



# CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

April 30, 2026  
Agenda Item No. 3

**SUBJECT:** Burgess Residence (PA2025-0246)

- Coastal Development Permit
- Modification Permit

**SITE LOCATION:** 1512 West Ocean Front, Unit A-C

**APPLICANT:** John Morgan, Architect

**OWNERS:** S&G Beach Property LLC

**PLANNER:** Jerry Arregui, Assistant Planner  
949-644-3219 or jarregui@newportbeachca.gov

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## **LAND USE AND ZONING**

- **General Plan Land Use Plan Category:** Two Unit Residential (RT)
- **Zoning District:** Two-Unit Residential (R-2)
- **Coastal Land Use Plan Category:** Two Unit Residential – 20.0 - 29.9 DU/AC (RT-D)
- **Coastal Zoning District:** Two-Unit Residential (R-2)

## **PROJECT SUMMARY**

A request for a coastal development permit (CDP) to allow renovations to an existing two-story, nonconforming triplex. The project includes a 620-square-foot second floor addition, a new 407-square-foot third floor, and the reclassification of an existing unit into an Accessory Dwelling Unit (ADU), resulting in a three-story, 3,031-square-foot duplex with a 449-square-foot internal ADU. The existing nonconforming, 535-square-foot three-car garage will be demolished to construct a new 572-square-foot attached two-car garage and a two-car, tandem, carport. A modification permit is requested to allow a reduced carport parking space width of 8 feet, 4 inches, whereas the Newport Beach Municipal Code (NBMC) requires 9 feet, 3 inches be provided (Project).

## **RECOMMENDATION**

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and

- 3) Adopt Draft Zoning Administrator Resolution No. \_ approving the Coastal Development Permit and Modification Permit filed as PA2025-0246 (Attachment No. ZA 1).

## **DISCUSSION**

### *Land Use and Development Standards*

- The subject property is located on the Newport Peninsula and adjacent to the Ocean Front Board Walk and Balboa Peninsula Beach.
- The surrounding neighborhood is generally comprised of two- and three-story, single- to three-unit dwellings which are between 3,000 and 4,000 square feet in size, as shown in Figure 1 below.



*Figure 1: Oblique Image of Subject Property and Surrounding Area*

- The property is located within the Two-Unit Residential (R-2) Coastal Zoning District, which allows two-unit (i.e. duplex) residential development on a single legal lot. The project will renovate an existing triplex, resulting in a duplex with an internal ADU. The Project will not result in a loss of residential density and will conform to the density requirement of the R-2 Coastal Zoning District. Thereover, the Project is therefore consistent with the City's Coastal Land Use Plan (CLUP), General Plan, and Zoning Code, and the Housing Crisis Act of 2019.
- The property is currently developed with a 2,452-square-foot, two-story, triplex with a three-car garage. The triplex is considered a nonconforming use, as the number of units exceeds the allowable density for the R-2 zoning district. The existing garage is considered nonconforming, as it does not provide the minimum number of parking spaces required for a triplex. Further, the property has existing accessory encroachments into the required setback areas including: a porch which encroaches 34 inches, a trellis which encroaches 36 inches, and the garage which encroaches 6 inches.

- The project will renovate the triplex resulting in a three-story, 3,031-square-foot duplex with a 449-square-foot internal ADU, 572-square-foot two-car garage, and a two-car, tandem carport. All encroachments into the setbacks will be removed.
- The project’s design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
- Section 21.52.035(C)(2) (Projects Exempt from Coastal Development Permit Requirements – Other Structures) of the NBMC specifies that projects that increase floor area by more than 10% or add a story to an existing structure are not exempt from Coastal Development Permit requirements. Because the project does both, a CDP is required. The property is not eligible for a waiver for de minimis development because the property is in the Coastal Commission Appeal Area.
- The proposed duplex and internal ADU conform to all applicable Title 21 (Local Coastal Implementation Program) development standards including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

<b>Table 1 – Development Standards</b>			
<b>Development Standard</b>	<b>Standard</b>	<b>Existing</b>	<b>Proposed</b>
<b>Setbacks (min.)</b>			
Front (Boardwalk)	5 feet	4 feet, 6 inches	5 feet, 1 inch
Side	3 feet	3 feet <sup>1</sup>	3 feet
Rear (Ocean Front Alley)	0 feet	5 feet	6 inches
<b>Floor Area Limit (max.)</b>	4,680 sq. ft.	2,987 sq. ft.	4,051 sq. ft.
<b>3<sup>rd</sup> Floor Limit (max.)</b>	468 square feet	NA	406 sq. ft.
<b>Parking (min.)</b>	2-car garage and 2 carport spaces <sup>2</sup>	3-car garage <sup>3</sup>	2-car garage and 2 carport spaces
<b>Height (max.)</b>	24-feet flat 29-feetsloped	22 feet, 2 inches 23 feet	23 feet, 6 inches flat 28 feet, 10 inches sloped
<b>Open Volume (min.)</b>	351 square feet	1,346 sq. ft. (approx.)	798 square feet

<sup>1</sup> While the existing building conforms to the 3-foot side setback, several accessory structures such as a trellis, porch and the attached garage encroach into the side setback.

<sup>2</sup> 20.40.040 (Off-Street Parking Spaces Required) a two-unit dwelling (i.e. duplex) requires a two-car garage and a two-car, carport. Section 21.48.200(G)(8) (Accessory Dwelling Units – Parking) of the NBMC specifies that parking is not required for an ADU internal to the principal residence. The project is for a duplex with an internal ADU; therefore, parking is only required for the duplex.

<sup>3</sup> Section 21.40.040 of the NBMC requires two parking spaces per unit and an additional guest parking space for triplexes. The existing three-car garage is therefore nonconforming.

**Hazards**

- The project proposes an addition to the second floor, a new third floor, a new garage, and a new carport. While the project is not considered a new structure, the existing first floor will maintain a minimum top of slab elevation ranging from 10.9 feet to 13.77 feet based on the North American Vertical Datum of 1988 NAVD (NAVD 88) which complies with the minimum 9.0-foot NAVD 88 top of slab elevation requirement for interior living areas of new structures. The property is located within an area designated by the Federal Emergency Management Agency (FEMA) as Flood Zone X, indicating a reduced flood risk due to the approximately 500-foot-wide sandy beach located in front of the Property. Given this reduced flood risk designation and the Project's addition being limited to the second and third floors, a coastal hazards report was not required.
- Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC requires the property owner to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC. These requirements are included as Condition of Approval Nos. 10 and 11 of the Draft Resolution (Attachment No. ZA 1) and will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

#### *Water Quality*

- A preliminary Water Quality Management Plan (WQMP) has been prepared for the project by Thomas M. Ruiz dated November 6, 2025. The WQMP includes a polluted runoff and hydrologic site characterization, a sizing standard for Best Management Practices (BMPs), the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. The final priority WQMP shall be reviewed and approved by the Building Division during plan check.

### *Public Access and Views*

- The property is located within the first public road and the sea. Section 21.30A.040 (Determination of Public Access/ Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project will remodel an existing triplex, resulting in a duplex with an internal ADU. The overall number of units will be maintained. Therefore, the project does not involve a change in land use or intensity that will result in increased demand for public access and recreation opportunities.
- The project's new two-car garage and two-car carport is expected to increase coastal access opportunities by providing an additional on-site parking space, thereby reducing demand for on-street parking.
- The property is located adjacent to an approximately 500-foot-wide public beach. Lateral access to the beach is provided directly in front of the Property along the Ocean Front Boardwalk. The property is located between 15<sup>th</sup> and 16<sup>th</sup> Street, which are identified by the CLUP as public beach access locations. The project is located entirely within private property and does not include any features that would obstruct coastal access at these locations or interfere with the existing nearby public beach access locations.
- The property is not located adjacent to a coastal view road but is located near a designated Coastal Viewpoint as identified in the CLUP. The nearest identified coastal viewpoint is located at Veterans Memorial Park which is approximately 350 feet to the north of the property across West Balboa Boulevard; however, the project is not visible from that location due to the intervening development.
- The project design complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope that is consistent and visually blends in with the existing pattern of development along the Ocean Front Boardwalk. As designed, the project will not negatively impact the existing coastal views from the locations identified above or from the beach; therefore, it does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

### *Modification*

- Per Table 3-10 (Off-Street Parking Requirements) of Section 20.40.040 (Off-Street Parking Spaces Required) a two-unit dwelling (i.e. duplex) requires a two-car garage and a two-car, carport. The project proposes a two-car garage and a two-car, tandem, carport. No parking for the internal ADU is required per Section 20.48.200(F)(8) (Accessory Dwelling Units – Parking) of the NBMC.

- The property measures 29.99 feet in width. Table 3-14 (Minimum Interior Dimensions) of Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC establishes the minimum interior dimensions for parking spaces. On a lot 30 feet wide or less, two side-by-side parking spaces require a minimum width of 17 feet, 6 inches, and a single car parking space requires a minimum width of 9 feet, 3 inches. The modification permit allows for a reduced width within the carport of 8 feet, 4 inches. The minimum required depth of 19 feet (35 feet for tandem) is provided.
- Section 21.30.110(D)(9) (Setback Regulations and Exceptions – Garages and Carports for Duplexes) of the NBMC provides an allowance for garages and carports for duplexes on lots less than 30 feet, 10 inches wide to encroach into the required side setback. One garage wall, carport wall, or support may encroach into the side setback, provided a minimum of 26 inches is maintained to the property line and the other side yard maintains a 36-inch unobstructed passageway. The project does not qualify for this standard, as carports are not considered an unobstructed passageway under the California Building Code (CBC). However, if the project were a single- or two-unit dwelling, it would be subject to the California Residential Building Code, where Section 20.30.110(D)(9) would be allowed.
- Providing a two-car garage alongside a tandem carport while maintaining the required 3-foot side setbacks is physically infeasible on a lot of this width. As shown in figure 2 below, the project provides the carport parking spaces partially within the buildable area of the lot and partially within the required side setback area, which is allowed pursuant to Section 20.40.090(C) (Parking Standards for Residential Uses – Location of Parking) of the NBMC. This allows for the opposite side yard setback to provide the required 36-inch unobstructed walkway, as required by the CBC, which provides adequate space for the emergency services and the occupants to access the property.

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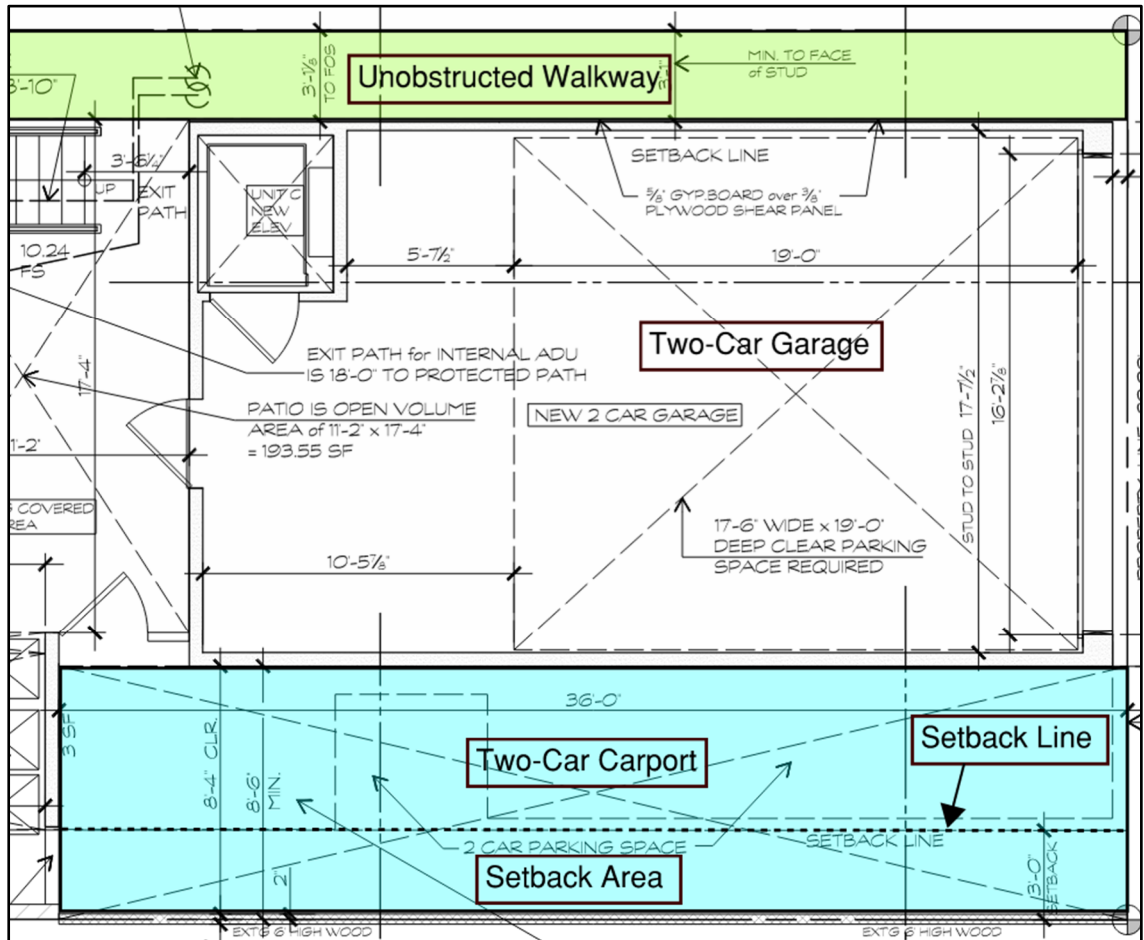


Figure 2: Proposed Carport Design and Unobstructed Walkway

- The project maintains the two first-floor units located behind the existing garage. A typical new construction duplex includes a two-car garage with inline tandem carport spaces, however achieving this configuration would require a reconfiguration of the existing first-floor units, significantly increasing the scope of the project and impacting its feasibility while providing negligible benefit.
- The purpose and intent of the NBMC's parking requirements is for duplexes to provide a garage and carport that accommodates the parking of four vehicles. Although the carport proposes a reduced width, it still provides an area suitable for the parking of two vehicles. The carport, in conjunction with the two-car garage, will provide the minimum number of required parking spaces.
- Condition of Approval No. 9 requires the garage and carport to be permanently available for parking purposes with the proposed dimensions to remain unobstructed.

