) Buildable Area and Lot Coverage
SP5	Site Plan (as reference for) Total Site Area and Lot Coveraorge
STK 1	Certified Staking Plan with new conditions and existing "as built conditions" to remain (Roof Staking)
STK 2	Certified Staking Plan with new conditions and "as built conditions" to remain (Site staking)
A1	Existing Entry Level Floor Plan with New Conditions
A1.1	Entry Level Floor Plan - Square Footage Overlay
A2	New Lower Level Floor Plan
A2.1	New Lower Level Floor Plan - Square Footage Overlay
A3	Existing Roof Plan with New Conditions
A4	Existing Exterior Elevations with New Conditions
A5	Existing Exterior Elevations and Sections with New Conditions
1	A.C. Condenser Sound Attenuation / Noise Analysis - General Notes
2	A.C. Condenser Sound Attenuation / Noise Analysis Plan and Calculations
	Presentation 3-D Rendering
	Presentation 3-D Rendering
	Color and Materials Board

Landscape	
L-1	Hardscape Plan
L-2	Hardscape Details
L-3	Lighting Plan
L-4	Irrigation Plan
L-5	Irrigation Details
L-6	Irrigation Specifications
L-7	Tree Plan
L-8	Planting Plan
L-9	Planting Details
L-10	Planting Specifications

Civil-Topographic Survey	
1	Original Topographic Survey
2	Existing "As Built" Topographic Survey

Project Data

Legal Description

Lot :	30
Tract :	2202

(E) Residence (Habitable Space)	3,336 s.f.
(E) Garage (Non Habitable Space)	444 s.f.
Total Existing Residence	3,780 s.f.

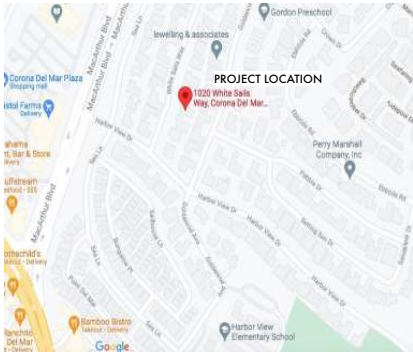
(N) Master Suite Addition = 392 s.f. and Remodel for New Master Bath = 529 s.f (new habitable space)	921 s.f.
(N) 2 - Car Garage, with New 1 Car Tandem Space (non habitable space)	730 s.f.
(N) Elevator, Elevator Machine Room, and Vestibule (habitable space)	123 s.f.

Total Addition / Remodel of Existing Residence	1,774 s.f.
--	------------

Total Habitable Space - existing (3336 s.f. minus 85 s.f. now part of Master Closet space)	3,251 s.f.
Total Habitable Space - New M. Suite, Remodel - New Master Bath, New Elevator, Machine Room, and Vestibule	1,044 s.f.

Grand Total :	4,295 s.f.
---------------	------------

Vicinity Map



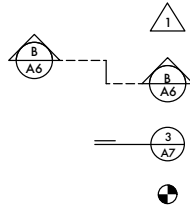
Symbols

Revision

Section Line
Section Designation
Sheet Number

Detail Key
Detail Designation
Sheet Number

Datum



TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92629

COVER SHEET

Job Number : 1904

Scale : NA

Date :
HOA: Preliminary Plan Submittal :
February 6, 2025
HOA: Preliminary Plan Approval:
March 26, 2025

Variance Package : 7-17-25



CT



Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other project, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C. J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92629

ORIGINAL EXISTING
FLOOR PLAN / SITE PLAN

Job Number: 2127

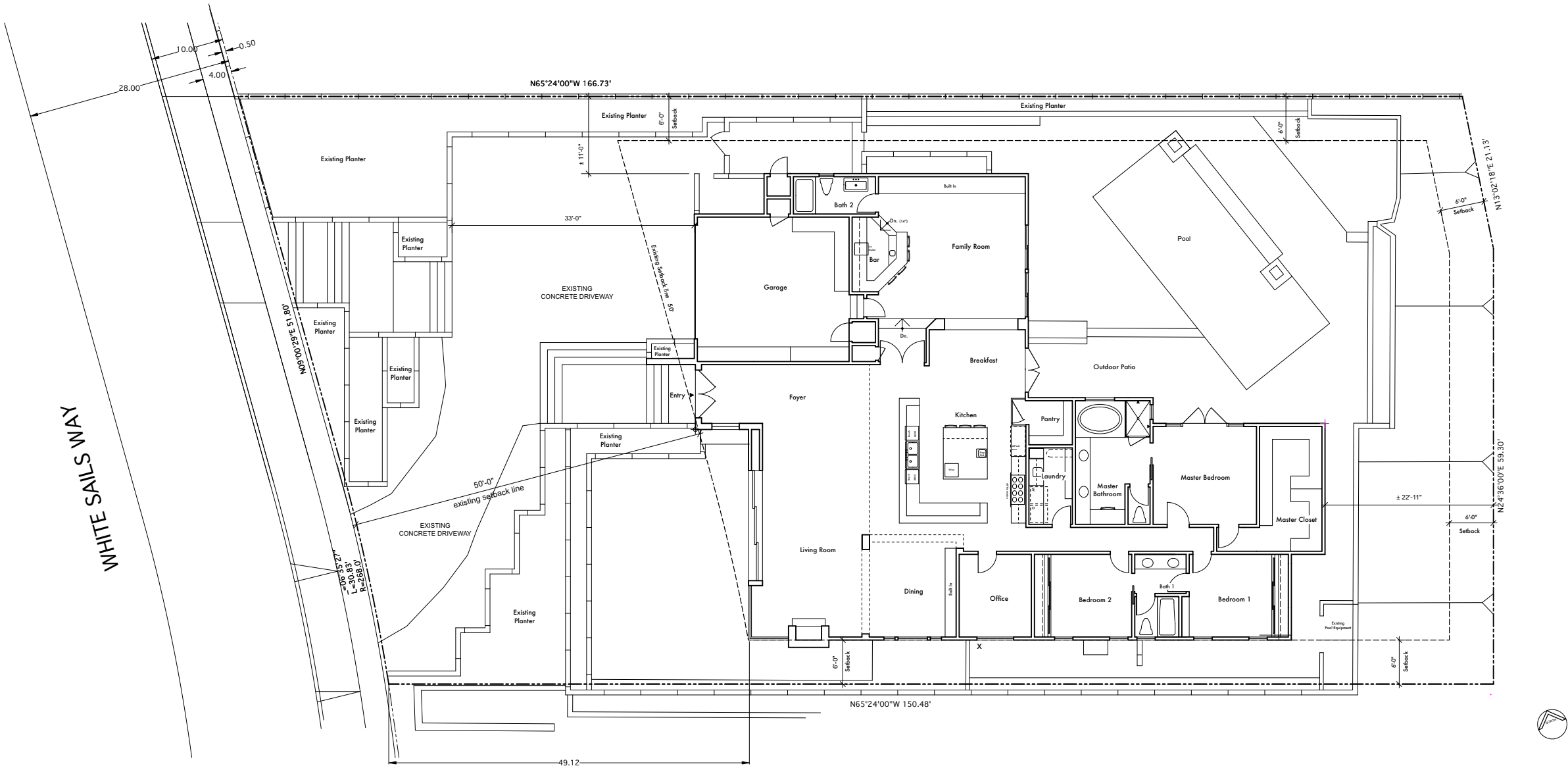
Scale: 1/8" = 1'-0"

Date:

Variance Package : 7-17-25



SPO
46



ORIGINAL EXISTING FLOOR PLAN / SITE PLAN -
(PRIOR TO " AS BUILT " CONDITIONS)

SCALE 1/8" = 1'-0"

EXISTING RESIDENCE (habitable space) = 3,336 s.f.
EXISTING GARAGE (non - habitable space) = 444 s.f.

TOTAL = 3,780 s.f.

Christian R. Light

**1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116**

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

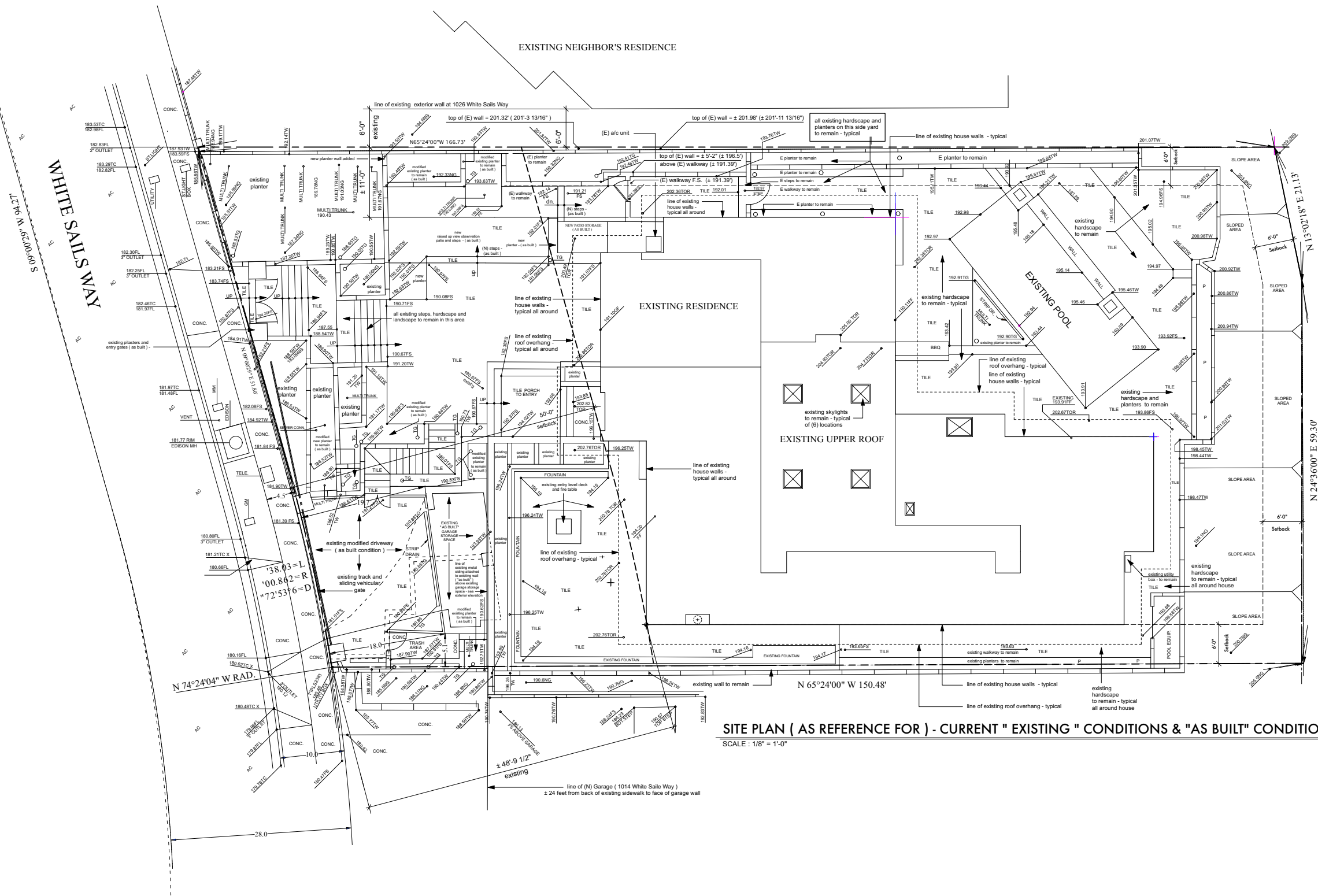
SITE PLAN

(as reference for)
current " existing " conditions
and
" as built " conditions

Job Number: 2127

Scale: $1/8" = 1'-0"$

Date :
HOA: Preliminary Plan Submittal :
February 6, 2025
HOA: Preliminary Plan Approval:
March 26, 2025
Variance Package : 7-17-25

SP1
47



Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

SITE PLAN -
(as reference for) current existing
"as built" conditions to remain and
"new proposed conditions"

Job Number: 2127

Scale: 1/8" = 1'-0"

Date:
HOA: Preliminary Plan Submittal:
February 6, 2025
Revised: March 17, 2025
HOA: Preliminary Plan Approval:
March 26, 2025
Variance Package: 7-17-25

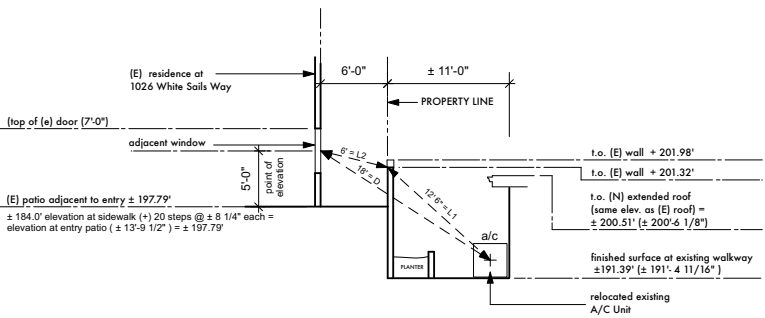


SP2
48

Single Condenser Unit Calculation (AHRI Std 275)

