



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

May 14, 2026
Agenda Item No. 2

SUBJECT: Nook Coffee Bar (PA2026-0047)
• Minor Use Permit

SITE LOCATION: 3027 Coast Highway East

APPLICANT: Mike Lee

OWNER: 3021 East Coast Highway LLC

PLANNER: Saul Mercado, Contract Planning Technician
949-644-3204, smercado@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Commercial Corridor (CC)
- **Zoning District:** Commercial Corridor (CC)
- **Coastal Land Use Plan Category:** Corridor Commercial (CC-B) (0.0–0.75 FAR)
- **Coastal Zoning District:** Commercial Corridor (CC)

PROJECT SUMMARY

A minor use permit request to establish a new coffee shop (Take Out Service - Fast Casual) within an existing 1,120-square-foot commercial suite located within a shopping center. The request includes minor tenant improvements to the suite with no expansion in floor area. The proposed coffee shop includes a new restroom, kitchen, service area and seating area limited to a maximum of 20 seats for patrons. No late hours are proposed as a part of the project.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving a Minor Use Permit Filed as PA2026-0047 (Attachment No. ZA 1).

DISCUSSION

Background and Zoning

- The proposed coffee shop is located within an existing commercial shopping center at the intersection of Iris Avenue and East Coast Highway in Corona Del Mar. The center is developed with two single-story, multi-tenant buildings and a shared 70-space surface parking lot (see Figure 1, below). The existing shopping center includes a diverse mix of tenants including Mother's Market, CVS Pharmacy, Jan's Health Bar, Orangetheory Fitness gym, and Gina's Pizza.



Figure 1: North Elevation of Project Site

- The Commercial Corridor (CC) land use category and zoning district is intended to establish areas appropriate for a range of neighborhood-serving retail and service uses, that foster pedestrian activity. The proposed coffee shop will primarily serve the adjacent residential neighborhoods, and pedestrians visiting the Corona Del Mar commercial corridor.
- The property is also located within the Coastal Zone and is categorized as Corridor Commercial (CC-B) (0.0-0.75 FAR) by the Coastal Land Use Plan and is located within the Commercial Corridor (CC) Coastal Zone District. The project does not result in an increase in parking intensity of the previous Personal Services, General land use (further discussed under *Parking* section below). Therefore, a coastal development permit (CDP) is not required for the project.
- Take-Out Service – Fast Casual establishments are allowed in the CC Zoning District subject to a minor use permit if within 100 feet of a residential use. The project abuts residential uses 50 feet to the north, across Iris Avenue, and to the west across First Avenue. Therefore, a minor use permit is required for the proposed use. Despite the project's location in the Coastal Zone, no enlargement

or intensification of the previous Personal Services – General land use is proposed. Therefore, a coastal development permit is not required for the project.

Operational Characteristics

- The site is developed with a one-story, multi-tenant commercial building. The proposed minor tenant improvement will create a kitchen, bathroom, service area, and seating area within an existing 1,120-square-foot suite. The coffee shop will have a maximum of 20 seats and is not proposing outdoor dining. Project plans are available in Attachment No. ZA 4.
- Despite abutting residential uses to the west of the subject site, the design of the existing shopping center shields the commercial uses of the site from nearby residential. The suite's front entrance and primary façade is oriented towards the shared parking lot, with the massing of the shopping center, and the location of the parking lot shielding adjacent residential uses. As a result, the site design is compatible with range of existing residential and commercial uses in the area.
- The Project proposes hours of operation from 7 a.m. to 6 p.m., daily, as described in the applicant's project description available as Attachment No. ZA 3. The Conditions of Approval (Exhibit A of Attachment ZA 1) establish allowed hours of operation from 7 a.m. to 9 p.m., daily, which provides the shop with future flexibility. The conditioned hours of operation conform to the existing operational patterns for commercial and retail uses on the site, and along the Corona Del Mar commercial corridor. No late hours (after 11 p.m.) or alcohol service is proposed.
- The site provides a shared trash enclosure on the eastern corner of the lot.

Parking

- The site is developed with a shared surface parking lot, which provides a total of 70 parking spaces. The site can be accessed by vehicle and pedestrian traffic from East Coast Highway, Iris Avenue, and First Avenue. Since the proposed project is primarily a take-out operation, the proposed use will serve residents and pedestrians of the Corona Del Mar Neighborhood. Therefore, the project is not expected to result in increased vehicular or pedestrian activity.
- The subject property is considered legal nonconforming as it was developed prior to the current zoning requirements and does not provide the minimum number of parking spaces required. Section 20.38.060 (Nonconforming Parking) of the Newport Beach Municipal Code (NBMC) allows for an existing use to be replaced by a new use, provided no intensification or enlargement (e.g. increase in floor area, or lot area) occurs and the new use requires a maximum of one space per 250 square feet of gross floor area. The parking requirement for Take-Out Service

– Fast Casual, eating and drinking establishments is one space per 250 square feet of gross floor area; and since the project does not propose any additional floor area, the project is not required to provide additional parking.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

PUBLIC NOTICE

Notice of this hearing was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal or call for review may be filed with the Director of Community Development within 14 days following the date of the action. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Saul Mercado, Contract Planner

DL/sm

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|--------------|------|----------------------------|
| Attachments: | ZA 1 | Draft Resolution |
| | ZA 2 | Vicinity Map |
| | ZA 3 | Project Description Letter |
| | ZA 4 | Project Plans |

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA APPROVING A MINOR USE PERMIT FOR A TAKE-OUT SERVICE – FAST CASUAL EATING AND DRINKING ESTABLISHMENT LOCATED AT 3027 EAST COAST HIGHWAY (PA2026-0047)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Mike Lee (Applicant), concerning property located at 3027 East Coast Highway, and legally described as Parcel 1 of Block H of Parcel Map No. 80-725 (Property), requesting approval of a minor use permit.
2. The Applicant proposes a coffee shop (Take-out Service – Fast Casual) within an existing 1,120-square-foot commercial suite located within a shopping center. The request includes minor tenant improvements to the suite with no expansion in floor area. The proposed coffee shop includes a new restroom, kitchen, service area, and a seating area limited to a maximum of 20 seats for patrons. The proposed hours of operation are 7 a.m. to 6 p.m., daily (Project).
3. The Property is categorized as Corridor Commercial (CC) by the General Plan Land Use Element and is located within the Commercial Corridor (CC) Zoning District.
4. The Property is located within the coastal zone, and is categorized as Corridor Commercial (CC-B) (0.0-0.75 FAR) by the Coastal Land Use Plan and is located within the Commercial Corridor (CC) Coastal Zone District. The Project does not result in an increase in parking intensity of the previous Personal Services, General land use. Therefore, a coastal development permit (CDP) is not required for the Project.
5. A public hearing was held on May 14, 2026 online via Zoom. A notice of the time, place, and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project is exempt from the California Environmental Quality Act (CEQA) under Section 15301 under Class 1 (Existing Facilities) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The exceptions to this categorical exemption under Section 15300.2 are not applicable

2. The Class 1 exemption allows the operation and minor alteration of existing facilities involving negligible or no expansion of use. The Project proposes interior alterations to an existing commercial space with no expansion in floor area or increase in parking demand. Therefore, the Class 1 exemption is applicable.