## **ENVIRONMENTAL REVIEW**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 1 exempts additions to an existing structure of up to 10,000 square feet if the project is in an area where all public services and facilities are available and the area in which the project is located is not environmentally sensitive. The project is a 1,027-square-foot addition to an existing structure in a developed neighborhood, served by existing utilities, and is not within an environmentally sensitive area. Therefore, the Class 1 exemption is applicable.

The exceptions to these categorical exemptions under Section 15300.2 of the CEQA guidelines are not applicable. The Project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, and is not a hazardous waste site, and is not identified as a historical resource.

## **PUBLIC NOTICE**

Notice of this public hearing was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the NBMC. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

## **APPEAL PERIOD:**

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



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Jerry Arregui  
Assistant Planner

JP/ja

Attachments:       ZA 1   Draft Resolution  
                          ZA 2   Vicinity Map  
                          ZA 3   Applicant's Project Description  
                          ZA 4   Project Plans

# **Attachment No. ZA 1**

Draft Resolution

## RESOLUTION NO. ZA2026-###

### **A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT AND MODIFICATION PERMIT FOR ADDITIONS TO AND THE CONVERSION OF AN EXISTING TRIPLEX INTO A TWO-UNIT DWELLING WITH AN ACCESSORY DWELLING UNIT (ADU), A TWO-CAR GARAGE, AND A REDUCED-WIDTH TWO-CAR TANDEM CARPORT LOCATED AT 1512 WEST OCEAN FRONT, UNIT A-C (PA2025-0246)**

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

#### SECTION 1. STATEMENT OF FACTS.

1. An application was filed by John Morgan, Architect (Applicant) on behalf of S&G Beach Property LLC (Owner), concerning the property located at 1512 West Ocean Front and legally described as Lot 7 in Block 15, Section B of the Newport Beach Tract (Property).
2. The Applicant requests a coastal development permit (CDP) to allow renovations to an existing two-story, nonconforming triplex. The project includes a 620-square-foot second-floor addition, a new 407-square-foot third floor, and the reclassification of an existing unit into an Accessory Dwelling Unit (ADU), resulting in a three-story, 3,031-square-foot duplex with a 449-square-foot internal ADU. The existing 535-square-foot nonconforming, three-car garage will be demolished to construct a new 572-square-foot attached two-car garage and a two-car, tandem, carport. A modification permit is requested to allow a reduced carport parking space width of 8 feet, 4 inches, whereas the Title 20 (Planning and Zoning) of the Newport Beach Municipal Code (NBMC) requires 9 feet, 3 inches be provided (Project).
3. The Property is categorized as Two Unit Residential (RT) by the General Plan Land Use Element and is located within the Two-Unit Residential (R-2) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Two Unit Residential – 20.0 - 29.9 DU/AC (RT-D), and it is located within the Two-Unit Residential (R-2) Coastal Zoning District
5. A public hearing was held on April 30, 2026, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with Chapters 20.62 and 21.62 (Public Hearings) of the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

#### SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code

of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.

2. The Class 1 (Existing Facilities) exemption includes additions to an existing structure of up to 10,000 square feet if the project is in an area where all public services and facilities are available and the area in which the project is located is not environmentally sensitive. The Project is a remodel of and a 1,027-square-foot addition to an existing structure in a developed neighborhood, served by existing utilities, and is not within an environmentally sensitive area. Therefore, the Class 1 exemption is applicable.
3. The exceptions to these categorical exemptions under Section 15300.2 of the CEQA guidelines are not applicable. The Project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, and is not a hazardous waste site, and is not identified as a historical resource.

### SECTION 3. REQUIRED FINDINGS.

#### ***Coastal Development Permit***

In accordance with Section 21.52.015(F) (Coastal Development Permits - Findings and Decision) of the NBMC, the following findings, and facts in support of such findings are set forth:

#### Finding:

- A. *Conforms to all applicable sections of the certified Local Coastal Program.*

#### Facts in Support of Finding:

1. Pursuant to Section 21.52.035(C)(2) (Projects Exempt from Coastal Development Permit Requirements – Other Existing Structures) of the NBMC, projects that increase floor area by more than 10% or add a story are not exempt from obtaining a CDP. Because the Project does both, a CDP is required.
2. The Project complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height, and number and type of parking.
  - a. The maximum floor area limitation is 4,680 square feet and the total proposed floor area is 4,051 square feet.
  - b. There is not a maximum square footage for an internal ADU, however 449 square feet is proposed.
  - c. The Property has existing encroachments into the side yard setback, including a porch encroaching 34 inches and a trellis and staircase both encroaching 36

inches. These encroachments will be removed as part of the Project. The existing garage also encroaches 6 inches into the side setback and will be reconstructed for compliance. Upon completion, the Project will meet all minimum required setbacks, which are: five feet along the front property line abutting the Ocean Front Boardwalk, three feet along each side property line, and no minimum setback requirement from West Oceanfront Alley.

- d. The highest guardrail is 23 feet, 6 inches from the established grade (10.85 feet based on the North American Vertical Datum of 1988 NAVD [NAVD 88]) and the highest ridge is 28 feet, 10 inches from the established grade, which complies with the maximum height requirements.
  - e. The Property is currently developed with a triplex and a nonconforming three-car garage. The existing garage is considered nonconforming for number of spaces, as a triplex requires two parking spaces per unit and an additional guest parking space. The Project converts the existing triplex into a duplex with an internal ADU and provides a two-car garage and a two-car, carport, complying with the minimum four-car parking requirement for a duplex. Pursuant to Section 21.48.200(G)(8) (Accessory Dwelling Units – Parking) of the NBMC, parking is not required for an ADU that is internal to the principal residence.
3. While the Project converts the existing triplex into a duplex with an internal ADU, the Project complies with the Housing Crisis Act of 2019 and Senate Bill 8 (Skinner) because it does not result in the loss of residential density. The State Department of Housing and Community Development (HCD) has verified with the City in an email dated March 23, 2022, that an ADU is considered a housing unit under Government Code Section 66300 provisions to replace existing units. The Owner has certified that the units are not "protected" units under Section 66330 Subdivision (d)(2). The Project is consistent with the General Plan, Local Coastal Program, and Zoning designations that allow the two-unit and accessory dwelling unit land uses. Table 2.1.1-1 (Land Use Categories) of the CLUP specifies that the Two Unit Residential (RT) category is intended to provide primarily for two-unit residential development such as duplexes or townhomes. Pursuant to Table 21.18-1 (Allowed Uses) of Section 21.18.20 (Residential Zoning District Land Uses) of the NBMC, "Two-Unit Dwellings" and "Accessory Dwelling Units" as allowed uses in the R-2 Coastal Zoning District. The Project results in a two-unit dwelling and an ADU which is consistent with the R-2 Coastal Zoning District and land use designations and does not result in a loss of residential density.
4. Pursuant to Table 21.18-1 (Allowed Uses) of Section 21.18.20 (Residential Zoning District Land Uses) of the NBMC "Multi-Unit Dwellings" are not allowed within the R-2 Coastal Zoning District; however, a triplex currently exists on the Property. Pursuant to Section 21.38.030 (Determination of Nonconformity) of the NBMC, the triplex is considered legal nonconforming as it was lawfully established but does not conform to the current R-2 Coastal District density requirement, as only two units are allowed. The Project is for a remodel of the existing structure which results in a duplex with an internal ADU. Pursuant to Section 21.48.200 (Accessory Dwelling Units) of the NBMC, an ADU is allowed to exceed the density of a lot. Therefore, the proposed duplex and ADU conform the density requirements of the R-2 Coastal Zoning District.

5. The neighborhood is predominantly developed with two- and three-story, single-, two- and three-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development and expected future development.
6. The Project proposes an addition to the second floor a new third floor, and a new garage. While the Project is not considered a new structure, the existing first floor will maintain a minimum top of slab elevation ranging from 10.9 feet NAVD 88 and to 13.77 NAVD 88, which complies with the minimum 9.0-foot NAVD 88 top of slab elevation requirement for interior living areas of new structures. The Property is located within an area designated by the Federal Emergency Management Agency (FEMA) as Flood Zone X, indicating a reduced flood risk due to the approximately 500-foot-wide sandy beach located in front of the Property. Given this reduced flood risk designation and the Project's addition being limited to the second and third floors, a coastal hazards report was not required.
7. Pursuant to Section 21.30.030(C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the NBMC, the Owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion, and sea level rise). The Owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC. These requirements are included as Condition of Approval Nos. 10 and 11 which will need to be satisfied prior to final building inspection, and prior to the issuance of building permits, respectively.
8. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance
9. Pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the NBMC, due to the Project containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary Water Quality Management Plan (WQMP) has been prepared for the Project by Thomas M. Ruiz dated, November 6, 2025. The WQMP includes a polluted runoff and hydrologic site characterization, a sizing standard for Best Management Practices (BMPs), the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs. The final priority WQMP shall be reviewed and approved by the Building Division during plan check.
10. The Property is not located within the vicinity of coastal view roads but is located within the vicinity of a designated coastal viewpoint as identified in the Coastal Land Use Plan

(CLUP). The potential for the Project to degrade coastal views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC. The nearest identified coastal viewpoint is located at Veterans Memorial Park, approximately 350 feet north of the Property, across West Balboa Boulevard. The Project is not visible from that location due to the intervening blocks of development and therefore does not have the potential to degrade coastal views from that designated viewpoint.

11. While the adjacent beach is not a designated viewpoint, the Project is visible from it and was analyzed for potential impacts to the visual quality of the coastal zone. The Project remodels and adds to an existing structure, presenting an opportunity to enhance an aging structure with a high-quality coastal design typical of remodels and new developments throughout the City. To soften the façade, the design incorporates large windows on the first and second floor and a second-floor balcony with a glass guardrail.
12. The Project design complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards, including the third floor setbacks and square footage limitations, and maintains a building envelope that is consistent and visually blends within the existing pattern of development along the Ocean Front Boardwalk. As designed, the Project will not negatively impact coastal views from the location identified above or from the beach; therefore, it does not have the potential to degrade the visual quality of the coastal zone or result in significant adverse impacts on public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Facts in Support of Finding:

1. The Property is located between the first public road and the sea. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bears a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project maintains the overall number of dwelling units and does not involve a change in land use or intensity that will result in increased demand for public access and recreation opportunities.
2. The Project's new two-car garage and two-car carport is expected to improve public access opportunities by providing one additional on-site parking space, thereby reducing demand for public street parking.
3. The Property is located adjacent to an approximately 500-foot-wide public beach. Lateral access is provided along the Ocean Front Boardwalk, directly in front of the Property. The Property is located between 15<sup>th</sup> and 16<sup>th</sup> Street, which are identified by the CLUP as public beach access locations. The Project is located entirely within private property and does not include any features that would obstruct coastal access along the Ocean Front Boardwalk or interfere with the existing nearby public beach access locations at the 15<sup>th</sup> and 16<sup>th</sup> Street ends.

