

November 26, 2025 Agenda Item No. 3

SUBJECT: Sjodin Residence Addition (PA2025-0137)

Modification Permit

SITE LOCATION: 1977 Port Seabourne Way

APPLICANT: David Hohmann

OWNER: Terri Sjodin

PLANNER: Laura Rodriguez, Assistant Planner

Irodriguez@newportbeachca.gov, 949-644-3216

LAND USE AND ZONING

• General Plan Land Use Plan Category: Single Unit Residential Detached (RS-D)

• **Zoning District**: Harbor Views Hills (PC3)

PROJECT SUMMARY

The applicant proposes a 358-square-foot addition (17%) to an existing nonconforming single-unit residence where the Zoning Code limits additions to 10% of the existing gross floor area when the required parking dimensions are not provided. The Property currently provides interior garage dimensions of 19 feet 4 inches in width and 20 feet in depth. Given that the Property's lot width exceeds 40 feet, the Newport Beach Municipal Code (NBMC) requires a minimum interior garage dimension of 20 feet in width by 20 feet in depth for the two-car garage.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Modification Permit No. PA2025-0137 (Attachment No. ZA 1).

DISCUSSION

Background and Setting

• The subject property is located in the Harbor Views Planned Community (PC3), which provides for single-unit residential development and is consistent with the City's General Plan and Zoning Code. The property is developed with a single-story, 2,120-square-foot single-unit dwelling, including an attached garage (Figure 1, below). The PC3 Zoning District limits site coverage to 60%. The project includes an addition of 358 square feet for a total gross floor area of 2,478 square feet and site coverage of 49%.



Figure 1: Oblique Aerial Image of Property

 The subject property's existing interior garage dimensions are 19 feet 4 inches in width and 20 feet in depth. These interior clear dimensions were approved when the existing residence was developed and provides a two-car garage as required by the PC district regulations. • The property currently consists of one legal lot developed with a single-family residence. The surrounding neighborhood is comprised of one- and two-story single-unit dwellings.

Nonconforming Development Standards

- NBMC Subsection 20.38.030(C) (Determination of Nonconformity) defines a "legal nonconforming structure" as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. While the Property provides a two-car garage as required by the PC3 district regulations, the regulations are silent in the minimum interior dimensions for enclosed spaces. Therefore, the applicability of Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC requires a two-car garage to provide a 20-foot wide by 20-foot deep interior dimensions due to the Property's lot width being more than 40 feet. The existing nonconforming garage measures approximately 19 feet 4 inches in width by 20 feet in depth. Therefore, the property's existing 2-car garage is considered legal nonconforming due to insufficient width.
- NBMC Subsection 20.38.060(A)(2) (Nonconforming Parking Residential) limits additions to residential structures with nonconforming parking dimensions to 10% of the existing gross floor area within any 10-year period. Larger additions may be permitted subject to the approval of a modification permit.

Modification Permit

- The applicant proposes a 358-square-foot addition (17% of the existing gross floor area) and leaving the garage dimensions unchanged. The project includes additional floor area to expand the existing kitchen, family room, and two bedrooms. The modification permit will allow an addition to the existing one-story single-unit dwelling, which is compatible with other properties in the neighborhood. Therefore, the project will not result in a change to the density or intensity as a result of the project.
- The existing parking configuration will continue to accommodate the parking of two
 vehicles within the garage and fulfills the intent of the Zoning Code. Demand for
 on-street parking in the neighborhood is not anticipated to increase as a result of
 the project.
- An alternative to this proposal is to reduce the size of the addition to no more than 10% of the existing gross floor area of the structure as authorized under NBMC Section 20.38.060(A) (Nonconforming Parking - Residential) and extending the existing garage walls to the west and east. If the Applicant were to relocate the interior walls 6 inches to the west to achieve the required 20-foot width interior

clearance, then this modification would encroach into the resident's existing bedroom. Additionally, relocating the interior walls to the east would encroach into the required 5-foot side yard setback. These encroachments are contrary to the purpose of the project, would be costly to alter, and also create a structural nonconformity (if wall were moved to the east). Additionally, the intent of the project is to provide for more living area for the residents. Therefore, a redesign to reduce the size of the addition to 212 square feet and extending the garage walls significantly impact the objectives of the project and would not provide similar benefits to the applicant.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:

Laura Rodriguez, Assistant Planner

Attachments:

ZA 1 Draft Resolution

ZA 2 Vicinity Map

ZA 3 Applicant's Project Justification Letter

ZA 4 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING A MODIFICATION PERMIT FOR A 17-PERCENT ADDITION TO AN EXISTING SINGLE-UNIT RESIDENCE WITH NONCONFORMING PARKING LOCATED AT 1977 PORT SEABOURNE WAY (PA2025-0137)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

- 1. An application was filed by David Hohmann (Applicant), on behalf of Terri Sjodin (Owner), for 1977 Port Seaborne Way which is legally described as Lot 30 in Tract 7027 (Property), requesting approval of a modification permit.
- 2. The Applicant proposes a 358-square-foot addition (17%) to an existing nonconforming single-unit residence where the Zoning Code limits additions to 10% of the existing gross floor area when the required parking dimensions are not provided. The Property currently provides interior garage dimensions of 19 feet 4 inches in width and 20 feet in depth. Given that the Property's lot width exceeds 40 feet, the Newport Beach Municipal Code (NBMC) requires a minimum interior garage dimension of 20 feet in width by 20 feet in depth for the two-car garage (Project).
- 3. The Property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Harbor Views Hills (PC3) Zoning District.
- 4. The Property is not located within the coastal zone.
- 5. A public hearing was held on November 26, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

- 1. This Project is exempt from the California Environmental Quality Act (CEQA) under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
- 2. The Class 1 exemption includes additions to existing structures up to 50% of the floor area before the addition, or 2,500 square feet, whichever is less. The Project is a 358-square-foot addition to an existing single-unit dwelling in a developed neighborhood and is not within an environmentally sensitive area. Therefore, the Project is consistent with the intent of Class 1.

SECTION 3. REQUIRED FINDINGS.

By Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

A. The requested modification will be compatible with existing development in the neighborhood;

Facts in Support of Finding:

- 1. The surrounding neighborhood is comprised of one- and two-story single-unit residences. The modification permit will allow an addition to the existing one-story single-unit residence, which is compatible with other properties in the neighborhood. The Project includes additional floor area to expand the existing kitchen, family room, and two bedrooms. There is no change to the density or intensity as a result of the Project.
- 2. The PC3 Zoning District limits site coverage to 60%, which is 3,627 square feet of the 6,045-square-foot lot. The project includes an addition of 358 square feet for a total gross floor area of 2,478 square feet (49% site coverage). The resulting bulk and scale of the Project is compatible with other single-unit dwellings within the neighborhood.

Finding:

B. The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use;

Facts in Support of Finding:

- 1. While the Property provides a two-car garage as required by the PC3 district regulations, the regulations are silent in the minimum interior dimensions for enclosed spaces. Therefore, the applicability of Section 20.40.040 (Parking Standards for Residential Uses) of the NBMC requires a two-car garage to provide a 20-foot wide by 20-foot deep interior dimensions due to the Property's lot width being more than 40 feet. The Property currently provides interior garage dimensions of 19 feet 4 inches in width and 20 feet in depth. Therefore, the Property's existing 2-car garage is considered legal nonconforming due to insufficient width.
- 2. NBMC Subsection 20.38.030(C) (Determination of Nonconformity Nonconforming Structure) defines a "legal nonconforming structure" as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. The Property does provide a two-car garage; however, it is considered legal nonconforming due to its substandard interior garage dimensions. The existing nonconforming garage measures approximately 19 feet 4 inches in width by 20 feet in

- depth, where the Zoning Code requires minimum dimensions of 20 feet wide by 20 feet deep.
- 3. The granting of the modification permit is necessary to allow a reasonable addition to an existing single unit dwelling that was constructed in compliance with the required number of parking spaces in effect at the time of original construction, and that are adequate in width for the parking of two vehicles.

Finding:

C. The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code;

Facts in Support of Finding:

- 1. Facts in Support of Finding B are hereby incorporated by reference.
- 2. To create a compliant two-car garage with the required interior dimensions would result in practical difficulties and physical hardships. Relocating the interior walls 6 inches to the west to achieve the required 20-foot width interior clearance would reduce the size of the existing bedroom. Relocating the interior wall to the east is not permitted since it encroaches into the required 5-foot side yard setback. These alternatives would make the Project infeasible and are inconsistent with the purpose and intent of the Zoning Code.

Finding:

D. There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public;

Facts in Support of Finding:

- 1. Fact 2 of Finding C is hereby incorporated by reference.
- The intent of the Project is to provide additional living area to expand the existing kitchen, family room, and two bedrooms. A redesign to reduce the size of the addition to 212 square feet will significantly impact the objectives of the Project and would not provide similar benefits to the Owner.

Finding:

E. The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.

Facts in Support of Finding:

- 1. The Project conforms to the applicable development standards such as floor area limit and height, which will provide adequate protection for light, air, and privacy. The Project also complies with the required 5-foot side yard setback and 10-foot rear yard setback. The Property is required to have 19-foot front yard setback along Port Seabourne Way. However, the existing single-unit dwelling maintains an 18-foot, 6-inch setback from the front property line. While the building's existing yard setback is legal-nonconforming, the Project does not further intensify this condition, as the nonconforming setback pertains to the existing garage, which is not within the Project's scope.
- 2. The Project maintains more than the minimum 3-foot side yard for fire access in accordance with Zoning Code Section 20.30.110 (Setbacks Regulations and Exceptions), Subsection A(1)(c).
- 3. As conditioned, the Applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

- 1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
- 2. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit (PA2025-0137), subject to the conditions outlined in Exhibit A, which is attached hereto and incorporated by reference.
- 3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or a call for review is filed with the Community Development Director by the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 26TH DAY OF NOVEMBER, 2025.

