



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

November 26, 2025
Agenda Item No. 3

SUBJECT: Sjodin Residence Addition (PA2025-0137)
▪ Modification Permit

SITE LOCATION: 1977 Port Seabourne Way

APPLICANT: David Hohmann

OWNER: Terri Sjodin

PLANNER: Laura Rodriguez, Assistant Planner
lrodriguez@newportbeachca.gov, 949-644-3216

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single Unit Residential Detached (RS-D)
- **Zoning District:** Harbor Views Hills (PC3)

PROJECT SUMMARY

The applicant proposes a 358-square-foot addition (17%) to an existing nonconforming single-unit residence where the Zoning Code limits additions to 10% of the existing gross floor area when the required parking dimensions are not provided. The Property currently provides interior garage dimensions of 19 feet 4 inches in width and 20 feet in depth. Given that the Property's lot width exceeds 40 feet, the Newport Beach Municipal Code (NBMC) requires a minimum interior garage dimension of 20 feet in width by 20 feet in depth for the two-car garage.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving Modification Permit No. PA2025-0137 (Attachment No. ZA 1).

DISCUSSION

Background and Setting

- The subject property is located in the Harbor Views Planned Community (PC3), which provides for single-unit residential development and is consistent with the City's General Plan and Zoning Code. The property is developed with a single-story, 2,120-square-foot single-unit dwelling, including an attached garage (Figure 1, below). The PC3 Zoning District limits site coverage to 60%. The project includes an addition of 358 square feet for a total gross floor area of 2,478 square feet and site coverage of 49%.



Figure 1: Oblique Aerial Image of Property

- The subject property's existing interior garage dimensions are 19 feet 4 inches in width and 20 feet in depth. These interior clear dimensions were approved when the existing residence was developed and provides a two-car garage as required by the PC district regulations.

- The property currently consists of one legal lot developed with a single-family residence. The surrounding neighborhood is comprised of one- and two-story single-unit dwellings.

Nonconforming Development Standards

- NBMC Subsection 20.38.030(C) (Determination of Nonconformity) defines a “legal nonconforming structure” as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. While the Property provides a two-car garage as required by the PC3 district regulations, the regulations are silent in the minimum interior dimensions for enclosed spaces. Therefore, the applicability of Section 20.40.090 (Parking Standards for Residential Uses) of the NBMC requires a two-car garage to provide a 20-foot wide by 20-foot deep interior dimensions due to the Property’s lot width being more than 40 feet. The existing nonconforming garage measures approximately 19 feet 4 inches in width by 20 feet in depth. Therefore, the property’s existing 2-car garage is considered legal nonconforming due to insufficient width.
- NBMC Subsection 20.38.060(A)(2) (Nonconforming Parking - Residential) limits additions to residential structures with nonconforming parking dimensions to 10% of the existing gross floor area within any 10-year period. Larger additions may be permitted subject to the approval of a modification permit.

Modification Permit

- The applicant proposes a 358-square-foot addition (17% of the existing gross floor area) and leaving the garage dimensions unchanged. The project includes additional floor area to expand the existing kitchen, family room, and two bedrooms. The modification permit will allow an addition to the existing one-story single-unit dwelling, which is compatible with other properties in the neighborhood. Therefore, the project will not result in a change to the density or intensity as a result of the project.
- The existing parking configuration will continue to accommodate the parking of two vehicles within the garage and fulfills the intent of the Zoning Code. Demand for on-street parking in the neighborhood is not anticipated to increase as a result of the project.
- An alternative to this proposal is to reduce the size of the addition to no more than 10% of the existing gross floor area of the structure as authorized under NBMC Section 20.38.060(A) (Nonconforming Parking - Residential) and extending the existing garage walls to the west and east. If the Applicant were to relocate the interior walls 6 inches to the west to achieve the required 20-foot width interior

clearance, then this modification would encroach into the resident's existing bedroom. Additionally, relocating the interior walls to the east would encroach into the required 5-foot side yard setback. These encroachments are contrary to the purpose of the project, would be costly to alter, and also create a structural nonconformity (if wall were moved to the east). Additionally, the intent of the project is to provide for more living area for the residents. Therefore, a redesign to reduce the size of the addition to 212 square feet and extending the garage walls significantly impact the objectives of the project and would not provide similar benefits to the applicant.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:


Laura Rodriguez, Assistant Planner
DL/lr

Attachments:	ZA 1	Draft Resolution
	ZA 2	Vicinity Map
	ZA 3	Applicant's Project Justification Letter
	ZA 4	Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2025-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING A MODIFICATION PERMIT FOR A 17-PERCENT ADDITION TO AN EXISTING SINGLE-UNIT RESIDENCE WITH NONCONFORMING PARKING LOCATED AT 1977 PORT SEABOURNE WAY (PA2025-0137)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by David Hohmann (Applicant), on behalf of Terri Sjodin (Owner), for 1977 Port Seaborne Way which is legally described as Lot 30 in Tract 7027 (Property), requesting approval of a modification permit.
2. The Applicant proposes a 358-square-foot addition (17%) to an existing nonconforming single-unit residence where the Zoning Code limits additions to 10% of the existing gross floor area when the required parking dimensions are not provided. The Property currently provides interior garage dimensions of 19 feet 4 inches in width and 20 feet in depth. Given that the Property's lot width exceeds 40 feet, the Newport Beach Municipal Code (NBMC) requires a minimum interior garage dimension of 20 feet in width by 20 feet in depth for the two-car garage (Project).
3. The Property is designated Single Unit Residential Detached (RS-D) by the General Plan Land Use Element and is located within the Harbor Views Hills (PC3) Zoning District.
4. The Property is not located within the coastal zone.
5. A public hearing was held on November 26, 2025, online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is exempt from the California Environmental Quality Act (CEQA) under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Class 1 exemption includes additions to existing structures up to 50% of the floor area before the addition, or 2,500 square feet, whichever is less. The Project is a 358-square-foot addition to an existing single-unit dwelling in a developed neighborhood and is not within an environmentally sensitive area. Therefore, the Project is consistent with the intent of Class 1.

SECTION 3. REQUIRED FINDINGS.

