

# **Attachment No. PC 7**

Project Plans

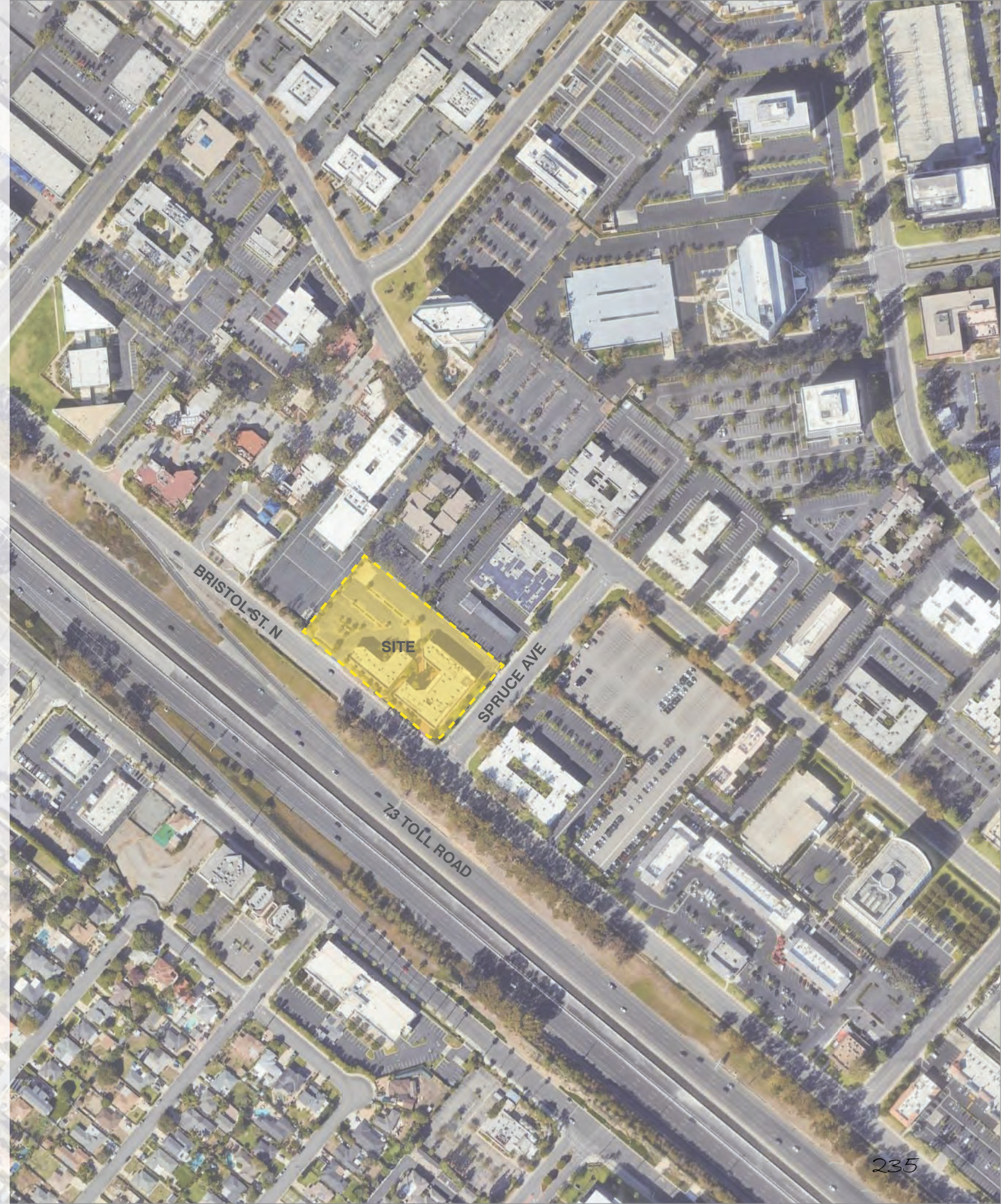
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# 1400 BRISTOL ST. N

## 3RD ENTITLEMENT SUBMITTAL

AUGUST 11, 2023





PROJECT DESCRIPTION

The proposed “1400 Bristol” project is a luxury apartment community located on a 2.38 acre site at the North-West corner of Bristol Street North and Spruce Avenue in Newport Beach, California. The current land use is a 2 story office complex with surface parking.

The project will be a 6-story 229-unit podium building, with 5 levels of residential apartment (type III) over 1 level on-grade parking garage and 2 levels of sub-terranean parking (type I). The project will offer a mix of unit types including Studios, One-Bedrooms, and Two-bedroom units ranging from 515 s.f. to 1469 s.f.

Vehicular entries to the building are via driveways on Spruce Avenue and Bristol Street. Ground-level amenities will include a business center, lobby, and mail room. Additional amenities on the podium level include a large, programmed club room with an outdoor “California room” and a media center. The podium level will also have a resort-style pool, spa and outdoor seating and cabanas.

The architectural design approach at 1400 Bristol reflects the surrounding office context. Its contemporary forms complement the existing office buildings to create a building that respects the current condition while creating a distinctly unique identity. The Project corners are enhanced with rich materials to bring attention to and articulate the prominent areas of the Project. The approach to the building site orientation was to create a sheltered refuge in the greater business development by enclosing the courtyards from the busy roadways of Spruce Avenue and Bristol Street. The project will connect to the adjacent 1300 Bristol residential project via a new pedestrian bridge.

The Project will comply with the Cal-Green building code and utilize the following sustainable features:

- Low flow plumbing fixtures
- Moisture-based irrigation controller
- Stormwater infiltration
- EV parking stalls
- Low-E glazing
- Low VOC paint & coatings
- LED light fixtures
- Low VOC emitting finished (carpet, resilient flooring, wood)
- Building PV ready
- Energy Star appliances and bathroom fixtures

PROJECT TEAM

DEVELOPER:



**The Picerne Group**  
5000 Birch St. East Tower, Suite 600  
Newport Beach, CA 92660  
Contact: Satish Lion

P: 949.910.3428  
www.thepicernegroup.com  
slion@picernegroup.com

ARCHITECT:



**TCA Architects**  
19782 MacArthur Blvd., Suite 300  
Irvine, CA 92612  
Contact: Cory Bitting

P: 949.862.0270  
P: 760.828.0738  
www.tca-arch.com  
cbitting@tca-arch.com

LANDSCAPE ARCHITECT:



**Lifescapes International Inc**  
4930 Campus Drive  
Newport Beach, CA 92660  
Contact: Mike Meyers

P: 949.476.8888 Ext. 217  
P: 949-351-4389  
www.lifescapesintl.com  
mike@lifescapesintl.com

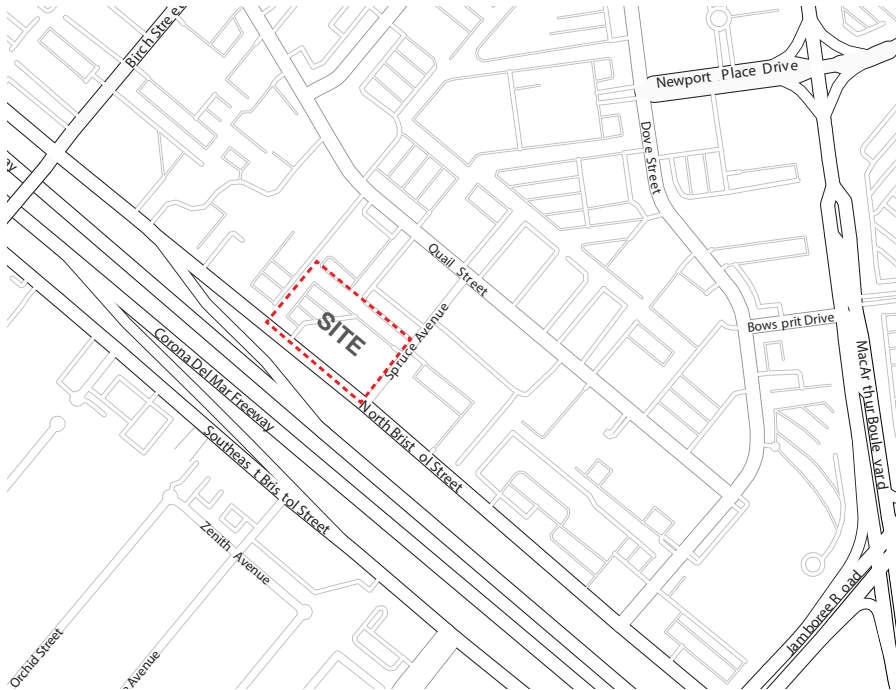
CIVIL ENGINEER:



**TAIT & Associates, Inc.**  
801 N Parkcenter Drive  
Santa Ana, CA 92705  
Contact: David Sloan, PE

P: 714.560.8643  
P: 562.547.0705  
www.tait.com  
dsloan@tait.com

VICINITY MAP



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PROJECT DATA

PROJECT ADDRESS:  
1400 BRISTOL ST N.

PARCEL NUMBER:  
427-332-02

ZONING:  
PC-11

EXISTING LAND USE:  
Office, surface parking

PROPOSED LAND USE:  
Multi-story Residential

GOVERNING CODES:  
2022 CBC, 2022 CRC, 2022 CA Mechanical Code, 2022 CA Plumbing Code, 2022 CA Electrical Code, 2022 CA Energy Code, 2022 CALGreen, City of Newport Beach Municipal Code. Project Does Not Receive Any Public Funding.

TYPES OF CONSTRUCTION:  
Type III-A Residential, Residential Amenities  
Type I-B Parking Garage  
NFPA-13 fire sprinkler system throughout.

OCCUPANCY CLASSIFICATION:  
R-2 Residential Units  
B Leasing  
A-3 Residential Amenities  
S-2 Garage (Mechanically Ventilated), Storage

SITE AREA: 103,500 SF  
2.38 ac

BUILDING AREAS:  
Total Building Area 485,909 SF  
Garage Area 205,078 SF  
Net rentable 196,700 SF

ALLOWED DENSITY: (PER PC-11)  
Max Density 50 du/ac  
119 units

PROPOSED DENSITY:  
Proposed Density 96 du/ac  
229 units

BUILDING HEIGHT LIMITATION: (PER PC-11)  
Height Limit: 55'-0"

PROPOSED BUILDING HEIGHT  
PROPOSED: 85'-0"  
6-STORIES

REQUIRED SETBACKS: (PER PC-11)  
Street: 30'-0"  
Interior: 10'-0"

PROPOSED SETBACKS:  
Bristol Street: 18'-0" to bldg  
Spruce Ave: 8'-0"  
Side yard: 10'-0"  
Rear yard: 10'-0"

Balconies Shall be Allowed to Encroach Into the Bristol St and Spruce Ave setbacks up to 5 Feet.

UNIT SUMMARY

UNIT TYPE	NET S.F.*	Total # Units	% of Unit Mix	Total Net Rent.	AVG. S.F.	Req. Balcony S.F.	Provided Balcony S.F.	Total Balcony S.F.
STUDIO:								
S101	515	40		20,600		26	0	-
SUBTOTAL		40	17.5%	20,600	515			
1 BR:								
A105	613	15		9,195		31	62	930
A110	663	29		19,227		34	55	1,595
A406	823	15		12,345		42	68	1,020
A505	715	20		14,300		36	46	920
A602	896	29		25,984		45	65	1,885
A710	861	18		15,498		44	134	2,412
SUBTOTAL		126	55.0%	96,549	766			
2 BR:								
B103	1,049	20		20,980		53	63	1,260
B601	1,270	4		5,080		64	61	244
B709	1,341	15		20,115		68	92	1,380
B921 A	1,309	10		13,090		66	85	850
B935	1,413	5		7,065		71	58	290
B936	1,469	9		13,221		74	261	2,349
SUBTOTAL		63	27.5%	79,551	1,263			
PROJECT TOTAL		229	100.0%	196,700	859			15,135

\* Square footage is taken from centerline of parti walls and outside of exterior walls, excluding decks and balconies.  
\*\* Deck square footage is an average as most decks will vary slightly in size and is not included in Net Rentable Square Footage.

PARKING SUMMARY

REQUIRED RESIDENTIAL PARKING			
Unit Type	# Units	Ratio	Total
Studio	40	1.0	40
1-Bedroom	126	1.0	126
2-Bedrooms	63	1.5	95
	229		261
TOTAL RESIDENTIAL REQ.		1.14	261

REQUIRED ACCESSIBLE PARKING (PART OF REQUIRED PARKING SPACES)			
Unit Type	# of Stalls	Ratio	Total
Assigned	376	0.02	8
Unassigned	46	0.05	3
TOTAL		422	11

1 accessible van stall required for residential parking\*

REQUIRED EV PARKING				
	Ratio	Resident	Guest	Total
EV Capble	0.1	35	5	40
EV Ready	0.25	87	10.5	98
EV Chargers	0.05			21
TOTAL		122	15.5	159

BUILDING GROSS AREAS

Business Center/Mail/Dog Spa - Type I (Level 1)	4,867 SF
Residential	266,076 SF
Garage (Level 1)	65,229 SF
Garage (Level B1 & B2)	139,849 SF
Amenity - Type III (Levels 2 & 5)	9,888 SF
TOTAL	485,909 SF

AMENITY AREAS

REQUIRED			
44 SF/UNIT	x	229 UNITS	10,076 SF
PROVIDED			
Business Center			3,400 SF
Mail Room			1,004 SF
Club Room			3,282 SF
California Room			1,850 SF
Media Center			1,469 SF
Pool RR/Showers			960 SF
Roof Lounge Area			817 SF
Roof Deck			1,510 SF
Dog Spa			463 SF
TOTAL			14,755 SF

COMMON OPEN SPACE

REQUIRED			
75 SF/UNIT	x	229 UNITS	17,175 SF
PROVIDED			
Podium Courtyard			13,800 SF
TOTAL			13,800 SF

CODE ANALYSIS

GARAGE:

CONSTRUCTION TYPE:	I-B
OCCUPANCY TYPE:	S-2
PRIMARY STRUCTURAL FRAME:	2-HOURS
BEARING WALLS:	2-HOURS
NON-BEARING WALLS:	NON-RATED
FLOOR CONSTRUCTION:	2-HOURS
ROOF CONSTRUCTION:	1-HOUR
EXTERIOR WALL AGAINST APT:	2-HOURS

APARTMENTS AND RESIDENTIAL AMENITIES

CONSTRUCTION TYPE:	III-A
OCCUPANCY TYPE:	R-2

	B (LEASING/AMENITIES)
	A-3 (CLUB ROOM)
PRIMARY STRUCTURAL FRAME:	1-HOUR
BEARING WALLS (EXTERIOR):	2-HOURS
BEARING WALLS (INTERIOR):	1-HOUR
NON-BEARING WALLS (INTERIOR):	NON-RATED
FLOOR CONSTRUCTION:	1-HOUR
ROOF CONSTRUCTION:	1-HOUR
FIRE WALLS:	3-HOURS





TPG 1400 BRISTOL N.  
NEWPORT BEACH, CA  
TCA # 2022-144



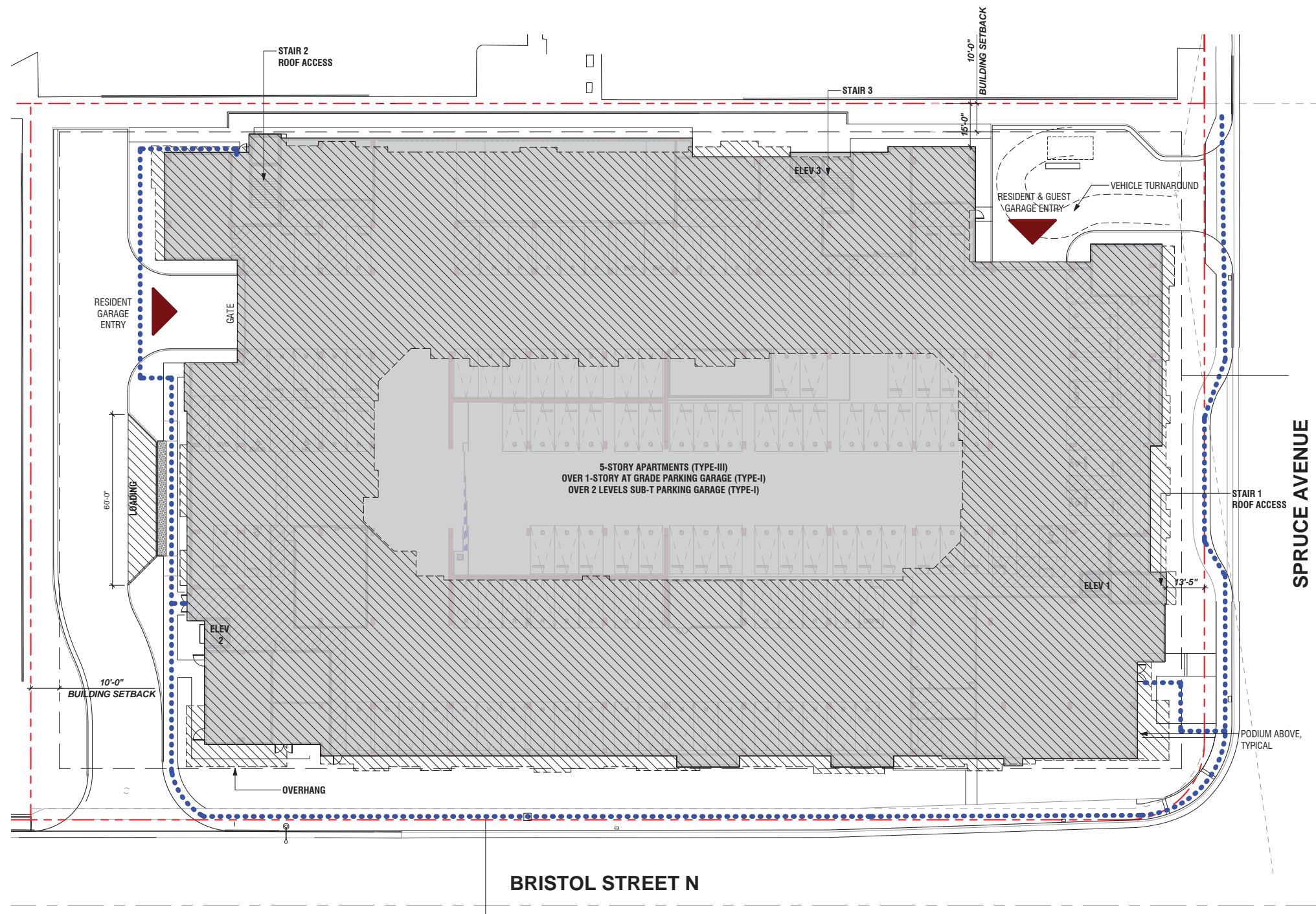
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PROJECT PERSPECTIVE  
VIEW FROM BRISTOL

G-0.3


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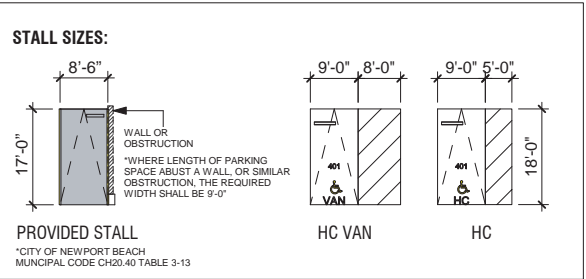
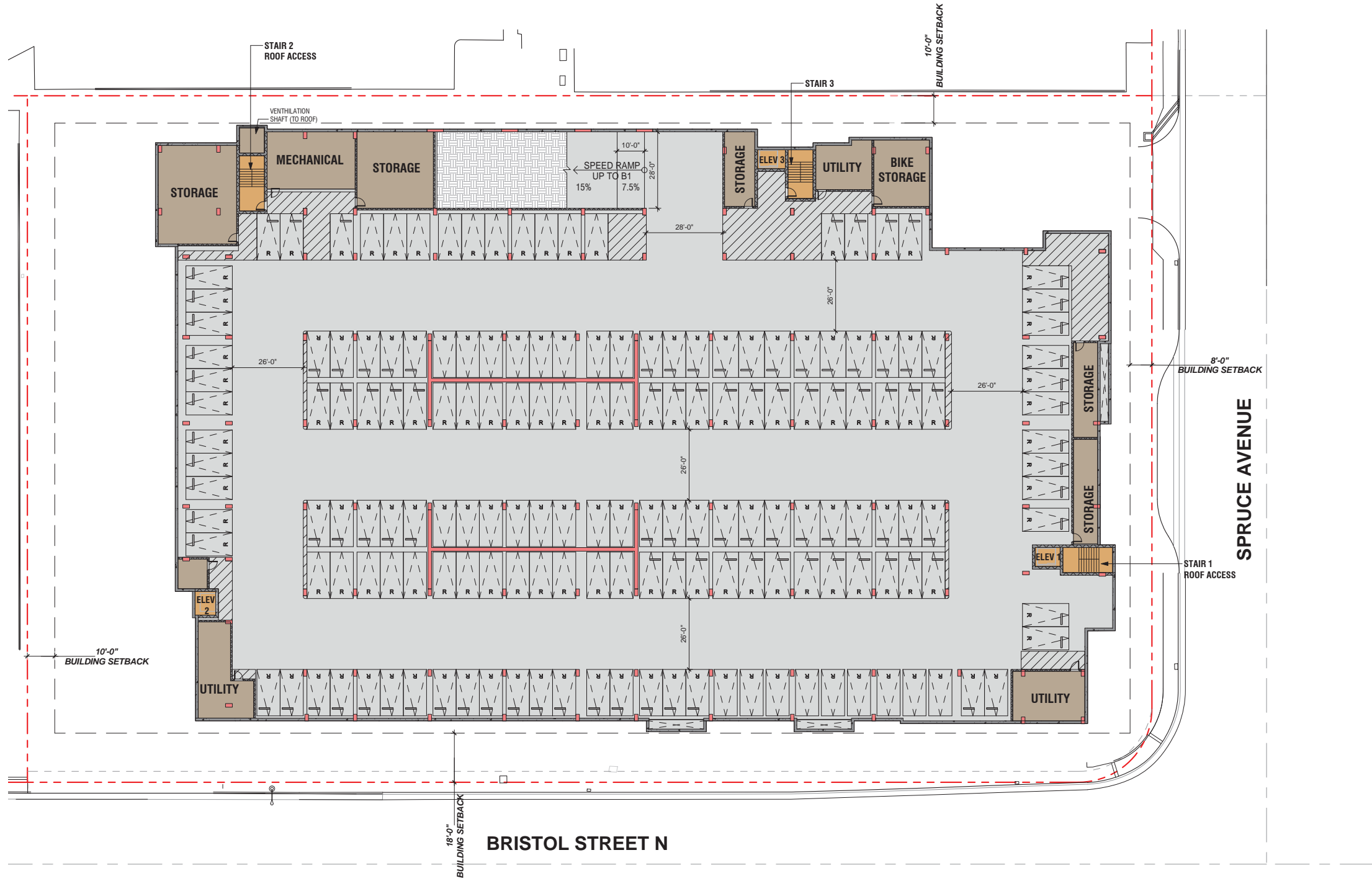