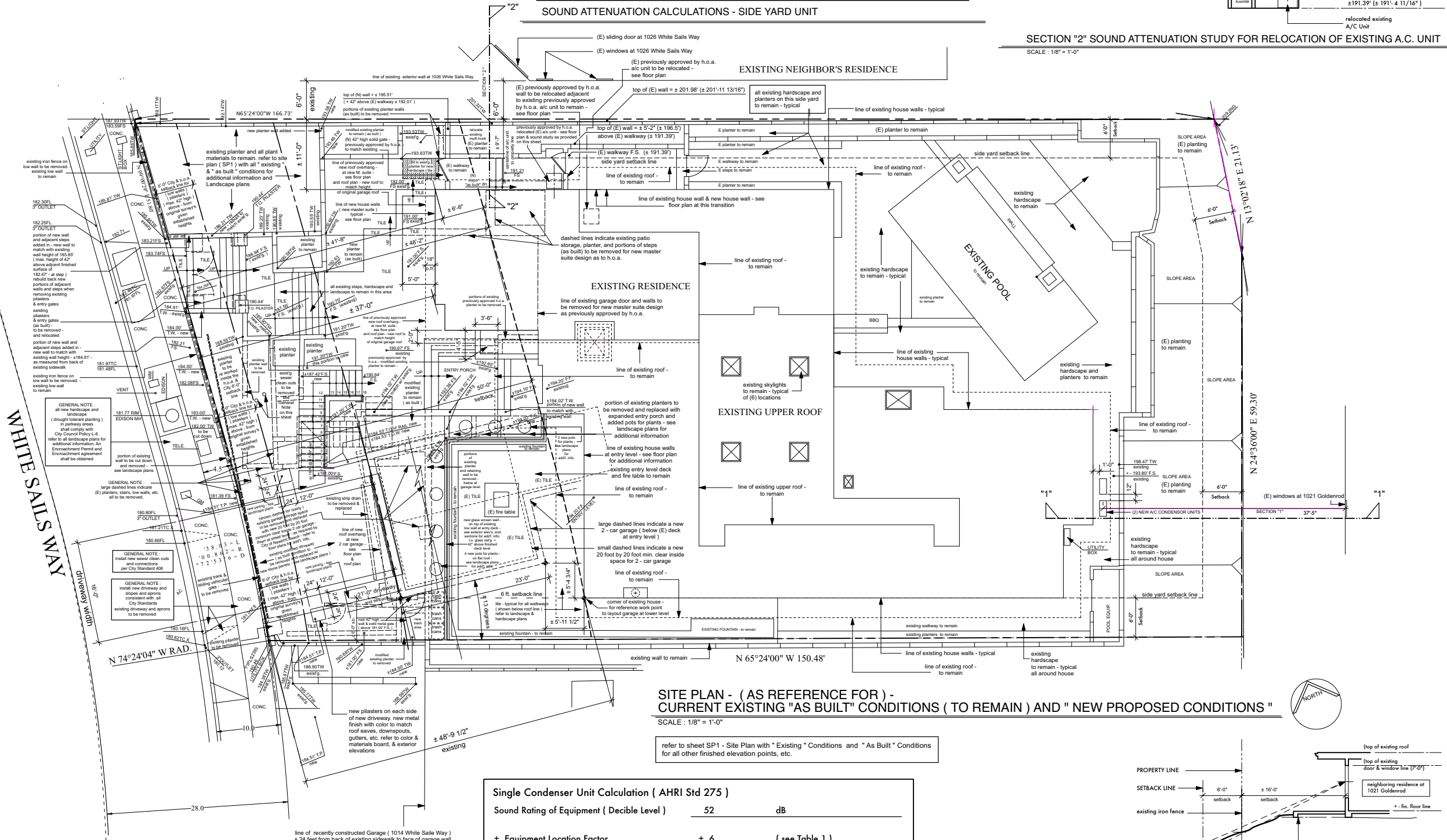
Sound Rating of Equipment (Decible Level)	73	dB
+ Equipment Location Factor	+ 6	(see Table 1)
- Barrier Shield Factor	- 4	(see Table 2)
- Distance Factor	- 23.5	(see Table 3)
= Estimated Sound Level of Equipment at the Point of Evaluation (Neighbor)	= 51.5	dB < 55 dB O.K. w/ Timer NBMC 10.26.045

SOUND ATTENUATION CALCULATIONS - SIDE YARD UNIT



SECTION "2" SOUND ATTENUATION STUDY FOR RELOCATION OF EXISTING A.C. UNIT

SCALE: 1/8" = 1'-0"



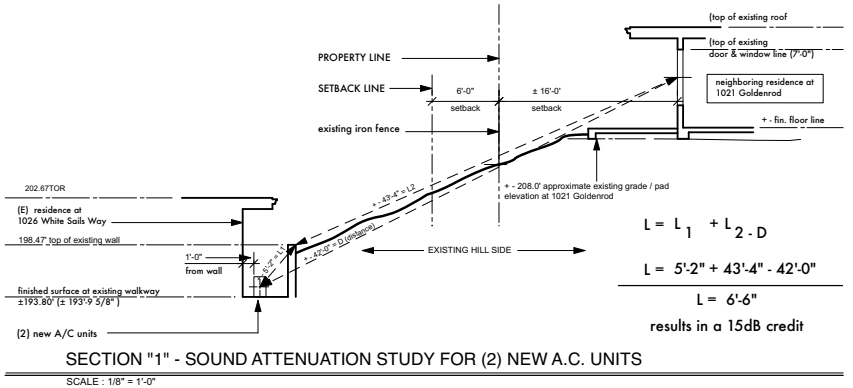
SITE PLAN - (AS REFERENCE FOR) - CURRENT EXISTING "AS BUILT" CONDITIONS (TO REMAIN) AND " NEW PROPOSED CONDITIONS "

SCALE: 1/8" = 1'-0"

Single Condenser Unit Calculation (AHRI Std 275)

Sound Rating of Equipment (Decible Level)	52	dB
+ Equipment Location Factor	+ 6	(see Table 1)
- Barrier Shield Factor	- 15	(see Table 2)
- Distance Factor	- 29.5	(see Table 3)
= Estimated Sound Level of Equipment at the Point of Evaluation (Neighbor)	= 13.5	
+ Multi-Unit Value	= + 3	(see Table 4)
= Grand Total with Multi-Unit Value	= + 16.5	

SOUND ATTENUATION CALCULATIONS - (2) NEW A/C UNITS IN REAR YARD



Christian R. Light

**1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116**

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C. J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

SITE PLAN / FLOOR PLAN -
(as reference for) existing
"as built" conditions to remain and
"new proposed conditions"

Job Number: 2127

Scale: $1/4"=1'-0"$

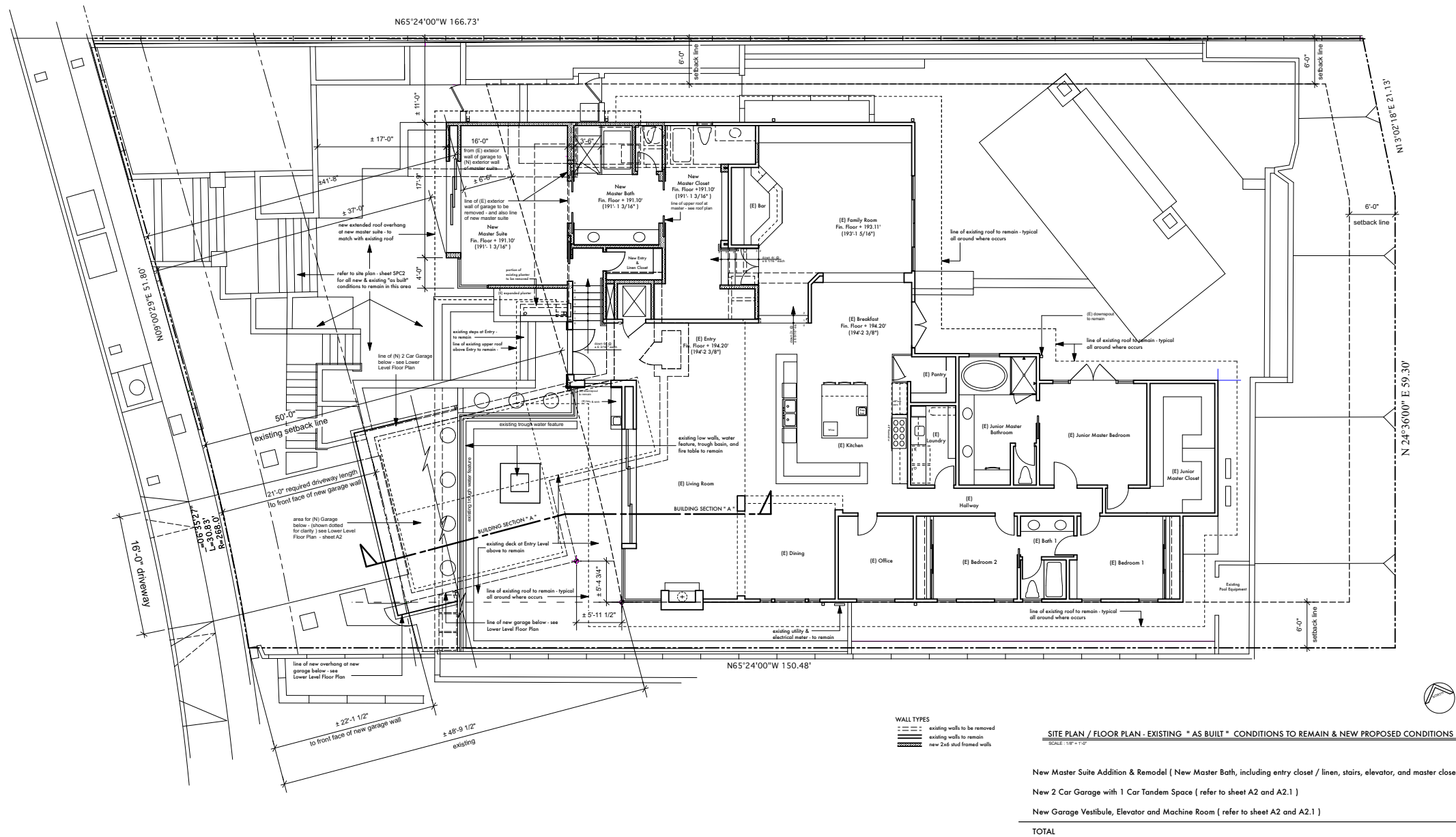
Date:

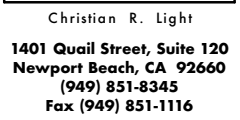
HOA: Preliminary Plan Submittal :
12-1-22