By Section 20.52.050(E) (Modification Permits – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood;*

Facts in Support of Finding:

1. The surrounding neighborhood is comprised of one- and two-story single-unit residences. The modification permit will allow an addition to the existing one-story single-unit residence, which is compatible with other properties in the neighborhood. The Project includes additional floor area to expand the existing kitchen, family room, and two bedrooms. There is no change to the density or intensity as a result of the Project.
2. The PC3 Zoning District limits site coverage to 60%, which is 3,627 square feet of the 6,045-square-foot lot. The project includes an addition of 358 square feet for a total gross floor area of 2,478 square feet (49% site coverage). The resulting bulk and scale of the Project is compatible with other single-unit dwellings within the neighborhood.

Finding:

- B. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use;*

Facts in Support of Finding:

1. While the Property provides a two-car garage as required by the PC3 district regulations, the regulations are silent in the minimum interior dimensions for enclosed spaces. Therefore, the applicability of Section 20.40.040 (Parking Standards for Residential Uses) of the NBMC requires a two-car garage to provide a 20-foot wide by 20-foot deep interior dimensions due to the Property's lot width being more than 40 feet. The Property currently provides interior garage dimensions of 19 feet 4 inches in width and 20 feet in depth. Therefore, the Property's existing 2-car garage is considered legal nonconforming due to insufficient width.
2. NBMC Subsection 20.38.030(C) (Determination of Nonconformity – Nonconforming Structure) defines a "legal nonconforming structure" as any structure that was lawfully erected but does not conform with the current development standards for the zoning district in which it is located by reason of adoption or amendment of the Zoning Code. The Property does provide a two-car garage; however, it is considered legal nonconforming due to its substandard interior garage dimensions. The existing nonconforming garage measures approximately 19 feet 4 inches in width by 20 feet in

depth, where the Zoning Code requires minimum dimensions of 20 feet wide by 20 feet deep.

3. The granting of the modification permit is necessary to allow a reasonable addition to an existing single unit dwelling that was constructed in compliance with the required number of parking spaces in effect at the time of original construction, and that are adequate in width for the parking of two vehicles.

Finding:

- C. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code;*

Facts in Support of Finding:

1. Facts in Support of Finding B are hereby incorporated by reference.
2. To create a compliant two-car garage with the required interior dimensions would result in practical difficulties and physical hardships. Relocating the interior walls 6 inches to the west to achieve the required 20-foot width interior clearance would reduce the size of the existing bedroom. Relocating the interior wall to the east is not permitted since it encroaches into the required 5-foot side yard setback. These alternatives would make the Project infeasible and are inconsistent with the purpose and intent of the Zoning Code.

Finding:

- D. *There are no alternatives to the modification permit that could provide similar benefits to the applicants with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public;*

Facts in Support of Finding:

1. Fact 2 of Finding C is hereby incorporated by reference.
2. The intent of the Project is to provide additional living area to expand the existing kitchen, family room, and two bedrooms. A redesign to reduce the size of the addition to 212 square feet will significantly impact the objectives of the Project and would not provide similar benefits to the Owner.

Finding:

- E. *The granting of the modification would not be detrimental to public health, safety, or welfare, to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Facts in Support of Finding:

1. The Project conforms to the applicable development standards such as floor area limit and height, which will provide adequate protection for light, air, and privacy. The Project also complies with the required 5-foot side yard setback and 10-foot rear yard setback. The Property is required to have 19-foot front yard setback along Port Seabourne Way. However, the existing single-unit dwelling maintains an 18-foot, 6-inch setback from the front property line. While the building's existing yard setback is legal-nonconforming, the Project does not further intensify this condition, as the nonconforming setback pertains to the existing garage, which is not within the Project's scope.
2. The Project maintains more than the minimum 3-foot side yard for fire access in accordance with Zoning Code Section 20.30.110 (Setbacks Regulations and Exceptions), Subsection A(1)(c).
3. As conditioned, the Applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit (PA2025-0137), subject to the conditions outlined in Exhibit A, which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or a call for review is filed with the Community Development Director by the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 26TH DAY OF NOVEMBER, 2025.

Benjamin M. Zdeba, AICP, Zoning Administrator

EXHIBIT “A”**CONDITIONS OF APPROVAL**

(Project-specific conditions are in italics)

Planning Division

1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
3. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused the revocation of this Modification Permit.
4. This Modification Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
5. Any change to the approved plans shall require review by the Planning Division. An amendment to or the processing of a new modification permit may be required.
6. *Demolition beyond the approved scope of work requires planning division approval before the commencement of work. Approval of revisions to project plans is not guaranteed. Any changes in the current scope of work may require the entire structure to be demolished and redeveloped in conformance with the current Zoning Code Development Standards.*
7. *Each parking space within the garage shall be permanently available and maintained for parking purposes. The interior clear dimensions (19 feet 4 inches wide by 20 feet deep) shall be kept clear of obstructions including cabinets, shelving, or similar that may impact the ability to adequately park two vehicles*
8. A copy of the Resolution, including conditions of approval Exhibit “A” shall be incorporated into the Building Division and field sets of plans before issuance of the building permits.
9. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
10. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the

current business owner, property owner or leasing agent.

11. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday, and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
12. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the NBMC.
13. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Sjodin Residence Addition including, but not limited to, Modification Permit No. PA2025-0137**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing the such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Public Works Department

14. The existing planter within the public right of way shall be removed, and an encroachment permit for the removal shall be obtained.
15. An encroachment permit and encroachment agreement shall be obtained for the decorative driveway pavers within the public right of way.

Fire Department

16. The Project shall be fire sprinklered per 2022 NFPA13D if the existing dwelling is equipped with a fire sprinkler system.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Modification Permit
PA2025-0137
1977 Seabourne Way

Attachment No. ZA 3

Applicant's Project Justification Letter

1977 Port Seabourne Way

The project is for proposed additions to a single family single story residence. The additions are limited to single story construction and include an addition to left side of the house and two additions at the rear of the existing kitchen and primary bedroom. This modification request is to allow an increase in area greater than 10% of the existing building area while maintaining an existing non-conforming garage. The current 2 car garage complies with the required depth of 20 feet, however the width of the garage width is substandard by approximately 8" at 19'-4".

As provided by the Newport Beach Municipal Code section 20.52.050 3.(e), this type of modification is not limited in the amount of deviation from the standard being modified. The existing area of the building is 2096.9 square feet allowing for an increase of 209 square feet. This modification is requesting an area increase of 350 square feet or 16% of the existing building area.