**- NOT A PART -**

### SITE PLAN LEGEND

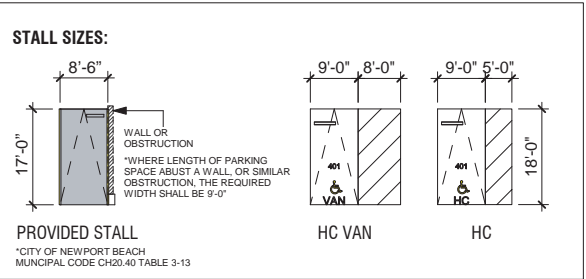
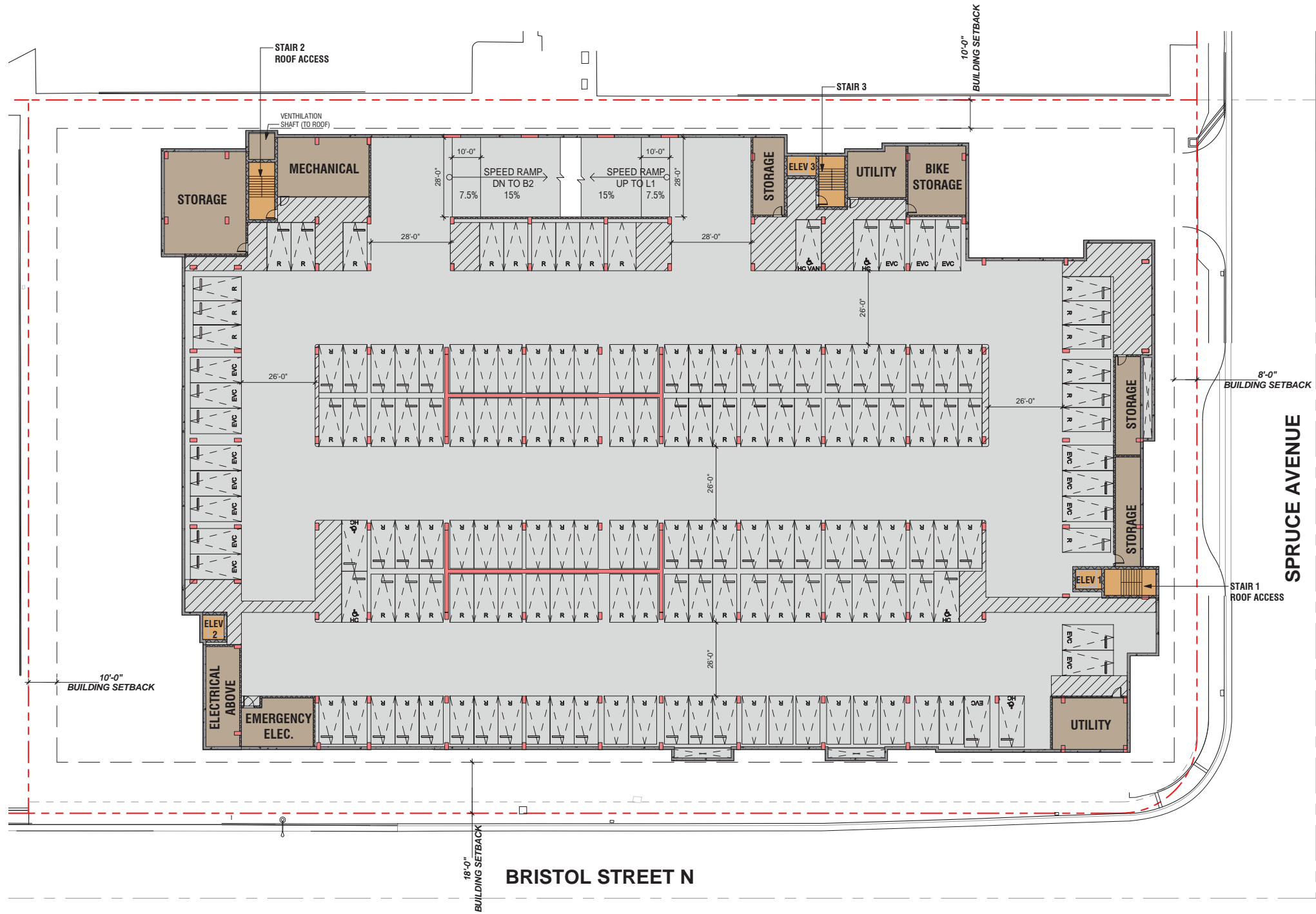
- ..... ACCESSIBLE PATH OF TRAVEL  
 PODIUM ABOVE





- KEY**
- LOBBY / LEASING / AMENITY
  - RESIDENTIAL VERT. CIRC.
  - PARKING
  - BOH



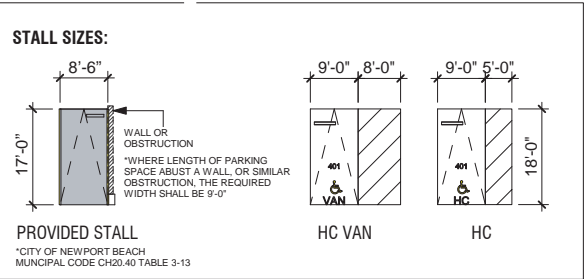


- KEY**
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  - RESIDENTIAL VERT. CIRC.
  - PARKING
  - BOH





- NOT A PART -





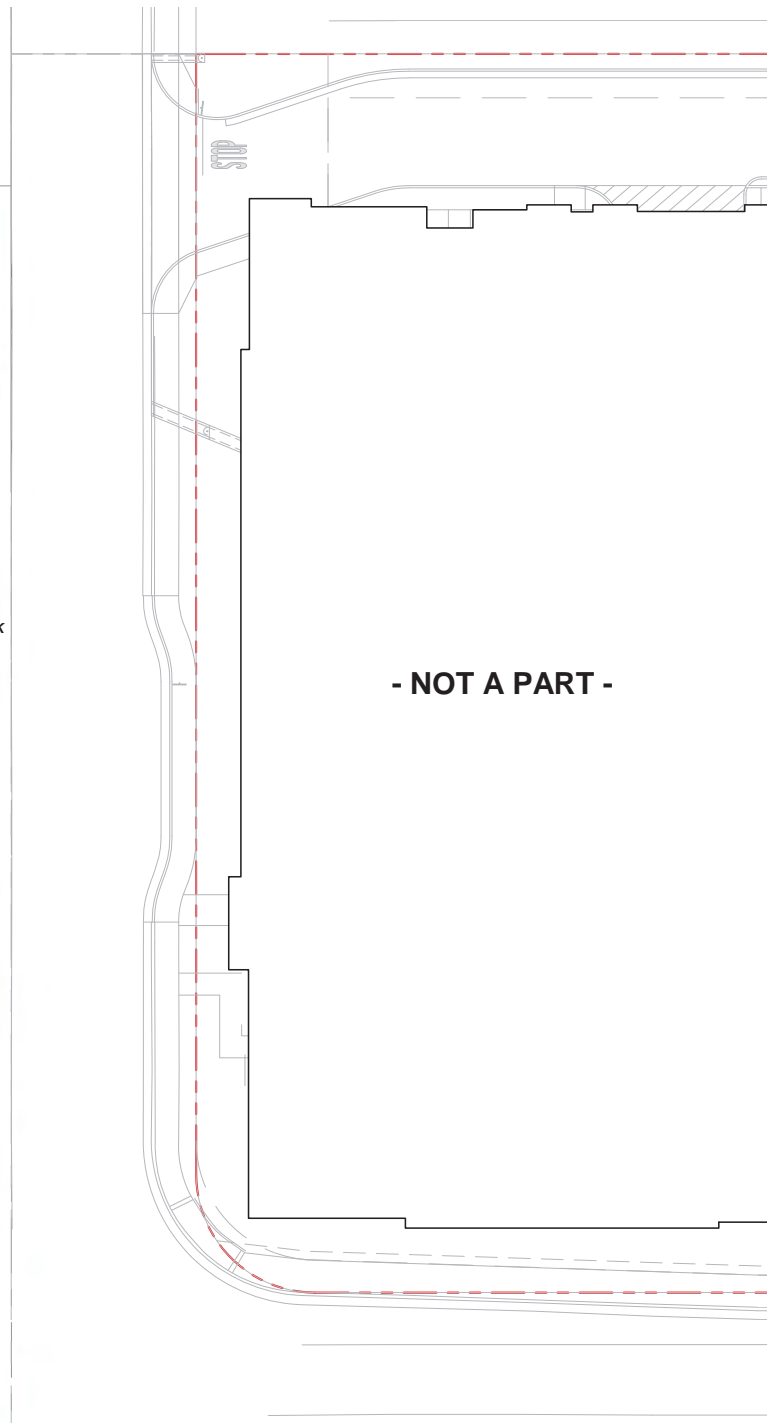




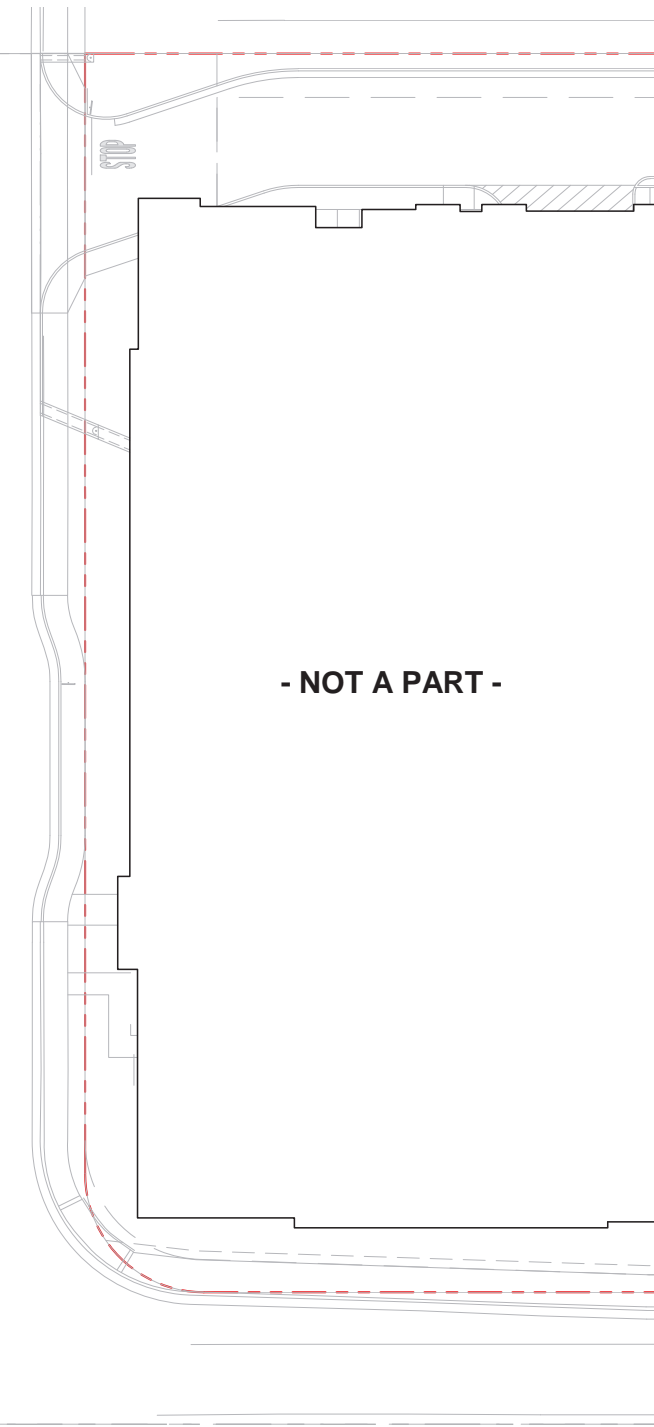
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- KEY**
- LOBBY / LEASING / AMENITY
  - RESIDENTIAL VERT. CIRC.
  - PARKING
  - BOH





- KEY**
- LOBBY / LEASING / AMENITY
  - RESIDENTIAL VERT. CIRC.
  - PARKING
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  - PARKING
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TPG 1400 BRISTOL N.  
NEWPORT BEACH, CA  
TCA # 2022-144

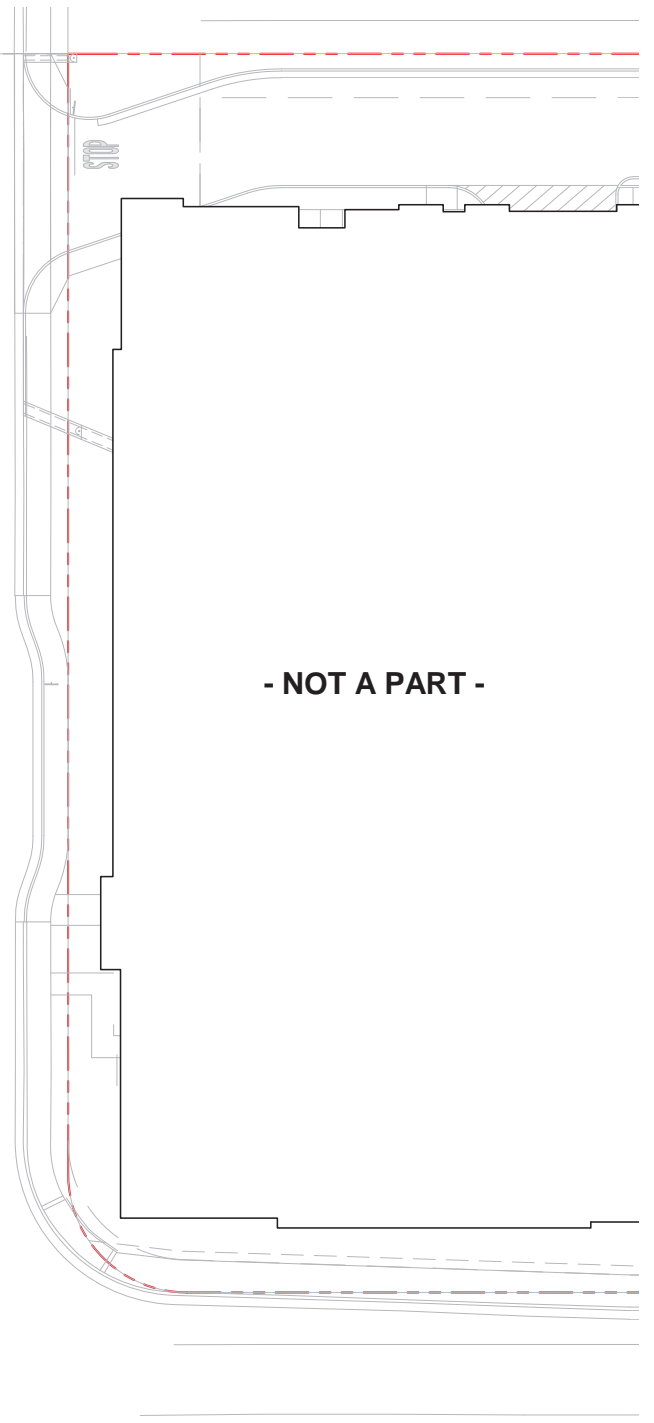


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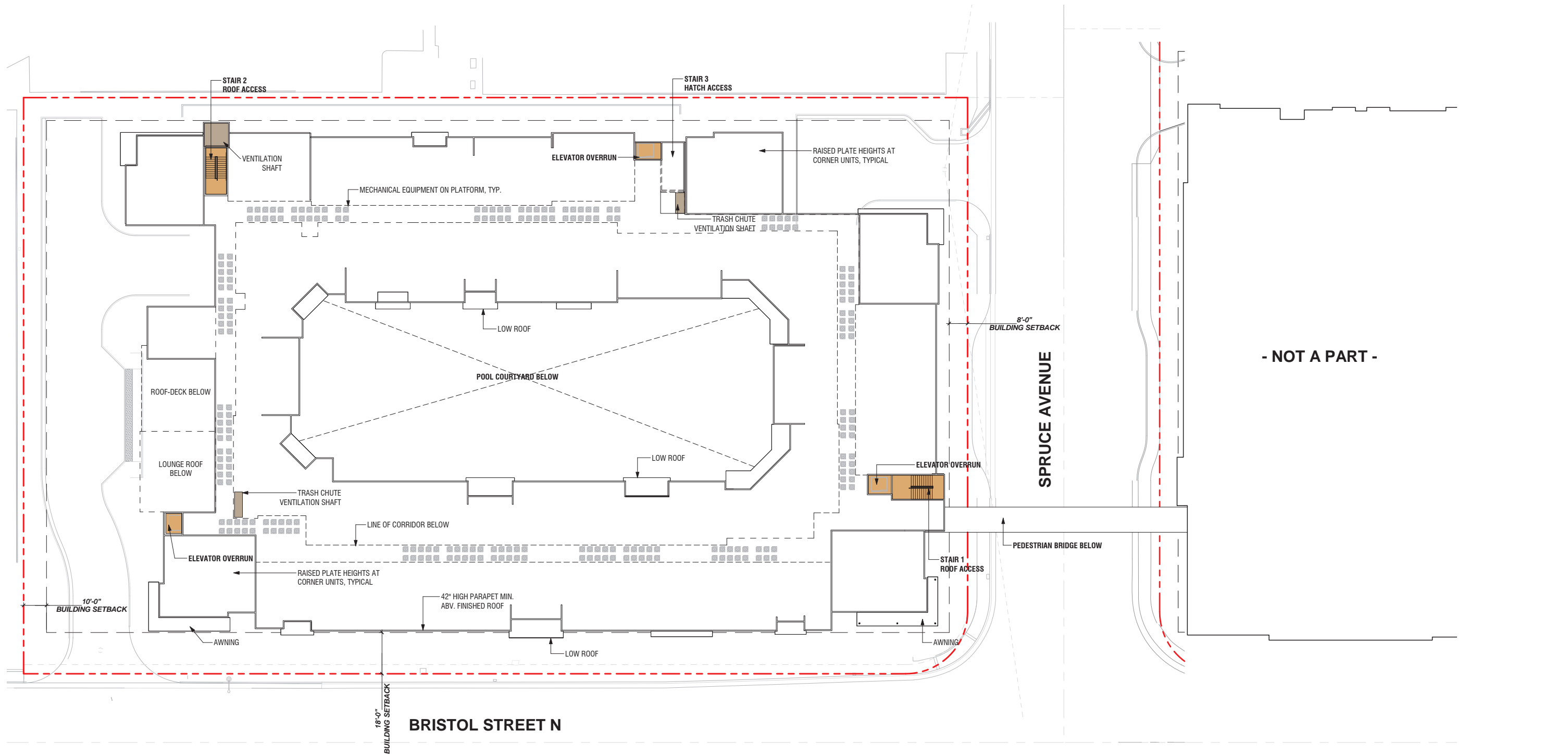


BUILDING PLANS  
LEVEL 5 - FLOOR PLAN












**ROOF LEGEND**

	STAIR TO ROOF
	MECHANICAL EQUIPMENT
	UTILITY SHAFT TO ROOF



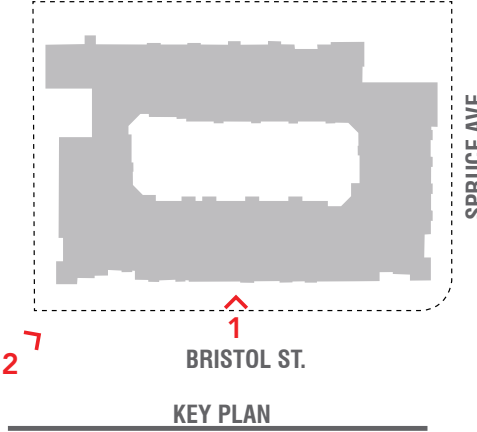


1) 1400 BRISTOL WEST ELEVATION



2) 1400 BRISTOL PERSPECTIVE

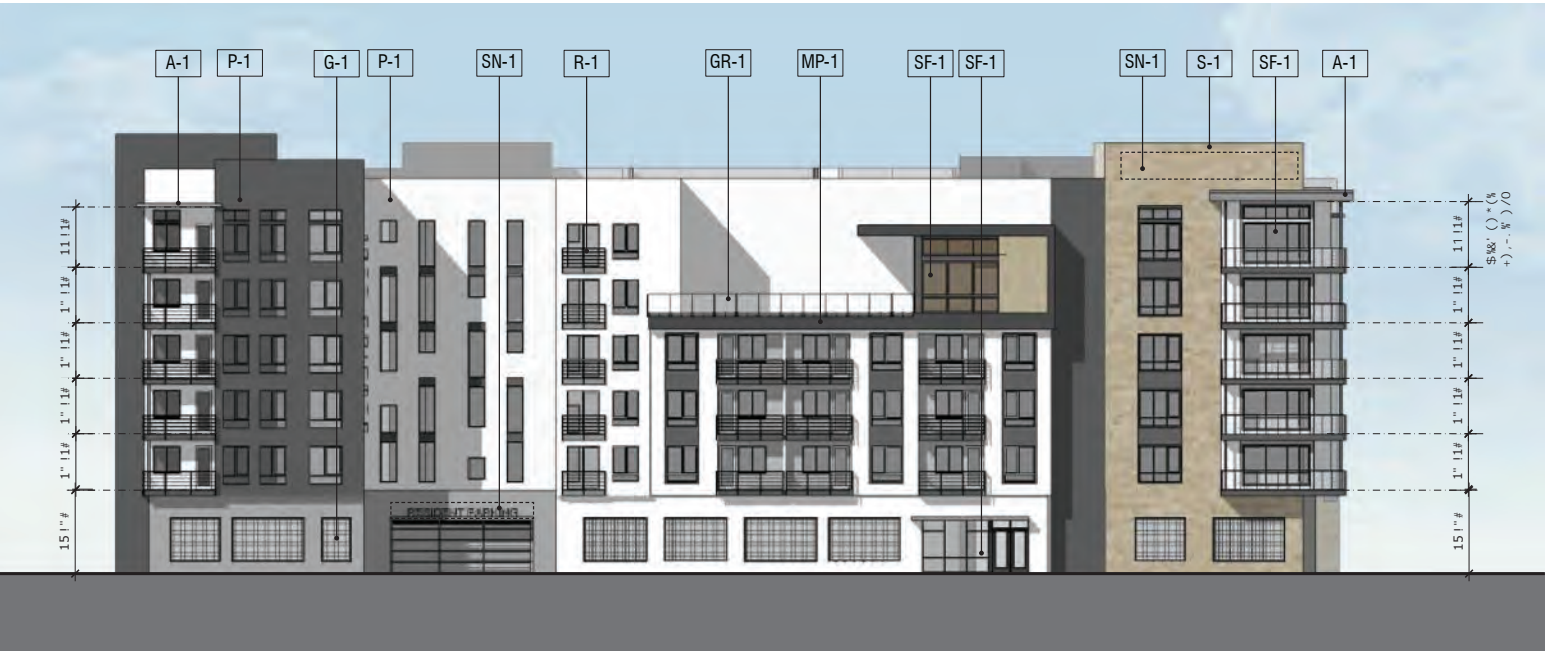
- MATERIAL LEGEND:**
- P-1: EXTERIOR PLASTER
  - CS-1: CEMENTITIOUS SIDING
  - S-1: STONE/TILE VENEER
  - SF-1: STORE FRONT
  - A-1: METAL AWNING
  - R-1: METAL RAILING
  - GR-1: GLASS RAILING
  - G-1: GARAGE SCREENS
  - SN-1: PROPOSED SIGN LOCATIONS
  - MP-1: METAL PANEL



BRISTOL ST.

KEY PLAN





1) 1400 BRISTOL NORTH ELEVATION



2) 1400 BRISTOL PERSPECTIVE

- MATERIAL LEGEND:**
- P-1: EXTERIOR PLASTER
  - CS-1: CEMENTITIOUS SIDING
  - S-1: STONE/TILE VENEER
  - SF-1 STORE FRONT
  - A-1: METAL AWNING
  - R-1: METAL RAILING
  - GR-1: GLASS RAILING
  - G-1: GARAGE SCREENS
  - SN-1: PROPOSED SIGN LOCATIONS
  - MP-1: METAL PANEL



BRISTOL ST.