Benjamin M. Zdeba, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL (Project-specific conditions are in italics)

Planning Division

- 1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
- 2. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
- 3. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused the revocation of this Modification Permit.
- 4. This Modification Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
- 5. Any change to the approved plans shall require review by the Planning Division. An amendment to or the processing of a new modification permit may be required.
- 6. Demolition beyond the approved scope of work requires planning division approval before the commencement of work. Approval of revisions to project plans is not guaranteed. Any changes in the current scope of work may require the entire structure to be demolished and redeveloped in conformance with the current Zoning Code Development Standards.
- 7. Each parking space within the garage shall be permanently available and maintained for parking purposes. The interior clear dimensions (19 feet 4 inches wide by 20 feet deep) shall be kept clear of obstructions including cabinets, shelving, or similar that may impact the ability to adequately park two vehicles
- 8. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans before issuance of the building permits.
- 9. <u>Prior to the issuance of a building permit</u>, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
- 10. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the

- current business owner, property owner or leasing agent.
- 11. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
- 12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the NBMC.
- 13. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of Sjodin Residence Addition including, but not limited to, Modification Permit No. PA2025-0137. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing the such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Public Works Department

- 14. The existing planter within the public right of way shall be removed, and an encroachment permit for the removal shall be obtained.
- 15. An encroachment permit and encroachment agreement shall be obtained for the decorative driveway pavers within the public right of way.

Fire Department

16. The Project shall be fire sprinklered per 2022 NFPA13D if the existing dwelling is equipped with a fire sprinkler system.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Modification Permit PA2025-0137 **1977 Seabourne Way**

Attachment No. ZA 3

Applicant's Project Justification Letter

1977 Port Seabourne Way

The project is for proposed additions to a single family single story residence. The additions are limited to single story construction and include an addition to left side of the house and two additions at the rear of the existing kitchen and primary bedroom. This modification request is to allow an increase in area greater than 10% of the existing building area while maintaining an existing non-conforming garage. The current 2 car garage complies with the required depth of 20 feet, however the width of the garage width is substandard by approximately 8" at 19'-4".

As provided by the Newport Beach Municipal Code section 20.52.050 3.(e), this type of modification is not limited in the amount of deviation from the standard being modified. The existing area of the building is 2096.9 square feet allowing for an increase of 209 square feet. This modification is requesting an area increase of 350 square feet or 16% of the existing building area.

Justication and Required Findings

- 1. The requested modification will be compatible with the existing development in the neighborhood as many of the existing and remodeled residences in this low density neighborhood of Harbor View were developed with similar garages which have been in use for the last 50 years.
- 2. The requested modification is necessary due to the fact that the right side of the garage is currently at the minimum side setback and the left side abuts the wall of a small bedroom not allowing for increasing the garage width.
- 3. The granting of this modification is necessary to minimize demolition and reconstruction which is contrary to green principles creating waste and requiring new resources for no appreciable gain in function.

- 4. There is no practical alternative solution that can provide similar benefits with less detriment to the owners, the neighborhood, or the general public in as much as there is no other location on the lot for additional parking and off street parking is provided for two additional cars in the existing driveway.
- 5. Granting the modification would not be detrimental to public health, safety or welfare. No change in density or intensity is anticipated and all other conditions are consistent with the provisions of the zoning code. It also maintains the original character of the neighborhood.

Attachment No. ZA 4

Project Plans

1977 Port Seabourne Way Single Family Remodel & Addition



- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION IMMEDIATELY.
- 3. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED
- A. ALL DIMENSIONS ARE TO THE FACE OF STUD OR TO THE FACE OF FRAMING
- PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

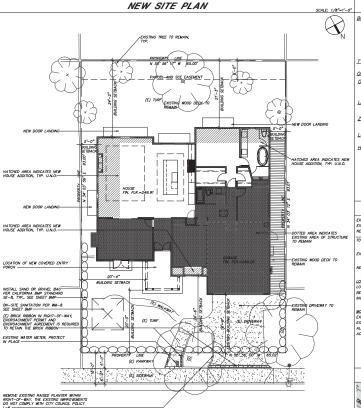
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- REGUNDLESS OF PERIOR!

 D. ELECTRICAL AND PLUMBING FOR EXTERIOR IMPROVEMENTS DETACHED FROM THE HOUSE
 (I.E. BARBEQUE, FOUNTAIN, FIRE FEATURE)

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- CONTRACTOR TO SUBMIT A FIELD INSPECTOR MANUFACTURER'S INSTALLATION INSTRUCTION FOR FIREPLACES WITH LOGO OF LISTING AGENCY ON COVER.
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 ANY CONSTRUCTION AUTHORIZED BY THIS FERRILT.
- PROVIDE EVIDENCE OF THE 30-DAY NOTIFICATION FOR COMPLETE DEMOLITION OR EXCAVATION TO ADJOINING PROPERTIES AS REQUIRED BY NIBUC SECTION 15.02.120. ELGAMILION TO AUXIMINE PROPERTY SE RECORDED BY MINE SECTION TO SOUTH THE CONTENSION OF MEMORY SECTION OF MEMORY SECTION
- POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
- FENCES, HEDGES, WALLS, RETAINING WALLS, GUARDRAILS AND HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42 INCHES FROM EXISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE FER HIRST ERROY SPEACY ASPECTS.
- CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREA(S).
 ALL PERMITS REALTED TO THE PROPOSED PRICEST SHALL BE ISSUED AT THE SAME
 TIME, OR SEPARATE PLANS AND PLAN REVIEW WILL BE REQUIRED NOT ISSUED WITH THIS
 REVIEW PROVIDE ADDITIONAL PERMIT WORKSHETS FOR THE MASONRY OR CONCRETE
 FENCES OVER 3.5 FT. ABOVE GRADE, OR WITHIN 3 FEET OF THE PROPERTY LINE.
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PORT SEABOURNE WAY

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.

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- SOLAR PV INSTALLATION (SOLAR PV WITH MINIMUM 3.53 KW DC MUST BE OBTAINED UNDER SEPARATE REVIEW AND PERMIT).
- ORTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION

PROJECT INFORMATION

TYPE OF CONSTRUCTION: TYPE VB (FULLY-SPRINKLERED NFPA 130)
1-STORY W/ ATTACHED 2-CAR GARAGE OCCUPANCY GROUPS: GROUP R3 AND U

LEGAL DESCRIPTION:

PC 3 HARBOR HILLS BUILDING SETBACKS: 19'-0" FRONT; 5'-0" LEFT AND RIGHT SIDE; 10'-0" REAR LOT SIZE: 6.046 SQ. FT

HEIGHT LIMIT: 28"-0" MAXIMUM HIGHEST RIDGE HEIGHT

ARCHITECT

AREA CAL	CULA	IION	
EXISTING HOUSE AREA TO REMAIN	-	466.00	SQ. FT.
EXISTING HOUSE AREA TO REMODEL	-	1,194.00	SQ. FT.
NEW HOUSE AREA ADDITION	-	358.00	SQ. FT.
OTAL HOUSE AREA	-	2,018.00	SQ. FT.
EXISTING 2-CAR GARAGE AREA TO REMAIN	-	460.00	SQ. FT.
NEW COVERED PORCH AREA	-	105.00	SQ. FT.
OT COVERAGE CALCULATION:			

OUEPACE (ANY MAYMUM) = 2 045 SO ET (TOTAL NEW BUILDING FOOTBRINT ARE.

MODIFICATION REQUEST:
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LESSING BRUTHON ARE — 2.120 SQ. FT. (INCLUDES DISTING HOUSE TO REMAIN = 466 SQ. FT.)
ALLORABEL BRUTH AREA MODIFICATION FOR THE CONFORMING GRANGE (100) = 212 SQ. FT.
ACTUAL AREA MODIFICATE REPORTS ET S. SG. FT.

PROJECT TEAM

DRAWING INDEX

TITLE SHEET/ PROJECT INFORMATION/ VICINITY MAP/ LEGEND/ ABBREVIATIONS DEMOLITION SITE, FLOOR AND ROOF PLANS/ KEYNOTES/ LEGEND NEW FLOOR AND ROOF PLANS/ KEYNOTES/ LEGEND
NEW EXTERIOR ELEVATIONS/ KEYNOTES/ LEGEND/ CITY GENERAL NOTES
NEW EXTERIOR ELEVATIONS/ KEYNOTES/ LEGEND/ CITY GENERAL NOTES NEW BUILDING SECTIONS/ KEYNOTES/ LEGENL

DAVID HOHMANN 1807 GISLER AVENUE COSTA MESA, CALIFORNIA 92626 PHONE: (714) 241-3600 EMAIL: dhohmann@sbcglobal.net ATTN: DAVID HOHMANN (NO. C20379) (DESIGN PROFESSIONAL IN CHARGE) EXPIRES 6-30-2026

TOPOGRAPHIC SURVEY CIVILSCAPES ENGINEERING 28052 CAMINO CAPISTRANO, SUITE 213 LAGUNA NIGUEL, CALIFORNIA 92677 PHONE: (949) 464-8115

EMAIL: Info@clvliscapes.com ATTN: WILLIAM D. ROLPH (NO. C76698)