SECTION 3. REQUIRED FINDINGS.

By Section 20.52.020 (Conditional Use Permits and Minor Use Permits) of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The use is consistent with the General Plan and any applicable specific plan.*

Facts in Support of Finding:

1. The Land Use Element of the General Plan categorizes the Property as Corridor Commercial (CC). Table LU1 (Land Use Plan Categories) specifies that the CC category is intended to provide a range of neighborhood-serving retail and service uses, that are designed to foster pedestrian activity. The Project is for a coffee shop, which will serve the neighborhood and complement the land uses of the surrounding community.
2. The Property is not part of a specific plan area.

Finding:

- B. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code.*

Facts in Support of Finding:

1. The Property is located within the Commercial Corridor (CC) Zoning District. Table 2-5 of the Newport Beach Municipal Code Section 20.20.020 (Commercial Zoning Districts Land Uses and Permit Requirements) allows a Take-Out Service – Fast Casual use subject to approval of a minor use permit, if within 100 feet of a residential zoning district. A Take-Out Service – Fast Casual use is defined as an establishment that sells food or beverages, with the exception of alcoholic beverages, primarily for off-site consumption, where customers order and pay at either a counter or service window, and provides a maximum of 20 seats for on-site consumption of food or beverages, including seats in interior and outdoor dining areas. The Project proposes a coffee shop with a maximum of 20 seats. A minor use permit is required because the site is approximately 50 feet east of a residential zoning district.
2. The Property was originally developed in 1938, prior to current parking requirements and provides a total of 70 surface parking spaces. The Property is considered nonconforming, as it does not provide the required number of parking spaces required by code. Pursuant to Section 20.38.060 (Nonconforming Parking) a new use may

replace an existing use without providing additional parking provided no intensification or enlargement (e.g., increase in floor area, or lot area) occurs and the new use requires a parking rate of no more than one space per 250 square feet. Suite 3027 was formerly a dry cleaner, authorized by Use Permit No. UP 3355, and was required to provide one space per 250 square feet of gross floor area. The new Take-Out Service – Fast Casual use, is required to provide an identical one space per 250 square feet for gross floor area. Therefore, the Project is not required to provide any additional parking.

Finding:

- C. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity.*

Facts in Support of Finding:

1. The Project is located in a commercial and retail shopping center at the intersection of Iris Avenue and East Coast Highway. Across Iris Avenue, The Project abuts one- and two-unit residences. The Project's location on East Coast Highway contributes to the existing Corona Del Mar commercial corridor, providing a range of neighborhood-serving retail and commercial uses. The shopping center is developed with two single-story, multi-tenant buildings and a 70-space shared surface parking lot. The existing shopping center includes a diverse mix of tenants including Mother's Market, CVS Pharmacy, Jan's Health Bar, Orangetheory Fitness gym, and Gina's Pizza.
2. Although the Project is located adjacent to a residential zoning district across Iris and First Avenue, the design of the shopping center shields neighboring residential uses from negative impacts. Entrance to the Project faces the shared parking lot, and no impacts to surrounding land uses are expected. Additionally, no outdoor dining is proposed.
3. The Project includes a tenant improvement of an existing 1,120-square-foot commercial suite to convert the use from the previous dry cleaner to a coffee shop. The floor area of the suite is not proposed to increase as a part of the Project.
4. Although the proposed hours of operation by the Applicant are from 7 a.m. to 6 p.m., daily, Condition of Approval No. 4 establishes allowable hours of operation from 7:00 a.m. to 9:00 p.m., daily to provide future flexibility. The proposed hours of operation are similar to the operational hours of other uses on the Property, and along the Corona Del Mar Commercial Corridor.
5. Fact 2 in Support of Finding B is hereby incorporated as reference.

Finding:

- D. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.*

Facts in Support of Finding:

1. The Property is located at the intersection of East Coast Highway and Iris Avenue. Access to the site is provided from East Coast Highway, Iris Avenue and First Avenue. The Newport Beach Fire Department has reviewed the Project to ensure existing vehicular and pedestrian access points to the property adequately provide public and emergency access.
2. A trash enclosure is provided on the eastern corner of the site. Condition of Approval No. 13 has been included to outline the required standards and maintenance for trash enclosures.
3. The Applicant is required to obtain Orange County Health Department Approval prior to opening for business, to ensure the safety and welfare of customers and employees within the restaurant.
4. The Public Works Department, Fire Department and Building Division have reviewed the project and have no concerns, subject to the appropriate conditions of approval. Condition of Approval No. 21 requires the applicant to obtain all applicable building permits from the City's Building Division and Fire Department, ensuring compliance with all Building and Fire Codes.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this project is categorically exempt from the California Environmental Quality Act under Section 15301 under Class 1 (Existing Faculties) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Minor Use Permit filed as PA2026-0047, subject to the conditions outlined in Exhibit "A", which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or a call for review is filed with the Community Development Director by the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED, AND ADOPTED THIS 14TH DAY OF MAY, 2026.

Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT "A"**CONDITIONS OF APPROVAL**

(Project-specific conditions are in italics)

Planning Division

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. The project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
3. The applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may cause the revocation of this Minor Use Permit.
4. *The hours of operation for this establishment shall be limited to the hours of 7 a.m. to 9 p.m., daily.*
5. This Minor Use Permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, welfare, or materially injurious to property or improvements in the vicinity or if the property is operated or maintained to constitute a public nuisance.
6. Any change in operational characteristics, expansion in the area, or other modification to the approved plans, shall require an amendment to this Minor Use Permit or the processing of a new Minor Use Permit may be required.
7. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans before issuance of the building permits.
8. The site shall not be excessively illuminated based on the luminance recommendations of the Illuminating Engineering Society of North America, or, in the opinion of the Director of Community Development, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
9. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control), under Sections 10.26.025 (Exterior Noise Standards) and 10.26.030 (Interior Noise Standards), and other applicable noise control requirements of the Newport Beach Municipal Code (NBMC).

10. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner or leasing agent.
11. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays, or Holidays.
12. No outside paging system shall be utilized in conjunction with this establishment.
13. All trash shall be stored within the building or within dumpsters stored in the trash enclosure (three walls and a self-latching gate) or otherwise screened from view of neighboring properties, except when placed for pick-up by refuse collection agencies. The trash enclosure shall have a decorative solid roof for aesthetic and screening purposes.
14. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or public right-of-way.
15. The exterior of the business shall be always maintained free of litter and graffiti. The owner or operator shall provide for daily removal of trash, litter debris, and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.
16. Deliveries and refuse collection for the facility shall be prohibited between the hours of 10 p.m. and 7 a.m. on weekdays and Saturdays and between the hours of 10 p.m. and 9 a.m. on Sundays and Federal holidays unless otherwise approved by the Director of Community Development and may require an amendment to this Use Permit.
17. Storage outside of the building in the front or at the rear of the property shall be prohibited, except for the required trash container enclosure.
18. A Special Events Permit is required for any event or promotional activity outside the normal operating characteristics of the approved use, as conditioned, or that would attract large crowds, involve the sale of alcoholic beverages, include any form of on-site media broadcast, or any other activities as specified in the Newport Beach Municipal Code to require such permits.
19. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 (Planning and Zoning) of the Newport Beach Municipal Code.
20. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers,

employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Nook Coffee Bar including, but not limited to, Minor Use Permit (PA2026-0047)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages that which City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Building Division

21. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements. Approval from the Orange County Health Department is required before the issuance of a building permit.
22. An accessible path of travel from parking and public right-of-way shall be required per 11B-202.4 California Building Code.

Public Works Department

23. No encroachments shall be permitted within the public right-of-way including but not limited to outdoor dining, signs, or display items.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Minor Use Permit
(PA2026-0047)
3027 East Coast Highway

Attachment No. ZA 3

Project Description Letter



We are writing to formally introduce Nook Coffee Bar as part of the public hearing process for our proposed location in Corona Del Mar.

Nook Coffee Bar is a specialty coffee concept centered on quality, hospitality, and creating a welcoming neighborhood gathering space. We currently operate three successful locations in Costa Mesa, Torrance, and Rancho Cucamonga. Through these locations, we have developed strong operational systems and a consistent reputation for professionalism, cleanliness, and community engagement.

Our goal is to thoughtfully integrate into the Corona Del Mar community by offering a calm, well-designed environment where residents can meet, work, and connect.

Our proposed business hours are 7:00 a.m. to 6:00 p.m., with no evening or late-night operations. Our model is strictly daytime-focused, and we do not plan to host evening events, entertainment, or amplified activities. We are committed to operating in a manner that respects the character and pace of the neighborhood.

We will maintain a clean and well-presented storefront, implement responsible waste management practices, and ensure our operations minimize noise, traffic, and parking impacts. Our experience operating in Southern California communities has reinforced the importance of being a responsible and community-oriented business partner.

We sincerely appreciate the opportunity to present our concept and respectfully request your consideration and support. We look forward to contributing positively to the vibrancy and charm of Corona Del Mar.

Thank you for your time and consideration.

Sincerely,

Chris Kim
Edward Kim
Nook Coffee Bar

Attachment No. ZA 4

Project Plans

T.I. WORK FOR Nook Coffee Bar

3027 East Coast Hwy, Corona Del Mar, CA, 92625

VICINITY MAP



ABBREVIATIONS

A ANCHOR BOLT	E FLOOR DRAIN	Q ON CENTER
AB ABOVE	FABR FABRICATE	O.C. OUTSIDE DIMENSION
ACT ACoustical CEILING TILE	FE FIRE EXTINGUISHER	OH OPPOSITE HAND
ACC ACCESSORY	FF FINISH FLOOR	OPP OPPOSITE
AD AREA DRAIN	FIN FINISH	OSCL OWNER SUPPLIED & OWNER INSTALLED
ADJ ADJACENT	FLR FLOOR	OSCL OWNER SUPPLIED & CONTRACTOR INSTALLED
ADJUST ADJUSTABLE	FND FOUNDATION	
A.F.F. ABOVE FINISH FLOOR	F.O. FACE OF	
ALUM ALUMINUM	F.O.C. FACE OF CONCRETE	
ANOD. ANODIZED	F.O.F. FACE OF FINISH	
ARCH. ARCHITECTURAL	F.O.M. FACE OF MASONRY	
AV. AUDIO VISUAL	F.O.S. FACE OF STRUCTURE	
	FP. FIRE PANEL	
B BOARD	FFC FIRE PROTECTION CABINET	
BD. BUILDING	F.F.R.P. FIBERGLASS REINFORCED PLASTIC	
BO. BOTTOM OF	F.L. FLOOR LEVEL	
BDM. BOTTOM OF MASONRY	F.S. FLOOR SINK	
BOS. BOTTOM OF STEEL	FT. FEET	
BSMT. BASEMENT	FTG. FOOTING	
	FURR. FURRING	
	R.C.P. REFLECTED CEILING PLAN	
	R.O. ROUGH OPENING	
CAB. CABINET	GA GALVANIZED	
CB. CATYON BASIN	GA GALVANIZED	
CG. CORNER GUARD	GYP.BD. GYPSUM BOARD	
CH CLOTHES HOOK	GCN. GENERAL CONTRACTOR	
CH CAST IN PLACE	GEN. GENERAL	
CJ. CONTROL JOINT	GL. GLASS	
CLG. CEILING	GYP. GYPSUM	
CLR. CLEAR		
CMU CONCRETE MASONRY UNIT	H HOT WATER	
CNTR. COLUMN	HW. HARD WOOD	
COL. COLUMN	HDWD. HORIZONTAL	
CONC. CONCRETE	HRC. HOLLOW METAL	
CONT. CONTINUOUS	H.M. HEATING, AIR CONDITIONING	
CONST. CONSTRUCTION	H.V.A.C. HEIGHT	
CPT. CARPET		
CSCI. CONTRACTOR SUPPLIED CONTRACTOR INSTALLED	I INTERIOR	
CR. CONCRETE REVEAL	INT. INTERIOR	
CS. COUNTERSINK	INSUL. INSULATION	
CT. CERAMIC TILE	I.M. ICE MAKER	
	INCL. INCLUDING	
	INFO. INFORMATION	
D DOUBLE		
DBL. DEMOLITION	L LAVATORY	
DEPT. DEPARTMENT	LAV. LAVATORY	
DIA. DIAMETER	LAM. LAMINATE	
DIM. DIMENSION	LB. (OR #) POUND	
DN. DOWN		
DS. DOWNSPOUT	M MAINTENANCE	
DR. DOOR	MAINT. MAINTENANCE	
DTL. DETAIL	MAX. MAXIMUM	
DW. DOWNSPOUT	MDO. MEDIUM DENSITY OVERLAY	
DWS. DRAWING	MCH. MECHANICAL	
	MFR. MANUFACTURER	
E EAST	MN. MASONRY OPENING	
EA. EACH	MTD. MOUNTED	
EACH FACE	MTL. METAL	
EF. EXPANSION JOINT	MISC. MISCELLANEOUS	
EL. ELEVATION	M.T.H. METAL THRESHOLD	
ELECT. ENCL.	M.W. MICROWAVE	
EQ. EQUAL	MGR. MANAGER	
EQUIP.	N NOT IN CONTRACT	
EL.ELEV.	N.C. NUMBER	
EW. EACH WAY	N.O. (OR #) NOT TO SCALE	
	N.T.S. NOT TO SCALE	
	P PAINT	
	P.L. PLATE	
	P.L.A.M. PLASTIC LAMINATE	
	PNL. PANEL	
	PT. PRESSURE TREATED	
	PTD. PAPER TOWEL DISPENSER	
	PTN. PARTITION	
	R R.C.P. REFLECTED CEILING PLAN	
	R.O. ROUGH OPENING	
	S SELF ADHESIVE MEMBRANE	
	SAM. SOLID CORE	
	SCHD. SCHEDULE	
	SCHED. SCHEDULE	
	S.D. SMOKE DETECTOR	
	S.F. SQUARE FEET	
	SFT. SHEET	
	SHTG. SHEATHING	
	SM. SQUARE INCHES	
	S.M. SLAB ON GRADE	
	S.S. SPECIFICATIONS	
	S.S. STAINLESS STEEL	
	STD. STANDARD	
	STG. SM STANDING STEEL	
	STL. STEEL	
	STRUC. STRUCTURAL	
	T TOP & BOTTOM	
	T.B. TEMPERED GLASS	
	T. TOP OF	
	T.O.C. TOP OF CONCRETE	
	T.O.J. TOP OF JOIST	
	T.O.M. TOP OF MASONRY	
	T.O.S. TOP OF STEEL	
	T.O.W. TOP OF WALL	
	TS TYPICAL	
	U UNLESS NOTED OTHERWISE	
	UN UNLESS OTHERWISE NOTED	
	V VINYL COMPOSITION TILE	
	VCT VERIFY IN FIELD	
	VERT. VERTICAL	
	W WASHER	
	W. WITH	
	W.C. WATER CLOSET	
	W/O WITHOUT	
	W.O. WHERE OCCURS	
	W.P. WATER-PROOF	
	W.R. WEATHER-RESISTIVE	