Variance Package : 7-17-25



SP3





The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

**SITE PLAN -
(as reference for)
Buildable Area
and Lot Coverage**

Job Number: 2127

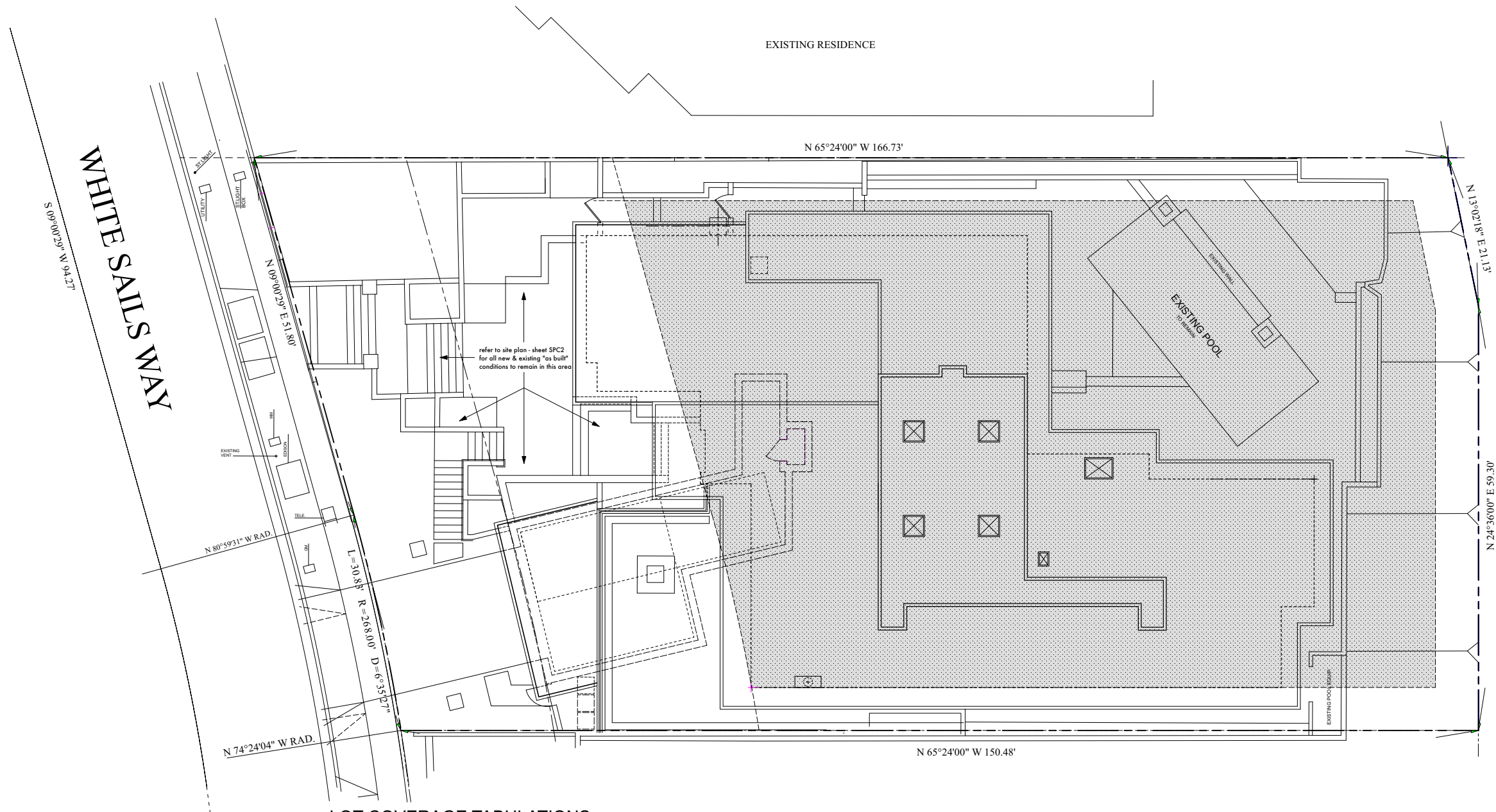
Scale: $1/8" = 1'-0"$

Date :
HOA: Preliminary Plan Submittal :
12-1-22

Variance Package : 7-17-25



SP4
50



LOT COVERAGE TABULATIONS

total existing site area	= 12,768 s.f.
max. allowable coverage is 60%	= 7,660 s.f.
buildable area = 12,768 s.f. (-) setbacks	= 7,053 s.f.
<hr/>	
existing residence habitable space	= 3,336 s.f.
existing garage non habitable space	= 444 s.f.
total existing residence	= 3,780 s.f.
<hr/>	
new addition / remodel master suite	= 921 s.f.
new 2 car garage, with new 1 car tandem space (non habitable space)	= 730 s.f.
new elevator, elevator machine room & vestibule (habitable space)	= 123 s.f.
total addition / remodel existing residence	= 1,774 s.f.
<hr/>	
total habitable space - existing 3,336 s.f. minus 85 s.f. now a part of master closet space	= 3,251 s.f.
total habitable space (new master suite, remodel new master bath new elevator, machine room, and vestibule)	= 1,044 s.f.
Grand Total :	= 4,295 s.f.

existing lot coverage = 3,780 s.f. (existing house & garage footprint)
divided by 12,768 (site area)
= 29% lot coverage

new lot coverage = 921 s.f. (addition / remodel master suite) + 730 s.f. (new 2 car garage, with 1 car tandem space)
+ 123 s.f. new elevator, elevator machine room and vestibule)
= total of 1,774 s.f. divided by 12,768 (site area)
= 13% lot coverage

total existing & new = 42% lot coverage

buildable area = 12,768 s.f. (-) setback area
= 7,053 s.f.

SITE PLAN - EXISTING "AS BUILT " CONDITIONS TO REMAIN & NEW PROPOSED CONDITIONS

SCALE : 1/8" = 1'-0"



Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

SITE PLAN -
TOTAL SITE AREA
and
LOT COVERAGE

Job Number: 2127

Scale: 1/8" = 1'-0"

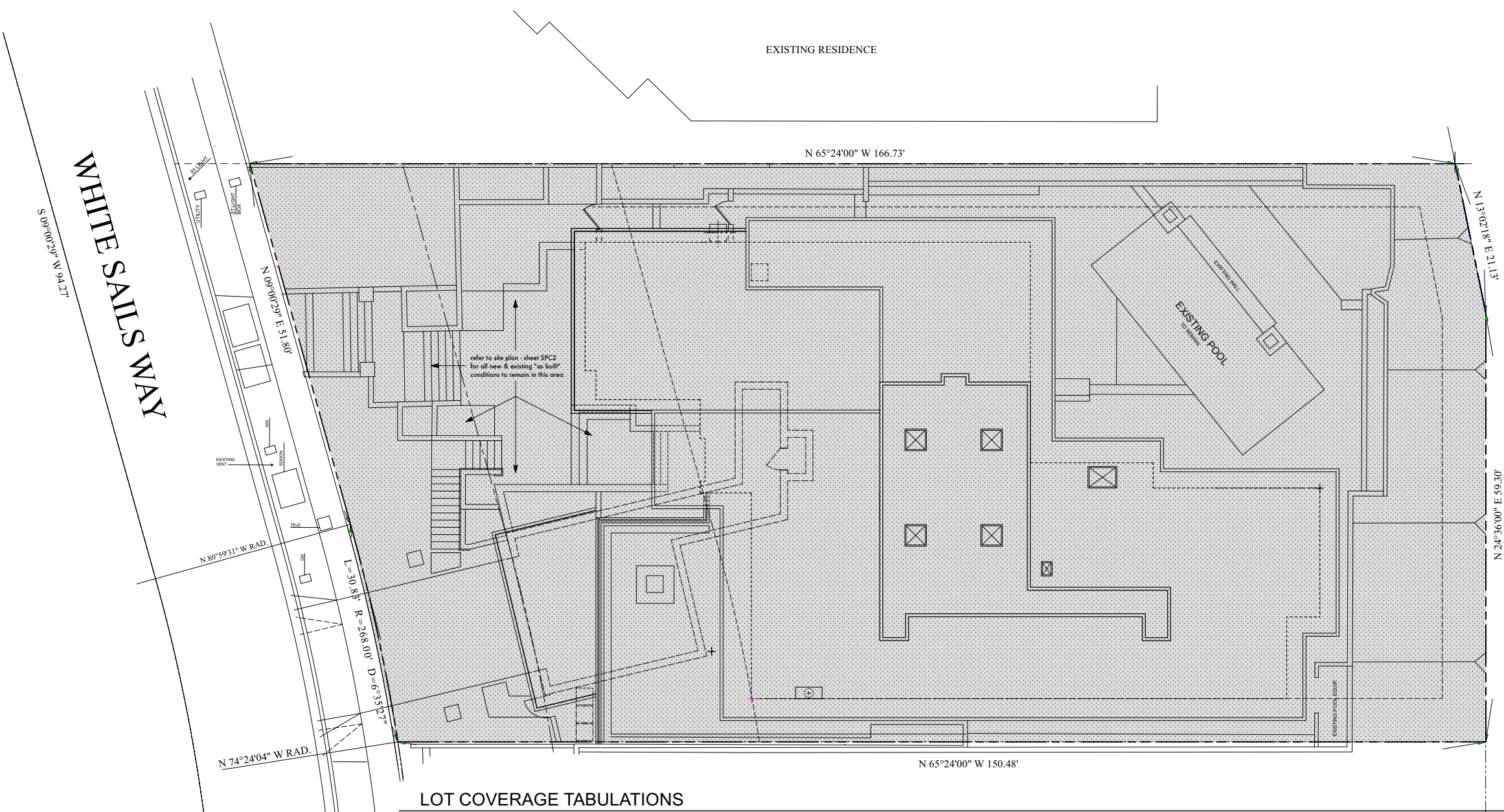
Date:

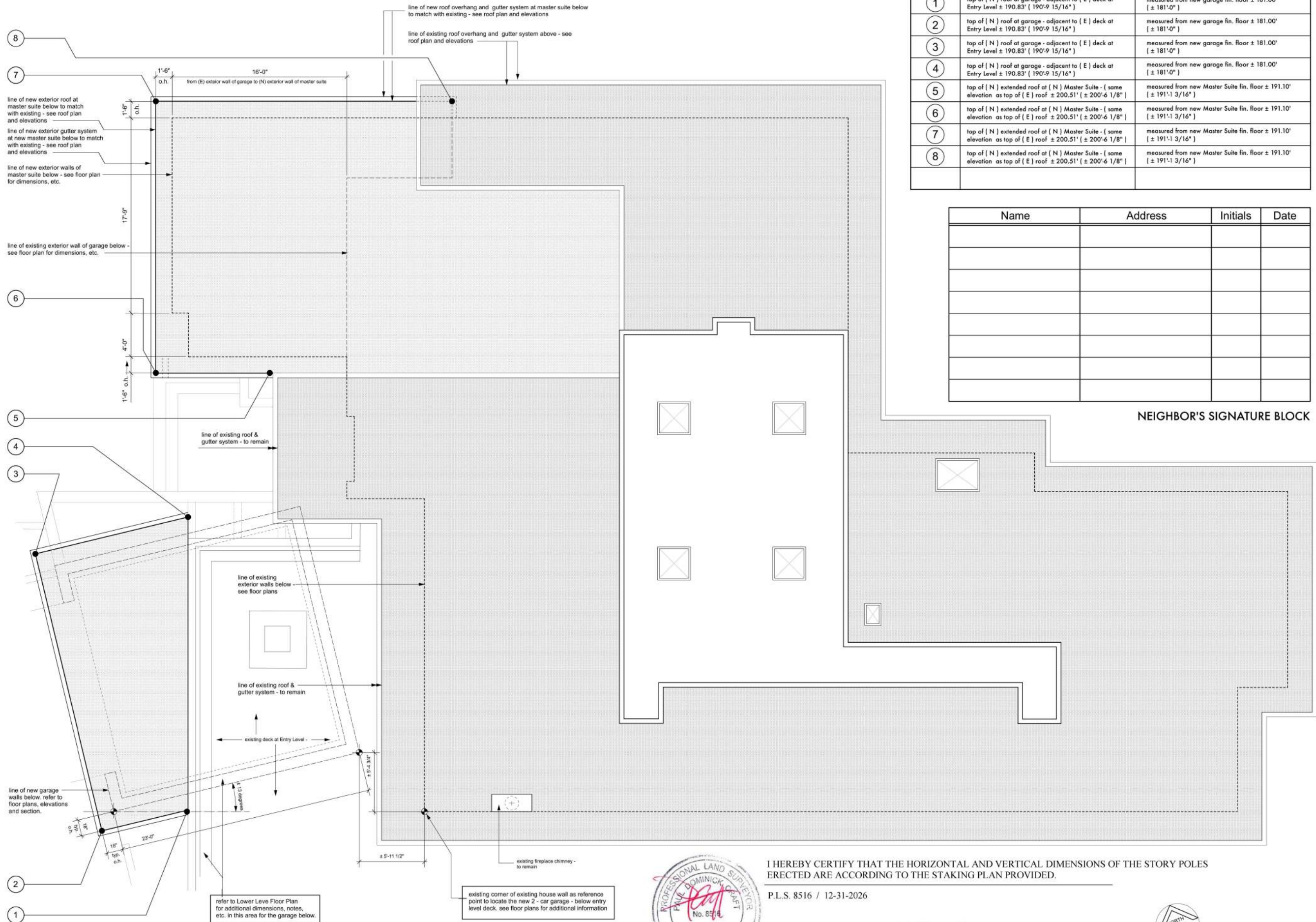
HOA: Preliminary Plan Submittal :
12-1-22

Variance Package : 7-17-25



SP5
51





STAKE	ELEVATION	REFERENCE POINT
1	top of (N) roof at garage - adjacent to (E) deck at Entry Level ± 190.83' (190'-9 15/16")	measured from new garage fin. floor ± 181.00' (± 181'-0")
2	top of (N) roof at garage - adjacent to (E) deck at Entry Level ± 190.83' (190'-9 15/16")	measured from new garage fin. floor ± 181.00' (± 181'-0")
3	top of (N) roof at garage - adjacent to (E) deck at Entry Level ± 190.83' (190'-9 15/16")	measured from new garage fin. floor ± 181.00' (± 181'-0")
4	top of (N) roof at garage - adjacent to (E) deck at Entry Level ± 190.83' (190'-9 15/16")	measured from new garage fin. floor ± 181.00' (± 181'-0")
5	top of (N) extended roof at (N) Master Suite - (same elevation as top of (E) roof ± 200.51' (± 200'-6 1/8")	measured from new Master Suite fin. floor ± 191.10' (± 191'-1 3/16")
6	top of (N) extended roof at (N) Master Suite - (same elevation as top of (E) roof ± 200.51' (± 200'-6 1/8")	measured from new Master Suite fin. floor ± 191.10' (± 191'-1 3/16")
7	top of (N) extended roof at (N) Master Suite - (same elevation as top of (E) roof ± 200.51' (± 200'-6 1/8")	measured from new Master Suite fin. floor ± 191.10' (± 191'-1 3/16")
8	top of (N) extended roof at (N) Master Suite - (same elevation as top of (E) roof ± 200.51' (± 200'-6 1/8")	measured from new Master Suite fin. floor ± 191.10' (± 191'-1 3/16")

Name	Address	Initials	Date

NEIGHBOR'S SIGNATURE BLOCK



Christian R. Light
1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other project, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2021 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

STAKING PLAN
(2 new roofs)

Job Number: 2127

Scale: 1/4" = 1'-0"

Date:

HOA: Preliminary Plan Submittal :
February 6, 2025



STK 152

I HEREBY CERTIFY THAT THE HORIZONTAL AND VERTICAL DIMENSIONS OF THE STORY POLES
ERECTED ARE ACCORDING TO THE STAKING PLAN PROVIDED.