SCOPE OF WORK

REMODEL AND ADD TO AN EXISTING 1-STORY SINGLE FAMILY DWELLING WITH ATTACHED

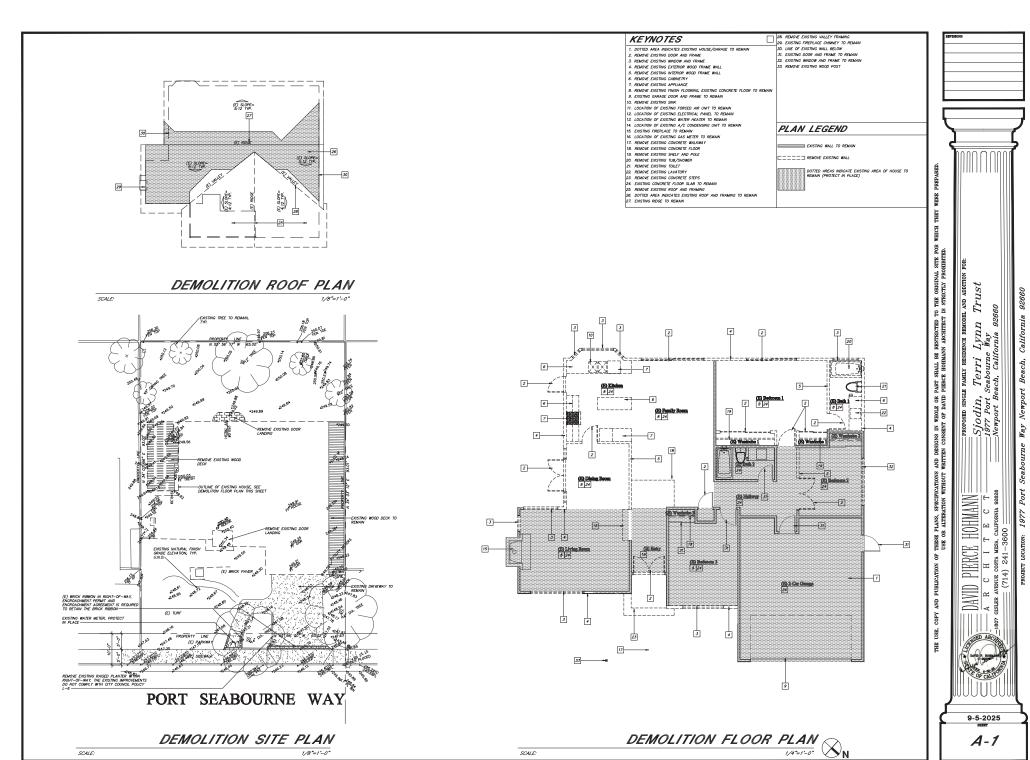
VICINITY MAP PROJECT LOCATION-



δ <u>8</u>

SHEED ARCH

9-5-2025 T-1



GENERAL NOTES

FLOOR PLANS:

SLEEPING ROOMS MUST HAVE A WINDOW OF EXTERIOR DOOR FOR AN EMERGENCY EXIT, SILL HEIGHT NOT MORE THAN 44 MICHES ABOVE THE FLOOR, 5.7 SOUARE FEET OF OPENABLE AREA, 24 MICHES CLEAR OPENING WOTH AND SHALL GREW DIRECTLY MITO A PUBLIC STREET, ALLEY, YARD, OR EXIT COURT.

PROVIDE 30 INCH CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24 INCH CLEARANCE IN FRONT OF A WATER CLOSET.

PROVIDE CARBON MONOXIDE ALARMS ON EACH STORY AND AT EACH END OF THE SECOND FLOOR HALLWAY (UL 20/34/2075 RATED CARBON MONOXIDE ALARM HARDWIRED W/ BATTERY BACKUP AND INTERCONNECTED EACH SLEPTING ROOM AT BASEMENT SHALL HAVE ITS EMERCENCY EGRESS AND RESCUE OPENING, ESCAPE WINDOWS W/ A FINISHED SILL HEIGHT BELOW ADJACENT GROUND ELEVATION SHALL HAVE A WINDOW WELL AND AND LADDER.

PROVIDE DOUBLE 2X SILL PLATE AND 1-1/2" THK. LIGHTWEIGHT CONCRETE SUR-FLOOR ON SECOND FLOOR LEVEL. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXPENSE FOUNDATION WALLS AND ARE LESS THAN 8 INCHES TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY.

TO DECAY.

SELS AND SEEPERS IN DIRECT CONTACT MY COMPRETE OR MASONRY THAT SELS AND SEEPERS IN DIRECT CONTACT MY COMPRETE OR MASONRY THAT CELEMANCE TO MASONRY AND COMORETE SHALL BE PRESSINE THEATED OR MATRIALLY DURABLE TO DECAY (FOR TRIT/ICLAS).

THE MANAMUM MOTH OF HALLMAYS SHALL NOT BE LESS THAN 36."

THE MANAMUM SORP OF ANY LANGUMOR SHALL NOT EXCEDE 1/4 MONT/POOT. ALL EXHAUST FANS IN THE BATHROOMS WITH TUB OR SHOWER SHALL RF FOLIOPPT) WITH HIMMOISTAT.

ALL ELECTRICAL OUTLETS WITHIN REACH SHALL BE TAMPER RESISTANT PER CEC SECTION 406.12.

PER CEC SECTION 408.12. ON GRADE SHALL BE SPIRAL IMPARED WITH ALL DAST ROW PRES BELOW GRADE SHALL BE SPIRAL IMPARED WITH ALL WASTE LINES SHALL HAVE 2% SLOPE MINIMAN PER 2019 OPC SECTION 708.1. SHALL DASE SHALL BASE SPRANTED BY NO LESS THAN 56" TIME. THE "X" GYPSUM BOARD APPLIED TO THE UNDERSIDE OF FLOOR FRANCE PER SHALL PER SPEAKED BY HOLESSIDE OF FLOOR FRANCE PER SHALL PER SPEAKED BY HOLESSIDE OF FLOOR FRANCE PER SHALL PER SPEAKED BY HOLESSIDE OF FLOOR FRANCE PER SHALL PER SPEAKED BY HOLESSIDE OF FLOOR FRANCE PER SHALL PER SPEAKED BY HOLESSIDE OF FLOOR FRANCE PER SHALL PER SHALL

OOR AND WINDOW NOTES:

NITEROE DOOR AND FRAME FINISH SHALL MATCH MOULDINGS IN EACH ROOM, SEE ROOM FINISH SOKEDULE. SEE ROOM FINISH SOKEDULE SEES, COMMITTY AND MAKE APPROPRIED FINISH FOR TO GEDERING. DO HOT SCALE DOOR ELEVATIONS AS SIZES MAY WARY, SEE DOOR SCHEDULE FOR SIZES.

OF THE WORK SHAPE OF THE WAY AS A SEAS MAY WAY. SEE DOOR NAME OF THE WAY AS A SEAS WAY WAY. SEE DOOR NAME OF THE WAY AS A SEAS WAY WAY AS A SEAS WAY A SEAS WAY AND A SEAS WAY AND A SEAS WAY AND A SEAS WAY AND A S

SHALL BE ATTACHED TO THE DOOR WITH NON-MEMORIAGE BOX TS FROM
STREET, THE SHALL SHALL

SCALE.

H. GLAING ADJACENT TO STARRAYS, LANDINGS AND RAMPS MITHIN M. SINCES (DIE MIN) HORGOTHALLY OF A RIALDING SURFACE; RECO. (1524 MIN) HORGOTHALLY OF A RIALDING SURFACE; RECO. (1524 MIN) HORGOTHALLY OF A RIALDING SURFACE; THE CONTROL SURFACE OF THE CLASS MIN) HORGOTHAN HORGOTHAN SURFACE OF THE CLASS MIN) HORGOTHAN HORGOTHAN THE CONTROL SURFACE OF THE CLASS SUBJECT OF THE CLASS MIN) HORGOTHAN HORGOTHAN THE CONTROL OF THE CLASS OF THE CONTROL OF THE CLASS OF THE WAY AND THE LAND SURFACE OF THE CLASS OF THE WAY ON THE LAND SURFACE OF THE CLASS OF THE WAY OF THE LAND SURFACE OF THE CLASS OF T

APPROVED CLPS.

A LINKE TIES SHALL BE INVESTIGATED WITH THE NAME.

A LINKE TIES SHALL BE INVESTIGATED THE TIES SHALL BE SET THE MOSE OF APPROVED FROM THE TIES SHALL BE SET ALL SET ALL BEFORE SHALL BE INSTALLED PER MANAGURER'S RISTRUCTORIS. FASTIGARES SHALL BE INSTALLED PER MANAGURER'S RISTRUCTORIS. FASTIGARES TO RESIST WIND LOAD OF NOT STATISTICS THAT BE SHALL BE INSTALLED PER MANAGURER'S RISTRUCTORIS. FASTIGARES TO RESIST WIND LOAD OF NOT STATISTICS THAT BE SHALL BE INSTALLED PER MANAGURER'S RISTRUCTORIS. FASTIGARES TO RESIST WIND LOAD OF NOT STATISTICS. THAT BE SET AND LOAD OF NOT STATISTICS. THE SET AND LOAD OF NOT STATISTICS.

THE STATE OF THE S

EXPOSED ATTIC FLOOR INSULATION SHALL HAVE A CHITICAL RADIANT FLUX OF NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER PER ASTM E 970.

ROOF PLAN:

GORDEN, MOTES.

PROVIDE FOCO ATTIC VENTRATION BY "OHAGIN" METAL CLOAMED VENTHIGH PROVIDE S' STYLE NET FREE VENTRATION AREA = 97.50 SO. IN.
SECCI--8800A, INSTALL SO PRECENT OF RECURED VENTRATION AS IN THE UPPER PROVIDE BOOK WITH A THE ATTICLE VENTRATION OF THE ATTICLE SPACE AT LEAST 3-0" AND A METAL SUPERIOR OF THE ATTICLE SPACE AT LEAST 3-0" AUGUST AREAS.

METAL SUPERIOR OF THE ATTICLE SPACE AT LEAST 3-0" AUGUST AREAS.