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PROJECT DATA

BUILDING INFORMATION

JOB SITE ADDRESS : 3027 East Coast Hwy, Corona Del Mar, CA, 92625

CROSS STREETS : E Coast Hwy, Irish Ave

EXISTING OCCUPANCY GROUP : B

PROPOSED OCCUPANCY GROUP : B (RESTAURANT - Coffee Shop)

PROPOSED TOTAL WORK AREA : ± 1120.8 S.F.

STORIES : 1 STORY

CONSTRUCTION TYPE : TYPE V-B (NO FIRE SPRINKLER)

CONSTRUCTION VALUATION : \$150,000

FACILITY NAME : NOOK COFFEE BAR

OCCUPANT LOAD : 20

MAX. NO. OF EMPLOYEE : 3

SEWER : CITY SEWER

WATER : CITY WATER

BUSINESS HOUR : 8AM TO 9PM

EXISTING PARKING SPACE : NO (EXISTING NO PARKING SPACE TO REMAIN)

PROJECT DIRECTORY

OWNER

NOOK COFFEE
7925 Valley View St, La Palma, CA, 90623

CIVIL ENGINEER

BOLD ENGINEER & ASSOCIATES, INC
840 S WILTON PLACE, LOS ANGELES, CA, 90005
213-388-3049
boldengineer@gmail.com

PLUMBING / ELECTRICAL ENGINEER

JS ENGINEERING, INC
410 S. SAN GABRIEL BL., #8, SAN GABRIEL, CA, 91776
626-497-0258
ZHIGANG ZHANG

FIRE NOTES

- PROVIDE SIGNAGE ON ELECTRICAL EQUIPMENT NO STORAGE WITHIN 36 INCHES BY ORDER OF THE FIRE MARSHAL*
- PROVIDE BLACK/YELLOW HATCH STRIPES ON FLOOR 30 INCHES IN FRONT OF ELECTRICAL EQUIPMENT AND STENCIL "NO STORAGE" MINIMUM 4 INCH LETTERS ON THE FLOOR INSIDE OF THE HATCHED STRIPE.
- PROVIDE FIRE EXTINGUISHERS, CONTACT LAFD FOR SIZE, TYPE AND LOCATION.
- REMOVE ALL HASPS AND OTHER LOCKING DEVICES FROM REAR DOORS. DOOR EXITING HARDWARE SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE, CHAPTER 4, AND CHAPTER 10.
- EXTERIOR REAR DOOR SHALL BE MARKED WITH BUSINESS NAME AND SUITE NUMBER.
- BUSINESS OWNER SHALL BE NOTIFIED THAT REAR EXIT THAT OPENS TO THE SERVICE CORRIDOR / EMERGENCY SECONDARY EXIT SHALL BE KEPT FREE OF COMBUSTIBLE MATERIALS AND OTHER STORAGE AT ALL TIMES.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN 75' MAXIMUM TRAVEL DISTANCE FOR EACH 0,000 S.F. OR PORTION THEREOF ON EACH FLOOR (LIGHT HAZARD); 3,000 S.F. (MODERATE); OR 2,000 S.F. (HIGH HAZARD)(CFC 909.3)
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (CFC 505.1; FHPS P-00-6)
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. (CFC CHAPTER 8)

BUILDING CODES:

2022 California Building Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Fire Code
2022 California Energy Code

Chapter 15 of the Newport Beach Municipal Code (NBMC)

SEPARATE PERMIT

- APPROVAL IS REQUIRED FROM THE HEALTH DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
 - Orange County Fire Authority (OCFA), IF APPLICABLE
 - SIGNAGE PERMIT
 - PLUMBING DIVISION
 - INDUSTRIAL EMPI (EMP)
- Fire sprinklers are currently NOT installed

TENANT IMPROVEMENT

New Food Facility

NEW KITCHEN & SERVICE COUNTER

RESTROOM

REMODELING

SCOPE OF WORK

NEW KITCHEN & SERVICE COUNTER

RESTROOM

REMODELING

REGULATORY AGENCIES

BUILDING DEPARTMENT

La Palma City - Department of Building and Safety
100 Civic Center Drive, Newport Beach, CA 92660 |
Phone: 949-644-3309
PLAN SUBMIT: https://www.newportbeachca.gov

HEALTH DEPARTMENT

1241 E. Dyer Road, Suite 120, Santa Ana
Phone: (714) 433-6074
PLAN SUBMIT: plancheck@otca.com

OCCUPANT LOAD ANALYSIS

- NOTE
- WHENEVER THE BUILDING IS OCCUPIED, EXIT SIGNS SHALL BE LIT SO THAT THEY ARE CLEARLY VISIBLE.
 - PROVIDE APPROVED LOW-LEVEL EXIT SIGN IN ALL EXTERIOR EXIT CORRIDORS (TITLE 24, PART 2, CHAPTER 10)
 - EGRESS OCCUPANT LOAD AND EGRESS DIRECTION