**Modification Permit**

In accordance with Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- C. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. The Property is currently developed with a triplex. The Project will renovate the triplex into a three-story, 3,031-square-foot duplex with an 449-square-foot internal ADU, 572-square-foot garage, and a two-car carport. Surrounding residential development generally ranges from two- to three-story, single- to three-unit dwellings which are between 3,000 and 4,000 square feet. The Project is consistent with the existing pattern of development in this area.
2. The Project results in a duplex and internal ADU with a two-car garage and two carport spaces which results in a conforming density with the proper number of parking spaces. The modification is only for a reduced width of the proposed carport, not a reduced number of parking spaces. Therefore, the Project will be consistent with the future pattern of development as nonconforming triplexes are expected are redeveloped with confirming density and parking

Finding:

- D. *The granting of the modification permit is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. Per Table 3-10 (Off-Street Parking Requirements) of Section 20.40.040 (Off-Street Parking Spaces Required) a two-unit dwelling (i.e. duplex) requires a two-car garage and a two-car, carport. The Project proposes a two-car garage and a two-car, tandem, carport. No parking for the internal ADU is required per Section 20.48.200(F)(8) (Accessory Dwelling Units – Parking) of the NBMC.
2. Table 3-14 (Minimum Interior Dimensions) of Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC establishes the minimum interior dimensions for parking spaces. On a lot 30 feet wide or less, two side-by-side parking spaces require a minimum width of 17 feet, 6 inches, and a single car parking space requires a minimum width of 9 feet, 3 inches. The modification permit allows for a reduced single car width within the carport of 8 feet, 4 inches. The minimum required depth of 19 feet (35 feet for tandem) is provided.

3. The Property measures 29.99 feet in width. Providing a compliant two-car garage alongside a tandem carport while maintaining the required 3-foot side setbacks is physically infeasible on a lot of this width. The Project provides carport parking spaces partially within the buildable area of the lot and partially within the required side setback area, which is allowed pursuant to Section 20.40.090(C) (Parking Standards for Residential Uses – Location of Parking) of the NBMC.
4. Section 20.30.110(D)(9) (Setback Regulations and Exceptions – Garages and Carports for Duplexes) of the NBMC provides an allowance for garages and carports for duplexes on lots less than 30 feet, 10 inches wide to encroach into the required side setback. Where three parking spaces are provided across the rear of such a lot, one garage or carport wall or support may encroach into the side setback, provided a minimum of 26 inches is maintained to the property line and the other side yard maintains a 36-inch unobstructed passageway. Because the Project includes three total dwelling units, it is reviewed under the California Building Code (CBC). The CBC does not consider the carport as an unobstructed passageway; therefore, the Project cannot use Section 20.30.110(D)(9) of the NBMC. If the Project only provided two or less total dwelling units, it would be subject to the California Residential Building Code, which does not consider the carport to be an obstructed passage way and the encroachment under Section 20.30.110(D)(9) would be allowed.

Finding:

- E. The granting of the modification permit is necessary due to practical difficulties associated with the property and the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. The purpose and intent of the NBMC's duplex parking requirements is to provide parking for four vehicles: two garage and two covered spaces. Although the proposed carport has a reduced width, it still provides an area suitable for vehicle parking and meets the minimum number of required parking spaces.
2. Granting the modification permit is necessary to allow a reasonable reduction in parking space width in support of the larger project, which brings a nonconforming triplex with nonconforming parking into compliance with the number and type of parking required for the resulting duplex.
3. The carport is designed to provide the maximum amount of clear space feasible given the constraints of the lot width.

Finding:

- F. There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. The Project maintains the two first-floor units located behind the existing garage. A typical new construction duplex includes a two-car garage with inline tandem carport spaces, however achieving this configuration would require a reconfiguration of the existing first-floor units, significantly increasing the scope of the Project and impacting its feasibility while providing negligible benefit.
2. The exterior wall of the garage is located directly along the required 3-foot side setback line. To accommodate the minimum width of a single car carport space within the buildable area of the lot would require the garage to encroach 11 inches into the side setback. While this is allowed by Section 20.30.110(D)(9) of the NBMC, it is not allowed by the Building Code and is therefore infeasible.
3. The Applicant proposed a total addition of 1,064-square-feet. The Project could keep the existing nonconforming three-car garage, and avoid the request for a modification, however the Project would be subject to Section 20.38.060 (Nonconforming Parking) of the NBMC which limits additions to properties with nonconforming parking to a maximum of 10% of the existing gross floor area of the structure. This reduces the proposed addition from 1,027 to 298 square feet which significantly impacts the objectives of the Project and would not provide similar benefits to the Applicant.
4. The proposed carport width is 8 feet, 4 inches wide and the proposed depth is 36 feet, adequate for the parking of two vehicles. The carport, in conjunction with the two-car garage, will provide the minimum number of required parking spaces. The Project will increase the number of off-street spaces provided. The Project is not expected to be detrimental to any neighboring properties, which in many cases do not provide the minimum required parking, and will ultimately benefit the public by reducing on-street parking demand.

Finding:

- G. *The granting of the modification permit would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding

1. Fact 4 in support of Finding A is hereby incorporated by reference.
2. Fact 4 in support of Finding F is hereby incorporated by reference.
3. The Project ensures that 36-inch unobstructed walkway is provided along the west side of the structure, which provides adequate space for the emergency services and the occupants to access the Property.

4. Other than the proposed width of the carport, the Project conforms to all applicable development standards, including floor area limit, setbacks, height and number and type of parking. The Project will be consistent in scale with other dwellings in the neighborhood.
5. Condition of Approval No. 9 requires the garage and carport to be permanently available for parking purposes with the proposed dimensions to remain unobstructed.
6. The Building Division and Fire Department have reviewed the Project and have provided Conditions of Approval Numbers 26-35 which require the Applicant to obtain an applicable building and fire permits.

**SECTION 4. DECISION.**

**NOW, THEREFORE, BE IT RESOLVED:**

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment, and that the exceptions to this Exemption do not apply.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit and the Modification Permit filed as PA2025-0246, subject to the conditions outlined in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 (Local Coastal Program Implementation Plan), of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in accordance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

**PASSED, APPROVED, AND ADOPTED THIS 30<sup>TH</sup> DAY OF APRIL 2026.**

---

Liz Westmoreland, AICP, Zoning Administrator

**EXHIBIT "A"**

CONDITIONS OF APPROVAL

*(Project-specific conditions are in italics)*

**Planning Division**

1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this Coastal Development Permit or the processing of a new Coastal Development Permit.
3. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
4. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this Coastal Development Permit.
5. This approval may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
6. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
7. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
8. *Any change to the approved plans, including any demolition or addition beyond the approved scope of work shall require review by the Planning Division prior to commencement of work. Significant changes may require an amendment to or the processing of a new modification permit or may require the carport to be modified into compliance with Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC.*
9. *The garage and carport shall be permanently available and maintained for parking purposes. The garage shall maintain a minimum interior clearance of 17 feet, 6 inches wide by 19 feet deep, which shall be kept clear of obstructions including cabinets, shelving, or similar features, except as provided in Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC, that prevents the ability to adequately*

*park two vehicles. The carport shall maintain a minimum clearance of 8 feet, 4 inches wide by 35 feet deep which shall be kept clear of obstructions.*

10. *Prior to final building permit inspection, an agreement in a form approved by the City Attorney between the Owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the property, or development of the property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.*
11. *Prior to the issuance of a building permit, the Owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.*
12. This approval does not authorize any new or existing improvements (including landscaping) on State tidelands, public beaches, or the public right-of-way.
13. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
14. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
15. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
16. Debris from demolition shall be removed from work areas each day and removed from the Property within 24 hours of the completion of the Project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
17. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.

18. Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
19. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
20. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
  - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
  - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, 2 or 1 short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
21. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturday, Sundays, or Holidays.
22. All noise generated by the proposed use shall comply with Chapter 10.26 (Community Noise Control) and other applicable noise control requirements of the NBMC.
23. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
24. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current

property owner or agent.

25. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Burgess Residence including but not limited to, the Coastal Development Permit and the Modification Permit filed as PA2025-0246**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

### **Building Division**

26. The Applicant shall obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the CBC.
27. *Building shall be designed under the CBC for a R2 occupancy.*
28. *Exterior wall and opening protection shall comply with Chapter 7 of the CBC.*
29. *Egress and Exiting shall comply with Chapter 10 of the CBC.*
30. Prior to the issuance of a building permit, the Applicant shall submit a final drainage and grading plan. The plan shall be subject to review and approval by the Building Division.
31. Prior to the issuance of a building permit, the Applicant shall submit a final construction erosion control plan. The plan shall be subject to review and approval by the Building Division.
32. Prior to the issuance of a building permit, the final Water Quality and Hydrology Plan/ Water Quality Management Plan (WQHP/WQMP) shall be reviewed and approved by the Building Division. Implementation shall comply with the approved Construction Pollution Prevention Plan and WQHP/WQMP and any changes could require separate review and approval by the Building Division.

### **Fire Department**

33. The fire sprinkler system shall comply with National Fire Protection Association (NFPA) 13R shall be installed.

34. A firewater monitoring system shall comply with NFPA 72.
35. A 36-inch wide or greater, unobstructed walkway shall be provided from the front to rear of the Property.

**Public Works Department**

36. *The existing wall located within the West Ocean Front right of way shall be removed.*
37. A new sidewalk per City Standard 180 shall be installed per the direction of the Public Works inspector.
38. A new sewer cleanout on the existing sewer lateral shall be installed per City Standard 406.

# **Attachment No. ZA 2**

Vicinity Map



# **Attachment No. ZA 3**

Applicant's Project Description

***John T. Morgan Jr.***

18682 Beachmont Avenue, North Tustin, Ca 92705

***ARCHITECT***

ph(714)730-2723  
fax(714)730-2724

March 25, 2026

City of Newport Beach  
Community Development Department  
Planning Department  
100 Civic Center Drive,  
Newport Beach, CA 92658-8915

Re: S&G Beach Property LLC  
1512 W. Ocean Front  
Newport Beach, CA 92663

Dear Planning Department,

My client, S&G Beach Property LLC owns the property listed above and wish to replace the existing 3 car garage with a new 2 car garage and add two new on site tandem parking spaces as well as add some new square footage to the rear of existing 2<sup>nd</sup> floor UNIT "C" and provide an exterior elevation facelift on the new UNIT "C" 2<sup>nd</sup> floor deck at the beach front side of the existing structure.

Project Description

The existing project site has an existing two unit duplex and junior ADU, three unit structure at this time on it with a detached 3 car garage and is 2 stories tall. Plans call for the demolition of the existing 3 car garage at the rear to reconstruct a new 2 car garage with new 2<sup>nd</sup> and 3<sup>rd</sup> floor square footage additions for UNIT "C" as well as create a new 2<sup>nd</sup> floor deck for UNIT "C" at the beach front and facelift the beach front side of the existing duplex. UNIT "A" 1<sup>st</sup> floor is receiving two new doors and a window change. The UNIT "B" Junior ADU is receiving a new door and one new window.

Many existing planter areas (119 sf) will remain unchanged during the new scope of work for this project. Existing planters to receive new drought tolerant planting .

Modification Request

My clients are requesting a modification to reduce the normal carport parking width from 8'-9" to 8'-4" . During preliminary project reviews, the fire department requested that the west side of the garage not encroach into the 3 foot setback to provide safer FIRE EGRESS paths from Unit's "C" and the new Internal ADU along that west side yard.

With code minimum parking width inside of the 2 car garage being provided at 17'-6" wide, allowing for drywall and wall framing, the carport space was reduced by a few inches.

Existing Non-Conformities

The existing duplex and junior ADU structure have multiple encroachments into required setbacks.

1. The existing beach front UNIT "C" exterior stairway leading up to the exterior UNIT "C" porch area encroaches into the beach front 5 foot required setback about 6" and into the required 3 foot side setback area about 36". These encroachments will be removed.
2. There is an existing open wood beamed trellis located on the easterly side of the existing structures that encroaches into the 3 foot side setback by 36" x about 10'-10" in length. This encroachment will be removed.
3. There is an existing entry porch for UNIT "A" located on the west side that encroaches into the required 36" setback 34" x about 5'-0" in length. This encroachment will be removed.
4. On the westerly side of the existing property, the existing side of garage is also encroaching into the 3 foot side setback about 6 1/2". This too will be removed and reconstructed to meet current zoning code for allowed garage encroachments into the side setback 26" clear from side property line when providing a 3<sup>rd</sup> car parking space width across the rear of the property.

With the remodeled duplex and junior ADU, new 2 car garage design and tandem carport parking, there will be no proposed non-allowed encroachments into any required setback areas.

