

# **Attachment PC 5**

Project Plans

INTENTIONALLY BLANK PAGE

# 1300 DOVE STREET

1300 DOVE STREET  
NEWPORT BEACH, CALIFORNIA



**OUR TEAM**

**APPLICANT :**  
LINCOLN PROPERTY COMPANY  
951.317.5640  
CONTACT: ALLIE MEISTER  
AMEister@LPC.com

**ARCHITECT :**  
BASSENIAN LAGONI  
131 INNOVATION DRIVE, SUITE 100  
IRVINE, CA 92617  
949.553.9100  
CONTACT: JOHNNY CHUNG  
jchung@bassenianlagoni.com

**CIVIL :**  
FUSCOE ENGINEERING  
15535 SAND CANYON AVE, SUITE 100  
IRVINE, CA 92618  
949.474.1960  
CONTACT: ORIANA SLASOR  
oslasor@fuscoe.com

**LANDSCAPE :**  
MJS LANDSCAPE ARCHITECTURE  
507 30TH STREET  
NEWPORT BEACH, CA 92663  
949.675.9964  
CONTACT: DAN DELLE  
dan@mjs-la.com



**VICINITY MAP**

(NOT TO SCALE)



**SHEET INDEX**

CS	COVER SHEET/ SHEET INDEX	A3.4	ROOF PLAN
<b>PROJECT SUMMARY</b>		A3.5	FRONT & REAR ELEVATIONS
		A3.6	LEFT & RIGHT ELEVATIONS
		A3.7	BUILDING SECTIONS
PD	PROJECT DATA	<b>DUPLEX BUILDING TYPE 'C' - THREE STORY</b>	
<b>RENDERING</b>		A4.1	FIRST AND SECOND FLOOR PLAN
R.1	CONCEPTUAL BIRD'S EYE OF COMMUNITY	A4.2	THIRD FLOOR AND ROOF PLAN
R.2	CONCEPTUAL PERSPECTIVE OF 8 PLEX CONDO	A4.3	FRONT ELEVATION
R.3	CONCEPTUAL PERSPECTIVE OF DUPLEX	A4.4	FRONT & REAR ELEVATIONS
		A4.5	LEFT & RIGHT ELEVATIONS
<b>CIVIL</b>		<b>DUPLEX BUILDING TYPE 'D' - FOUR STORY</b>	
<b>CIVIL ENTITLEMENT SET</b>		A5.1	FIRST AND SECOND FLOOR PLAN
C1.0	TITLE SHEET	A5.2	THIRD AND FOURTH FLOOR PLAN
C2.0	EXISTING CONDITIONS	A5.3	ROOF PLAN
C3.0	CONCEPTUAL GRADING PLAN	A5.4	FRONT & REAR ELEVATIONS
C4.0	CONCEPTUAL UTILITY SHEET	A5.5	LEFT & RIGHT ELEVATIONS
C5.0	SECTIONS	<b>COLOR BOARDS</b>	
C6.0	AVERAGE GRADE PLANE	CB1	COLOR BOARD - BUILDING A & B
<b>VESTING TENTATIVE TRACT MAP</b>		CB2	COLOR BOARD - BUILDING C & D
VTTM	VESTING TENTATIVE TRACT MAP	<b>LANDSCAPE</b>	
<b>ARCHITECTURAL</b>		L1	CONCEPTUAL LANDSCAPE PLAN
<b>SITE PLAN &amp; EXHIBIT</b>		L2	AMENITY COURTYARD #1, #2, AND #3 ENLARGEMENTS
A1.1	SITE PLAN	L3	TOWNHOME PASEO
A1.2	PRIVATE OPEN SPACE EXHIBIT	L4	DUPLEX PASEO
A1.3	ELEVATION OPENING EXHIBIT	L5	LIFESTYLE IMAGERY
A1.4	ALLOWABLE OPENING EXHIBIT - CONDOS	L6	CONCEPTUAL PLANTING PLAN
A1.5	ALLOWABLE OPENING EXHIBIT - DUPLEX	L7	PLANT IMAGERY
A1.6	BUILDING TYPE 'A' EXITING ANALYSIS	L8	PLANT IMAGERY
A1.7	BUILDING TYPE 'B' EXITING ANALYSIS	L9	CONCEPTUAL ILLUSTRATION PLAN
<b>8 PLEX BUILDING TYPE 'A' - THREE STORY CONDOS</b>		L10	WALL AND FENCE PLAN
A2.1	FIRST FLOOR PLAN	L11	CONCEPTUAL LIGHTING PLAN
A2.2	SECOND FLOOR PLAN		
A2.3	THIRD FLOOR PLAN		
A2.4	ROOF PLAN		
A2.5	FRONT & REAR ELEVATIONS		
A2.6	LEFT & RIGHT ELEVATIONS		
A2.7	BUILDING SECTIONS		
<b>8 PLEX BUILDING TYPE 'B' - THREE STORY CONDOS</b>			
A3.1	FIRST FLOOR PLAN		
A3.2	SECOND FLOOR PLAN		
A3.3	THIRD FLOOR PLAN		

**COVER SHEET**

1300 DOVE STREET  
Newport Beach, California

B05.25082

CS

03.24.26



City of Newport Beach

**SITE SUMMARY:**

**PROJECT ADDRESS**  
1300 DOVE STREET, NEWPORT BEACH, CALIFORNIA 92660

**ASSESSOR PARCEL NO:**  
427 222 01

**TAG:**  
L4N\_004

**GENERAL PLAN LAND USE :**  
MU-H2 MIXED-USE HORIZONTAL  
ADDITIONAL SPECIFIC DEVELOPMENT LIMIT, SEE TABLE LU2: ANOMALY 15

**ZONING DISTRICT:**  
PC 11 NEWPORT PLACE

**PC LAND USE:**  
NEWPORT PLACE (Prof. & Bus, Off, Site 4) WITH RESIDENTIAL OVERLAY

REQUEST PROJECT SITE TO BE MODIFIED TO HOUSING OPPORTUNITY SITE OVERLAY ZONE (HO-1 AIRPORT AREA) WITH AN ALLOWABLE RESIDENTIAL REDEVELOPMENT DENSITY OF 20 DU/ AC.

**COASTAL ZONE:**  
NO

**LOT SIZE:**  
±6.5 ACRES (283,330 SQ. FT)

**GROSS DENSITY:** ± 20.00 HOMES/ACRE

**LOT COVERAGE RATIO:** 99,958 SQ. FT / 283,140 SQ. FT.  
35.30%

**SETBACK:**  
0 Feet setback from Macarthur Blvd.  
0 Feet setback from Newport Pl.  
0 Feet setback from Dove St.  
0 Feet setback from internal Property line  
(3) Any portion of the building that is over twenty (20) feet in height shall be set back a minimum of twenty (20) feet from the street right-of-way.

**GROSS FLOOR AREA:**  
**Building Summary:**  
(6) Building type 'A' (8 plex): 3 story Condominiums = 15,338 s.f. x 6 bldgs = **92,028 s.f.**  
(4) Building type 'B' (8 plex): 3 story Condominiums = 15,286 s.f. x 4 bldgs = **61,143 s.f.**  
(14) Building type 'C' (Duplex): 3 story Duplex = 4,991 s.f. x 14 bldgs = **69,877 s.f.**  
(12) Building type 'D' (Duplex): 4 story Duplex = 6,219 s.f. x 12 bldgs = **74,629 s.f.**  
**Total Building Square footage = 297,676 s.f.**

**FLOOR AREA RATIO:** F.A.R. = 1.012

**PROJECT DESCRIPTION:**

3-STORY CONDOMINIUMS AND 3-STORY AND 4-STORY TWO FAMILY DWELLINGS. THE PROJECT SITE IS LOCATED ON AN APPROXIMATELY 6.5 ACRES LOT IN THE MIXED USE HORIZONTAL, NEWPORT PLACE (PROF. BUS, OFFICE, SITE 4) WITH RESIDENTIAL OVERLAY. PROJECT SITE LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF DOVE STREET AND NEWPORT PLACE.

**BUILDING SUMMARY**  
**UNIT COUNT:** 132 UNITS  
**CONSTRUCTION TYPE:** TYPE VB RESIDENTIAL

**BUILDING OCCUPANCY:** R-2 (TOWNHOME)  
R-3 (DUPLICATE)

**FIRE SPRINKLERS:** NFPA 13D (3-STORY DUPLEX)  
NFPA 13R (4-STORY DUPLEX)  
NFPA 13 (CONDOMINIUMS)

**BUILDING HEIGHT:** 38' (CONDOMINIUM)  
37' (3-STORY DUPLEX)  
47' (4-STORY DUPLEX)

**CODES:**  
2025 CALIFORNIA BUILDING CODE  
2025 CALIFORNIA RESIDENTIAL CODE  
2025 CALIFORNIA MECHANICAL CODE  
2025 CALIFORNIA PLUMBING CODE  
2025 CALIFORNIA FIRE CODE  
2025 CALIFORNIA ELECTRICAL CODE  
2025 CALIFORNIA ENERGY CODE  
2025 CALIFORNIA GREEN BUILDING STANDARDS CODE



**Bassenian | Lagoni**  
ARCHITECTURE • PLANNING • INTERIORS

Copyright 2026 Bassenian | Lagoni Architects  
2021 Orchard Drive, Suite 100  
Newport Beach, CA, USA 92660  
Tel: +1 949 553 9100  
Tel: +1 949 553 9548

# CONCEPTUAL BIRDS EYE OF THE COMMUNITY

View 1  
**1300 DOVE STREET**  
Newport Beach, California

B05.25082

# City of Newport Beach

ARTISTS CONCEPT RENDERING FOR BUILDING ONLY



R.1  
03.24.26

**Lincoln**



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2021 Orchard Drive, Suite 100  
Newport Beach, CA, USA 92660  
Tel: +1 949 553 9100  
Fax: +1 949 553 9548

# CONCEPTUAL PERSPECTIVE OF 8 PLEX CONDO

View 2

1300 DOVE STREET

Newport Beach, California

B05.25082

# City of Newport Beach



KEY PLAN



R.2

03.24.26

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CONCEPTUAL PERSPECTIVE OF DUPLEX

View 3

1300 DOVE STREET  
 Newport Beach, California

B05.25082

City of Newport Beach



KEY PLAN  
 N

R.3  
 03.24.26

**Lincoln**

ARTISTS CONCEPT RENDERING FOR BUILDING ONLY

# CITY OF NEWPORT BEACH

1300 DOVE STREET  
NEWPORT BEACH, CA 92660



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**  
1. EXISTING LAND USE: COMMERCIAL  
2. PROPOSED LAND USE: RESIDENTIAL CONDOMINIUMS

**FLOOD ZONE**  
THE AREA OF LAND SHOWN HEREON LIES ENTIRELY WITHIN FLOOD ZONE "X", AS DEFINED ON INFORMATION PUBLISHED BY U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT AS COLLECTED BY FLOOD INSURANCE RATE MAP PANEL NO. 06059C0286J, EFFECTIVE 12/03/2009

**OWNER**  
AG RESTORATION OWNER, LP  
4041 MACARTHUR BOULEVARD, SUITE 510  
NEWPORT BEACH, CA 92660  
CONTACT: PARKER MILLER  
PHONE: (951) 317-5640

**SITE ADDRESS**  
1300 DOVE STREET  
NEWPORT BEACH, CA 92660

**SOILS ENGINEER**  
JOHN F. O'BRIEN, P.E., G.E.  
NOVA SERVICES  
4375 VIEWRIDGE AVE., SUITE B  
SAN DIEGO, CA 92123  
PHONE: (949) 292-7575

**CIVIL ENGINEER**  
ORIANA SLASOR, P.E.  
FUSCOE ENGINEERING, INC.  
15535 SAND CANYON AVE., SUITE 100  
IRVINE, CA 92618  
PHONE: (949) 474-1960



**LEGAL DESCRIPTION**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
THAT PORTION OF BLOCK 50 OF IRVINE'S SUBDIVISION, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:  
PARCEL 2 IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 63 PAGE 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
EXCEPTING THEREFROM THE FULL RIGHTS TO ALL MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES EXISTING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID REAL PROPERTY DESCRIBED ABOVE, PROVIDED, HOWEVER, THAT GRANTEE HEREBY EXPRESSLY WAIVES THE RIGHT TO ENTER UPON THE SURFACE OF SAID REAL PROPERTY FOR THE PURPOSE OF EXPLORING FOR OR PRODUCING THE MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES SO RESERVED, AS RESERVED IN DOCUMENT RECORDED DECEMBER 22, 1976 IN BOOK 12005, PAGE 1500, OFFICIAL RECORDS.  
ASSESSOR'S PARCEL NO.: 427-222-01

**BASIS OF BEARINGS**  
THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE VI (2017.50 EPOCH), IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS AND COORDINATES ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK, OR EQUIVALENT STATIONS:

REFERENCED CSRS STATIONS				
STATION	NORTHING (Y)	EASTING (X)	HEIGHT	ACCURACY
TRAK	2171992.614	6088761.195	381.382	FIRST ORDER
FVPK	2188769.567	6048756.256	-35.603	FIRST ORDER

MAPPING ANGLE AND GRID FACTOR						
POINT	NORTHING (Y)	EASTING (X)	MAPPING ANGLE	CF	HEIGHT	ELEV
10002	2188409.541	6070064.972	-00°53'16.21"	0.9999738678	-70.257'	44.556'

NOTES: DISTANCES AND COORDINATE DISTANCES SHOWN, UNLESS OTHERWISE NOTED, ARE IN TERMS OF THE U.S. SURVEY FOOT, AS USED IN TABLES ABOVE. ELEVATION REFERS TO THE CALIFORNIA ORTHOMETRIC HEIGHTS OF 1988 (COG88) OR EQUIVALENT OF THE POINT WHERE THE MAPPING ANGLE (OR CONVERGENCE ANGLE) AND COMBINATION FACTOR (CF) WERE CALCULATED IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 ("NAVD88") AND HEIGHT REFERS TO THE VERTICAL VALUE OF THE CALIFORNIA GEODETIC COORDINATE OR EQUIVALENT ELLIPSOID HEIGHT (FROM GEOID18) USED TO CALCULATE THE COMBINATION FACTOR. IN THE EVENT THAT THE CALCULATIONS ARE NOT PERFORMED AT A "REAL" POINT IN THE SURVEY, THERE MAY BE NO STATION OR ELEVATION TO LIST.

DISTANCES SHOWN HEREON, ARE GROUND DISTANCES. TO APPROXIMATE CCS83 GRID DISTANCES MULTIPLY THE DISTANCES BY THE COMBINATION FACTOR PROVIDED HEREON.

**SHEET INDEX**

TITLE SHEET	C1.0
EXISTING CONDITIONS	C2.0
CONCEPTUAL GRADING PLAN	C3.0
CONCEPTUAL UTILITY PLAN	C4.0
SECTIONS & OFFSITE STORM DRAIN	C5.0
AVERAGE GRADE PLANE	C6.0

**ABBREVIATIONS & LEGEND**

BF	BACKFLOW	---	RIGHT OF WAY/PROPERTY LINE
BLDG	BUILDING	---	CENTER LINE
CB	CATCH BASIN	---	EXISTING EASEMENT
CL	CENTER LINE	---	PROPOSED EASEMENT
DW	DOMESTIC WATER	---	LOT LINE
ESMT	EASEMENT	---	RETAINING WALL
EX	EXISTING	---	EX. CONTOUR
FH	FIRE HYDRANT	---	EXISTING WATER MAIN
FW	FIRE WATER	---	EXISTING SEWER MAIN
HT	HEIGHT	---	EXISTING STORM DRAIN
L	LENGTH	---	EXISTING CABLE TV LINE
P/L	PROPERTY LINE	---	EXISTING ELECTRIC LINE
RET	RETAINING	---	EXISTING TRAFFIC SIGNAL CONDUIT
R/W	RIGHT OF WAY	---	EXISTING GAS LINE
SD	STORM DRAIN	---	EXISTING TELEPHONE LINE
		---	EXISTING STREET LIGHT
		---	PRIVATE STORM DRAIN LINE
		---	PRIVATE SEWER LINE

**FUSCOE ENGINEERING**  
15535 Sand Canyon Ave 949.474.1960  
Suite 100 Irvine, California 92618 fuscoe.com

**TITLE SHEET**  
1300 DOVE ST  
Newport Beach, California

# City of Newport Beach

**C1.0**  
03.11.26  
**Lincoln**

Note: This yield study is for the purpose of estimating the maximum density of a residential product type on a site of a given configuration. If specific environment requirements differ from the criteria shown on the plan (such as setbacks, minimum lot sizes, street standards, retention requirements, etc.) then the actual possible density may vary substantially.

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF BLOCK 50 OF IRVINE'S SUBDIVISION, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 2, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 43, PAGE 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THE FULL RIGHTS TO ALL MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES EXISTING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID REAL PROPERTY DESCRIBED ABOVE, PROVIDED, HOWEVER, THAT GRANTEE HEREBY EXPRESSLY WAIVES THE RIGHT TO ENTER UPON THE SURFACE OF SAID REAL PROPERTY FOR THE PURPOSE OF EXPLORING FOR OR PRODUCING THE MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES SO RESERVED, AS RESERVED IN DOCUMENT RECORDED DECEMBER 22, 1976 IN BOOK 12005, PAGE 1500, OFFICIAL RECORDS.

**TITLE EXCEPTIONS:**

ITEMS SHOWN AS (7) HAVE BEEN PLOTTED ON THE SURVEY.

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER.
2. A PERPETUAL AIR OR FLIGHT EASEMENT, AVIGATION RIGHTS, IN AND TO ALL THE AIR SPACE ABOVE THOSE PORTIONS OF PARTICULAR PLANES OR IMAGINARY SURFACES THAT OVERLIE SAID LAND FOR USE BY AIRCRAFT.  
RECORDING DATE: MARCH 17, 1984  
RECORDING NO.: BOOK 6945, PAGE 721 OF OFFICIAL RECORDS  
BLANKET OVER SITE. SITE WILL REQUIRE FAA CERTIFICATE
3. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON AGE, RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN, ANCESTRY, FAMILIAL STATUS, SOURCE OF INCOME, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, MEDICAL CONDITION, CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDED DATE: AUGUST 19, 1971 RECORDING NO.: BOOK 9768, PAGE 919 OF OFFICIAL RECORDS.  
ENCUMBERS PROPERTY. SITE DEVELOPMENT STANDARDS. NOTHING TO PLOT
4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:  
PURPOSE: UNDERGROUND LINES  
RECORDING DATE: MARCH 7, 1978  
RECORDING NO.: BOOK 12588, PAGE 1147 OF OFFICIAL RECORDS
5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: EMERY DEVELOPMENT AND REALTY COMPANY, A NEVADA CORPORATION  
PURPOSE: CONSTRUCTION, MAINTENANCE AND USE OF SIGNS  
RECORDING DATE: FEBRUARY 28, 1979  
RECORDING NO.: BOOK 13050, PAGE 1548 OF OFFICIAL RECORDS
6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: PACIFIC BELL, ITS SUCCESSORS AND ASSIGNS  
PURPOSE: UNDERGROUND COMMUNICATION FACILITIES  
RECORDING DATE: MARCH 14, 1991  
RECORDING NO.: AS INSTRUMENT NO. 91-117440 OF OFFICIAL RECORDS  
AFFECTS: A PORTION OF SAID LAND
7. A DEED OF TRUST TO SECURE AN INDEBTEDNESS. AMOUNT: \$128,000,000.00  
DATED: AUGUST 24, 2018  
TRUSTOR/GRANTOR AC REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG DOVE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG FAIRCHILD OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AND AG RED HILL OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
TRUSTEE: CHICAGO TITLE COMPANY, A CALIFORNIA CORPORATION  
BENEFICIARY: PACIFICCOAL DEBT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 2018000314348 OF OFFICIAL RECORDS  
AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED EXECUTED BY: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG DOVE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG RED HILL OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
AND PACIFICCOAL DEBT I, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
RECORDING DATE: SEPTEMBER 29, 2023  
RECORDING NO.: AS INSTRUMENT NO. 2023000238887 OF OFFICIAL RECORDS  
DEED OF TRUSTS. NOTHING TO PLOT.
8. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: SUBORDINATION, NON-DISTURBANCE AND ATTORNEYMENT AGREEMENT  
LESSOR: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
LESSEE: ORANGE COUNTY COMMUNITY FOUNDATION, A CALIFORNIA NON-PROFIT CORPORATION  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 2018000314352 OF OFFICIAL RECORDS  
AN AGREEMENT RECORDED AUGUST 28, 2018 AT RECORDING NO. AS INSTRUMENT NO. 2018000314352 OF OFFICIAL RECORDS  
WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED: DEED OF TRUST  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 2018000314348 OF OFFICIAL RECORDS  
DEED OF TRUSTS. NOTHING TO PLOT.
9. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: SUBORDINATION, NON-DISTURBANCE AND ATTORNEYMENT AGREEMENT  
LESSOR: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
LESSEE: LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC., A NORTH CAROLINA CORPORATION  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 2018000314353 OF OFFICIAL RECORDS  
THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.  
AN AGREEMENT RECORDED AUGUST 23, 2018 AT RECORDING NO. AS INSTRUMENT NO. 2018000314353 OF OFFICIAL RECORDS  
WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED: DEED OF TRUST  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 2018000314348 OF OFFICIAL RECORDS  
DEED OF TRUSTS. NOTHING TO PLOT.
10. A FINANCING STATEMENT AS FOLLOWS:  
DEBTOR: AG REDSTONE OWNER, L.P.  
SECURED PARTY: PACIFICCOAL DEBT I, LLC  
RECORDING DATE: SEPTEMBER 12, 2018  
RECORDING NO.: AS INSTRUMENT NO. 2018000333660 OF OFFICIAL RECORDS  
A CHANGE TO THE ABOVE FINANCING STATEMENT WAS FILED  
NATURE OF CHANGE: CONTINUATION  
RECORDING DATE: APRIL 17, 2023  
RECORDING NO.: 2023000086663 OF OFFICIAL RECORDS  
NOTHING TO PLOT.
11. - 14. TITLE COMPANY NOTES

**SURVEYOR'S STATEMENT:**  
THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE PROFESSIONAL LAND SURVEYORS' ACT.

KURT R. TROXELL, L.S. 7854  
EMAIL: ktroxell@fuscoe.com

08/19/2025  
DATE

**BASIS OF BEARINGS AND COORDINATES:**

THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CC83, ZONE VI (2017.50 EPOCH), IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS AND COORDINATES ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK, OR EQUIVALENT STATIONS:

REFERENCED CSRC STATIONS				
STATION	NORTHING (Y)	EASTING (X)	HEIGHT	ACCURACY
TRAK	2171992.614	6088761.195	381.382	FIRST ORDER
FVPR	2188769.567	6048756.256	-35.603	FIRST ORDER

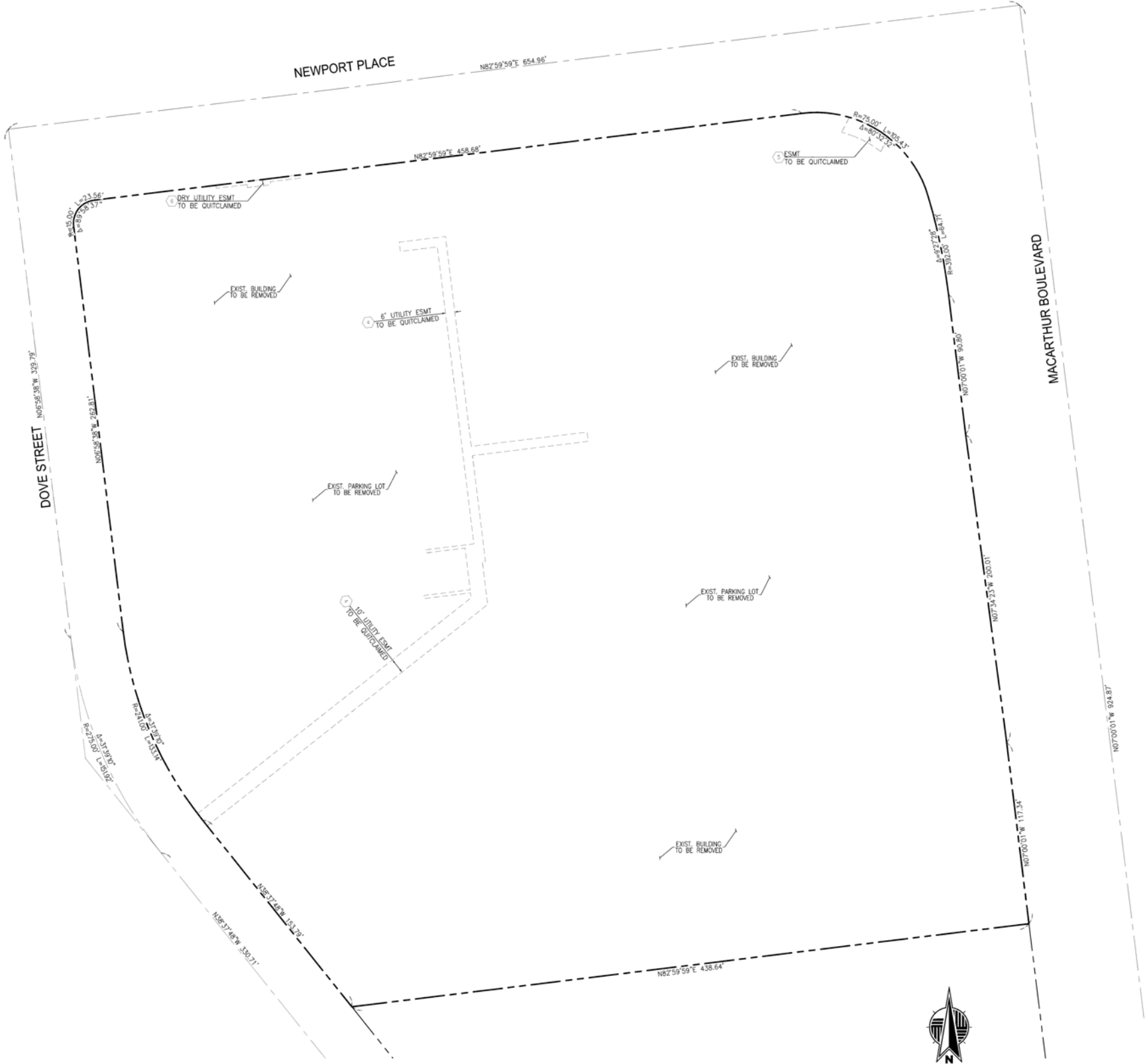
MAPPING ANGLE AND GRID FACTOR						
POINT	NORTHING (Y)	EASTING (X)	MAPPING ANGLE	CF	HEIGHT	ELEV
10002	2188409.541	6070064.972	-005°3'16.21"	0.999973867 8	-70.257'	44.556'

NOTES: DISTANCES AND COORDINATE DISTANCES SHOWN, UNLESS OTHERWISE NOTED, ARE IN TERMS OF THE U.S. SURVEY FOOT, AS USED IN TABLES ABOVE. ELEVATION REFERS TO THE CALIFORNIA ORTHOMETRIC HEIGHTS OF 1988 ("COH88") OR EQUIVALENT OF THE POINT WHERE THE MAPPING ANGLE (OR CONVERGENCE ANGLE) AND COMBINATION FACTOR (CF) WERE CALCULATED IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 ("NAV88") AND HEIGHT REFERS TO THE VERTICAL VALUE OF THE CALIFORNIA GEODETIC COORDINATE OR EQUIVALENT ELLIPSOID HEIGHT (FROM GED018) USED TO CALCULATE THE COMBINATION FACTOR. IN THE EVENT THAT THE CALCULATIONS ARE NOT PERFORMED AT A "REAL" POINT IN THE SURVEY, THERE MAY BE NO STATION OR ELEVATION TO LIST.

DISTANCES SHOWN HEREON ARE GROUND DISTANCES. TO APPROXIMATE CC83 GRID DISTANCES MULTIPLY THE DISTANCES BY THE COMBINATION FACTOR PROVIDED HEREON.