Justication and Required Findings

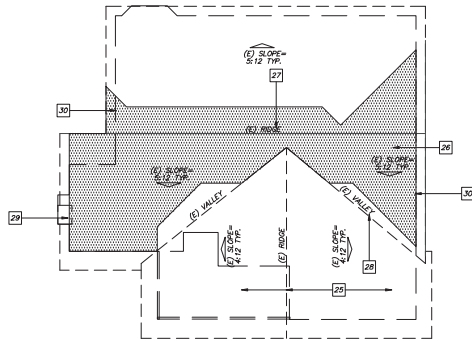
1. The requested modification will be compatible with the existing development in the neighborhood as many of the existing and remodeled residences in this low density neighborhood of Harbor View were developed with similar garages which have been in use for the last 50 years.
2. The requested modification is necessary due to the fact that the right side of the garage is currently at the minimum side setback and the left side abuts the wall of a small bedroom not allowing for increasing the garage width.
3. The granting of this modification is necessary to minimize demolition and reconstruction which is contrary to green principles creating waste and requiring new resources for no appreciable gain in function.

4. There is no practical alternative solution that can provide similar benefits with less detriment to the owners, the neighborhood, or the general public in as much as there is no other location on the lot for additional parking and off street parking is provided for two additional cars in the existing driveway.

5. Granting the modification would not be detrimental to public health, safety or welfare. No change in density or intensity is anticipated and all other conditions are consistent with the provisions of the zoning code. It also maintains the original character of the neighborhood.

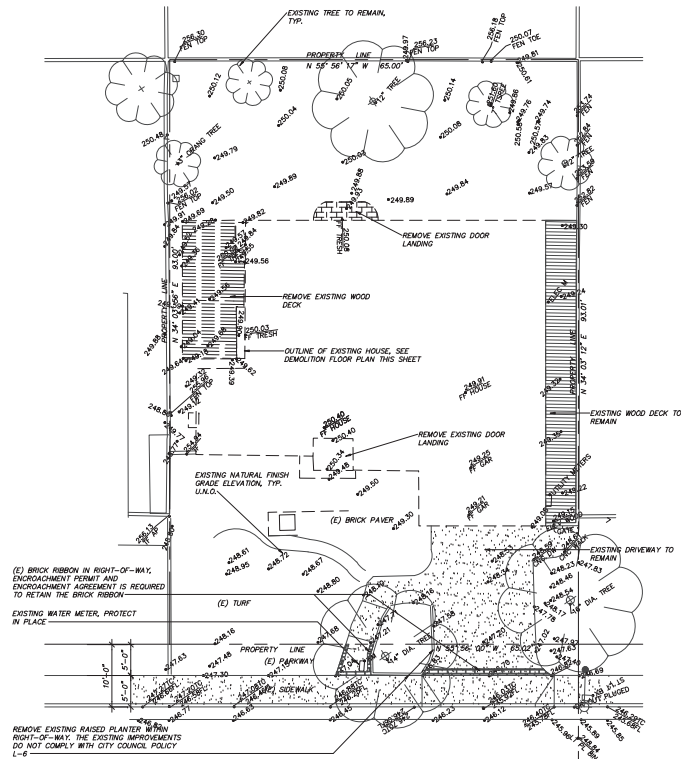
Attachment No. ZA 4

Project Plans



DEMOLITION ROOF PLAN

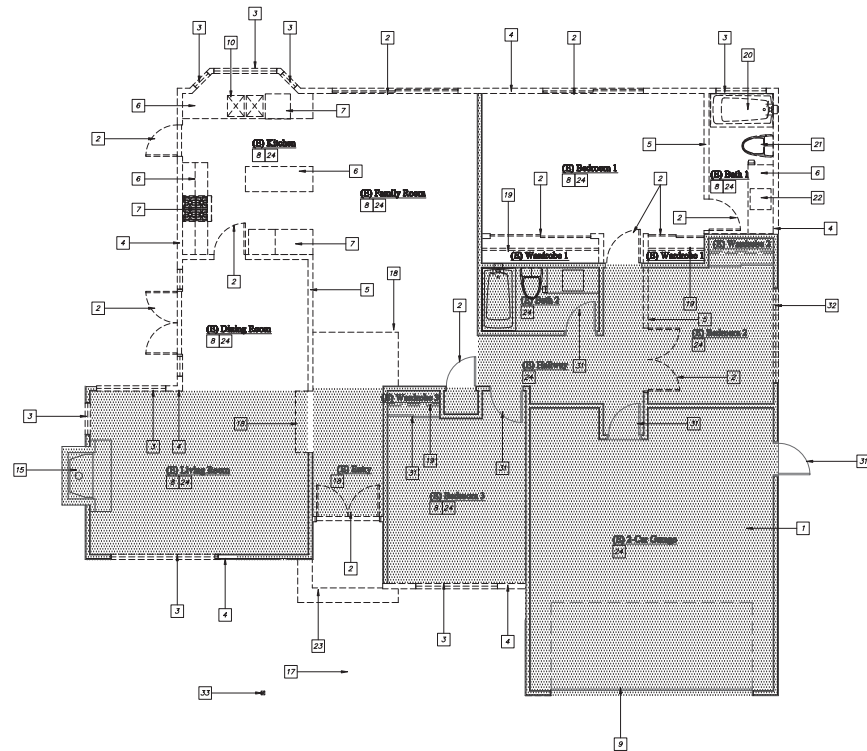
SCALE: 1/8"=1'-0"



PORT SEABOURNE WAY

DEMOLITION SITE PLAN

SCALE: 1/8"=1'-0"



DEMOLITION FLOOR PLAN

SCALE: 1/4"=1'-0"

THE USE, COPY AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS IN WHOLE OR PART SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. USE OR ALTERATION WITHOUT WRITTEN CONSENT OF DAVID PIERCE HOHMANN ARCHITECT IS STRICTLY PROHIBITED.

PROPOSED SINGLE FAMILY RESIDENCE REMODEL AND ADDITION FOR:

Stodin, Terri Lynn Trust
1977 Port Seabourne Way
Newport Beach, California 92660

DAVID PIERCE HOHMANN

ARCHITECT
1807 GUISLER AVENUE COSTA MESA, CALIFORNIA 92626
(714) 241-3600



9-5-2025

A-1

PROJECT LOCATION: 1977 Port Seabourne Way Newport Beach, California 92660

[illegible]

EXTERIOR HEIGHT OF THE FLUE CAP ABOVE THE FINISHED ROOFING TO BE MINIMUM ALLOWED BY CODE.

4. PROVIDE A MINIMUM OF 22.00 INCHES ATTIC ACCESS FOR EACH ENCLOSED ATTIC SPACE BY A HORIZONTAL VERTICAL HEIGHT GREATER THAN 30 INCHES. DRAFTSMANS SHALL BE PROVIDED IN ANY CONCEALED SPACE WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE. THE CONCEALED SPACE SHALL NOT EXCEED 1,000 SQUARE FEET.