USE	AREA (s.f.)	OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD
101 DINING AREA	292.5 S.F.	15	17
103 SERVICE AREA	188.5 S.F.	200	1
104 KITCHEN AREA	548.5 S.F.	200	2
106 RESTROOM	49 S.F.	-	-
TOTAL AREA (EXCLUDING WALLS AND UNOCCUPIED AREA)	1,068 SF	TOTAL OCCUPANT LOAD	20

PLUMBING FIXTURE ANALYSIS

CODE REFERENCE
CPC - TABLE 4-1 OCCUPANT LOAD FACTOR

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR (square feet)
Without fixed seats	11
Waiting, terminal (portable seating space)	15
With fixed seats	See CBC 1004.6 Use 50% of the fixed seating value
Business Office, sales/retailing, administration, food processing, courtroom, ambulatory clinic	150 See CBC 1004.8
Kitchen/food prep (commercial)	400
Mercantile (wholesale, retail)	400
Warehouse (Distribution portions - selecting, processing, packing, receiving, shipping)	500

- CODE REFERENCE
CBC 1004.6
- For areas having fixed seating without dividing arms, the occupant load shall be not less than the number of seats based on one person for each 18 inches (457 mm) of seating length.
 - The occupant load of seating booths shall be based on one person for each 24 inches (610 mm) of booth seat length measured at the backrest of the seating booth.
- CBC 1004.8
- The occupant load factor for concentrated business use shall be applied to telephone call centers, trading floors, electronic data processing centers and similar business use areas with a higher density of occupants than would normally be expected in a typical business occupancy environment.
 - Where approved by the code official, the occupant load for concentrated business use areas shall be the actual occupant load, but not less than one occupant per 50 square feet (4.63 m²) of gross occupiable floor space.

FIXTURE OCCUPANCY LOAD

USE	AREA	LOAD FACTOR	OCCUPANCY LOAD	TOTAL OCC. LOAD
101 DINING AREA	278 S.F.	11	28	30
103 SERVICE AREA	95 S.F.	50	2	
104 KITCHEN AREA	548 S.F.	50	11	

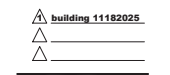
PLUMBING FIXTURE REQUIREMENTS

PLUMBING FIXTURE CALCULATION PER 2019 CPC, TABLE 422.1

USE	OCCUPANCY LOAD	REQ. TOILET	PROVIDED TOILET	REQ. URINAL	PROVIDED URINAL	REQ. LAVATORY	PROVIDE LAVATORY	REQ. SERVICE SINK	PROVIDE SERVICE SINK
UNISEX RESTROOM	30	1	1	0	0	1	1	1	1

ONE TOILET (UNISEX RESTROOM) FACILITY
2022 CPC 422.2 EXCEPTION (3)
IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES

Job site :
3027 East Coast Hwy, Corona Del Mar
CA, 92625



DRAWN BY: JAY HAN

SCALE:

TITLE SHEET

G-001

22. GLAZING:
 A. GLASS THICKNESS, STRENGTH, MATERIALS AND METHOD OF INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF THE BUILDING CODE.
 B. GLAZING IN INGRESS AND EGRESS DOORS EXCEPT GLAZING IN FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS OTHER THAN WARDROBE DOORS: GLAZING IN STORM DOORS; GLAZING IN ALL UNFRAMED SWINGING DOORS; GLAZING IN SHOWER AND BATH/TUB DOORS AND ENCLOSURES; GLAZING, OPERABLE AND INOPERABLE, ADJACENT TO A DOOR IN ALL BUILDING AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN 12 INCHES OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE; GLAZING IN FIXED PANELS NOT ADJACENT TO A DOOR WHICH HAS A GLAZED AREA IN EXCESS OF 9 SQ. FT. AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
 C. ALL GLASS MUST COMPLY WITH U.S. CONSUMER SAFETY PROTECTION COMMISSION REQUIREMENTS.
 D. GLASS NOTED AS LAMINATED PLATE GLASS SHALL HAVE AN APPROVED UNDERLAYER HAVING A MINIMUM THICKNESS OF 0.030 INCH.
23. LATH AND WALLBOARD: IN PLACE INSPECTION IS REQUIRED FOR ALL INTERIOR AND EXTERIOR LATH AND WALLBOARD BEFORE ANY PLASTERING IS APPLIED OR ANY JOINTS AND FASTENERS HAVE BEEN TAPED AND FINISHED.
24. WEEP SCREEDS: A WEEP SCREED SHALL BE PROVIDED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS CONSTRUCTED ON CONCRETE SLABS ON GRADE. THE SCREED SHALL BE OF TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
25. ALL SHEET METAL TO BE 26 GA. GALVANIZED IRON UNLESS OTHERWISE NOTED.
26. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOF BUILDING PAPER BEHIND THE WALL COVERING.
27. PLATES, STILLS, AND SLEEPERS: ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR FOUNDATION REDWOOD.
28. STUD WALL: TYPICAL WALLS SHALL BE FRAMED WITH 2X4 STUDS AT 16" ON CENTERS UNLESS NOTED OTHERWISE IN THE STRUCTURAL DRAWINGS.