**BENCH MARK STATEMENT:**

THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING BENCH MARK:  
BM NO.: 35-34577 ELEV.: 45.510' (COUNTY OF ORANGE BENCH MARK)  
DATUM: NAVD 88 2003 ADJUSTMENT  
DESCRIPTION: FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "35-34-77", SET IN THE NORTHEAST CORNER OF A 4.5 FT. BY 8.4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE WESTERLY SIDE OF MACARTHUR BOULEVARD, 362 FT. NORTHERLY OF THE CENTERLINE OF NEWPORT PLACE DRIVE AND 58 FT. WESTERLY OF THE CENTERLINE OF MACARTHUR BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.  
CONTOUR INTERVAL=1'



**FUSCOE ENGINEERING**  
15535 Sand Canyon Ave 949.474.1960  
Suite 100  
Irvine, California 92618 fuscoe.com

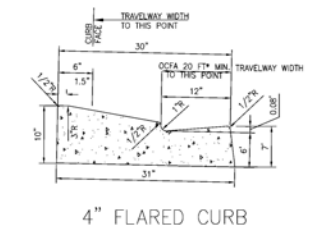
EXISTING CONDITIONS  
1300 DOVE ST  
Newport Beach, California

# City of Newport Beach

**C2.0**  
03.11.26

**Lincoln**

Note: This yield study is for the purpose of estimating the maximum density of a residential product type on a site of a given configuration. If specific entitlement requirements differ from the criteria shown on the plan (such as setbacks, minimum lot sizes, street standards, retention requirements, etc.) then the actual possible density may vary substantially.



**ESTIMATED EARTHWORK QUANTITY**  
 CUT = 14,000 CY (RAW)  
 FILL = 700 CY (RAW)  
 EXPORT = 13,300 CY (RAW)

NOTE: QUANTITIES SHOWN ARE BASED ON CONCEPTUAL ASSUMPTIONS AND SITE PLAN. RAW QUANTITIES ONLY - DO NOT INCLUDE SHRINKAGE, BULKING, OR SPOILS FROM UTILITIES, RETAINING WALLS, OR FOOTINGS.

**LEGEND**  
 [Symbol] EMERGENCY ACCESS ROAD

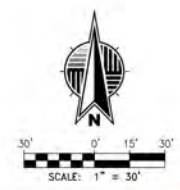


**GENERAL NOTES**

1. ALL ON-SITE STORM DRAIN LINES, CATCH BASINS AND MODULAR WETLANDS LOCATED ON PRIVATE PROPERTY ARE PRIVATELY OWNED AND MAINTAINED.
2. ON-SITE STORM DRAIN TO BE COLLECTED AND DISCHARGED TO CITY STORM DRAIN OR STREET PER AGENCY REQUIREMENTS. WOMP WILL BE PREPARED AND WILL INCORPORATE STORM WATER MITIGATION AS REQUIRED BY AGENCY.
3. OFF-SITE CATCH BASINS TO BE PROTECTED IN PLACE PER CITY REQUIREMENTS.
4. PROPOSED PUBLIC WATER & SEWER MAINS TO BE INSTALLED ON-SITE TO SERVICE THE PROPOSED BUILDINGS.
5. PER APPENDIX C AND TABLE C102.1 OF 2022 CALIFORNIA FIRE CODE, REQUIRED SPACING OF FIRE HYDRANTS IS 500'. SEE TOP RIGHT FOR FIRE HYDRANT LOCATIONS.
6. ALL EXISTING WATER SERVICES TO BE ABANDONED MUST BE ABANDONED AT THE MAINLINE WITH THE EXISTING "T" CUT OUT AND REPLACED WITH A STRAIGHT PIECE OF PIPE WITH COUPLINGS.
7. ALL EXISTING SEWER LATERALS TO BE REUSED SHALL BE VIDEO INSPECTED AND APPROVED BY THE CITY OF NEWPORT BEACH UTILITY DEPARTMENT PRIOR TO REUSE.
8. ALL EXISTING SEWER LATERALS TO BE ABANDONED MUST BE CAPPED AND ABANDONED AT THE PROPERTY LINE.
9. ALL PROPOSED TRANSFORMERS AND TRANSFORMER PADS SHALL BE LOCATED ENTIRELY ON-SITE AND BE ACCESSIBLE FROM THE PRIVATE PROPERTY.

**LEGEND**

	PROPOSED STORM DRAIN LINE
	PROPOSED WATER LINE
	PROPOSED IRRIGATION WATER LINE
	FIRE WATER SERVICE
	PROPOSED SEWER LINE
	WATER METER
	FIRE WATER DOUBLE CHECK DETECTOR BACKFLOW PREVENTER
	SEWER CLEAN OUT
	SEWER MANHOLE
	CATCH BASIN
	MODULAR WETLAND SYSTEM
	JUNCTION STRUCTURE
	PROPOSED PUBLIC UTILITY EASEMENT
	150' HOSE PULL
	PROPOSED FIRE HYDRANT
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	FIRE WATER SERVICE
	PROPOSED SEWER LINE
	EXISTING ELECTRICAL
	EXISTING FIBER OPTICS
	EXISTING GAS
	EXISTING STREET LIGHT
	EXISTING TELEPHONE
	EXISTING FIRE HYDRANT



**C4.0**  
03.11.26



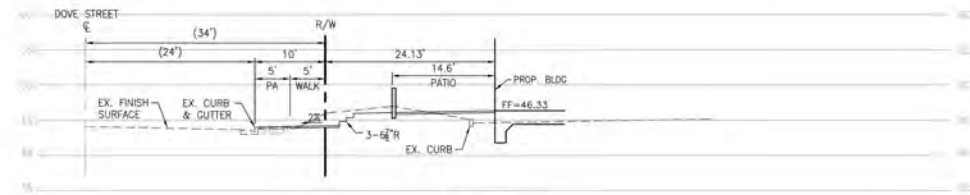
**CONCEPTUAL UTILITY PLAN**

**1300 DOVE ST**  
Newport Beach, California

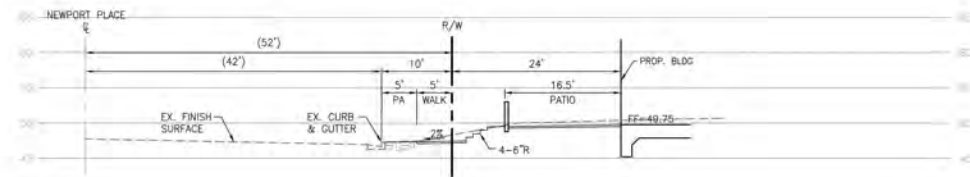
**City of Newport Beach**

Note: This yield study is for the purpose of estimating the maximum density of a residential product type on a site of a given configuration. If specific entitlement requirements differ from the criteria shown on the plan (such as setbacks, minimum lot sizes, street standards, retention requirements, etc.) then the actual possible density may vary substantially.

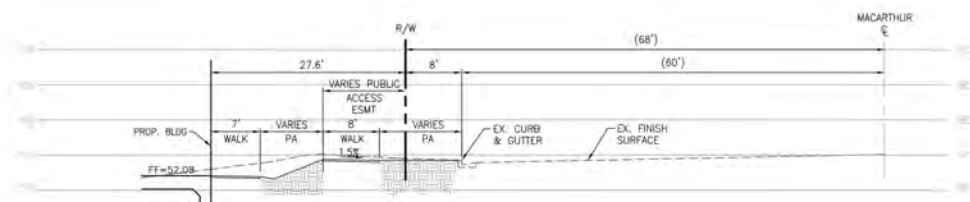




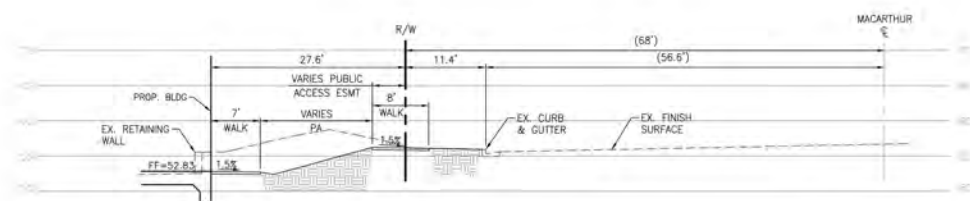
SECTION A-A  
SCALE: 1"=10'



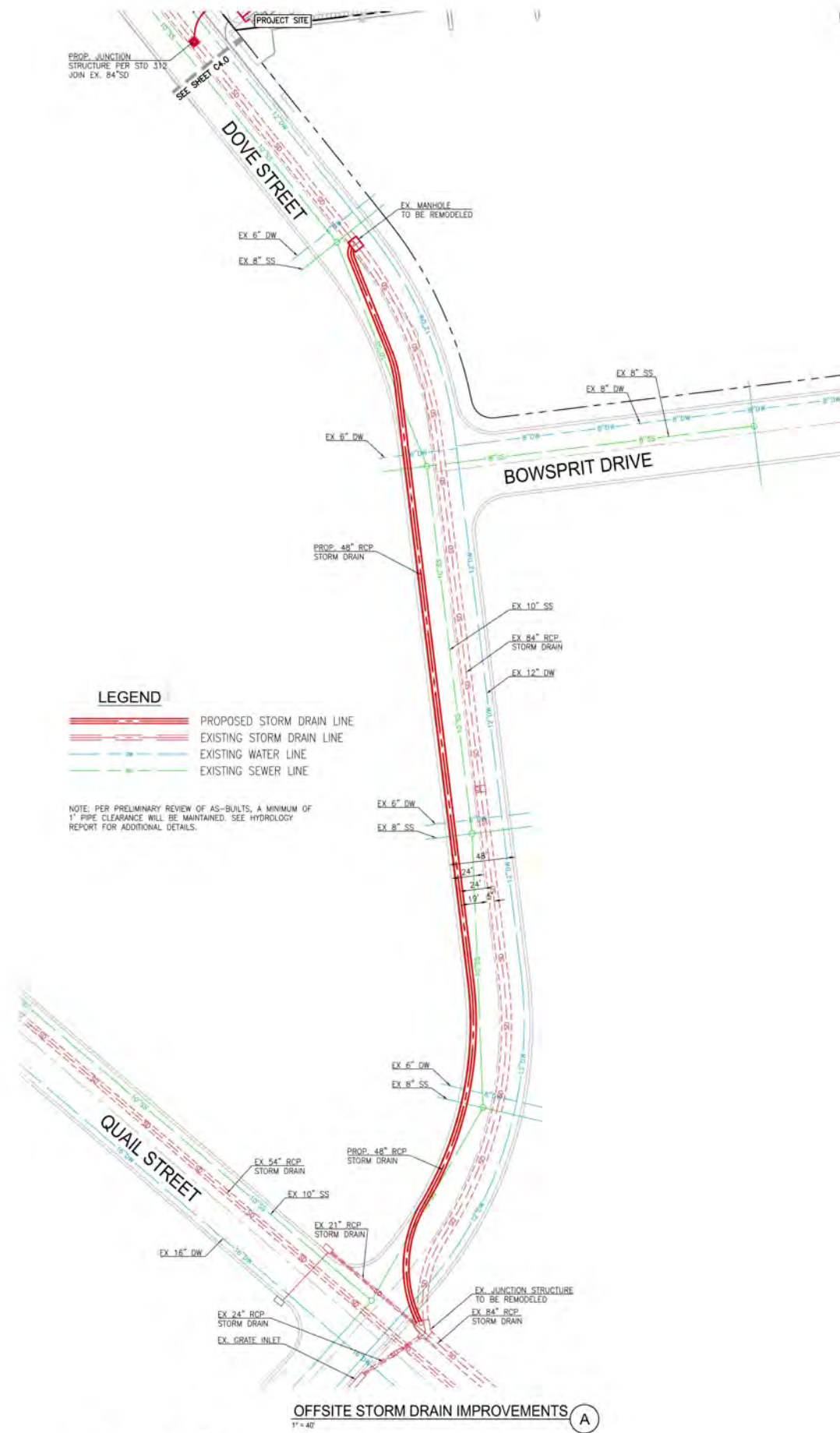
SECTION B-B  
SCALE: 1"=10'



SECTION C-C  
SCALE: 1"=10'



SECTION D-D  
SCALE: 1"=10'



OFFSITE STORM DRAIN IMPROVEMENTS A  
1"=40'



**AVERAGE GRADE PLANE**

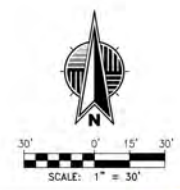
1300 DOVE ST

Newport Beach, California

# City of Newport Beach



15535 Sand Canyon Ave 949.474.1960  
Suite 100  
Irvine, California 92618 fuscoe.com



**C6.0**  
03.11.26



Note:  
This yield study is for the purpose of estimating the maximum density of a residential product type on a site of a given configuration. If specific entitlement requirements differ from the criteria shown on the plan (such as setbacks, minimum lot sizes, street standards, retention requirements, etc.) then the actual possible density may vary substantially.

# VESTING TENTATIVE TRACT MAP NO. 19439

## IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

### (FOR RESIDENTIAL CONDOMINIUMS PURPOSES)



#### TITLE EXCEPTIONS

ITEMS SHOWN AS ⑦ HAVE BEEN PLOTTED ON THE SURVEY.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER.
- A PERPETUAL AIR OR FLIGHT EASEMENT, AVIGATION RIGHTS, IN AND TO ALL THE AIR SPACE ABOVE THOSE PORTIONS OF PARTICULAR PLACES OR MAGNARY SURFACES THAT OVERLIE SAID LAND FOR USE BY AIRCRAFT.  
RECORDING DATE: MARCH 17, 1964  
RECORDING NO.: BOOK 6965, PAGE 721 OF OFFICIAL RECORDS  
BLANKET OVER SITE. SITE WILL REQUIRE FAA CERTIFICATE
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON AGE, RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN, ANCESTRY, FAMILY STATUS, SOURCE OF INCOME, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, MEDICAL CONDITION, CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING DATE: AUGUST 19, 1971, RECORDING NO.: BOOK 9766, PAGE 919 OF OFFICIAL RECORDS.  
ENCUMBERS PROPERTY. SITE DEVELOPMENT STANDARDS. NOTHING TO PLOT
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:  
PURPOSE: UNDERGROUND LINES  
RECORDING DATE: MARCH 7, 1978  
RECORDING NO.: BOOK 12286, PAGE 1147 OF OFFICIAL RECORDS  
EASEMENT TO BE OBTAINED.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: EMERY DEVELOPMENT AND REALTY COMPANY, A NEVADA CORPORATION  
PURPOSE: CONSTRUCTION, MAINTENANCE AND USE OF SIGNS  
RECORDING DATE: FEBRUARY 28, 1979  
RECORDING NO.: BOOK 13250, PAGE 1548 OF OFFICIAL RECORDS  
EASEMENT TO BE OBTAINED.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: PACIFIC BELL, ITS SUCCESSORS AND ASSIGNS  
PURPOSE: UNDERGROUND COMMUNICATION FACILITIES  
RECORDING DATE: MARCH 14, 1991  
RECORDING NO.: AS INSTRUMENT NO. 91-117440 OF OFFICIAL RECORDS  
AFFECTS: A PORTION OF SAID LAND  
EASEMENT TO BE OBTAINED.
- A DEED OF TRUST TO SECURE AN INDEBTEDNESS: AMOUNT: \$128,000,000.00  
DATED: AUGUST 24, 2018  
TRUSTEES/GRANTOR: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG DOVE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG FARCHILD OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AND AG RED HILL OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
TRUSTEE: CHICAGO TITLE COMPANY, A CALIFORNIA CORPORATION  
BENEFICIARY: PACIFIC BELL, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 201800014348 OF OFFICIAL RECORDS  
AN AGREEMENT TO MODIFY THE TERMS AND CONDITIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED EXECUTED BY: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG DOVE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP;  
AG RED HILL OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
AND PACIFIC BELL, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY  
RECORDING DATE: SEPTEMBER 28, 2023  
RECORDING NO.: AS INSTRUMENT NO. 202300023887 OF OFFICIAL RECORDS  
DEED OF TRUSTS. NOTHING TO PLOT.
- AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT  
LESSOR: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
LESSEE: ORANGE COUNTY COMMUNITY FOUNDATION, A CALIFORNIA NON-PROFIT CORPORATION  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 201800014352 OF OFFICIAL RECORDS  
AN AGREEMENT RECORDED AUGUST 28, 2018 AT RECORDING NO. AS INSTRUMENT NO. 201800014352 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN SUBORDINATE TO THE DOCUMENT ENTITLED: DEED OF TRUST  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 201800014348 OF OFFICIAL RECORDS  
DEED OF TRUSTS. NOTHING TO PLOT.
- AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: SUBORDINATION, NON-DISTURBANCE AND ATTORNEY AGREEMENT  
LESSOR: AG REDSTONE OWNER, L.P., A DELAWARE LIMITED PARTNERSHIP  
LESSEE: LESSELITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC., A NORTH CAROLINA CORPORATION, RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 201800014353 OF OFFICIAL RECORDS  
THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.  
AN AGREEMENT RECORDED AUGUST 23, 2018 AT RECORDING NO. AS INSTRUMENT NO. 201800014353 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN SUBORDINATE TO THE DOCUMENT ENTITLED: DEED OF TRUST  
RECORDING DATE: AUGUST 28, 2018  
RECORDING NO.: AS INSTRUMENT NO. 201800014348 OF OFFICIAL RECORDS  
DEED OF TRUSTS. NOTHING TO PLOT.
- A FINANCING STATEMENT AS FOLLOWS:  
DEBTOR: AG REDSTONE OWNER, L.P.  
SECURED PARTY: PACIFIC BELL, L.L.C.  
RECORDING DATE: SEPTEMBER 12, 2018  
RECORDING NO.: AS INSTRUMENT NO. 201800033660 OF OFFICIAL RECORDS  
A CHANGE TO THE ABOVE FINANCING STATEMENT WAS FILED  
NATURE OF CHANGE: CONTINUATION  
RECORDING DATE: APRIL 17, 2022  
RECORDING NO.: 2023000086663 OF OFFICIAL RECORDS  
NOTHING TO PLOT

#### FLOOD ZONE

THE AREA OF LAND SHOWN HEREIN LIES ENTIRELY WITHIN FLOOD ZONE "C" AS DEFINED ON INFORMATION PUBLISHED BY U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT AS REFLECTED BY FLOOD INSURANCE RATE MAP PANEL NO. 0605020861, EFFECTIVE 12/03/2009

#### ABBREVIATIONS

BLDG	BUILDING
BLVD	BUILDING CURVE
C	CENTERLINE
CO	CLEANOUT
DW	DOMESTIC WATER
E	EAST
ESMT	EASEMENT
EX	EXISTING
FF	FRESH FLOOR
FL	FLOW LINE
L	LENGTH
MWS	MODULAR WETLAND SYSTEM
N	NORTH
PL	PROPERTY LINE
PROP	PROPOSED
R	RADIUS
RES	RESIDENTIAL
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
SVC	SERVICE
TC	TOP OF CURB
TYP	TYPICAL
R/W	RIGHT-OF-WAY
W	WEST
---	PROPERTY LINE/RIGHT-OF-WAY
---	CENTERLINE
---	PROPOSED LOT LINE
---	PROPOSED CABLE TV LINE
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	EXISTING TELEPHONE LINE
---	EXISTING DOMESTIC WATER
---	EXISTING SANITARY SEWER
---	PROPOSED DOMESTIC WATER
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM DRAIN
---	PROPOSED PUBLIC UTILITY EASEMENT/PROPOSED EMERGENCY ACCESS ROAD

PROPOSED LOT SUMMARY		
LOT NO.	AREA	LAND USE
1	283,391 SF	RESIDENTIAL

- #### UTILITY NOTES
- ALL PROPOSED UTILITIES TO BE INSTALLED PER CITY OF NEWPORT BEACH STANDARDS AND SPECIFICATIONS.
  - PROPOSED UTILITIES TO CONNECT TO EXISTING PUBLIC FACILITIES IN DOVE STREET AND NEWPORT PLACE
  - DRAINAGE FOR THE SITE WILL BE COLLECTED BY AN ON-SITE PRIVATE AREA DRAIN SYSTEM AND CONVEYED TO A PROPOSED MODULAR WETLAND SYSTEM
  - THE PROJECT PROPOSES ON-SITE PUBLIC SEWER AND WATER MAINS TO SERVICE THE PROPOSED BUILDINGS.
  - EXISTING WATER SERVICES TO BE ABANDONED MUST BE ABANDONED AT THE MAINLINE WITH THE EXISTING "T" CUT OUT AND REPLACED WITH A STRAIGHT PIECE OF PIPE WITH COUPLINGS
  - ALL EXISTING SEWER LATERALS TO BE ABANDONED MUST BE CAPPED AND ABANDONED AT THE PROPERTY LINE
  - ALL PROPOSED TRANSFORMERS AND TRANSFORMER PADS SHALL BE LOCATED ENTIRELY ON-SITE AND BE ACCESSIBLE FROM THE PRIVATE PROPERTY.



**SITE ADDRESS**  
1200 & 1300 DOVE STREET  
4041 MACARTHUR BOULEVARD  
NEWPORT BEACH, CA 92660

**OWNER**  
AG REDSTONE OWNER, L.P.,  
A DELAWARE LIMITED PARTNERSHIP  
4041 MACARTHUR BOULEVARD, SUITE 510  
NEWPORT BEACH, CA 92660  
CONTACT: PARKER MILLER  
PHONE: (951) 317-5640

#### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
THAT PORTION OF BLOCK 50 OF IRVINE'S SUBDIVISION, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:  
PARCEL 2 IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 63 PAGE 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THE FULL RIGHTS TO ALL MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES EXISTING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID REAL PROPERTY DESCRIBED ABOVE; PROVIDED, HOWEVER, THAT GRANTEE HEREBY EXPRESSLY WAIVES THE RIGHT TO ENTER UPON THE SURFACE OF SAID REAL PROPERTY FOR THE PURPOSE OF EXPLORING FOR OR PRODUCING THE MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES SO RESERVED, AS RESERVED IN DOCUMENT RECORDED DECEMBER 22, 1976 IN BOOK 12005, PAGE 1500, OFFICIAL RECORDS.

ASSESSOR'S PARCEL NO.: 427-222-01

#### CIVIL ENGINEER

ORIANA SLASOR, P.E.  
FUSCOE ENGINEERING, INC.  
15535 SAND CANYON AVE., SUITE 100  
IRVINE, CA 92618  
PHONE: (949) 474-1960



#### GENERAL NOTES

- EXISTING LAND USE: COMMERCIAL
- PROPOSED LAND USE: RESIDENTIAL CONDOMINIUMS
- PROPOSED NUMBER OF UNITS: 132

#### BASIS OF BEARINGS

THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE VI (2017.50 EPOCH), IN ACCORDANCE WITH THE CALIFORNIA PRIVATE RESOURCES CODE SECTIONS 8601-8609. THE BEARINGS AND COORDINATES ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK, OR EQUIVALENT STATIONS:

STATION	REFERENCE CSRS STATIONS			ACCURACY
	NORTHING (Y)	EASTING (X)	HEIGHT	
TRAK	2171992.614	6088761.195	381.382	FIRST ORDER
FVPK	2188769.567	6048756.256	-35.603	FIRST ORDER

POINT	MAPPING ANGLE AND GRID FACTOR				HEIGHT	ELEV
	NORTHING (Y)	EASTING (X)	MAPPING ANGLE	CF		
10002	2188409.541	6070064.972	-0°03'16.21"	0.9999738678	-70.257'	44.556'

NOTES: DISTANCES AND COORDINATE DISTANCES SHOWN, UNLESS OTHERWISE NOTED, ARE IN TERMS OF THE U.S. SURVEY FOOT. AS USED IN TABLES ABOVE, ELEVATION REFERS TO THE CALIFORNIA ORTHOMETRIC HEIGHTS OF 1988 ("OCH88") OR EQUIVALENT OF THE POINT WHERE THE MAPPING ANGLE (OR CONVERGENCE ANGLE) AND COMBINATION FACTOR (CF) WERE CALCULATED IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 ("NAVD88") AND HEIGHT REFERS TO THE VERTICAL VALUE OF THE CALIFORNIA GEODETIC COORDINATE OR EQUIVALENT ELLIPSOID HEIGHT (FROM GEOID18) USED TO CALCULATE THE COMBINATION FACTOR. IN THE EVENT THAT THE CALCULATIONS ARE NOT PERFORMED AT A "REAL" POINT IN THE SURVEY, THERE MAY BE NO STATION OR ELEVATION TO LIST.

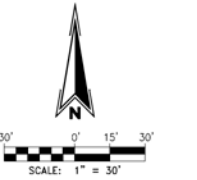
DISTANCES SHOWN HEREON, ARE GROUND DISTANCES. TO APPROXIMATE CCS83 GRID DISTANCES MULTIPLY THE DISTANCES BY THE COMBINATION FACTOR PROVIDED HEREON.

#### BENCHMARK

THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING BENCH MARK:  
BM NO.: 35-34577 ELEV.: 45.510' (COUNTY OF ORANGE BENCH MARK)  
DATUM: NAVD 88 2003 ADJUSTMENT  
DESCRIPTION: FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "35-34-77", SET IN THE NORTHEAST CORNER OF A 4.5 FT. BY 8.4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE WESTERLY SIDE OF MACARTHUR BOULEVARD, 362 FT. NORTHERLY OF THE CENTERLINE OF NEWPORT PLACE DRIVE AND 58 FT. WESTERLY OF THE CENTERLINE OF MACARTHUR BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

CONTOUR INTERVAL = 1'

LINE TABLE			CURVE TABLE			
LINE #	BEARING	DISTANCE	CURVE #	RADIUS	LENGTH	Δ
L1	N87°59'59"E	458.68'	C1	75.00'	105.43'	80°32'32"
L2	S7°00'01"E	90.80'	C2	392.00'	64.71'	9°27'28"
L3	N7°34'23"W	200.01'	C3	241.00'	133.14'	31°39'10"
L4	S7°00'01"E	117.34'	C4	15.00'	23.56'	89°58'37"
L5	S82°59'59"W	438.64'				
L6	S38°37'48"E	153.79'				
L7	N6°58'38"W	262.81'				



NO.	DATE	REVISION	DESCRIPTION

15535 Sand Canyon Ave  
Irvine, California 92618  
949.474.1960  
fuscoe.com

VESTING TENTATIVE TRACT MAP NO. 19439

1300 DOVE  
CITY OF NEWPORT BEACH  
FOR RESIDENTIAL CONDOMINIUMS PURPOSES

DATE: 03/11/2026  
SCALE: AS SHOWN  
JOB NO.: 1380-004  
DRAWN: DM/AM  
CHECKED: OS  
SHEET 1 OF 1



**Site Summary:**

Total:	132 Homes
Site Area:	±6.5 Acres
Density:	±20.3 Homes/Acre
Current use:	Offices
General plan land use:	MU-H2 Mixed-use horizontal
Existing Zoning:	PC-11 Newport Place Pro. & Bus. office site 4 Housing Opportunity Overlay HO-1 - Airport Area Environs Area
Propose overlay:	42722201
APN:	7815
Tract:	PCL 2
Lot:	Frontage 0' (20' any portion over 20' in ht)
Setback:	Sides 0'
	Rear 0'
	10'
Building separation:	
Gross Floor Area on site:	<b>297,676 SF</b>
F.A.R.	1,012
Total parking on site:	305

**Mix Summary:**

**3-Story Condominium - Building Type A (±11,890 saleable s.f. each)  
Occupancy R-2, 6 Bldg Type A on site**

Plan 1 (2BR/2.5BA, ±1,251 sf):	6 Homes	(±7,506 sf)
Plan 2 (2BR/2.5BA, ±1,350 sf):	6 Homes	(±8,100 sf)
Plan 3 (2BR/2.5BA, ±1,375 sf):	6 Homes	(±8,250 sf)
Plan 4 (2BR/2.5BA, ±1,358 sf):	6 Homes	(±8,148 sf)
Plan 5 (3BR/2.5BA, ±1,593 sf):	12 Homes	(±19,116 sf)
Plan 6 (3BR/3.5BA, ±1,685 sf):	12 Homes	(±20,220 sf)
<b>Total:</b>	<b>48 Homes</b>	<b>(±71,340 saleable s.f.)</b>

**3-Story Condominium - Building Type B (±11,972 saleable s.f. each)  
Occupancy R-2, 4 Bldg Type B on site**

Plan 2 (2BR/2.5BA, ±1,350 sf):	8 Homes	(±10,800 sf)
Plan 4 (2BR/2.5BA, ±1,358 sf):	8 Homes	(±10,864 sf)
Plan 5 (3BR/2.5BA, ±1,593 sf):	8 Homes	(±12,744 sf)
Plan 6 (3BR/3.5BA, ±1,685 sf):	8 Homes	(±13,480 sf)
<b>Total:</b>	<b>32 Homes</b>	<b>(±47,888 saleable s.f.)</b>

**3-Story Duplexes - Building Type C (±3,927 saleable s.f. each)  
Occupancy R-3, 14 Bldg Type C on site**

Plan 1 (3BR/3.5BA, ±1,948 sf):	14 Homes	(±27,272 sf)
Plan 2 (4BR/3.5BA, ±1,979 sf):	14 Homes	(±27,706 sf)
<b>Total</b>	<b>28 Homes</b>	<b>(±54,978 saleable s.f.)</b>

**4-Story Duplexes - Building Type D (±5,092 saleable s.f. each)  
Occupancy R-3, 12 Bldg Type D on site**

Plan 3 (4BR/4.5BA, ±2,562 sf):	12 Homes	(±30,744 sf)
Plan 4 (4BR/4.5BA, ±2,530 sf):	12 Homes	(±30,360 sf)
<b>Total</b>	<b>24 Homes</b>	<b>(±61,104 saleable s.f.)</b>

**Condominium Gross Buildable S.F. Summary: (Conditioned+Decks+Garages)**

- (6) Building type 'A' (8 plex Condominium): 3 story = 48 units  
15,338 S.F. x 6 bldg = 92,028 s.f.
- (4) Building type 'B' (8 plex Condominium): 3 story = 32 units  
15,286 S.F. x 4 bldg = 61,143 s.f.