P.L.S. 8516 / 12-31-2026



STAKING PLAN
SCALE: 1/4" = 1'-0"



Name	Address	Initials	Date

NEIGHBOR'S SIGNATURE BLOCK

CERTIFICATION:

I HEREBY CERTIFY THAT THE HORIZONTAL AND VERTICAL DIMENSIONS OF THE STORY POLES ERRECTED ARE ACCORDING TO THE STAKING PLAN PROVIDED.

P.L.S. 8516 / 12-31-2026



3-14-25



Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other project, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2021 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

STAKING PLAN -
(all new planters, pilasters,
stairs & glass railings gates, etc.)

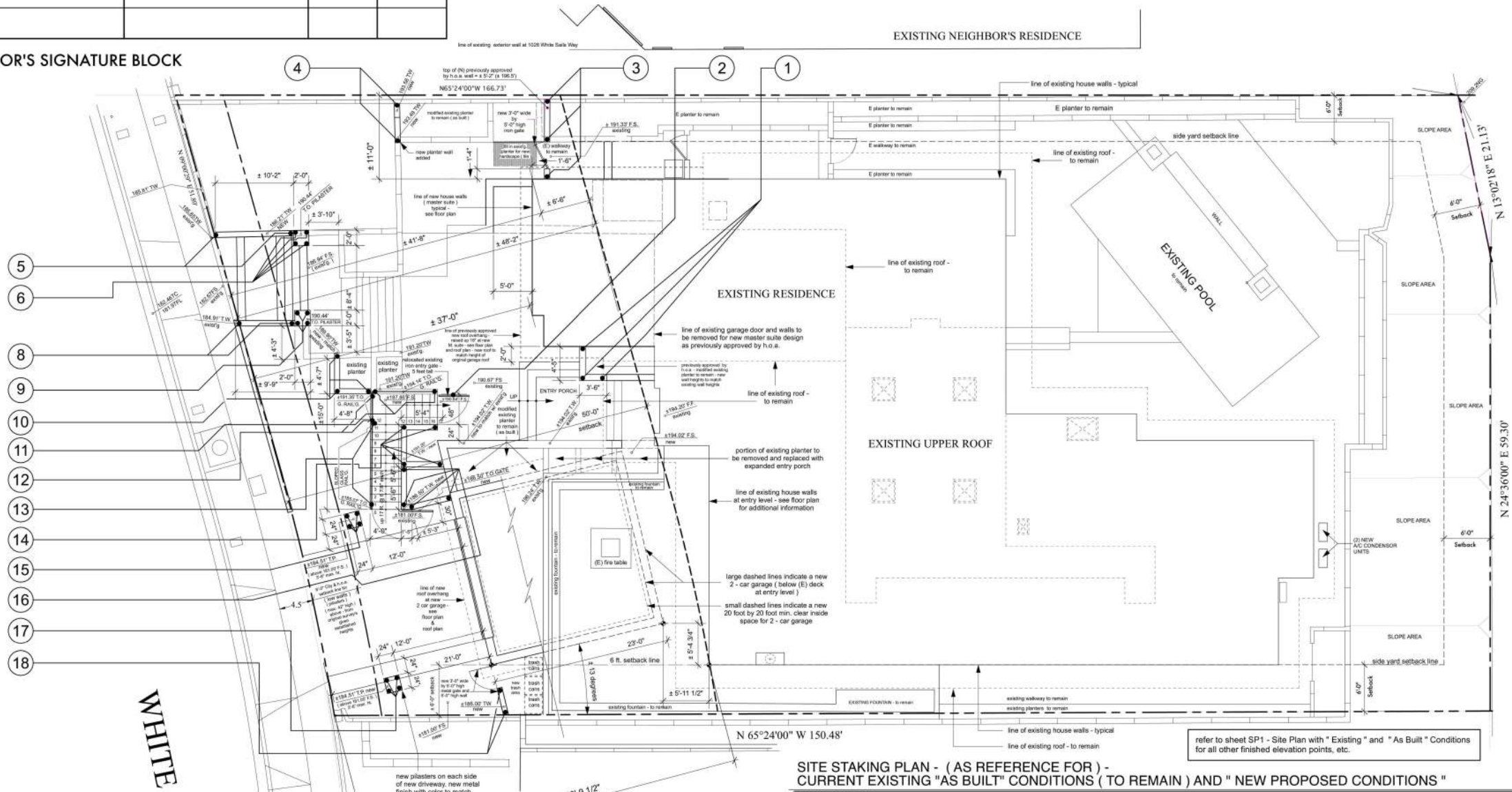
Job Number: 2127

Scale: 1/8" = 1'-0"

Date:
HOA: Preliminary Plan Submittal:
February 6, 2025
Revised March 17, 2025



STK 2

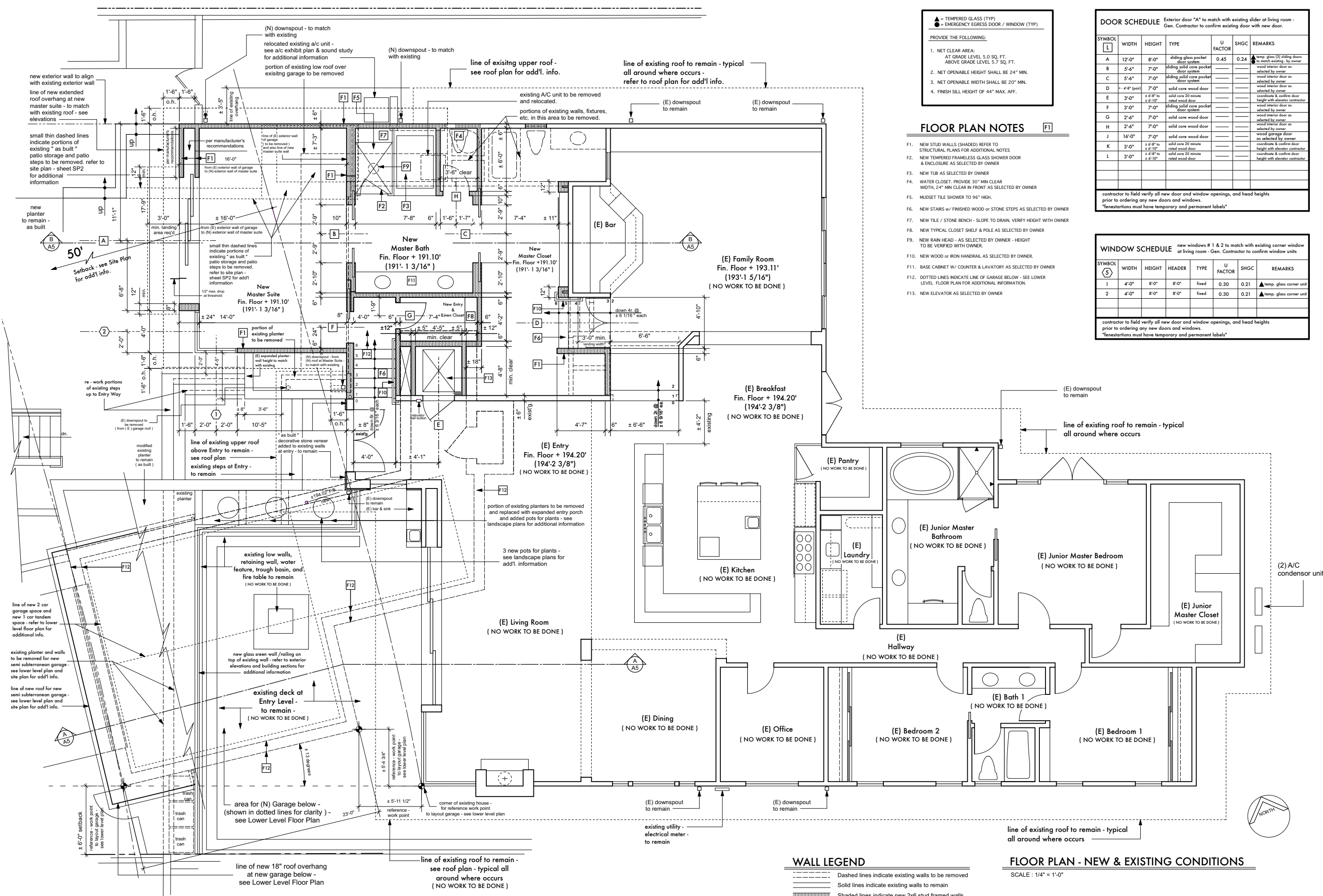


SITE STAKING PLAN - (AS REFERENCE FOR) -
CURRENT EXISTING "AS BUILT" CONDITIONS (TO REMAIN) AND "NEW PROPOSED CONDITIONS"

SCALE: 1/8" = 1'-0"

STAKE	ELEVATION	REFERENCE POINT
1	top of new expanded planter to match with the height of the existing planter - "as built"	refer to sheet SP2 Site Plan (new conditions and " as built ") and sheet A1 Floor Plan .
2	top of existing relocated 5'-0" tall iron gate = ±195.64' (±195'-7 11/16")	measured from top of new patio finished surface adjacent to new stairs at ±190.64' F.S. (± 190'-7 11/16")
3	top of new planter wall for new iron gate = ±195.2' = 196.5' (±196'-6")	measured from top of existing walkway of ± 191.33' (± 191'-4")
4	top of new planter wall = ± 193.58' & ± 193.49' (± 193'-6 15/16") & (± 193'-5 7/8")	measured from top of adjacent existing planter wall at ± 193.63' (193'-7 9/16")
5	top of new planter wall at ± 186.21' (± 186'-2 1/2")	measured from, and tied into adjacent existing planter wall at ± 185.85' (± 185'-10 3/16")
6	top of new pilaster at ± 190.44' (± 190'-5 1/4")	measured from adjacent stair landing finished surface at ± 186.94' (186'-11 1/4")
7	OMIT METAL ENTRY GATES	
8	top of new planter wall at ± 184.91' (± 184'-10 15/16")	measured from existing adjacent wall at the same height = ± 184.91' (± 184'-10 15/16") at back of sidewalk
9	top of new pilaster at ± 190.44' (± 190'-5 1/4")	measured from adjacent stair landing finished surface at ± 186.94' (186'-11 1/4")

STAKE	ELEVATION	REFERENCE POINT
10	top of new walls at existing planter to match with an existing adjacent wall ± 189.90' (± 189'-10 13/16")	measured from adjacent landing / step at entry stairs ± 187.55' (± 187'-6 5/8") f.s.
11	top of new glass railings at stairwell ± 194.14' (± 194'-1 11/16")	measured from top of existing wall at glass railings ± 191.20' (± 191'-2 3/8") adjacent f.s. of 190.64' at top of steps
12	top of new glass railings at stairwell ± 191.35' (± 191'-4 3/16")	measured from top of stair landing at ± 187.85' f.s. (± 187'-10 3/16")
13	top of new sloped glass railing ± 185.07' (± 185'-0 13/16")	measured from ± 181.00' f.s. at bottom of new stairs, plus 6 7/8" 1st. step, plus 42" = top of glass ± 185.07'
14	top of new planter adjacent to stairs ± 191.20' (± 191'-2 3/8")	measured from top of stair landing at ± 187.85' f.s. (± 187'-10 3/16")
15	top of new pilasters ± 184.51' (184'-6 1/8")	measured from ± 181.39' f.s. (± 181'-4 11/16") at adjacent existing sidewalk
16	top of new planter ± 186.50' (186'-6")	measured from ± 181.00' f.s. (± 181'-0") at bottom of new stairs
17	top of new pilasters ± 184.51' (184'-6 1/8")	measured from ± 181.39' f.s. (± 181'-4 11/16") at adjacent existing sidewalk
18	top of new wall at trash enclosure ± 186.00' (± 186'-0")	measured from ± 181.00' f.s. (± 181'-0") at adjacent new finished surface in front of trash enclosure



▲ = TEMPERED GLASS (TYP)
● = EMERGENCY EGRESS DOOR / WINDOW (TYP)

PROVIDE THE FOLLOWING:

- NET CLEAR AREA:
AT GRADE LEVEL 5.0 SQ. FT.
ABOVE GRADE LEVEL 5.7 SQ. FT.
- NET OPENABLE HEIGHT SHALL BE 24" MIN.
- NET OPENABLE WIDTH SHALL BE 20" MIN.
- FINISH SILL HEIGHT OF 44" MAX. AFF.