Zoning Requirements

Flood Zone ..... X

Zoning is ..... R-2

The buildable area is ..... 2,340 s.f.

Two times the buildable area is ..... 4,680 s.f.

Lot Width is ..... 29.99' wide with non-parallel side property lines

Open volume requirement is 15% of 2,340 s.f. or 351 s.f.

Max. 3<sup>rd</sup> floor footage allowed is 20% of 2,340 or 468 s.f.

Setbacks

Front "Beach "	5'-0"
Rear " Alley "	0'-0"
Right Side	3'-0"
Left Side	3'-0"

Number of total existing bedrooms is .....	5
Number of new bedrooms added is .....	1
Lot area that is improvable .....	3,073 s.f.
Landscaped area .....	± 119 s.f.
Existing Hardscaped area .....	1,005.80 s.f.
New Hardscaped area .....	320 s.f.
New gravel area .....	60 s.f.

Existing Square Footage Calculations

The new square footages are as follows....

UNIT "A" 1 <sup>st</sup> Floor .....	542.00 s.f.
UNIT "B" 1 <sup>st</sup> Floor ... ( New Internal ADU) .....	448.75 s.f.
UNIT "C" 2 <sup>nd</sup> Floor .....	1,461.98 s.f.
<u>Total Existing Livable .....</u>	<u>2,452.73 s.f.</u>
<u>Existing 3 Car Garage .....</u>	<u>535.00 s.f.</u>
<u>Total Existing Structural .....</u>	<u>2,987.73 s.f.</u>

New Square Footage Calculations

New garage with elevator shaft is .....	572.00 s.f.
Screened wall by trach cans is .....	3.00 s.f.
New closed in side walls at front patio 1 <sup>st</sup> floor are .....	5.34 s.f.
UNIT "A" – No changes to existing square footage .....	0.00 s.f.
UNIT "B" – No changes to existing square footage .....	0.00 s.f.
UNIT "C" Existing square footage .....	1,461.98 s.f.
New 2 <sup>nd</sup> Floor UNIT "C" footage by dining .....	23.67 s.f.
New 2 <sup>nd</sup> Floor UNIT "C" Entry area .....	31.48 s.f.
Less elevator shaft in UNIT "C" existing area .....	- 24.17 s.f.
<u>New 2<sup>nd</sup> Floor UNIT "C" bedrooms OVER garage .....</u>	<u>589.23 s.f.</u>
<u>Total UNIT "C" 2<sup>nd</sup> Floor footage is .....</u>	<u>2,082.19 s.f.</u>
<u>New UNIT "C" 3<sup>rd</sup> floor den .....</u>	<u>406.96 s.f.</u>
<u>Total UNIT "C" livable footage is .....</u>	<u>2,489.15 s.f.</u>

Deck Areas

2 <sup>nd</sup> Floor UNIT "C" Entry Porch AREA .....	29.85 s.f.
2 <sup>nd</sup> Floor UNIT "C" Deck at Living Room .....	183.26 s.f.
3 <sup>rd</sup> Floor UNIT "C" Open Deck .....	343.02 s.f.
<u>Total All Decks .....</u>	<u>556.13 s.f.</u>

Total Structural Footages of All UNITS, the GARAGE

And UNIT "C" entry at top of stairs is ..... 4,090.09 s.f.

Maximum Allowed Square Footage is ..... 4,680.00 s.f.

Below Maximum Allowed footage by ..... 589.91 s.f.

#### Landscaping on Site

There will be  $\pm$  119 square feet of landscaping located in three existing planter areas on the site that will remain unchanged. New planting will be updated with a new drought tolerant plant species of *Arctostaphylos Sonoma*’ Manzanita species.

Please see sheet A-1 for existing planter locations. No irrigation plans are required as the periodic rainfall and any general hose use will provide adequate water for these planter areas with drought tolerant plants.

#### Parking Conditions

The existing 3 car enclosed garage will be demolished and a new 2 car garage will be constructed providing the required 2 covered parking spaces, plus two more open carport tandem parking spaces for the Existing UNIT “A” duplex for a total of 4 on site parking spaces.

#### Grading Requirements

A precise drainage plan has been prepared by the civil engineer. Please refer to his precise drainage plans. Please see sheets C-2 and C-4.

#### Established Grade

The established grade elevation has been determined to be 10.85 NAVD88.

The maximum height limit of the new roof structure permitted by the zoning code is 29 feet above the 10.85 established grade elevation. The new maximum roof height to top of new ridge roof sheathing will be  $\pm$ 28’-10” above the established grade elevation, allowing 2” for a composition shingle ridge roof material to be installed. Please see elevations on sheets A-5 and A-6.

#### Water Quality Supporting Studies

We understand that the following special plans and information are required for this project review and ultimate approval. All of the following plans have been provided by our civil engineer who specializes in these disciplines as follows...

- a. Erosion Control Plan – prepared by civil engineer, please see C sheets.
- b. Water Quality and Hydrology Plan, WQHP and Water Quality Management Plan WQMP – prepared by civil engineer, please see WQMP report.

#### Geologic Stability Report

Please see included geological investigation report prepared by an experienced soils geologist.

The following reports are not applicable to this type of project as follows...

- a. Archaeological/Paleontological Research Plan - non applicable to this project.
- b. Conversion or Demolition of Affordable Housing – non applicable
- c. Initial Historic Evaluation – non applicable

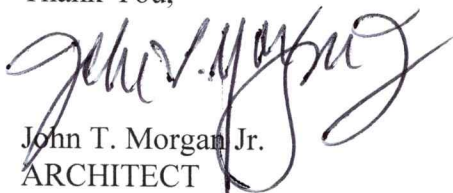
- d. Initial Resource Study – non applicable
- e. Lower Cost Visitor Accommodations Analysis – non applicable
- f. Visual Impact Analysis – non applicable

Grading Requirements

Grading plans have been prepared by the civil engineer. Please refer to sheets C-2 and C-4 for additional information.

We look forward to working with the city for this project coastal development permit approval. Please do not hesitate to contact my office if you have any questions about the project.

Thank You,



John T. Morgan Jr.  
ARCHITECT  
Burgess.100

# **Attachment No. ZA 4**

Project Plans

**ABBREVIATIONS**

RF	FINISHED FLOOR
TC	TOP OF CURB AT STREET
TOG	TOP OF CURB IN GARAGE
FS	FINISHED SURFACE
FB	FACE OF STU AT WALL
FL	FLOW LINE
LET	LICENSE # AND TAG
TM	TOP OF WALL
EXTG	EXISTING
GD	GARAGE DOOR AT DOOR
SP	SHEET FLOW
(XXX)	EXISTING ELEVATION

**SPECIFIC CODE NOTES**

1. FIRST OCCUPANCY OF THE ORIGINAL 3 UNIT MULTIFAMILY BUILDING WAS PRIOR TO 1978. NO ADDITIONAL DWELLING UNITS ARE PROPOSED. THE DESIGN WILL BE LIMITED IN SCOPE SUCH THAT COMPLIANCE WITH NBC 19.02.000 WILL NOT BE REQUIRED.

2. CHAPTER 19A WILL NOT APPLY TO THIS PROJECT REMODEL.

**FIRE NOTES**

THIS PROJECT WILL BE FIRE SPRINKLER PER NFPA 13D

A FIRE WATER MONITORING SYSTEM SHALL BE REQUIRED PER NFPA 241

THIS PROJECT IS A MULTIFAMILY DWELLING RESIDENTIAL BUILDING WITH 3 OR MORE UNITS

THIS PROJECT IS A MULTIFAMILY 3 UNIT RESIDENTIAL BUILDING NOT SUBJECT TO CHAPTER 19A AS IT WAS OCCUPIED PRIOR TO 1978.

**LEGAL OWNER**

REX BEACH PROPERTY LLC  
102 WEST OCEAN FRONT  
NEWPORT BEACH, CA 92663

**LEGAL DESCRIPTION**

LOT 7 (APN: 047-210-19)

**BUILDING CODE**

3 STORES OCCUPANCY GROUP IS R-3.1 U  
TYPE V-R AND FIRE SPRINKLER PER NFPA 13D

**OCCUPANCY GROUP** R-3 U

**DESIGN DATA - ZONE R-3**

SEAWALL BEACH FRONT 448.75 SF  
SEAWALL BEACH FRONT 31.07 SF  
ALLEY 0.00 SF  
LANDSCAPED AREA IS 87 SF  
FLOOD ZONE 1'  
BUILDABLE AREA IS 975 x 24 = 2340 SF  
FLOOR AREA LIMIT IS 2x BUILDABLE OF 4680 SF  
OPEN VOLUME REQUIRED IS 15% OF 2340 SF 351 SF  
PROVIDED OPEN VOLUME IS 798.28 SF  
MAXIMUM 3RD FLOOR IS 20% OF 2340 SF 468 SF

**EXISTING SQUARE FOOTAGE CALCULATIONS**

UNIT A 1ST FLOOR	542.00 SF
UNIT B 1ST FLOOR	448.75 SF
UNIT C 2ND FLOOR EXISTING	1481.98 SF
TOTAL EXISTING USABLE	2352.73 SF
EXISTING GARAGE	2352.00 SF
TOTAL EXISTING STRUCTURAL FOOTAGE IS	4704.73 SF
EXISTING UNIT C ENTRY PORCH TOP OF STAIRS	61.66 SF

**NEW SQUARE FOOTAGE CALCULATIONS**

NEW 1ST FLOOR GARAGE	4680.00 SF
NEW 2ND FLOOR GARAGE	936.00 SF
SCREEN WALL BY TRASH CANS IS	3.00 SF
NEW CLOSED FRONT PATIO WALLS AT UNIT A EACH SIDE	5.34 SF
UNIT A - NO CHANGES TO EXISTING SQUARE FOOTAGE	0 SF
UNIT B - NO CHANGES TO EXISTING SQUARE FOOTAGE	0 SF
UNIT C - FOOTAGE CHANGES AS FOLLOWS	
2ND FLOOR UNIT C EXISTING SQUARE FOOTAGE	1481.98 SF
NEW 2ND FLOOR UNIT C ENTRY PORCH	21.67 SF
NEW 2ND FLOOR PATIO AT DINING ROOM	23.67 SF
NEW 2ND FLOOR PATIO AT NEW BEDROOMS	568.23 SF
LESS ELEVATOR SHAFT	(241.57 SF)
2ND FLOOR UNIT C TOTAL IS	2082.98 SF
NEW 3RD FLOOR UNIT C	408.86 SF
UNIT C 2ND and 3RD FLOOR TOTAL IS	2491.84 SF

**DECK AREAS**

NEW UNIT C ENTRY PORCH AREA	29.85 SF
2ND FLOOR DECK	183.26 SF
3RD FLOOR DECK	348.04 SF
TOTAL ALL DECKS	561.15 SF

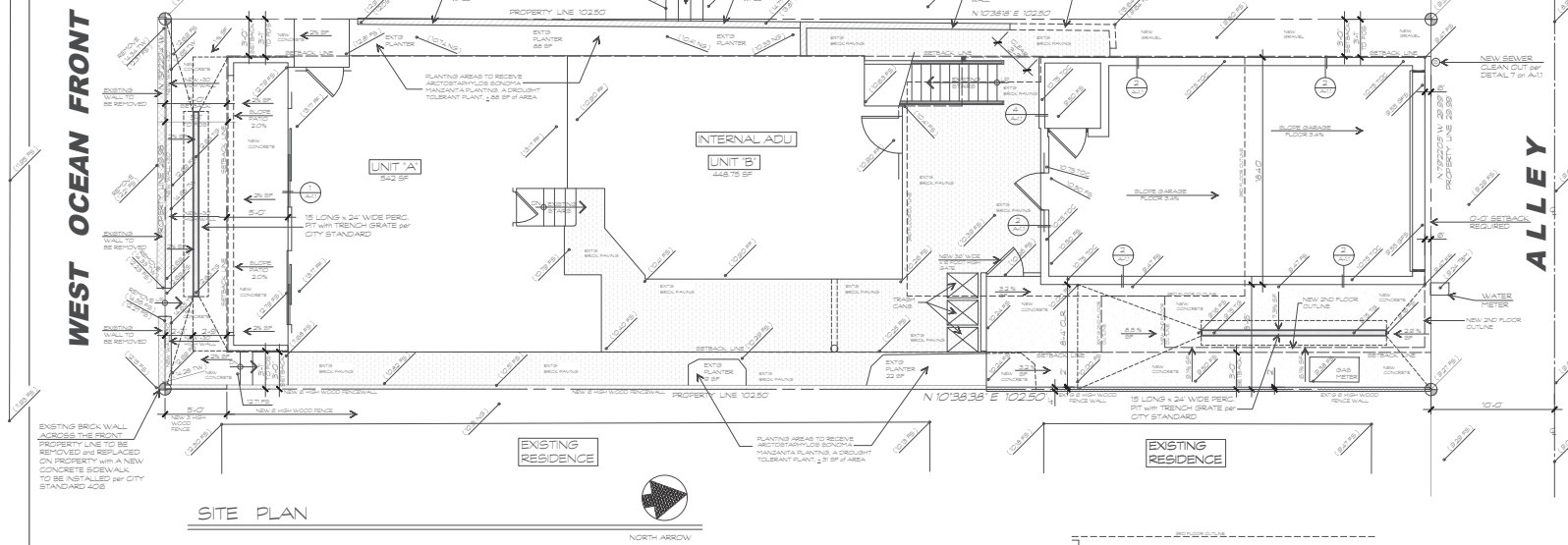
**TOTAL STRUCTURAL FOOTAGE IS 4090.09 SF**