KEY PLAN





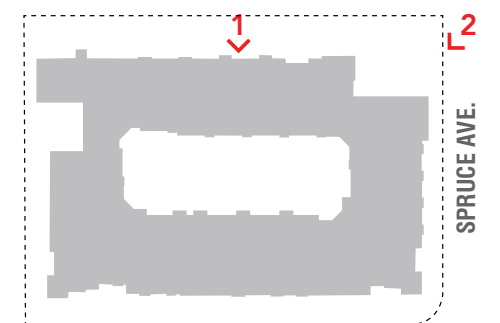
1) 1400 BRISTOL EAST ELEVATION



2) 1400 BRISTOL PERSPECTIVE

**MATERIAL LEGEND:**

- P-1: EXTERIOR PLASTER
- CS-1: CEMENTITIOUS SIDING
- S-1: STONE/TILE VENEER
- SF-1: STORE FRONT
- A-1: METAL AWNING
- R-1: METAL RAILING
- GR-1: GLASS RAILING
- G-1: GARAGE SCREENS
- SN-1: PROPOSED SIGN LOCATIONS
- MP-1: METAL PANEL



BRISTOL ST.

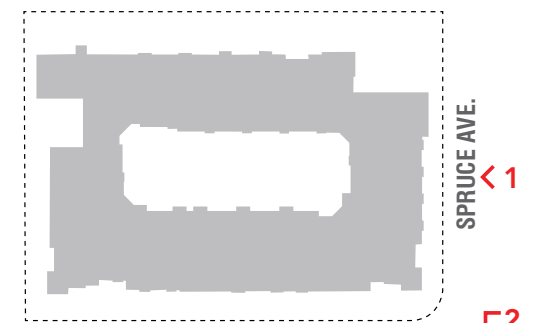
KEY PLAN





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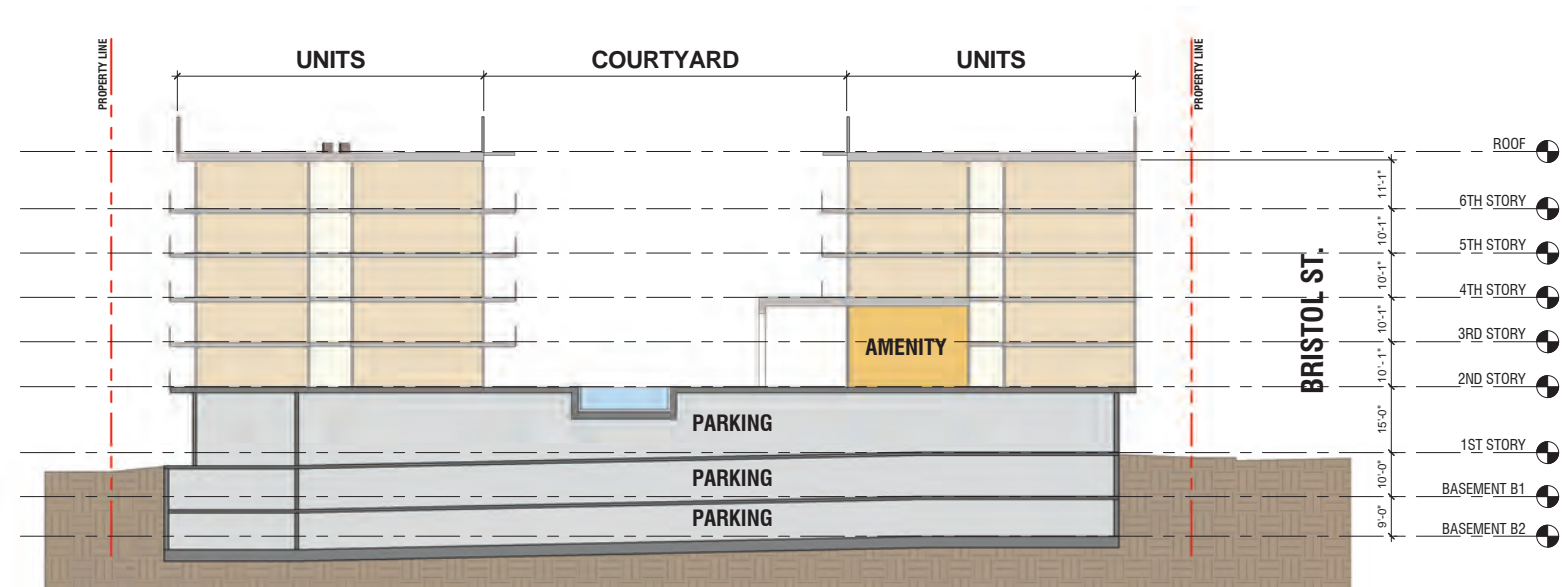
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- CS-1: CEMENTITIOUS SIDING
- S-1: STONE/TILE VENEER
- SF-1 STORE FRONT
- A-1: METAL AWNING
- R-1: METAL RAILING
- GR-1: GLASS RAILING
- G-1: GARAGE SCREENS
- SN-1: PROPOSED SIGN LOCATIONS
- MP-1: METAL PANEL



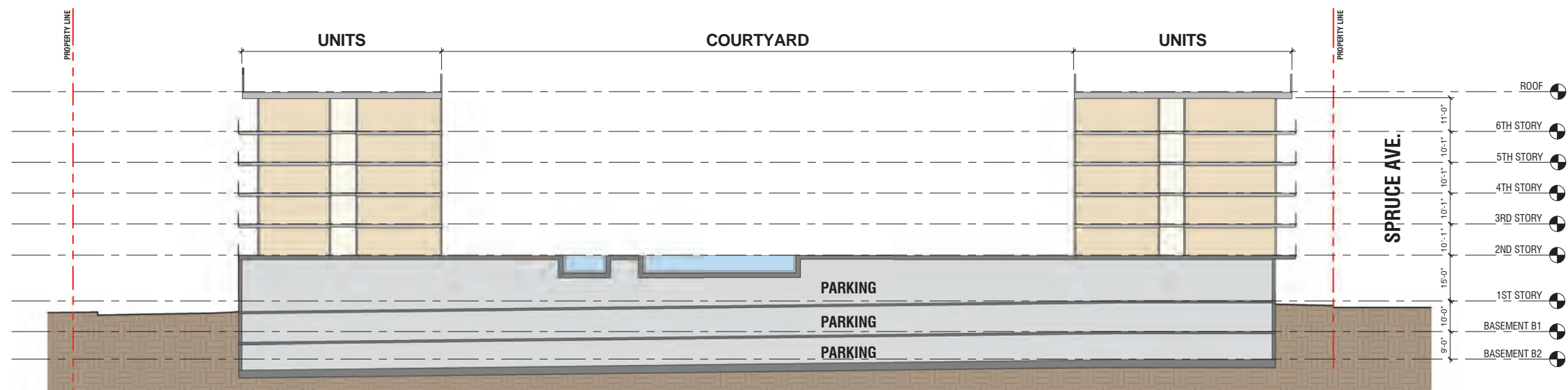
**BRISTOL ST.**

## KEY PLAN

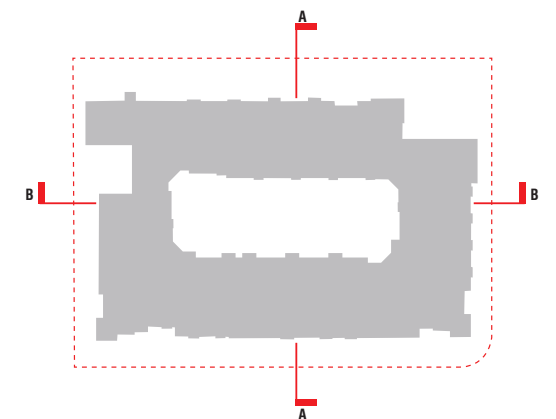




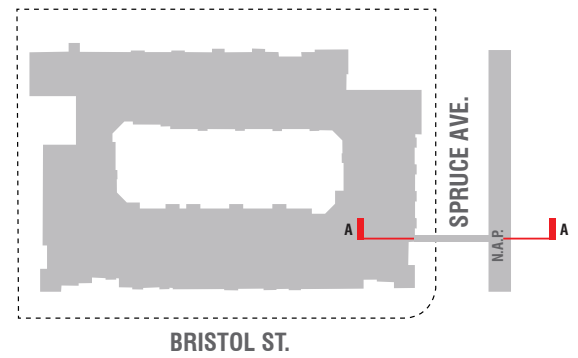
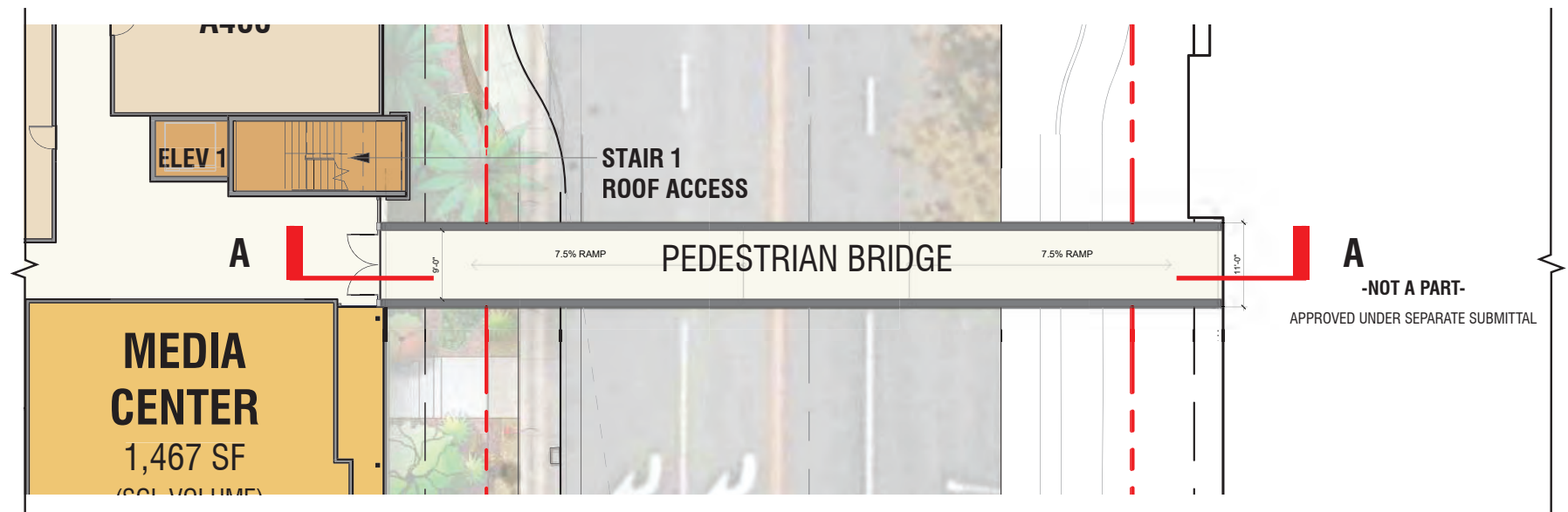
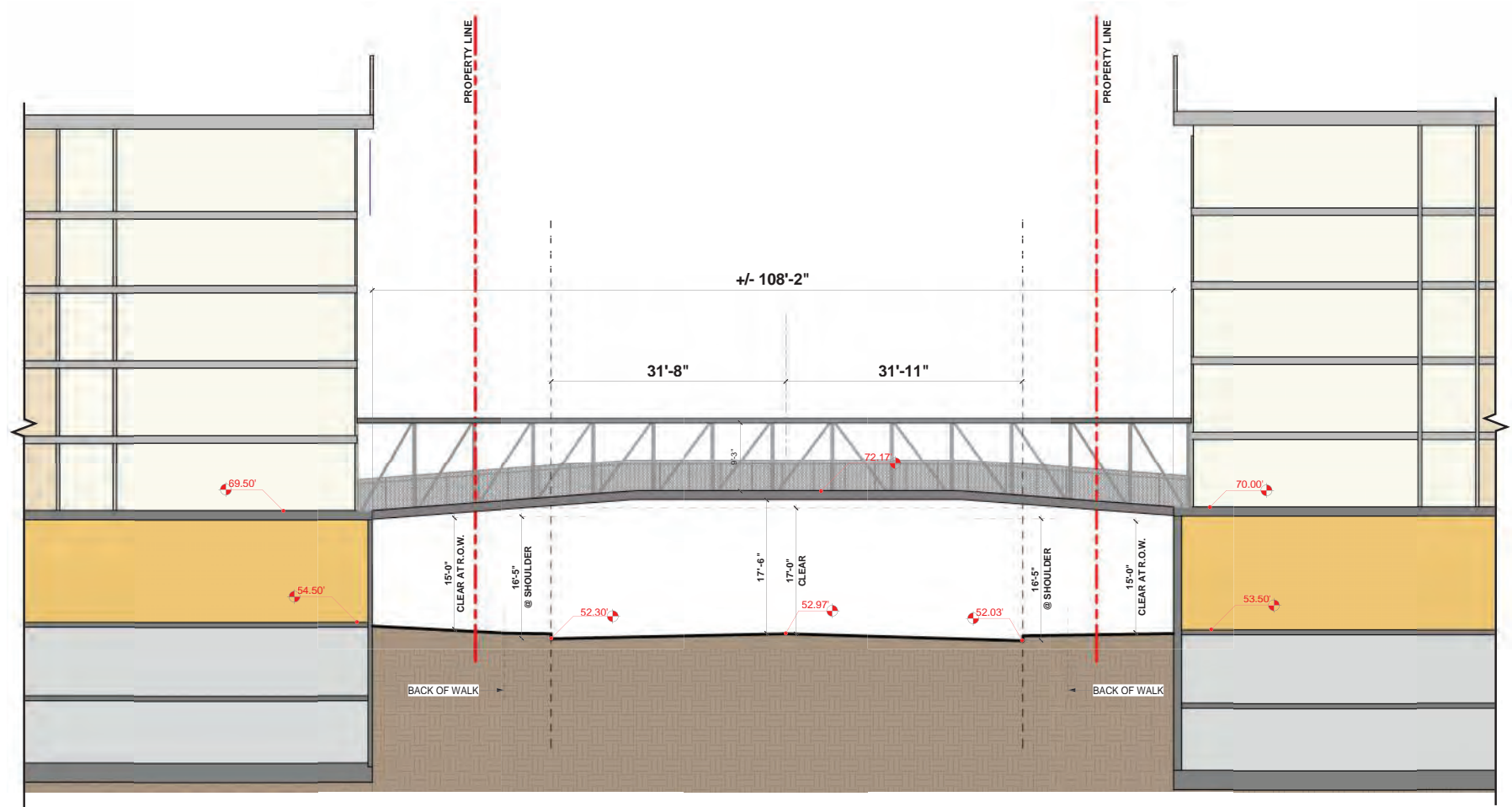
SECTION A



SECTION B



KEY PLAN



A) SECTION & FLOOR PLAN

KEY PLAN



ACCENT COLORS

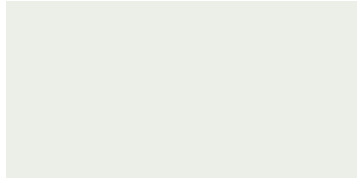


SHERWIN-WILLIAMS  
SW9148 - SMOKY AZURITE  
OR SIMILAR.



SHERWIN-WILLIAMS  
SW7069 - IRON ORE  
OR SIMILAR.

PRIMARY COLORS



SHERWIN-WILLIAMS  
SW7005 - PURE WHITE  
OR SIMILAR.



SHERWIN-WILLIAMS  
SW6254 -  
OR SIMILAR.



SHERWIN-WILLIAMS  
SW9148 - SMOKY AZURITE  
OR SIMILAR.

P-1 EXTERIOR PLASTER



OMEGA PRODUCTS - EXTERIOR PLAS-  
TER 20/30 SAND FINISH OR SIMILAR

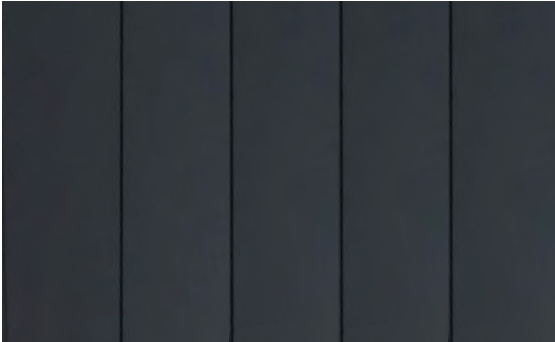
SF-1 STOREFRONT



METALS  
(RAILINGS/AWNINGS/TRIM)



SHERWIN-WILLIAMS  
SW6256 - SERIOUS GRAY  
OR SIMILAR.



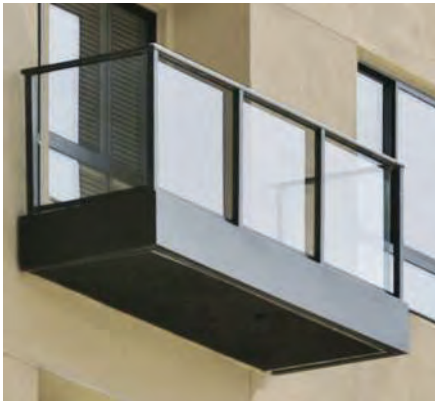
MP-1 MAC- METAL ARCHITECTURAL  
VERSA-TITANIUM BLACK OR SIMILAR

CS-1 CEMENTITIOUS SIDING



JAMES HARDIE PLANK - SMOOTH HORIZONTAL LAP SIDING  
OR SIMILAR

RAILINGS



GR-1 GLASS RAILINGS



R-1 METAL RAILINGS



A-1 METAL AWNINGS



G-1 GARAGE SCREENS

S-1 STONE/TILE VENEER



EMSER TILE - MILESTONE DUST - 12X24 PORCELAIN TILE  
OR SIMILAR

EGRESS NOTES:

THE PROPOSED BUILDING WILL UTILIZE 2 HORIZONTAL EXITS, EACH EXIT COMPARTMENT WILL CONTAIN 2 EGRESS STAIRS PROVIDING 2 POINTS OF CONTINUOUS EGRESS TO THE PUBLIC RIGHT OF WAY. ALL EGRESS TRAVEL DISTANCES WILL BE WITHIN THE DISTANCES ALLOWABLE BY CODE.

EXIT ACCESS TRAVEL DISTANCE: 250'

ADDITIONALLY, EACH EXIT COMPARTMENT PROVIDES 1 STAIR WITH ROOF ACCESS.

CODE ANALYSIS:

CONSTRUCTION TYPE: TYPE-III(A) (APARTMENTS)  
O/ TYPE-I (PODIUM)

OCCUPANCIES: R-2 (APARTMENTS)  
S-2 (GARAGE)  
B (LEASING, DOG WASH, BIKE SHOP)  
A-3 (AMENITIES)

ALLOWABLE BUILDING AREA:

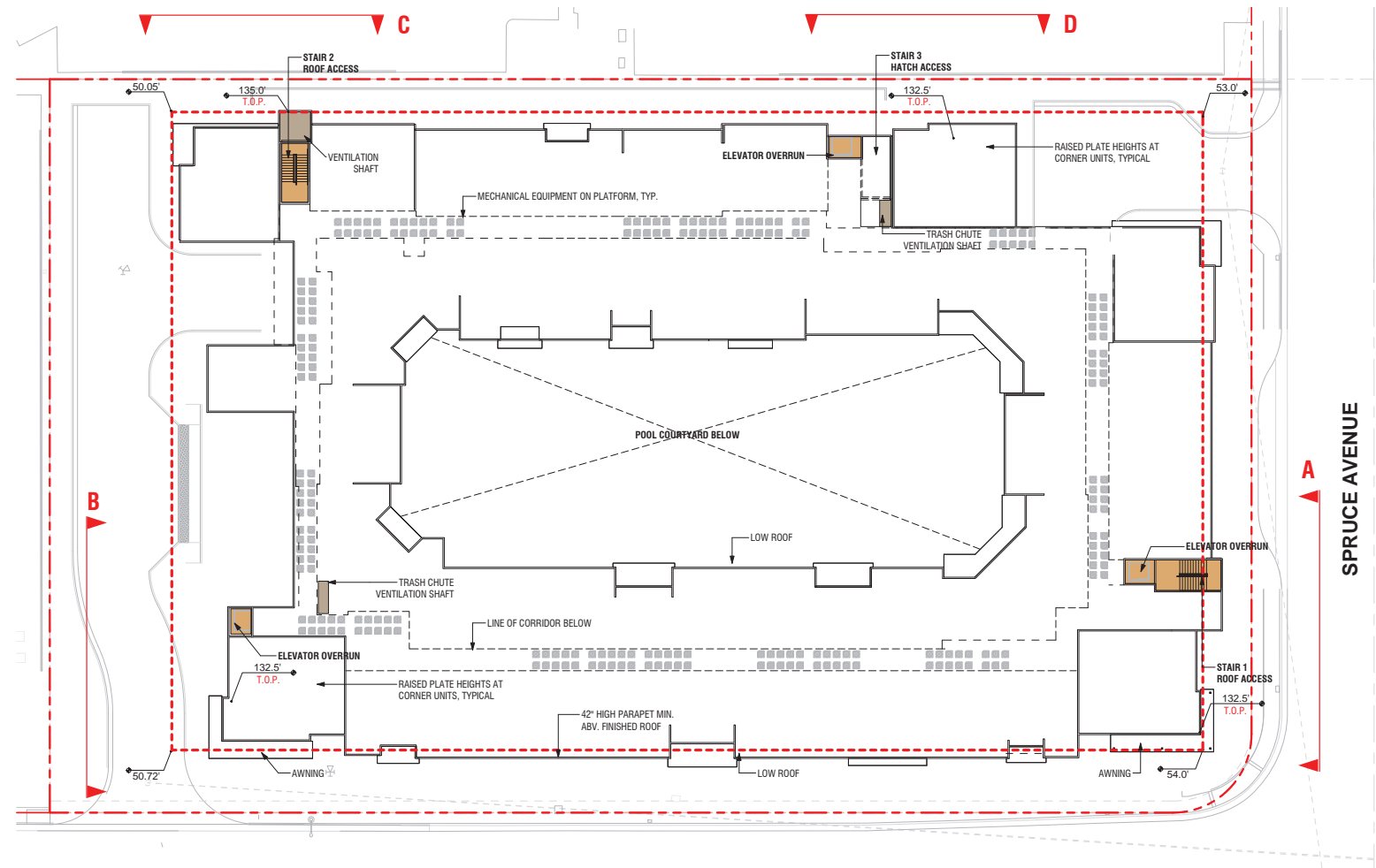
EQUATION 5-2 PER CBC 506.2.3:  
 $A_A = [A_T + (NS \times I_F)] \times S_A$ , WHERE...