**Duplex Gross Buildable S.F. Summary: (Conditioned+Garages)**

- (14) Building type 'C' (Duplex): 3 story = 28 units  
4,991 S.F. x 14 bldg = 69,877 s.f.
- (12) Building type 'D' (Duplex): 4 story = 24 units  
6,219 S.F. x 12 bldg = 74,629 s.f.

**Total project Gross Square footage = 297,676 s.f.**

**Parking Required:**

2BR (1.8X40):	72 Spaces
3+BR (2.0X92):	184 Spaces
R-3 Guest (0.3x52):	15.6 Spaces
R-2 Guest (0.3x80):	24 Spaces
<b>Total</b>	<b>295.6 Spaces (±2.24:1)</b>

**Parking Provided:**

Garage:	264 Spaces
Uncovered:	40 Spaces
<b>Total</b>	<b>304 Spaces (±2.30:1)</b>
(Included 1 Van, 1 std. accessible parking stall)	

Note: This yield study is for the purpose of estimating the maximum density of a residential product type on a site of a given configuration. If specific entitlement requirements differ from the criteria shown on the plan (such as setbacks, minimum lot sizes, street standards, retention requirements, etc.) then the actual possible density may vary substantially.

**Parking Lot Landscape Area Required:**  
14 ft' x 41 Parking Spots required  
14 ft' x 41 Stalls = 574 sq. ft.

**Parking Lot Landscape Area Provided:**  
= 2,688 sq. ft.

**Common Open Space Required:**  
Provide required minimum width dimension 15'x15'  
132 DU x 75 sq. ft. per DU = 9,900 sq. ft.

**Common Open Space Provided:**  
= 10,283 sq. ft.

**Private Open space Required:**  
5% of Gross Floor Area for each Unit. =14,884 sq. ft.

**Private Open space Provided:**  
= 22,550 sq. ft.  
See Exhibit on page A1.2

See Page L-1 for PAOS Area Calculation

**LEGEND:**

- COURTYARD
- BALCONY
- ROOF TERRACE / 4TH FLOOR DECK
- OPEN PARKING
- ACCESSIBLE PATH OF TRAVEL

**LEGEND:**

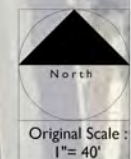
- ADAPTABLE UNIT (8) REQUIRED ON SITE
- ACCESSIBLE PATH OF TRAVEL
- PARKING STALLS



PRIVATE OPEN SPACE SUMMARY						
UNIT TYPE	FLOOR PLAN NUMBER	GROSS LIVABLE FLOOR AREA	PRIVATE OPEN SPACE REQUIRED (5% OF GROSS FLOOR AREA FOR EACH UNIT WITH MIN. DEPTH AND WIDTH OF 6')	PRIVATE OPEN SPACE PROVIDED S.F.	NUMBER ON SITE	TOTAL PROVIDED PER PLAN
CONDOMINIUM	1	1251	63	112	6	672
CONDOMINIUM	2	1350	68	69	12	828
CONDOMINIUM	3	1375	69	70	6	420
CONDOMINIUM	4	1358	68	99	12	1188
CONDOMINIUM	5	1593	80	87	12	1044
CONDOMINIUM	6	1685	84	94	12	1128
<b>TWO-UNIT DWELLINGS</b>						
DUPLEX	1	1948	97	114	14	1596
DUPLEX	2	1979	99	95	14	1330
DUPLEX	3	2562	128	352	12	4224
DUPLEX	4	2530	127	292	12	3504

TOTAL PRIVATE OPEN SPACE = 15,934 SQ. FT.  
 ADDITIONAL PRIVATE COURTYARD AT DUPLEX: 6,616 SQS. FT.  
**TOTAL PRIVATE OPEN SPACE = 22,550 SQ. FT.**

MAIL PACKAGE RIDESHARE DROPOFF - USPS MAIL DELIVERY TO THE MAIL KIOSK  
 - PACKAGE DELIVERY TO THE DOOR  
 - NO DESIGNATED RIDESHARE DROPOFF LOCATION PROPOSED ON SITE FOR CONDO AND DUPLEX



Note: This yield study is for the purpose of estimating the maximum density of a residential product type on a site of a given configuration. If specific entitlement requirements differ from the criteria shown on the plan (such as setbacks, minimum lot sizes, street standards, retention requirements, etc.) then the actual possible density may vary substantially.



FRONT

8-PLEX BUILDING TYPE 'A'

First floor height exceed 10 feet minimum for buildings with density of 20-30 DU/ Acre



FRONT

DUPLEX BUILDING TYPE 'C'

First floor height exceed 10 feet minimum for buildings with density of 20-30 DU/ Acre



FRONT

8-PLEX BUILDING TYPE 'B'

First floor height exceed 10 feet minimum for buildings with density of 20-30 DU/ Acre



FRONT

DUPLEX BUILDING TYPE 'D'

First floor height exceed 10 feet minimum for buildings with density of 20-30 DU/ Acre

**Building Type 'A' 3-story Condo Analysis**

Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-II Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**LEGEND:**

● BLDG TYPE 'A' (3-story Condominiums)  
 OCCUPANCY R-2

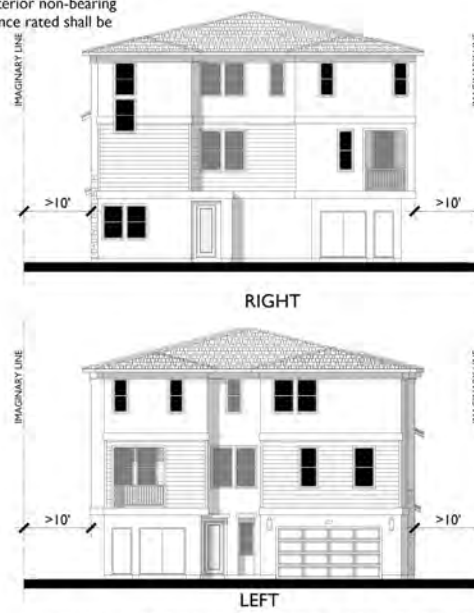


**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section Table 1: Table 705.9

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)							30 OR GREATER
	0 TO LESS THAN 3	3 TO LESS THAN 5	5 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	25 TO LESS THAN 30	
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	15%	15%	25%	45%	75%	NO LIMIT
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED

C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.



**BUILDING TYPE 'A'-CONDOMINIUMS  
 UNLIMITED OPENING ON ALL SIDES**



**ALL BUILDING TYPE 'A' 3-STORY CONDOMINIUMS  
 ON SITE EQUIP WITH SPRINKLERS AND EXCEED  
 MINIMUM FIRE SEPARATION DISTANCE OF  
 10 FEET AND ALLOWABLE FOR UNLIMITED  
 OPENING PER C.B.C. SECTION 705.9.1 EXCEPTION 2**

**Building Type 'B' 3-story Condo Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-II Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**LEGEND:**

● BLDG TYPE 'B' (3-story Condominiums)  
 OCCUPANCY R-2

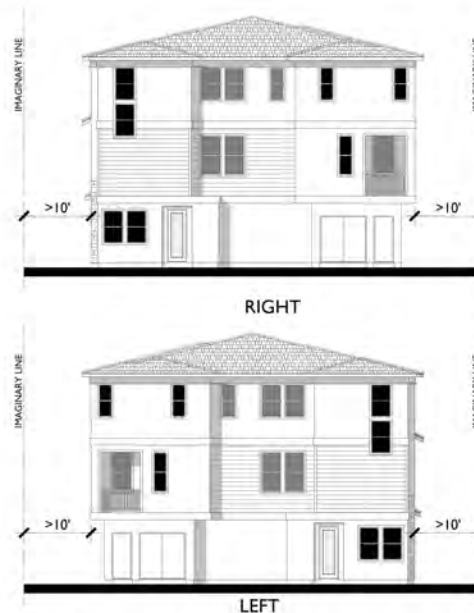


**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section Table 1: Table 705.9

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)							30 OR GREATER
	0 TO LESS THAN 3	3 TO LESS THAN 5	5 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	25 TO LESS THAN 30	
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	15%	15%	25%	45%	75%	NO LIMIT
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED

C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.



**BUILDING TYPE 'B'-CONDOMINIUMS  
 UNLIMITED OPENING ON ALL SIDES**



**ALL BUILDING TYPE 'B' 3-STORY CONDOMINIUMS  
 ON SITE EQUIP WITH SPRINKLERS AND EXCEED  
 MINIMUM FIRE SEPARATION DISTANCE OF  
 10 FEET AND ALLOWABLE FOR UNLIMITED  
 OPENING PER C.B.C. SECTION 705.9.1 EXCEPTION 2**

**Building Type 'C' 3-story Duplex Analysis**  
 Code used: 2025 California Residential Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B  
 Allowable area: Unlimited  
 Allowable Height: 3 Story Height limit  
 Allowable stories: 3 - Stories  
 Building Height Provided: ±36.5' (3-Stories)  
 Fire Sprinkler: NFPA 13D  
 Exterior wall separation: 0 Hour (FSD > 3 feet on site with sprinkler)

**Building Analysis**  
 Exterior openings: Unlimited

TABLE 705.9.1  
 EXTERIOR WALLS—CHIMNEYS, TOWERLIKE AND ACCESSORY BUILDINGS WITH AUTOMATIC RESIDENTIAL FIRE SPRINKLER PROTECTION

EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Fire-resistance rated	1 hour—based in accordance with ASTM E119, UL 253 or Section 705.2 of the Building Official Code with exposure from the outside	3 feet
Not fire-resistance rated	0 hours	3 feet <sup>a</sup>
Not fire-resistance rated	Not allowed	< 3 feet
Fire-resistance rated	1 hour on the underside or heavy smoke or fire-retardant treated wood <sup>b</sup>	3 feet <sup>c</sup>
Not fire-resistance rated	0 hours	3 feet
Openings in walls	Not allowed	< 3 feet
Unlimited	0 hours	3 feet <sup>d</sup>
Protected	1 hour with automatic sprinklers <sup>e</sup>	< 3 feet
Protected	Not required	3 feet <sup>f</sup>

<sup>a</sup> For 5-1/2" x 4" x 24" zinc.  
<sup>b</sup> No 1-hour systems.  
<sup>c</sup> For residential buildings where all floor joists are protected throughout with an automatic sprinkler system installed in accordance with Section 903.3, the fire-resistance rating on the underside of the joists need not be provided and the joists need not be fire-retardant treated or heavy smoke or fire-retardant treated wood.  
<sup>d</sup> The fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the roof overhang if the overhang is protected with an automatic sprinkler system installed in accordance with Section 903.3.  
<sup>e</sup> The fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the roof overhang if the overhang is protected with an automatic sprinkler system installed in accordance with Section 903.3.  
<sup>f</sup> Openings that comply with the fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the roof overhang if the overhang is protected with an automatic sprinkler system installed in accordance with Section 903.3.

**LEGEND:**  
 BLDG TYPE 'C' (3-story Duplex) OCCUPANCY R-3



**BUILDING TYPE 'C' - DUPLEX  
 UNLIMITED OPENING ON ALL SIDES**

**ALL BUILDING TYPE 'C' 3-STORY DUPLEX ON SITE EQUIP WITH SPRINKLERS AND EXCEED MINIMUM FIRE SEPARATION DISTANCE OF 3 FEET AND ALLOWABLE FOR UNLIMITED OPENING PER C.R.C. TABLE 302.1.(2)**

**Building Type 'D' 4-story Duplex Analysis**  
 Code used: 2025 California Building Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B  
 Allowable area: Unlimited  
 Allowable Height: 60 feet Height limit  
 Allowable stories: 4 - Stories  
 Building Height Provided: ±46.5' (4-Stories)  
 Fire Sprinkler: NFPA 13R  
 Exterior wall separation: 0 Hour (FSD > 5 feet on site with sprinkler)

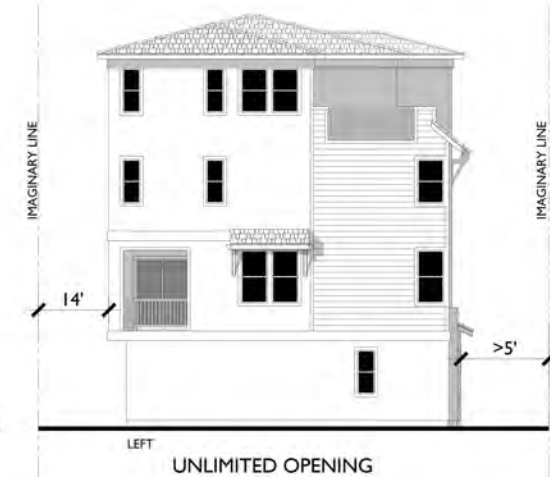
**Building Analysis**  
 Exterior openings: Unlimited  
 C.B.C. Section Table 1: Table 705.9

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)							
	0 TO LESS THAN 3	3 TO LESS THAN 5	5 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	25 TO LESS THAN 30	30 OR GREATER
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	15%	15%	25%	45%	70%	NO LIMIT
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED

C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

**LEGEND:**  
 BLDG TYPE 'D' (4-story Duplex) OCCUPANCY R-3



**BUILDING TYPE 'D' - DUPLEX  
 UNLIMITED OPENING ON ALL SIDES**

**ALL BUILDING TYPE 'D' 4-STORY DUPLEX ON SITE EQUIP WITH SPRINKLERS AND EXCEED MINIMUM FIRE SEPARATION DISTANCE OF 5 FEET AND ALLOWABLE FOR UNLIMITED OPENING PER C.B.C. SECTION 705.9.1 EXCEPTION 2**

**Existing Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B

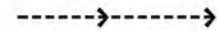
(1) Exit is permitted for Group R-2 occupancies with maximum occupant load of 20 provided that the building is equipped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1 or 903.3.1.2 (per CBC table 1006.2.1)

**Common Path of Egress Travel:**

That portion of the exit access which the occupants are required to traverse before two separate and distinct paths of egress travel to the two exits are available.

Maximum Common Path of Egress Travel is 125 feet (per CBC table 1006.2.1) Common Path of Travel distance shall be measured as a part of the Exit Access Travel Distance.

**COMMON PATH OF TRAVEL (125 LINEAR FEET MAX.)**



PLAN 1  
 COMMON PATH OF TRAVEL = 97' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 7 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.4' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

PLAN 2  
 COMMON PATH OF TRAVEL = 87' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 7 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.4' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

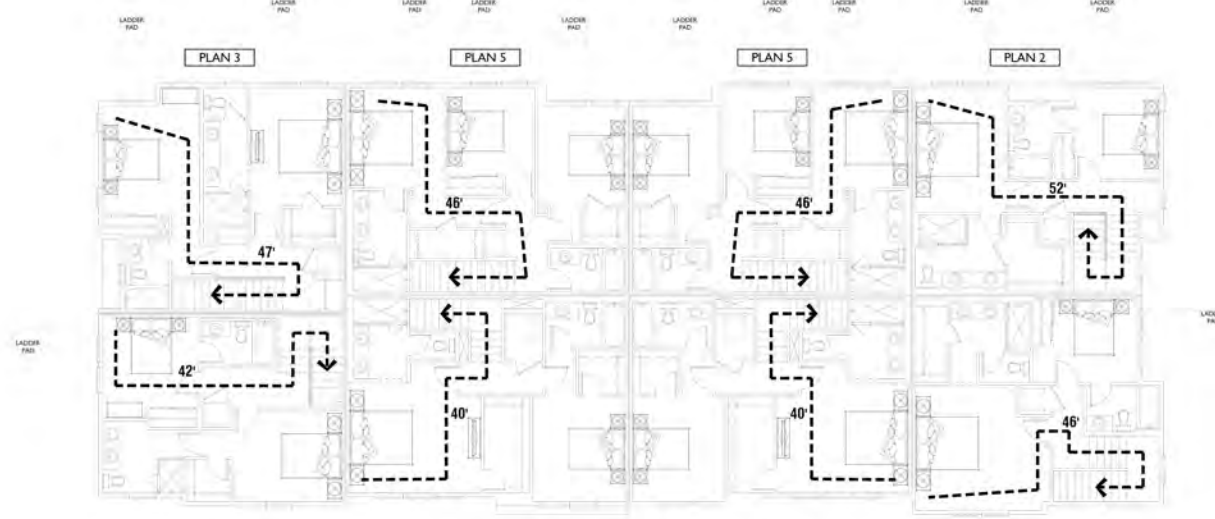
PLAN 3  
 COMMON PATH OF TRAVEL = 124' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 7 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.4' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

PLAN 4  
 COMMON PATH OF TRAVEL = 99' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 7 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.4' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

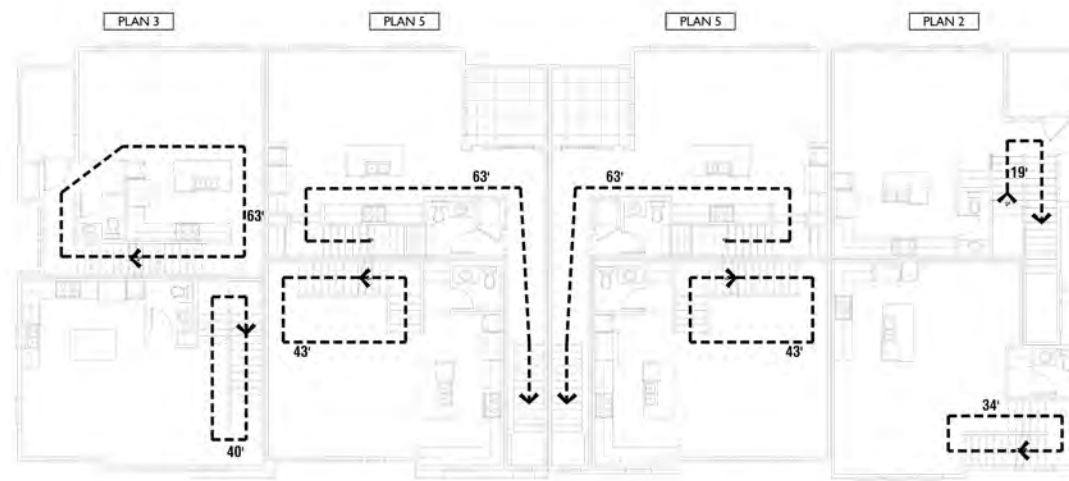
PLAN 5  
 COMMON PATH OF TRAVEL = 123' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 8 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.6' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

PLAN 6  
 COMMON PATH OF TRAVEL = 107' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 9 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.8' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

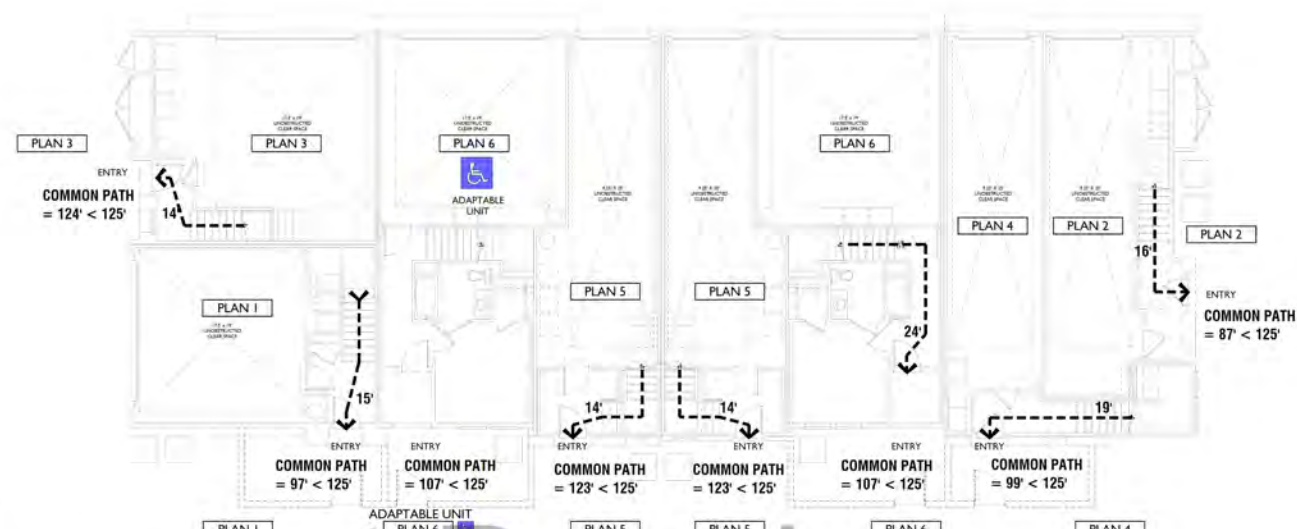
OCCUPANCY LOAD			
	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	UNIT OCCUPANT LOAD
PLAN 1	1,251 SQ. FT.	200 SQ. FT.	7
PLAN 2	1,350 SQ. FT.	200 SQ. FT.	7
PLAN 3	1,375 SQ. FT.	200 SQ. FT.	7
PLAN 4	1,358 SQ. FT.	200 SQ. FT.	7
PLAN 5	1,593 SQ. FT.	200 SQ. FT.	8
PLAN 6	1,685 SQ. FT.	200 SQ. FT.	9



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

**Existing Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B

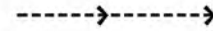
(1) Exit is permitted for Group R-2 occupancies with maximum occupant load of 20 provided that the building is equipped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1 or 903.3.1.2 (per CBC table 1006.2.1)

**Common Path of Egress Travel:**

That portion of the exit access which the occupants are required to traverse before two separate and distinct paths of egress travel to the two exits are available.

Maximum Common Path of Egress Travel is 125 feet (per CBC table 1006.2.1) Common Path of Travel distance shall be measured as a part of the Exit Access Travel Distance.

COMMON PATH OF TRAVEL (125 LINEAR FEET MAX.)

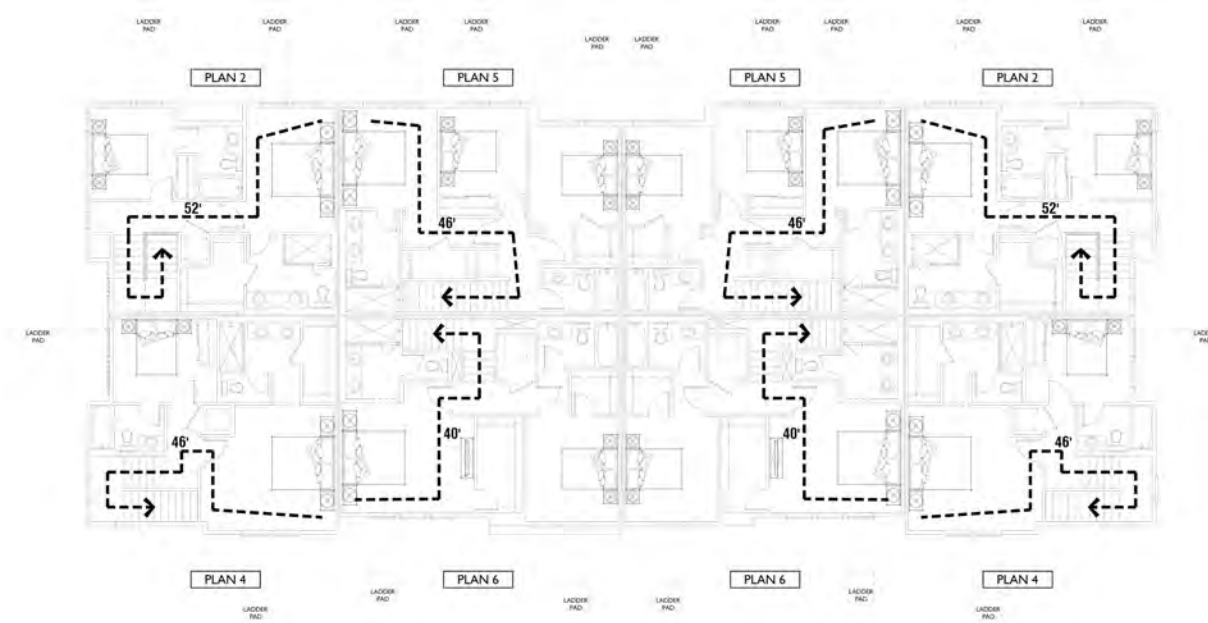


PLAN 2  
 COMMON PATH OF TRAVEL = 87' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 7 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.4' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

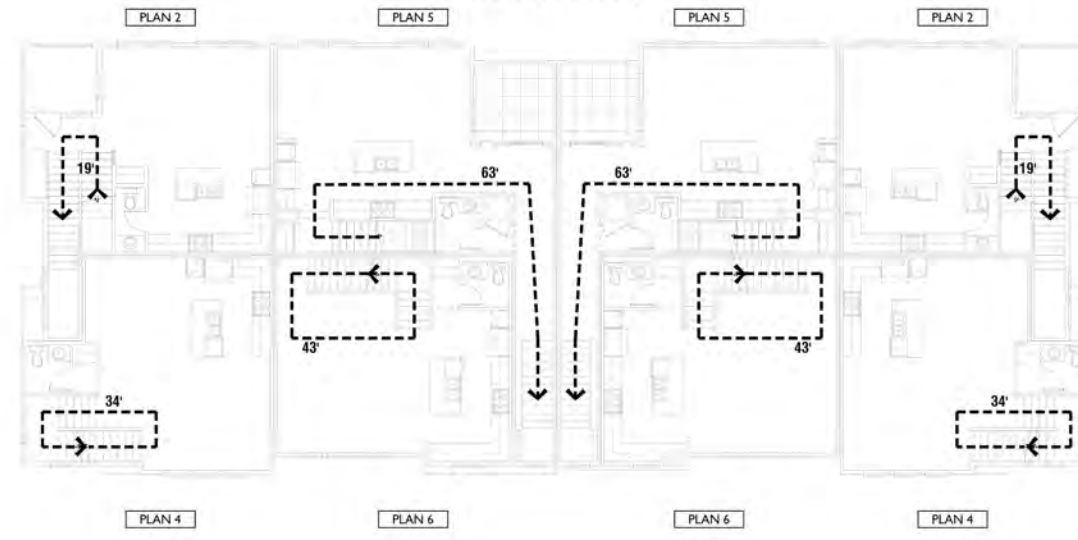
PLAN 4  
 COMMON PATH OF TRAVEL = 99' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 7 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.4' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

PLAN 5  
 COMMON PATH OF TRAVEL = 123' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 8 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.6' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

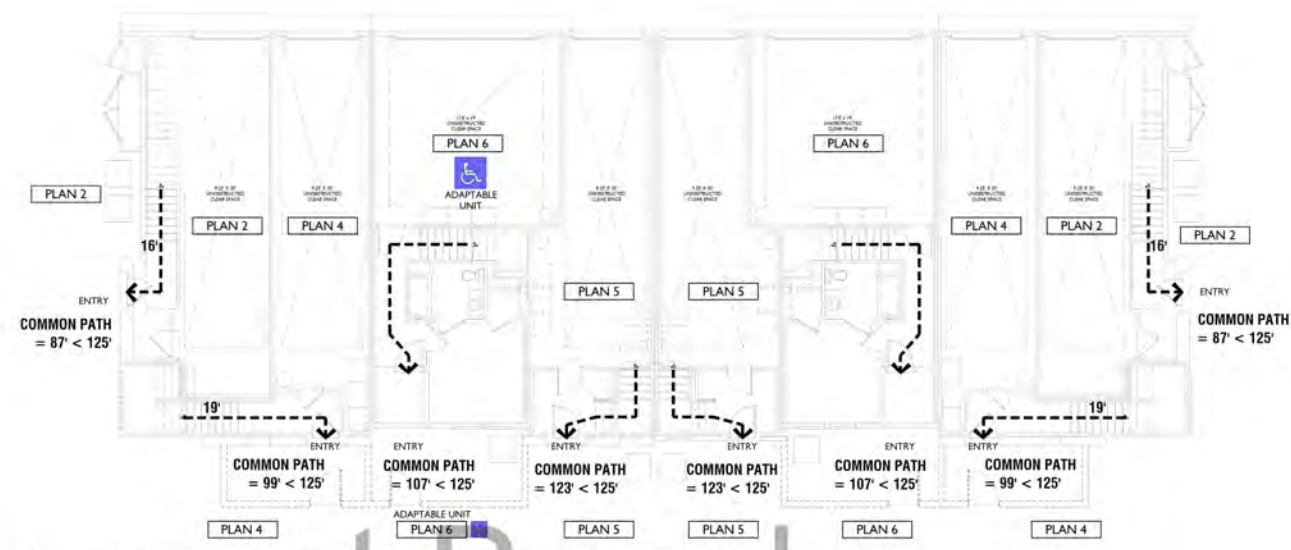
PLAN 6  
 COMMON PATH OF TRAVEL = 107' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 9 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 1.8' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED



THIRD FLOOR PLAN



SECOND FLOOR PLAN



OCCUPANCY LOAD			
	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	UNIT OCCUPANT LOAD
PLAN 2	1,350 SQ. FT.	200 SQ. FT.	7
PLAN 4	1,358 SQ. FT.	200 SQ. FT.	7
PLAN 5	1,593 SQ. FT.	200 SQ. FT.	8
PLAN 6	1,685 SQ. FT.	200 SQ. FT.	9

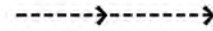
**Existing Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B

(1) Exit is permitted for Group R-3 occupancies with maximum occupant load of 20 provided that the building is equipped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1 or 903.3.1.2 (per CBC table 1006.2.1) and exit access travel distance in compliance with CBC table 1017.2.