MAXIMUM ALLOWED SQUARE FOOTAGE OF 4680.00 SF  
LESS STRUCTURAL FOOTAGE OF 4090.09 SF  
BELOW MAXIMUM ALLOWED FOOTAGE BY 589.91 SF

**WEST OCEAN FRONT**

**ALLEY**

**SITE PLAN**



**THE PROJECT DATUM USED IS NAVD88**

**RECORD OF SURVEY NOTES**

1. DUE TO FIELD SURVEY MAGNETIC ANOMALIES EFFECTIVE DECEMBER 8 2003 THE BUILDING DEPARTMENT WILL NO LONGER ACCEPT TEMPORARY CORNER MONUMENTS FOR NEW CONSTRUCTION. PERMANENT MONUMENTS WHICH COMPLY WITH SECTION 8712 OF THE CALIFORNIA LAND SURVEYORS ACT WILL BE REQUIRED PRIOR TO GRADING OF PROJECT SITE.
2. A LICENSED SURVEYOR OR CIVIL ENGINEER SHALL MONUMENT THE PROPERTY CORNERS BEFORE THE START OF GRADING WITH PERMANENT MONUMENTS.
3. BEFORE CERTIFICATE OF OCCUPANCY CAN BE ISSUED BY THE CITY THE BUILDING DEPARTMENT WILL VERIFY THAT A CORNER OF RECORD OR RECORD OF SURVEY HAS BEEN FILED WITH AND APPROVED BY THE COUNTY SURVEYOR AS REQUIRED BY SECTIONS 8702 AND 8713 OF THE CALIFORNIA LAND SURVEYORS ACT. A COPY OF THE APPROVED RECORD OF SURVEY OR CORNER RECORD IS REQUIRED TO BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO CALLING FOR FOUNDATION INSPECTION.
4. THE TOPOGRAPHIC SURVEY SHALL BE STAMPED AND SIGNED BY A STATE LICENSED LAND SURVEYOR OR CIVIL ENGINEER (LICENSE NUMBER BELOW 33.958).

**SURVEYOR NOTES**

1. LICENSED SURVEYOR SHALL COMPLETE A FEMA ELEVATION CERTIFICATE (EC) AND SUBMIT IT TO BUILDING DEPARTMENT INSPECTOR DURING FINAL INSPECTION.
2. THE (EC) MUST BE APPROVED BY THE CITY'S COMMUNITY RATING SYSTEM (CRS) COORDINATOR PRIOR TO RESUBMITTING FINAL INSPECTION.
3. ALL MECHANICAL GAS AND ELECTRICAL EQUIPMENT SERVING THE BUILDING (INCLUDING DUCTS) MUST BE AT OR ABOVE BFE (NAV88).

**PUBLIC WORKS NOTES**

1. AN APPROVED ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL WORK ACTIVITIES WITH THE PUBLIC RIGHT OF WAY.
2. A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME IF PUBLIC WORKS DEPARTMENT INSPECTION IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, EXISTING UTILITIES INFRASTRUCTURE ARE DAMAGED SUBSTANDARD, A NEW 1-1/2" WATER SERVICE WATER METER BOX, SEWER LATERAL 9" OR CLEAN OUT 6" BOX WITH LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (UNLESS COVERED BY A POLICY). SCOPE DETERMINATION AND THE EXTENT OF THE RECONSTRUCTION WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT OF WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED BY ANY DAMAGE OF UNMAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.
3. AN APPROVED ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON STANDARD IMPROVEMENTS LOCATED WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L48.
4. ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN 'A' LICENSED GENERAL ENGINEERING CONTRACTOR.
4. ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION CONTRACTOR OR AN 'A' LICENSED GENERAL ENGINEERING CONTRACTOR.

**SQUARE FOOTAGE CALCULATIONS**

AREA	EXISTING	NEW	TOTAL
UNIT A 1ST FLOOR	542.00 SF	0 SF	542.00 SF
UNIT B (INTERNAL ACU)	448.75 SF	0 SF	448.75 SF
UNIT C 2ND FLOOR	1481.98 SF	600.21 SF	2082.19 SF
UNIT C 3RD FLOOR	0 SF	408.86 SF	408.86 SF
SUB-TOTALS	2452.73 SF	1009.07 SF	3461.80 SF

**NEW GARAGE**

1ST FLOOR GARAGE	4680 SF
2ND FLOOR GARAGE	936 SF
TOTAL STRUCTURAL FOOTAGE	5616 SF

**SCREEN WALL BY TRASH CAN** 3.00 SF  
**1ST FLOOR PATIO WALLS** 5.34 SF  
**NEW UNIT C ENTRY PORCH TOP OF STAIRS** 61.66 SF  
**TOTAL STRUCTURAL FOOTAGE** 4090.09 SF

HVAC CONTRACTOR SHALL SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER ASHRAE 90.1. SOUND LEVEL NOT TO EXCEED 50 dBA (59 dBA WITH TYPICAL 85 dBA WITH TYPICAL AND NEIGHBORS CONSENT) PER SECTION 19.08.045 OF THE NBC. LOCATION OF MEASUREMENT TO BE ADJACENT PROPERTY PATIO OR OPENING. LOCATE EQUIPMENT IN THE EQUIPMENT WELL ON ROOF. PROVIDE SEISMIC ANCHORAGE OF THE UNIT AND THE REQUIRED PLATINGS.

**DEFERRED SUBMITTALS**

THE FOLLOWING DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE CITY AND APPROVED PRIOR TO PERFORMING THE WORK INVOLVED. DEFERRED SUBMITTALS TO BE REVIEWED BY THE PROJECT ARCHITECT OR ENGINEER IF RECORD OR CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.

1. HVAC CONDENSER LOCATION IN ROOF MECH WELL
2. FIRE SPRINKLER SYSTEM PER NFPA 13D

**FENCE NOTE**

FOR ANY PORTION OF A WALL OR FENCE THAT EXTENDS OVER COMMON PROPERTY LINES TO INCLUDE FOOTINGS OR STRUCTURAL COMPONENTS, THE CONTRACTOR SHALL OBTAIN THE NEIGHBORS WRITTEN APPROVAL AND A SEPARATE PERMIT.

**PROJECT SIGN**

THIS PROJECT SHALL REQUIRE A PROJECT INFORMATION SIGN COMPLYING WITH NBC 19.02.030

THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE YEARS FROM DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER AUGUST 21 2019 AS REQUIRED BY NBC Section 19.02.039

THE GOVERNING CODES AND STANDARDS FOR THIS PROJECT ARE THE 2022 CALIFORNIA BUILDING CODE 2022 CBC 2022 CHC 2022 CEC 2022 CFC 2022 CIBS 2022 CHC 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (EES) 2022ES WITH LOCAL AMENDMENTS 2025 CALIFORNIA BUILDING STANDARDS CODE (CAL-BUILD)

DESIGN PROFESSIONAL IN CHARGE THE REGISTERED DESIGN PROFESSIONAL IN CHARGE SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS INCLUDING PHASED AND DEFERRED SUBMITTALS ITEMS FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. NBC 19.02.010 CBC APPENDIX CHAPTER 31 108.3.4

**NOTES**

1. OBTAINANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE THE APPLICANTS OF THE LEGAL REQUIREMENT TO OBSERVE COVENANTS CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS
2. PRIOR TO PERFORMING ANY WORK WITHIN THE CITY RIGHT-OF-WAY AND ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

**NOTES**

ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE THE APPLICANTS OF THE LEGAL REQUIREMENT TO OBSERVE COVENANTS CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS

2. PRIOR TO PERFORMING ANY WORK WITHIN THE CITY RIGHT-OF-WAY AND ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

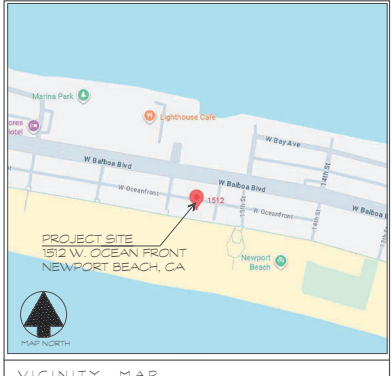
**SOILS GEOLOGIST NOTES**

THE OWNER SHALL RETAIN A SOILS GEOLOGIST WHO SHALL PERFORM THE FOLLOWING:

1. VERIFY THE ASSUMED BEARING CAPACITY OF 1500 PSF PER THE SOILS REPORT.
2. INSPECT AND APPROVE AREAS PRIOR TO PLACING OF FILL OR CONCRETE.
3. INSPECT TEST AND APPROVE OF ALL FILL VERIFYING MINIMUM OF 80% RELATIVE COMPACTION.
4. INSPECT AND APPROVE ALL FOUNDATION EXCAVATIONS AND SLAB ON GRADE.
5. A FINAL REPORT OF CO-OPERATION AND INSPECTION SHALL BE OBTAINED BY THE SOILS GEOLOGIST AND SHALL BE SUBMITTED TO THE CITY GRADING ENGINEER FOR REVIEW AND FINAL APPROVAL.
6. NO FILL SHALL BE PLACED PRIOR TO APPROVAL BY THE SOILS GEOLOGIST.
7. THE GENERAL CONTRACTOR SHALL REVIEW THE SOILS REPORT AND NOTES BY ALL RECORDS AND CONTAIN THEREIN.
8. REFER TO THE 3RD SHEET FOR SOILS REPORT RECOMMENDATIONS.
9. A CALIFORNIA PERMIT IS REQUIRED FOR ANY EXCAVATIONS DEEPER THAN 6" AND FOR SHIELD OR UNDERPASSING.
10. CONTRACTOR SHALL NOTIFY THE ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 10 DAYS PRIOR TO THE START OF ANY SHORING OR EXCAVATION WORK.
11. CONTRACTOR SHALL VERIFY 45 DEGREE MINIMUM EXCAVATION ANGLE FROM THE BOTTOM OF ADJACENT BUILDING FOOTINGS ON NEIGHBORING PROPERTIES.

**SITE PLAN NOTES**

1. FENCE SPALL FENCES WALLS PATIO COVERS AND OTHER SIMILAR FREE STANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS. ANY WALL 6" OR FENCE PERMITS SHALL BE REQUIRED TO BE PULLED AT THE SAME TIME THE BUILDING PERMIT IS ISSUED.
2. VERIFY UTILITY METER LOCATIONS WITH SOUTHERN CALIFORNIA Edison and SOUTHERN CALIFORNIA GAS COMPANY PRIOR TO INSTALLING THOSE METERS.
3. ALL SITE GATES ARE TO BE CONSTRUCTED OF WOOD MATERIAL WITH DESIGN SUBMITTED BY THE OWNER. PROVIDE KEY LOCKS AND DEADBOLT AT EACH GATE LOCATION. PROVIDE A 8000 ALLOWANCE FOR EACH GATE.
4. THE DEPOSITION OF THE EXISTING RESIDENCE REQUIRES A SEPARATE PERMIT FROM THE CITY.
5. CONTRACTOR SHALL OBTAIN A HALL ROUTE PERMIT FROM THE TRAFFIC ENGINEER FOR PICKUP OR EXPORT MATERIALS PRIOR TO THE START OF GRADING WORK.
6. ALL NEW UTILITY SERVICE CONNECTORS SHALL BE MADE UNDERGROUND.
7. FENCES HEDGES AND WALLS WITHIN FRONT YARD SETBACKS CANNOT EXCEED 42" FROM EXISTING GRADE AND WITHIN SIDEYARD SETBACKS CANNOT EXCEED 6" FROM EXISTING GRADE.
8. ALL BLOCK WALL PERMITS AND SEA WALL PERMITS SHALL BE ISSUED AT THE SAME TIME AS THE BUILDING PERMIT.
9. ALL SETBACKS SHALL BE MEASURED FROM PROPERTY LINE TO FACE OF FINISH EXCAVATION WORK.
10. ALL MECHANICAL GAS AND ELECTRICAL EQUIPMENT SERVING THE BUILDING (INCLUDING DUCTS) MUST BE AT LEAST ONE FOOT ABOVE THE BFE (NAV88).