$A_A$  = ALLOWABLE AREA (SQUARE FEET)  
 $A_T$  = TABULAR ALLOWABLE AREA FACTOR PER TABLE 506.2  
 $NS$  = TABULAR AREA FACTOR PER TABLE 506.2 FOR NON SPRINKLERED BUILDING  
 $I_F$  = AREA FACTOR INCREASE DUE TO FRONTAGE PER 506.3  
 $S_A$  = 2

$A_A = [24,000 \text{ S.F.} + (24,000 \text{ S.F.} \times 0)] \times 2 = 48,000 \text{ SF}$   
**TOTAL ALLOWABLE AREA PER BUILDING = 48,000 SF**



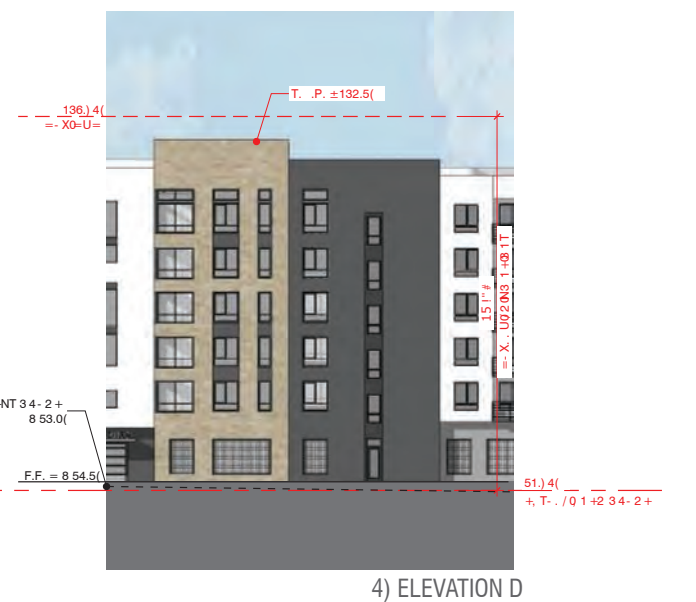
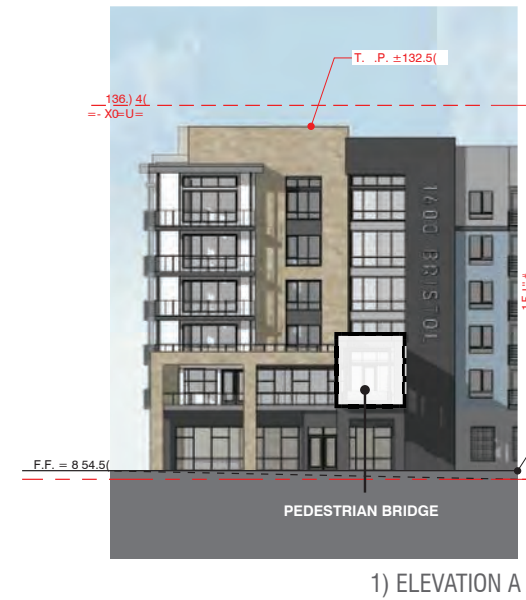


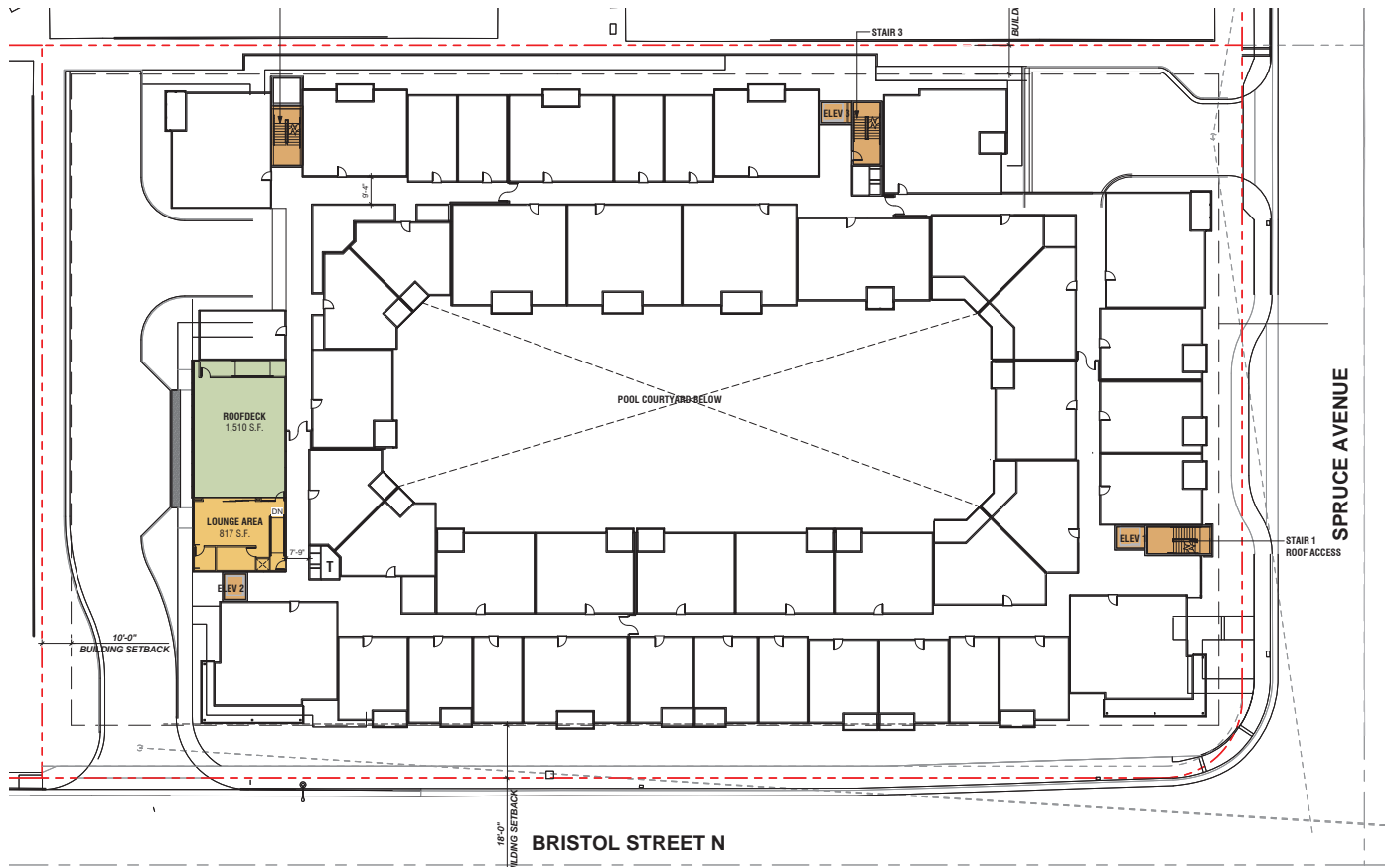


ESTABLISHED GRADE NBMC 20.30.050

HIGHEST GRADE ELEVATION 54.00'  
 LOWEST GRADE ELEVATION 50.05'  
 SITE SLOPE +/-1.08%

ESTABLISHED GRADE CALCULATION:  
 $54.00' + 50.72' + 50.05' + 53.00' = 207.77' / 4 = 51.94'$  ESTABLISHED GRADE



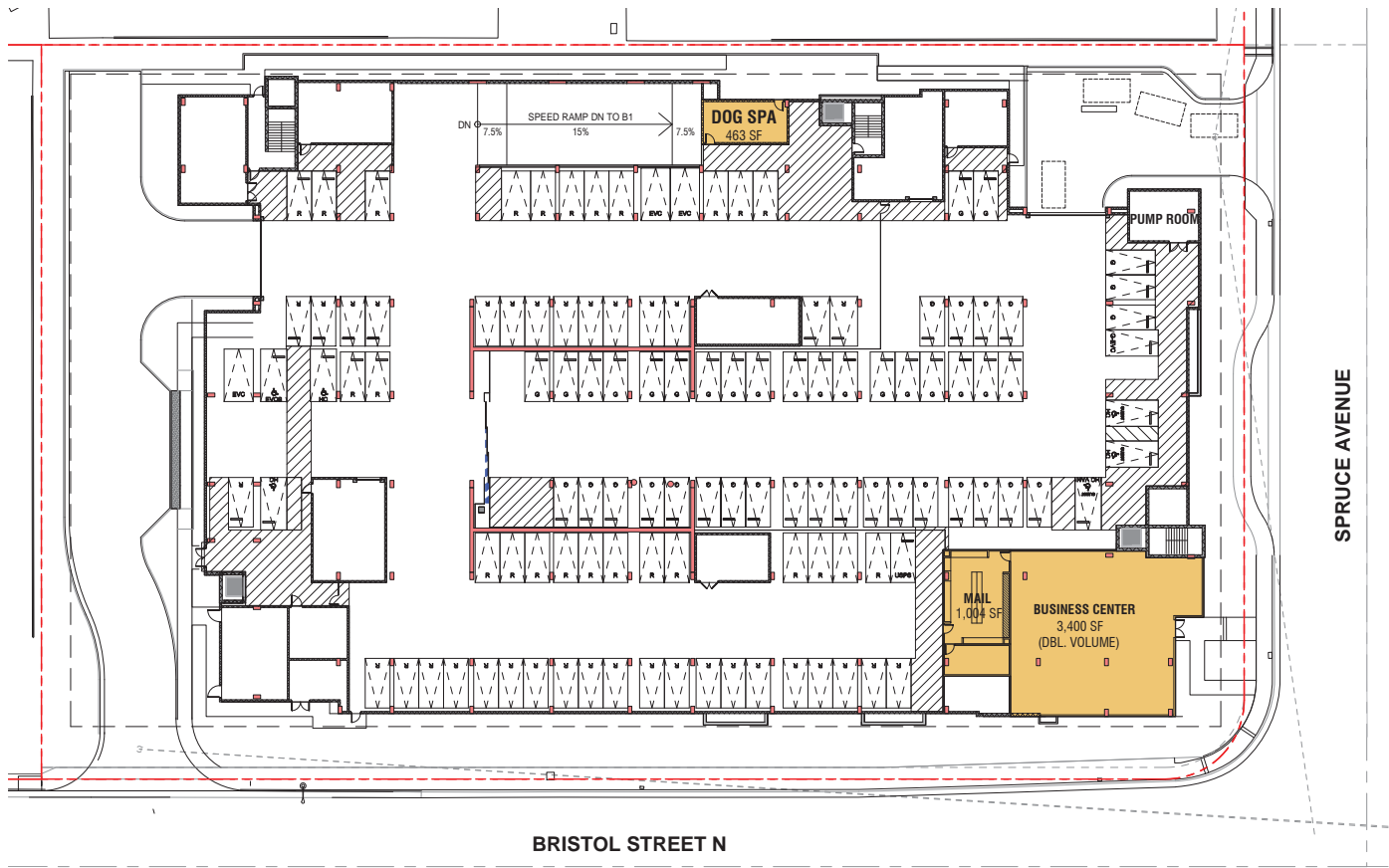
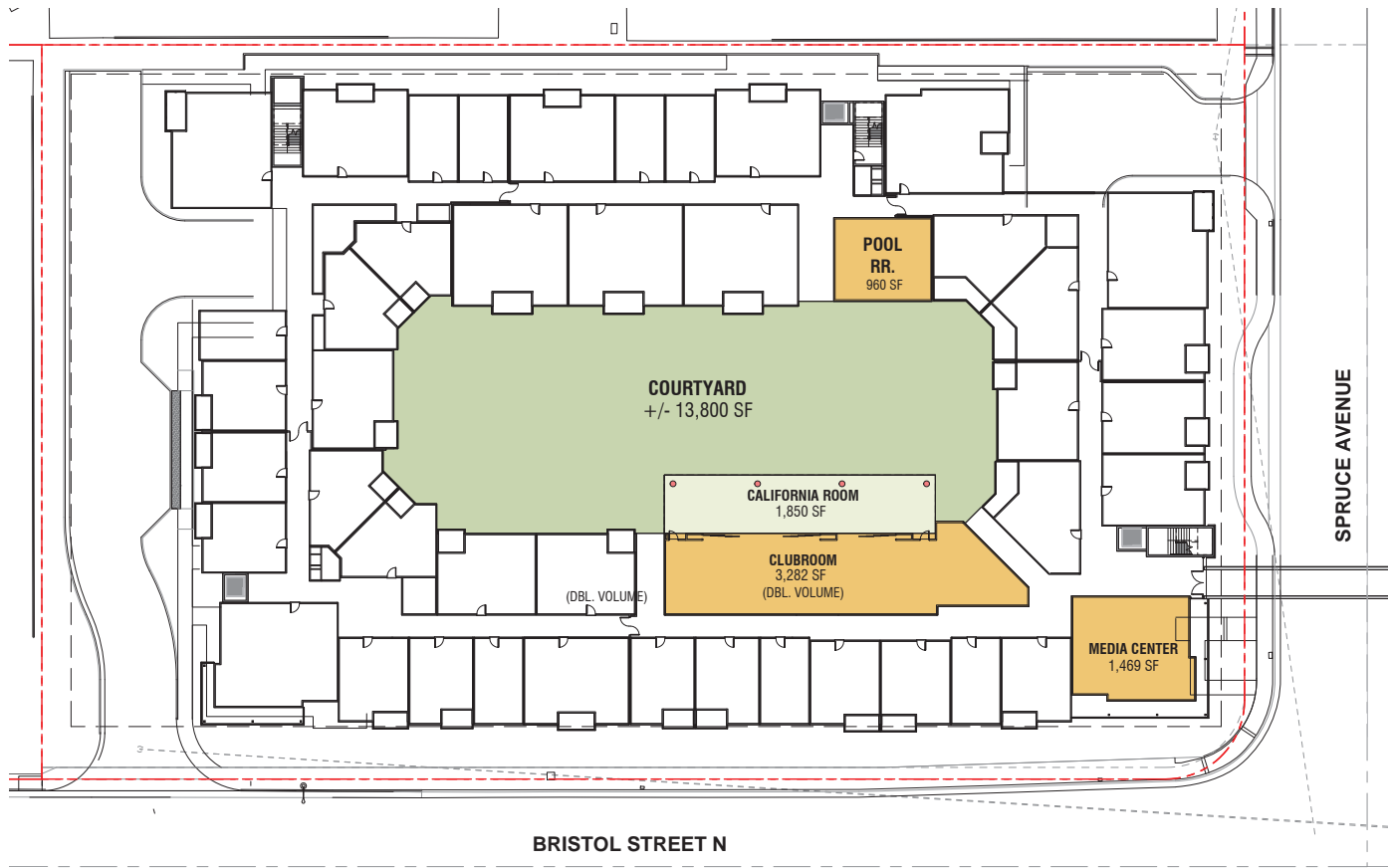


## AMENITY AREAS

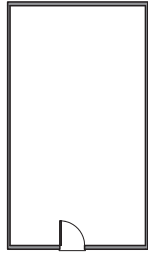
REQUIRED			
44 SF/UNIT	x	229 UNITS	10,076 SF
PROVIDED			
Business Center			3,400 SF
Mail Room			1,004 SF
Club Room			3,282 SF
California Room			1,850 SF
Media Center			1,469 SF
Pool RR/Showers			960 SF
Roof Lounge Area			817 SF
Roof Deck			1,510 SF
Dog Spa			463 SF
TOTAL			14,755 SF

## COMMON OPEN SPACE

REQUIRED			
75 SF/UNIT	x	229 UNITS	17,175 SF
PROVIDED			
Podium Courtyard			13,800 SF
TOTAL			13,800 SF





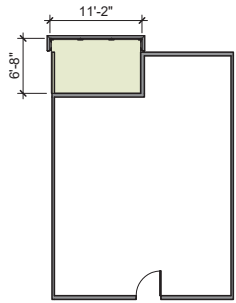


**S101**  
NET RENTABLE AREA 515 SF  
REQUIRED BALCONY (5%) 28 SF  
PROVIDED BALCONY 0 SF

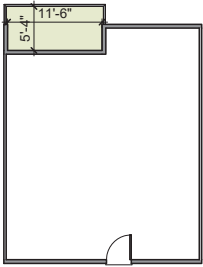
STUDIO UNITS

PRIVATE OPEN SPACE

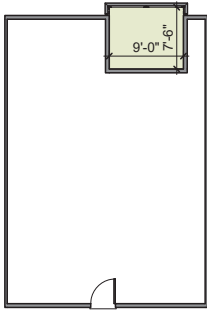
REQUIRED PRIVATE OPEN SPACE PER NBMC SHALL BE 5% OF UNIT AREA



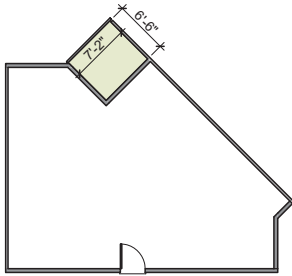
**A105**  
NET RENTABLE AREA 613 SF  
REQUIRED BALCONY (5%) 31 SF  
PROVIDED BALCONY 62 SF



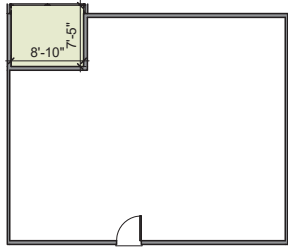
**A110**  
NET RENTABLE AREA 663 SF  
REQUIRED BALCONY (5%) 33 SF  
PROVIDED BALCONY 62 SF



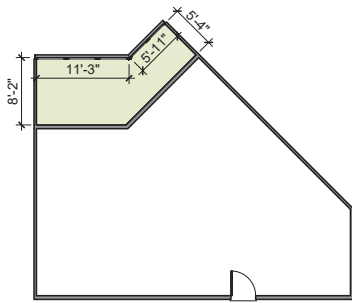
**A406**  
NET RENTABLE AREA 823 SF  
REQUIRED BALCONY (5%) 41 SF  
PROVIDED BALCONY 68 SF



**A505**  
NET RENTABLE AREA 715 SF  
REQUIRED BALCONY (5%) 36 SF  
PROVIDED BALCONY 46 SF

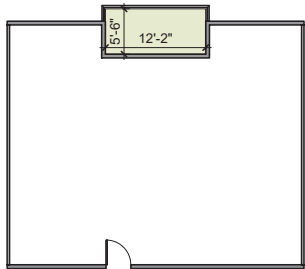


**A602**  
NET RENTABLE AREA 896 SF  
REQUIRED BALCONY (5%) 45 SF  
PROVIDED BALCONY 65 SF

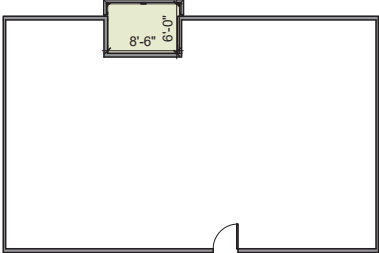


**A710**  
NET RENTABLE AREA 861 SF  
REQUIRED BALCONY (5%) 43 SF  
PROVIDED BALCONY 134 SF

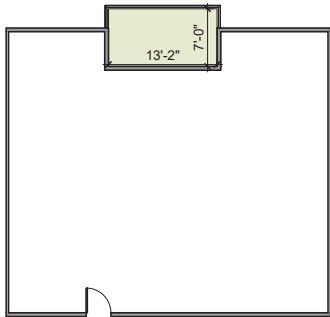
1 BEDROOM UNITS



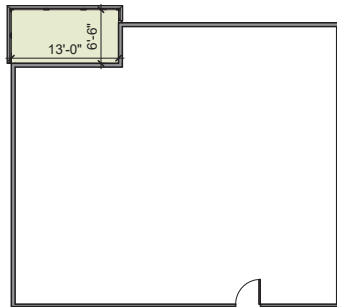
**B103**  
NET RENTABLE AREA 1,049 SF  
REQUIRED BALCONY (5%) 52 SF  
PROVIDED BALCONY 63 SF



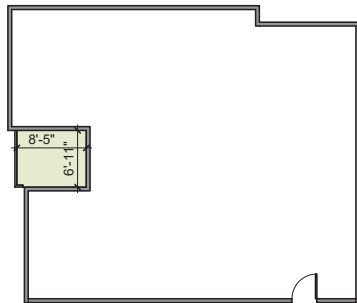
**B601**  
NET RENTABLE AREA 1,270 SF  
REQUIRED BALCONY (5%) 63 SF  
PROVIDED BALCONY 52 SF



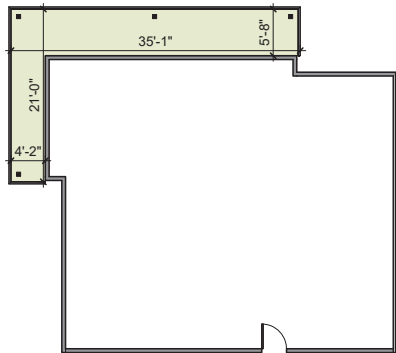
**B709**  
NET RENTABLE AREA 1,341 SF  
REQUIRED BALCONY (5%) 67 SF  
PROVIDED BALCONY 92 SF