5. EXPOSED ATTIC FLOOR INSULATION SHALL HAVE A OPTICAL RADIANT FLUX OF NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER PER ASTM E 970.

[illegible]

- 3. 1'-1/2" DPT. DRAIN MAXIMUM FROM THRESHOLD (3/4" MAXIMUM FOR SLEDDING DOOR) SEE DETAIL 8-D/1
- 4. LINE OF NEW SOFTLY, CHAIR OR BEAM AHEAD
- 5. NEW SHELF, NEW CHAIRING PILE
- 6. NEW BUILT-IN CASKETON OR SHELF W/ UNDER CABINET LIGHTING
- 7. NEW MEDICINE CABINET
- 8. NEW WARDROBE AND LAVATORY
- 9. NEW WALLS WITH SHATTERPROOF GLASS ENCLOSURE DOORS AND PANELS BE LABELLED CATEGORY 1 DOORS MUST SWING OUTWARD, PROVIDE 1/2" AIR GAP BETWEEN DOOR AND BOARD AS A BASE FOR NEW FINISH
- 10. NEW WALLS WITH SHATTERPROOF GLASS ENCLOSURE DOORS AND PANELS FOR SHOWER OR ENCLOSURE ENCLOSURES SHALL BE FINISHED WITH WALLS WITH SHATTERPROOF GLASS ENCLOSURE DOORS AND PANELS (TILE), PROVIDE ANTI-SCALDING SHOWER AND TUB-SHOWER VALVES
- 11. NEW SHOWER NICHES AT 5'-4" PROVIDE WALL BLOODING, SEE DETAIL 4-D/3
- 12. NEW TUB
- 13. NEW HEAT PUMP LOCATION
- 14. NEW TANKLESS WATER HEATER LOCATION
- 15. NEW TOLIT PAPER HOLDER PROVIDING 48" ABOVE FINISH FLOOR
- 16. NEW TOWEL BAR PROVIDE BLOODING AT 48" ABOVE FINISH FLOOR
- 17. NEW SHOWER CHAIR, NEW SHOWER CHAIR
- 18. LINE OF EXISTING GARAGE DOOR OVERHEAD
- 19. 3'-0" WIDE MAXIMUM CONCRETE LEVEL, LANDING

BE IN ACCORDANCE W/ CRC SECTION R302.4.1.1 OR R302.4.1.2, MEMBRANE PENETRATIONS OF FIRE-RESISTANCE-RATED CONSTRUCTION SHALL BE IN ACCORDANCE W/ CRC SECTION R302.4.2.

2. FLOORING IS REQUIRED TO BE OVER SPACES 10" O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIRS, ELEVATING DEVICES, ELEVATOR SHAFTS, VERTICAL PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES [CRC SECTION 902.11].

3. PROJECTIONS, INCLUDING EAVES, SHALL BE ONE-HOUR FIRE-RESISTIVE CONSTRUCTION, HEAVY TIMBER OR OF NONCOMBUSTIBLE MATERIAL IF THEY PROJECT INTO THE 3'-0" FOOT (SPRINKLER/INSPRINKLER) SETBACK AREA FROM THE PROPOSED LINE OF MARKING. NONCOMBUSTIBLE MATERIAL SHALL BE BEYOND THE 3'-0" FOOT SETBACK [CRC TABLES R302.1(1) AND R302.1(2)].





GENERAL:

- Residential building undergoing permitted alterations, additions or improvements shall require non-compart parking facilities with water-conserving plumbing fixtures meeting the requirements of the 2002 California Plumbing Code and California Plumbing Code 15.10.10. Plumbing fixture replacement is required prior to issuance of a certificate of occupancy or occupancy permit by the Chief Building Inspector, Division of Building, Section 11011 or equivalent.
- Issuance of a building permit by the City of Newport Beach does not relieve applicants of their responsibility to determine compliance with applicable local, state and federal laws and to secure any property or to obtain plans. You should contact your community association's commercial or residential manager for information regarding the City of Newport Beach.
- Prior to performing any work in the city right-of-way an encroachment permit must be obtained from the Public Works Division.
- Any work in the city right-of-way requires a permit required prior to foundation concrete pour.
- Garage cleaning kiosk. The minimum unobstructed vertical clearance for parking spaces shall be seven feet, except that the foot our best may have a minimum vertical clearance of 10 feet. (City Ordinance 20-09-0001)
- Utilizes one of the city's approved franchises herein to recycle and/or salvage a minimum of 65% of the nonhazardous construction and demolition waste. (City Green 4.03.1, 4.60)
- Stairways shall not be less than 36 inches clear height (COP 311.7.1). The minimum headroom shall be at least 7'-6" measured vertically from the sloped line adjoining least height. (COP 311.7.2)
- Additional notes: * Homeowners Association (HOA) approval is independent of the City of Newport Beach. The City of Newport Beach does not require HOA approval.
- * Additional permits are required for detached structures including but not limited to:
 - a. Accessory structures, detached garages, pools, and wellseis.
 - b. Structures located within the public right-of-way.
 - c. Retaining walls over 4 feet high from the bottom of the foundation to the top of the wall and any retaining wall within 3 ft. of property line regardless of height.
- Electrical and Plumbing for exterior improvements regulated by the houses (e.g. back yard, front yard, etc.)

CONSTRUCTION:

10. Pedestrian protection adjacent to public way to be as follows:

CBC TABLE 3306.1 PROTECTION OF PEDESTRIANS		
HEIGHT OF CONSTRUCTION	DISTANCE FROM CONSTRUCTION TO LOT LINE	TYPE OF PROTECTION REQUIRED
8 feet or less	Less than 5 feet	Construction railings
	5 feet or more	None
More than 8 feet	Less than 5 feet	Barrier and covered walkway
	5 feet or more, but not more than one-fourth the height of construction	Barrier and covered walkway
	5 feet or more, but between one-fourth and one-half the height of construction	Barrier
	5 feet or more, but exceeds one-half the height of construction	Barrier