PUSSIBLE.
ALL ROOF PENETRATIONS, FLASHINGS, VENTS, ETC. TO BE GALVANIZED
METAL PAINTED. 2. ALL ROSE PRETRINCIS, FLASHWICK, MENTS, ETC. TO BE CHUMNED
METHL PARHITE
MENTLE PORTERO PROMPOSITION AND FOOD BOMBA A RUDGETTED.
MENTLE CHEFFLOR SCHUPPER AT FLAT ROOF BRANKS, CHITERS TO MAKE
SCHEIN TO PREVIOT BEBISS, CONNECT ALL DOMBNOWS LOTS
AND FOR THE PROMPOSITION AND FROM THE PROPERTY OF THE PRO

THE TOP WINTS PRODUCE THESE WHITS AT ALL CRAWS BY FACILISE.

AND AND AND AND AND AND FOR PROJECT OF THESE SECREDS THE SECRET OF THE SECRET OF

ATTIC VENTILATION NOTES

PROVIDE ATTIC VENTILATION (144 SQUARE INCHES MAXIMUM) BY "OHAGIN" METAL CLOAKED TILE VENT (ICC REPORT INC. 9850A)

ROOF WITH ATTIC: ROOF ATTIC = 1,581 SQ. FT. /300 = 5.27 SQ. FT. = 758.88 SQ. IN. (8 VENTS @ 97.50 SQ. IN. PROVIDED= 780.00 SQ. IN., 8 REQUIRED)

AND CORNICE SENTS THAT RESIST THE INTERIOD OF FLARE AND REPRINCE DEBETS.

BERNING ELERST.

MAY BE RESISTED OF SECURITY OF AND CONTROLS.

MAY BE RESTALLED ON THE INCREMENT OF EACH AND CORNICES.

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KEYNOTES

NEW INTERIOR DIRECT VENT SEALED COMBUSTION CHAMBER TYPE GAS FRIEDLICE BY ISSUREN MANUAUS DIRECT VENT GAS FRIEDLICE MODEL 80040 (FOCE SHATS, UL 127, AMBRUS 2125) 2014; PST FIL—100), MISTALL PER MANUFACTURED S'RECOPCATIONS, MEDIODE FRIEDLICE TO MANUFACTURED S'RECOPCATIONS, MEDIODE FRIEDLICE TO MANUFACTURED S'RECOPCATIONS, MEDIODE FRIEDLICE TO MANUFACTURED COMBUSTION ART TO GUISTE OF STORY OF PRIEDLICE LOCATED ON OUTSIZE BRINS, MOT TO BE USED FOR MODO BENING

AN INTERIOR WALLS AND COLUMN ADALEST TO HOUSE SHALL BE 2X6 STUDS 9 16" O.C. 4" 5/8" THK. THE "X" OTP. BD. PROMDE 1-HR. FIRE RESSINE CONSTRUCTION. EXTERNOR WALLS, EAMAS MOD COLUMNS SUPPORTING FLOOR ABOVE GRARGE SHALL BE PROTECTED W 1-HR. FIRE RESSINE CONSTRUCTION (5/8" THE. THE "X" OTP. BD. ON INTERIOR SIDE AND STUCCO ON EXTERIOR SIDE), SEE DETAIL 12/D—1

1-1/2" DROP MAXIMUM FROM THRESHOLD (3/4" MAXIMUM FOR SLIDING DOOR) SEE DETAIL 8/D-1 LINE OF NEW SOFFIT, ARCH OR BEAM ABOVE

NEW SHELF AND CHROME POLE NEW BUILT-IN CASEWORK OR SHELF W/ UNDER CABINET LIGHTING

NEW SHAMPOO NICHE AT +54" PROVIDE WALL BLOCKING, SEE DETAIL 4/D-3 1. NEW TUB 2. NEW HEAT PUMP LOCATION 13. NEW TANKLESS WATER HEATER LOCATION

SCALE:

14. NEW TOILET PAPER HOLDER PROVIDE BLOCKING 24" ABOVE FINISH FLOOR NEW TOWEL BAR PROVIDE BLOCKING AT 48" ABOVE FINISH FLOOR NEW TOMEL BAR PROVIDE BLOCKING AT 48" AE
 NEW SHOWER DAM, SEE DETAIL 14/D-1
 LINE OF EXISTING GARAGE DOOR OVERHEAD
 3"-0" WIDE MINIMUM CONCRETE LEVEL LANDING

EVISTING EIREDI ACE TO REMAIN LOCATION OF NEW ROOF VENTILATION BY "CHAGIN" CLOAKED VENT TILE PHONE (800) 394-3864, TYP. 38. - DIRECTION OF ROOF SLOPE, TYP.

10. NEW RIDGE, SEE DETAIL 3/D-1

31. NEW VALLEY, SEE DETAIL 4/D-1

12. NEW ROOF EAVE, SEE DETAIL 1/D-NEW ROOF EAKE, SEE DETAIL 2/D-1
LINE OF WALL BELOW
NEW ROOFING MATERIAL:
ROOF TILE: LIGHTWEIGH

NEW 24"X30" ATTIC ACCESS W/ LIGHT, SWITCH AND OUTLET

26. DOTTED AREA INDICATES EXISTING HOUSE/GARAGE TO REMAIN EXTERIOR WOOD COLUMN, SEE STRUCTURAL EXISTING DOOR AND FRAME TO REMAIN

NEW ROOF TO WALL FLASHING, SEE DETAILS 5/D-1 AND 6/D-1 30" MINIMUM DIAMETER CLEAR INSIDE SHOWER

7.2 KW ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) CHARGING STATI

PROVIDE REINFORCEMENT FOR GRAB BARS FOR WATER CLOSETS AND SHOWER, SEE DETAIL 1/D-2

LIGHTWEIGHT CONCRETE TILE

BORAL ROOFING LLC MATCH EXISTING MAIN HOUSE

A ESR-1017 8 LBS. PSF

WALL LEGEND

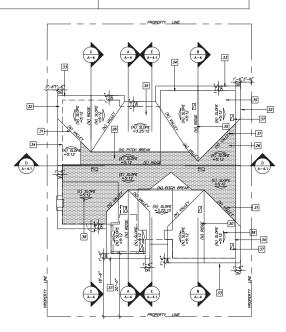
NEW EXTERIOR WALL = 2X4 MN. 0 16° C.C. W/ 7/8° THK. SMOOTH STUCCO FINISH OVER 2 LAYERS OF GRADE D OR 60 MONUTE GRADE D PAPER REPUBLED OVER ALL MODO BASE SHEATHING ON EXTERIOR SIDE AND 1 LAYER OF 5/8° THK. THY "GTP. BC. ON INTERIOR SIDE, PROVIDE A-2 BATT INSLAND. INTERIOR WALL = 2X4 MN. 0 16° C.C. W/ 1 LAYER OF 5/8° THK. GTP. BC SACH SIZE (PROVIDE ZNA AT PLAMEN) GRALLD.

1-HOUR RATED EXTERIOR WALL = 224 MIN. @ 16" O.C. MAX. W/ 1-LAYER OF 5/8" FIRK. TIPE "X" OFP. BD. ON INTERIOR SIDE AND 7/8" FIRK. CEMENT PLASTER FIRSH OF EXTERIOR WALLS)
EXTERIOR SIDE (FOR EXTERIOR WALLS)
1-HOUR RATED INTERIOR WALL = 224 MIN. @ 16" O.C. MAX.)
1-LAYER OF 5/8" FIRK. TIPE "X" OYP. BD. EACH SIDE (FOR INTERIOR WALLS)

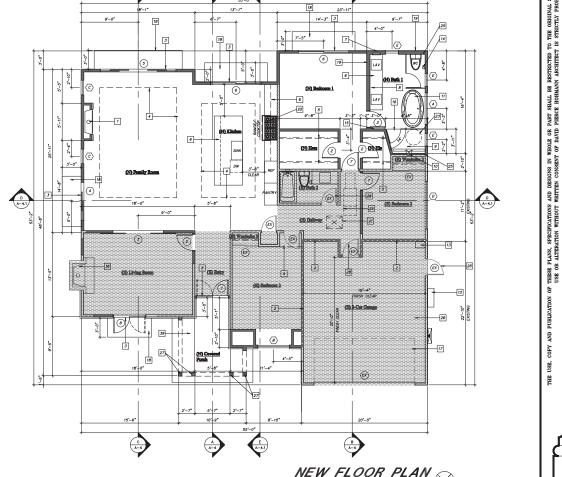
DOTTED AREAS INDICATE EXISTING AREA OF HOUSE TO REMAIN (PROTECT IN PLACE)

DESS.

IN DESCRIPTIONS OF PRE-RESISTANCE-MATE CONSTRUCTION SMALL PROPERTY TO PROPERTY THE PROPERTY OF PRE-RESISTANCE-MATE CONSTRUCTION SMALL RE IN PRE-RESISTANCE SMALL DE CONSTRUCTION SMALL RE IN PRE-RESISTANCE SMALL DE CONSTRUCTION SMALL RE IN PRE-RESISTANCE SMALL DE CONSTRUCTION CONSTRUCTION SMALL RE IN PRE-RESISTANCE SMALL RESISTANCE AND ADMINISTRATION OF PRE-RESISTANCE SMALL RESISTANCE AND ADMINISTRATION FOR THE PRE-RESISTANCE SMALL RESISTANCE AND ADMINISTRATION FOR THE PRE-RESISTANCE AND ADMINISTRATION FOR THE PRE-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PRO-RESISTANCE AND ADMINISTRATION FOR THE PROPERTY UNIT THE FAIR PROPERTY UNIT



NEW ROOF PLAN



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SHEED ARCH

9-5-2025 A-2

CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

100 Civic Center Drive | P.O. Box 1788 | Newport Beach, CA 92858-8915

2022 CALGREEN - RESIDENTIAL MINIMUM REQUIREMENTS

- 1. 2022 Celifornia Green Building Standards Code (CG) is applicable to all new residential buildings, including but not limited to, dwellings, apartment houses, condominums, hotels, and other types of dwellings containing selepting accommodations with or without common intelles or cooking facilities regulated by the Department of Housing and Community Development (HCD-1), (HBMC 15.11.010, CG Section 101.3.1(9)).