FLOOR PLAN NOTES

- F1. NEW STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS FOR ADDITIONAL NOTES
- F2. NEW TEMPERED FRAMELESS GLASS SHOWER DOOR & ENCLOSURE AS SELECTED BY OWNER
- F3. NEW TUB AS SELECTED BY OWNER
- F4. WATER CLOSET. PROVIDE 30" MIN CLEAR WIDTH, 24" MIN CLEAR IN FRONT AS SELECTED BY OWNER
- F5. MUDSET TILE SHOWER TO 96" HIGH.
- F6. NEW STAIRS w/ FINISHED WOOD or STONE STEPS AS SELECTED BY OWNER
- F7. NEW TILE / STONE BENCH - SLOPE TO DRAIN. VERIFY HEIGHT WITH OWNER
- F8. NEW TYPICAL CLOSET SHELF & POLE AS SELECTED BY OWNER
- F9. NEW RAIN HEAD - AS SELECTED BY OWNER - HEIGHT TO BE VERIFIED WITH OWNER.
- F10. NEW WOOD or IRON HANDRAIL AS SELECTED BY OWNER.
- F11. BASE CABINET w/ COUNTER & LAVATORY AS SELECTED BY OWNER
- F12. DOTTED LINES INDICATE LINE OF GARAGE BELOW - SEE LOWER LEVEL FLOOR PLAN FOR ADDITIONAL INFORMATION.
- F13. NEW ELEVATOR AS SELECTED BY OWNER

DOOR SCHEDULE						
Exterior door "A" to match with existing slider at living room - Gen. Contractor to confirm existing door with new door.						
SYMBOL	WIDTH	HEIGHT	TYPE	U FACTOR	SHGC	REMARKS
A	12'-0"	8'-0"	sliding glass pocket door system	0.45	0.24	▲ temp. glass (1) sliding door to match existing - by owner
B	5'-6"	7'-0"	sliding solid core pocket door system			wood interior door as selected by owner
C	5'-6"	7'-0"	sliding solid core pocket door system			wood interior door as selected by owner
D	4'-8" (max)	7'-0"	solid core wood door			wood interior door as selected by owner
E	3'-0"	± 6'-8" to ± 6'-10"	solid core 20 minute rated wood door			coordinate & confirm door height with elevator contractor
F	3'-0"	± 6'-8" to ± 6'-10"	sliding solid core pocket door system			wood interior door as selected by owner
G	2'-6"	7'-0"	solid core wood door			wood interior door as selected by owner
H	2'-6"	7'-0"	solid core wood door			wood interior door as selected by owner
J	16'-0"	7'-0"	solid core wood door			wood garage door as selected by owner
K	3'-0"	± 6'-8" to ± 6'-10"	solid core 20 minute rated wood door			coordinate & confirm door height with elevator contractor
L	3'-0"	± 6'-8" to ± 6'-10"	solid core 20 minute rated wood door			coordinate & confirm door height with elevator contractor

contractor to field verify all new door and window openings, and head heights prior to ordering any new doors and windows.
"fenestations must have temporary and permanent labels"

WINDOW SCHEDULE						
new windows # 1 & 2 to match with existing corner window at living room - Gen. Contractor to confirm window units						
SYMBOL	WIDTH	HEIGHT	HEADER	TYPE	U FACTOR	SHGC
1	4'-0"	8'-0"	8'-0"	fixed	0.30	0.21
2	4'-0"	8'-0"	8'-0"	fixed	0.30	0.21

contractor to field verify all new door and window openings, and head heights prior to ordering any new doors and windows.
"fenestations must have temporary and permanent labels"

WALL LEGEND

- Dashed lines indicate existing walls to be removed
- Solid lines indicate existing walls to remain
- Shaded lines indicate new 2x6 stud framed walls

FLOOR PLAN - NEW & EXISTING CONDITIONS

SCALE: 1/4" = 1'-0"



Christian R. Light
1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C. J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

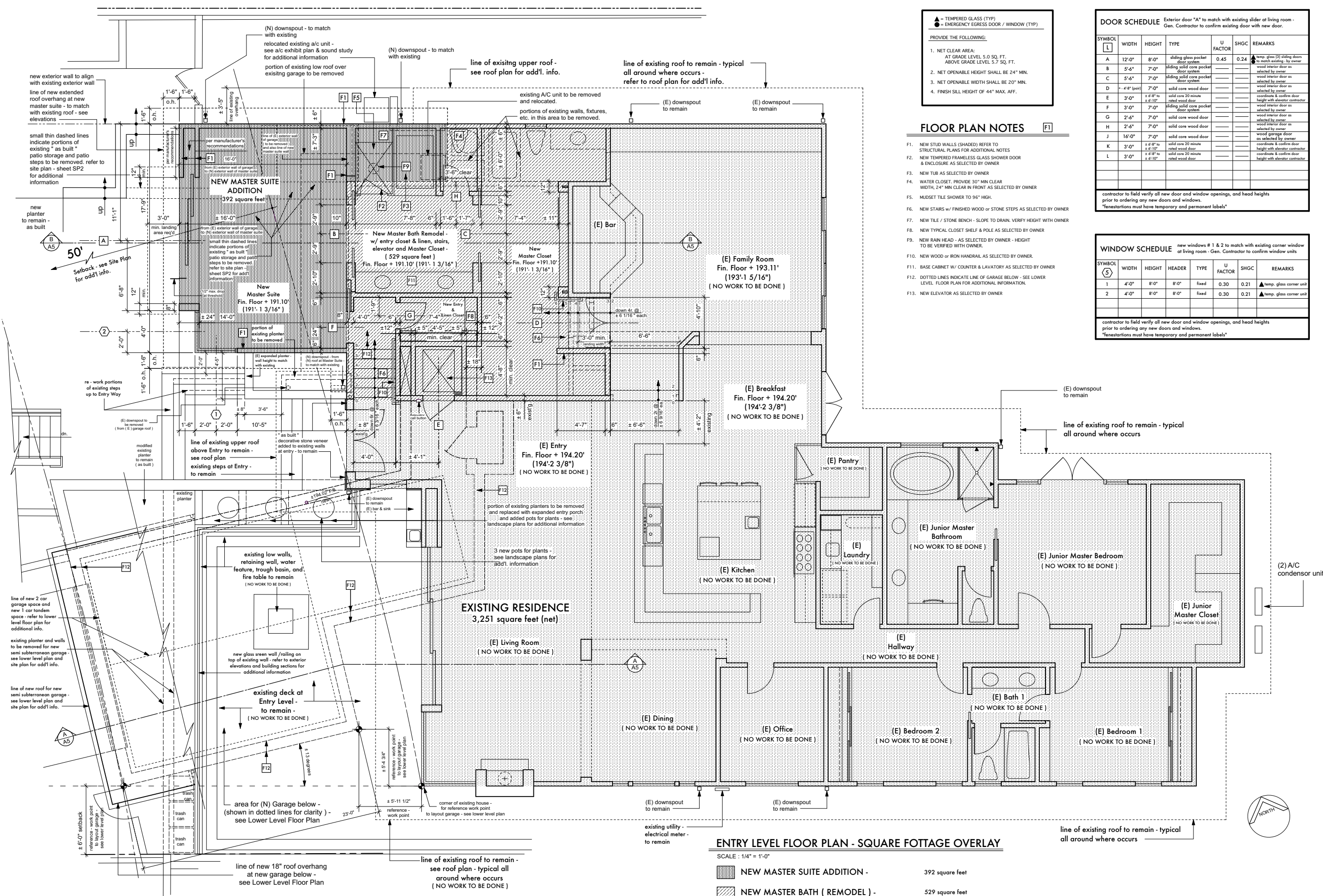
FLOOR PLAN - NEW & EXISTING CONDITIONS

Job Number: 2127

Scale: 1/4"=1'-0"

Date:
HOA: Preliminary Plan Submittal : February 6, 2025
HOA: Preliminary Plan Approval: March 26, 2025
Variance Package : 7-17-25





TEMPERED GLASS (TYP)
EMERGENCY EGRESS DOOR / WINDOW (TYP)

PROVIDE THE FOLLOWING:

- NET CLEAR AREA: AT GRADE LEVEL 5.0 SQ. FT. ABOVE GRADE LEVEL 5.7 SQ. FT.
- NET OPENABLE HEIGHT SHALL BE 24" MIN.
- NET OPENABLE WIDTH SHALL BE 20" MIN.
- FINISH SILL HEIGHT OF 44" MAX. AFF.

- FLOOR PLAN NOTES**
- F1. NEW STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS FOR ADDITIONAL NOTES
 - F2. NEW TEMPERED FRAMELESS GLASS SHOWER DOOR & ENCLOSURE AS SELECTED BY OWNER
 - F3. NEW TUB AS SELECTED BY OWNER
 - F4. WATER CLOSET. PROVIDE 30" MIN CLEAR WIDTH, 24" MIN CLEAR IN FRONT AS SELECTED BY OWNER
 - F5. MUDSET TILE SHOWER TO 96" HIGH.
 - F6. NEW STAIRS w/ FINISHED WOOD or STONE STEPS AS SELECTED BY OWNER
 - F7. NEW TILE / STONE BENCH - SLOPE TO DRAIN. VERIFY HEIGHT WITH OWNER
 - F8. NEW TYPICAL CLOSET SHELF & POLE AS SELECTED BY OWNER
 - F9. NEW RAN HEAD - AS SELECTED BY OWNER - HEIGHT TO BE VERIFIED WITH OWNER.
 - F10. NEW WOOD or IRON HANDRAIL AS SELECTED BY OWNER.
 - F11. BASE CABINET w/ COUNTER & LAVATORY AS SELECTED BY OWNER
 - F12. DOTTED LINES INDICATE LINE OF GARAGE BELOW - SEE LOWER LEVEL FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - F13. NEW ELEVATOR AS SELECTED BY OWNER

DOOR SCHEDULE						
Exterior door "A" to match with existing slider at living room - Gen. Contractor to confirm existing door with new door.						
SYMBOL	WIDTH	HEIGHT	TYPE	U FACTOR	SHGC	REMARKS
A	12'-0"	8'-0"	sliding glass pocket door system	0.45	0.24	temp. glass (1) sliding door to match existing - by owner
B	5'-6"	7'-0"	sliding solid core pocket door system			wood interior door as selected by owner
C	5'-6"	7'-0"	sliding solid core pocket door system			wood interior door as selected by owner
D	4'-8" (max)	7'-0"	solid core wood door			wood interior door as selected by owner
E	3'-0"	± 6'-8" to ± 6'-10"	solid core 20 minute rated wood door			coordinate & confirm door height with elevator contractor
F	3'-0"	7'-0"	sliding solid core pocket door system			wood interior door as selected by owner
G	2'-6"	7'-0"	solid core wood door			wood interior door as selected by owner
H	2'-6"	7'-0"	solid core wood door			wood interior door as selected by owner
J	16'-0"	7'-0"	solid core wood door			wood garage door as selected by owner
K	3'-0"	± 6'-8" to ± 6'-10"	solid core 20 minute rated wood door			coordinate & confirm door height with elevator contractor
L	3'-0"	± 6'-8" to ± 6'-10"	solid core 20 minute rated wood door			coordinate & confirm door height with elevator contractor

contractor to field verify all new door and window openings, and head heights prior to ordering any new doors and windows.
"Restorations must have temporary and permanent labels"

WINDOW SCHEDULE						
new windows # 1 & 2 to match with existing corner window at living room - Gen. Contractor to confirm window units						
SYMBOL	WIDTH	HEIGHT	HEADER	TYPE	U FACTOR	SHGC
1	4'-0"	8'-0"	8'-0"	fixed	0.30	0.21
2	4'-0"	8'-0"	8'-0"	fixed	0.30	0.21

contractor to field verify all new door and window openings, and head heights prior to ordering any new doors and windows.
"Restorations must have temporary and permanent labels"

C. J. LIGHT ASSOCIATES

Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C. J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

FLOOR PLAN - NEW & EXISTING CONDITIONS

Job Number: 2127

Scale: 1/4"=1'-0"