Exit access travel distance for fourth story above grade plane, exit to reach an exit shall not exceed  
 CBC 1006.3.4(1): a. with sprinkler system (feet):  
 R-3 125 feet.

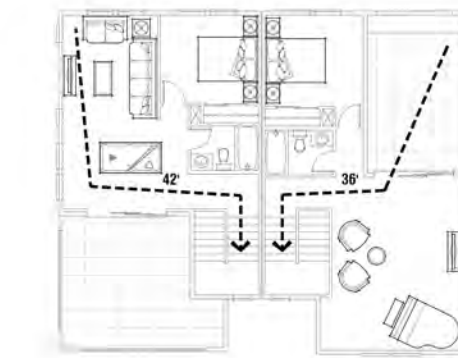
**EXIT ACCESS TRAVEL DISTANCE (125 LINEAR FEET MAX.)**



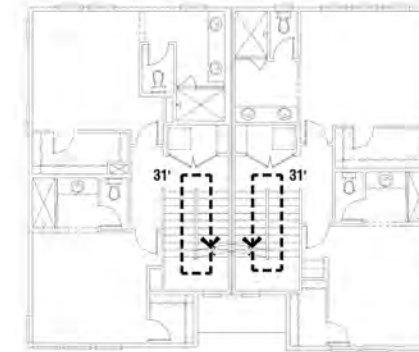
**PLAN 3**  
 EXIT ACCESS TRAVEL DISTANCE TO EXIT DISCHARGE = 125' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 13 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 2.6' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

**PLAN 4**  
 EXIT ACCESS TRAVEL DISTANCE TO EXIT DISCHARGE = 125' L.F. < 125' L.F.  
 EXIT DOOR MINIMUM WIDTH:  
 13 OCCUPANTS X 0.2 (C.B.C 1005.3.2) = 2.6' MIN. WIDTH  
 WIDTH PROVIDED AT EXIT DOOR = 36" MIN. REQUIRED

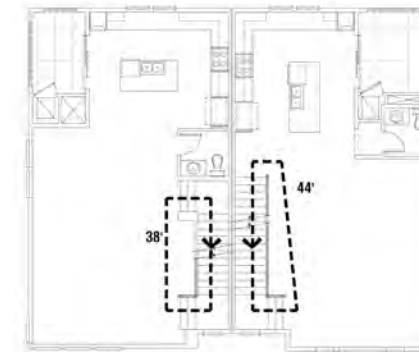
OCCUPANCY LOAD			
	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	UNIT OCCUPANT LOAD
PLAN 3	2,562 SQ. FT.	200 SQ. FT.	13
PLAN 4	2,536 SQ. FT.	200 SQ. FT.	13



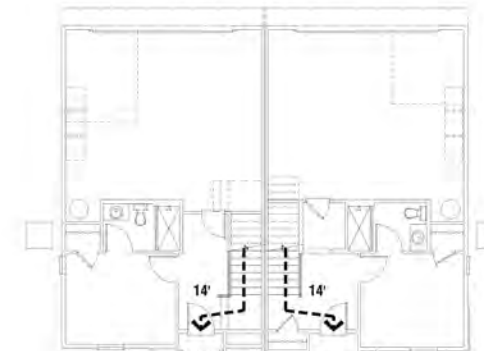
PLAN 3 PLAN 4  
 FOURTH FLOOR PLAN



PLAN 3 PLAN 4  
 THIRD FLOOR PLAN



PLAN 3 PLAN 4  
 SECOND FLOOR PLAN



EXIT DOOR 125' EXIT ACCESS TRAVEL DISTANCE TYPE 'D' EXIT < 125'  
 PLAN 3  
 EXIT DOOR 125' EXIT ACCESS TRAVEL DISTANCE TO BUILDING TYPE 'D' EXIT < 125'  
 PLAN 4  
 FIRST FLOOR PLAN

**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-II Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**Building Analysis**

Exterior openings: Unlimited

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)							30 OR GREATER
	0 TO LESS THAN 3	3 TO LESS THAN 5	5 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	25 TO LESS THAN 30	
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	10%	15%	20%	40%	70%	NO LIMIT
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED

C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

**LEGEND**

- INDICATES WALL
- - - INDICATES SOFFIT ABOVE/ FLOOR ABOVE/ CABINET ABOVE
- ⊙ INDICATES WATER HEATER
- ⊠ INDICATES TRASH BIN.
- ⊞ INDICATES RECYCLE BIN.
- ⊚ INDICATES COMPOST BIN.
- ⊞ AC INDICATES AIR CONDITION UNIT

- PLAN 1: 1,251 SF (2BR/2.5BA, 3-STORY END, 2-CAR, FRONT UNIT WITH P-3)
- PLAN 2: 1,350 SF (2BR/2.5BA, 3-STORY END, TANDEM, REAR UNIT WITH P-4)
- PLAN 3: 1,375 SF (2BR/2.5BA, 3-STORY END, 2-CAR, REAR UNIT WITH P-1)
- PLAN 4: 1,358 SF (2BR/2.5BA, 3-STORY END, TANDEM, FRONT UNIT WITH P-2)
- PLAN 5: 1,593 SF (3BR/2.5BA, 3-STORY MIDDLE, TANDEM, REAR UNIT WITH P-6)
- PLAN 6: 1,685 SF (3BR/3.5BA, 3-STORY MIDDLE, 2-CAR, FRONT UNIT WITH P-5)



**BUILDING TYPE A - 8 PLEX**  
**TOTAL BUILDING SQUARE FOOTAGE:**  
 15,338 S.F.

**BUILDING GROSS FLOOR AREA**  
 FIRST FLOOR: 5,195 SQ. FT.  
 SECOND FLOOR: 4,626 SQ. FT.  
 THIRD FLOOR: 5,517 SQ. FT.

**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-11 Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

**PLAN 5 FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

**PLAN 5 FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

- PLAN 1: 1,251 SF (2BR/2.5BA, 3-STORY END, 2-CAR, FRONT UNIT WITH P-3)
- PLAN 2: 1,350 SF (2BR/2.5BA, 3-STORY END, TANDEM, REAR UNIT WITH P-4)
- PLAN 3: 1,375 SF (2BR/2.5BA, 3-STORY END, 2-CAR, REAR UNIT WITH P-1)
- PLAN 4: 1,358 SF (2BR/2.5BA, 3-STORY END, TANDEM, FRONT UNIT WITH P-2)
- PLAN 5: 1,593 SF (3BR/2.5BA, 3-STORY MIDDLE, TANDEM, REAR UNIT WITH P-6)
- PLAN 6: 1,685 SF (3BR/3.5BA, 3-STORY MIDDLE, 2-CAR, FRONT UNIT WITH P-5)

**PLAN 2 FLOOR AREA TABLE**

1ST FLOOR	132 SQ. FT.
2ND FLOOR	642 SQ. FT.
3RD FLOOR	577 SQ. FT.
TOTAL	1350 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
DECK	69 SQ. FT.
PORCH	5 SQ. FT.

**PLAN 3 FLOOR AREA TABLE**

1ST FLOOR	100 SQ. FT.
2ND FLOOR	626 SQ. FT.
3RD FLOOR	648 SQ. FT.
TOTAL	1375 SQ. FT.
2 - CAR GARAGE	529 SQ. FT.
DECK	70 SQ. FT.
PORCH	6 SQ. FT.



**PLAN 1 FLOOR AREA TABLE**

1ST FLOOR	118 SQ. FT.
2ND FLOOR	599 SQ. FT.
3RD FLOOR	533 SQ. FT.
TOTAL	1251 SQ. FT.
2 - CAR GARAGE	463 SQ. FT.
ENTRY COURTYARD	112 SQ. FT.
PORCH	8 SQ. FT.

**PLAN 6 FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

**PLAN 6 FLOOR AREA TABLE**

1ST FLOOR	365 SQ. FT.
2ND FLOOR	627 SQ. FT.
3RD FLOOR	693 SQ. FT.
TOTAL	1685 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
ENTRY COURTYARD	104 SQ. FT.
PORCH	39 SQ. FT.

**PLAN 4 FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-11 Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

**PLAN 5**

**FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 5**

**FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

- PLAN 1: 1,251 SF (2BR/2.5BA, 3-STORY END, 2-CAR, FRONT UNIT WITH P-3)
- PLAN 2: 1,350 SF (2BR/2.5BA, 3-STORY END, TANDEM, REAR UNIT WITH P-4)
- PLAN 3: 1,375 SF (2BR/2.5BA, 3-STORY END, 2-CAR, REAR UNIT WITH P-1)
- PLAN 4: 1,358 SF (2BR/2.5BA, 3-STORY END, TANDEM, FRONT UNIT WITH P-2)
- PLAN 5: 1,593 SF (3BR/2.5BA, 3-STORY MIDDLE, TANDEM, REAR UNIT WITH P-6)
- PLAN 6: 1,685 SF (3BR/3.5BA, 3-STORY MIDDLE, 2-CAR, FRONT UNIT WITH P-5)

**PLAN 2**

**FLOOR AREA TABLE**

1ST FLOOR	132 SQ. FT.
2ND FLOOR	642 SQ. FT.
3RD FLOOR	577 SQ. FT.
TOTAL	1350 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
DECK	69 SQ. FT.
PORCH	5 SQ. FT.

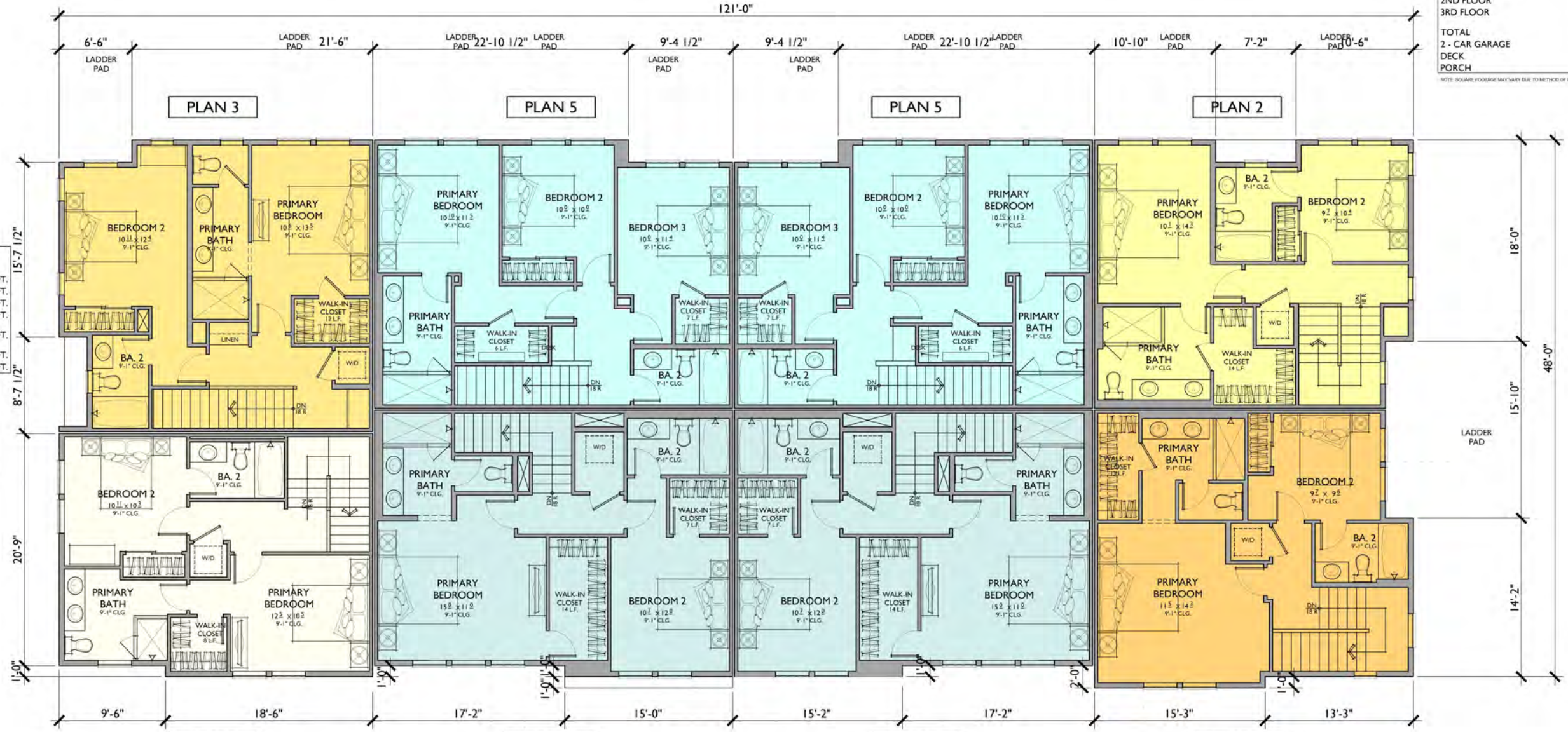
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 3**

**FLOOR AREA TABLE**

1ST FLOOR	100 SQ. FT.
2ND FLOOR	626 SQ. FT.
3RD FLOOR	648 SQ. FT.
TOTAL	1375 SQ. FT.
2 - CAR GARAGE	529 SQ. FT.
DECK	70 SQ. FT.
PORCH	6 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



**PLAN 1**

**FLOOR AREA TABLE**

1ST FLOOR	118 SQ. FT.
2ND FLOOR	599 SQ. FT.
3RD FLOOR	533 SQ. FT.
TOTAL	1251 SQ. FT.
2 - CAR GARAGE	463 SQ. FT.
ENTRY COURTYARD	112 SQ. FT.
PORCH	8 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 6**

**FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 6**

**FLOOR AREA TABLE**

1ST FLOOR	365 SQ. FT.
2ND FLOOR	627 SQ. FT.
3RD FLOOR	693 SQ. FT.
TOTAL	1685 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
ENTRY COURTYARD	104 SQ. FT.
PORCH	39 SQ. FT.

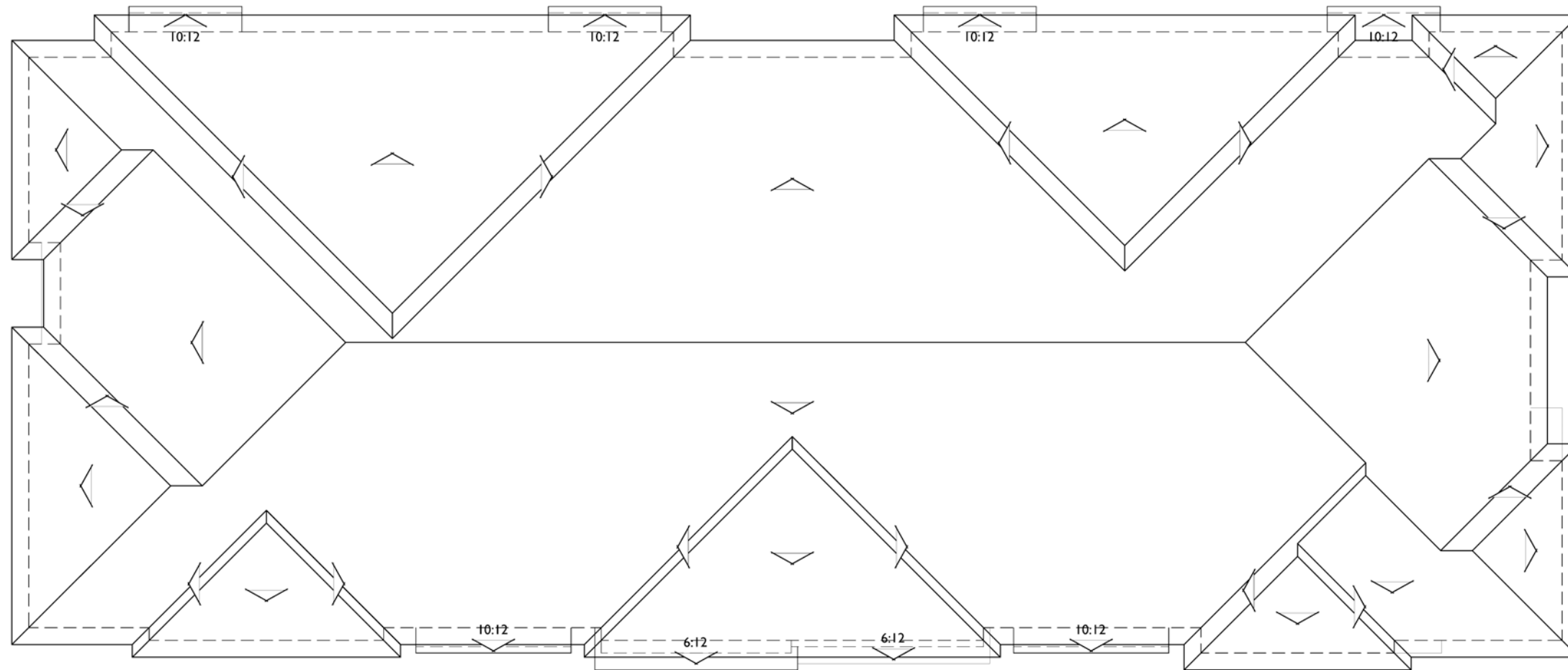
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 4**

**FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



**ROOF PLAN**

PITCH: 3:12  
 RAKE: 6°  
 EAVE: 16"  
 ROOF MATERIAL: FLAT CONCRETE TILE ROOF

1/4"=1'-0"

AVERAGE GRADE PLANE DATA - SEE SHEET A2.6

MATERIAL LEGEND

- A. INTEGRAL COLORS STUCCO WALL
- B. ACCENT STUCCO #1
- C. STONE VENEER
- D. FOAM TRIM
- E. CONCRETE FLAT TILE
- F. VINYL WINDOW
- G. ENTRY DOOR
- H. WOOD AWNING
- I. METAL RAILING
- J. CONTROL JOINT
- K. EXTERIOR COACH LIGHT
- L. UTILITY DOOR
- M. WOOD FASCIA
- N. CEMENTITIOUS SIDING
- O. CEMENTITIOUS TRIM



FRONT



REAR

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ARCHITECTURE • PLANNING • INTERIORS  
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**8-PLEX BUILDING TYPE 'A'**  
Front & Rear Elevations  
**1300 DOVE STREET**  
Newport Beach, California

City of Newport Beach

**A 2.5**  
02.06.26

**Lincoln**

AVERAGE GRADE PLANE			
BLDG TYPE	BLDG NUMBER	AVERAGE GRADE PLANE	HIGHEST RIDGE F.F.E.
CONDOMINIUM	BLDG 1	51.03	88.94
CONDOMINIUM	BLDG 2	51.13	89.04
CONDOMINIUM	BLDG 3	51.13	89.04
CONDOMINIUM	BLDG 4	51.10	89.01
CONDOMINIUM	BLDG 5	51.58	89.49
CONDOMINIUM	BLDG 6	51.63	89.54

**MATERIAL LEGEND**

- A. INTEGRAL COLORS STUCCO WALL
- B. ACCENT STUCCO #1
- C. STONE VENEER
- D. FOAM TRIM
- E. CONCRETE FLAT TILE
- F. VINYL WINDOW
- G. ENTRY DOOR
- H. WOOD AWNING
- I. METAL RAILING
- J. CONTROL JOINT
- K. EXTERIOR COACH LIGHT
- L. UTILITY DOOR
- M. WOOD FASCIA
- N. CEMENTITIOUS SIDING
- O. CEMENTITIOUS TRIM



**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-II Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**Building Analysis**

Exterior openings: Unlimited

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)							30 OR GREATER
	0 TO LESS THAN 3	3 TO LESS THAN 5	5 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	25 TO LESS THAN 30	
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	10%	15%	20%	40%	70%	NO LIMIT
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NOT REQUIRED

C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

**LEGEND**

- INDICATES WALL
- - - INDICATES SOFFIT ABOVE/ FLOOR ABOVE/ CABINET ABOVE
- HPWH INDICATES WATER HEATER
- T INDICATES TRASH BIN.
- R INDICATES RECYCLE BIN.
- O INDICATES COMPOST BIN.
- AC INDICATES AIR CONDITION UNIT

- PLAN 2: 1,350 SF (2BR/2.5BA, 3-STORY END, TANDEM, REAR UNIT WITH P-4)
- PLAN 4: 1,358 SF (2BR/2.5BA, 3-STORY END, TANDEM, FRONT UNIT WITH P-2)
- PLAN 5: 1,593 SF (3BR/3.5BA, 3-STORY MIDDLE, TANDEM, REAR UNIT WITH P-6)
- PLAN 6: 1,685 SF (3BR/3.5BA, 3-STORY MIDDLE, 2-CAR, FRONT UNIT WITH P-5)



**BUILDING TYPE B - 8 PLEX**  
 TOTAL BUILDING SQUARE FOOTAGE: 15,286 S.F.

**BUILDING GROSS FLOOR AREA**  
 FIRST FLOOR: 5,545 SQ. FT.  
 SECOND FLOOR: 4,568 SQ. FT.  
 THIRD FLOOR: 5,173 SQ. FT.

**FIRST FLOOR PLAN**

**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-11 Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

- PLAN 2: 1,350 SF (2BR/2.5BA, 3-STORY END, TANDEM, REAR UNIT WITH P-4)
- PLAN 4: 1,358 SF (2BR/2.5BA, 3-STORY END, TANDEM, FRONT UNIT WITH P-2)
- PLAN 5: 1,593 SF (3BR/2.5BA, 3-STORY MIDDLE, TANDEM, REAR UNIT WITH P-6)
- PLAN 6: 1,685 SF (3BR/3.5BA, 3-STORY MIDDLE, 2-CAR, FRONT UNIT WITH P-5)

**PLAN 5 FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

**PLAN 5 FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

**PLAN 2 FLOOR AREA TABLE**

1ST FLOOR	132 SQ. FT.
2ND FLOOR	642 SQ. FT.
3RD FLOOR	577 SQ. FT.
TOTAL	1350 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
DECK	69 SQ. FT.
PORCH	5 SQ. FT.

**PLAN 2 FLOOR AREA TABLE**

1ST FLOOR	132 SQ. FT.
2ND FLOOR	642 SQ. FT.
3RD FLOOR	577 SQ. FT.
TOTAL	1350 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
DECK	69 SQ. FT.
PORCH	5 SQ. FT.



**PLAN 4 FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

**PLAN 6 FLOOR AREA TABLE**

1ST FLOOR	365 SQ. FT.
2ND FLOOR	627 SQ. FT.
3RD FLOOR	693 SQ. FT.
TOTAL	1685 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
ENTRY COURTYARD	104 SQ. FT.
PORCH	39 SQ. FT.

**PLAN 6 FLOOR AREA TABLE**

1ST FLOOR	365 SQ. FT.
2ND FLOOR	627 SQ. FT.
3RD FLOOR	693 SQ. FT.
TOTAL	1685 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
ENTRY COURTYARD	104 SQ. FT.
PORCH	39 SQ. FT.

**PLAN 4 FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

**SECOND FLOOR PLAN**

**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-2, U ( Condominiums / Private Garage )  
 Building Construction Type: V-B  
 Allowable Area: 7,000 s.f. per floor  
 Allowable Height: 60' per CBC, 55' per PC-11 Zone  
 Allowable Stories: 3 - Stories  
 Building Height Provided: ±38' (3-stories)  
 Fire Sprinkler: NFPA 13  
 Exterior wall separation: 0 Hour (FSD > 10 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

PLAN 2:	1,350 SF (2BR/2.5BA, 3-STORY END, TANDEM, REAR UNIT WITH P-4)
PLAN 4:	1,358 SF (2BR/2.5BA, 3-STORY END, TANDEM, FRONT UNIT WITH P-2)
PLAN 5:	1,593 SF (3BR/2.5BA, 3-STORY MIDDLE, TANDEM, REAR UNIT WITH P-6)
PLAN 6:	1,685 SF (3BR/3.5BA, 3-STORY MIDDLE, 2-CAR, FRONT UNIT WITH P-5)

**PLAN 5 FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 5 FLOOR AREA TABLE**

1ST FLOOR	110 SQ. FT.
2ND FLOOR	779 SQ. FT.
3RD FLOOR	704 SQ. FT.
TOTAL	1593 SQ. FT.
2 - CAR GARAGE	456 SQ. FT.
DECK	87 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 2 FLOOR AREA TABLE**

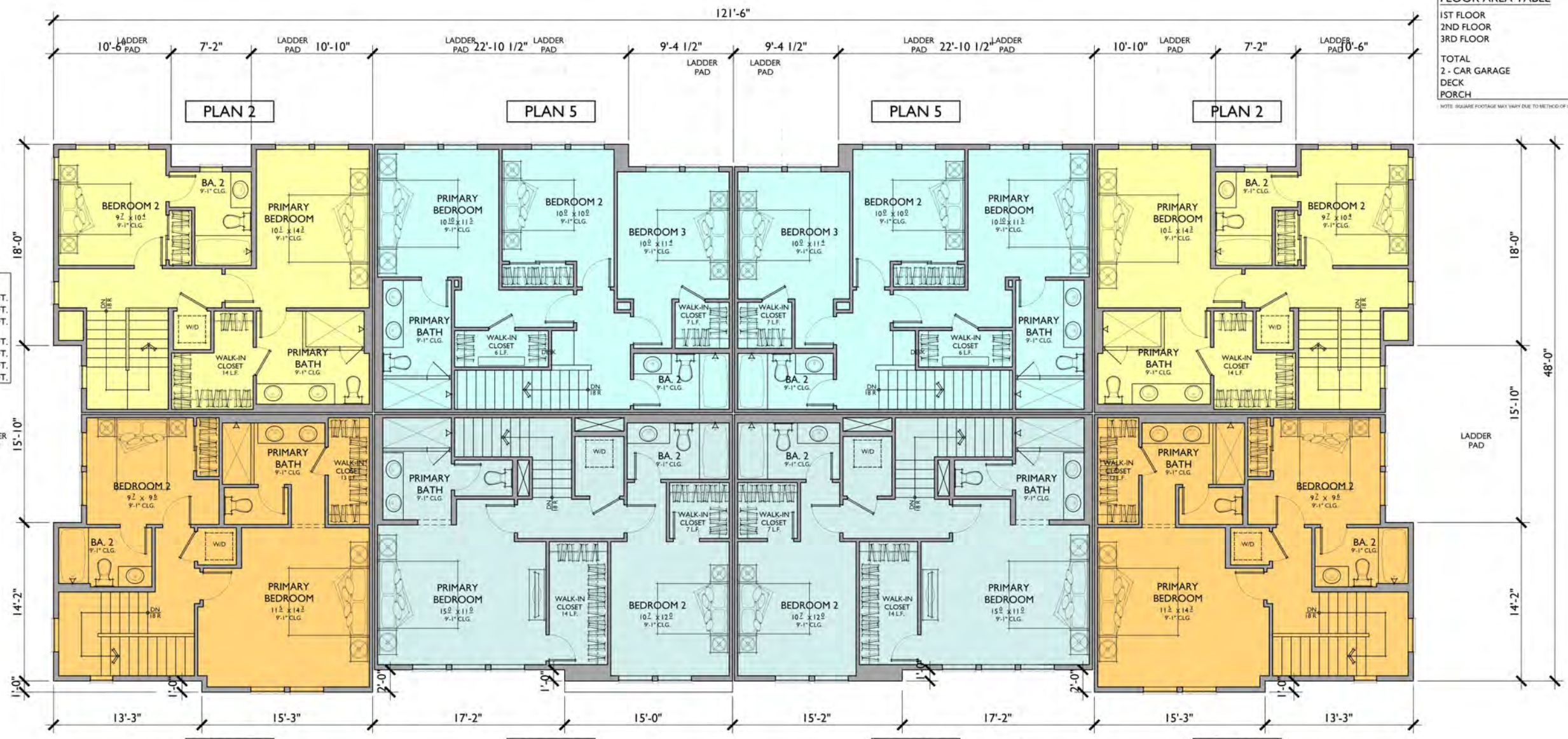
1ST FLOOR	132 SQ. FT.
2ND FLOOR	642 SQ. FT.
3RD FLOOR	577 SQ. FT.
TOTAL	1350 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
DECK	69 SQ. FT.
PORCH	5 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 2 FLOOR AREA TABLE**

1ST FLOOR	132 SQ. FT.
2ND FLOOR	642 SQ. FT.
3RD FLOOR	577 SQ. FT.
TOTAL	1350 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
DECK	69 SQ. FT.
PORCH	5 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.