**CONSULTANTS**

CIVIL ENGINEER: DALE FORBES OF EBERLE & STRUCTURAL ENGINEERS, INC. 1600 EAST 18TH STREET, UNIT B SANTA ANA, CA 92704 (714) 835-2800 PH. (714) 835-2810 FAX

SURVEYOR: ARIEN LAND SURVEYING 8872 COLINA DRIVE HUNTINGTON BEACH, CA 92646 (714) 488-9000 OFFICE EMAIL: ARIEN.L@CPSL.COM

TITLE 24 CALCULATIONS - PACIFIC INTEREST 3000 COW AVENUE, SUITE 302 TOLSON, CA 92760 (949) 529-7878 EMAIL: RES@pacinter.com

SOILS GEOLOGIST: COAST GEOTECHNICAL 3200 WEST COMMONWEALTH FULLERTON, CA 92633 (714) 870-1201 CONTACT: P-HINS@CEN REPORT DATED SEPTEMBER 10 2025. W.G. 647823-01

**REVISIONS**


**ARCHITECT**

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**BURGESS RESIDENCE**

1512 WEST OCEAN FRONT  
NEWPORT BEACH, CA 92662



3-25-26

**SITE PLAN AND INFORMATION**

**SCALE**

1/4" = 1'-0"

**DRAWN**

**CHECKED**

**DATE**

**JOB NO.**

**SHEET**

A-1

Builders,

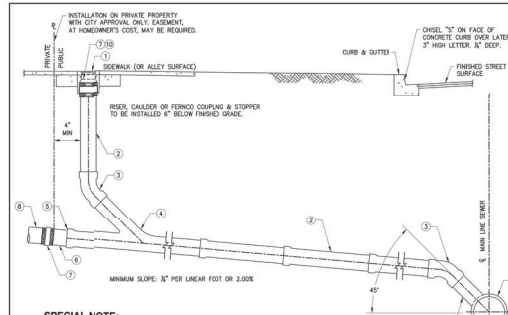
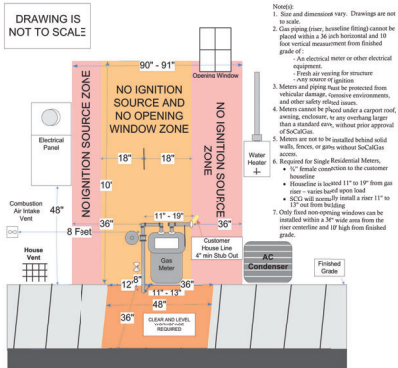
To help more effectively design and prepare future residential single meter locations, SoCalGas has developed the "New Residential Single Meter Construction" brochure. This brochure graphically depicts the required separation and clearances for new residential single meter installations for total connected loads below 1000CFH (one million BTU/HR) at standard delivery gas pressure and is included in the SoCalGas "Gas Service Guidebook" found on [www.socalgas.com/for-your-business/builders-and-construction](http://www.socalgas.com/for-your-business/builders-and-construction). It does not attempt to depict all conditions. Your SoCalGas planner will determine meter location requirements for non-standard delivery such as elevated pressure and larger meters.

Identified below are the general notes found or inferred from the meter diagram.

Notes:

- Size and dimensions vary. Drawing is not to scale.
- Gas piping (riser, houseline fitting) cannot be placed within a 36 inch horizontal and 10 foot vertical measurement from finished grade of:
  - An electrical meter or other electrical equipment.
  - Fresh air venting for structure
- Meters and piping must be protected from vehicular damage, corrosive environments, and other safety related issues.
  - Meters cannot be placed under a carport roof, awning, enclosure, or any overhanging larger than a standard eave, without prior approval of SoCalGas.
- Meters are not to be installed behind solid walls, fences, or gates without SoCalGas direct access.
- Required for Single Family Residential Meters.
  - 1/2" female connection to the customer houseline. Larger diameter houseline may be required for non-standard or larger meter applications.
  - Houseline is located 11" to 19" from gas riser - varies based upon load
    - A minimum of 11" - 12" for diversified loads under 250 MBTU/HR but 15" preferred
    - 13" - 19" for diversified loads under 650 MBTU/HR
  - SCG will normally install a riser 11" to 13" out from the structure
- Only fixed non-opening windows can be installed within a 36" wide area from the riser centerline and 10' high from finished grade.
- A clear and level workspace on finished grade measuring 48" wide by 36" deep from the structures face is required.

NEW SINGLE METER RESIDENTIAL CONSTRUCTION (< 1 MM BTU/HR)



SPECIAL NOTE:

UNDER NO CIRCUMSTANCES SHALL ANY PIPE OR FITTING BE ALLOWED. ALL SEWER LATERALS SHALL BE IDENTIFIED BY THE CITY OF NP BY REPLACING TO MEET CURRENT CITY STANDARDS IF NECESSARY.

GENERAL NOTES:

- FOR SLOPE LESS THAN 1/4" PER FOOT, A 6" LATERAL SHALL BE USED WITH A MINIMUM SLOPE OF 1/4" PER FOOT.
- CLEANOUT MAY BE INSTALLED ON PRIVATE PROPERTY SIDE OF PROPERTY LINE AT SPECIAL REQUEST BY HOMEOWNER AND APPROVAL BY CITY.
- CLEANOUT COVERS SHALL BE BROOKS PRODUCTS NO 41T OR JAR NO. 41 MARKED SEWER.
- CLEANOUT COVERS PLACED IN SIDEWALKS MAY BE BROOKS PRODUCTS NO. 1-18 AND NO. 1-18 (CONCRETE COVER) OR JAR NO. 1-18 BY SPECIAL PERMISSION FROM THE CITY.
- SEWER CLEANOUT RISER PIPE MATERIAL SHALL BE VCP WHEN EXISTING. SEWER MARK IS VCP AND SDR-35 PVC PIPE SHALL BE USED WHEN THE SEWER MARK IS P.V.
- PVC SHALL BE SDR-35 FOR ASTM 3034.
- SEWER PIPE AND FITTINGS SHALL BE REEDED WITH 3/4" CRUSHED ROCK MATERIAL PER STD 323, IN AREAS OF GROUND WATER OR ICE WATER. 3/4" CRUSHED ROCK SHALL BE USED.
- USE GENERAL NOTES #1 & #2 FROM STD 407.
- SADDLE TYPE CONNECTIONS TO SEWER MAINS ARE PROHIBITED, EXCEPT BY SPECIAL PERMISSION FROM THE CITY.
- GLUE OR SOLVENT JOINTS ARE PROHIBITED.
- CITY OF EXISTING LATERAL WILL BE REQUIRED WHEN USING THE ALTERNATE SET-UP.
- IF SERVICED BY OTHER AGENCY, MUST USE AGENCY'S STANDARD.
- LATERAL SIZE (4" OR 6") SHALL MATCH EXISTING LATERAL SIZES ASSOCIATED WITH CONNECTION.

CONSTRUCTION NOTES:

- INSTALL SEWER CLEANOUT COVER PER APPLICABLE PORTION OF STD 323. TRIANGULAR COVER WITH 15" ON TOP.
- 4" (OR 6") VCP (OR SDR-35 PVC) SEWER PIPE WITH CASSET, INTERNAL BELL, AND SPOUT JOINT.
- 4" (OR 6") VCP (OR SDR-35 PVC) 45' BEND.
- 4"x4" (OR 6"x6") VCP (OR SDR-35 PVC) WYE BRANCH FITTING.
- 4" (OR 6") ABS STOPPER (WHERE LATERALS ARE STUBBED).
- 4" (OR 6") SHORT PIECE, VCP (OR SDR-35 PVC), 6" LONG.
- 4" (OR 6") RUBBER MECHANICAL BANGED SEAL CLAMP. MEDIUM CLAY ADJUSTABLE REPAIR COUPLING (TYPE 2) OR CITY-APPROVED EQUAL.
- 4" (OR 6") PRIVATE SEWER PIPE.
- 4"x4" (OR 6") WYE BRANCH FITTING, VCP OR SDR-35 PVC.
- INSTALL ABS STOPPER IN RUBBER COUPLING. USE MEDIUM CLAY PRODUCTS STOPPER OR APPROVED EQUAL.
- SEWALK REPLACEMENT SHALL BE IN FULL PANEL.

FORMER CITY STANDARD PLAN NUMBER (2004 EDITION): STD 406-L

APP.:	DATE:	DATE:	NO.:	DESCRIPTION OF REVISIONS:
John M. White	11/20/2010	11/20/2010	1	

CITY OF NEWPORT BEACH DEPARTMENT OF PUBLIC WORKS

DRAWN: P. ENDRACKE

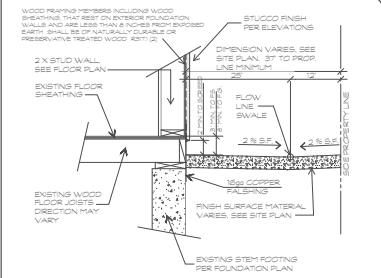
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SEWER LATERAL WITH CLEANOUT

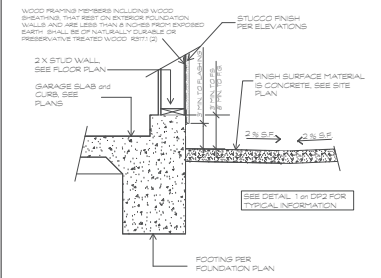
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SHEET 1 OF 1

7 CITY STANDARD SEWER CLEANOUT



1 TYPICAL DRAINAGE SWALE IN SIDE YARD



2 TYPICAL FINISHED SURFACE AT GARAGE



4 TYPICAL FINISHED SURFACE AT GARAGE

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1512 WEST OCEAN FRONT  
NEWPORT BEACH, CA 92662



3-25-26

SITE DETAILS

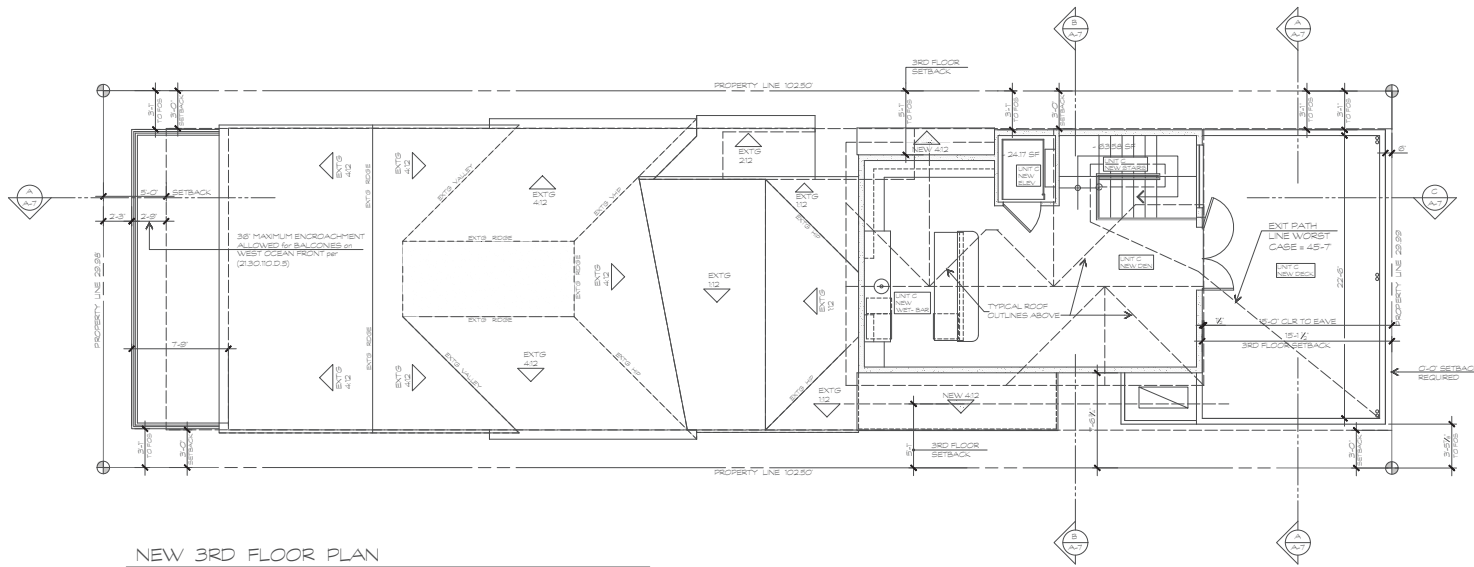
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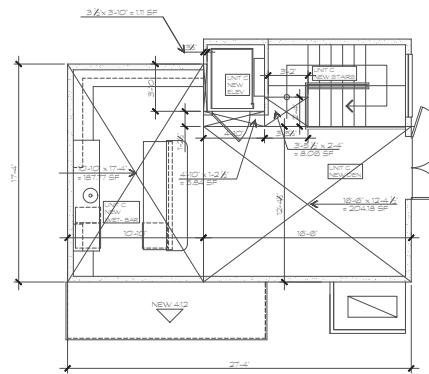
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NEW 3RD FLOOR PLAN