29. PENETRATIONS: PENETRATIONS IN WALLS REQUIRING PROTECTED OPENINGS SHALL BE FIRE-STOPPED. FIRE-STOPPING SHALL BE AN APPROVED MATERIAL SECURELY INSTALLED AND CAPABLE OF MAINTAINING ITS INTEGRITY WHEN SUBJECTED TO TEST TEMPERATURES PRESCRIBED IN U.B.C. STANDARDS FOR THE SPECIFIC WALL OR PARTITION.
30. ROOF: FIRE RETARDANT ROOF COVERING (REFER TO ROOF PLAN FOR MORE SPECIFICATIONS) WHICH SHALL BE:
 A. ANY CLASS A OR B BUILT-UP ROOFING ASSEMBLY.
 B. ANY OTHER SPECIFIED METHOD.
31. PLYWOOD ROOF SHEATHING SHALL BE BONDED WITH INTERMEDIATE OR EXTERIOR TYPE GLUE
32. DOOR OPENINGS IN MASONRY WALLS SHALL BE 4" HOR. AND 2" VERTICAL LARGER THAN THE DOOR DIMENSION TO PROVIDE FOR METAL DOOR FRAME. OPENINGS ARE DIMENSIONED TO JOINT-CENTERLINE.
33. THE MAXIMUM ALLOWABLE CUT WITHOUT SHORING SHALL BE AS SPECIFIED IN THE APPROVED SOILS REPORT.
34. TEMPORARY SHORING IS REQUIRED FOR EXCAVATIONS THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY OR AN EXISTING BUILDING. EXCAVATIONS ADJACENT TO A PUBLIC WAY REQUIRE PUBLIC WORKS APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.
35. PROTECTION OF ADJOINING PROPERTY: THE REQUIREMENT FOR PROTECTION OF ADJACENT PROPERTY AND DEPTH TO WHICH PROTECTION IS REQUIRED SHALL BE AS DEFINED BY THE PREVAILING LAW. SEE SECTION 832 OF THE CIVIL CODE OF CALIFORNIA FOR RIGHTS OF COTERMINOUS OWNERS AS TO EXCAVATIONS.
36. BELOW GRADE WATER-PROOFING:
 A. FLINTKOTE BELOW GRADE WALL
 B. POLY RESIN, INC., URABOND™ - RR#23478 OR WATERPROOFING SYSTEM - RR#24324 OR
 C. THOR SYSTEM PRODUCTS BELOW GRADE WATERPROOFING - RR#24390
 D. OR APPROVED EQUAL.
37. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICAL CABINETS.
38. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
39. PLASTIC ELECTRICAL BOXES ARE TO BE CLEARLY IDENTIFIED AS APPROVED FOR 1-HOUR CONSTRUCTION.
40. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
41. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE.
42. GLAZING IN HAZARDOUS SHALL BE TEMPERED.
 a) INGRESS AND EGRESS DOORS, b) DOORS AND ENCLOSURE FOR HOT TUB, BATH/TUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 2' OF STANDING SURFACE), c) IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE, e) IN WALL ENCLOSING STAIRWAY LANDING.
43. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBEQUE.
44. STRUCTURES FOUR (4) OR MORE STORIES IN HEIGHT SHALL HAVE AN APPROVED STAIRWAY SIGN INDICATING THE FLOOR LEVEL, TERMINUS OF THE TOP AND BOTTOM OF THE STAIR AND THE IDENTIFICATION NUMBER OF THE STAIR. IT SHALL BE LOCATED APPROX. 5 FT. ABOVE THE FLOOR LANDING AND BE READILY VISIBLE WHEN THE STAIR DOORS ARE IN AN OPEN OR CLOSED POSITION.
45. a) NON-COMBUSTIBLE MATERIALS (STEEL STUDS AND DRYWALL) OR FIRE-RETARDANT-TREATED WOOD IN BUILDING IN ANY TYPE OF CONSTRUCTION.
 b) COMBUSTIBLE FRAMING (WOOD STUDS) WITH NON-COMBUSTIBLE MATERIALS (DRYWALL) APPLIED TO THE FRAMING IN BUILDING OF TYPE II OR V CONSTRUCTION.
46. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES OF ELECTRICAL SUPPLY. IN THE EVENT OF ITS FAILURE, ILLUMINATOR SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM FOR GROUP 1, DIVISIONS 1.1 AND 1.2 OCCUPANCIES AND FOR ALL OTHER OCCUPANCIES WHERE THE MEANS OF EGRESS SYSTEM SERVES AN OCCUPANT LOAD OF PF 100 OR MORE. (1003.2.8.2)
47. WOOD STRUCTURES THREE AND FOUR STORIES IN HEIGHT SUFFER BREAKAGE OF PLUMBING PIPES DUE TO WOOD SHRINKAGE. CLEARLY INDICATE ON THE PLANS HOW THIS PROBLEM IS GOING TO BE ADDRESSED.
48. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UN OBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLE, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.*
49. EXIT SIGN SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN. (1003.2.8.2)
50. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (541LX) FROM EITHER OF TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE. (1003.2.8.4)
51. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICAL CABINETS.
52. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
53. CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE WALLS ARE WITHIN THE UNIT AND NON-BEARING. BACK TO BACK TUBS WITH A COMMON PLUMBING WALL ARE IMPRACTICAL IN 1-HOUR BUILDINGS.
54. ALL INTERIOR PARTITIONS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION.
55. ENCAPSULATE THE CEILING OR REMOVE PER REQUIREMENT FOR ANY ASBESTOS SIGHTINGS. V.I.F. FOR LOCATION OF ASBESTOS.