- All exterior light/plaster shall have a minimum of 1/4" concrete Dap paper over wall/ceiling sheathing. (CRCI R737.3, 738 2015.6)
12. All exterior doors shall be constructed of cast plastic, less an approved swing, to a height of not less than 72 inches above existing level. Backing for the sheet shall be cast board of cast plastic. (CRCI R737.2, CRCI 1205.2.3)
13. Sulfur resistant bed product at the following hazardous locations: (CRCI R308, 4 R308.4, R308.4.1)
- a. Swinging, bi-fold, and sliding doors.
 - b. Windows with sills or windows of the floor of wet surfaces such as labs, showers, skunk, steam, kitchen, and outdoor swimming pool.
 - c. Glazing adjacent to doors:
 - i. Where a 24-inch or more vertical edge of doors or within 60 inches of walking surface.
 - ii. Where the glazing is on a wall perpendicular to the plane of the door in close position and within 24 inches of the hinge side of an in-swinging door.
 - d. Where glazing area is more than 24" in, is in a wall, with the bottom edge less than 18 inches above the floor, top edge more than 30 inches above floor, and within 60 inches of a walking surface.
 - e. Glazing where the bottom exposed edge of the glazing is less than 30 inches above the plane of the glazing and the bottom edge of slatways is less than 30 inches of stairs and ramps.
 - f. Glazing extending to the landing at the bottom of a stairway where the glazing is less than 30 inches above the landing and less than 60 inches horizontally of the bottom tread.
 - g. Glazing in garages and railings.
14. All doors and operable windows with at least height less than 48 inches above the interior finished floor from the knee into the pool area shall be equipped with an approved arrest device. (CRCI R314.4, R314.4.1, R314.4.2, R314.4.3)
15. Smoke alarms shall be installed in the following locations (CRCI R314.3, CRCI 202.1.1, 202.1.1.1, 202.1.1.2, 202.1.1.3)
- a. In each sleeping room.
 - b. Outside each separate sleeping area in its immediate vicinity of the bedroom.
 - c. Where an additional area, including basements and habitable attic.
 - d. No less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or shower.
 - e. A minimum of 20 feet horizontally from any permanently installed cooking appliance.
 - f. Smoke alarm shall be hardwired with battery-back-up and interconnected unless exempted in accordance with CRCI R314.4, R314.5 or CRCI 202.1.1.5, 202.1.1.6, 202.1.1.7.
16. Carbon monoxide alarms shall be installed in the following locations (CRCI R315.3):
- a. Outside of each sleeping area in its immediate vicinity of the bedroom(s).
 - b. On every occupiable level of the dwelling unit including basements.
 - c. Where hot-burning fuel-burning appliances are used, a battery back-up is attached, battery back-up, carbon monoxide alarm shall be installed within the bedroom.
 - d. Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRCI R315.3.
17. Newly constructed dwellings shall comply with Aging-in-place and fall prevention (CRCI R327.1)
- a. At least one bathroom on the entry level shall be provided; for reformation for floor space, where there is no bathroom on the entry level, at least one bathroom on the entry level or third floor of the building shall be provided. If a bathroom is attached to bathroom, a carbon monoxide alarm shall be installed within the bedroom.
 - b. Carbon monoxide alarms shall be hardwired with battery back-up and interconnected unless exempted in accordance with CRCI R327.1.
 - c. Electrical receptacle outlets, switches and controls shall be located no more than 60 inches from the floor to the outlet and not less than 15" measured from the bottom of the electrical outlet above the finish floor (CRCI R327.1.2).
 - d. Doorbell buttons shall not be installed more than 48" above exterior floor or level.
 - e. (CRCI R327.1.2)
18. All rerestations on windows and doors shall have U-factors (0.30 max) and Solar Heat Gain Coefficient (SHGC) 0.23 max in accordance with 1-24 energy calculations.
19. All rerestations must have temporary and permanent labels.
- TEMPORARY GENERATOR:**
- a. Hand operated construction tool powered by electricity must use power provided by temporary generator.
 - b. Temporary generators shall be used in accordance with 1-24 energy calculations.
 - c. Where electricity is not readily available by a portable temporary generators necessary.
 - d. Temporary generators shall be used in accordance with 1-24 energy calculations.
 - e. Must be portable and may be easily relocated.
 - f. Temporary generators are to be located a minimum distance from any property line.

TEMPORAR* GENERATOR:

Time in Use Hours	Required Setback from Property Line	Required Setback from Adjacent Structures
0 – 1 day	10 feet	5 feet
> 1 day	20 feet	5 feet

- c. If the minimum distance cannot be achieved, then the generator shall be located at the most extreme distance practical to inhibit noise. Other methods to inhibit noise may be utilized when practical.
- d. May be operated for a maximum of five consecutive calendar days. After five consecutive calendar days of use, power shall be provided using a temporary power pole.
- e. Usage is limited to weekdays between the hours from 1:00 AM and 3:30 PM throughout the month of August. After August 31, the generator shall not be used.

FIREPLACE:

20. All fireplaces:
 - a. Factory-built fireplaces, chimneys and all their components shall be listed and labeled in accordance with the listing and manufactured by a recognized testing laboratory (CRF R1004.1).
 - b. Solid wood burning fireplaces shall be qualified under U.S.E.P.A.'s Voluntary Fireplace Program Phase 2 emissions level (CRF 9004.1).
 - c. Decorative shutouts shall not be installed at the termination of factory-built chimneys. Shutouts and shutout covers are listed and labeled in use with the specific factory-built chimney system and are installed in accordance with the manufacturer's installation instructions (CRF R1004.1).
 - d. Exhaust coverings are not allowed, for exhaust vents, in which cover is less than 2 to a property line. (Tables R303.5.1(a), (b)). Horizontal vent covers shall be 2 feet from property lines.
 - e. Exhaust coverings shall not be directed into buildings. (R303.5.1)
 21. Solid fuel burning fireplaces:
 - a. Provide a permanently anchored gassy fuel burning gas vent to the exterior of a solid fuel burning fireplace.
 - b. Solid fuel burning fireplace must comply with the California Energy Star certification program.
 - c. Chimney shall extend at least 2 ft. higher than any portion of the building within 10 feet of the chimney base and extend to the highest point where the chimney passes through the roof. (CRF R1003.9)
 22. Liquid fueled fireplaces are not allowed for interior use.
 23. Direct vent sealed-combustion gas appliance fireplaces must comply with the California code requirements and must comply with US EPA New Source Performance Standards (NSPS). (CRF G400.5.2)
- MECHANICAL:**
24. Rooms containing bathtubs, showers, spas and similar fixtures shall be provided with at least one exhaust fan that is listed for the purpose and is installed in accordance with the manufacturer's installation instructions (CRF G503.3, G400.5.1, G400.5.2, G400.5.3, G400.5.4).
 25. Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust with humidity control.