3RD FLOOR SQUARE FOOTAGE  
 TOTAL 3RD FLOOR LIVABLE  
 SQUARE FOOTAGE IS 406.96 SF

- CONSTRUCTION LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS TO BE REMOVED
  - NEW WALL CONSTRUCTION



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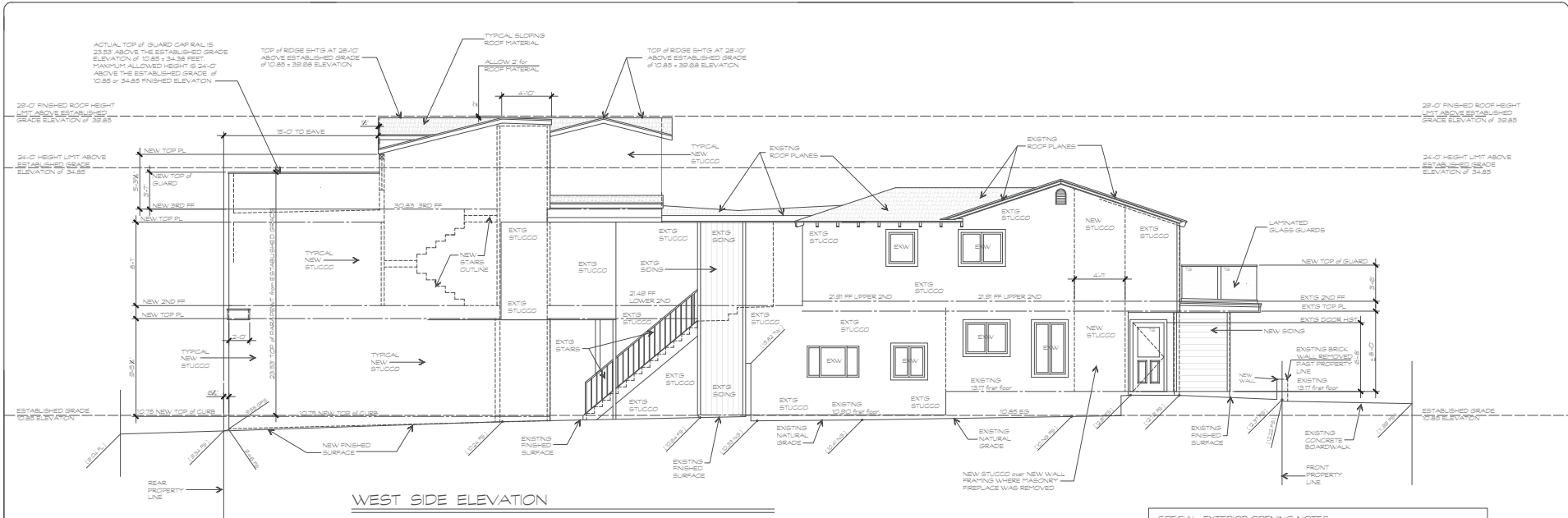
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NEW 3RD FLOOR PLAN

SCALE
1/4" = 1'-0"
DRAWN
CHECKED
DATE
JOB NO.
SHEET

A-4





WEST SIDE ELEVATION

**SPECIAL EXTERIOR OPENING NOTES**

1. THERE ARE NO NEW OPENINGS ON ANY NEW EXTERIOR WALLS PARALLEL TO SIDE PROPERTY LINES.
2. ON THE EAST SIDE ELEVATION AT EXISTING EXTERIOR WALLS, THERE WILL BE A NET DECREASE OF EXISTING WINDOW OPENING AREA OF 4.37 SF AT EXISTING MASTER BEDROOM.
3. ON THE WEST SIDE ELEVATION AT EXISTING EXTERIOR WALLS, THERE WILL BE ZERO CHANGE IN AREA OF OPENINGS.

**ELEVATION ABBREVIATIONS**

F.S.	FLOOR SHEATHING
F.F.	FINISHED FLOOR ACTUALLY 1ST FLOOR SLAB ELEVATION
FOS	FACE OF STUD
HST	HEIGHT
T.C.	TOP OF CURB
F.L.	FLOW LINE
EXT.	EXISTING
MLLW	MEAN LOW LOW WATER

**DOOR AND WINDOW NOTES**  
 ALL NEW DOOR AND WINDOW FRAMES SHALL RECEIVE A 6" WIDE STRIP OF 30" MEMBRANE WHICH IS PLACED OVER THE WINDOW AND DOOR FRAME FLANGES ON ALL SIDES.

**ADDRESS NOTE**  
 THE STREET ADDRESS NUMBERS SHALL BE SIZED AND LOCATED ON THE ALLEY SIDE OF THE RESIDENCE PER N.B.M.C. SECTION.

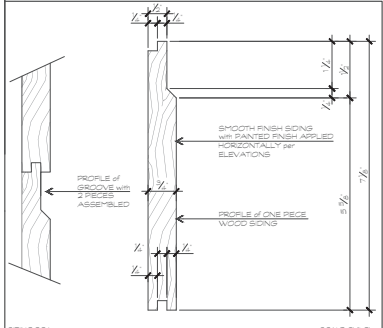
**STUCCO NOTE**  
 CONTRACTOR SHALL UTILIZE AN ACRYLIC STUCCO APPLICATION FOR THIS PROJECT.  
 ALL NEW STUCCO SHALL BE APPLIED OVER 2 LAYERS OF GRADE 1" PAPER OF 17" X 24" MEMBRANE OVER ALL WOOD BASED SHEATHING PER CBC 220.5.  
 ALL NEW STUCCO SHALL RECEIVE A TEXTURE TO MATCH THE EXISTING WITH STANDARD 90 DEGREE CORNER BEAD.  
 NEW WEEP SCREEDS FOR STUCCO AT THE FOUNDATION LINE SHALL BE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. (C.R.C. 1703.6.2)

**RAVE NOTES**  
 ANY NEW ROOF OVERHANGS PARALLEL TO THE SIDE PROPERTY LINES AND LOCATED WITHIN 5 FEET OF THE SIDE PROPERTY LINES ARE REQUIRED TO BE CONSTRUCTED WITH 1 HOUR FIRE RESISTIVE CONSTRUCTION. SEE ARCHITECTURAL DETAILS.

**FLASHING NOTES**  
 ALL NEW ROOF TO ROOF AND/OR WINDOW, DOOR, DECK, ETC. FLASHINGS SHALL BE SHALL BE STAINLESS STEEL. NO GALVANIZED ROOF IS ALLOWED.

**GLASS GUARDRAIL NOTES**  
 ALL GLASS GUARDS ARE ACTUALLY LAMINATED GLASS PANELS PER IBC # 3042 TABLE 1 B

**SIDING NOTE**  
 ALL HORIZONTAL SIDING SHALL BE A 1/2" x 8 1/2" ANGLE CUT SIDING BY 1" BODY GUARD 100% AZOLE TREATED WOOD PRODUCT.  
 INSTALL THIS SMOOTH SIDING WITH ONE LAYER OF 1/4" BARKER OVER ONE SHEET OF 1/2" THICK HUBER ENGINEERED HARDWOODS. 2" SYSTEM STRUCTURAL 1 SHEATHING SIDING SHALL BE RECEIVE A PAINTED FINISH SIDING IS SMOOTH FINISH WITH 50% EXPOSURE TO WEATHER AND A 1/2" HIGH GROOVE DETAIL. SEE DETAIL 1 OF A-B FOR SIDING PROFILE.



2 HORIZONTAL SIDING PROFILE

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3-25-26

NEW WEST ELEVATION

**SCALE**  
 1/4" = 1'-0"

**DRAWN**

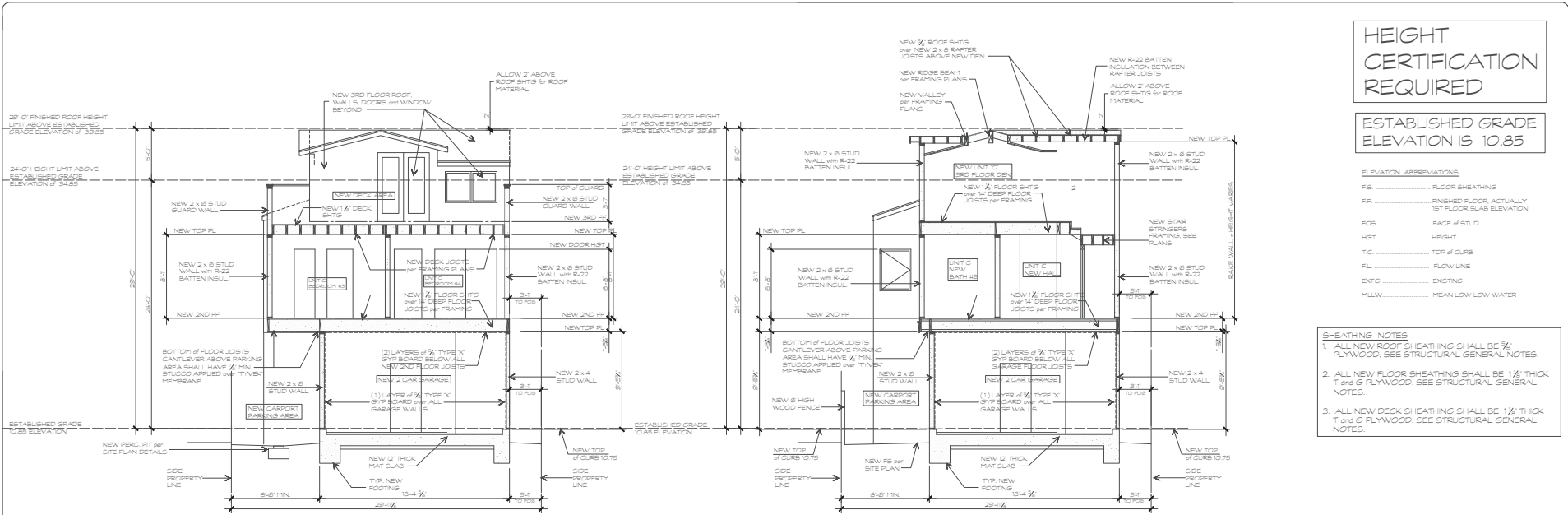
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A-6



SECTION A

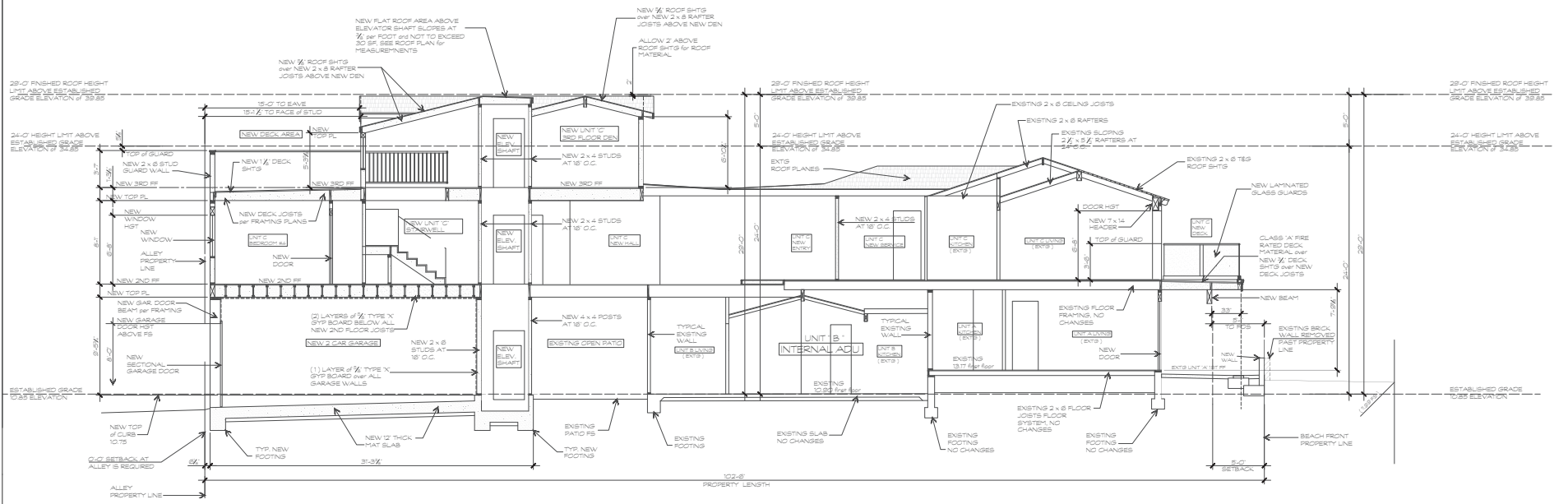
SECTION B

**HEIGHT CERTIFICATION REQUIRED**

ESTABLISHED GRADE ELEVATION IS 10.85

- ELEVATION ABBREVIATIONS
- F.S. FLOOR SHEATHING
  - F.F. FINISHED FLOOR, ACTUALLY 1ST FLOOR SLAB ELEVATION
  - F.S. FACE OF STUD
  - HST. HEIGHT
  - T.O. TOP OF CURB
  - F.L. FLOW LINE
  - EXTG. EXISTING
  - M.L.W. MEAN LOW LOW WATER

- SHEATHING NOTES
1. ALL NEW ROOF SHEATHING SHALL BE 1/2" PLYWOOD. SEE STRUCTURAL GENERAL NOTES.
  2. ALL NEW FLOOR SHEATHING SHALL BE 1 1/2" THICK T&G PLYWOOD. SEE STRUCTURAL GENERAL NOTES.
  3. ALL NEW DECK SHEATHING SHALL BE 1 1/2" THICK T&G PLYWOOD. SEE STRUCTURAL GENERAL NOTES.