- Interest extrements. As the control desired part (sent) cases the statute private garages with risks a based. Never one for the control desired private priv

- unarian results amo apacio reserved to installación o a orianch circuit overcurriert protective devide. The service panel or subpanel cricuit directory shall identify the overcurrent protective devices space reserved for future EV charging as "EV CAPABLE." The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Material Conservation and Resources Efficiency

- Amular space around pipes, electric cables conduit, or other openings in toler-bottom plates at contrior wells shall be protected against the passage of obserts by closing such spenings with cement mortar, poncete masonry or other similar method. (4.46.1)
- Utilize one of the city's approved fraschise hailer to recicle and/or savage a mnimum of 65% of the nonhazardors construction and demolition waste. (4.493.1, 4.408.3)

Water Efficiency and Conservation

- New residential developments shall comply with City's vater efficient landscape NBMC 14.11)
- 7. Plumbing fixures and littings shall comply with the following (4.303.1):

FIXTURE TYPE	MAXIMIM FLOWRATE
Single Showerheads	1.8 gpn @ 30 psi
Multiple Showerheads	Combine flow rate of 1.8 gpm @80 psi
Residential Lavetory Fauxets	1.2 gpn (0 60 psi ²
Common and Fublic use _avatory Faucets	0.6 gpn @ 60 psi
Kitchen Fauceti	1.8 gpn @ 60 psi
Neterno Faucets	0.2 galbns per cycle naximum
Water Closets	1.28 galons'flush'
Wall Mounted Urinal	0.125 callors/flush
All Other Types of Urinal	0.5 galbns/flush

Environmenta Quality

- Mosture cotent of bilding materials used in wall and floor framing is checked before enclosure according tones of the following (4.505.3).

 A miceiture correct shall be determined with either a probe-type or contact-type moisture meter. Equivalent missiture verification meterious may be approved by the enforcing agency and shall saidly requirement found in Section 101.1 of this code.
- satisfy requirements found is Section 101.1 of his cide.

 Ministrue reaccipisable be laker at a point 2 feet (fill 0 nm) to 4 cet (1215 mm) fron the grade stampace and of each piece to be verified.

 At least three raction mealure readings shall be performed or well and filor familing with documentation acceptable is the enforcingagescy provided at the time of approval to inclose the wall and floor familing.
- wal and boot forming.

 A second pairs and registers and the Product weepined MRT Lambdor FDC & Section MSC2(a)(7) and (right of this majorisment in the leading MSC2(a)(7) and (right of the califorms 2-cite of fegulations, 100 colors of the califorms 2-cite of fegulations, 100 colors and care primary and lates compared in the or of the following (4.564.3):

 a. Careje and Ring in finishint's General Label Flax Program.

 C. Calleton Lambdorner of Fullis Yealth Speciation 313(3).

 c. SIGNAMI 45 of a the Gold Hout.

 6. Societies Celebration Systems (Accept Advantage ¹⁹ Gold

 C. Societies Celebration Systems (Accept Advantage ¹⁹ Gold

- Minimum 80% of floor trea receiving resilient flooring shall comply with one of the following (4.504.4): a. VOC entiselos limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Product Database. b. Products certified inder UL GREENGUAR3 Gdd.
- Performince Product Database.

 b. Products certified under UL GREENGUAR) Gold.

 Certifiedunder theResilient Floor Covering Institute (RFCI) FloorScore program.

 d. California Department of Public Health Specification) 1350.

ADHESVE VOC LIMIT 1.2 (Less Water and Less Exempt Compounts in Gran	s per Liter)
ARCHITECTURAL APPLICATIONS	VOCLIMI
Indoor carget achesives	50
Carpe: padadhesives	50
Cutdoor carpet adhesives	150
Wood flooring achesive	100
Rubber floor adhesives .	60
Subfloor achesives	50
Ceramic tile adhesives	65
VCT and asphal tile adhesives	50
Drywal and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural dazine adhesives	100
Single-ply pof rrembrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cerrent welding	250
Adhesive pimerfor pastic	550
Contact adjestive	80
Special purpose contact adhesive	250
Structural wood nember athesive	140
Top and trin adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Pastic foans	50
Porous material except wood)	50
Wood	30

Fbergass	80
 If an adhesive is used a bond dissimilar substrates together, the adhesive with he highest VO. For addisonal idormation regarding methods to measure VOC content specified in table, see S 	C content shall be alliwed. louth Coast Air Qualit Management District I
SEALANT VOCLIMIT (Less Water and Less Exempt Compounts in	
SEALANTS	VOCLIM
Architectural	250
Marine dect	760
Nonmembrane reof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porpus	775
Modified bitumineus	500
Maring dect	760
Other	750

13. Pants, stains, and other costings shall becomplian with VOC and other toxs compound limits set forth in Table 4.584.3. (4.594.2.1)

Less Water and Less Exempt Compo	VOCLIM
Flat coatings	50
Nonflit coatings .	100
Nortfut-high gloss coatings	150
SPECIALTY COATINGS	
Alumhum roof coatings	400
Basement specialty coatings	400
Bitumnous roo' coaings	50
Bitumnous roo' primers	150
Bond breakers	350
Concete curing compounds	350
Concete/masonry sealers	100
Drivevay sealers	50
Dry fcp coatings	150
Faux inisting coatings	350
Fire resistive coatinos	350
Floor:oathgs	100
Form-release compounds	250
Graphic arts costings (sign pants)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings1	120
Magnisite cement coatings	450
Mastir texture coatings	100
Metalic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercosters	100
Reactive penetrating sealers	150
Recyded coatings	250
Roof loatings	50
Fust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers andundercosters	100
Stains Stoneconsolidants	250
	450
Swimning pool coatings	340
Trafficmarking coatings Tub and tile refinish coatings	100
	420
Watenroofing membranes	250 275
Woodcoatngs	275
Woodpreservatives	
Zinc-rich primers Grams if VOC per liter of costing, including water and including exempt compounds.	340

Paticleboard, medium density fiberboard (MDF) and hardwood plywood used in intelior or exterior of thebuilding shall comply win low formaldrhyde emission standards as set firth in Tabe 4.504.5 below (4.504.5).

FORMALDEHY9E LIMITS ¹ (Maximum Fermaldehyde Emissions in Parts per Millon)		
JCT	LMIT	
ood plywood veneer coe	0.05	
ood plywood compositecore	0.05	
board	0.09	
n density fiberboard .	0.11	
edium density fiberboad ²	0.13	

- 16. Bahroom exhaust fares shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functionings as component of ahos howevertainton system, fare must be controlled by 1 hundrity control capable of adjustment between a relative hundrity range of feasihant or equal to 305 to enacomment(% (4,06.5).)
- Dust systems are sized, designed and equipment is selected using the following methods (4.607.2):
- Establish heat loss and hear gais values according to ANSI/ACCA 2 Manual J-2/16 (Residential Load Calculation), ASHRAE handbooks or equivalent design software or methods.
 Size duct systems according to ANSI/ACCA 1 Manual D-2016 (Residential Duct Systems), ASHRAE handbooks corder equivalent design software or methods.
- Select heating and coding equipment according to ANII/ACCA 3 Minual S-2H4 (Residential Equipment Selection) o other equivalent design softwareor methods.

- 18 HVAC system installers shall be trained and certified or work under direct supervision of trained and certified installation of proper installation of HVAC-bystems, (702.1)
 19 HVAC special inspectors must be qualified and ablit to demonstrate competence in the discipline they are respecting, (702.2)

Documentations

- 20. An operation and maintenance manual, CD, web-tased reference or other approved media shall be provided by the builder to the building occupant or owner at the final impection. It shall include operation and maintenance instruction of the equipment and positions. (4410.1)
- Dourmentation shall be provided to verify that finishmaterials used comply with VOC limits as set forth in Tables 4.504.1, 4.504.2, 4.4.504.3. (4.504.24)
- 22. Documentation shall be provided to verify that composite wood products used comply with formaldehyde limits as set firth in Tables 4.504.5. (4.504.5.1)
- Documentation which shows compliance with CAI Green code including construction documents, plars, specifications, builder or instaler certificatios, and inspection reports and vertication shall be available at the final inspection. (703.1)
- CAI Green Documentation Compliance Certification form (City form) is required to be submitted to the Building Inspector prior to final building inspector. 703.1)

KEYNOTES

- 1. DOTTED AREA INDICATES EXISTING HOUSE TO REMAIN
- NEW EXTERIOR LAP SIDING BY LOUISIANA-PACIFIC CORPORATION "SMARTSIDE STRAND LAP-SIDING" (ICC ESR-1301), OR APPROVED
- EQUAL

 NEW CORROSION—RESISTANT WEEP SCREED, WITH OPENINGS TO DRAIN
 WATER WEEP SCREED OPENINGS SHALL BE LOCATED BELOW FRIST FLOOR
 PLATE LINE AND 4 WORLES ABOVE TRADE OR 2 WICHES ABOVE FRISHED
 SURFACE AREAS, SEE DETAIL 15/20—1

- SURFACE AREAS, SEE DET.