MECHANICA

23. Rooms containing bathtubs, showers, spas and similar fixtures shall be provided with an exhaust fan with humidity control sensor having a minimum capacity of 50 CFM ducted to terminate outside the building. (CRC R303.3, Cal Green 4.06.1, CBC 1202.5.1.1, IMC 402.5)
24. Where water closet compartment is independent of the bathroom or shower area, a fan will be required in each area. Bathrooms shall have an exhaust fan with humidity control sensor, min. 50 CFM capacity. (CRC R303.3)

PLUMBING:

31. Separate waste materials required for or new duplexes. Separate for fixtures are required at each water meter.
32. Plumbing/Fixtures:
- a. New Construction & Alterations: All plumbing alterations that increases outdoor space, or size (see Green Action 4.3.01)
 - i. Gently use 24-Gal Green Laboratory Rescued
 - b. Action & Alteration: Existing fixtures will be replaced or meet the following requirements:
 - i. Shower Heads: 1.8 gpm @ 80 psi
 - ii. Lavatory/Faucets: 1.2 gpm @ 80 psi
 - iii. Kitchen Faucets: 1.8 gpm @ 80 psi
33. Cleanse for water catchment:
 - a. All new water catchment systems shall be installed in front, and 15 inches from the center to any side wall or obstruction. (COP 402.5)
 - b. The waste heater burner be at least 18 inches above the concrete floor, if located in a room with a ceiling height of 8 feet or less.
 - c. Install a 3/4 inch diameter 3 ft. tall steel pipe embedded in the ground slop for protection of water heaters located in ground. (COP 877.11)
 - d. Water heaters be to strapped at top and bottom with 1 x 6 x 16-space strap with 3/8 inch diameter bolts. (COP 877.2)
 - e. ABS and PVC drain piping and vent piping material is limited to 2 starline material. (COP 102.7)
 - f. ABS and PVC roof drainlines drain material is limited to 2 starline material. (COP 114.4)
 - g. Roof and deck drain systems inside the buildings are required to be installed with directional DWS drainage fittings. (COP 1134.4 and 706.7.0)
34. Orientation and Location:
 - a. Orientation: The building shall be oriented so that the front of the connection between the building interior rooftop drain piping system and the exterior rooftop drain system, (COP 1101.13)
35. All home based shall vacuum breakers. (COP 6035.7)

ELECTRICAL

48. Electrical service shall be underground for new construction, replacement building, or addition to an existing building except for (50) percent of the gross floor area of the building. (California EBC 15.3-15.4)
49. Edison Communication equipment is required to be meter location prior to installation.
50. Field inspectors shall review and approve underground service equipment prior to installation.
51. All service equipment and subpanels shall have a min 75° dry 37° deep clearwork space. (CEC 201.14-201.15)
52. All lighting is required to be high efficiency. (California energy code section 150.0.1) (California EBC 15.1-15.2)
53. Provide a listed 1-inch roughout to accommodate a dedicated 200424-volt circuit for the vehicle electrical vehicle (EV) charger. (California EBC 4.06-4.106.4.1)
54. All electrical outlets are required shall not be faster than 15 amp. (CEC 408.1.2 and 408.1.3)
55. Combination type AFCI circuit breakers shall be required for a 120-volt single phase 1500 and 2000 volt branch circuit. (California EBC 2.11-2.11.2)
56. A minimum of double 20 amp outlets is required for a bathroom. (CEC 201.113.1.3)
57. GFI protection is required for all receptacles outlets located outdoors garages, accessory buildings, and detached garages. (California EBC 2.11-2.11.2)
58. Ground fault protection, all areas within 6 feet of a sink, and all receptacles within 6 feet of a sink, shall be GFI protected. (California EBC 2.11-2.11.2)
59. Ground fault circuit interrupter (GFCI) is required for all receptacles installed in all bathrooms. (California EBC 2.11-2.11.2)
60. Receptacle outlets are not allowed within or over a bathtub or shower stall. (CEC 408.1.3)
61. Receptacles are not allowed to be located in bathrooms or other closets, lavatories, dressing rooms or fire wall envelope unless the panel is listed, or the protection is clearly identified. (California EBC 2.11-2.11.2)
62. Circuits serving a grounded conductor (neutral) with two ungrounded (hot) conductors shall be clearly identified with a double identified hatched line. Groundpin cable colors. (CEC 201.14(B)) (California EBC 2.11-2.11.2)
63. The receptacle outlets that serve kitchen counter tops, dining room, breakfast area, and living room. (California EBC 2.11-2.11.2)

- | | |
|--------------------|--|
| 64. | Kitchen counter must 12 inches or wider must have a receptacle outlet. (See EDCO 6.62)(C) 71 |
| 65. | Kitchen counter tops must have receptacle outlets spaced along the counter walls if more than 24 inches from a receptacle. EDCO 215.02 C)(7) |
| | Island and perimeter counter tops must have at least one receptacle. |
| 66. | The spacing for general receptacle outlets must be located so that no point on any wall face, or cabinets over 9 feet from a receptacle outlet, (see EDCO 215.02A)(7) |
| 67. | Receptacles shall be provided for each space between adjacent kitchen cabinets. |
| 68. | Garges shall have at least one receptacle for each space on the interior. The brand circuit supplying the receptacles shall notserve outdoor outlets of the garage. (INCL. 215.02)(7) |
| 69. | Laundry rooms must have at least one dedicated 20 amp receptacle circuit. (INCL. 210.11C)(2) |
| 70. | Provide 150V receptacles within 3 feet of water heater. (See EMDM Code 150.0 n(1). |
| FOUNDATION: | |
| 71. | Foundation for success of the foundation plate shall be minimum of 4 inches above the exterior 2" inches above paved areas. (See ECR R702.7.1 c) in contact with preservative-treated wood. |
| 72. | Fasteners and connectors (nails, anchor bolts, etc.) in contact with preservative-treated wood shall be stainless steel, galvanized steel, stainless steel, silicon bronze or copper. (ECR R317.3 ECR 230.10-10) |
| 73. | Anchor bolts shall include steel plate washers, a minimum of 2"x8"x3" x 8" in size. (See ECR R317.3 ECR 230.10-10) |