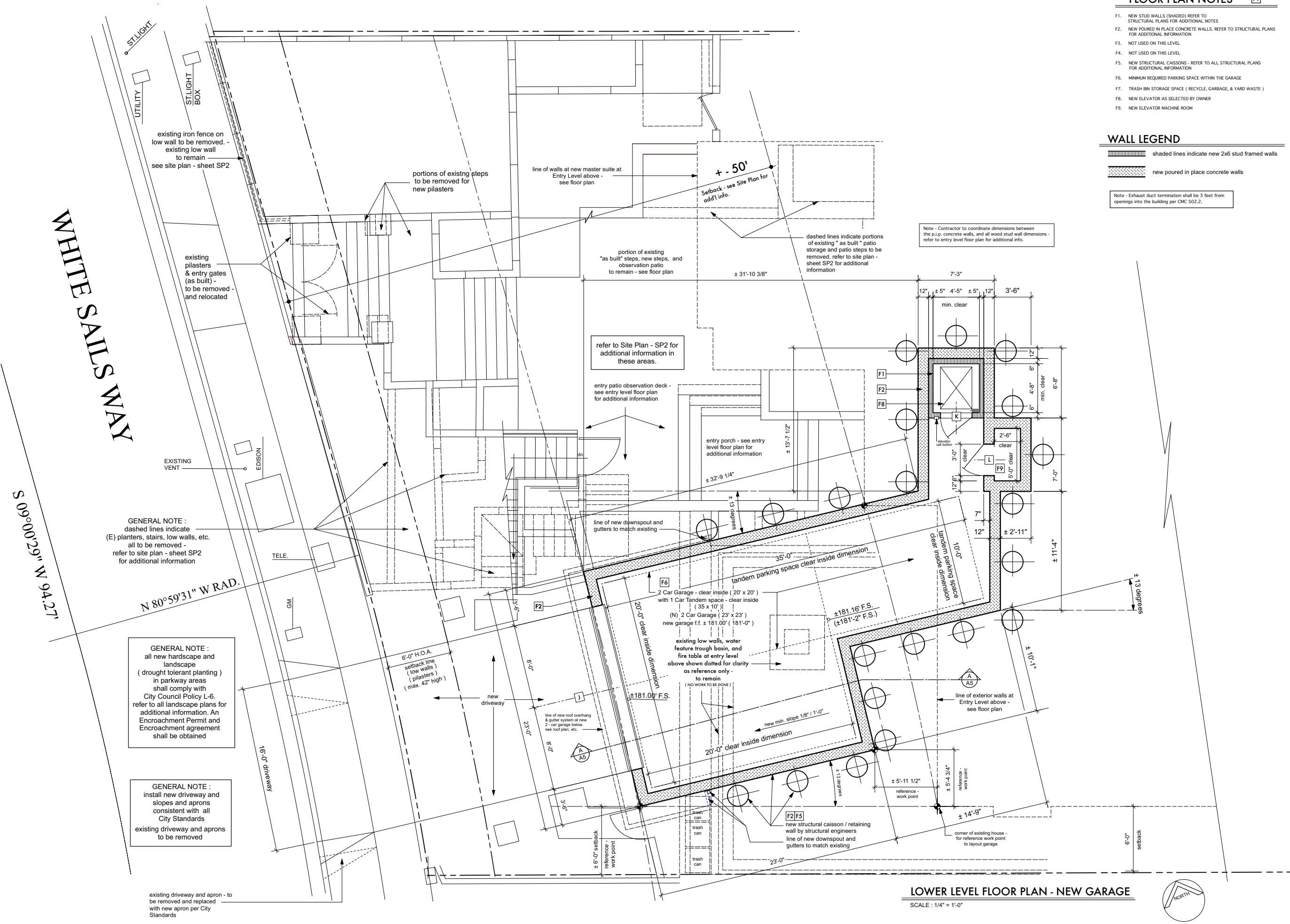
Date:
HOA: Preliminary Plan Submittal: February 6, 2025
HOA: Preliminary Plan Approval: March 26, 2025
Variance Package: 7-17-25



ENTRY LEVEL FLOOR PLAN - SQUARE FOOTAGE OVERLAY

SCALE: 1/4" = 1'-0"

- NEW MASTER SUITE ADDITION - 392 square feet
- NEW MASTER BATH (REMODEL) - 529 square feet
- EXISTING RESIDENCE (AFTER REMODEL) - 3,251 square feet



FLOOR PLAN NOTES

- F1. NEW STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS FOR ADDITIONAL NOTES
F2. NEW POURED IN PLACE CONCRETE WALLS. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION
F3. NOT USED ON THIS LEVEL
F4. NOT USED ON THIS LEVEL
F5. NEW STRUCTURAL CAISSONS - REFER TO ALL STRUCTURAL PLANS FOR ADDITIONAL INFORMATION
F6. MINIMUM REQUIRED PARKING SPACE WITHIN THE GARAGE
F7. TRASH BIN STORAGE SPACE (RECYCLE, GARBAGE, & YARD WASTE)
F8. NEW ELEVATOR AS SELECTED BY OWNER
F9. NEW ELEVATOR MACHINE ROOM

WALL LEGEND

- shaded lines indicate new 2x6 stud framed walls
new poured in place concrete walls
Note - Exhaust duct termination shall be 3 feet from openings into the building per IMC 502.2.

LOWER LEVEL FLOOR PLAN - NEW GARAGE

SCALE : 1/4" = 1'-0"



Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

LOWER LEVEL FLOOR PLAN

Job Number : 2127

Scale : 1/4"=1'-0"

Date :
HOA: Preliminary Plan Submittal :
February 6, 2025

HOA: Preliminary Plan Approval:
March 26, 2025

Variance Package : 7-17-25



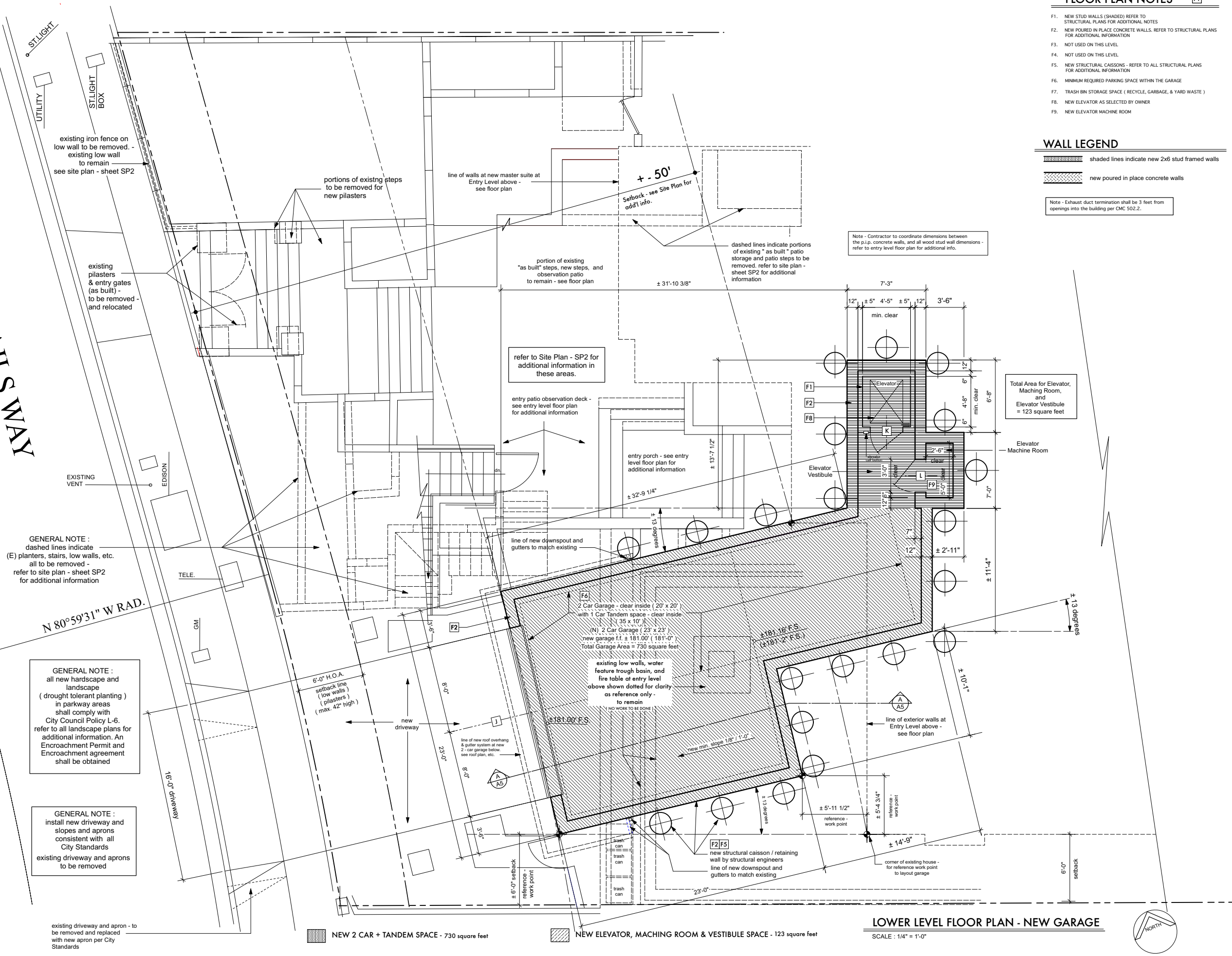
A2

56

WHITE SAILS WAY

S 09°00'29" N 94.27'

N 80°59'31" W RAD.



FLOOR PLAN NOTES

- F1. NEW STUD WALLS (SHADED) REFER TO STRUCTURAL PLANS FOR ADDITIONAL NOTES
- F2. NEW POURED IN PLACE CONCRETE WALLS. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION
- F3. NOT USED ON THIS LEVEL
- F4. NOT USED ON THIS LEVEL
- F5. NEW STRUCTURAL CAISSONS - REFER TO ALL STRUCTURAL PLANS FOR ADDITIONAL INFORMATION
- F6. MINIMUM REQUIRED PARKING SPACE WITHIN THE GARAGE
- F7. TRASH BIN STORAGE SPACE (RECYCLE, GARBAGE, & YARD WASTE)
- F8. NEW ELEVATOR AS SELECTED BY OWNER
- F9. NEW ELEVATOR MACHINE ROOM

WALL LEGEND

- shaded lines indicate new 2x6 stud framed walls
 - new poured in place concrete walls
- Note - Exhaust duct termination shall be 3 feet from openings into the building per CMC 502.2.



Christian R. Light
1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

LOWER LEVEL FLOOR PLAN

Job Number : 2127
Scale : 1/4"=1'-0"
Date :
HOA: Preliminary Plan Submittal : February 6, 2025
HOA: Preliminary Plan Approval: March 26, 2025
Variance Package : 7-17-25



A2

57

LOWER LEVEL FLOOR PLAN - NEW GARAGE
SCALE: 1/4" = 1'-0"

SCALE : 1/4" = 1'-0"

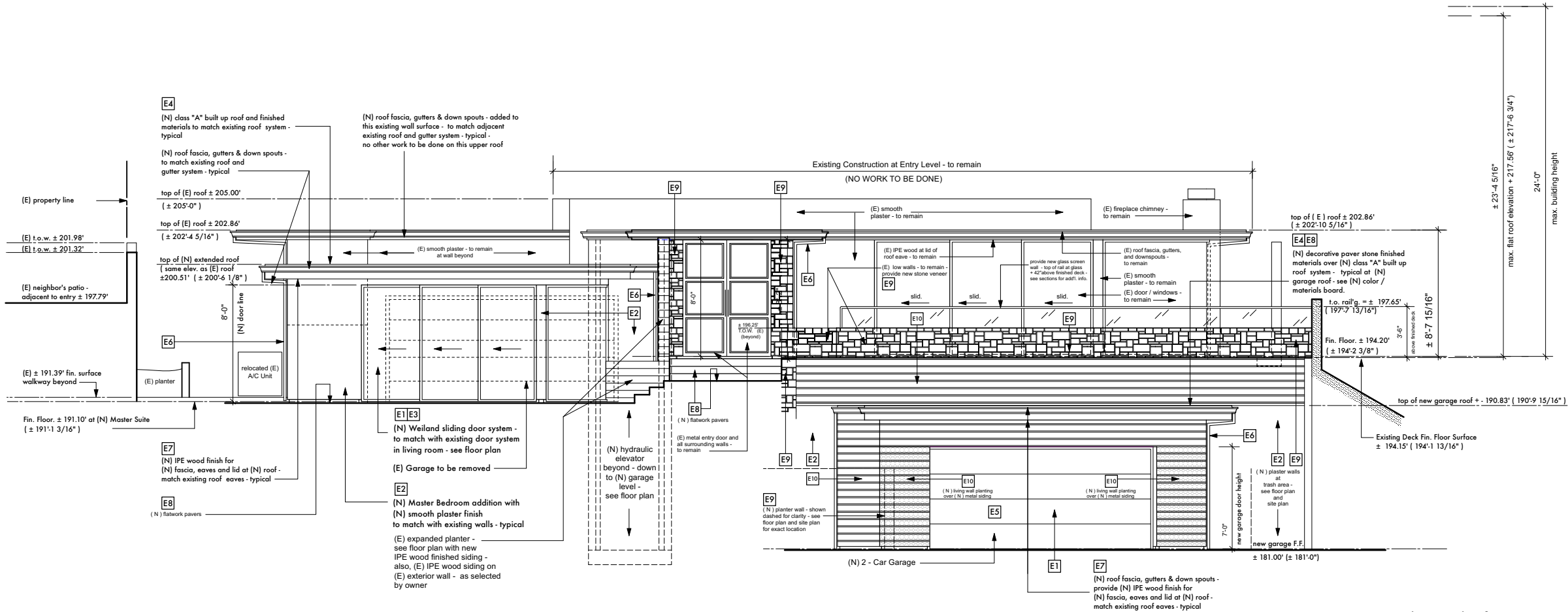


Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625

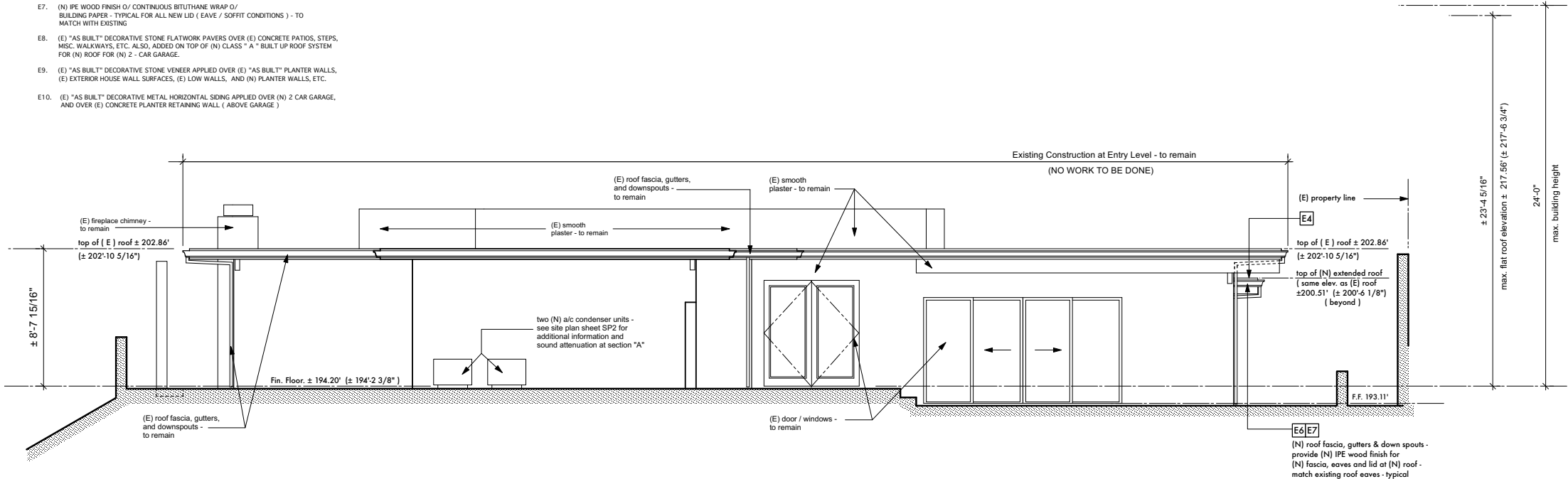


West (Front) Elevation

Scale : 1/4"= 1'-0"