**B921 A**  
NET RENTABLE AREA 1,309 SF  
REQUIRED BALCONY (5%) 65 SF  
PROVIDED BALCONY 85 SF

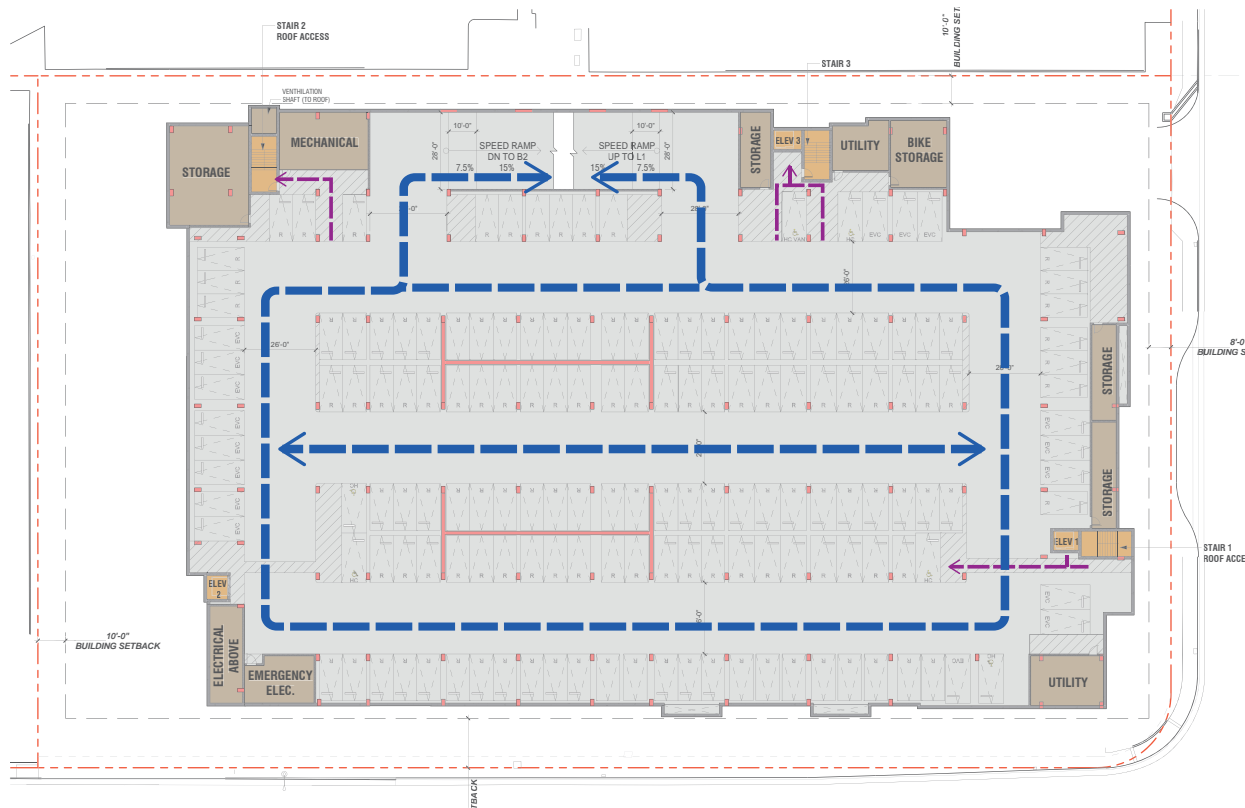


**B935**  
NET RENTABLE AREA 1,413 SF  
REQUIRED BALCONY (5%) 71 SF  
PROVIDED BALCONY 58 SF

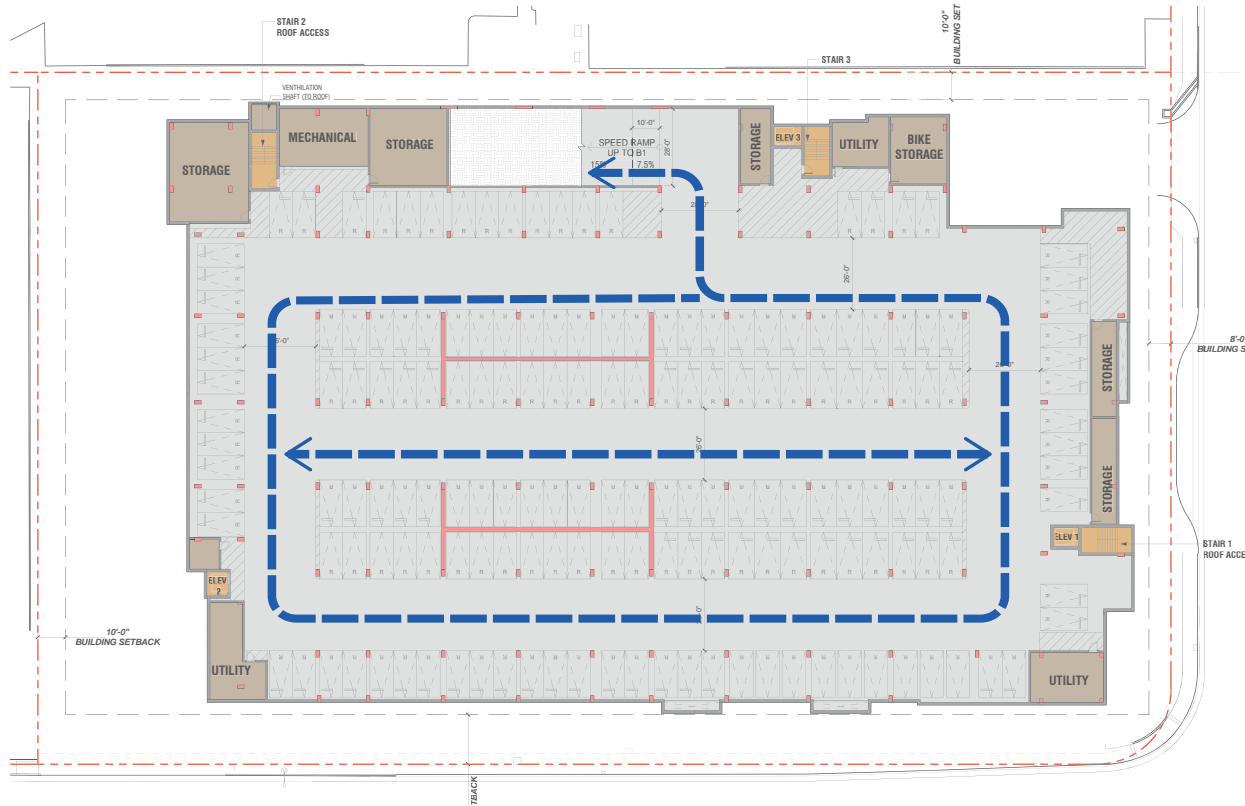


**B936**  
NET RENTABLE AREA 1,469 SF  
REQUIRED BALCONY (5%) 73 SF  
PROVIDED BALCONY 261 SF

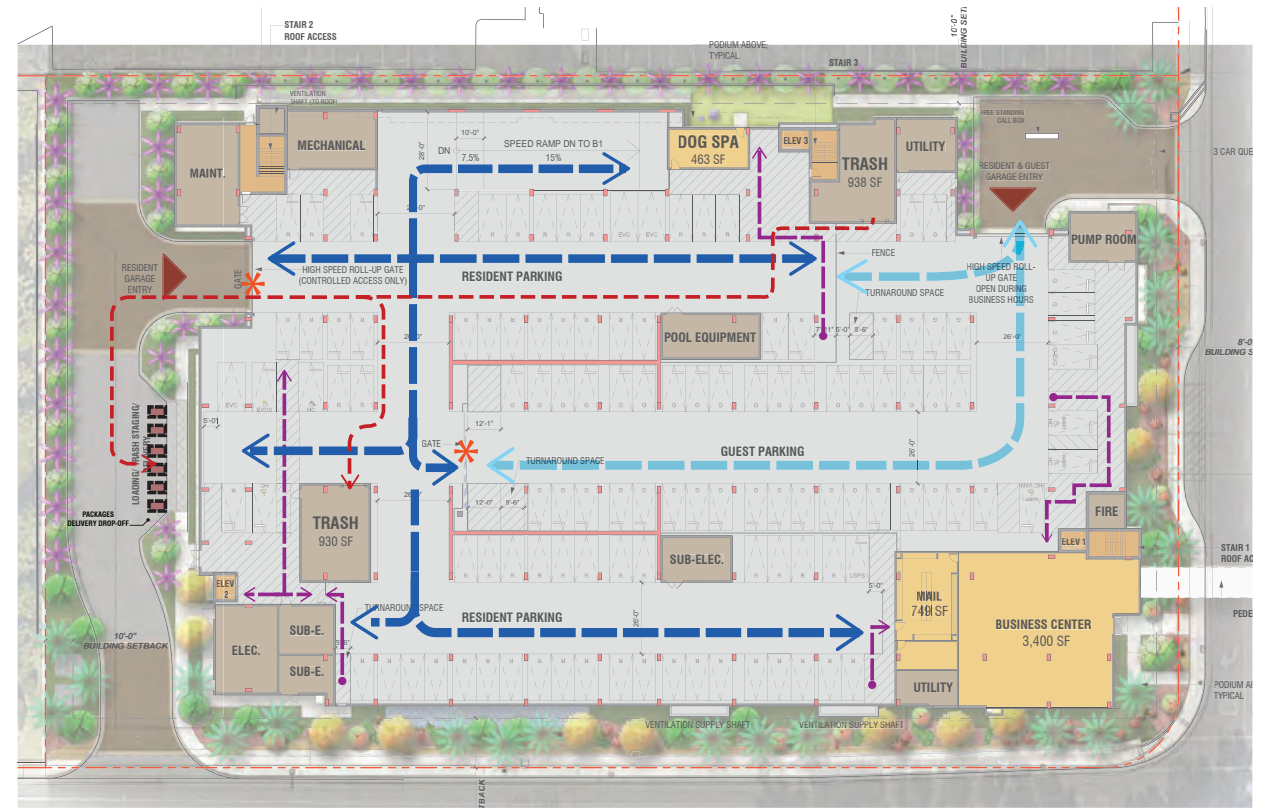
2 BEDROOM UNITS



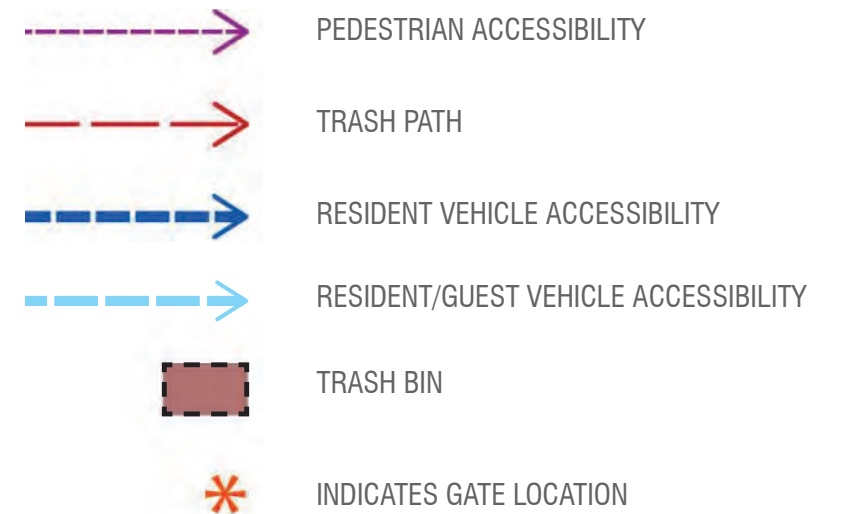
**BASEMENT 1**



**BASEMENT 2**



**GROUND FLOOR**



**LEGEND**

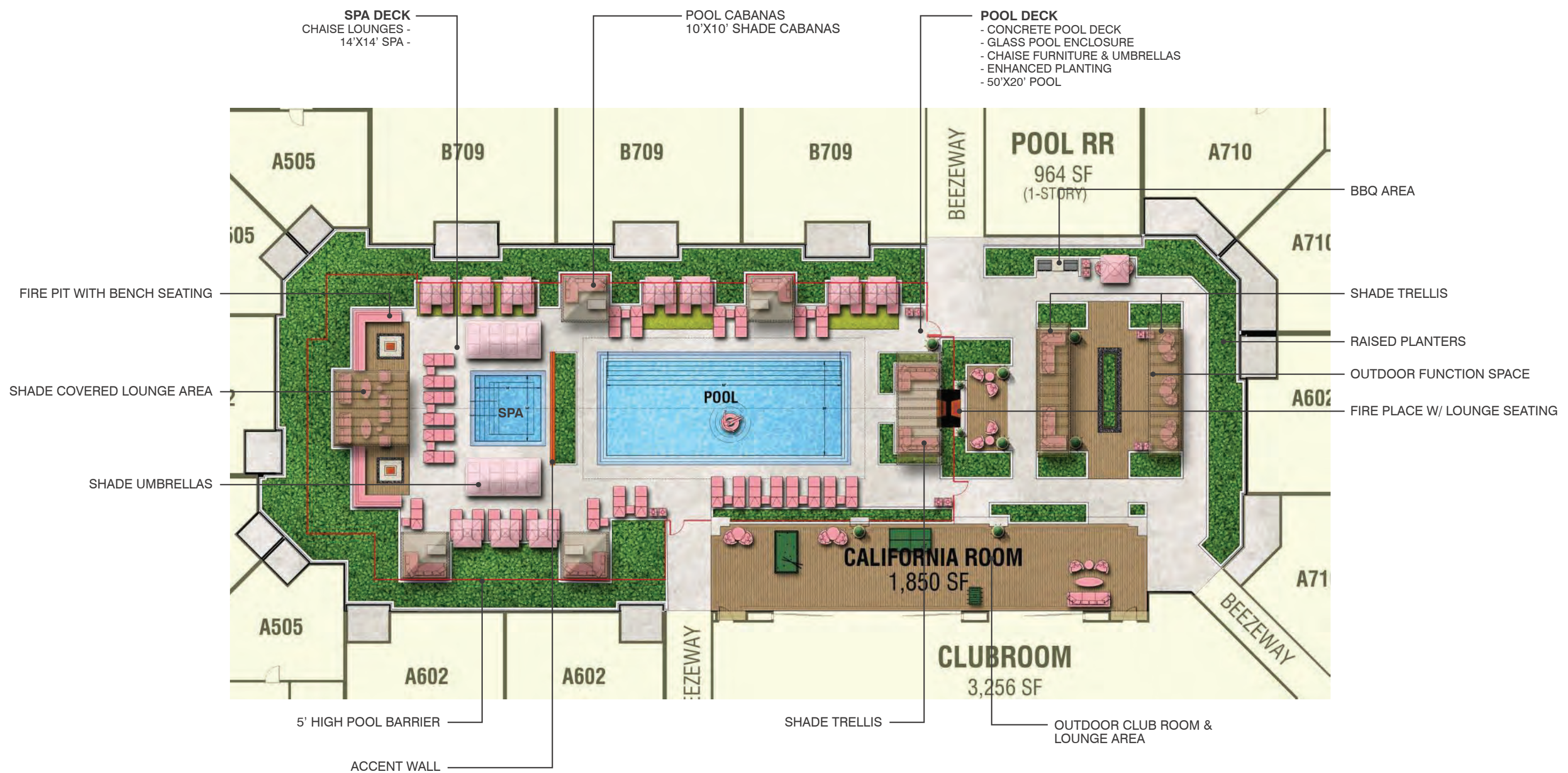




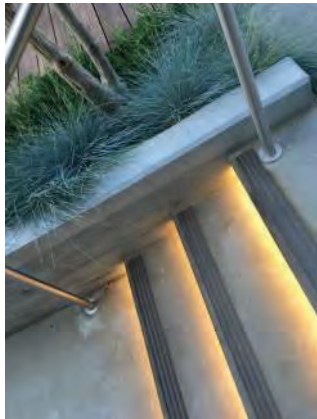
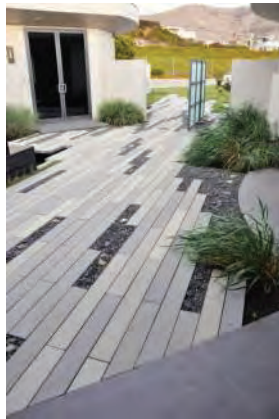
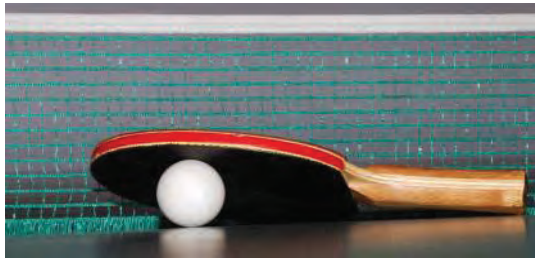
















AGAVE SPECIE  
AGAVE



AGONIS FLEXUOSA  
PEPPERMINT TREE



ALOE BANSEII  
TREE ALOE



ARBUTUS MARINA  
MARINA STRAWBERRY TREE



ARCHONTOPHOENIX  
ALEXANDREA  
KING PALM



BUTIAGRUS NABONNANDI  
MULE PALM



CASSIA LEPTOPHYLLA  
GOLD MEDALLION TREE



CYCAS THOURII  
MADAGASGAR CYCAD



DRACENA DRACO  
DRAGON TREE



MAGNOLIA GRANDIFLORA  
'LITTLE GEM'  
LITTLE GEM SOUTHERN MAGNOLIA



METROSIDEROS EXCELSA  
NEW ZEALAND CHRISTMAS TREE



MICHELIA CHAMPACA  
CHAMPACA



OLEA EUROPEA  
OLIVE



PHOENIX DACTYLIFERA  
'MEDJOOL'  
MEDJOOL DATE PALM



PARKINSONIA X  
'DESERT MUSEUM'  
DESERT MUSEUM PALO VERDE



PROSOPIS SPECIES  
MESQUITE TREE



QUERCUS ILEX  
HOLLY OAK



RHUS LANCEA  
AFRICAN SUMAC



SCHINUS MOLLE  
CALIFORNIA PEPPER TREE



SOPHORA SECUNDIFLORA  
TEXAS MOUNTAIN LAUREL



SYAGRUS ROMANZOFFIANA  
QUEEN PALM



TECOMA STANS  
YELLOW BELLS



TRISTANIA CONFERTA  
BRISBANE BOX



WASHINGTONIA FILIFERA  
CALIFORNIA FAN PALM



YUCCA FAXONIANA  
SPANISH DAGGER



YUCCA ROSTRATA  
BEAKED YUCCA





ACORUS GRAMINEUS 'OGON'  
GOLDEN VARIEGATED  
SWEET FLAG



AGAVE ANGUSTIFOLIA  
CARIBBEAN AGAVE



AGAVE 'BLUE GLOW'  
AGAVE



AGAVE OVATIFOLIA  
WHALE'S TONGUE AGAVE



AGAVE PARRYI  
PARRY'S AGAVE



ALOE SPECIES  
ALOE



BELOPERONE GUTTATA  
SHRIMP PLANT



CARISSA MACROCARPA  
'GREEN CARPET'  
GREEN CARPET NATAL PLUM



CASSAVA SPECIES  
CASSAVA



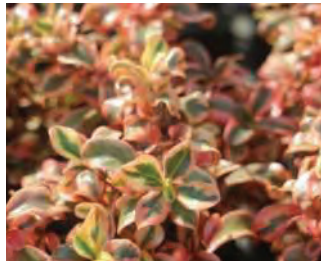
CISTUS 'LITTLE MISS SUNSHINE'  
ROCKROSE



CISTUS 'MICKIE'  
ROCKROSE



COPROSMA REPENS  
'MARBLE QUEEN'  
DWARF VARIEGATED  
MIRROR PLANT



CUPHEA AUREA  
GOLDEN CUPHEA



CUPHEA IGNEA  
CIGAR PLANT



CYCAS THOUARSII  
MADAGASCAR CYCAD



DASYLIRION WHEELERI  
SPOON YUCCA



DIANELLA 'CASSA BLUE'  
BLUE FLAX LILY



DUDLEYA BRITTONII  
GIANT CHALK DUDLEYA



GAZANIA  
TREASURE FLOWERS



GREVILLEA LANIGERA  
'COASTAL GEM'  
WOOLLY GREVILLEA



HELICHRYSUM PETIOLARE  
'LIMELIGHT'  
LIMELIGHT LICORICE PLANT



LANтана 'NEW GOLD'  
NEW GOLD LANTANA



LEUCOPHYLLUM FRUTESCENS  
TEXAS SAGE



LIROPE VARIEGATED  
VARIEGATED LILY TURF



LOTUS BERTHELOTII  
PARROT'S BEAK



MYOPORUM PARVIFOLIUM  
YAREENA  
CREEPING MYOPORUM



NANDINA DOMESTICA 'NANA'  
HEAVENLY BAMBOO NANA



OLEA 'LITTLE OLLIE'  
DWARF FRUITLESS OLIVE



OPUNTIA BASILARIS  
BEAVERTAIL CACTUS



PHILODENDRON XANADU  
WINTERBORN PHILODENDRON



PHORMIUM 'YELLOW WAVE'  
NEW ZEALAND FLAX



POLYGALA FRUTICOSA  
'PETITE BUTTERFLY'  
SWEET PEA SHRUB



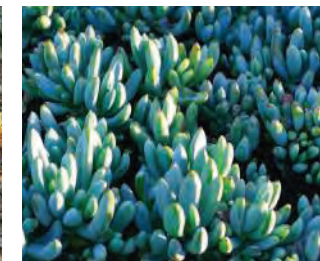
PORTULACARIA AFRA 'AUREA'  
YELLOW RAINBOW BUSH



PORTULACARIA AFRA  
'PROSTRATA'  
DWARF ELEPHANT FOOD



SEDUM COPPERTONE  
COPPERTONE STONECROP



SENECIO SERPENS  
BLUE CHALKSTICKS



SENECIO SERPENS  
COAST ROSEMARY



STENOCEPERUS THURBERI  
ORGAN PIPE CACTUS



TECOMA STANS  
'ORANGE JUBILEE'  
CAPE HONEYSUCKLE



TRACHELOSPERMUM ASIATICUM  
ASIATIC JASMINE



YUCCA FILAMENTOSA  
'GOLDEN SWORD'  
ADAM'S NEEDLE





**PLANTING NOTES:**

ALL PLANTS ARE CAL-IPC NON-INVASIVE AND WUCCOLS MEDIUM/LOW WATER CONSUMPTION (REGION 3- SOUTH COASTAL) VARIETIES FOR THEIR PROPOSED GROWING CONDITIONS. THESE PLANTS ARE WATER CONSERVING AND USED FOR THEIR DEEP ROOT SYSTEMS WHICH STABILIZES SOIL AND MINIMIZES EROSION IMPACTS. NO TREES TO BE PLANTED IN THE PUBLIC RIGHT-OF-WAY

THIS LEGEND IS TO DEMONSTRATE GENERAL DESIGN INTENT. FINAL PLANTING DESIGN WILL BE ESTABLISHED BASED ON MATERIAL AVAILABILITY AND WATER USE REQUIREMENTS. FINAL PLANTING DESIGN & SPECIES SELECTION WILL BE SHOWN ON PERMIT DRAWINGS.

BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCCOLS
ACACIA SALICINA	WILLOW ACACIA	24	14	LOW
ACACIA PENDULA	WEeping ACACIA	24		LOW
ACACIA STENOPHYLLA	SHOE-STRING ACACIA	24	11	LOW
ARBUTUS UNEDO MARINA	STRAWBERRY TREE	24		LOW
PROSOPIS GLANDULOSA	HONEY MESQUITE			
RHUS LANCEA	AFRICAN SUMAC WILLOW			
AGAVE SPECIE	AGAVE	24	27	LOW
CACTUS SPECIES	CACTUS			
YUCCA SPECIES	YUCCA			
ALOE BANSEII	TREE ALOE	24	7	VERY LOW
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	24		MEDIUM
RHAPHIOLEPIS MAJESTIC	HAWTHORN	24		MEDIUM
BEAUTY				
TECOMA STANS	YELLOW ELDER			
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE			
CYCAS THOURII	MADAGASGAR CYCAD	24	0	MEDIUM
STRELITZIA SPECIES	BIRD OF PARADISE	24		MEDIUM
DRACENA DRACO	DRAGON TREE	24	4	VERY LOW
CITRUS SPECIES	CITRUS	24		LOW
MAGNOLIA GRANDIFLORA	LITTLE GEM SOUTHERN	24	2	MEDIUM
'LITTLE GEM'	MAGNOLIA			
SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL			MEDIUM
LIRIODENDRON TULIPIFERA	TULIP TREE			
OLEA EUROPEA	OLIVE	24	32	LOW
MAGNOLIA SPECIES	MAGNOLIA			
QUERCUS ILEX	HOLLY OAK	24		MEDIUM
PHOENIX DACTYLIFERA	MEDJOOl DATE PALM	24	34	LOW
'MEDJOOl'				
RHUS LANCEA	AFRICAN SUMAC		13	LOW
METROSIDEROS EXCELSUS	NEW ZEALAND TEA TREE	24		LOW
QUERCUS ILEX	HOLLY OAK	24		MEDIUM
SYAGRUS ROMANZOFFIANA	QUEEN PALM	24	37	MEDIUM
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM			TO LOW
YUCCA SPECIES	YUCCA			
ARCHONTOPHOENIX	KING PALM	24	0	MEDIUM
ALEXANDREA				
HOWEA FORSTERIANA	KENTIA PALM	15 BTH		
SYAGRUS ROMANZOFFIANA	QUEEN PALM			
TRISTANIA CONFERTA	BRISBANE BOX	24	16	MEDIUM
PARKINSONIA X	DESERT MUSEUM PALO VERDE			TO LOW
'DESERT MUSEUM'				
SCHINUS MOLE	CALIFORNIA PEPPER TREE			
BRACHYCHITON SPECIES	BOTTLE TREE	24		MEDIUM
AGONIS FLEXUOSA	WESTERN AUSTRALIAN PEPPERMINT			
MICHELIA CHAMPACA	CHAMPACA			







IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA

# 1400 BRISTOL ST. CONCEPTUAL GRADING PLAN

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF BLOCK 50 OF IRVINE'S SUBDIVISION, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS RECORDS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, TOGETHER WITH THAT PORTION OF TRACT 706, AS SHOWN ON A MAP RECORDED IN BOOK 21, PAGE 25 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

PARCEL 2 IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 54, PAGE 11 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

EXCEPT THE FULL RIGHTS TO ALL MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES EXISTING BELOW FIVE HUNDRED (500) FEET FROM THE SURFACE OF SAID REAL PROPERTY DESCRIBED ABOVE, PROVIDED, HOWEVER, THAT GRANTOR HEREBY EXPRESSLY WAIVES THE RIGHT TO ENTER UPON THE SURFACE OF SAID REAL PROPERTY FOR THE PURPOSE OF EXPLORING FOR, OR PRODUCING THE MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES SO RESERVED IN DEED RECORDED JULY 1, 1977.