**PLAN 4 FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 6 FLOOR AREA TABLE**

1ST FLOOR	365 SQ. FT.
2ND FLOOR	627 SQ. FT.
3RD FLOOR	693 SQ. FT.
TOTAL	1685 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
ENTRY COURTYARD	104 SQ. FT.
PORCH	39 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 6 FLOOR AREA TABLE**

1ST FLOOR	365 SQ. FT.
2ND FLOOR	627 SQ. FT.
3RD FLOOR	693 SQ. FT.
TOTAL	1685 SQ. FT.
2 - CAR GARAGE	484 SQ. FT.
ENTRY COURTYARD	104 SQ. FT.
PORCH	39 SQ. FT.

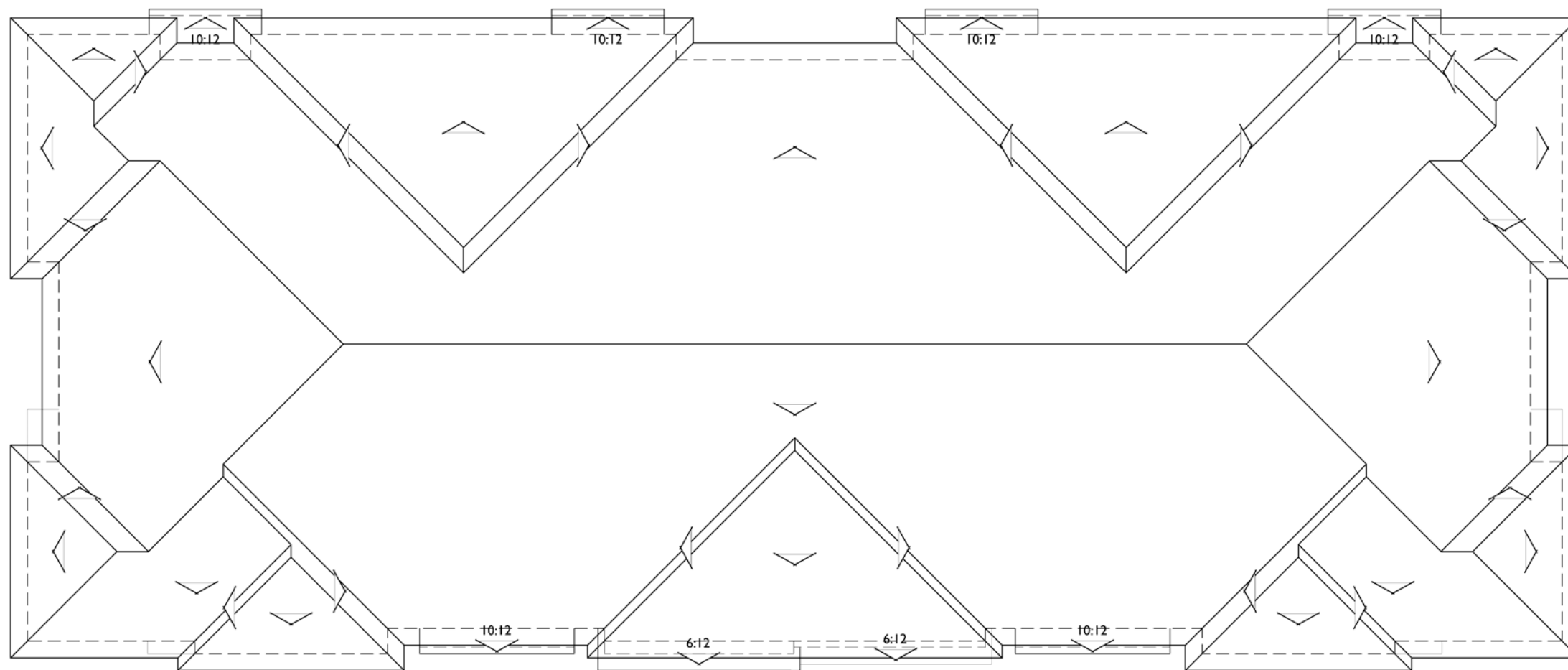
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 4 FLOOR AREA TABLE**

1ST FLOOR	144 SQ. FT.
2ND FLOOR	628 SQ. FT.
3RD FLOOR	586 SQ. FT.
TOTAL	1358 SQ. FT.
2 - CAR GARAGE	471 SQ. FT.
ENTRY COURTYARD	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**THIRD FLOOR PLAN**



**ROOF PLAN**

PITCH: 3:12  
 RAKE: 6"  
 EAVE: 16"  
 ROOF MATERIAL: FLAT CONCRETE TILE ROOF

1/4"=1'-0"

AVERAGE GRADE PLANE DATA - SEE SHEET A3.6

**MATERIAL LEGEND**

- A. INTEGRAL COLORS STUCCO WALL
- B. ACCENT STUCCO #1
- C. STONE VENEER
- D. FOAM TRIM
- E. CONCRETE FLAT TILE
- F. VINYL WINDOW
- G. ENTRY DOOR
- H. WOOD AWNING
- I. METAL RAILING
- J. CONTROL JOINT
- K. EXTERIOR COACH LIGHT
- L. UTILITY DOOR
- M. WOOD FASCIA
- N. CEMENTITIOUS SIDING
- O. CEMENTITIOUS TRIM



FRONT



REAR

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**8-PLEX BUILDING TYPE 'B'**  
Front & Rear Elevations  
**1300 DOVE STREET**  
Newport Beach, California

**City of Newport Beach**

**A 3.5**  
02.06.26

**Lincoln**

0 2 4 8  
SCALE: 1/4" = 1'-0" B05.25082

AVERAGE GRADE PLANE			
BLDG TYPE	BLDG NUMBER	AVERAGE GRADE PLANE	HIGHEST RIDGE F.F.E.
CONDOMINIUM	BLDG 7	49.98	87.89
CONDOMINIUM	BLDG 8	50.23	88.14
CONDOMINIUM	BLDG 9	49.33	87.24
CONDOMINIUM	BLDG 10	49.08	86.99

**MATERIAL LEGEND**

- A. INTEGRAL COLORS STUCCO WALL
- B. ACCENT STUCCO #1
- C. STONE VENEER
- D. FOAM TRIM
- E. CONCRETE FLAT TILE
- F. VINYL WINDOW
- G. ENTRY DOOR
- H. WOOD AWNING
- I. METAL RAILING
- J. CONTROL JOINT
- K. EXTERIOR COACH LIGHT
- L. UTILITY DOOR
- M. WOOD FASCIA
- N. CEMENTITIOUS SIDING
- O. CEMENTITIOUS TRIM



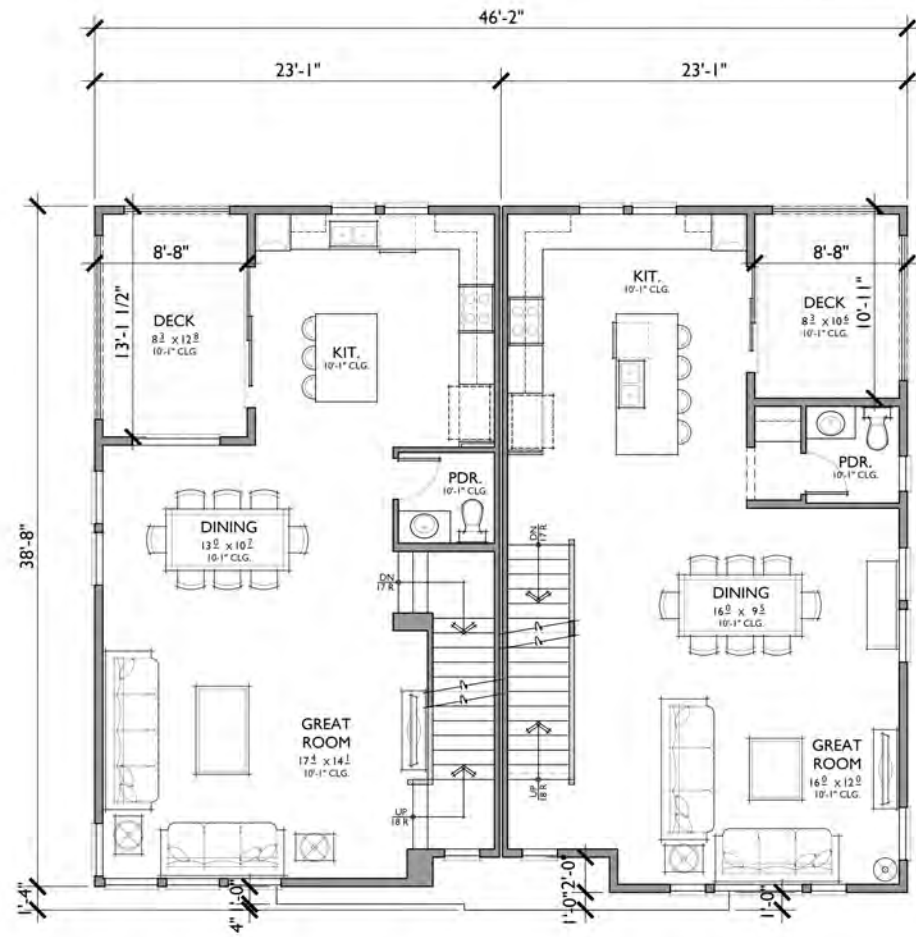
**Building Analysis**

Code used: 2025 California Residential Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B  
 Allowable area: Unlimited  
 Allowable Height: 3 Story Height limit  
 Allowable stories: 3 - Stories  
 Building Height Provided: ±36.5' (3-Stories)  
 Fire Sprinkler: NFPA 13D  
 Exterior wall separation: 0 Hour (FSD > 3 feet on site with sprinkler)

**Building Analysis**

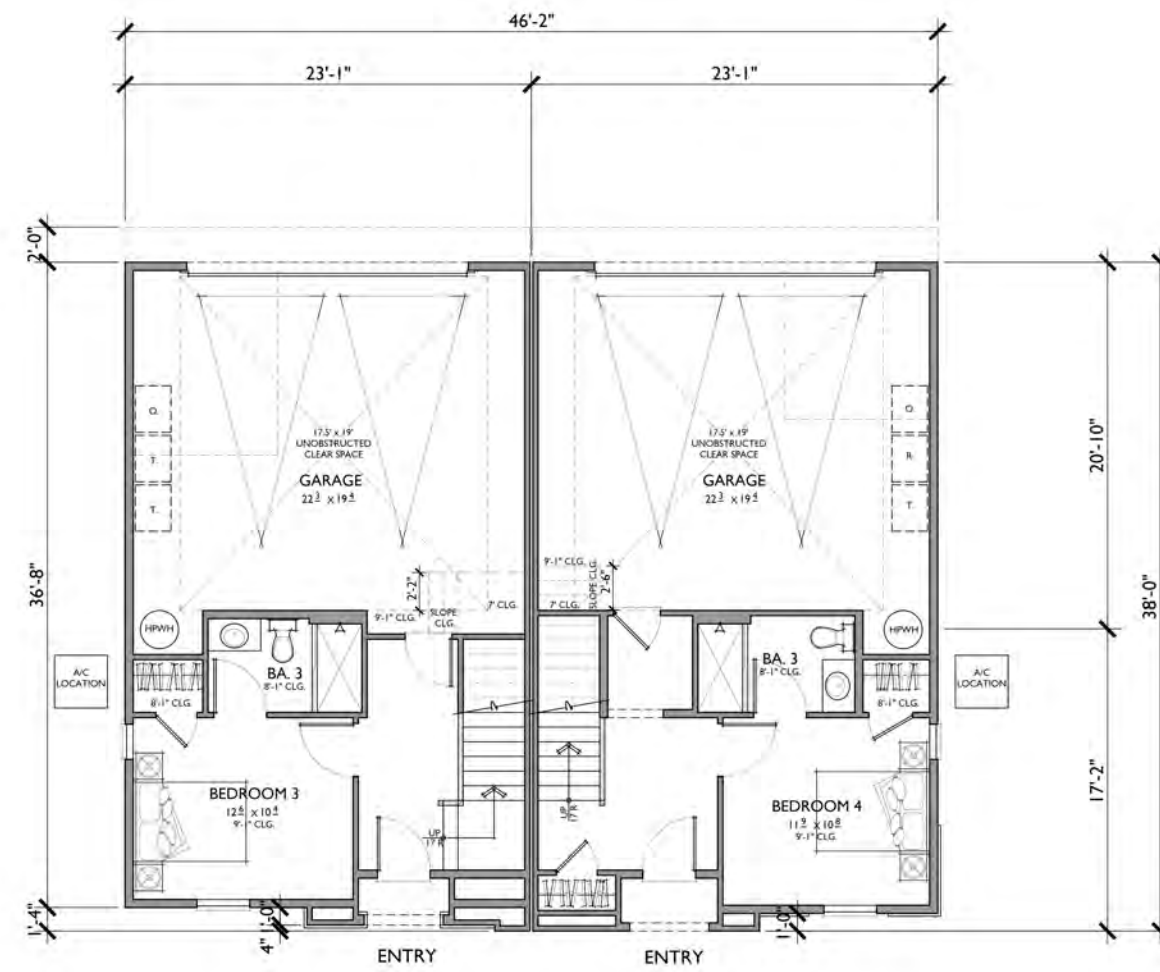
Exterior openings: Unlimited

EXTERIOR WALL ELEMENT	MINIMUM FIRE RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Exterior Wall	1 Hour (unless in accordance with Section 711.10.1.2, 2025 California Residential Code, or other code provisions with adequate fire protection)	0 feet
Roof	1 Hour	0 feet
Interior Wall	1 Hour	0 feet
Interior Ceiling	1 Hour	0 feet
Interior Floor	1 Hour	0 feet
Staircase	1 Hour	0 feet
Elevator	1 Hour	0 feet
Garage	1 Hour	0 feet
Other	1 Hour	0 feet



PLAN 1 PLAN 2

SECOND FLOOR PLAN



PLAN 1 PLAN 2

FIRST FLOOR PLAN

**PLAN 1**  
3 BED / 3.5 BA.

FLOOR AREA TABLE	
1ST FLOOR	369 SQ. FT.
2ND FLOOR	769 SQ. FT.
3RD FLOOR	810 SQ. FT.
<b>TOTAL</b>	<b>1948 SQ. FT.</b>
2 - CAR GARAGE	479 SQ. FT.
DECK	114 SQ. FT.
PORCH	14 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 2**  
4 BED / 3.5 BA.

FLOOR AREA TABLE	
1ST FLOOR	384 SQ. FT.
2ND FLOOR	790 SQ. FT.
3RD FLOOR	805 SQ. FT.
<b>TOTAL</b>	<b>1979 SQ. FT.</b>
2 - CAR GARAGE	456 SQ. FT.
DECK	95 SQ. FT.
PORCH	17 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

BUILDING TYPE C - DUPLEX  
 TOTAL BUILDING SQUARE FOOTAGE:  
 4,991 S.F.

BUILDING GROSS FLOOR AREA  
 FIRST FLOOR: 1,727 SQ. FT.  
 SECOND FLOOR: 1,646 SQ. FT.  
 THIRD FLOOR: 1,618 SQ. FT.

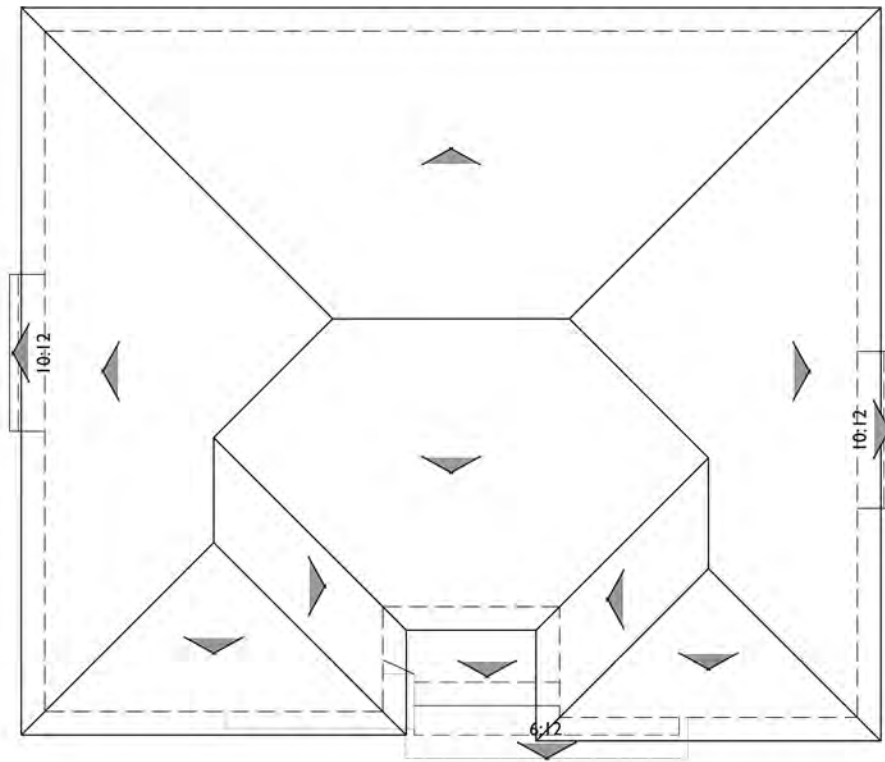
**Building Analysis**

Code used: 2025 California Residential Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B  
 Allowable area: Unlimited  
 Allowable Height: 3 Story Height limit  
 Allowable stories: 3 - Stories  
 Building Height Provided: ±36.5' (3-Stories)  
 Fire Sprinkler: NFPA 13D  
 Exterior wall separation: 0 Hour (FSD > 3 feet on site with sprinkler)

**Building Analysis**

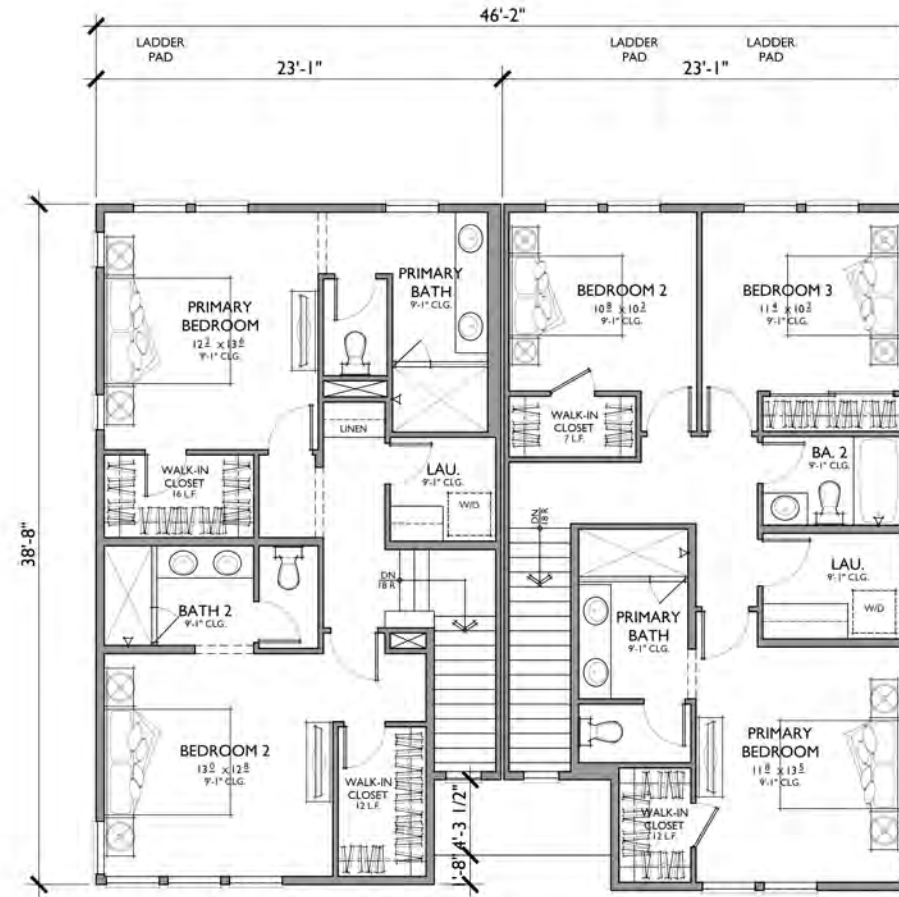
Exterior openings: Unlimited

EXTERIOR WALL ELEMENT	MINIMUM FIRE RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Exterior Wall	1 Hour (unless otherwise indicated by the code)	0 feet
Roof	1 Hour (unless otherwise indicated by the code)	0 feet
Interior Wall	1 Hour (unless otherwise indicated by the code)	0 feet
Interior Ceiling	1 Hour (unless otherwise indicated by the code)	0 feet
Interior Floor	1 Hour (unless otherwise indicated by the code)	0 feet
Staircase	1 Hour (unless otherwise indicated by the code)	0 feet
Elevator	1 Hour (unless otherwise indicated by the code)	0 feet
Fire Escape	1 Hour (unless otherwise indicated by the code)	0 feet



**ROOF PLAN**

PITCH: 3:12  
 RAKE: 6"  
 EAVE: 16"  
 ROOF MATERIAL: FLAT CONCRETE TILE ROOF  
 1/4" = 1'-0"



PLAN 1  
LADDER PAD  
PLAN 2  
LADDER PAD

**THIRD FLOOR PLAN**

AVERAGE GRADE PLANE			
BLDG TYPE	BLDG NUMBER	AVERAGE GRADE PLANE	HIGHEST RIDGE F.F.E.
DUPLEX	BLDG 23	46.53	82.95
DUPLEX	BLDG 24	46.53	82.95
DUPLEX	BLDG 25	46.18	82.60
DUPLEX	BLDG 26	45.38	81.80
DUPLEX	BLDG 27	45.20	81.62
DUPLEX	BLDG 28	45.48	81.90
DUPLEX	BLDG 29	45.88	82.30
DUPLEX	BLDG 30	46.50	82.92
DUPLEX	BLDG 31	46.98	83.40
DUPLEX	BLDG 32	47.35	83.77
DUPLEX	BLDG 33	48.18	84.60
DUPLEX	BLDG 34	48.68	85.10
DUPLEX	BLDG 35	49.13	85.55
DUPLEX	BLDG 36	49.53	85.95

**MATERIAL LEGEND**

- A. INTEGRAL COLORS STUCCO WALL
- B. ACCENT STUCCO #1
- C. STONE VENEER
- D. FOAM TRIM
- E. CONCRETE FLAT TILE
- F. VINYL WINDOW
- G. ENTRY DOOR
- H. WOOD AWNING
- I. METAL RAILING
- J. CONTROL JOINT
- K. EXTERIOR COACH LIGHT
- L. UTILITY DOOR
- M. WOOD FASCIA
- N. CEMENTITIOUS SIDING
- O. CEMENTITIOUS TRIM



AVERAGE GRADE PLANE			
BLDG TYPE	BLDG NUMBER	AVERAGE GRADE PLANE	HIGHEST RIDGE F.F.E.
DUPLEX	BLDG 23	46.53	82.95
DUPLEX	BLDG 24	46.53	82.95
DUPLEX	BLDG 25	46.18	82.60
DUPLEX	BLDG 26	45.38	81.80
DUPLEX	BLDG 27	45.20	81.62
DUPLEX	BLDG 28	45.48	81.90
DUPLEX	BLDG 29	45.88	82.30
DUPLEX	BLDG 30	46.50	82.92
DUPLEX	BLDG 31	46.98	83.40
DUPLEX	BLDG 32	47.35	83.77
DUPLEX	BLDG 33	48.18	84.60
DUPLEX	BLDG 34	48.68	85.10
DUPLEX	BLDG 35	49.13	85.55
DUPLEX	BLDG 36	49.53	85.95

**MATERIAL LEGEND**

- |                                |                         |
|--------------------------------|-------------------------|
| A. INTEGRAL COLORS STUCCO WALL | J. CONTROL JOINT        |
| B. ACCENT STUCCO #1            | K. EXTERIOR COACH LIGHT |
| C. STONE VENEER                | L. UTILITY DOOR         |
| D. FOAM TRIM                   | M. WOOD FASCIA          |
| E. CONCRETE FLAT TILE          | N. CEMENTITIOUS SIDING  |
| F. VINYL WINDOW                | O. CEMENTITIOUS TRIM    |
| G. ENTRY DOOR                  |                         |
| H. WOOD AWNING                 |                         |
| I. METAL RAILING               |                         |



**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B  
 Allowable area: Unlimited  
 Allowable Height: 60 feet Height limit  
 Allowable stories: 4 - Stories  
 Building Height Provided: ±46.5' (4-Stories)  
 Fire Sprinkler: NFPA 13R  
 Exterior wall separation: 0 Hour (FSD > 5 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