 4. EXSTING FINISH GRADE

 NEW ROOFING MATERIAL:
 ROOF TILE:
 MANUFACTURER:
 COLOR:
 CLASS.
 L.C.C. NO.:
 WEIGHT: LIGHTWEIGHT CONCRETE TILE BORAL ROOFING LLC MATCH EXISTING MAIN HOUSE
- WEIGHT:

 8 LBS. PSF

 6. NEW ROOF TO WALL FLASHING, SEE DETAILS 5/D-1 AND 6/D-1

 7. NEW R-15 BATT INSULATION IN HOUSE EXTERIOR WALL, TYP.

 8. NEW R-38 BATT INSULATION IN HOUSE ROOF ATTIC SPACE, TYP.
- NEW CLOSED CELL SPRAY FOAM INSULATION (R-38 MINIMUM VALUE) IN BETWEEN ENCLOSED ROOF RAFTER SPACE WITHOUT ATTIC, FILL IN TO MAXMAND SPACE TO PREVENT AIR GAP OR POCKET
- IO. NEW PRESSURE TREATED WOOD EXTERIOR DOOR AND WINDOW SURROUND
- 11. NEW 2X FASCIA, PAINTED
- 13. NEW CONCRETE FLOOR SLAB, SEE STRUCTURAL PLANS
 13. NEW CONCRETE FLOOR SLAB, SEE STRUCTURAL PLANS
 14. EXISTING ROOF AND FRAMING TO REMAIN
- 14. EZSINO NOVE MONTAL PANNOUT DE NEMAN 15. NEW S' GALVANIZED METAL RAN OUTER AND 4" DIAMETER DOWNSPOUT, CONNECT TO EXISTING SITE DRAWAGE SYSTEM 16. EXISTING GRAGE DOOR AND FRAME TO REMAN 17. EXISTING FIREPLACE AND CHIMMEY TO REMAIN
- 18. EXISTING DOOR AND FRAME TO REMAIN
- 19. NEW DOOR AND FRAME TO REMAIN

- 19. REW DOOM AND FRANCE IN REMAIN
 20. NEW WINDOW AND FRANCE TO REMAIN
 21. NEW FRIEZE BOARD
 22. EXISTING COUNDETE FLOOR SLAB TO REMAIN
 23. NEW PRESSURE TREATED STRUCTURAL WOOD POST W/ DECORATIVE
- 24. NEW BUILT-IN CABINETRY

5

(N) TOP OF PLATE

(E) FINISH FLOOR

4

26

SCALE:

3

NEW CONSTRUCTION

- 25. NEW WALL FRAMING, SEE STRUCTURAL
- 25. NEW WALL FRAMING, SEE SINCOLORAL

 26. NEW W7/8" THK. EXTERIOR STUCCO SMOOTH FINISH

 27. NEW BEAM, SEE STRUCTURAL

 28. ADHERED BRICK STONE VENEER

 29. ADHERED PRECAST STONE SURROUND

LEGEND

OTTED AREAS INDICATE EXISTING AREA OF HOUSE TO EMAIN (PROTECT IN PLACE)

5 11 11 (N) TOP OF PLATE

LEFT SIDE

23 2 23



FRONT

NEW EXTERIOR ELEVATIONS

17

EXISTING CONSTRUCTION

δ <u>8</u> PART SHALL BE RESTRICTED 1 PIERCE HOHMANN ARCHITECT WHOLE OR 1 DESIGNS IN W 90

, E. C. AMESA, CALIFORNIA S. 1-3600 SHEED ARCHA OF CALLES

9-5-2025 A-3

USB,

THE

CITY OF NEWPORT BEACH

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION IO Civic Center Drive | P. D. Box 1788 | Newport Eseach, CA 92658-8915

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

ards: 2022 California Residential Code (CRC); 2022 California Bulliling California Plumbing Code (CPC); 2022 California Electrical Code (CEC); dechasical Code (CMC); 2022 Building Energy Efficiency Studios fromia Green Building Sergy Efficiency Studios fromia Green Building Startards Code (Cal Green); & Chapter 15 of the unicipal Code (NBMC)

- Residential bullding undergoing permitted atterations, additions or improvements shall replace non-compaint plumbing features with water-conserving plumbing features meeting the requirements of 2222 California Green Bulling Standardes Code Section 4.33.1 Plumbing fieldure replacement is required price to issuance of a certification of occupancy or final inspection by the Chef Bulling Official. (Onlinea, Section 1011-11 et seq., MARC
- 15.11.1011. Issuance of a building permit by the Cityof Newport Baach does not releve applicans of the legal equirements to observe coverants, conditions and restrictions, which may be recorded against the property or to obtain plans. You should contact your community essociations prior to commencement of any construction authorized by his permit.
- Prior to performing any work in the city right-of-way an encreachment permit must be obtained from the Public Works Department.
- A site surrey by a licensed surveyor shall be required prior to founcation concrete pour. Garage celling height. The minimum unsbstructed vertical clearance for parking spaces shall be seven feet, except that the front our feet may have a minimum vertical clearance of four feet. (NBMC 20.40.)90 A 4)
- Stainwaysshal not be less than 36 inches clear width, (CRC 311.7.1) The minimum read clearance shall be 6"-6" measured vertically from the sloped line adjoiring tread nosing, (CRC 311.7.2)
- Advisory Note: Formcowners Association (HOA) approval is independent of the City process and may be required for this improvement. Please check with the HOA Board.
- so all risky to request out in an important. Prese check was it in PLAN boats.

 Accessory strutures, detached pillo covers, and telliaes, Macroy strutures included in Macroy or Constitution (Fig. 1). This in orwithin 3 feet of the properly line, Retaining wells over 4.8. high from the bottom or the foundation to the top of the well and any relating well within 5 of pipopels line regardless of height of the population.
- Electrical and Plumbing for exterior improvements detached from the house (i.e. barbeque, fountain, fire 'eature')

10. Pedestrian protection adjacent to public way to be as follows:

HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTON REQUIRED
8 feet or less	Liss than 5 feet	Construction railings
	Steet or more	None
More than 8 feet Steet or more, ornshuttion	Less than 5 feet	Barrier and covered walkway
	Steet or more, but not more than one-fourth the height of construction	Barrier and towered waltway
	Steet or more, but between one-fourth and me-half the height of onstruction	Berrier
	Sfeet or more, but exceeding one-half the height of construction	None

- All exterior lath and plaster shall have two layers of 1C-minute Grade Dipaper over wood-based sheathing. (CRC R733.7.3, CBC 2510.6)
- Wall covering of showers or tubs with showers shall be of cement plaster, tile, or approved equal, to a height of not less than 72 inches above drain inlet. Backing for tile shall be cement board or cement plaster, (CRC 9307.2, CBC 1992.3.3)
- Safety glazing shall be provided at the following hazardous locations: (CRC R308.4, CBC 2406.4) 13.
 - Svinging, bi-fold, and sliding doors.
 - When located within 60 inches above the flior of wet surfaces such as tibs, stowers, saums, sleam rooms, or outdoor swimming pool.

 Glazing adjacent to doors:
 - Within a 24-nch arc of either vertical edge of doors or within 60 inches of Where the glazing is on a wall perpendicular to the plane of the doorin a closed position and within 24 inches of the hinge side of an in-swinging door.

 - oor, "We are the second of an in-winting of the second of the second of the second of the second of a validary surface, measured horizontally. Clearly where the bottom exposed dogs of the glazzy is less than 35 inches above the plans of the adjacent waiting surface of stainways, andrings between fights of stairs and camps.
- Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and vithin 60 inches horizontally of the
- Glazing in guards and railings.
- All doors and operable windows with all height less than 48 inches above the intoor finished floor from the house into the pool area shall be equipped with an approved airm or an approved airms and control greenwinton safely shallow. (GBC 310) (1102). Smokes airms shall be installed in the following locations (CRC R314.3 CBC 907.2.11.2, 907.2.11.3, 907.2.11.3).

- six exact absorbing froom.

 Outside each separate skepping area in the immediate vicinity of the bedrooms.

 On each additional story, holuding basements and habitable attics.

 No: less than 3 feet horizontally from the door or opening of a leathroom that contains a bathrib or shower.
- m of 20 feet rorizontally from any permanently installed cooking
- Smoke alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRC R314.4 & R314.5 or CBC 907.2.11.5 &
- Outside of each sleeping area in the immediate vicinity of the bedroom(s).
- On every occupiable level of the dwelling unit including basements.

 Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoide alarm shall be installed within the bedroom.
- n monoxide alarms shall be hardwired with battery tack-up and interconnected exempted in accordance with CRC R315.6(4).
- Newly constructed (wellings shall comply with Aging-in-place and fall prevention (CRC R327):
- At least one balthroom on the entry level shall be provided with reinforcement for grab basis, when the heir for balthroom on the entry level, at least on balthroom on provided to the provided balthroom on the service of the provided balthroom on the service of the provided balthroom on the provided bal
- Doorbell butons shall not be installed more than 48" above exerior floor or landing, CRC R327.14.

TEMPORARY GENERATOR:

- Hand operated construction tools powered by electricity must use power provides Southmr California Edison Prough a temporary pole or available outlet. In the rare or where electricity is not readily available and a pertable temporary generatoris necess than the following restrictions must be adhered or.

 A Must be protible and may be easily relocated.
- Temporary generators are to be located a minimum distance from any property line according to the following table:

- If the minimum distance cannot be achieved, then the generator shall be located the most extreme distance practical to inhibit noise. Other methods to inhibit noise
- hay to operational for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided using a temporary
- Usage is imited to weekdays between the hours from 3:00 AM and 3:30 PM Nonday through Friday. No use on the weekends or federal holidays.