FOR CONVEYANCING PURPOSES ONLY: APN 427-332-02

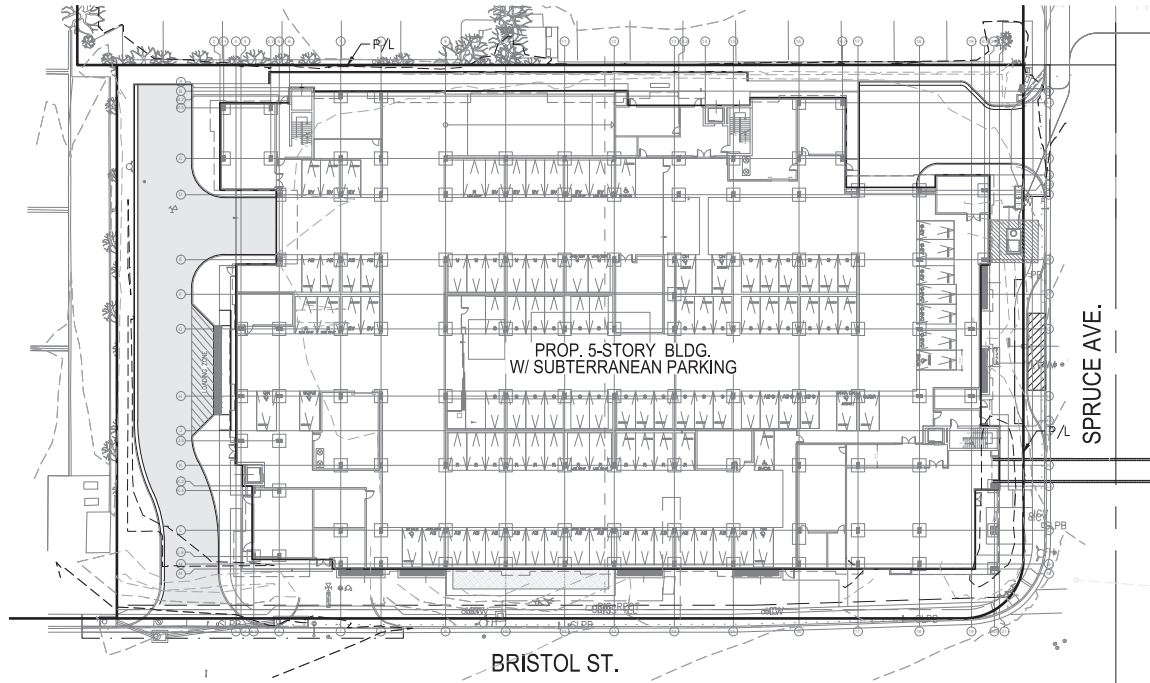
## ASSESSOR'S PARCEL NUMBER

COUNTY OF ORANGE:

APN: 427-332-02

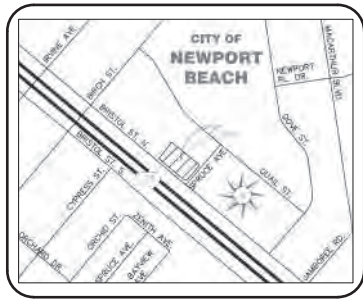
## BASIS OF BEARINGS

THE BEARINGS N 40°38'15" E ALONG THE CENTERLINE OF SPRUCE AVENUE PER PARCEL MAP BOOK 54, PAGE 11, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.



## INDEX MAP

SCALE: 1" = 40'



VICINITY MAP  
NOT TO SCALE

## SHEET INDEX

SHEET TITLE	SHEET NUMBER
TITLE SHEET	C1.01
EXISTING CONDITION	C2.01
CONCEPTUAL GRADING PLAN	C3.01
CONCEPTUAL UTILITY PLAN PLAN	C4.01
CONCEPTUAL WQMP PLOT PLAN	C5.01
ALTA/NSPS LAND TITLE SURVEY	C6.01

## APPLICANT

TPG (KCN) ACQUISITION, LLC  
5000 BIRCH ST., SUITE 600  
NEWPORT BEACH, CA 92660  
(949) 267-1529

## CIVIL

TAIT & ASSOCIATES  
701 N. PARKCENTER DR.  
SANTA ANA, CA 92705  
(714) 560-8200

## ARCHITECT

TCA ARCHITECTS  
19782 MACARTHUR BLVD, SUITE 300  
IRVINE, CA 92612  
(949) 862-0270

## LANDSCAPE ARCHITECT

LIFESCAPES INTERNATIONAL, INC  
4930 CAMPUS DR.  
NEWPORT BEACH, CA 92660  
(949) 476-8888

## GEOTECHNICAL ENGINEER

KLING CONSULTING GROUP, INC  
18008 SKY PARK CIRCLE, SUITE 250  
IRVINE, CA 92614  
(949) 797-6241

## FLOOD NOTE

ZONE - "X" PER FEDERAL MANAGEMENT AGENCY  
MAP NO. 0659C 0286 J EFFECTIVE DATE DECEMBER 3, 2009

ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING

## UTILITY COMPANIES

AT&T PHONE: (800) 288-2020 LINK: AT&T U-VERSE	SOUTHERN CALIFORNIA GAS COMPANY CENTRALIZED CORRESPONDENCE MONTEREY PARK, CA 91756 PHONE: (800) 427-2200
CR&R ENVIRONMENTAL SERVICES 2051 PLACENTIA AVE. COSTA MESA, CA 92627 PHONE: (949) 625-6735	TIME WARNER CABLE 9260 TOPANGA CANYON BLVD. CHATSWORTH, CA 91311 PHONE: (800) 892-2253
NEWPORT BEACH CITY UTILITIES WATER DEPARTMENT 949 W. 16TH STREET NEWPORT BEACH, CA 92663 PHONE: (949) 644-3011	
SOUTHERN CALIFORNIA EDISON P.O. BOX 800 RANCHO CUCAMONGA, CA 91770 PHONE: (800) 655-4555	

## LAND AREA

103,500 S.F. ± / 2.38 ACRES ±

## UNDERGROUND SERVICE ALERT



Call: TOLL FREE  
1-800-422-4133

KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.

TWO WORKING DAYS BEFORE YOU DIG

## UNAUTHORIZED CHANGES & USES:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

## ENGINEERS NOTE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES, CONFLICTS OR AREAS WHICH HE FEELS UNWORKABLE, HE SHALL NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEVIATING FROM THIS PLAN.

NO.	DESCRIPTION	BY	DATE	CHK
	REVISIONS			

701 N. Parkcenter Drive  
Santa Ana, CA 92705  
P: 714/560/8200 F: 714/560/8211  
www.tait.com

Los Angeles Sacramento San Francisco Phoenix  
Ontario San Diego Boise Denver Portland



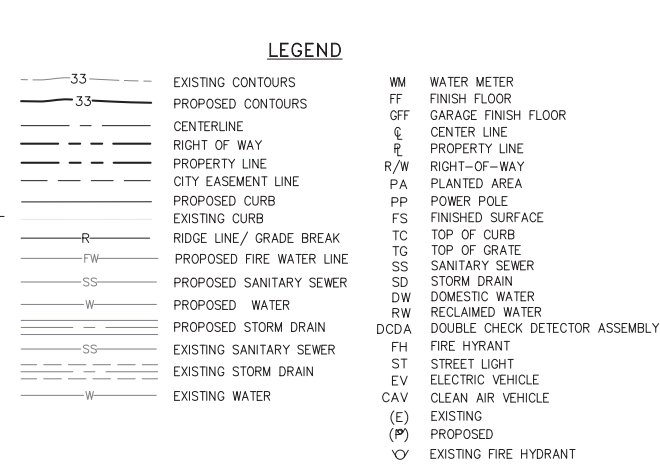
TITLE SHEET  
1400 BRISTOL STREET  
CITY OF NEWPORT BEACH  
TPG (KCN) ACQUISITION, LLC  
5000 BIRCH ST., SUITE 600  
NEWPORT BEACH, CA 92660

DRAWN: 12/12/2022  
CHECKED: MT  
DATE: 12/12/2022  
REVISION #: 1  
DATE: 12/12/2022  
JOB NO: SP9003

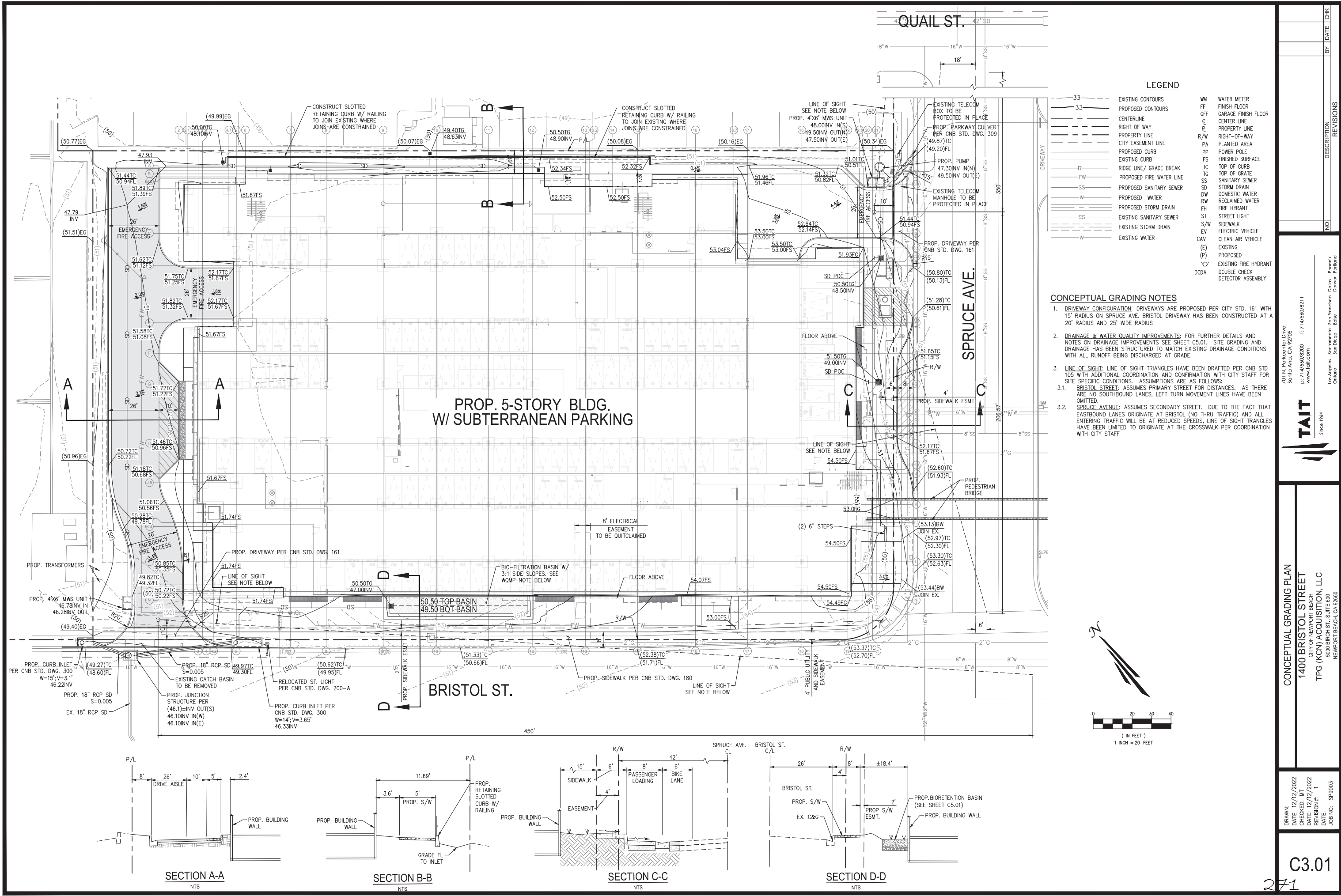
C1.01

269



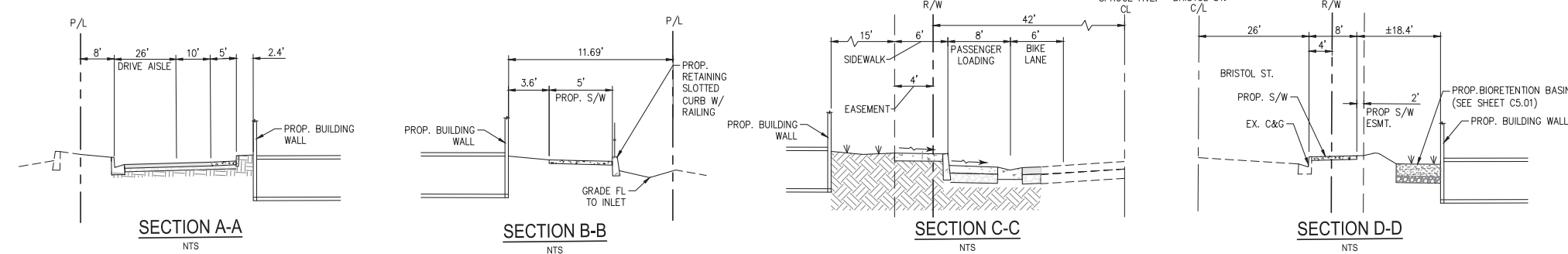






LEGEND	
EXISTING CONTOURS	WM WATER METER
PROPOSED CONTOURS	FF FINISH FLOOR
CENTERLINE	GFF GARAGE FINISH FLOOR
RIGHT OF WAY	C CENTER LINE
PROPERTY LINE	R/W RIGHT-OF-WAY
CITY EASEMENT LINE	PA PLANTED AREA
PROPOSED CURB	PP POWER POLE
EXISTING CURB	FS FINISHED SURFACE
RIDGE LINE / GRADE BREAK	TC TOP OF CURB
PROPOSED FIRE WATER LINE	TC TOP OF GRATE
PROPOSED SANITARY SEWER	SS SANITARY SEWER
PROPOSED WATER	SD STORM DRAIN
PROPOSED STORM DRAIN	DW DOMESTIC WATER
EXISTING SANITARY SEWER	RW RECLAIMED WATER
EXISTING STORM DRAIN	FH FIRE HYDRANT
EXISTING WATER	ST STREET LIGHT
	S/W SIDEWALK
	EV ELECTRIC VEHICLE
	CAV CLEAN AIR VEHICLE
	(E) EXISTING
	(P) PROPOSED
	✓ EXISTING FIRE HYDRANT
	DC DOUBLE CHECK
	DDA DETECTOR ASSEMBLY

- CONCEPTUAL GRADING NOTES**
1. DRIVEWAY CONFIGURATION: DRIVEWAYS ARE PROPOSED PER CITY STD. 161 WITH 15' RADIUS ON SPRUCE AVE. BRISTOL DRIVEWAY HAS BEEN CONSTRUCTED AT A 20' RADIUS AND 25' WIDE RADIUS
  2. DRAINAGE & WATER QUALITY IMPROVEMENTS: FOR FURTHER DETAILS AND NOTES ON DRAINAGE IMPROVEMENTS SEE SHEET C5.01. SITE GRADING AND DRAINAGE HAS BEEN STRUCTURED TO MATCH EXISTING DRAINAGE CONDITIONS WITH ALL RUNOFF BEING DISCHARGED AT GRADE.
  3. LINE OF SIGHT: LINE OF SIGHT TRIANGLES HAVE BEEN DRAFTED PER CNB STD 105 WITH ADDITIONAL COORDINATION AND CONFIRMATION WITH CITY STAFF FOR SITE SPECIFIC CONDITIONS. ASSUMPTIONS ARE AS FOLLOWS:
    - 3.1. BRISTOL STREET: ASSUMES PRIMARY STREET FOR DISTANCES. AS THERE ARE NO SOUTHBOUND LANES, LEFT TURN MOVEMENT LINES HAVE BEEN OMITTED.
    - 3.2. SPRUCE AVENUE: ASSUMES SECONDARY STREET. DUE TO THE FACT THAT EASTBOUND LANES ORIGINATE AT BRISTOL (NO THRU TRAFFIC) AND ALL ENTERING TRAFFIC WILL BE AT REDUCED SPEEDS, LINE OF SIGHT TRIANGLES HAVE BEEN LIMITED TO ORIGINATE AT THE CROSSWALK PER COORDINATION WITH CITY STAFF



BY DATE CHK

DESCRIPTION REVISIONS

NO.

701 N. Parkcenter Drive  
Santa Ana, CA 92705  
P: 714/560/8900  
www.tait.com

**TAIT**  
Since 1944

CONCEPTUAL GRADING PLAN  
1400 BRISTOL STREET  
CITY OF NEWPORT BEACH  
TPG (KCN) ACQUISITION, LLC  
5000 BIRCH ST., SUITE 600  
NEWPORT BEACH, CA 92660

DRAWN: SP9003  
DATE: 12/12/2022  
CHECKED: MT  
DATE: 12/12/2022  
REVISION #: 1  
DATE: 12/12/2022  
JOB NO: SP9003

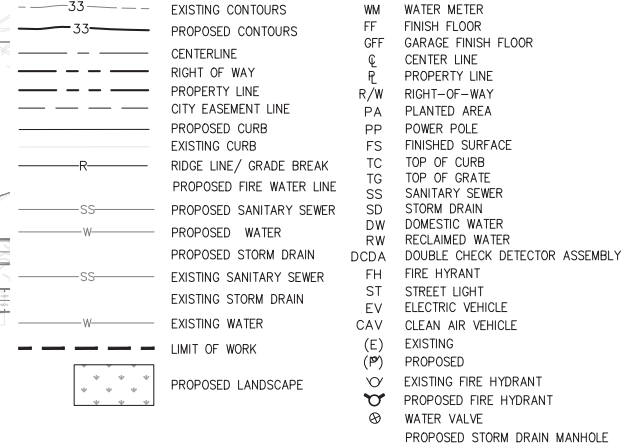
**C3.01**

Los Angeles Sacramento San Francisco Dallas Phoenix  
Ontario San Diego Boise Denver Portland

K:\Drawings\SP\SP9003 - Newport Beach\ENG\Conceptual Plans\SP9003 - C3-01.dwg  
PLOTED: 8/10/2023 10:42:58 AM BY Michael Tran PAGE:SETUP: 1

PLTSTYLE: Tait2014.cb





CONCEPTUAL UTILITY PLAN  
1400 BRISTOL STREET  
CITY OF NEWPORT BEACH  
TPG (KCN) ACQUISITION, LLC  
5000 BIRCH ST., SUITE 600  
NEWPORT BEACH, CA 92660

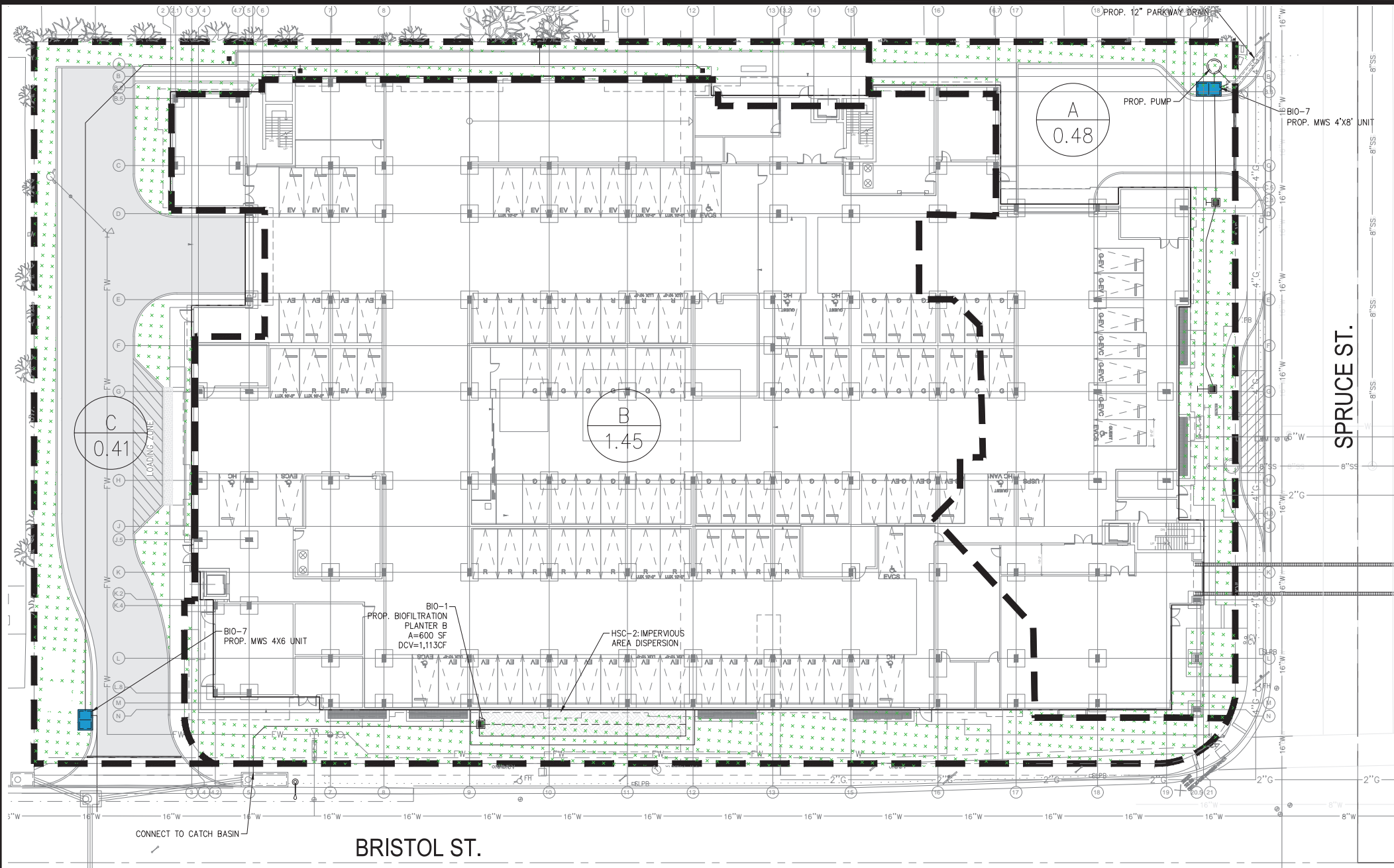
## C4.01

TWO WORKING DAYS BEFORE YOU DIG

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO MAINTAIN ADEQUATE SAFETY AND PROTECTION OF THE PROJECT AND THE PERSONNEL OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, INCURRED BY DESIGN PROFESSIONAL IN CONNECTION WITH LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES, CONFLICTS OR AREAS WHICH HE FEELS UNWORKABLE, HE SHALL NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEVIATING FROM THIS PLAN.