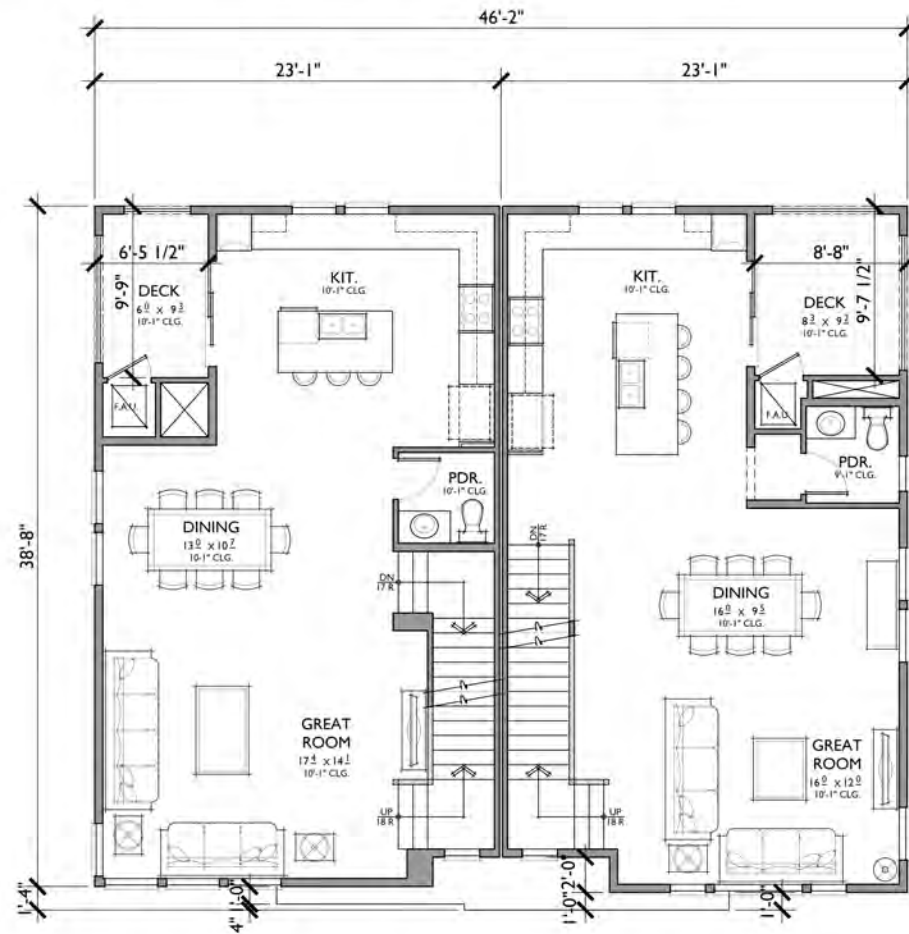
**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section Table 1: Table 705.9

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)						30 OR GREATER
	0 TO LESS THAN 3	3 TO LESS THAN 5	5 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	70%
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT

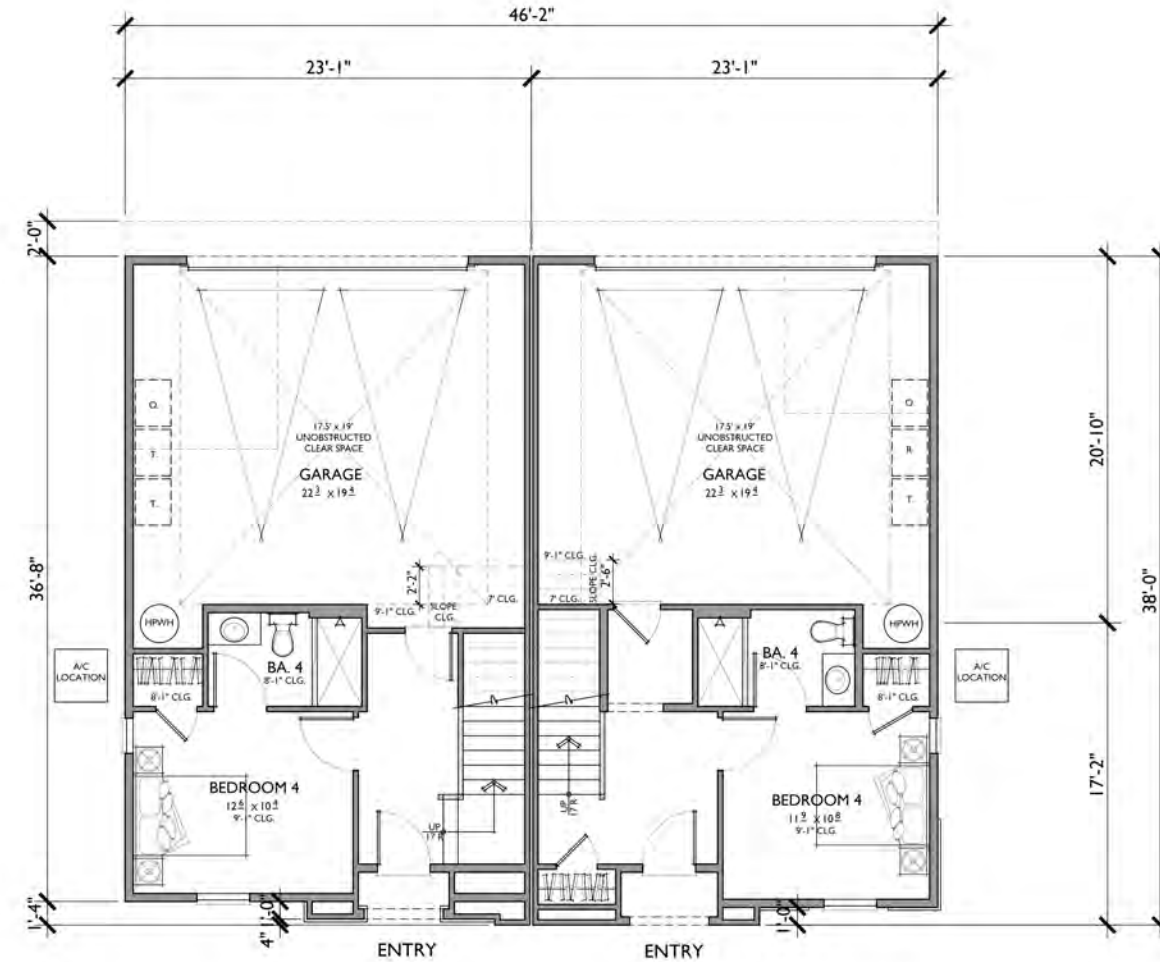
C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.



PLAN 3 PLAN 4

SECOND FLOOR PLAN



PLAN 3 PLAN 4

FIRST FLOOR PLAN

**PLAN 3**  
4 BED / 4.5 BA.

FLOOR AREA TABLE	
1ST FLOOR	369 SQ. FT.
2ND FLOOR	798 SQ. FT.
3RD FLOOR	867 SQ. FT.
4TH FLOOR	529 SQ. FT.
<b>TOTAL</b>	<b>2562 SQ. FT.</b>
2 - CAR GARAGE	479 SQ. FT.
2ND FLOOR DECK	85 SQ. FT.
4TH FLOOR DECK	267 SQ. FT.
PORCH	14 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

**PLAN 4**  
4 BED / 4.5 BA.

FLOOR AREA TABLE	
1ST FLOOR	384 SQ. FT.
2ND FLOOR	710 SQ. FT.
3RD FLOOR	859 SQ. FT.
4TH FLOOR	577 SQ. FT.
<b>TOTAL</b>	<b>2530 SQ. FT.</b>
2 - CAR GARAGE	456 SQ. FT.
2ND FLOOR DECK	83 SQ. FT.
4TH FLOOR DECK	209 SQ. FT.
PORCH	17 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

BUILDING TYPE D - DUPLEX  
 TOTAL BUILDING SQUARE FOOTAGE:  
 6,219 S.F.

BUILDING GROSS FLOOR AREA  
 FIRST FLOOR: 1,726 SQ. FT.  
 SECOND FLOOR: 1,616 SQ. FT.  
 THIRD FLOOR: 1,553 SQ. FT.  
 FOURTH FLOOR: 1,324 SQ. FT.

**Building Analysis**

Code used: 2025 California Building Code  
 Building Occupancy: R-3, U ( Two-Family Dwellings / Private Garage )  
 Building Construction Type: V-B  
 Allowable area: Unlimited  
 Allowable Height: 60 feet Height limit  
 Allowable stories: 4 - Stories  
 Building Height Provided: ±46.5' (4-Stories)  
 Fire Sprinkler: NFPA 13R  
 Exterior wall separation: 0 Hour (FSD > 5 feet on site with sprinkler)  
 "X" < 5 feet, Type VB = 1 Hour  
 5 feet <= "X" < 10 feet = 1 Hour  
 10 feet <= "X" < 30 feet Type VB = 0 Hour  
 "X" >= 30 feet Type VB = 0 Hour

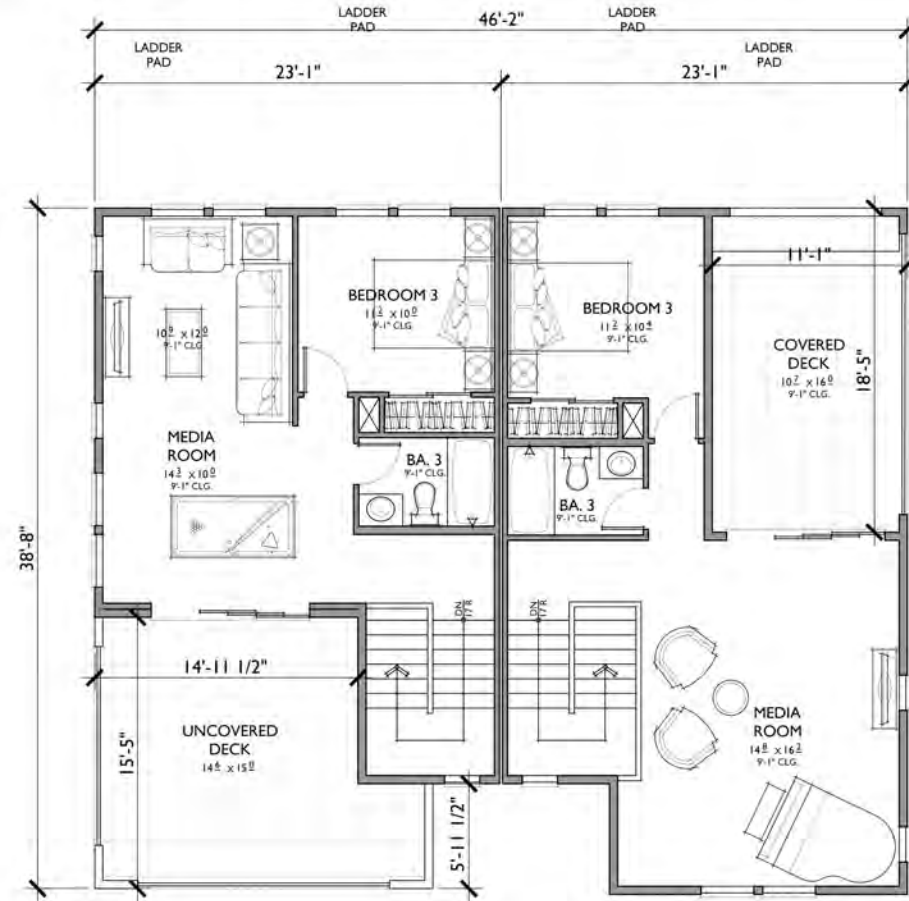
**Building Analysis**

Exterior openings: Unlimited  
 C.B.C. Section Table 1: Table 705.9

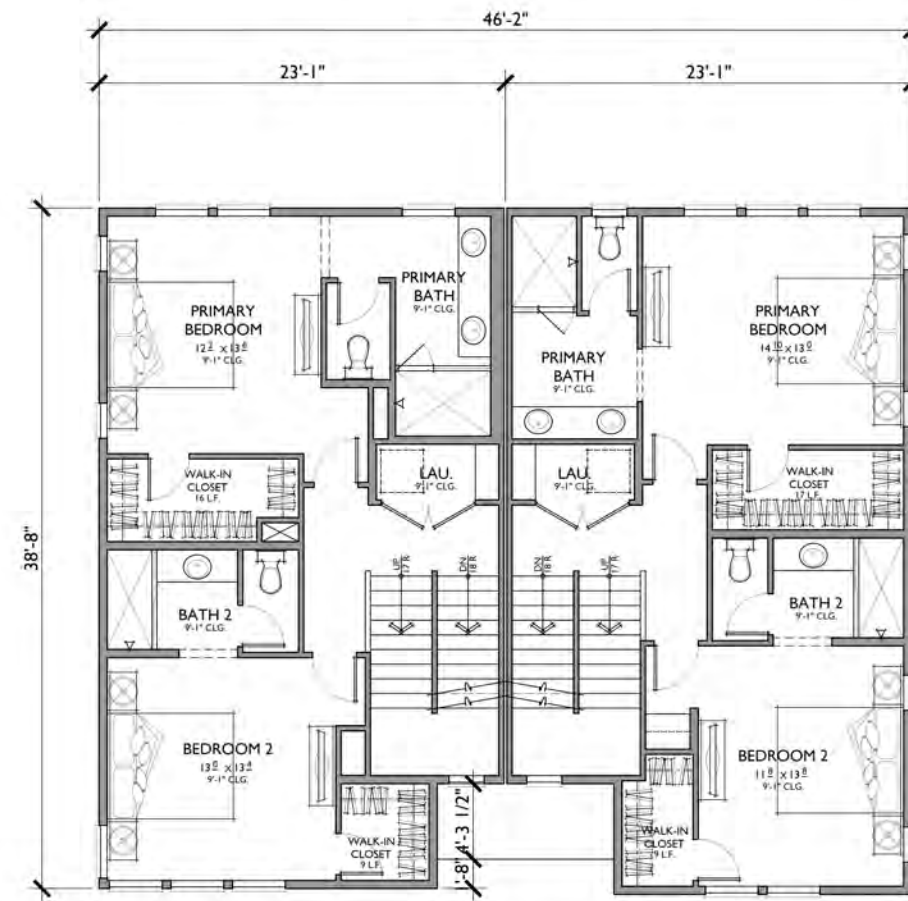
CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FEET)						30 OR GREATER
	5 TO LESS THAN 8	8 TO LESS THAN 10	10 TO LESS THAN 15	15 TO LESS THAN 20	20 TO LESS THAN 25	25 TO LESS THAN 30	
UNPROTECTED, NONSPRINKLERED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	40%	NO LIMIT
UNPROTECTED, SPRINKLERED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NOT REQUIRED

C.B.C. Section 705.9.1 Exception 2, Buildings whose exterior bearing walls, exterior non-bearing walls, and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

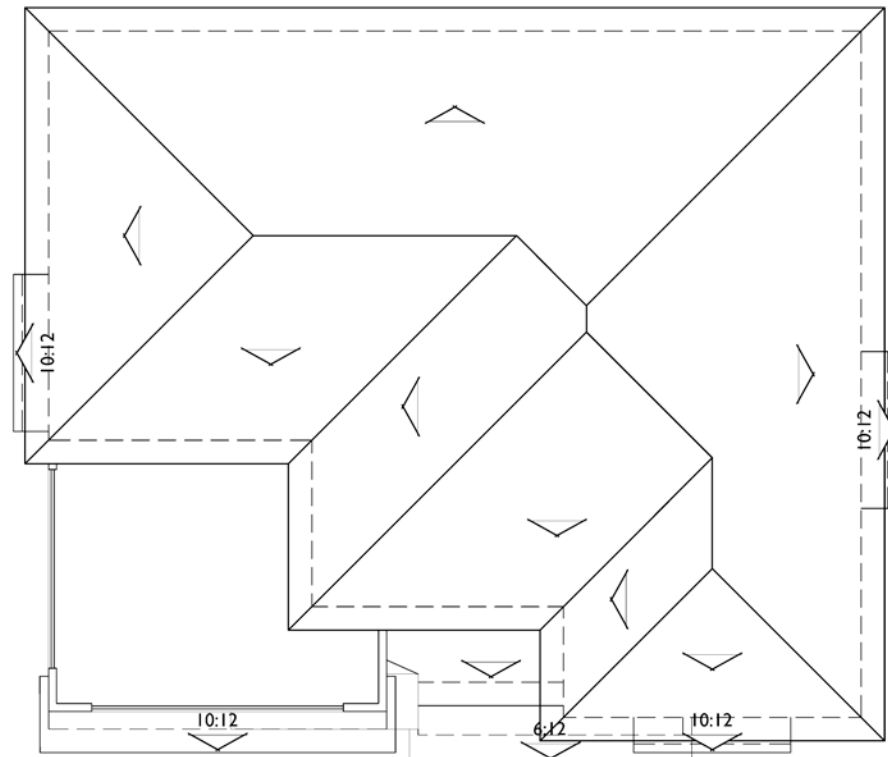
For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.



PLAN 3 LADDER PAD  
 PLAN 4 LADDER PAD  
**FOURTH FLOOR PLAN**



PLAN 3  
 PLAN 4  
**THIRD FLOOR PLAN**



**ROOF PLAN**

PITCH: 3:12  
 RAKE: 6"  
 EAVE: 16"  
 ROOF MATERIAL: FLAT CONCRETE TILE ROOF

1/4"=1'-0"

AVERAGE GRADE PLANE			
BLDG TYPE	BLDG NUMBER	AVERAGE GRADE PLANE	HIGHEST RIDGE F.F.E.
DUPLEX	BLDG 11	49.18	95.68
DUPLEX	BLDG 12	49.68	96.18
DUPLEX	BLDG 13	49.50	96.00
DUPLEX	BLDG 14	48.90	95.40
DUPLEX	BLDG 15	48.13	94.63
DUPLEX	BLDG 16	47.78	94.28
DUPLEX	BLDG 17	47.30	93.80
DUPLEX	BLDG 18	47.10	93.60
DUPLEX	BLDG 19	46.53	93.03
DUPLEX	BLDG 20	46.23	92.73
DUPLEX	BLDG 21	46.33	92.83
DUPLEX	BLDG 22	46.65	93.15



**MATERIAL LEGEND**

- A. INTEGRAL COLORS STUCCO WALL
- B. ACCENT STUCCO #1
- C. STONE VENEER
- D. FOAM TRIM
- E. CONCRETE FLAT TILE
- F. VINYL WINDOW
- G. ENTRY DOOR
- H. WOOD AWNING
- I. METAL RAILING
- J. CONTROL JOINT
- K. EXTERIOR COACH LIGHT
- L. UTILITY DOOR
- M. WOOD FASCIA
- N. CEMENTITIOUS SIDING
- O. CEMENTITIOUS TRIM



AVERAGE GRADE PLANE			
BLDG TYPE	BLDG NUMBER	AVERAGE GRADE PLANE	HIGHEST RIDGE F.F.E.
DUPLEX	BLDG 11	49.18	95.68
DUPLEX	BLDG 12	49.68	96.18
DUPLEX	BLDG 13	49.50	96.00
DUPLEX	BLDG 14	48.90	95.40
DUPLEX	BLDG 15	48.13	94.63
DUPLEX	BLDG 16	47.78	94.28
DUPLEX	BLDG 17	47.30	93.80
DUPLEX	BLDG 18	47.10	93.60
DUPLEX	BLDG 19	46.53	93.03
DUPLEX	BLDG 20	46.23	92.73
DUPLEX	BLDG 21	46.33	92.83
DUPLEX	BLDG 22	46.65	93.15



RIGHT



LEFT

MATERIAL LEGEND

- |                                |                         |
|--------------------------------|-------------------------|
| A. INTEGRAL COLORS STUCCO WALL | J. CONTROL JOINT        |
| B. ACCENT STUCCO #1            | K. EXTERIOR COACH LIGHT |
| C. STONE VENEER                | L. UTILITY DOOR         |
| D. FOAM TRIM                   | M. WOOD FASCIA          |
| E. CONCRETE FLAT TILE          | N. CEMENTITIOUS SIDING  |
| F. VINYL WINDOW                | O. CEMENTITIOUS TRIM    |
| G. ENTRY DOOR                  |                         |
| H. WOOD AWNING                 |                         |
| I. METAL RAILING               |                         |

**Lincoln**

SCHEME 3 | ALL 'A' & 'B' ELEVATIONS



ROOF  
EAGLE - 5687



BASE STUCCO  
SW 7030 ANEW GRAY



SIDING  
SW 7018 DOVETAIL



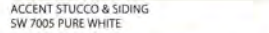
STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ENTRY DOORS  
SW 6990 CAVIAR



ACCENT STUCCO & SIDING  
SW 7005 PURE WHITE

**1300 DOVE STREET 8 PLEX - A & B**

NEWPORT BEACH, CALIFORNIA | B05-25082

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**Lincoln**

SCHEME 1 | ALL 'A' & 'B' ELEVATIONS



ROOF  
EAGLE - 5690



BASE STUCCO  
SW 7541 GRECIAN IVORY



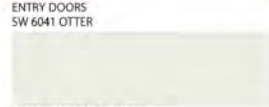
SIDING  
SW 9130 EVERGREEN FOG



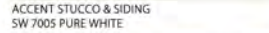
STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ENTRY DOORS  
SW 6041 OTTER



ACCENT STUCCO & SIDING  
SW 7005 PURE WHITE

**1300 DOVE STREET 8 PLEX - A & B**

NEWPORT BEACH, CALIFORNIA | B05-25082

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**Lincoln**

**DIGITAL BOARDS**  
**1300 DOVE STREET 8 PLEX - A & B**

NEWPORT BEACH, CALIFORNIA | B05-25082  
08.14.2025

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**Lincoln**

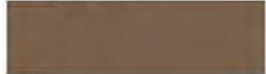
SCHEME 4 | ALL 'A' & 'B' ELEVATIONS



ROOF  
EAGLE - 5689



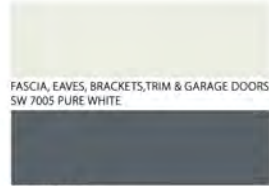
BASE STUCCO  
SW 7038 TONY TAUPE



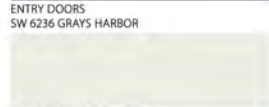
SIDING  
SW 9090 CARAIBE



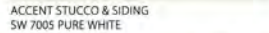
STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ENTRY DOORS  
SW 6236 GRAYS HARBOR



ACCENT STUCCO & SIDING  
SW 7005 PURE WHITE

**1300 DOVE STREET 8 PLEX - A & B**

NEWPORT BEACH, CALIFORNIA | B05-25082

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**Lincoln**

SCHEME 2 | ALL 'A' & 'B' ELEVATIONS



ROOF  
EAGLE - 5699



BASE STUCCO  
SW 7015 REPOSE GRAY



SIDING  
SW 7664 STEELY GRAY



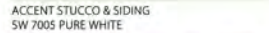
STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ENTRY DOORS  
SW 7020 BLACK FOX



ACCENT STUCCO & SIDING  
SW 7005 PURE WHITE

**1300 DOVE STREET 8 PLEX - A & B**

NEWPORT BEACH, CALIFORNIA | B05-25082

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PAGE TITLE

PAINT: SHERWIN WILLIAMS  
ROOF: EAGLE  
STONE: CREATIVE MINES  
STONE MORTAR: ORCO MAC PLUS

AUGUST 14, 2025

	SCHEMES 1-4			
	1	2	3	4
FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS	SW 7005 PURE WHITE	SW 7005 PURE WHITE	SW 7005 PURE WHITE	SW 7005 PURE WHITE
SIMULATED WOOD	SW 7025 BACKDROP	SW 7025 BACKDROP	SW 7025 BACKDROP	SW 7025 BACKDROP
FOAM HEADERS	SW 6041 OTTER	SW 7020 BLACK FOX	SW 4990 CAVIAR	SW 4236 GRAYS HARBOR
ENTRY DOORS	SW 6041 OTTER	SW 7020 BLACK FOX	SW 4990 CAVIAR	SW 4236 GRAYS HARBOR
BASE STUCCO	SW 7541 GRECIAN IVORY	SW 7015 REPOSE GRAY	SW 7030 ANEW GRAY	SW 7038 TONY TAUPE
SIDING	SW 9130 EVERGREEN FOG	SW 7664 STEELY GRAY	SW 7018 DOVETAIL	SW 9090 CARAIBE
ACCENT STUCCO & SIDING	SW 7005 PURE WHITE	SW 7005 PURE WHITE	SW 7005 PURE WHITE	SW 7005 PURE WHITE
STONE	TIMBERWOLF ORCHARD LIMESTONE	TIMBERWOLF ORCHARD LIMESTONE	TIMBERWOLF ORCHARD LIMESTONE	TIMBERWOLF ORCHARD LIMESTONE
STONE MORTAR	PALE SMOKE	PALE SMOKE	PALE SMOKE	PALE SMOKE
ROOF	5690	5699	5687	5689

**1300 DOVE STREET 8 PLEX - A & B**

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SCHEME 3 | ALL 'C' & 'D' ELEVATIONS



ROOF  
EAGLE - 5699



BASE STUCCO  
SW 7005 PURE WHITE



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ACCENT STUCCO  
SW 7016 MINDFUL GRAY



ENTRY DOORS  
SW 7040 SMOKEHOUSE



SIDING  
SW 7664 STEELY GRAY



STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE

**1300 DOVE STREET DUPLEX - C & D**

NEWPORT BEACH, CALIFORNIA | B05-25138

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SCHEME 1 | ALL 'C' & 'D' ELEVATIONS



ROOF  
EAGLE - 5689



BASE STUCCO  
SW 7010 WHITE DUCK



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ACCENT STUCCO  
SW 7506 LOGGIA



ENTRY DOORS  
SW 6041 OTTER



SIDING  
SW 7018 DOVETAIL



STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE

**1300 DOVE STREET DUPLEX - C & D**

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DIGITAL BOARDS

**1300 DOVE STREET DUPLEX - C & D**

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08.14.2025

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SCHEME 4 | ALL 'C' & 'D' ELEVATIONS



ROOF  
EAGLE - 5690



BASE STUCCO  
SW 7043 WORDLY GRAY



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ACCENT STUCCO  
SW 7005 PURE WHITE



ENTRY DOORS  
SW 2819 DOWNING SLATE



SIDING  
SW 9130 EVERGREEN FOG



STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE

**1300 DOVE STREET DUPLEX - C & D**

NEWPORT BEACH, CALIFORNIA | B05-25138

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SCHEME 2 | ALL 'C' & 'D' ELEVATIONS



ROOF  
EAGLE - 5687



BASE STUCCO  
SW 7542 NATUREL



FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS  
SW 7005 PURE WHITE



ACCENT STUCCO  
SW 7644 GATEWAY GRAY



ENTRY DOORS  
SW 7618 DEEP SEA DIVE



SIDING  
SW 7005 PURE WHITE



STONE  
CREATIVE MINES - TIMBERWOLF ORCHARD LIMESTONE

**1300 DOVE STREET DUPLEX - C & D**

NEWPORT BEACH, CALIFORNIA | B05-25138

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PAGE TITLE

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AUGUST 14, 2025

	SCHEMES 1-4			
	ARE FOR ALL 'C' & 'D' ELEVATIONS			
	1	2	3	4
FASCIA, EAVES, BRACKETS, TRIM & GARAGE DOORS	SW 7005 PURE WHITE	SW 7005 PURE WHITE	SW 7005 PURE WHITE	SW 7005 PURE WHITE
SIMULATED WOOD FOAM HEADER	SW 7025 BACKDROP	SW 7025 BACKDROP	SW 7025 BACKDROP	SW 7025 BACKDROP
ENTRY DOORS	SW 6041 OTTER	SW 7418 DEEP SEA DIVE	SW 7040 SMOKEHOUSE	SW 2817 DOWNING SLATE
BASE STUCCO	SW 7010 WHITE DUCK	SW 7542 NATUREL	SW 7005 PURE WHITE	SW 7043 WORDLY GRAY
SIDING	SW 7018 DOVETAIL	SW 7005 PURE WHITE	SW 7644 STEELY GRAY	SW 9130 EVERGREEN FOG
ACCENT STUCCO	SW 7506 LOGGIA	SW 7644 GATEWAY GRAY	SW 7016 MINDFUL GRAY	SW 7005 PURE WHITE
STONE	TIMBERWOLF ORCHARD LIMESTONE	TIMBERWOLF ORCHARD LIMESTONE	TIMBERWOLF ORCHARD LIMESTONE	TIMBERWOLF ORCHARD LIMESTONE
STONE MORTAR	PALE SMOKE	PALE SMOKE	PALE SMOKE	PALE SMOKE
FLUSHED JOINTS				
ROOF	5689	5687	5699	5690

**1300 DOVE STREET DUPLEX - C & D**

NEWPORT BEACH, CALIFORNIA | B05-25082

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FUTURE ALIGNMENT OF ROADWAY

REQUIRED PAOS 8,786 sf (3%)  
 PROVIDED PAOS: 8,927 sf (3.1%)

PUBLICLY ACCESSIBLE OPEN SPACE (PAOS)

- meandering 8' width concrete sidewalk
- seating areas with flat top boulders and decomposed granite
- portals at pedestrian connections to development
- curb adjacent street trees
- california friendly planting
- groupings of ornamental trees and palms
- dedicated as a public easement

20' LIMIT OF POAS

- credit only taken at 20' width areas

AMENITY COURTYARD #3  
 SEE SHEET L.2

TYPICAL DUPLEX PASEO  
 SEE SHEET L.5

TYPICAL TOWNHOME PASEO  
 SEE SHEET L.4

EXISTING SIDEWALK TO BE  
 REPLACED WITH LANDSCAPE

AMENITY COURTYARDS #1 AND #2  
 SEE SHEET L.2

PROPERTY LINE

6' HT DECORATIVE MASONRY WALL

TRANSFORMER NOTE  
 TRANSFORMERS TO BE LOCATED WITHIN  
 PROPERTY LINE

LANDSCAPE PLAN NOTE  
 ALL NON-LPZ LANDSCAPE AREAS WITH A  
 MINIMUM DIMENSION OF 3' FOR SHRUBS  
 AND 4' FOR TREES PER NBMC SECTION 20.36.