Exterior Elevation Notes

- CONTRACTOR TO FIELD VERIFY ALL NEW DOOR AND WINDOW OPENINGS, AND HEADER HEIGHTS AS WELL - SEE SCHEDULES
- (N) SMOOTH PLASTER FINISH O/ CONTINUOUS BUTYTHANE WRAP O/ BUILDING PAPER - TYPICAL
- (N) METAL WINDOW & DOOR FRAMES - TYPICAL AS SELECTED BY OWNER.
- (N) CLASS "A" BUILT UP ROOF - AS SELECTED BY OWNER.
- (N) WOOD GARAGE DOOR AS SELECTED BY OWNER.
- (N) METAL GUTTERS AND DOWN SPOUTS - TO MATCH WITH EXISTING - TIE TO EXISTING AND OR NEW YARD DRAINS - TYPICAL
- (N) IPE WOOD FINISH O/ CONTINUOUS BUTYTHANE WRAP O/ BUILDING PAPER - TYPICAL FOR ALL NEW LID (EAVE / SOFFIT CONDITIONS) - TO MATCH WITH EXISTING
- (E) "AS BUILT" DECORATIVE STONE FLATWORK PAVERS OVER (E) CONCRETE PATIOS, STEPS, MISC. WALKWAYS, ETC. ALSO, ADDED ON TOP OF (N) CLASS "A" BUILT UP ROOF SYSTEM FOR (N) ROOF FOR (N) 2 - CAR GARAGE.
- (E) "AS BUILT" DECORATIVE STONE VENEER APPLIED OVER (E) "AS BUILT" PLANTER WALLS, (E) EXTERIOR HOUSE WALL SURFACES, (E) LOW WALLS, AND (N) PLANTER WALLS, ETC.
- (E) "AS BUILT" DECORATIVE METAL HORIZONTAL SIDING APPLIED OVER (N) 2 CAR GARAGE, AND OVER (E) CONCRETE PLANTER RETAINING WALL (ABOVE GARAGE)



East (Rear) Elevation

Scale : 1/4"= 1'-0"

ELEVATIONS

Job Number : 2127

Scale : 1/4"= 1'-0"

Date :
HOA: Preliminary Plan Submittal :
February 6, 2025
HOA: Preliminary Plan Approval:
March 26, 2025
Variance Package : 7-17-25



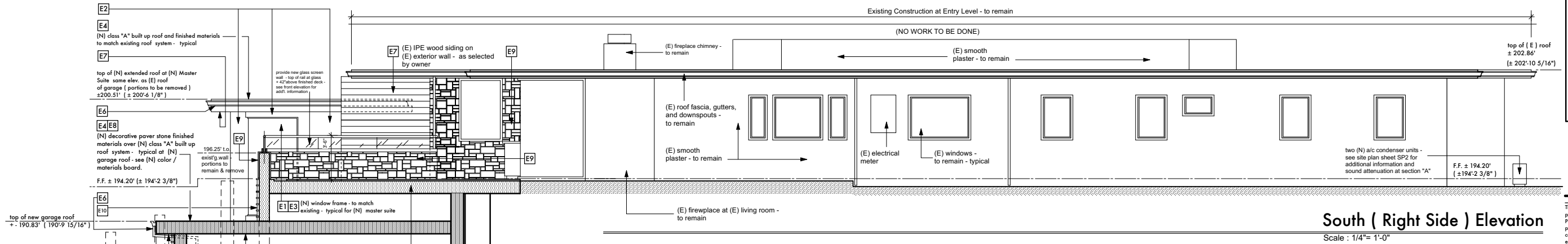


Christian R. Light

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

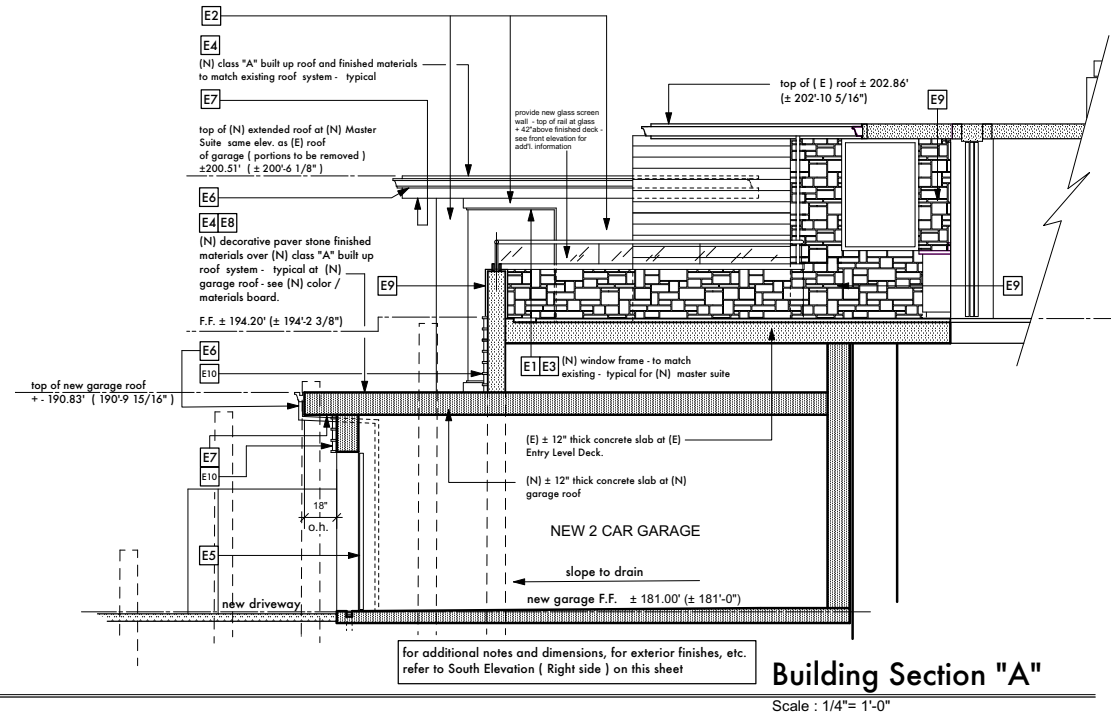
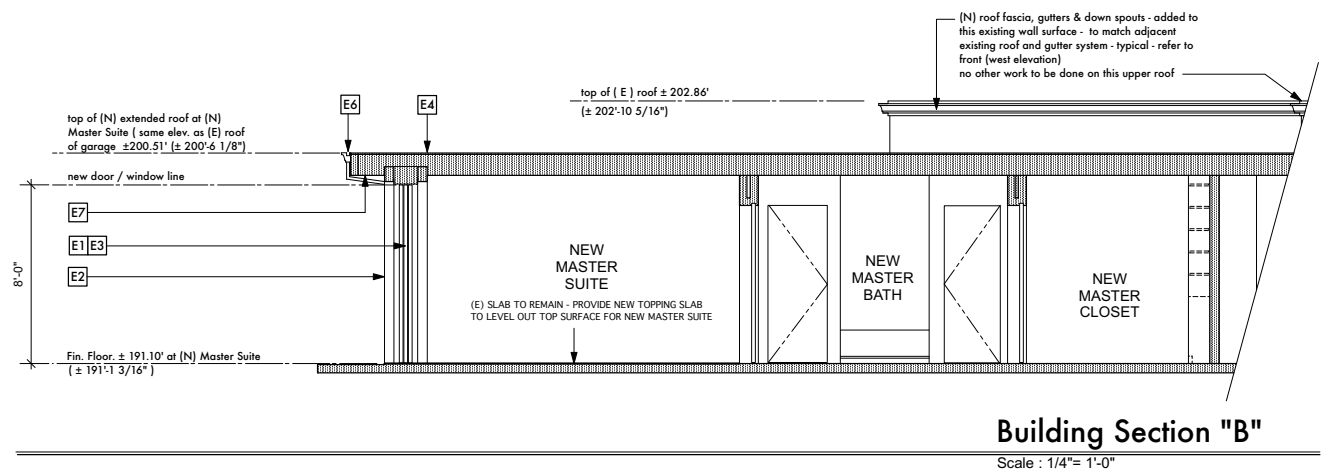
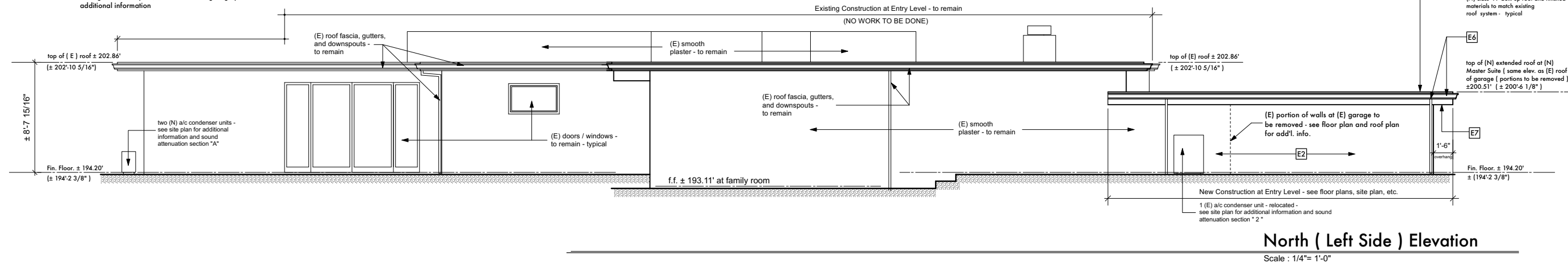
The Drawings, Specifications and other documents prepared by Architect for this Project are for use on the Project only and may not be used (1) on any other projects, (2) for additions to this Project, or (3) for the completion of this Project by others, unless otherwise expressly agreed by Architect in writing. The Drawings, Specifications and other documents prepared by Architect for this Project are the exclusive property of the Architect and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of Architect. Architect retains all common law, statutory, and other legal rights, including copyright, in and to the Drawings, Specifications and other documents prepared by Architect. © 2025 C.J. Light Associates

TRACY RESIDENCE
1020 WHITE SAILS WAY
NEWPORT BEACH • CALIFORNIA • 92625



Exterior Elevation Notes

- E1. CONTRACTOR TO FIELD VERIFY ALL NEW DOOR AND WINDOW OPENINGS, AND HEADER HEIGHTS AS WELL. SEE SCHEDULES
- E2. (N) SMOOTH PLASTER FINISH O/ CONTINUOUS BITUTHANE WRAP O/ BUILDING PAPER - TYPICAL
- E3. (N) METAL WINDOW & DOOR FRAMES - TYPICAL AS SELECTED BY OWNER
- E4. (N) CLASS "A" BUILT UP ROOF - AS SELECTED BY OWNER
- E5. (N) WOOD GARAGE DOOR AS SELECTED BY OWNER
- E6. (N) METAL GUTTERS AND DOWN SPOUTS - TO MATCH WITH EXISTING - TIE TO EXISTING AND OR NEW YARD DRAINS - TYPICAL
- E7. (N) IPE WOOD FINISH O/ CONTINUOUS BITUTHANE WRAP O/ BUILDING PAPER - TYPICAL FOR ALL NEW LID (EAVE / SOFFIT CONDITIONS) - TO MATCH WITH EXISTING
- E8. (E) "AS BUILT" DECORATIVE STONE FLATWORK PAVERS OVER (E) CONCRETE PATIOS, STEPS, MISC. WALKWAYS, ETC. ALSO, ADDED ON TOP OF (N) CLASS "A" BUILT UP ROOF SYSTEM FOR (N) ROOF FOR (N) 2 - CAR GARAGE.
- E9. (E) "AS BUILT" DECORATIVE STONE VENEER APPLIED OVER (E) "AS BUILT" PLANTER WALLS, (E) EXTERIOR HOUSE WALL SURFACES, (E) LOW WALLS, AND (N) PLANTER WALLS, ETC.
- E10. (E) "AS BUILT" DECORATIVE METAL HORIZONTAL SIDING APPLIED OVER (N) 2 CAR GARAGE, AND OVER (E) CONCRETE PLANTER RETAINING WALL (ABOVE GARAGE)