SOUTHERN CALIFORNIA EDISON SETBACK

74. Southern California Edison (SCE) overhead power line setback. General Order 95 Table 1.

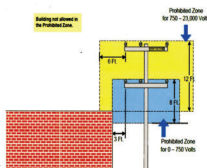
Nature Clearance	Communication Connectors (Including Open Wire, Cables and Service Drops), Supply Service Drops o 0- 750 Volts	Supply Conductors and Supply Cables, 750 - 22,500 Volts
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Vertical clearance above walkable surfaces on buildings, (except generating plants or substations) and/or other structures which do not ordinarily support conductors, whether attached or unattached.	8 Feet	12 Feet
Vertical clearance above non-walkable surfaces on buildings, (except generating plants or substations) and/or other structures which do not ordinarily support conductors, whether attached or unattached.	8 Feet	8 Feet
Horizontal clearance of conductor at rest from buildings (except generating plants and substations), bridges or other structures (upon which men may work) where such conductor is not attached there to.	3 Feet	6 Feet

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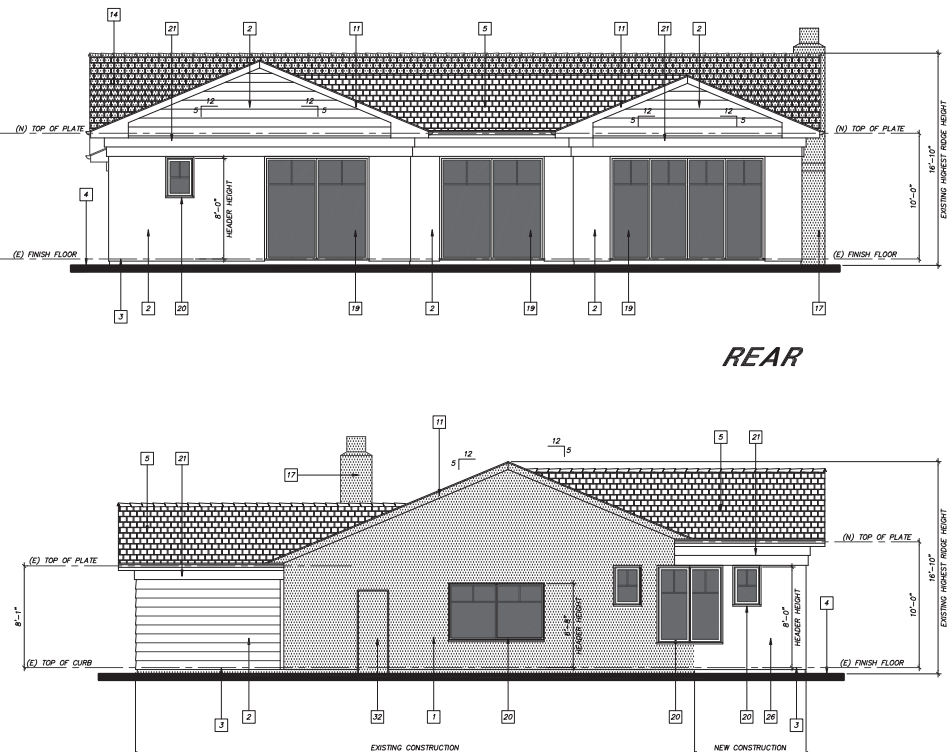
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LEGEND

 DOTTED AREAS INDICATE EXISTING AREA OF HOUSE TO REMAIN (PROTECT IN PLACE)



KEYNOTES

- 2. DOTTED AREA INDICATES EXISTING WALL TO REMAIN.
- 3. NEW EXTERIOR PLANK Siding BY LOUISIANA-PACIFIC CORPORATION
"COMPOSITE-DRAIN PLANK-SIDING" (ICC ESR-1300), APPROVED EXIST.
- 4. NEW CORNSTONE-RESISTANT WEED SCKEED, WITH OPENINGS TO DRAIN.
WATER WEED SCKEED OPENINGS SHALL BE LOCATED BELOW FIRST FLOOR
GRADE LINE 4 INCHES ABOVE GRADE OR 6 INCHES ABOVE FINISHED
SURFACE AREAS. SEE DETAIL 13/3-1.
- 5. NEW ROOFING MATERIAL:
ROOF TYPE: LIGHTWIGHT CONCRETE TILE
MANUFACTURER: BONA ROOFING
COLOR: MATCH EXISTING MAIN HOUSE
CLASS: 1
L.C.C. NO.: ESR-1017
WEIGHT: 8 LBS. FSQ.
6. NEW 1/2" PLANK FLASHING TO MATCH DETAILS 9/2-1 AND 8/2-1.
7. NEW R-15 BATT INSULATION IN HOUSE EXTERIOR WALL, R-11.
8. NEW R-8 BATT INSULATION IN HOUSE ROOF ATTC SPACE, MINIMUM.
9. NEW CLOSED CELL SPRA-FORM INSULATION (R-38, TYPICAL VALUE)
TO BE USED TO INSULATE ROOF ATTC SPACE. INSULATE ATTC FILL IN
TO MAXIMUM SPACE TO PREVENT AIR GOR POCKET.
10. NEW 2X6 TREATED WOOD EXTERIOR DOOR AND WINDOW SURROUND.
11. NEW 2X6 FASDED, PAINTED.
12. NEW ROOF FRAMING, SEE STRUCTURAL PLANS.
13. NEW CONCRETE FLOOR SLAB, SEE STRUCTURAL PLANS.
14. EXISTING ROOF FRAMING TO REMAIN.
15. NEW 5" GALVANIZED METAL RAIN GUTTER AND 4" DIAMETER DOWNSPOUT
CONTO EXISTING SIDE DRAIN SYSTEM.
16. EXISTING GROUND COVERING TO REMAIN.
17. EXISTING PREPARE AND CHIMNEY TO REMAIN.
18. EXISTING DOOR AND FRAME TO REMAIN.
19. NEW DOOR AND FRAME TO REMAIN.
20. NEW WINDOW AND FRAME TO REMAIN.
21. NEW FREEZE BOARD.
22. EXISTING CONCRETE FLOOR SLAB TO REMAIN.
23. NEW PRESSURE TREATED STRUCTURAL WOOD POST W/ DECORATIVE
NEW BAL-CONY RAILING.
24. NEW WALL FRAMING, SEE STRUCTURAL.
25. NEW 7/8" THK. EXTERIOR STUCCO SMOOTH FINISH.
26. NEW BEAM, SEE STRUCTURAL.
27. ADHERED BRICK STONE VENEER.
28. ADHERED PRECAST STONE SURROUND.