SECTION C

REVISIONS


ARCHITECT  
 John T. Morgan Jr.  
 18662 Beachmont Avenue  
 North Tustin, CA 92705  
 P: (714) 750-9725 F: (714) 750-7284

BURGESS RESIDENCE  
 1512 WEST OCEAN FRONT  
 NEWPORT BEACH, CA 92662



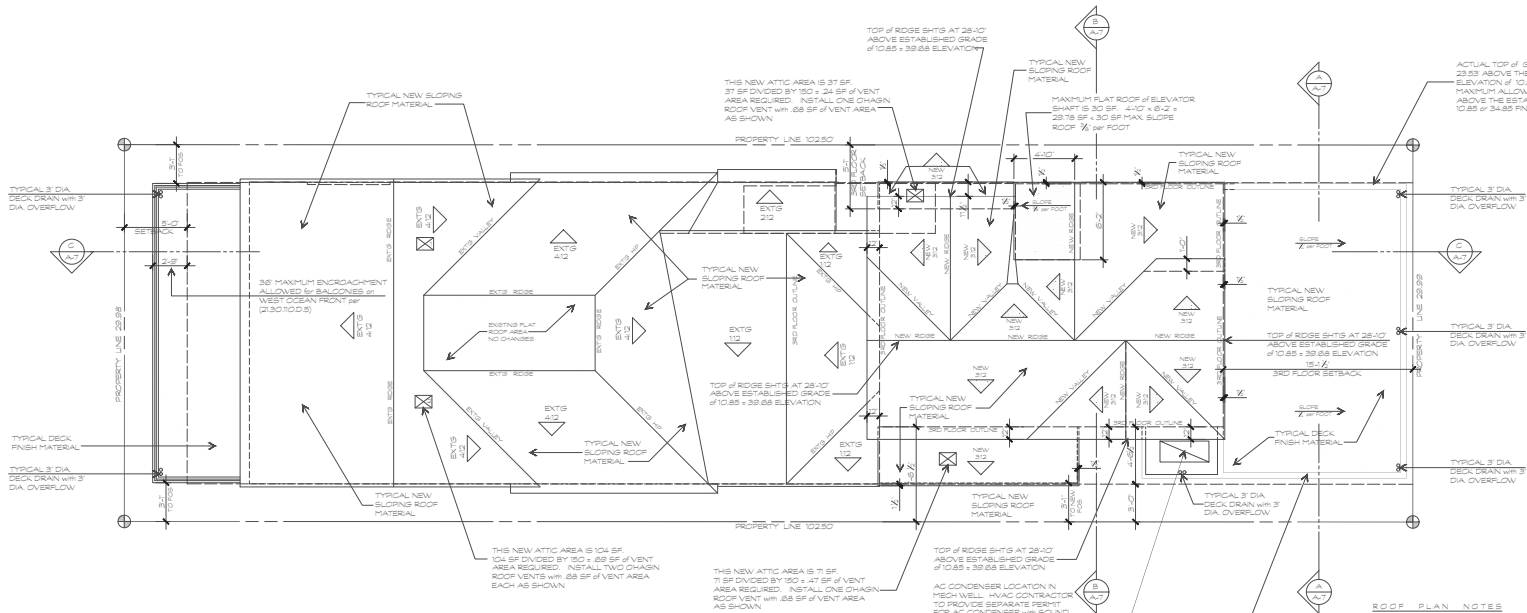
3-25-26

NEW SECTIONS A B and C

SCALE  
 1/4" = 1'-0"

DRAWN  
 CHECKED  
 DATE  
 JOB NO.  
 SHEET

A-7



**NEW ROOF PLAN**

**HEIGHT CERTIFICATION REQUIRED**  
**ESTABLISHED GRADE ELEVATION IS 10.85**

**AC CONDENSER LOCATION NOTE**  
 AC TYPE and LOCATION REQUIRE A DEFERRED SUBMITTAL BY REVIEW and APPROVAL BY A SEPARATE PERMIT. SEPARATE PERMIT MUST BE OBTAINED PRIOR TO RUNNING REFRIGERATION LINES, ELECTRICAL CONDUIT / CONDUITORS and DISCONNECT and APPROVAL BY A SEPARATE PERMIT. SEPARATE PERMIT MUST BE OBTAINED PRIOR TO RUNNING REFRIGERATION LINES, ELECTRICAL CONDUIT / CONDUITORS and DISCONNECT.

- ROOF PLAN NOTES**
1. ALL NEW SLOPING ROOF MATERIAL SHALL BE A CLASS 'A' COMPOSITION SHINGLE ROOF MATERIAL BY "CERTANTEED" with a COLOR of 'GREY'. ESR # 1389 CERTANTEED LLC. INSTALL ALL COMPOSITION ROOF MATERIALS per MANUFACTURER'S INSTRUCTIONS.
  2. MAXIMUM ROOF MATERIAL WEIGHT PER SQUARE FOOT = 10 POUNDS.
  3. ALL FLAT ELEVATOR ROOF AREA FINISHED MATERIALS SHALL BE AN ELASTOMERIC ROOF MEMBRANE FINISH BY "POLYCOAT PRODUCTS" APPLIED ROOF SHEATHING PER MANUFACTURER'S RECOMMENDATIONS. ESR # 2789. SLOPE ALL FLAT ROOF AREAS AT 1/8" INCH PER FOOT per ROOF PLAN. COLOR SHALL BE 'GREY'.
  4. ALL NEW 2ND and 3RD FLOOR DECK AREA FINISHED MATERIALS SHALL BE A CLASS 'A' ELASTOMERIC ROOF MEMBRANE FINISH BY "POLYCOAT PRODUCTS" APPLIED per DECK SHEATHING PER MANUFACTURER'S RECOMMENDATIONS. ESR # 2097. SLOPE ALL DECK AREAS AT 1/8" PER FOOT MINIMUM UNLESS NOTICED OTHERWISE ON THE ROOF PLAN. COLOR SHALL BE 'GREY'.
  5. ALL NEW ROOF TO ROOF or ROOF TO WALL FLASHING SHALL BE STAINLESS STEEL. NO GALVANIZED IRON IS ALLOWED.
  6. ALL NEW ATTIC VENTS SHALL BE LOCATED PER THE ROOF PLAN WITH BETWEEN 1/2" MINIMUM TO 1/2" SQUARE MAXIMUM SCREEN MESH.

- FIRE NOTES**
1. EXTERIOR WALLS AT SIDES OF HOUSE SHALL BE OF ONE HOUR FIRE RESISTIVE RATED CONSTRUCTION. APPLY STUCCO FINISHES AS REQUIRED PER CBC TO ACHIEVE ONE HOUR FIRE RESISTIVE CONSTRUCTION.

**REVISIONS**


**ARCHITECT**  
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**BURGESS RESIDENCE**  
 1512 WEST OCEAN FRONT  
 NEWPORT BEACH, CA 92662



3-25-26

NEW ROOF PLAN

**SCALE**  
 1/4" = 1'-0"

**DRAWN**

**CHECKED**

**DATE**

**JOB NO.**

**SHEET**

**A-8**



REVISIONS	

ARCHITECT  
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BURGESS RESIDENCE  
1512 WEST OCEAN FRONT  
NEWPORT BEACH, CA 92662

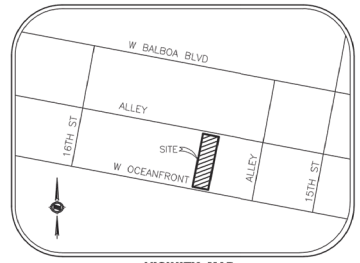


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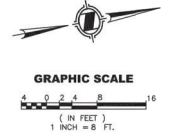
TOPOGRAPHIC SURVEY

SCALE	1/4" = 1'-0"
DRAWN	
CHECKED	
DATE	
JOB NO.	
SHEET	

T-1



VICINITY MAP  
NO SCALE



ESTABLISHED GRADE CALCULATIONS

POINT #1	8.45 FS
POINT #2	8.50 FS
POINT #3	11.50 FS
POINT #4	12.75 FS
SUB-TOTAL	43.20

43.20 DIVIDED BY 4 = 10.80 ESTABLISHED GRADE

**SURVEYOR'S NOTES**  
SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.  
PLEASE CALL PAUL CRAFT @ 714-488-5009 TO SCHEDULE.



PAUL D. CRAFT, P.L.S. 8516  
LICENSE RENEWAL DATE 12/31/26  
DATE \_\_\_\_\_

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT SURVEYOR	PROJECT NO.	714-488-5009
DATE	7/10/2025	
SCALE	1" = 8'	
DRAWN	J. A. H.	
CHECKED	P. D. C.	
PROJECT TITLE	TOPOGRAPHIC MAP	
SHEET NO.	1512 W. OCEANFRONT	
	NEWPORT BEACH, CA 92663	
	(APN: 047-211-19)	
SHEET NO.	1	OF 1
PROJECT NO.	2557	

- LEGEND**
- █ BLOCK WALL
  - WOOD FENCE (WOF)
  - 2ND FLOOR OR BALCONY OVERHANG
  - CENTERLINE
  - CLM COLUMN
  - FF FINISHED FLOOR
  - FFD FINISHED FLOOR GARAGE
  - FL FLOWLINE
  - FS FINISHED SURFACE
  - GM GAS METER
  - NG NATURAL GROUND
  - TF TOP OF FENCE
  - TR TOP OF RAIL
  - TW TOP OF WALL
  - TWS TOP OF WALL STEP
  - WM WATER METER
  - ( ) SEARCHED, FOUND NOTHING, SET NOTHING
  - T.B.M. TEMPORARY BENCHMARK SET ON A WATER METER (WM) ELEVATION = 6.34 FEET
- BRICK SURFACE  
CONCRETE SURFACE

**TITLE REPORT/EASEMENT NOTES**  
1512 W. OCEANFRONT  
NEWPORT BEACH, CA 92663  
(APN: 047-211-19)  
NO TITLE REPORT PROVIDED

**LEGAL DESCRIPTION**  
REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
  
LOT 7 IN BLOCK 15 OF MAP OF SECTION 8 NEWPORT BEACH, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 4, PAGE 37, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BENCHMARK INFORMATION**  
BENCHMARK NO: 1E-124-4  
DESCRIBED BY OCS 2014 FOUND 4" OCS ALUMINUM BENCHMARK 303C STAMPED, 1E-124 14" ON THE SOUTHWEST CORNER OF 4 1/2" CATCH BASIN MONUMENT IS LOCATED ALONG THE SOUTH SIDE OF W BALBOA BLVD, 157' EAST OF THE C/L OF 16TH ST. @ ADDRESS 1823. MONUMENT IS LEVEL WITH THE SIDEWALK.  
ELEVATION: 7.860 FEET (FAVOR), YEAR LEVELED 2015

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF THE ALLEY HAVING A BEARING OF N79°23'00" W PER RS2011-1065, R.S.B. 252/23-33.