ELEVATIONS

Job Number: 2127

Scale: 1/4" = 1'-0"

Date:
HOA: Preliminary Plan Submittal :
February 6, 2025
HOA: Preliminary Plan Approval:
March 26, 2025

Variance Package : 7-17-25



A5

60



NOTE: PLANTING CONCEPT ONLY,
PENDING LANDSCAPE ARCHITECT

RENDERED ELEVATION



Stucco:
To Match Existing
La Habra / Merlex
SBMF Base 200
Color: 289998

①



Wood Fascia and
Eaves:
To Match Existing
Custom Stain Grade

②



Flat Stone:
Steps, Pavers, Flat
Roof Applied on top of
Class 'A' assembly
over Garage

③



Door/Window
Frames:
To Match Existing
Stainless Steel

④



Painted Metal
Gutters, Downspouts,
and Metal Trims:
To Match Existing
Dunn Edwards
DEA 002
Black

⑤



Stone Veneer:
Entry Walls, Planters

⑥



New Pea Gravel
Covering:
To Match Existing
Roof

⑦



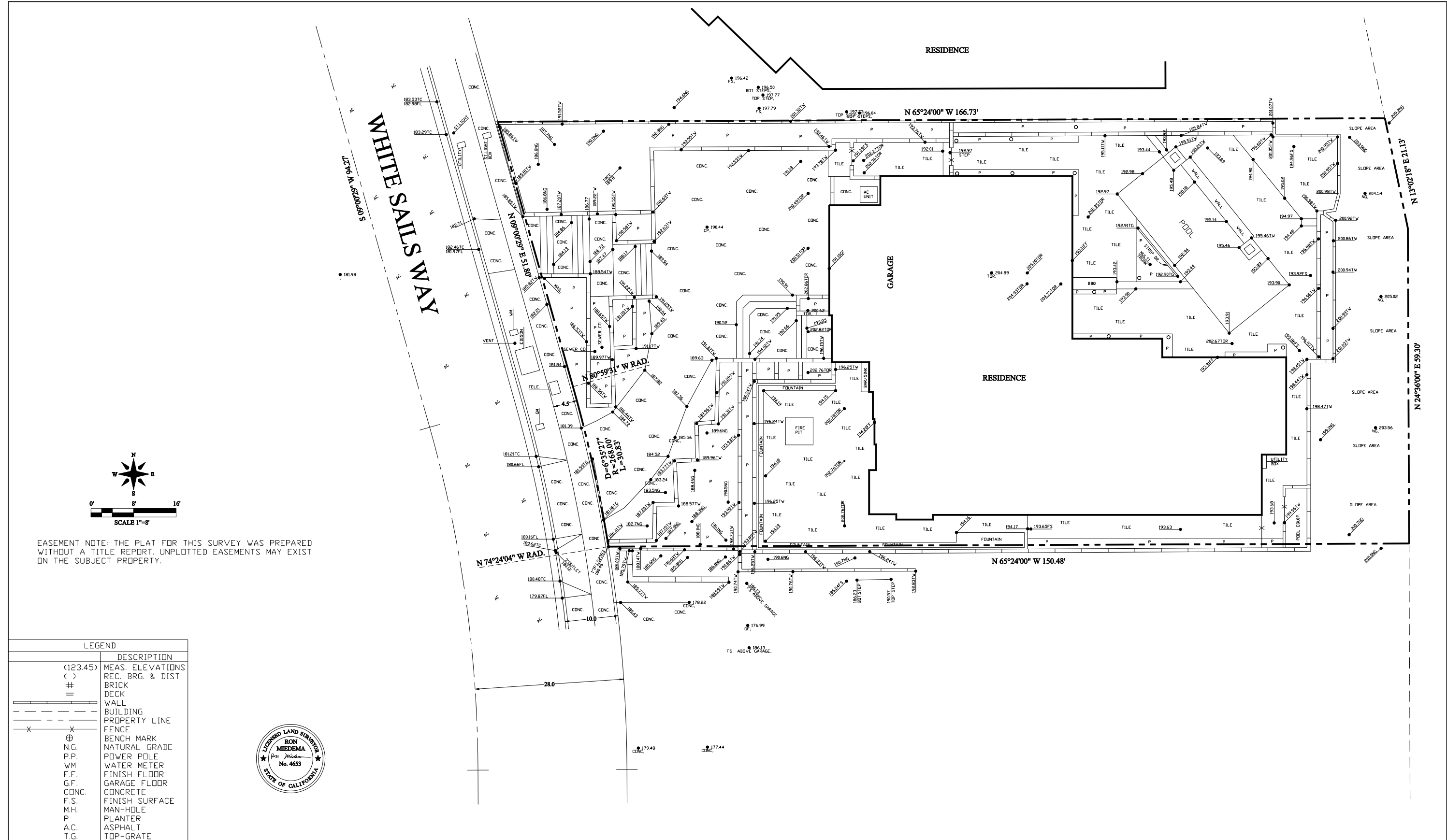
PHOTO OF EXISTING ELEVATION

TRACY RESIDENCE

1020 WHITE SAILS WAY
NEWPORT BEACH CA 92629

PROPOSED STREET ELEVATION
AND COLOR BOARD

MARCH 14, 2025

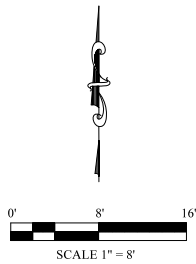


EASEMENT NOTE: THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

LEGEND	
	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BRICK
=	DECK
---	WALL
- - -	BUILDING
- - -	PROPERTY LINE
- x -	FENCE
⊕	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P.	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRATE



RdM SURVEYING INC. RON MIEDEMA L.S. 4653 23016 LAKE FOREST DR. #409 LAGUNA HILLS, CA 92653 (949) 858-2924 OFFICE (949) 422-1869 CELL RDMSURVEYING@CDX.NET	TOPOGRAPHIC SURVEY JOB: 86-69 DATE: 7/21/2022	OWNER: Mike Tracy	LEGAL DESCRIPTION: LOT 30 TRACT NO. 2202 M.M. 123/22-26	BENCH MARK: County of Orange 3k 55 99 Elevation = 145.20 NAVD 88 Datum	ADDRESS OF PROJECT: 1020 WHITE SAILS WAY NEWPORT BEACH
--	---	-------------------	--	--	--

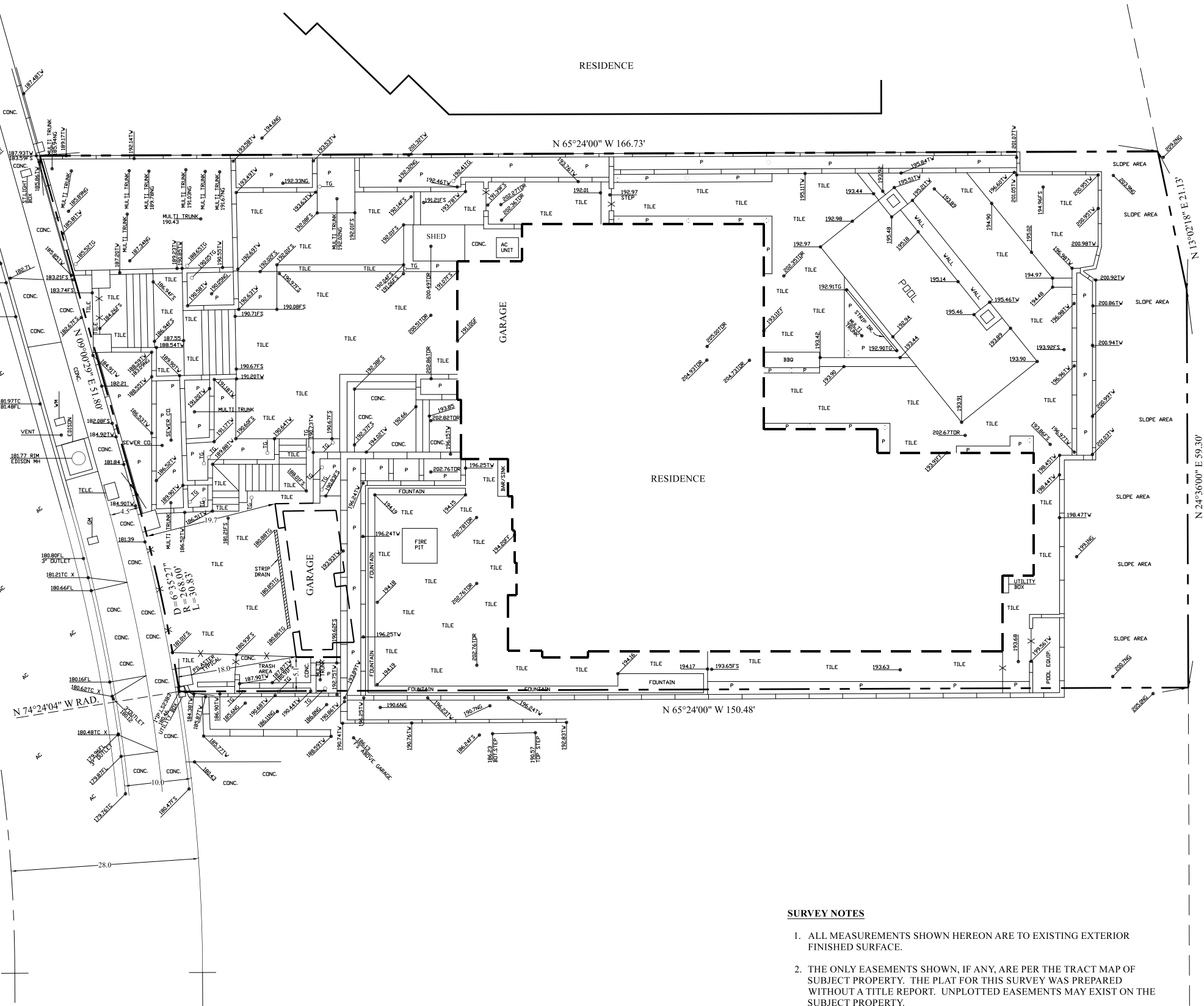


WHITE SAILS WAY

LEGEND

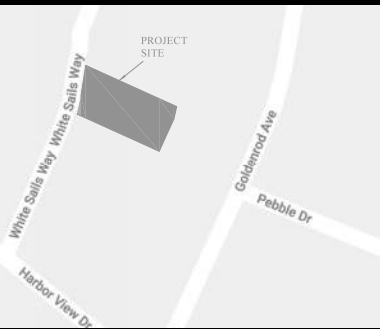
DESCRIPTION

(123.45)	MEASURED ELEVATIONS
()	RECORD BERING & DISTANCE
#	BRICK
Δ	CONCRETE
—	DECK
—	WALL
—	BUILDING
—	CENTER LINE
—	PROPERTY LINE
—	FENCE
⊙	BENCH MARK
AC	ASPHALT
CF	CURB FACE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
GF	GARAGE FLOOR
GM	GAS METER
L&T	LEAD & TAG
MH	MAN HOLE
NG	NATURAL GRADE
P	PLANTER
PP	POWER POLE
TC	TOP OF CURB
TW	TOP OF WALL
TG	TOP OF GRATE
TOR	TOP OF ROOF
S&W	SPIKE & WASHER
WM	WATER METER
WV	WATER VALVE



SURVEY NOTES

- ALL MEASUREMENTS SHOWN HEREON ARE TO EXISTING EXTERIOR FINISHED SURFACE.
- THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.
- SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.



VICINITY MAP
NOT TO SCALE

ADDRESS OF PROJECT

1020 WHITE SAILS WAY
NEWPORT BEACH, CA

OWNER

MICHAEL TRACY

LEGAL DESCRIPTION

LOT 30 OF TRACT NO. 2202

APN 458-671-17

BENCH MARK

COUNTY OF ORANGE BENCH MARK 3K 55 99
ELEVATION = 145.20
NAVD 88 DATUM

TOPOGRAPHIC SURVEY

JOB: 86-69 DATE: 7/21/2022;
UPDATED FRONT OF LOT 7/18/2024



RDM
SURVEYING INC.

RON MIEDEMA L.S. 4653
23016 LAKE FOREST DRIVE #409
LAGUNA HILLS, CA 92653
(949) 858-2924 OFFICE
(949) 422-1869 CELL
RDMSURVEYING@COX.NET



INTENTIONALLY BLANK PAGE