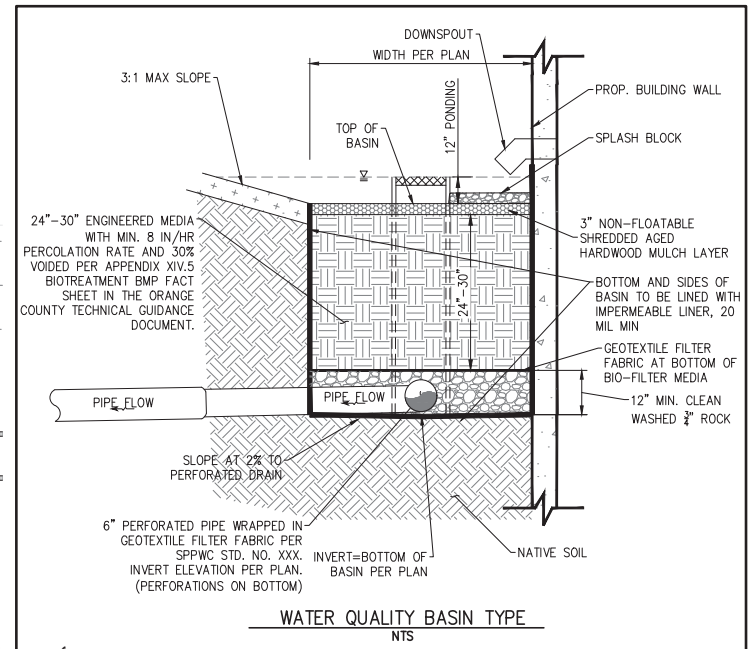


### LEGEND

- PROPERTY LINE
- PROPOSED BIOFILTRATION PLANTER
- PROPOSED MODULAR WETLANDS UNIT
- DRAINAGE AREA
- ACREAGE
- DRAINAGE AREAS
- PROPOSED LANDSCAPE



STORM DRAIN SIGNAGE DETAIL



SCALE: 1" = 20'

### CONCEPTUAL DRAINAGE NOTES:

- BASIN CONFIGURATION:** BASIN CONFIGURATION DEPICTED ON CONCEPTUAL GRADING PLANS ARE SCHEMATIC AND INTENDED TO DEPICT THE EXTENT OF THE BASINS REQUIRED. ULTIMATE CONFIGURATION WILL BE COORDINATED WITH FINAL LANDSCAPE IMPROVEMENT PLANS TO ALLOW TREE AND SITE AMENITY CONSTRUCTION.
- WATER QUALITY (LOW) FLOWS TO BE PUMPED:** SITE GRADING AND DRAINAGE HAS BEEN DESIGNED TO TREAT THE FULL DESIGN CAPTURE VOLUME WITHIN THE NOTED BIO-BASIN AND MODULAR WETLANDS UNITS. POST FILTRATION (LOW) FLOWS FROM THE SUB-DRAINS WILL BE DIRECTED TO A STORM DRAIN SUMP PUMP THAT WILL DISCHARGE THE FILTERED RUNOFF TO THE SPRUCE AVENUE CURB FACE.
- EXISTING CATCH BASIN:** EXISTING CATCH BASIN ON BRISTOL STREET WILL BE REMOVED AND REPLACED WITH A TOTAL OF TWO CATCH BASINS LOCATED ON EACH SIDE FOR THE PROPOSED DRIVEWAY. CATCH BASINS WILL BE SIZED FOR EQUIVALENT CAPTURE OF THE EXISTING CATCH BASIN.
- PEAK FLOW DISCHARGE:** PEAK FLOW DISCHARGE WILL OCCUR, AT GRADE, TO THE CURB AND GUTTER ON SPRUCE AVENUE. PEAK FLOW DISCHARGE WILL ALSO DISCHARGE TO A PROPOSED CATCH BASIN LOCATED ON BRISTOL STREET TO MATCH THE EXISTING TRIBUTARY AREAS OF THE SITE.

Project:		1400 Bristol	
Total Area(AC)		2.34	
Total DCV (cu ft)		1,113	
Capture Efficiency Method:			
Drainage Area	Area (ft <sup>2</sup> )	Area (AC)	Drainage
A	10,000	0.23	Drainage
B	10,126	1.45	0.231
C	13,900	0.61	0.201
Total	341,058	2.34	2,192
Previous Area (ft <sup>2</sup> )	Previous Area (AC)	Imperious Area (ft <sup>2</sup> )	Imperious ratio
7954	0.17	918	0.65
14000	0.28	116	0.75
7113	0.17	818	0.60
7113	0.17	818	0.70
TC (MM)	0	0.275	0.091
Q <sub>max</sub> (CFS)	0.275	0.091	1.119
DCV(ft <sup>3</sup> /Cch2)	0.091	1.119	0.091
RRP (FEET)	0.091	1.119	0.091



ITEMS CORRESPONDING TO SCHEDULE "B":

BY: CHICAGO TITLE COMPANY  
4911 BIRCH STREET  
NEWPORT BEACH, CA 92660  
(949) 724-3100

ORDER NO.: 00183740-987-0C1-JS9  
TITLE OFFICER: JASON SILVA  
DATED: SEPTEMBER 14, 2022

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- (2) 10 A PERPETUAL AIR OR FLIGHT EASEMENT, SOMETIMES REFERRED TO AS AVIGATION RIGHTS, IN AND TO ALL THE AIR SPACE ABOVE THOSE PORTIONS OF PARTICULAR PLANES OR IMAGINARY SURFACES THAT OVERLIE SAID LAND FOR USE BY AIRCRAFT, PRESENT OR FUTURE, FROM OR TO THE ORANGE COUNTY AIRPORT, SAID EASEMENTS AND RIGHTS BEING MORE PARTICULARLY DESCRIBED AND DEFINED IN AND GRANTED TO THE COUNTY OF ORANGE BY DEED RECORDED MARCH 17, 1964 IN BOOK 6965, PAGE 721, OFFICIAL RECORDS, UPON THE TERMS, COVENANTS AND CONDITIONS THEREIN. **THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON. (THIS ITEM IS CORRECT)**
- (3) 11 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED AS BOOK 9768, PAGE 919 OF OFFICIAL RECORDS. **THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON. (THIS ITEM IS CORRECT)**
- (4) 12 AN EASEMENT FOR PUBLIC UTILITIES, SIDEWALK AND INCIDENTAL PURPOSES, RECORDED AS BOOK 10624, PAGE 588 OF OFFICIAL RECORDS. **THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON. (THIS ITEM IS PLOTTED CORRECTLY)**
- (5) 13 THE EFFECT OF A MAP PURPORTING TO SHOW THE LAND AND OTHER PROPERTY, FILED IN BOOK 44, PAGE 38 OF PARCEL MAPS. **THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON. (THIS ITEM IS CORRECT)**
- (6) 14 AN EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS, COMMUNICATION SYSTEMS, DISTRIBUTING ELECTRICAL ENERGY, TRANSMITTING INTELLIGENCE BY ELECTRICAL AND INCIDENTAL PURPOSES, RECORDED DECEMBER 16, 1977 AS INSTRUMENT NO. 77-22971, BOOK 12496, PAGE 1552 OF OFFICIAL RECORDS. **THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON. (THIS ITEM IS PLOTTED CORRECTLY)**

ITEMS #15 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF BLOCK 50 OF IRVINE'S SUBDIVISION, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS RECORDS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, TOGETHER WITH THAT PORTION OF TRACT NO. 706, AS SHOWN ON A MAP RECORDED IN BOOK 21, PAGE 25 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

PARCEL NO. 2 AS SHOWN ON A MAP FILED IN BOOK 54, PAGE 11 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

EXCEPT THE FULL RIGHTS TO ALL MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES EXISTING BELOW FIVE HUNDRED (500) FEET FROM THE SURFACE OF SAID REAL PROPERTY DESCRIBED ABOVE, PROVIDED, HOWEVER, THAT GRANTOR HEREBY EXPRESSLY WAIVES THE RIGHT TO ENTER UPON THE SURFACE OF SAID REAL PROPERTY FOR THE PURPOSE OF EXPLORING FOR, OR PRODUCING THE MINERALS, PETROLEUM, GAS AND OTHER HYDROCARBON SUBSTANCES SO RESERVED IN DEED RECORDED JULY 1, 1977.

FOR CONVEYANCING PURPOSES ONLY: APN 427-332-02

NOTE:

THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.

THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT. THIS SURVEY ACCURATELY REPRESENTS THE BOUNDARIES AND AREA OF THE PREMISES DENOTED ON THE TITLE ORDER REFERENCED HEREON AND IS THE SAME PROPERTY AS DESCRIBED THEREIN.

AT THE TIME OF SURVEY, NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED UNLESS OTHERWISE NOTED HEREON.

NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF THE SURVEY UNLESS OTHERWISE NOTED HEREON.

NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY.

UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

JRN CIVIL ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA "THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED."

SURVEYOR'S CERTIFICATE:

TO: ZIONS BANCORPORATION, N.A. DBA CALIFORNIA BANK & TRUST AND ITS SUCCESSORS AND/OR ASSIGNS, BSP BRISTOL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BUCHANAN STREET PARTNERS, L.P., A DELAWARE LIMITED PARTNERSHIP, AND ITS SUCCESSORS AND ASSIGNS, 1400 BUILDING PARTNERSHIP, A LIMITED PARTNERSHIP, AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 6(B), 7(A), 7(B), 7(C), 8, 9, 13, 14, 16, 17, AND 20 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 1/10/2020.  
MAP PLOT 1/14/20.

JEFFERY L. MAYES  
L.S. NO. 6379  
EXP: 12/31/20



LAND AREA:

103,500 SQUARE FEET  
2.38 ACRES

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	42.41'	127.00'	90°00'15"
C2	39.27'	25.00'	90°00'00"

ALTA/NSPS LAND TITLE SURVEY

1400 & 1420 NORTH BRISTOL STREET, NEWPORT BEACH, CA

STATEMENT OF POSSIBLE ENCROACHMENTS:

NOTE: THE FOLLOWING IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.

THERE WERE NOT OBSERVED IMPROVEMENTS THAT CROSS THE PROPERTY LINE.

QUAIL STREET

(A 68' WIDE PUBLIC RIGHT OF WAY)

SURVEYOR'S BOUNDARY NOTE:

THE BOUNDARY SHOWN HEREON MATCHES RECORD DATA EXACTLY AS SHOWN ON A MAP FILED IN BOOK 54, PAGE 11 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

THERE IS SUFFICIENT FOUND MONUMENTS SHOWN HEREON TO ESTABLISH SAID BOUNDARY.

BUILDING NOTE:

- BUILDING**  
[A] (BUILDING FOOTPRINT = 5,933 SQUARE FEET)  
(BUILDING HEIGHT = 30'±)  
2 STORY/WOOD
- BUILDING**  
[B] (BUILDING FOOTPRINT = 11,393 SQUARE FEET)  
(BUILDING HEIGHT = 30'±)  
2 STORY/WOOD
- BUILDING**  
[C] (BUILDING FOOTPRINT = 2,309 SQUARE FEET)  
(BUILDING HEIGHT = 30'±)  
2 STORY/WOOD

LEGEND:

- CB CATCH BASIN
- CL CENTER LINE
- CPB CABLE PULLBOX
- D/W DRIVEWAY
- DI DRAIN INLET
- DIST DISTANCE
- EMH ELECTRIC MANHOLE
- EB ELECTRIC BOX
- EST. ESTABLISHED
- FD FOUND
- FDC FIRE DEPARTMENT CONNECTION
- GP GUARD POST
- INST INSTRUMENT
- L/A LANDSCAPING
- LP LIGHT POST
- N NORTH
- NE NORTHEAST
- NO NUMBER
- NW.N. NORTHWEST
- OH OVERHANG
- PI PILLAR
- PL PROPERTY LINE
- PN PLANTER
- PS PARKING STALL
- PT POWER TRANSDUCER
- RD ROOF DRAIN
- REC RECORD
- S SOUTH
- SCO SEWER CLEAN OUT
- SDMH STORMDRAIN MANHOLE
- SE SOUTHEAST
- SF SQUARE FEET
- SN SEARCHED FOUND NOTHING
- SW SOUTHWEST
- TB TRASH ENCLOSURE
- TE TELEPHONE BOX
- TM TYPICAL
- UM UTILITY METER
- UP UTILITY PIPE
- UV UTILITY VAULT
- W WEST
- W/ WITH
- WC WATER CABINET
- WM WATER METER

SITE RESTRICTIONS:

SETBACKS:

- FRONT - PER GENERAL PLAN
- STREET SIDE - PER GENERAL PLAN
- SIDE - PER GENERAL PLAN
- REAR - PER GENERAL PLAN
- HEIGHT - PER GENERAL PLAN
- ZONE - PC-11 (PLANNED COMMUNITY)

FLOOR AREA RATIO - PER GENERAL PLAN  
PARKING REQUIREMENT - 155 SPACES

ALL SITE RESTRICTIONS WERE OBTAINED PER THE ZONING REPORT PREPARED BY ZONING REPORT SITE NO. 19-270257.1 DATED JANUARY 20, 2020. ANY QUESTIONS REGARDING ZONE DEFINITIONS OR INTERPRETATIONS SHOULD BE DIRECTED TO:

PHONE NUMBER - (949) 644-3311

ZONING AND RESTRICTIONS SHOWN HEREON WERE OBTAINED BY A ZONING REPORT PROVIDED BY THE CLIENT. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. THIS FIRM IS NOT AN EXPERT IN THE INTERPRETATION OF COMPLEX ZONING ORDINANCES, COMPLIANCE IS BEYOND THE SCOPE OF THIS SURVEY. ANY USER OF SAID INFORMATION IS URGED TO CONTACT THE LOCAL AGENCY DIRECTLY.

TYPICAL LINE TYPES

---	CENTER LINE
---	EASEMENTS
---	OVERHANG
---	LOT/PARCEL LINES
---	BOUNDARY LINE
---	BLOCK WALLS
---	GENERAL
---	CHAIN LINK FENCE/GATE
---	WOOD FENCE/GATE/GUARD RAILS
---	WROUGHT IRON FENCE/GATE
---	BUILDING LINE
---	CONCRETE CURB
---	CONCRETE CURB W/ GUTTER
---	CONCRETE
---	BRICK

BASIS OF BEARINGS:

THE BEARING OF N 40°38'15" E ALONG THE CENTERLINE OF SPRUCE AVENUE PER PARCEL MAP BOOK 54, PAGE 11, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

PARKING SPACE TABLE

TYPE OF SPACE	TOTAL EXISTING
STANDARD	152
HANDICAP	2
TOTAL	154

BRISTOL STREET

(A 60' WIDE PUBLIC RIGHT OF WAY)

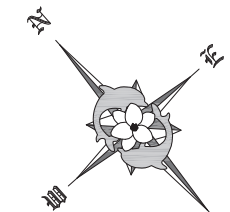
FLOOD NOTE:

ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06059C 0286 J EFFECTIVE DATE DECEMBER 3, 2009.

ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

SPRUCE AVENUE  
(A 84' WIDE PUBLIC RIGHT OF WAY)  
(BASIS OF BEARINGS)



30' 0' 30' 60'

SCALE: 1" = 30'

REVISIONS

1/28/2020: ZONING REPORT (NUM)

JRN CIVIL ENGINEERS

1400 & 1420 NORTH BRISTOL STREET, NEWPORT BEACH, CA

1400 BUILDING PARTNERSHIP, A LIMITED PARTNERSHIP

CLIENT:

ADDRESS:

PHONE (949) 248-4685  
FAX (949) 248-4687

232 AVENIDA FABRICANTE, STE. 107  
SAN CLEMENTE, CALIFORNIA 92672

PROJECT COORDINATOR:

NATE MOUZIS(NMOUZIS@JRN.CIVIL.COM)

SHEET 1 OF 1

FILE NO. 18956

C6.01

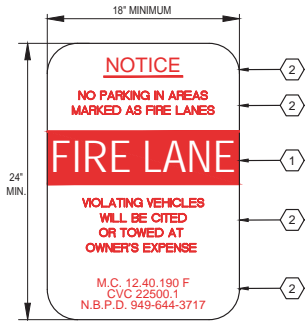


# 1400 BRISTOL STREET N.

## FIRE MASTER PLAN

### CITY OF NEWPORT BEACH

#### FIRE LANE SIGN DETAILS

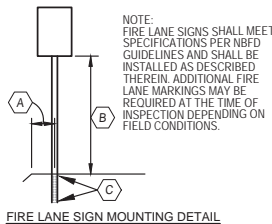


1 FIRE LANE ENTRY SIGN



2 FIRE LANE 'NO STOPPING' SIGN

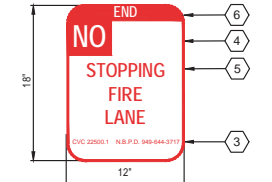
- FIRE LANE SIGN MOUNTING LEGEND**
- 1 THE WORDS "FIRE LANE" SHALL BE WHITE ON RED BACKGROUND, NO SMALLER THAN 4 INCHES IN HEIGHT.
  - 2 LETTERING SHALL BE RED ON WHITE BACKGROUND, NO SMALLER THAN 2 INCHES IN HEIGHT.
  - 3 "C.V.C. SECTION 22500.1" SHALL BE ON THE BOTTOM LEFT OF THE SIGN AND "NBPD 949-644-3717" SHALL BE ON THE BOTTOM RIGHT IN RED WITH MINIMUM 3/4" LETTERS.
  - 4 LETTERING SHALL BE BOLD, CONDENSED WHITE REFLECTIVE LETTERING ON RED BACKGROUND, (2) INCHES IN HEIGHT.
  - 5 LETTERING SHALL BE BOLD, CONDENSED RED ON WHITE REFLECTIVE BACKGROUND, (2) INCHES IN HEIGHT.
  - 6 LETTERING SHALL BE BOLD, CONDENSED WHITE REFLECTIVE LETTERING ON RED BACKGROUND, (1) INCH IN HEIGHT.
- DEPTH OF SIGN SHALL BE 18 INCHES FROM STANDARD CURB AND 24 INCHES WITH ROLLED CURB TO CENTER OF POST (UNLESS INDICATED ON PLAN WITH THE LETTER "L", INDICATING PLACEMENT IN LANDSCAPE DIRECTLY ADJACENT TO SIDEWALK OR CURB)
- HEIGHT OF SIGN IN SIDEWALK OR PEDESTRIAN AREA SHALL BE 7'-0", AND 5'-0" IN ALL OTHER AREAS.
- BURY DEPTH SHALL BE A MINIMUM OF 24 INCHES AND REBAR, A CONCRETE FOOTING, OR ANOTHER METHOD TO PREVENT REMOVAL OF THE SIGN IS RECOMMENDED. FOOTINGS FOR SIGNS LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE LOCAL JURISDICTION'S REQUIREMENTS.



FIRE LANE SIGN MOUNTING DETAIL



3 FIRE LANE 'BEGIN' NO STOPPING SIGN



4 FIRE LANE 'END' NO STOPPING SIGN

#### FIRE DEPARTMENT NOTES

1. NEWPORT BEACH FIRE DEPARTMENT SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL NEWPORT BEACH FIRE DEPARTMENT INSPECTION SCHEDULING AT (714) 644-3255.
2. A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS ON-SITE (OR DRYWALL FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 72,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS SHALL BE TESTED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION.
3. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
4. AN ORIGINAL APPROVED, SIGNED, WET-STAMPED NEWPORT BEACH FIRE, FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
5. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL ITEMS DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
6. FIRE APPARATUS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (72,000 LBS) AND TRUCK OUTRIGGER LOADS OF 75 LBS. PER SQUARE INCH OVER A TWO FOOT AREA. CALCULATIONS STAMPED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER SHALL CERTIFY THAT THE PROPOSED SURFACE MEETS THE CRITERIA OF AN ALL WEATHER DRIVING SURFACE AND IS CAPABLE OF WITHSTANDING THE WEIGHT OF 72,000 LBS. THESE LOADS ARE ALSO REQUIRED IF SURFACE IS TURF BLOCK OR OTHER ENGINEERED ALTERNATE SURFACE.
7. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY NEWPORT BEACH FIRE PRIOR TO USE.
8. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
9. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
10. BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
11. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED CITY OF NEWPORT BEACH FIRE MASTER PLAN AND STANDARDS FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
12. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 72,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
13. FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN ON DETAIL AND NEWPORT BEACH FIRE STANDARDS, AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
14. ALL ONSITE FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE NEWPORT BEACH FIRE STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
15. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED. ADDRESS NUMBERS SHALL BE ILLUMINATED AT NIGHT. FIRE DEPARTMENT SHALL HAVE INPUT ON BUILDING ADDRESSING.
16. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC.
17. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STRAVERS.
18. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
19. ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE NEWPORT BEACH FIRE DEPARTMENT.
20. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN NEWPORT BEACH FIRE STANDARDS AND RELATED PORTIONS OF THE CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.
21. A "KNOX" KEY STORAGE BOX WILL BE REQUIRED FOR EACH BUILDING. KEYS SHALL BE PROVIDED FOR ALL EXTERIOR ENTRY DOORS, FIRE PROTECTION EQUIPMENT CONTROL ROOMS, MECHANICAL ROOMS, EQUIPMENT ROOMS, PEDESTRIAN GATES, POOL GATES AND ADDITIONAL AREAS THE FIRE INSPECTOR UPON INSPECTION FINAL FINDS NECESSARY FOR EMERGENCY RESPONSE PERSONNEL. THE KNOX BOXES SHALL BE LOCATED ON EACH BUILDING IN THE SAME CONSISTENT LOCATION. E.G. MAIN ENTRANCE ETC.
22. AN UNDERGROUND PIPING PLAN IS REQUIRED FOR THE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM OR FOR A PRIVATE FIRE HYDRANT SYSTEM. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
23. AN ARCHITECTURAL PLAN IS REQUIRED TO BE SUBMITTED TO THE NEWPORT BEACH FIRE DEPT. FOR REVIEW AND APPROVAL.
24. AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH NFPA FULL 13, WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
25. SEPARATE PLAN SUBMITTAL AND PERMITS WILL BE REQUIRED FOR THE FOLLOWING ITEMS: FIRE ALARM SYSTEM, STANDPIPE SYSTEM.
26. A CHEMICAL CLASSIFICATION AND HAZARDOUS MATERIALS COMPLIANCE PLAN SHALL BE APPROVED BY THE NEWPORT BEACH FIRE DEPARTMENT PRIOR TO ANY HAZARDOUS MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
27. CONSTRUCTION GATES WILL BE PROVIDED WITH A KNOX OR BREAKAWAY PADLOCK.
28. STANDPIPES SHALL BE PROVIDED FOR ALL BUILDINGS AS PER C.F.C. SEC. 905.3.1.
29. EMERGENCY RESPONDER RADIO COVERAGE (800 MHZ WILL BE REQUIRED AND SHALL COMPLY WITH NEWPORT BEACH FIRE DEPARTMENT GUIDELINE & STANDARDS D.05 PUBLIC SAFETY RADIO SYSTEM COVERAGE.
30. STAIRWELL SIGNAGE SHALL MEET NEWPORT BEACH FIRE DEPARTMENT GUIDELINE & STANDARDS D.01.

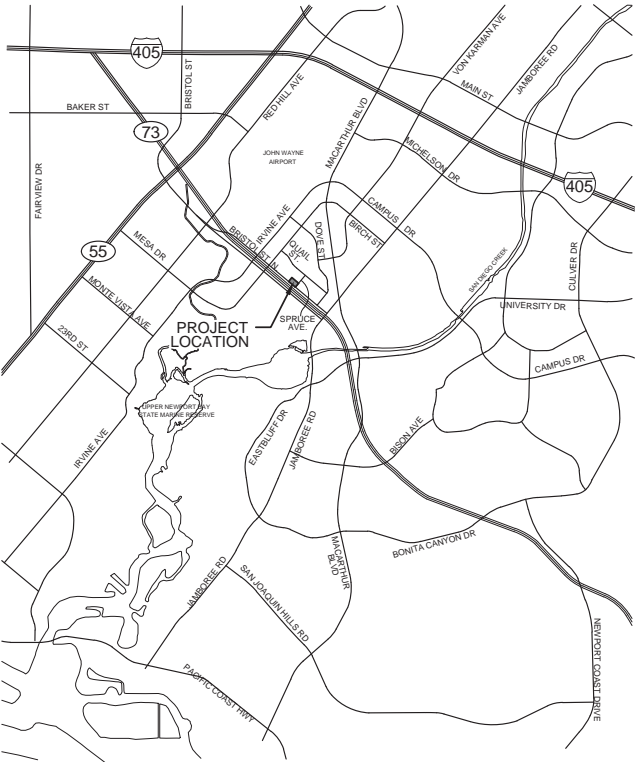
#### BUILDING DATA TABLE

BUILDING DESCRIPTION	OCCUPANCY TYPE	FIRE SPRINKLERS	CONSTRUCTION TYPE	GROSS SQUARE FOOTAGE
PARKING GARAGE	S-2	NFPA 13	I-A	139,849
SUBTERRANEAN LEVELS B1 & B2	S-2	NFPA 13	I-A	65,674
LEVEL 1 AT GRADE				
LEVELS 2 THRU 6	A & R-2	NFPA 13	III-A	268,061

#### MIN. FIRE FLOW AND FIRE HYDRANT SPACING REQUIREMENTS

MINIMUM FIRE FLOW OF 3,000 GPM AT 20PSI FOR 4 HOURS REQUIRED PER THE LARGEST BUILDING OF APPROXIMATELY 268,061 SQ.FT. AND TYPE III-A CONSTRUCTION. A MINIMUM OF THREE (3) FIRE HYDRANTS ARE REQUIRED SPACED NO MORE THAN 450-FEET FROM HYDRANT TO HYDRANT IN A THRU ROAD, AND NO MORE THAN 175-FEET FROM THE END OF A DEAD-END FIRE ACCESS ROAD.