LANDSCAPE AREA  
 REQUIRED: 23,814 sf (8% OF SITE - 297,676 S.F.)  
 PROVIDED: 67,838 sf (23%)



CONCEPTUAL LANDSCAPE PLAN

1300 DOVE ST ATTACHED RESIDENTIAL

Newport Beach, California



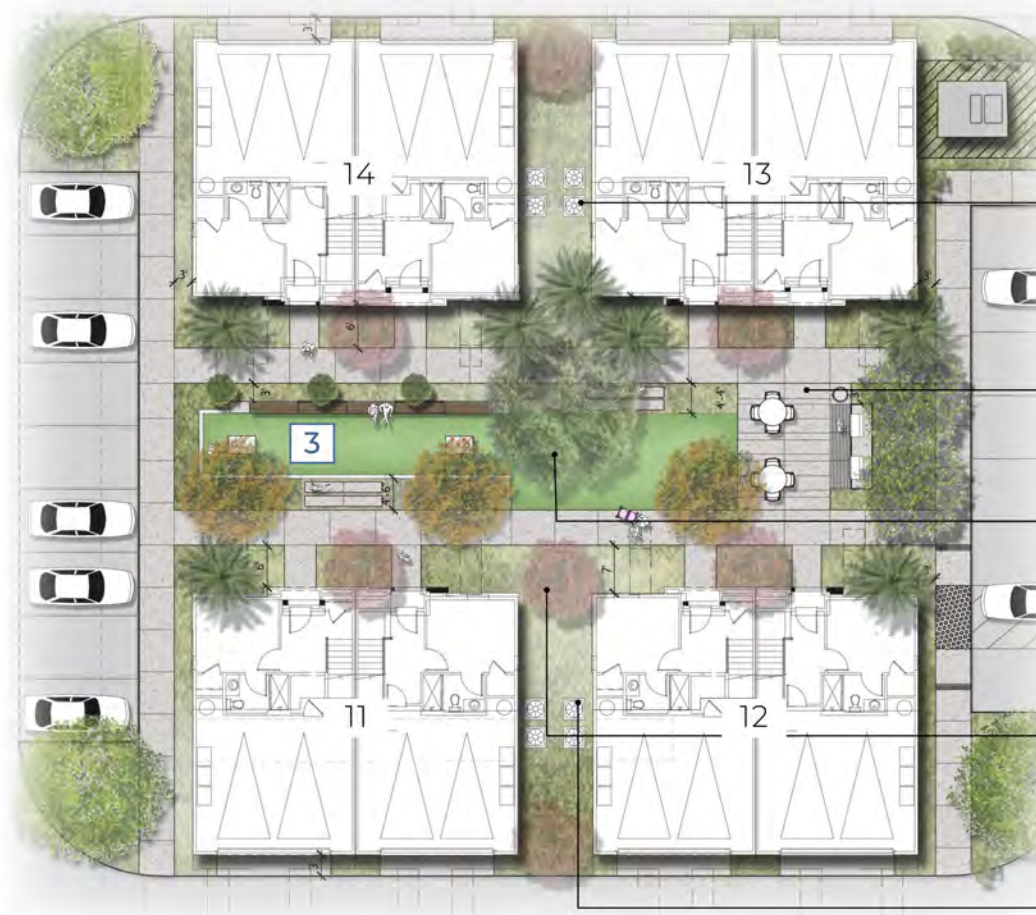
City of Newport Beach





AMENITY COURTYARDS #1 AND #2

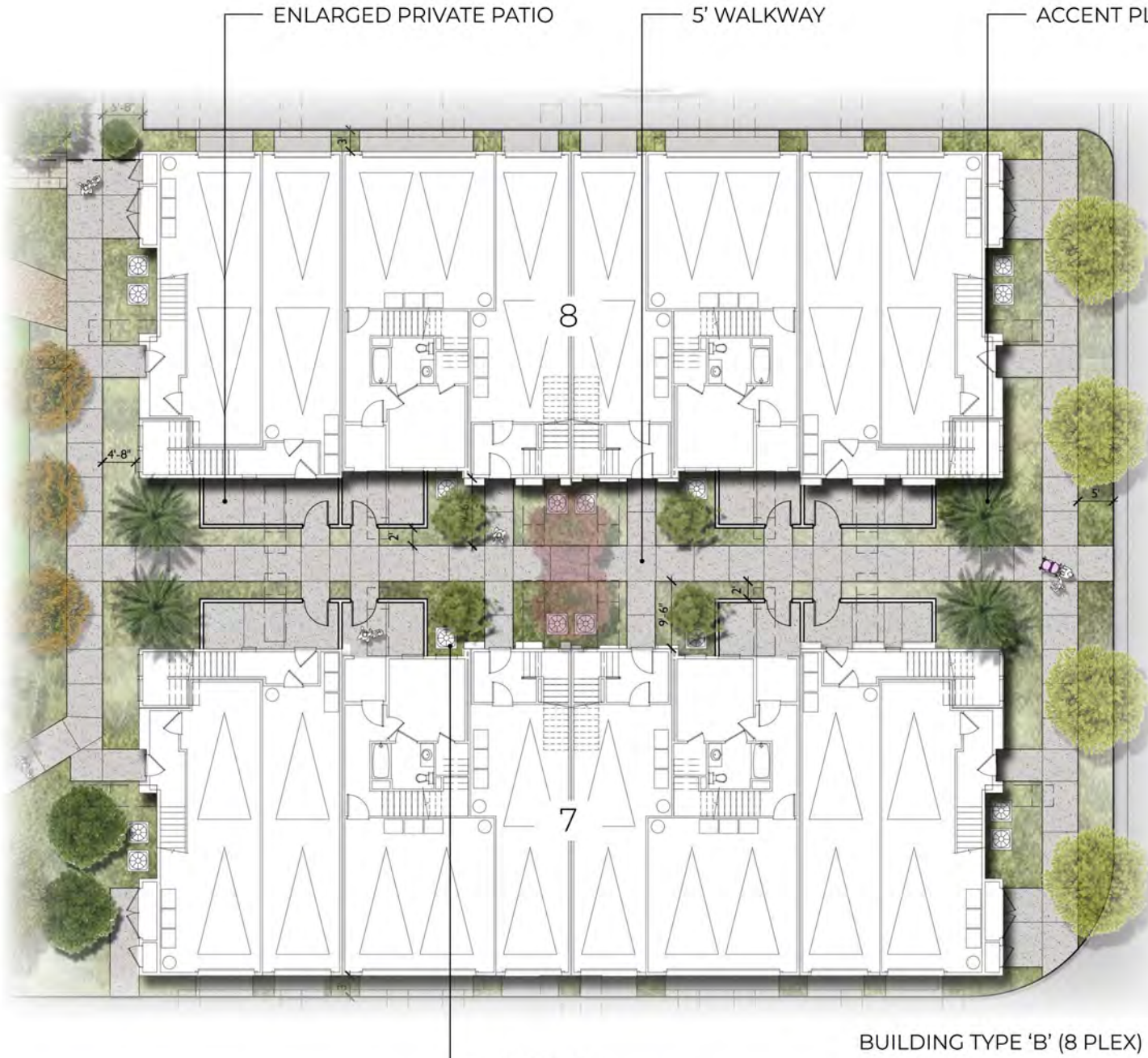
- OUTDOOR DINING
  - 3 bbqs
  - pizza oven
  - overhead structure
  - trash receptacle
- OUTDOOR LOUNGE
  - decomposed granite
  - stone finish seat wall
  - fire pit
  - outdoor games
  - picnic table seating with umbrellas
  - catenary lighting overhead
- OPEN LAWN  
1,185 S.F.
  - shade trees
  - flex play
- CALIFORNIA FRIENDLY LANDSCAPE
  - native trees
  - screening hedges at buildings
- MAIL KIOSK
- AC UNITS
  - to be screened per NBMC Section 20.30.020



AMENITY COURTYARD #3

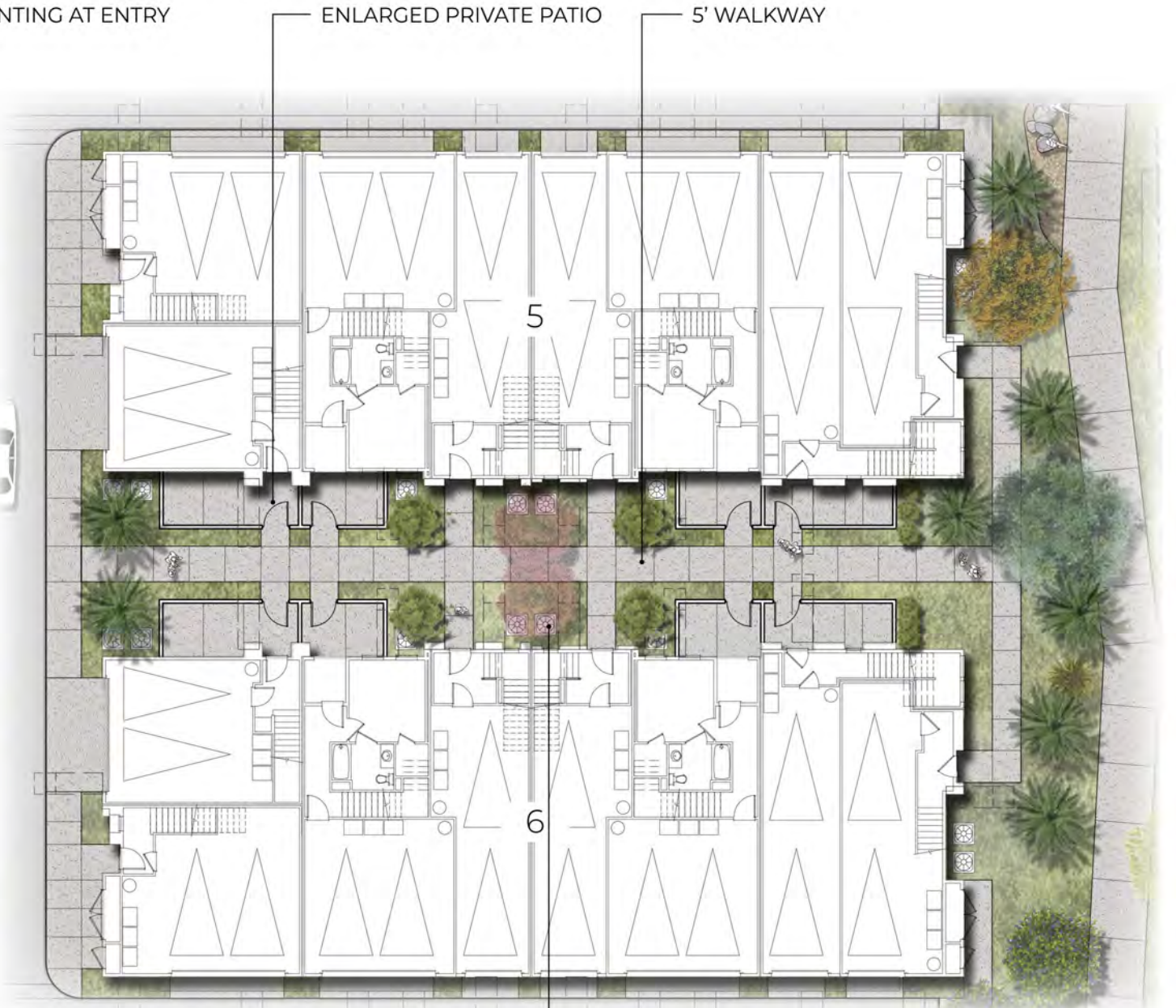
- AC UNITS
  - to be screened per NBMC Section 20.30.020
- OUTDOOR DINING
  - 2 bbqs
  - trash receptacle
- GAME LAWN
  - cornhole
  - seat wall with bench top seating
  - concrete steppers onto lawn
- CALIFORNIA FRIENDLY LANDSCAPE
  - native trees
  - screening hedges at buildings
- AC UNITS
  - to be screened per NBMC Section 20.30.020

OBJECTIVE DESIGN STANDARDS 20.48.185	
<b>I. LANDSCAPING</b>	
1. A minimum of 8% of the total site shall be landscaped.	24% of site is landscaped.
2. Landscape materials shall comply with the following: A. ground cover instead of grass/turf; B. decorative nonliving landscaping material may be used to satisfy maximum of 25% of required landscaping area C. turf areas shall be placed for recreational use only with a 10 foot min.	20% of landscape material include ground cover instead of grass/turf. 0% of nonliving material used. There is no turf on site.
3. Landscape and irrigation shall follow local and regional requirements.	Items to follow Newport Beach M.C. CH. 14.17
<b>K. WALLS AND FENCES</b>	
1. Perimeter or theme walls shall be solid decorative block walls.	CMU block walls with stucco finish throughout site.
2. Wall materials shall require little or no maintenance.	Stucco on masonry
3. Walls shall be the same or similar to architectural style.	Walls to match architecture
<b>L. UTILITIES</b>	
1. All utility equipment shall be located out of pedestrian path and purposefully and aesthetically placed.	Utility equipment out of path and placed accordingly
2. Mechanical equipment must be screened if it cannot be placed in rear or side yards.	Mechanical equipment screened if neccessary.
3. All electrical equipment shall be placed within a utility room. If unable, equipment shall be purposefully designed as part of building.	Electrical equipment placed in designated space.



AC UNITS  
 • to be screened per NBMC  
 Section 20.30.020

BUILDING TYPE 'B' (8 PLEX)



AC UNITS  
 • to be screened per NBMC  
 Section 20.30.020

BUILDING TYPE 'A' (8 PLEX)



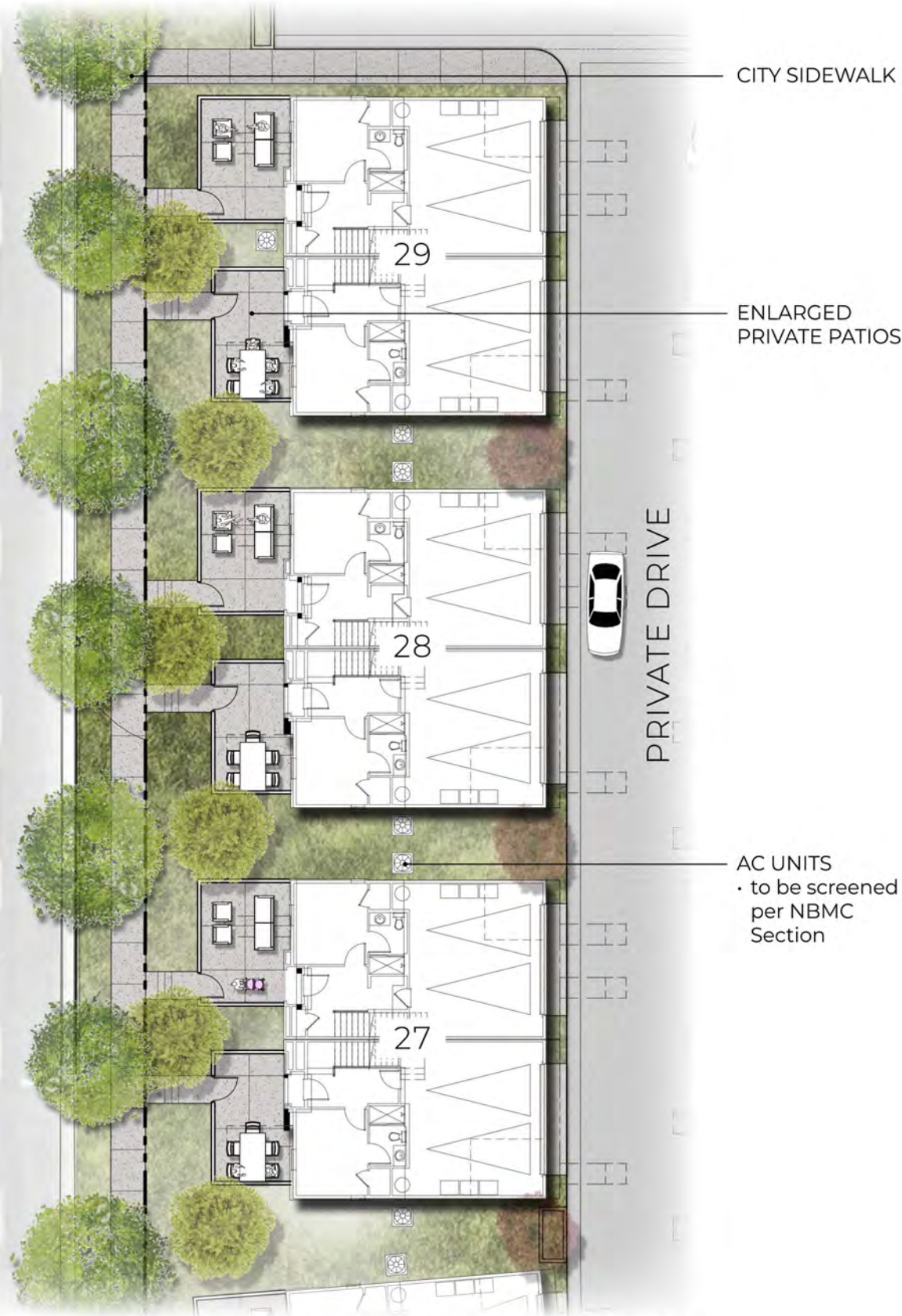
TOWNHOME PASEO  
 1300 DOVE ST ATTACHED RESIDENTIAL  
 Newport Beach, California

City of Newport Beach

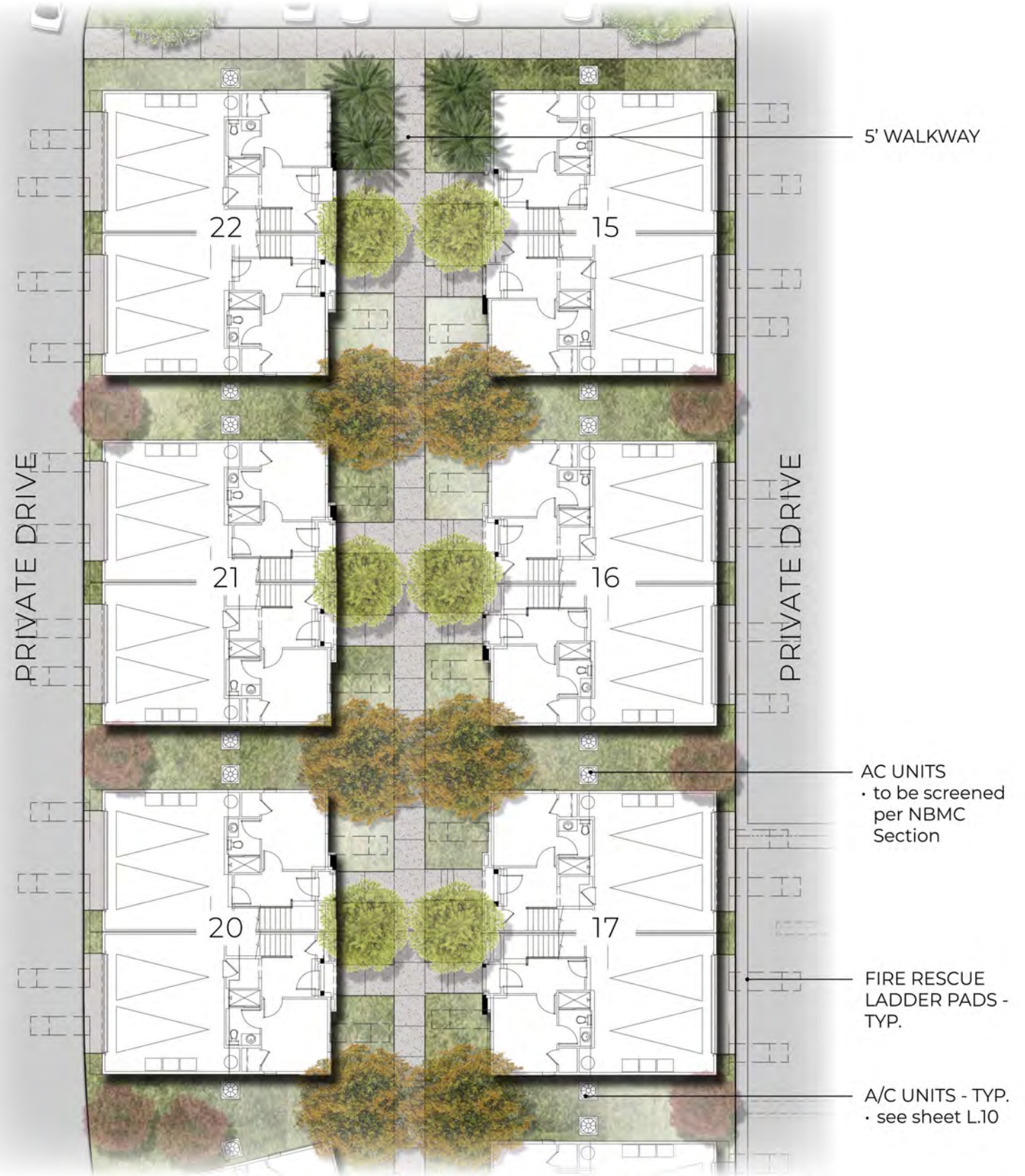


L.3  
 02.09.26

DOVE STREET



BUILDING TYPE 'C' (3-STORY DUPLEX)



BUILDING TYPE 'D' (4-STORY DUPLEX)



DUPLEX PASEO

1300 DOVE ST ATTACHED RESIDENTIAL

Newport Beach, California



City of Newport Beach

L.4  
02.09.26







PLANT SCHEDULE SITE						
SYMBOL	BOTANICAL / COMMON NAME	SIZE	WUCOLS	CANOPY	HEIGHT	QTY
<b>TREES</b>						
(Red circle with 'A')	ARBITUS X 'MARINA' MARINA STRAWBERRY TREE MULTI-TRUNK	24"BOX	LOW	12' W	18' H	31
(Yellow circle with 'C')	CINNAMOMUM CAMPHORA CAMPHOR TREE	36"BOX	MODERATE	40' W	45' H	16
(Green star)	DRACAENA DRACO DRAGON TREE	36"BOX	LOW	5' W	8' H	37
(Red circle with 'S')	ERYTHRINA CAFFRA SOUTH AFRICAN CORAL TREE	36"BOX	LOW	30' W	25' H	4
(Green circle with 'F')	FICUS FLORIDA FLORIDA FIG MULTI-TRUNK SPECIMEN TREE	48"BOX	MODERATE	40' W	40' H	2
(Green star)	HOWEA FORSTERIANA KENTIA PALM	24"BOX	LOW	12' W	35' H	44
(Green circle with 'L')	LAURUS NOBILIS BAY LAUREL - STANDARD FORM	24"BOX	LOW	12' W	16' H	38
(Red circle with 'M')	METRODEROS EXCELSA NEW ZEALAND CHRISTMAS TREE	36"BOX	MODERATE	18' W	24' H	24
(Blue circle with 'O')	OLEA EUROPAEA 'SWAN HILL' FRUITLESS OLIVE MULTI-TRUNK	36"BOX	LOW	22' W	22' H	21
(Blue circle with 'Q')	QUERCUS AGRIFOLIA COAST LIVE OAK MULTI-TRUNK MULTI-TRUNK	48"BOX	LOW	25' W	25' H	2
(Green circle with 'Q')	QUERCUS ILEX HOLLY OAK	36"BOX	LOW	16' W	25' H	29
(Yellow circle with 'U')	ULMUS PARVIFOLIA TRUE GREEN TRUE GREEN LACEBARK ELM	36"BOX	MODERATE	16' W	25' H	10
(Green circle with 'U')	UMBELLULARIA CALIFORNICA BAY LAUREL	36"BOX	LOW	25' W	35' H	3
(Green star)	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM	16" BTH	LOW	12' W	45' H	14

SHRUB SCHEDULE				
BOTANICAL/COMMON NAME	SIZE	WUCOLS	WD x HT	
<b>SCREEN HEDGE</b>				
LAURUS NOBILIS 'LITTLE RAGU' LITTLE RAGU DWARF BAY	15 GAL	LOW	5' x 5'	
<b>HEDGE AT BACKFLOW PREVENTOR</b>				
ARBITUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE	5 GAL	LOW	6' x 5'	
<b>SHRUBS (MIN 36" O.C.)</b>				
GREVILLEA X 'PEACHES AND CREAM' GREVILLEA	5 GAL	LOW	6' x 6'	
LEUCADENDRON DISCOLOR 'POM POM' POM POM LEUCADENDRON	5 GAL	LOW	5' x 7'	
LEUCOSPERMUM CORDIFOLIUM 'FLAME GIANT' GIANT ORANGE NODDING PINCUSHION	5 GAL	LOW	5' x 7'	
LEUCOPHYLLUM F. 'LOS ALAMITOS' TEXAS SAGE	5 GAL	LOW	8' x 8'	
OLEA EUROPAEA 'LITTLE OLLIE' LITTLE OLLIE DWARF OLIVE	5 GAL	LOW	5' x 5'	
ROSMARINUS OFFICINALIS 'COLLINGWOOD INGRAM' ROSEMARY	5 GAL	LOW	3' x 4'	
ROSMARINUS OFFICINALIS 'PROSTRATUS' CREEPING ROSEMARY	1 GAL	LOW	4' x 2'	
SALVIA X ALLEN 'CHICKERING' CLEVELAND SAGE	5 GAL	LOW	4' x 4'	
WESTRINGIA F. 'WYNABBIE GEM' WYNABBIE GEM COAST ROSEMARY	5 GAL	LOW	3' x 3'	
<b>ACCENTS/SUCCULENTS (36" O.C.)</b>				
AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL	LOW	5' x 4'	
AGAVE ATTENUATA 'RAY OF LIGHT' FOXTAIL AGAVE	5 GAL	LOW	5' x 4'	
AGAVE ATTENUATA 'NOVA' CENTURY PLANT	5 GAL	LOW	5' x 5'	
AGAVE X 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	LOW	3' x 3'	
ALOE STRIATA CORAL ALOE	5 GAL	LOW	3' x 3'	(Green star symbol)
CRASSULA 'BLUE WAVES' JADE PLANT	5 GAL	LOW	3' x 2'	
FURCRA FOETIDA 'MEDIOPICTA' MAURITUS HEMP	5 GAL	LOW	6' x 6'	
<b>MEDIUM GRASSES - 36" HEIGHT (36" O.C.)</b>				
CHONDROPETALUM TECTORIUM CAPE RUSH	5 GAL	LOW	3' x 3'	
DIANELLA TASHMANICA 'VARIEGATA' FLAX LILY	5 GAL	LOW	3' x 4'	
LEYMUS C. 'CANYON PRINCE' CANYON PRINCE GIANT WILD RYE	5 GAL	LOW	4' x 5'	
LOMANDRA L. PLATINUM BEAUTY PLATINUM BEAUTY	5 GAL	LOW	2' x 3'	
CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5 GAL	LOW	3' x 4'	
<b>LOW GRASSES - 24" HEIGHT (24" O.C.)</b>				
DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY	5 GAL	LOW	2' x 2'	
LOMANDRA LONGIFOLIA 'BREEZE' MAT RUSH	5 GAL	LOW	2' x 3'	(Green star symbol)
JUNCUS PATENS CALIFORNIA RUSH	5 GAL	LOW	2' x 2'	
SESLERIA X 'CAMPO AZUL' CAMPO AZUL MOOR GRASS	1 GAL	LOW	3' x 4'	
CAREX PANSA CALIFORNIA MEADOW SEDGE	1 GAL	LOW	2' x 2'	(Green star symbol)

**CITY OF NEWPORT BEACH LANDSCAPING NOTES:**

1. LANDSCAPING AND IRRIGATION SHALL FOLLOW LOCAL AND REGIONAL REQUIREMENTS AND GUIDANCE FOR APPROVED PLANT LISTS TO MEET THE NEEDS OF LOCAL CONDITIONS, WHERE AVAILABLE FOR PLANTS AND PLANTING MATERIALS ADDRESSING WATER RETENTION AREAS. RECOMMENDED RESOURCES INCLUDE THE LOW IMPACT DEVELOPMENT MANUAL FOR SOUTHERN CALIFORNIA PREPARED BY THE SOUTHERN CALIFORNIA STORMWATER MONITORING COALITION, STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) OR NEWPORT BEACH MUNICIPAL CODE CHAPTER 14.17 (WATER-EFFICIENT LANDSCAPING).