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E HOHMANN

T E C T

PROPOSED SINGLE FAMILY RESIDENCE REMODEL AND ADDITION FOR:

_____ *Sjodin, Terri Lynn Trust*
_____ *1977 Port Seabourne Way*
_____ *Newport Beach, California 92660*

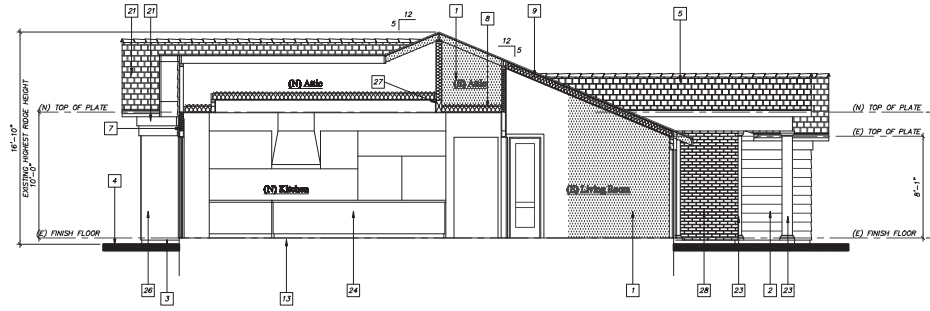
PESCA, CALIFORNIA 92628

DAVID PIERCE HOHMANN
ARCHITECT
1807 GISLER AVENUE COSTA MESA, CALIFORNIA 92626

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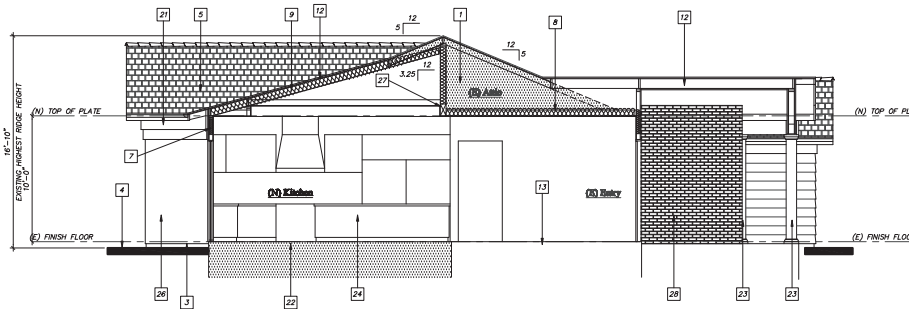
PROJECT LOCATION: 1977 Port Seabourne Way Newport Beach, California 92660



SECTION "C"



SECTION "B"



SECTION "A"

NEW BUILDING SECTIONS

SCALE: 1/4"=1'-0"

- KEYNOTES**
1. DOTTED AREA INDICATES EXISTING HOUSE TO REMAIN
 2. NEW EXTERIOR LAP SIDING BY LOUISIANA-PACIFIC CORPORATION "SMARTSIDE STRAND LAP-SIDING" (CC ESR-1301), OR APPROVED EQUAL
 3. NEW CORROSION-RESISTANT WEEP SCREED, WITH OPENINGS TO DRAIN WATER WEEP SCREED OPENINGS SHALL BE LOCATED BELOW FIRST FLOOR PLATE LINE AND 4 INCHES ABOVE GRADE OR 2 INCHES ABOVE FINISHED SURFACE AREAS. SEE DETAIL 13/D-1
 4. EXISTING FINISH GRADE
 5. NEW ROOFING MATERIAL:
ROOF TILE: LIGHTWEIGHT CONCRETE TILE
MANUFACTURER: BORAL ROOFING LLC
COLOR: MATCH EXISTING MAIN HOUSE
CLASS: A
I.C.C. NO.: ESR-1017
WEIGHT: 8 LBS. PSF
 6. NEW ROOF TO WALL FLASHING, SEE DETAILS 5/D-1 AND 6/D-1
 7. NEW R-15 BATT INSULATION IN HOUSE EXTERIOR WALL, TYP.
 8. NEW R-38 BATT INSULATION IN HOUSE ROOF ATTIC SPACE, TYP.
 9. NEW CLOSED CELL SPRAY FOAM INSULATION (R-38 MINIMUM VALUE) IN BETWEEN ENCLOSED ROOF RATTEN SPACE WITHOUT ATTIC FILL IN TO MAXIMUM SPACE TO PREVENT AIR GAP OR POCKET
 10. NEW PRESSURE TREATED WOOD EXTERIOR DOOR AND WINDOW SURROUND
 11. NEW 2X FASCIA, PAINTED
 12. NEW ROOF FRAMING, SEE STRUCTURAL PLANS
 13. NEW CONCRETE FLOOR SLAB, SEE STRUCTURAL PLANS
 14. EXISTING ROOF AND FRAMING TO REMAIN
 15. NEW 6" GALVANIZED METAL RAIN GUTTER AND 4" DIAMETER DOWNSPOUT, CONNECT TO EXISTING SITE DRAINAGE SYSTEM
 16. EXISTING GARAGE DOOR AND FRAME TO REMAIN
 17. EXISTING FIREPLACE AND CHIMNEY TO REMAIN
 18. EXISTING DOOR AND FRAME TO REMAIN
 19. NEW DOOR AND FRAME TO REMAIN
 20. NEW WINDOW AND FRAME TO REMAIN
 21. NEW PINE1 BOARD
 22. EXISTING CONCRETE FLOOR SLAB TO REMAIN
 23. NEW PRESSURE TREATED STRUCTURAL WOOD POST W/ DECORATIVE
 24. NEW BUILT-IN CABINETRY
 25. NEW WALL FRAMING, SEE STRUCTURAL
 26. NEW 7/8" THK. EXTERIOR STUCCO SMOOTH FINISH
 27. NEW BEAM, SEE STRUCTURAL
 28. ADHERED BRICK STONE VENEER
 29. ADHERED PRECAST STONE SURROUND

- LEGEND**
- DOTTED AREAS INDICATE EXISTING AREA OF HOUSE TO REMAIN (PROTECT IN PLACE)

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PROPOSED SINGLE FAMILY RESIDENCE REMODEL AND ADDITION FOR:
Stodin, Terri Lynn Trust
 1977 Port Seabourne Way
 Newport Beach, California 92660
 (714) 241-3600

DAVID PIERCE HOHMANN
 ARCHITECT
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 (714) 241-3600

PROJECT LOCATION: 1977 Port Seabourne Way Newport Beach, California 92660

9-5-2025

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