#### VICINITY MAP



NOT TO SCALE



#### PREMISES IDENTIFICATION & ADDRESSING


##### PREMISES IDENTIFICATION

- A. APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON THE FRONT ELEVATION OF ALL BUILDINGS IN SUCH A POSITION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD ON WHICH THE PROPERTY IS ADDRESSED.
- B. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- C. THE NUMBERS SHALL BE A MINIMUM OF 6 INCHES OR MORE IN HEIGHT FOR RESIDENTIAL STRUCTURES WITH A ONE-INCH STROKE OR AS REQUIRED BY LOCAL ORDINANCE, WHICHEVER IS MORE RESTRICTIVE. BUILDING SETBACKS, ELEVATION AND LANDSCAPING CAN AFFECT THESE MINIMUM REQUIREMENTS.
- D. NUMBERS FOR NEW BUILDINGS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED TO BE VISIBLE AT NIGHT.
- E. NUMBERS/LETTERS SHALL BE OF NON-COMBUSTIBLE MATERIALS.

- IN ADDITION TO COMMON REQUIREMENTS SPECIFIED ABOVE, THE FOLLOWING ADDITIONAL REQUIREMENTS PERTAIN TO EACH BUILDING CONFIGURATION:
- A. MULTI-UNIT BUILDINGS - SUITE/APARTMENT NUMBERS SHALL BE PLACED ON OR ADJACENT TO THE PRIMARY ENTRANCE FOR EACH SUITE/APARTMENT AND ANY OTHER DOOR PROVIDING ACCESS TO FIRE DEPARTMENT PERSONNEL DURING AN EMERGENCY.
  - B. MULTIPLE RESIDENTIAL AND COMMERCIAL UNITS HAVING ENTRANCE DOORS NOT VISIBLE FROM THE STREET OR ROAD SHALL, IN ADDITION, HAVE APPROVED NUMBERS GROUPED FOR ALL UNITS WITHIN EACH STRUCTURE AND POSITIONED TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD.
  - C. MULTI-BUILDING CLUSTERS - APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON THE FRONT ELEVATION(S) OF ALL BUILDINGS THAT FORM THE CLUSTER.

##### PLACEMENT OF BUILDING IDENTIFICATION NUMBERS (ADDRESSES)

-  BUILDING IDENTIFICATION SIGN WITH 6" TALL MINIMUM LETTERING

-  BUILDING IDENTIFICATION SIGNAGE EXAMPLE 6" HIGH MINIMUM LETTERS

##### PLACEMENT OF UNIT ADDRESS NUMBERS

NOTE: BUILDING NUMBERS ATTACHED TO BUILDING IN CONTRASTING COLOR PER NEWPORT BEACH FIRE DEPT. SPECIFICATIONS NOTE: MINOR ADJUSTMENTS SHALL BE ALLOWED IN THE FIELD, PER THE DISCRETION OF NEWPORT BEACH FIRE DEPT. FIELD INSPECTOR

##### NOTE:

1. ACTUAL BUILDING ADDRESSES WILL BE COORDINATED WITH THE CITY OF NEWPORT BEACH AND THE POSTAL SERVICE. PLANS SHOWING THESE ADDRESSES WILL BE SUBMITTED TO THE NEWPORT BEACH FIRE DEPARTMENT UNDER A SEPARATE REVIEW.

#### COMBUSTIBLE CONSTRUCTION LETTER

MAY 31, 2023

NEWPORT BEACH FIRE DEPARTMENT  
100 CIVIC CENTER DRIVE  
NEWPORT BEACH, CA 92660

SUBJECT: COMBUSTIBLE CONSTRUCTION LETTER,  
1400 BRISTOL STREET N., NEWPORT BEACH, CA.

THE PURPOSE OF THIS LETTER IS TO NOTIFY YOU THAT THE 1400 BRISTOL STREET N. SHALL INSTALL ALL REQUIRED PAVED FIRE ACCESS ROADS THAT MEET NEWPORT BEACH FIRE DEPARTMENT ACCESS REQUIREMENTS PER THE APPROVED PLANS. ALL FIRE HYDRANTS AND WATER SUPPLY FOR FIREFIGHTING PURPOSES SHALL BE INSTALLED PER THE APPROVED PLANS AND SHALL MEET ALL FIRE FLOWS REQUIREMENTS, PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIALS BEING DELIVERED FOR CONSTRUCTION.

#### PARKING ENFORCEMENT LETTER

MAY 31, 2023

NEWPORT BEACH FIRE DEPARTMENT  
100 CIVIC CENTER DRIVE  
NEWPORT BEACH, CA 92660

RE: 1400 BRISTOL STREET N., NEWPORT BEACH, CA.  
PARKING ENFORCEMENT PLAN

THE FIRE LANE PARKING ENFORCEMENT PLAN FOR THE ABOVE REFERENCED PROJECT IS STATED AS FOLLOWS:

ALL FIRE LANES WITHIN PROJECT SHALL BE MAINTAINED AND IN NO EVENT SHALL PARKING BE PERMITTED ALONG ANY PORTION OF A STREET OR DRIVE THAT REQUIRED FIRE LANES OR ANY AREA DESIGNATED AS A FIRE LANE FOR TURN-AROUND OR DRIVE THROUGH PURPOSES.

ONSITE MANAGEMENT SHALL ADOPT REASONABLE RULES AND REGULATIONS REGARDING THE PARKING OF VEHICLES ALONG THE STREETS, ROADS AND OR DRIVES WITHIN THE PROJECT THAT ARE NOT IN CONFLICT WITH APPLICABLE LAW.

IN FURTHERANCE THEREOF, PROJECT ONSITE MANAGEMENT, THROUGH ITS OFFICERS, COMMITTEES AND AGENTS WILL ESTABLISH THE "PARKING" AND "NO PARKING" AREAS WITHIN THE PROPERTY IN ACCORDANCE WITH SECTION 22658.2 OF THE CALIFORNIA VEHICLE CODE AND NEWPORT BEACH FIRE DEPARTMENT STANDARDS. THE LAW SHALL BE ENFORCED THROUGH SUCH RULES AND REGULATIONS BY ALL LAWFUL MEANS, INCLUDING, WRITTEN WARNINGS, CITING, LEVYING FINES AND TOWING VEHICLES IN VIOLATION.

ONSITE MANAGEMENT WILL CONTRACT WITH A CERTIFIED PATROL AND TOWING COMPANY TO REMOVE VEHICLES THAT VIOLATE NO PARKING RESTRICTIONS. FIRST TIME VIOLATORS WILL RECEIVE A WRITTEN WARNING AND WITH SUBSEQUENT VIOLATIONS, THE VEHICLE SHALL BE SUBJECT TO TOWING. THE VEHICLE OWNER SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED IN REMEDYING SUCH VIOLATION, INCLUDING WITHOUT LIMITATION TOWING COST, CITATIONS AND LEGAL FEES.

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F-2 OVERALL FIRE MASTER PLAN LAYOUT AT GRADE  
F-3 LEVEL 2 & LEVEL 6 LAYOUTS  
F-4 BUILDING ELEVATIONS

CIVIL ENGINEER:



4930 CAMPUS DRIVE  
SANTA ANA, CA 92660  
P: 949.476.8888

CIVIL ENGINEER:



801 N PARKCENTER DRIVE  
IRVINE, CA 92705  
P: 714.560.8643

ARCHITECTURE/PLANNING:



19782 MACARTHUR BLVD. SUITE 300  
IRVINE, CA 92612  
P: 949.862.0270

PREPARED BY:



28486 AIROSO STREET  
RANCHO MISSION VIEJO, CA 92694  
OFFICE: (949) 240-5911

PREPARED FOR:



5000 BIRCH ST. EAST TOWER, SUITE 600  
NEWPORT BEACH, CA 92660  
P: 949.267.1573

TITLE:

FIRE MASTER PLAN  
COVER SHEET

1400 BRISTOL STREET NORTH  
NEWPORT BEACH, CA  
PARCEL NO.: 427-332-02  
NEWPORT BEACH FIRE DEPARTMENT

DATE:

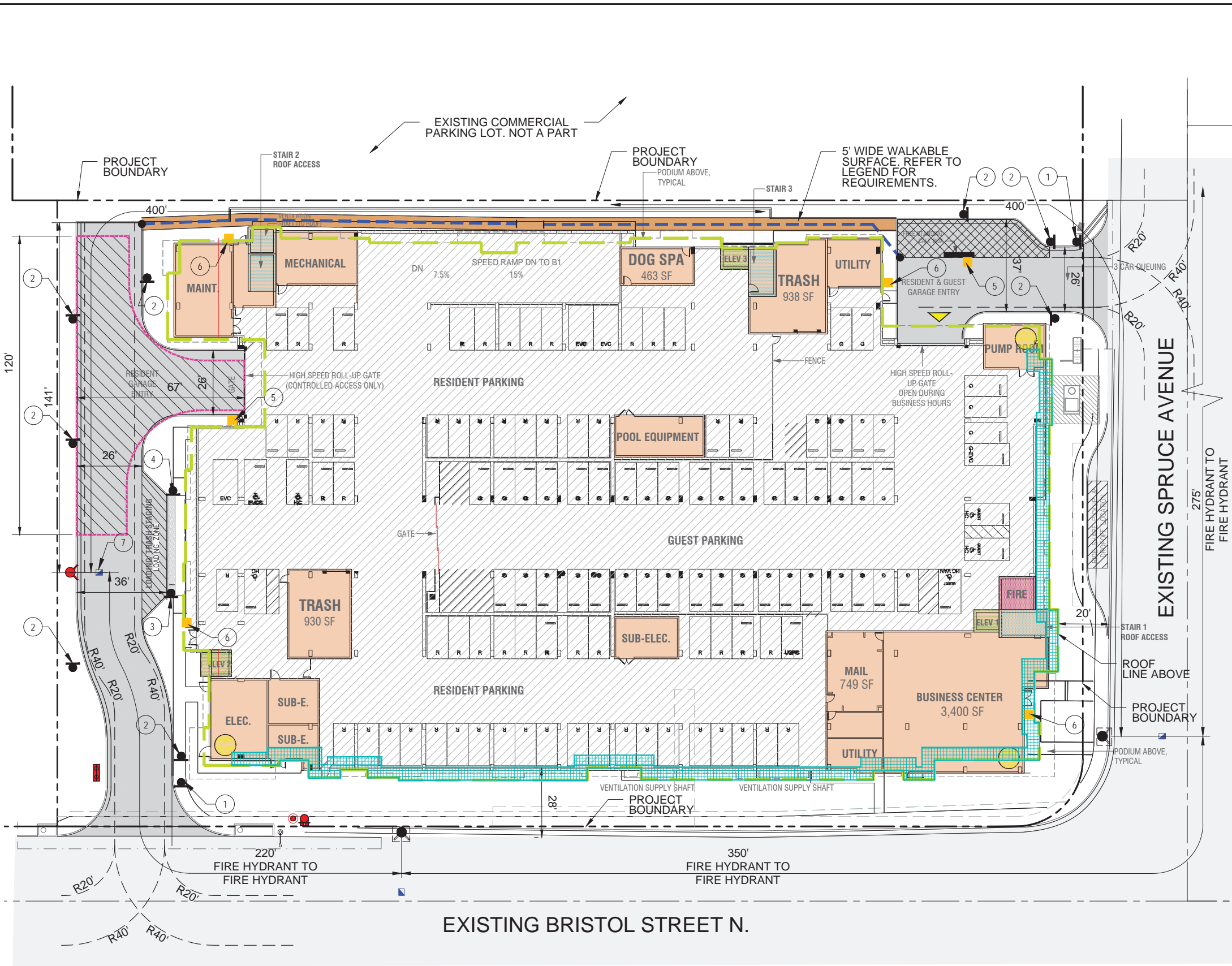
08/10/2023

SHEET:

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LEGEND

INDICATES 'NO STOPPING - FIRE LANE' SIGNS PER DETAILS SHT. F-1

INDICATES EXISTING PUBLIC FIRE HYDRANT WITH BLUE REFLECTIVE MARKER

INDICATES PROPOSED PRIVATE FIRE HYDRANT WITH BLUE REFLECTIVE FIRE HYDRANT MARKER. MARKER SHALL BE PLACED 6" FROM CENTERLINE OF HYDRANT SIDE OF STREET

INDICATES PROPOSED DOUBLE DETECTOR CHECK FOR AUTOMATIC FIRE SPRINKLER RISER CONNECTION AND PRIVATE FIRE HYDRANTS

INDICATES PROPOSED FIRE DEPARTMENT CONNECTION FOR AUTOMATIC FIRE SPRINKLER RISER CONNECTION

INDICATES PROPOSED POST INDICATOR VALVE LOCATED BETWEEN THE DOUBLE DETECTOR CHECK AND FIRE DEPARTMENT CONNECTION TO ISOLATE THE AUTOMATIC FIRE SPRINKLER RISER CONNECTION FROM THE BALANCE OF THE PRIVATE FIRE LINE

INDICATES GATE ENTRY TO PARKING GARAGE

INDICATES APPROXIMATE LOCATION OF KNOX BOX WITH 3-SETS OF ENTRY DOOR/GATE KEYS OR KNOX KEY SWITCH. SEE CONSTRUCTION NOTES FOR DESIGNATION.

INDICATES APPROXIMATE LOCATION OF THE BUILDING ADDRESS, MINIMUM 6" IN HEIGHT MEETING CITY OF NEWPORT BEACH REQUIREMENTS PROVIDED ON SHEET F-1. FINAL DESIGN AND LOCATION BY OTHERS

AERIAL TRUCK LADDER ACCESS TO BUILDING (BETWEEN 20' - 40' FROM ACCESS ROAD)

INDICATES STAIR LOCATIONS

INDICATES ELEVATOR LOCATIONS

INDICATES FIRE CONTROL ROOM LOCATION

INDICATES PROPOSED BUILDING (RESIDENTIAL AND INTERIOR COMMON USE)

INDICATES PROPOSED PARKING GARAGE

INDICATES LIMITS OF BUILDING ROOFLINE

INDICATES FIRE DEPARTMENT HOSE PULL WALKABLE ACCESS - 150' MAXIMUM

INDICATES 5' WIDE WALKABLE PATH OF TRAVEL. FINISH SURFACE SHALL BE OF CONCRETE, PAVERS OR DECOMPOSED GRANITE. VEGETATION IS NOT PERMITTED.

INDICATES PROPOSED FIRE ACCESS LANE WITH AN ALL WEATHER PAVED SURFACE CAPABLE OF SUPPORTING 72,000 LBS FOR FIRE APPARATUS AND TRUCK OUTRIGGER LOADS OF 75 POUNDS PER SQUARE INCH OVER 2-FOOT AREA. FIRE ACCESS LANES DO NOT REQUIRE A FIRE DEPARTMENT TURNAROUND SINCE THEY LESS THAN 150-FEET IN LENGTH PER CFC SECTION 503.2.5.

INDICATES NOT A PART OF FIRE ACCESS

CONSTRUCTION NOTES

① FIRE LANE ENTRANCE SIGN PER CITY OF NEWPORT BEACH FIRE DEPARTMENT. SEE DETAILS SHT. F-1.

② FIRE LANE 'NO STOPPING' SIGN PER CITY OF NEWPORT BEACH FIRE DEPARTMENT. SEE DETAIL SHT. F-1.

③ FIRE LANE 'NO STOPPING BEGIN' SIGN PER CITY OF NEWPORT BEACH FIRE DEPARTMENT. SEE DETAIL SHT. F-1.

④ FIRE LANE 'NO STOPPING END' SIGN PER CITY OF NEWPORT BEACH FIRE DEPARTMENT. SEE DETAIL SHT. F-1.

⑤ INSTALL KNOX KEY SWITCH.

⑥ INSTALL KNOX BOX WITH 3-SETS OF ENTRY DOOR/GATE KEYS.

⑦ INSTALL FIRE HYDRANT MARKER THAT SHALL BE PLACED 6" FROM CENTERLINE OF STREET.

DRAWING SCALE

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F-2 OVERALL FIRE MASTER PLAN LAYOUT AT GRADE

F-3 LEVEL 2 & LEVEL 6 LAYOUTS

F-4 BUILDING ELEVATIONS

CIVIL ENGINEER:

4930 CAMPUS DRIVE  
NEWPORT BEACH, CA 92660  
P: 949.476.8888

801 N PARKCENTER DRIVE  
SANTA ANA, CA 92705  
P: 714.560.8643

ARCHITECTURE/PLANNING:

19782 MACARTHUR BLVD. SUITE 300  
IRVINE, CA 92612  
P: 949.862.0270

28506 AIROSO STREET  
NEWPORT BEACH, CA 92664  
OFFICE: (949) 240-5911

PREPARED FOR:

5000 BIRCH ST. EAST TOWER, SUITE 600  
NEWPORT BEACH, CA 92660  
P: 949.267.1573

TITLE:

FIRE MASTER PLAN  
LAYOUT PLAN

1400 BRISTOL STREET NORTH  
NEWPORT BEACH, CA  
PARCEL NO.: 427-332-02

NEWPORT BEACH FIRE DEPARTMENT

DATE:

08/10/2023

SHEET:

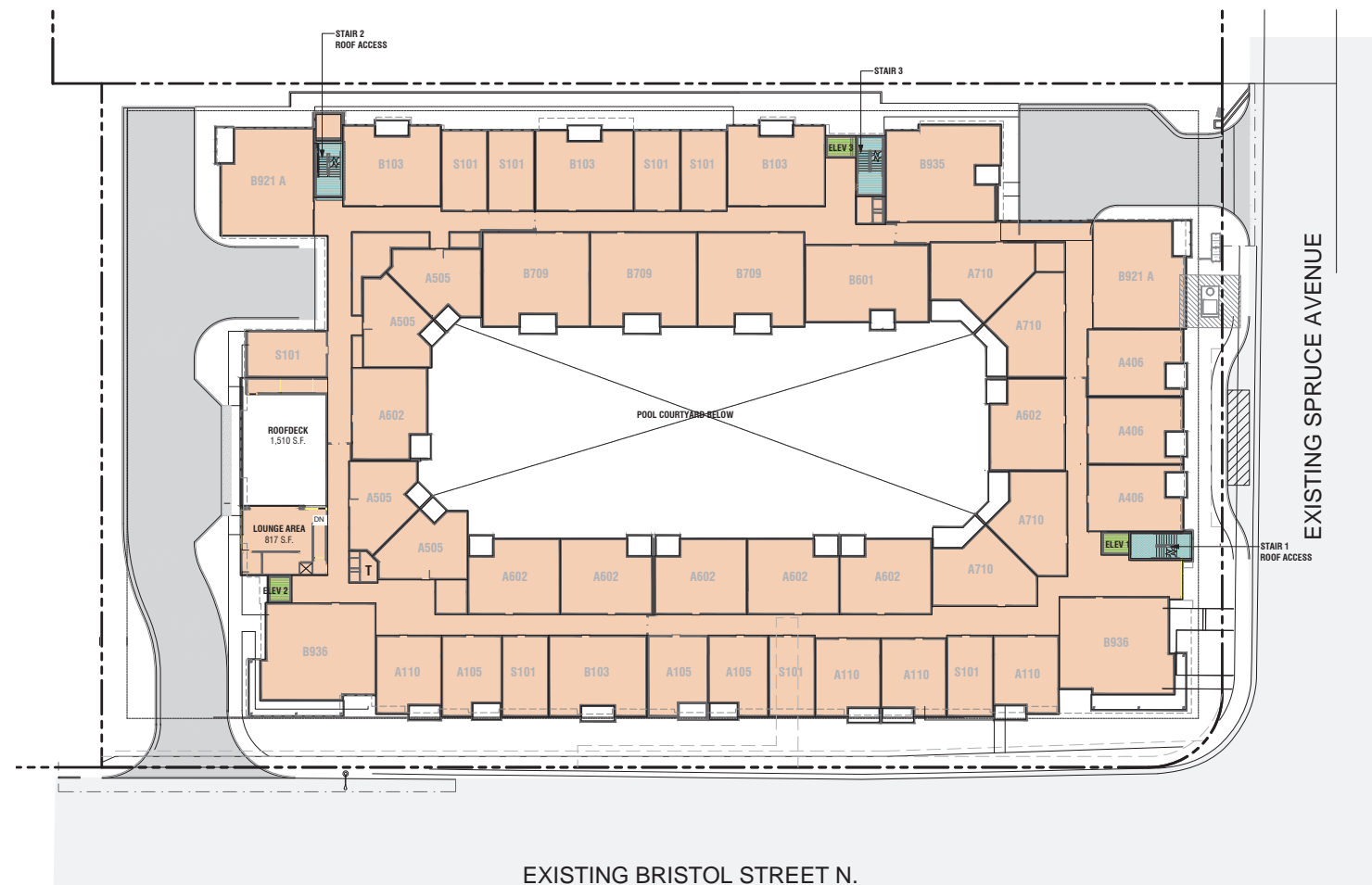
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## LEGEND



AERIAL TRUCK LADDER ACCESS TO BUILDING  
(BETWEEN 20' - 40' FROM ACCESS ROAD)

## LEGEND

- INDICATES APPROXIMATE LOCATION OF KNOX BOX WITH 3-SETS OF ENTRY DOOR/GATE KEYS.
- INDICATES STAIR LOCATIONS
- INDICATES ELEVATOR LOCATIONS
- INDICATES PROPOSED BUILDING (RESIDENTIAL AND INTERIOR COMMON USE)

## CONSTRUCTION NOTES

- ⑥ INSTALL KNOX BOX WITH 3-SETS OF ENTRY DOOR/GATE KEYS.

## DRAWING SCALE



**GRAPHIC SCALE**

30' 60'

1 inch = 30 ft.

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4930 CAMPUS DRIVE  
NEWPORT BEACH, CA 92660  
P: 949.476.8888

CIVIL ENGINEER:



801 N PARKCENTER DRIVE  
SANTA ANA, CA 92705  
P: 714.560.8643

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19782 MACARTHUR BLVD. SUITE 300  
IRVINE, CA 92612  
P: 949.862.0270

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28506 AIROSO STREET  
RANCHO MISSION VIEJO, CA 92694  
OFFICE: (949) 240-5911

PREPARED FOR:



5000 BIRCH ST. EAST TOWER, SUITE 600  
NEWPORT BEACH, CA 92660  
P: 949.267.1573

TITLE:

## FIRE MASTER PLAN

### UPPER LEVEL FLOORPLANS

1400 BRISTOL STREET NORTH  
NEWPORT BEACH, CA  
PARCEL NO.: 427-332-02

NEWPORT BEACH FIRE DEPARTMENT 277

DATE: 08/10/2023

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SOUTH ELEVATION

NOT TO SCALE



NORTH ELEVATION

NOT TO SCALE



WEST ELEVATION

NOT TO SCALE



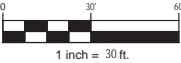
EAST ELEVATION

NOT TO SCALE

DRAWING SCALE



GRAPHIC SCALE



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NEWPORT BEACH, CA 92660  
P: 949.476.8888

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SANTA ANA, CA 92705  
P: 714.560.8643

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