FIREPLACE:

- Factory-beilt freplaces, chimneys and all their components shall be listed and installed in accordance with their listing and manufacturer's installation instructions. (CRC R1004.1)
- irstructions. (ERC R1004.1)
 Fictory bulk vool burning freplaces shall be qualified at the U.S.EPA's Voluntary Freplace Processing Services and Services (ERC 10041.1)
 Goodwale shallow be installed at the termination of factory-built Concessing Services shall not be installed at the termination of factory-built services (ERC R1004.1)
 Services (
- Forizantal openings are not allowed, for exhaust veets, in wells doser than 3 feet to a property line. (Tables R302.1(1) & (2)). Horizontal vent caps shall be 2 feet clear romproperty lines.
- Exhaust openings shall not be directed onto walkways. (R3C3.5.2)
- Provice a sernamently anchored gaseous fuel burning pan to the firebox of a solid fuel burning fireplace. Solid fuel burning fireplace must comply with the California Energy Standards mandatory measures. Dimney shall extend at least 2 ft. higher than any pertion of the building within 10 to but shall not be less than 3 ft. above the highest pont where the chirmney passes
- through the roof. (CRC R1003.9)

 Liquid fueled freplaces are not allowed for interior use.
- Direct vent gas appliance fireplace:

- Rooms containing bathtuks, showers, spas and similar fixtures shall be provided with an exhaust an with humidity control sensor having a rinimum capacity of 50 CPM ducted to terminate outside the building. (CRC R303.3, Call Green 4.908.1, CBC 12025.2.1, CMC 402.5)
- Where whole house fans are used in bahroom areas the fan mus run confinuously and shall not be tied to a hamidity control sersor. (Cal Green 4.506.1(2)).
- The clothes dryer ven shall not exceed 14 ft. in overall length with maximum two 90-degree elbows. (CMC 504.4.2.1)
- Environmental air ducts shall terminate min. 3 feet from property line or openings into building, and 10 feet from a forced air inlet. (CMC 502.2.1) Mechanical equipment shall be installed per the manufacture's installation instructions (CMC 303.1)
- Domesticrange vents to be smooth metallic interior surface, (CMC5043) Supply and return air ducts to be insulated at a minimum of R-6. (Cal Energy Code Table 150.1-A.)

- Separate water meters are required for all new duplexes. Separate line issers are required at each water meter.
- New Constructon & Addition/Alterations that increases condition space area, volume, or size (Cai Green 4.3031): i Comply with CAL Green Mandatory Requirements
- Addition & Alteration: Existing fixtures shall be replaced to meet the following
- Shower Heads: 1.8 gpm @ 80 psi
- LavetoryFaucets: 1.2 gpm @ 60 psi Kitchen Faucets: 1.8 gpm @ 60 psi Water Closet 1.28 gallons per flush
- Clearance for water closet to be a minimum of 24 incres in front, and 15 inches fron its center to any side wall or obstruction. (CPC 402.5) The water heater burner to be at least 18 inches above the garage floor, if located in a garage. (CPC 507.13)
- Install a 3 inch diameter by 3 ft. tall steel sipe embedded in concrete stab for protection of water heaters located in garage. (CPC 5)7.13.1)
- Water heaters to be snapped at top and bottom with 1 ½" x 16-gauge strap with 3/8" clameter.X 3" lag bolt such end. (CPC 507.2)
- ABS and $^{2}\!V\!C$ drain waste and vent piping material is limited to 2 stories maximum. (CPC 701.2(2) (s). and 903.1.1) ABS and PVC roof and decx drain material is limited to 2 stories maximum. (CPC 1101.4)
- Roof and éeck drain systems inside the brilding are recuired to be installed with directional DWV drainage fittings. (CPC 1101.4 and & 706.0)
- Cleanouts are recuired within 2 feet of the connection between the building interior roof/ceck train piping system and the exerior onsite storm drain system. (CPC 110113) 41. All hose bbbs shall have vacuum breakers. (CPC 6035.7)
- The maximum amount of water closets on a 3-inch herizontal drainage system line is 3. (CPC Table 703.2)
- The maximum amount of water closets on a 3-inch vertical dainage system line is 4. (CPC Table 703.2)
- Provide a condensate drain no more than 2 inches above the base of the water heater space. (Call Energy Code 150.0 (nl))
- Insulate all het water sipes. (Call Energy Code 150.0 (j) (1), and CPC 609.12. Isolation valves are required for tankless water heaters on the not and cold supply lines with hose bibbs on each valve, to flush the heat exchanger. (Cal Energy Code 110.3 (6))
- Install 1 automatic clothes washer connection per one- and two-family dwelling. (CPC Table 422.1) 47.

- Electrical service shell be underground for new construction, replacement building, or addition to as existing building exceeds fifty (50) percent of the gross foor area of the existing building. NBMC 15.32.015)
- Edison Company approval is required for meter location prior to installation.
- Field inspectors shall review and approve underground service requirement prior to
- Service equipment and subpanets shall have a min 30" wide by 33" deep dearwork space. (CEC 11).26
- All lighting is required shall be high efficacy. (California energy code section 150.0 (k) and Table 150.0-A.) Provide a listed 1-inchraceway to accommodate a dedicated 208/24(-vot circuit for future electrical vehicle EV) charger. (Cal Green 4.106.4.1)
- All receptacle outlets are required shall be listed tamper resistant (CEC 406.12 and 250.52).
- Combination type AFCI circuit breakers are required for al 120-volt single phase 15/20 amp brasch circuits. Except for bathrooms, garages, and outdoors. (CEC 219.12)

 A minimum olone dedicated 20 amp circuit is required for a bathroom (CEC 210.11(C)(3))
- GFCI protection is required for all receptacle outlets located outdoors garages, accessory buildings bathrooms, crawl spaces, kitchens, isundry areas, kitchen distrivesher branch circuit, gurbage disponal, all areas within 6 feet of a sink, and all receptacles within 6 feet of a bathrub or shower stall. (CEC 210.8)
- Ground fault circuit interrupter (GFCI) is required for all receptade(s) installed in all areas on basementlevel. (CEC 210.8(A)(5)) Receptade cuttets are not allowed within or over a bathfult or shower stall. (CEC 406.9 (C))
- Subpanels are not allowed to be located in bethrooms or citthes closets. Avoid installing sub-panels in fire wall envelope unless the panel is lister, or fire protection is clearly detailed to the satisfaction of the building official. (CEC 240.24 ID) and (E)
- Circuits sharing a grounded conductor (neutral) with two angrounced thot) conductors must use a two-pale circuit breaker or an identified hancle tie. Groupnon-cable circuits in panel. (CEC 210.4(B)) (CEC 210.4(B))
- The receptace outlets that serve bitchen counter tops, dining from breakfast area, and pantry, must have a min of 2 dedicated 20 amp circuits. (CEC 210.52 (B)(1))

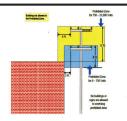
- Kitchen ovunter tops 12 inches or wider nust have a receptacle outlet. (CEC 210.52(C)(1)) Kitchen counter tops must have receptable cuttlets so no point along the counter wals is more than 24 inches from a receptable. (CEC 210.52 (C)(1))
- Island and perinsular counter toys must have at least one receptacle. (CEC 21C.52(C)(1), (2),and (3))
- The spacing for general receptacle outliets must be located so that no soint on any wall, fixed glass, or cabnets is over 6 feet from a receptacle outlet. (CEC 216.52(A)(1))
 Hallways 10 feet or more must have at least one receptacle outlet. (CEC 210.52(H))
- Garages shall have at least one receptade for each car space on the inerior. The branch circuit supplying the receptacles shall notserve outlets outside of the garage. (CEC 210.52 (G) (1)).
- Laundry looms must have at least one dedicated 20 amp receptable circuit. (CEC 210.11(C (2)).
- Provide 120V receptacle within 3 feet of water heater. (Cal Energy Code 150.0 (n) 1 A.)
- Weep screed for stucce at the foundation plate line shall be a minimum of 4 inches above the earth or 2 inches above paved areas. (CRC R703.7.2.1, CBC 2512.1.2)
- Fasteners and connectors (nails, anchor bolts, etc.) in contact with preservative-treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, stilicon bronze or copper (CRC R317.3, CBC 2304-10.3) Anchor belts shall include steel plate washers, a minimum of 0.229° x 3° x 3° in size, between sill plate and nut. (CRC R602.11.1, CBC 23/8.3, Acceptable alternate SDPWS 4.3.6.4.3)

SOUTHERN CALIFORNIA EDISON SETBACK

Southern California Edison (SCE) overhead power line serback. General Order 95 Table

Nature Clearance	Cemmunication Concuctors (Including Open Wire, Cables and Service Drops), Supply Service Drops o 0 - 750 Volts	Supply Conductors and Supply Cables, 750 – 22,500 Vots
Vertical clearance above walkable surfaceson buildings (except generating plants or substations) bridgesor other structures which co not ordinarily support conductors, whether stached or unsatisched.	8 Feet	12 Feet
Vertical dearance above non-walkable surfaces on building, (except generating plants or substations) bridgesor other shuctures which co not ordinarily support conductors, whether attached or unattached.	8 Feet	8 Feet
orizontal dearance of conductor at rest from belidings except generating plants and substations), bricpes or other structures (upon which men may work) where such conductor is not attached thereto	3 Feet	6 Feet

SCALE.