GENERAL NOTES

1. ALL WORK, CONSTRUCTION, USE OF MATERIALS, STORAGE OF MATERIALS AND OTHER WORK REQUIRED TO COMPLETE THE PROJECT SHALL COMPLY WITH ALL PROVISIONS OF THE CURRENT EDITION OF THE BUILDING CODE AND OTHER RULES, REGULATIONS AND ORDINANCES OF THE JURISDICTIONS GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO EXECUTE HIS WORK IN CONFORMANCE WITH THE CODE AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. DIVISION 1 SHALL APPLY TO ALL DIVISIONS.
2. ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
3. DIMENSIONS & CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY THE CONTRACTOR(S) BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWING AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY WORK.
4. DO NOT SCALE DRAWING. DIMENSION SHALL TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS AND OTHER ITEMS OF INFORMATION INDICATED SMALLER SCALE PLANS, ELEVATIONS AND DETAILS.
5. SPECIFIC NOTES & DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
6. IF DUE TO THE NATURE OF MATERIAL OR METHOD OF CONSTRUCTION DETAILS SHOWN OR SPECIFIED ON THE DRAWINGS CANNOT BE ADEQUATELY ACHIEVED, THE CONTRACTOR SHALL IMMEDIATELY ADVISE THE OFFICE OF O.M.L. INC. AND REQUEST AN ADJUSTMENT HE OR SHE CONSIDERS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THIS REQUEST SHALL BE MADE BEFORE ANY MATERIAL IS ORDERED OR FABRICATED. ANY UNSATISFACTORY WORK THAT DEVELOPS DURING FABRICATION OR INSTALLATION SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR AND HISHER SUB-CONTRACTORS SHALL COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES AND COOPERATE WITH EACH OTHER SO AS TO FACILITATE GENERAL PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR EXECUTION OF THEIR WORK AND FOR STORAGE OF THEIR MATERIALS. THE CONTRACTOR SHALL COORDINATE ALL WORK AT THE SITE.
8. UTILITIES: APPROPRIATE SUB-CONTRACTORS SHALL CONSULT WITH WATER, GAS, ELECTRIC, AND ALL OTHER NECESSARY UTILITY COMPANIES TO VERIFY INSTALLATION & CONNECTIONS VERIFY SEWER LOCATION & CONNECTIONS.
9. PERMITS: BUILDING PERMITS BY OWNER OR CONTRACTOR. SUB-CONTRACTORS ELECTRICAL, PLUMBING, MECHANICAL, ANY OFF SITE WORK AND ALL OTHER WORKSE WORK IS NOT NORMALLY COVERED BY BUILDING PERMIT AND REQUIRES SEPARATE PERMIT ACCORDING TO RULES AND REGULATION AND/OR ORDINANCES GOVERNING THE GEOGRAPHIC AREA WHERE THIS PROJECT IS LOCATED SHALL SUBMIT NECESSARY PLANS TO THE DEPARTMENT OF BUILDING AND SAFETY AND/OR OTHER MUNICIPAL AGENCIES, MAJOR UTILITY COMPANIES AS REQUIRED FOR APPROVAL. THEY SHALL OBTAIN AND PAY FOR THEIR APPROPRIATE PERMIT PRIOR TO COMMENCEMENT OF WORK.
10. CLEAN-UP: EACH SUB-CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY DEBRIS CAUSED BY THEIR WORK. BURNING OF DEBRIS ON THE JOB IS STRICTLY FORBIDDEN.
11. SCAFFOLDING OR FALSE WORK: THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, SCAFFOLDING OR FALSE WORK MORE THAN 3 STORIES IN HEIGHT, REQUIRES A PERMIT FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
12. CONSTRUCTION SAFETY:
 A. ALL WORKS SHALL CONFORM TO THE REQUIREMENTS OF OSHA AND CAL-OSHA.
 B. PEDESTRIAN PROTECTION: PEDESTRIAN TRAFFIC SHALL BE PROTECTED DURING CONSTRUCTION WHEN REQUIRED.
 1) PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS SHALL BE OBTAINED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC WAY.
 C. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS OR AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
 D. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS OF THE STRUCTURE.
 E. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE PROPER ALIGNMENT OF THE STRUCTURE AFTER THE INSTALLATION OF ALL STRUCTURAL AND FINISH MATERIALS. THIS SHALL INCLUDE ANY NECESSARY PRE-LOADING OF THE STRUCTURE TO DETERMINE FINAL POSITION OF THE COMPLETED WORK.
 F. TEMPORARY TOILET: MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION.
13. NO TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND SHALL BE PERMITTED UNLESS THE NECESSARY PERMIT FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY IS OBTAINED AND PRIOR TO ISSUANCE OF GRADING PERMIT (WHEN REQUIRED).
14. ALL FIRE RESISTIVE WALLS OR PARTITIONS SHALL CONFORM TO ALL REQUIREMENTS APPROVED BY BUILDING DEPARTMENT.
15. FIRE DAMPERS AND DUCTS: OPENING FOR STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQ. IN. IN AREA, PROVIDING THAT OPENING DO NOT AGGREGATE MORE THAN 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL PARTITION AREA OUTLET BOXES ON OPPOSITE SIDES OF WALL SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES ALL OTHER PENETRATION BY DUCTS ETC. SHALL NOT EXCEED 100 SQUARE INCHES TO 100 SQUARE FEET OF WALL OR CEILING.
16. FIRE STOPS FOR STUD WALL AND PARTITIONS: ENCLOSED SPACES IN STUD WALLS, PARTITIONS AND FURRED WALLS SHALL BE FIRE-STOPPED AT THE TOP AND BOTTOM AND ALSO AT THE MID POINT IN WALLS MORE THAN 10 FEET HIGH. THE DISTANCE BETWEEN FIRE STOPS IN WALLS AND PARTITIONS SHALL NOT EXCEED 10 FEET MEASURED HORIZONTALLY OR VERTICALLY. TOP AND BOTTOM PLATES WHICH FILL ALL SPACES BETWEEN STUDS AND FURRING SHALL BE CONSIDERED FIRE STOPS.
17. WHERE ENCLOSED USABLE SPACE UNDER STAIR IS ALLOWED THE WALLS AND SOFFITS OF THE ENCLOSED SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ON HOUR FIRE RESISTIVE CONSTRUCTION.
18. ONE-HOUR CONSTRUCTION: IF BUILDING IS OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION THROUGHOUT (SEE BUILDING ANALYSIS), THE FOLLOWING SPECIFICATIONS SHALL APPLY (UNLESS OTHERWISE ON THE DRAWINGS).
 A. OPENINGS:
 1) OPENINGS IN FLOORS SHALL BE ENCLOSED BY ONE HOUR SHAFT.
 2) OPENINGS IN WALLS AND PARTITIONS SHALL BE PROTECTED, WHERE FIRE RATED WALLS AND PARTITIONS REQUIRE PROTECTED OPENINGS. THE FOLLOWING PENETRATION INTO OR THROUGH SUCH CONSTRUCTION ARE PERMITTED:
 a. COPPER OR FERROUS PIPES OR CONDUITS MAY PENETRATE WALLS OR PARTITIONS, IF FIRE STOPPED AS REQUIRED BY THE BUILDING CODE.
 b. STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQ. IN. IN AREA, PROVIDED THAT THE AREA OF SUCH OPENING DOES NOT AGGREGATE MORE THAN 100 SQ. FT. OF WALL OR PARTITION AREA OUTLET BOXES ON OPPOSITE SIDE OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24".
 c. ALL OTHER PENETRATION BY DUCTS, ETC. SHALL NOT EXCEED 100 SQ. IN. FOR ANY 100 SQ. FT. OF WALL OR CEILING AREA.
19. STAIRS AND RAMPS:
 A. PRIOR TO INSTALLATION OF ANY STAIR, THE CONTRACTOR SHALL VERIFY THE RISE, RUN, HEADROOM AND THE NUMBER OF TREADS AND RISERS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS. SEE CONDITIONS IN ITEM BELOW.
 B. REQUIREMENTS:
 MAXIMUM RISER: 7 INCHES
 MAXIMUM RUN: 11 INCHES
 MINIMUM HEADROOM: 7 INCHES
 HANDRAILS: 34" TO 38" HIGH
 MINIMUM CLEAR WIDTH: 3'-0" - 8"
20. BATHROOMS:
 A. ALL BATHROOM FLOORS SHALL HAVE ONE LAYER OF 30 LB FELT SET IN WATERPROOF CEMENT AND TURN 2" UP WALLS.
 B. PROVIDE 30" MIN. CLEAR WIDTH AT WATER CLOSET COMPARTMENTS.
 C. ALL TOILET ROOMS, BATHROOMS, LAUNDRY ROOMS NOT HAVING THE EXHAUST SYSTEM OPERABLE FROM LIGHT SWITCH TO PROVIDE FIVE AIR CHANGES PER HOUR DIRECT TO OUTSIDE AIR.
 D. ACCESS PANEL: PROVIDE A MINIMUM OF 12"x12" AT BATHTUBS AS REQUIRED.
 E. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70 INCHES ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY II SWING DOOR OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30 INCH DIAMETER CIRCLE. (807.1.3, 2406, 2407, UBC STD. T.24-2-A AND P.C. 900)
 F. DRYWALL LOCATED BEHIND REQUIRED NON-ABSORBENT SURFACES SHALL BE WATER RESISTANT.
21. CEILING PROJECTIONS: THERE WILL BE NO PROJECTIONS, (LIGHT FIXTURES, ETC.) BELOW THE 7'-0" HIGH CEILING AT HALLWAYS, CLOSETS, KITCHENS, ETC.