**LANDSCAPING NOTES:**

- ALL PLANTS ARE CAL-IPC NON-INVASIVE AND WUCOLS MEDIUM/LOW WATER CONSUMPTION (REGION 3 - SOUTH COASTAL) VARIETIES FOR THEIR PROPOSED GROWING CONDITIONS. THESE PLANTS ARE WATER CONSERVING AND USED FOR THEIR DEEP ROOT SYSTEMS WHICH STABILIZES SOIL AND MINIMIZES EROSION IMPACTS.
- ALL PLANT MATERIALS SHALL BE INSTALLED IN A HEALTHY VIGOROUS CONDITION TYPICAL TO THE SPECIES AND SHALL BE MAINTAINED IN A NEAT AND HEALTHY CONDITION. MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO, TRIMMING, WEEDING, REMOVAL OF LITTER, FERTILIZING, REGULAR WATERING, AND REPLACEMENT OF DISEASED OR DEAD PLANTS.
- ROOT BARRIERS SHALL BE INSTALLED AS NEEDED IN AREAS WHERE TREES ARE PLANTED IN CLOSE PROXIMITY TO HARDSCAPE AND/OR STRUCTURES.
- LANDSCAPING WITHIN THE LINE OF SIGHT WILL BE LIMITED TO 24" IN HEIGHT MAXIMUM GROWTH.

**WATER CONSERVATION NOTES:**

SEE SHEETS L9 IRRIGATION HYDROZONE PLAN FOR PLANT ZONE TYPES, LOCATIONS AND IRRIGATION TECHNIQUES.

**NO NATURAL TURF PROPOSED**

(Green star symbol) SHRUBS TO BE USED IN RIGHT-OF-WAY

OBJECTIVE DESIGN STANDARDS 20.48.185	
<b>F. LANDSCAPING</b>	
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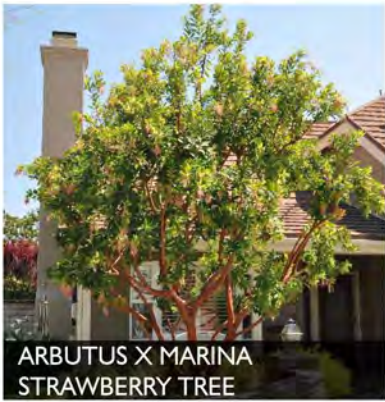


**CONCEPTUAL PLANTING PLAN**  
**1300 DOVE ST ATTACHED RESIDENTIAL**  
 Newport Beach, California

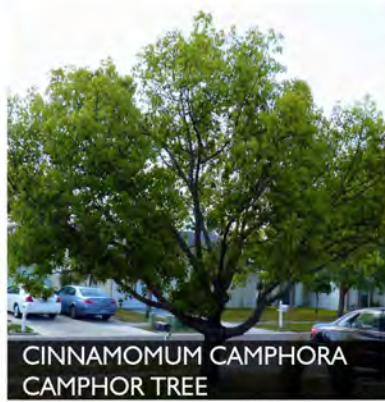
City of Newport Beach

**L.6**  
 02.09.26  
**Lincoln**

TREES



ARBUTUS X MARINA  
STRAWBERRY TREE



CINNAMOMUM CAMPHORA  
CAMPHOR TREE



DRACENA DRACO  
DRAGON TREE



ERYTHRINA CAFFRA  
SOUTH AFRICAN CORAL TREE



FICUS FLORIDA  
FLORIDA FIG MULTI-TRUNK



HOWEA FORSTERIANA  
KENTIA PALM



LAURUS NOBILIS  
BAY LAUREL- STANDARD FORM



OLEA EUROPAEA 'SWAN HILL'  
FRUITLESS OLIVE



METROSIDEROS EXCELSA  
NEWZEALAND CHRISTMAS TREE



QUERCUS AGRIFOLIA  
COAST LIVE OAK MULTI-TRUNK



QUERCUS ILEX  
HOLLY OAK



ULMUS PARVIFOLIA 'TRUE GREEN'  
TRUE GREEN LACEBARK ELM



UMBELLULARIA CALIFORNICA  
BAY LAUREL



WASHINGTONIA FILIFERA  
CALIFORNIA FAN PALM

SHRUBS



ARBUTUS UNEDA 'COMPACTA'  
DWARF STRAWBERRY TREE



ELAEOCARPUS DECIPIENS  
JAPANESE BLUEBERRY



FICUS NITIDA 'GREEN GEM'  
GREEN GEM FICUS



GREVILLEA X 'PEACHES AND CREAM'  
PEACHES AND CREAM GREVILLEA



LAURUS SARATOGA  
SARATOGA HYBRID LAUREL



LAURUS NOBILIS 'LITTLE RAGU'  
LITTLE RAGU SWEET BAY



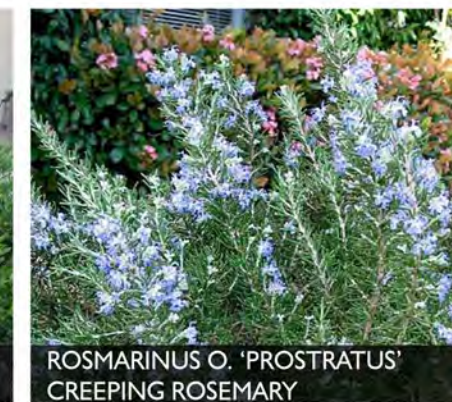
LEUCOSPERMUM 'FLAME GIANT'  
GIANT ORANGE PINCUSHION



LEUCOPHYLLUM 'LOS ALAMITOS'  
TEXAS SAGE



OLEA EUROPAEA 'LITTLE OLLIE'  
LITTLE OLLIE DWARF OLIVE



ROSMARINUS O. 'PROSTRATUS'  
CREEPING ROSEMARY



SALVIA 'ALLEN CHICKERING'  
CLEVELAND SAGE



WESTRINGIA 'WYNYABBIE GEM'  
WYNYABBIE GEM COAST ROSEMARY



AGAVE ATTENUATA  
FOXTAIL AGAVE



AGAVE ATTENUATA 'RAY OF LIGHT'  
RAY OF LIGHT FOXTAIL AGAVE



AGAVE ATTENUATA 'NOVA'  
NOVA FOXTAIL AGAVE



AGAVE ATTENUATA 'BLUE FLAME'  
BLUE FLAME AGAVE



ALOE STRIATA  
CORAL ALOE



CRASSULA 'BLUE WAVES'  
JADE PLANT



CHONDROPETALUM TECTORUM  
CAPE RUSH



FURCRAEA FOETIDA 'MEDIOPICTA'  
MAURITIS HEMP



CAREX PANSA  
CALIFORNIA MEADOW SAGE



CALAMAGROSTIS 'KARL FOERSTER'  
FEATHER REED GRASS



CHONDROPETALUM TECTORUM  
CAPE RUSH



DIANELLA REVOLUTA 'LITTLE REV'  
LITTLE REV FLAX LILY



DIANELLA TASMANICA 'VARIEGATA'  
FLAX LILY



JUNCUS PATENS  
CALIFORNIA RUSH



LEYMUS 'CANYON PRINCE'  
CANYON PRINCE GIANT WILD RYE



LOMANDRA LONGIFOLIA 'BREEZE'  
MAT RUSH



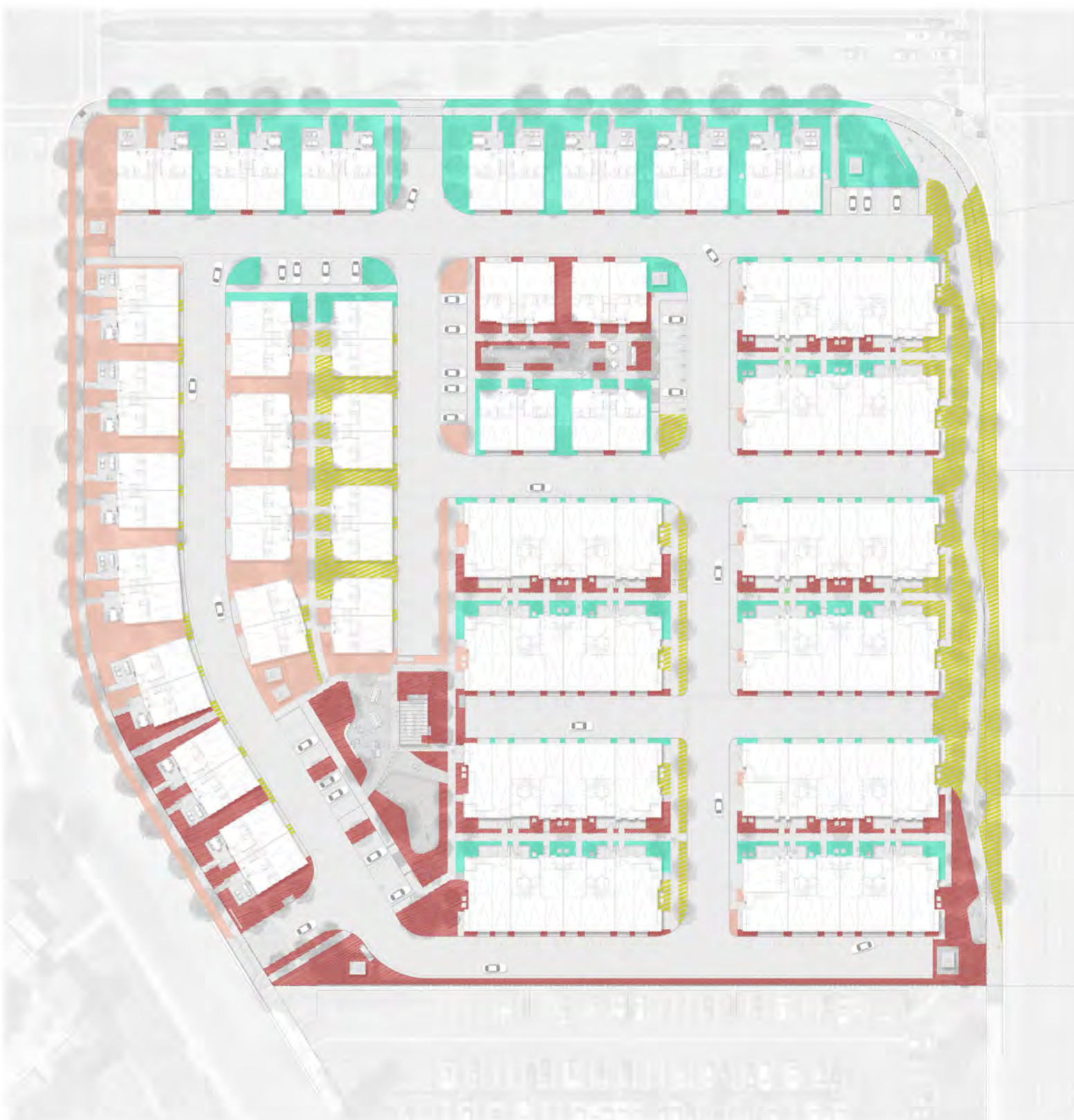
LOMANDRA 'PLATINUM BEAUTY'  
PLATINUM BEAUTY



SESLERIA X 'CAMPO AZUL'  
CAMPO AZUL MOOR GRASS

ACCENTS

GRASSES



**WATER USE CLASSIFICATION of LANDSCAPE SPECIES (WUCOLS):**

WUCOLS, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, IS A UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION PUBLICATION AND IS A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS.

CROP FACTOR	PERCENT OF ETo
H - HIGH	70% - 90%
M - MEDIUM	40% - 60%
L - LOW	10% - 30%
VL - VERY LOW	< 10%

**IRRIGATION HYDROZONES:**

SYMBOL	HYDROZONE	AREA	WATER USAGE	PLANT FACTOR (Kc)
[Red Box]	HYDRO-ZONE - 1 WESTERN SUN EXPOSURE IRRIGATION TECHNIQUE SHRUBS - SUB SURFACE DRIP IRRIGATION	15,602 S.F.	LOW	0.30
[Green Box]	HYDRO-ZONE - 2 NORTHERN SUN EXPOSURE/PODIUM BUILDING SHADE IRRIGATION TECHNIQUE SHRUBS - SUB SURFACE DRIP IRRIGATION	18,411 S.F.	LOW	0.30
[Orange Box]	HYDRO-ZONE - 3 SOUTHERN SUN EXPOSURE IRRIGATION TECHNIQUE SHRUBS - SUB SURFACE DRIP IRRIGATION	18,016 S.F.	LOW	0.30
[Yellow Box]	HYDRO-ZONE - 4 EASTERN SUN EXPOSURE IRRIGATION TECHNIQUE SHRUBS - SUB SURFACE DRIP IRRIGATION	15,809 S.F.	LOW	0.30
TOTAL HYDROZONE AREA:		67,838 S.F.		

**LANDSCAPE AREA:**

TOTAL SITE AREA:	297,676 S.F.
LANDSCAPE REQUIRED:	23,814 S.F. (8%)
LANDSCAPE PROVIDED:	67,838 S.F. (23%)

- WATER CONSERVATION STATEMENT**
- PURPOSE: TO PROVIDE THE MAINTENANCE STAFF A MECHANICAL DEVICE TO DISTRIBUTE WATER AND ENSURE PLANT SURVIVAL IN THE MOST EFFICIENT MANNER AND WITHIN A TIME FRAME THAT LEAST INTERFERES WITH THE ACTIVITIES OF THE COMMUNITY.
  - THE IRRIGATION SYSTEM FOR EACH HYDROZONE WILL BE AUTOMATIC AND INCORPORATE LOW VOLUME DRIP EMITTERS, BUBBLERS AND HIGH EFFICIENCY LOW ANGLE SPRAY HEADS AT TURF ONLY. DRIP IRRIGATION SYSTEMS MAY BE EMPLOYED WHERE CONSIDERED TO BE EFFECTIVE AND FEASIBLE. IRRIGATION VALVES SHALL BE SEPARATED TO ALLOW FOR THE SYSTEMS OPERATION IN RESPONSE TO ORIENTATION AND EXPOSURE.
  - PLANTING WILL BE DESIGNED TO ENHANCE THE VISUAL CHARACTER OF THE SITE AND THE ARCHITECTURAL ELEMENTS. PLANTS SHALL BE GROUPED WITH SIMILAR WATER, CLIMATIC AND SOIL REQUIREMENTS TO CONSERVE WATER AND CREATE A DROUGHT RESPONSIVE LANDSCAPE.
  - EACH HYDROZONE CONSISTS OF MODERATE TO LOW WATER CONSUMING PLANTS. IN AREAS OF MODERATE WATER CONSUMING PLANTS THEY SHALL BE PROPERLY AMENDED TO RETAIN MOISTURE FOR HEALTHY GROWTH AND TO CONSERVE WATER.
  - PLANT MATERIAL WITHIN EACH HYDROZONE SHALL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST AND WEST EXPOSURES.
  - SOIL SHALL BE PREPARED AND EMENDED TO PROVIDE FOR MAXIMUM MOISTURE RETENTION AND PERCOLATION. PLANTED BEDS SHALL BE MULCHED TO RETAIN SOIL MOISTURE AND REDUCE EVAPOTRANSPIRATION.
  - TO AVOID WASTED WATER, THE CONTROLS WILL BE OVERSEEN BY A FLOW MONITOR THAT WILL DETECT ANY BROKEN SPRINKLER HEADS TO STOP THAT STATION'S OPERATION, ADVANCING TO THE NEXT WORKABLE STATION. IN THE EVENT OF PRESSURE SUPPLY LINE BREAKAGE, IT WILL COMPLETELY STOP THE OPERATION OF THE SYSTEM. ALL MATERIAL WILL BE NONFERROUS, WITH THE EXCEPTION OF THE BRASS PIPING INTO AND OUT OF THE BACKFLOW UNITS. ALL WORK WILL BE IN THE BEST ACCEPTABLE MANNER IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS PREVAILING IN THE INDUSTRY.

- WATER CONSERVATION FEATURES**
- THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:
- IRRIGATION PLANS TO BE DESIGNED TO MEET THE REQUIREMENTS OF CITY OF NEWPORT BEACH CHAPTER 14.17 - WATER EFFICIENT LANDSCAPING
  - INSTALLATION OF AUTOMATIC 'SMART' IRRIGATION CONTROLLER WITH RAIN-SENSOR.
  - THE USE OF LOW PRECIPITATION/LOW ANGLE IRRIGATION SPRAY HEADS.
  - THE USE OF LOW WATER CONSUMING PLANTS.
  - SOIL AMENDMENT TO ACHIEVE GOOD SOIL MOISTURE RETENTION.
  - MULCHING TO REDUCE EVAPOTRANSPIRATION FROM THE ROOT ZONE.
  - INSTALLATION OF AUTOMATIC IRRIGATION SYSTEM TO PROVIDE DEEP-ROOT WATERING TO TREES IS REQUIRED.

**NO NATURAL TURF PROPOSED**

**WATER EFFICIENT LANDSCAPE WORKSHEET**

Reference Evapotranspiration (ETo) 50.33 ETAF for MAWA 0.55 (Residential)

Hydrozone # Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IEF)	ETAF (PF*IE)	Landsc. Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
<b>Regular Landscape Areas</b>								
Hydrozone 1 - Western Sun Exposure	0.30	drip	0.81	0.37	15,602	5,779	180,316	
Hydrozone 2 - Northern Sun Exposure	0.30	drip	0.81	0.37	18,411	6,819	212,781	
Hydrozone 3 - Southern Sun Exposure	0.30	drip	0.81	0.37	18,016	6,673	208,216	
Hydrozone 4 - Eastern Sun Exposure	0.30	drip	0.81	0.37	15,809	5,855	182,709	
Totals						67,838	25,125	784,021
<b>Special Landscape Areas</b>								
Totals								
						ETWU Total	784,021	
						Maximum Allowed Water Allowance (MAWA)	1,164,272	

\*Hydrozone #/Planting Description  
E.g.  
1) front lawn  
2) low water use plantings  
3) medium water use planting

\*Irrigation Method  
overhead spray or drip

\*Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

\*ETWU (Annual Gallons Required)  
= ETo x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

\*MAWA (Annual Gallons Allowed) = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

<b>Regular Landscape Areas</b>	
Total ETAF x Area	25,125
Total Area	67,838
Average ETAF	0.37
<b>All Landscape Areas</b>	
Total ETAF x Area	25,125
Total Area	67,838
Site-wide ETAF	0.37

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Eto data for CIMIS Station #75 from City of Irvine 8/7/2025



CONCEPTUAL IRRIGATION PLAN  
1300 DOVE ST ATTACHED RESIDENTIAL  
Newport Beach, California

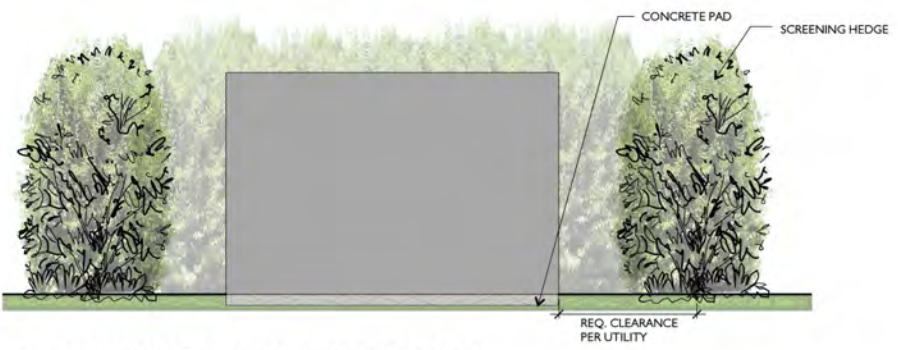
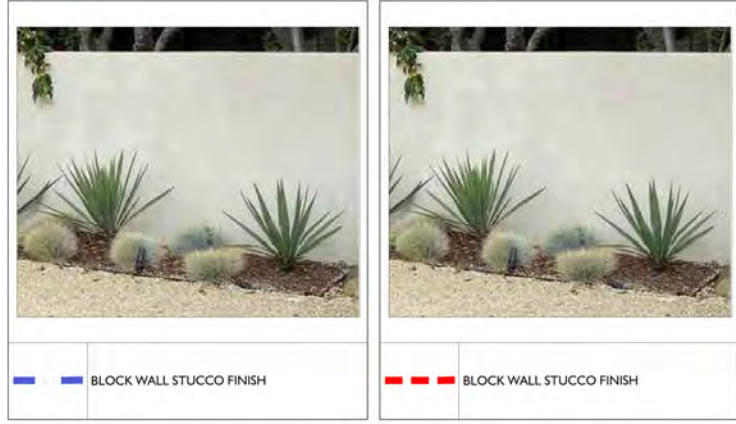
City of Newport Beach

L.9  
02.09.26  
Lincoln

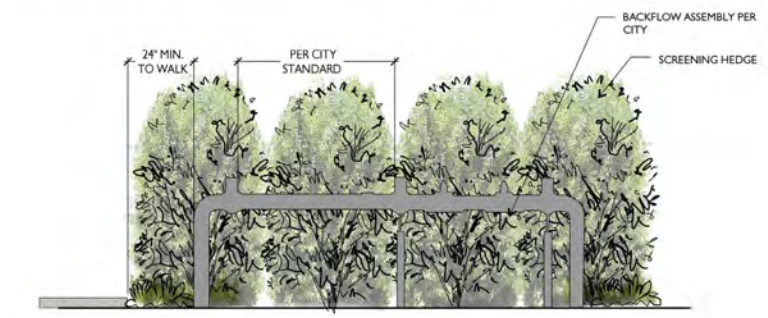


**WALL AND FENCING KEY:**

SYMBOL	DESCRIPTION:
	6' HT. CMU BLOCK WALL WITH STUCCO FINISH. SEE CIVIL FOR RETAINING CONDITIONS FINISH: STUCCO COLOR: TO MATCH BUILDING
	4' HT. CMU BLOCK WALL FINISH: STUCCO COLOR: TO MATCH BUILDING



TYP. SECTION AT TRANSFORMER SCREENING



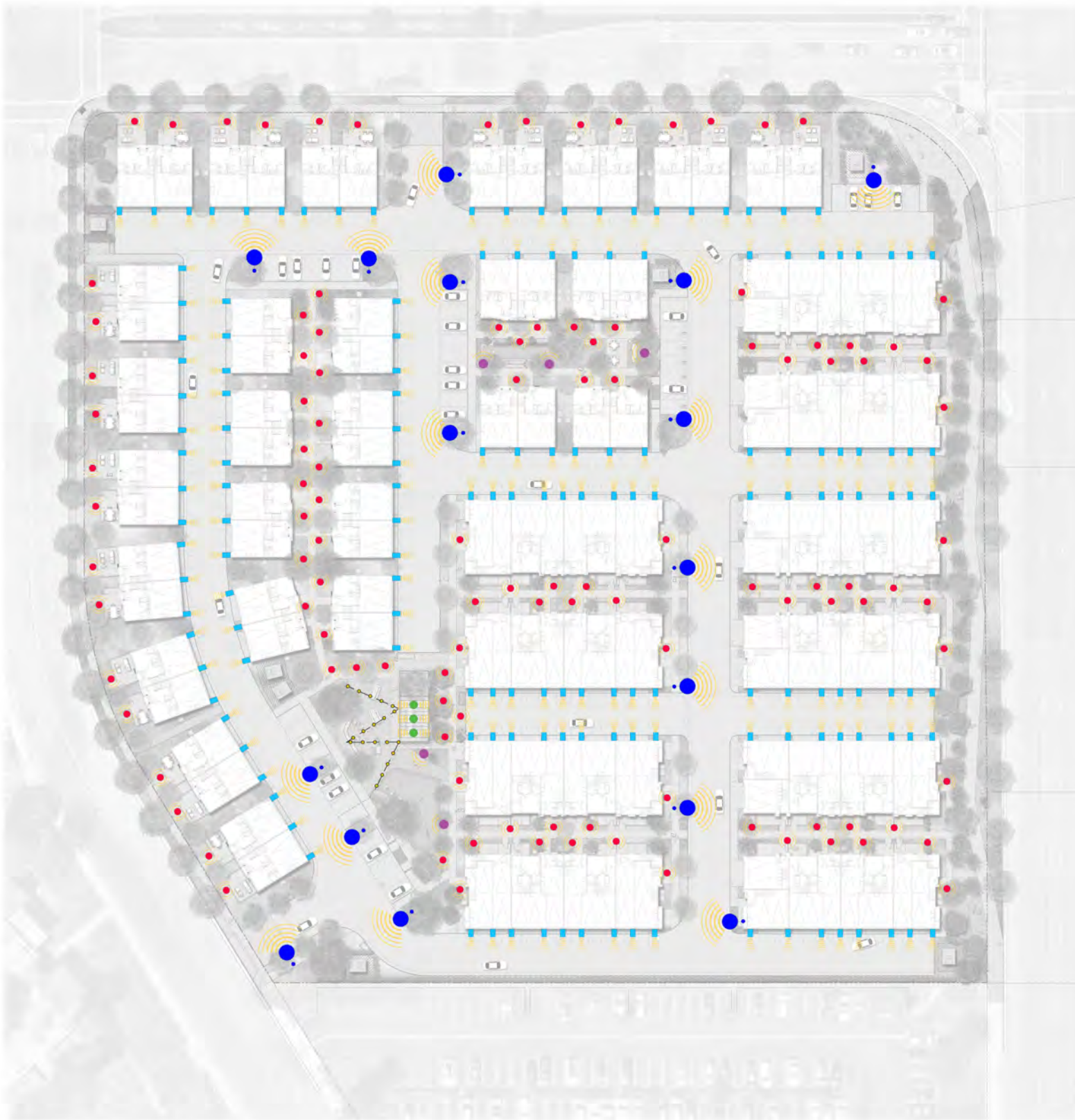
TYP. SECTION AT UTILITY SCREENING



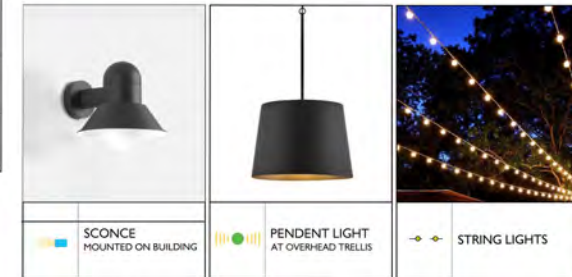
**WALL AND FENCE PLAN**  
**1300 DOVE ST ATTACHED RESIDENTIAL**  
 Newport Beach, California

City of Newport Beach

**L.10**  
 02.09.26  
**Lincoln**



EXTERIOR LIGHTING LEGEND		
SYMBOL	TYPE/TECHNIQUE:	LOCATION:
	STREET LIGHT	VEHICULAR DRIVES - WITH CUTOFF SHIELDS
	THEME POLE LIGHT	AMENITY SPACES
	BOLLARD	AT PEDESTRIAN PATH OF TRAVEL
	SCONCE	MOUNTED ON BUILDING
	PENDENT LIGHT	MOUNTED ON OVERHEAD TRELLIS
	STRING LIGHTING	AMENITY SPACES



**EXTERIOR LIGHTING NOTES:**

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTRUSIVE. LIGHT SOURCES WILL BE TUNGSTEN OR METAL HALIDE.

LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED. CUTOFF SHIELDS WILL BE USED IF NECESSARY.

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPATHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

**\* FOR REFERENCE ONLY \***