LEGEND



EXISTING FINISH GRADE

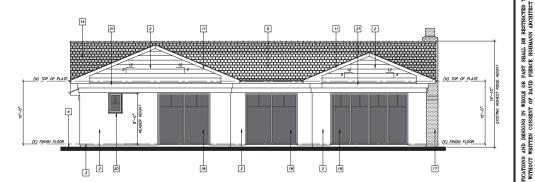
NEW ROOFING MATERIAL:
ROOF TILE:

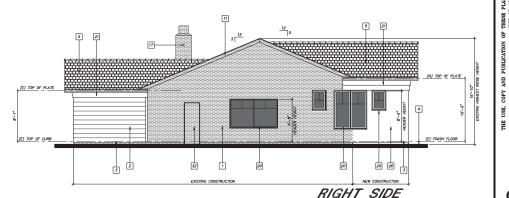
LIGHTWEIGHT CONCRETE TILE ROOF TILE: MANUFACTURER: COLOR: CLASS: I.C.C. NO.: WEIGHT: BORAL ROOFING LLC MATCH EXISTING MAIN HOUSE

- MEGHT: 8 LBS. PSF S. NEW ROOF TO WALL FLASHING, SEE DETAILS 5/D-1 AND 6/D-1 . NEW R-15 BATT INSULATION IN HOUSE EXTERIOR WALL, TYP. S. NEW R-38 BATT INSULATION IN HOUSE ROOF ATTIC SPACE, TYP. NEW CLOSED CELL SPRAY FOAM INSULATION (R-38 MINIMUM VALUE) IN BETWEEN ENCLOSED ROOF RAFTER SPACE WITHOUT ATTIC, FILL IN I MAXIMUM SPACE TO PREVENT AU GAP OR POCKET
- D. NEW PRESSURE TREATED WOOD EXTERIOR DOOR AND WINDOW SURRO
- . NEW 2X FASCIA, PAINTED
- 12. NEW ROOF FRAMING, SEE STRUCTURAL PLANS
 13. NEW CONCRETE FLOOR SLAB, SEE STRUCTURAL PLANS
 14. EXISTING ROOF AND FRAMING TO REMAIN
- NEW 5" GALVANIZED METAL RAIN GUTTER AND 4" DIAMETER DOWNSPI CONNECT TO EXISTING SITE DRAINAGE SYSTEM
- 6. EXISTING GARAGE DOOR AND FRAME TO REMAIN 7. EXISTING FIREPLACE AND CHIMNEY TO REMAIN
- 18. EXISTING DOOR AND FRAME TO REMAIN 19. NEW DOOR AND FRAME TO REMAIN
- O. NEW WINDOW AND FRAME TO REMAIN
- 20. NEW PRIEZE BOARD
 21. NEW FRIEZE BOARD
 22. EMSTRING CONCRETE FLOOR SLAB TO REMAIN
 23. NEW PRESSURE TREATED STRUCTURAL WOOD POST W/ DECORATIVE
- 24. NEW BUILT-IN CABINETRY
- 25. NEW WALL FRAMING, SEE STRUCTURAL

REAR

OTTED AREAS INDICATE EXISTING AREA OF HOUSE TO EMAIN (PROTECT IN PLACE) 26. NEW 7/8" THK, EXTERIOR STUCCO SMOOTH FINISH 27. NEW BEAM, SEE STRUCTURAL
28. ADHERED BRICK STONE VENEER
29. ADHERED PRECAST STONE SURROUND





NEW EXTERIOR ELEVATIONS

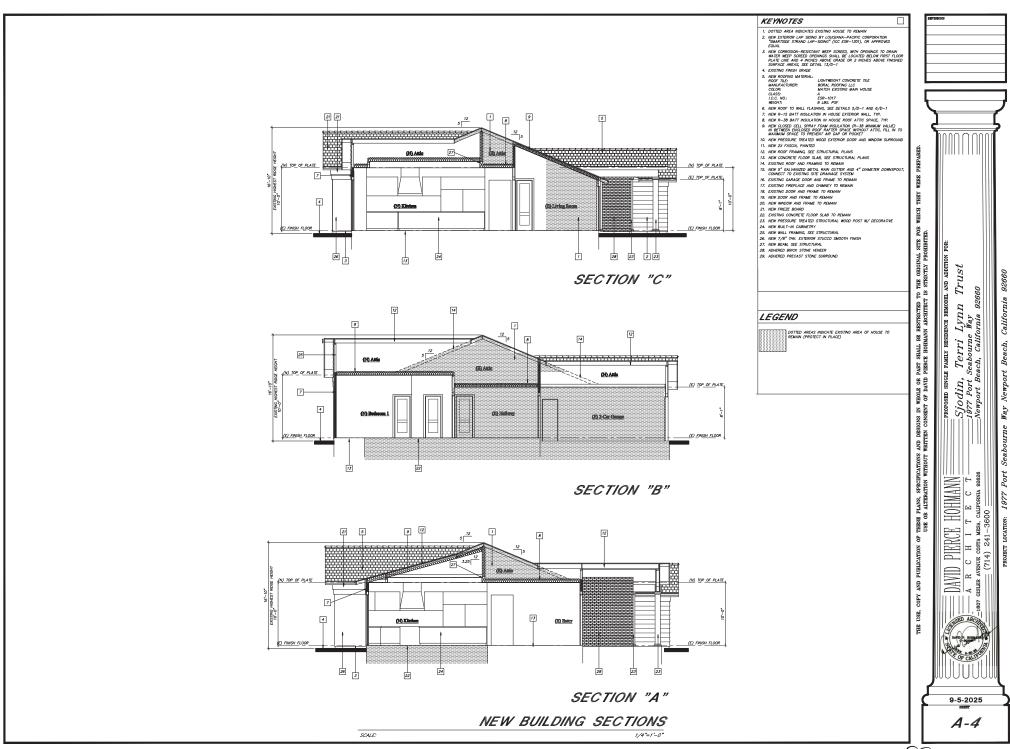
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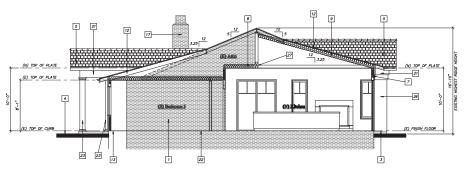
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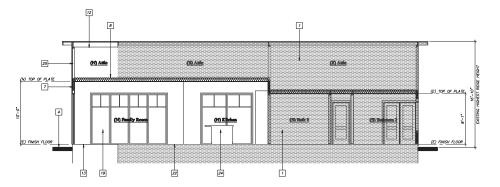
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9-5-2025 A-3.1





SECTION "E"



SECTION "D" NEW BUILDING SECTIONS

KEYNOTES

1. DOTTED AREA INDICATES EXISTING HOUSE TO REMAIN

NEW EXTERIOR LAP SIDING BY LOUISIANA-PACIFIC CORPORATION "SMARTSIDE STRAND LAP-SIDING" (ICC ESR-1301), OR APPROVED

EUUM.
3. NEW CORROSION-RESISTANT WEEP SCREED, WITH OPENINGS TO DRAIN
WATER WEEP SCREED OPENINGS SHALL BE LOCATED BELOW FIRST FLOOR
PLATE LINE AND 4 INCRES ABOVE GRADE OR 2 INCRES ABOVE FINISHED
SURFACE AREAS, SEE DETAIL 13/D-1

EXISTING FINISH GRADE

EXISTING FINISH GRADE

NEW ROOFING MATERIAL:
ROOF TILE:
MANUFACTURER:
COLOR:
CLASS:
L.C.C. NO.:
WEIGHT: LIGHTWEIGHT CONCRETE TILE BORAL ROOFING LLC MATCH EXISTING MAIN HOUSE

ESR-1017 8 LBS, PSF

MEDION .

B. EWE ROOF TO WALL FLASHING, SEE DETAILS 5/D-1 AND 6/D-1 .

7. NEW R-1-5 BATT INSULATION IN HOUSE EVEROOR WALL TYP. .

B. EWE R-3-5 BATT INSULATION IN HOUSE EVEROOR WALL TYP. .

B. EWE CLOSED CELL SPRAY FORM INSULATION (R-1-5 MINIMAN VALUE) .

MET RESED EXCELS PROOF FOR A PARK A STORE ATTION TO, ELL IN TO .

MET PRESSURE TIRE FLO MODE EXTERNOR OOK AND MINIOUS SURROUND .

MET PRESSURE TIRE FLO MODE EXTERNOR OOK AND MINIOUS SURROUND .

MET PRESSURE TIRE FLO MODE EXTERNOR OOK AND MINIOUS SURROUND .

11. NEW 2X FASCIA, PAINTED

11. NEW 22 FASIA, PANNIC SE STRUCTURAL PLANS
13. NEW CONFERT FLOOR SLAB, SEE STRUCTURAL PLANS
13. NEW CONFERT FLOOR SLAB, SEE STRUCTURAL PLANS
14. EUSTING FOOT AND FRANNIC TO REMAN
15. NEW 5° GALVANIZED METAL RAIN GUITER RAID 4° DIAMETER DOWNSPOUL
CONNECT TO MESTINGS SITE BERNAMES SYSTEM.

16. EXISTING GARAGE DOOR AND FRAME TO REMAIN
17. EXISTING FIREPLACE AND CHIMNEY TO REMAIN
18. EXISTING DOOR AND FRAME TO REMAIN

19. NEW DOOR AND FRAME TO REMAIN

19. NEW DOOR AND FRAME TO BEMAN
21. NEW FREZE BOARD
22. DESTING CONCERTE FLOOR SLAB TO REMAN
23. NEW FREZE BOARD
23. NEW FREZE BOARD
24. DESTING CONCERTE FLOOR SLAB TO REMAN
25. NEW FRESSLIFE TREATES STRUCTURAL WOOD POST W/ DECORATIVE
26. NEW WALL FRAMING, SEE STRUCTURAL
27. NEW WALL FRAMING, SEE STRUCTURAL

26. NEW 7/8" THK. EXTERIOR STUCCO SMOOTH FINISH NEW REAM SEE STRUCTURAL

LEGEND

OTTED AREAS INDICATE EXISTING AREA OF HOUSE TO EMAIN (PROTECT IN PLACE)

ទីន PART SHALL BE RESTRICTED 1 PIERCE HOHMANN ARCHITECT WHOLE OR I O.P. AND USB,

ynn

Sjodin, Terri Lynn 1977 Port Seabourne Way Newport Beach, California S

, E. C. AMESA, CALIFORNIA S. 1-3600

PIERCE

9-5-2025 A-4.1

SHISED ARCH