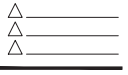
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5. FOR PASSING SPACES, AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN 60 INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF 200 FEET MAXIMUM. PASSING SPACES SHALL BE EITHER: A SPACE 60 INCHES MINIMUM BY 60 INCHES MINIMUM OR, AN INTERSECTION OF TWO WALKING SURFACES PROVIDING A T-SHAPED SPACE COMPLYING WITH 11B-304.3.2 T-SHAPED SPACE WHERE THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND 48 INCHES MINIMUM BEYOND THE INTERSECTION. 11B-403.5.3
6. WHERE HANDRAILS ARE PROVIDED ALONG WALKING SURFACES WITH RUNNING SLOPES NOT STEEPER THAN 1:20 (5%) THEY SHALL COMPLY WITH HANDRAIL REQUIREMENTS OF 11B-505 HANDRAILS. 11B-403.6
7. ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE RESTING AREAS, 5 FEET IN LENGTH, AT INTERVALS OF 400 FEET MAXIMUM. THE RESTING AREA SHALL BE AT LEAST AS WIDE AS THE WALK. THE SLOPE OF THE RESTING AREA IN ALL DIRECTIONS SHALL BE 1:48 (2.083%) MAXIMUM. 11B-403.7

DOORS, DOORWAYS, AND GATES

1. DOOR, DOORWAYS, AND GATES PROVIDING USER PASSAGE SHALL BE PROVIDED IN ACCORDANCE WITH 11B-206.5.
2. EACH ENTRANCE TO A BUILDING OR FACILITY REQUIRED TO COMPLY WITH SECTION 11B-206.4 SHALL COMPLY WITH SECTION 11B-404. 11B-206.5.1
3. WITHIN A BUILDING OR FACILITY, EVERY DOOR, DOORWAY OR GATE SERVING ROOMS AND SPACES COMPLYING WITH THIS CHAPTER SHALL COMPLY WITH SECTION 11B-404. 11B-206.5.2
4. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11B-404. (SEE EXCEPTIONS) 11B-404.1
5. MANUAL DOORS AND DOORWAYS AND MANUAL GATES INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 11B-402.
6. REVOLVING DOORS, REVOLVING GATES, AND TURNSTILES SHALL NOT BE PART OF AN ACCESSIBLE ROUTE. 11B-404.2.1
7. AT LEAST ONE OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH SECTIONS 11B-404.2.3 AND 11B-404.2.4. 11B-404.2.2
8. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES.
- EXCEPTIONS:
A. IN ALTERATIONS, A PROJECTION OF 5/8 INCH MAXIMUM INTO THE REQUIRED CLEAR WIDTH SHALL BE PERMITTED FOR THE LATCH SIDE STOP.
- B. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. 11B-404.2.3
9. MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH SECTION 11B-404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE. 11B-404.2.4

10. SWINGING DOORS AND GATES SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 11B-404.1.
11. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS, OR FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.2.
12. MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE AT AN INTERIOR DOORWAY, OR WITHIN 24 INCHES OF THE LATCH SIDE OF AN EXTERIOR DOORWAY, PROJECTS MORE THAN 8 INCHES BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE. 11B-404.2.4.3
13. FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH SECTION 11B-302. CHANGES IN LEVEL ARE NOT PERMITTED.
- EXCEPTIONS:
A. SLOPES ARE NOT STEEPER THAN 1:48 SHALL BE PERMITTED.
- B. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH SECTION 11B-404.2.5 SHALL BE PERMITTED. 11B-404.2.4.4
14. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTION 11B-302 AND 11B-303.
15. THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF THE DOORS OR GATES SWINGING INTO THE SPACE. 11B-404.2.6
16. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH SECTION 11B-309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND, WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
- EXCEPTIONS:
A. EXISTING LOCKS SHALL BE PERMITTED IN ANY LOCATION AT EXISTING GLAZED DOORS WITHOUT STILES, EXISTING OVERHEAD ROLLING DOORS OR GRILLES, AND SIMILAR EXISTING DOORS OR GRILLES THAT ARE DESIGNED WITH LOCKS THAT ARE ACTIVATED ONLY AT THE TOP OR BOTTOM RAIL. 11B-404.2.7
17. DOOR AND GATE CLOSING SPEED SHALL COMPLY WITH SECTION 11B-404.2.8

5. WHERE A GUY SUPPORT IS USED WITHIN EITHER THE WIDTH OF A CIRCULATION PATH OR 24 INCHES MAXIMUM OUTSIDE OF A CIRCULATION PATH, A VERTICAL GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT A HAZARD OR AN OVERHEAD OBSTRUCTION. 11B-307.4.1

ACCESSIBLE ROUTES-GENERAL

1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. 11B-206.2.1 (SEE EXCEPTIONS)
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. 11B-206.2.2 (SEE EXCEPTIONS)
3. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT EACH STORY AND MEZZANINE IN MULTI-STORY BUILDINGS AND FACILITIES. 11B-206.2.3 (SEE EXCEPTIONS)
4. IN ALTERATIONS AND ADDITIONS, WHERE AN ESCALATOR OR STAIR IS PROVIDED WHERE NONE EXISTED PREVIOUSLY AND MAJOR STRUCTURAL MODIFICATIONS ARE NECESSARY FOR THE INSTALLATION, AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE LEVELS SERVED BY THE ESCALATOR OR STAIR. 11B-206.3.1 (SEE EXCEPTIONS 1 THROUGH 7)
5. IN NEW CONSTRUCTION OF BUILDINGS WHERE ELEVATORS ARE REQUIRED BY 11B-206.2.3 AND WHICH EXCEED 10,000 SQUARE FEET ON ANY FLOOR, AN ACCESSIBLE MEANS OF VERTICAL ACCESS VIA RAMP ELEVATOR OR LIFT SHALL BE PROVIDED WITHIN 200 FEET OF TRAVEL OF EACH STAIR AND EACH ESCALATOR. IN EXISTING BUILDINGS THAT EXCEED 10,000 SQUARE FEET ON ANY FLOOR AND IN WHICH ELEVATORS ARE REQUIRED BY SECTION 11B-206.2.3, WHENEVER A NEWLY CONSTRUCTED MEANS OF VERTICAL ACCESS IS PROVIDED VIA STAIRS OR AN ESCALATOR, AN ACCESSIBLE MEANS OF VERTICAL ACCESS VIA RAMP, ELEVATOR OR LIFT SHALL BE PROVIDED WITHIN 200 FEET OF TRAVEL OF EACH NEW STAIR OR ESCALATOR. 11B-206.2.3.2
6. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING OR FACILITY, INCLUDING MEZZANINES, WHICH ARE OTHERWISE CONNECTED BY A CIRCULATION PATH. 11B-206.2.4 (SEE EXCEPTIONS 1 THROUGH 7)
7. ACCESSIBLE ROUTES SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS, WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL PATHS, WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES, EXCEPT AS PERMITTED BY CHAPTER 10. 11B-206.3

TECHNICAL REQUIREMENTS FOR ACCESSIBLE ROUTE

1. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20, DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM LIFTS. ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF DIVISION 4. 11B-402.2
2. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
- EXCEPTION: THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY. 11B-403.3
3. EXCEPT AS PROVIDED IN SECTIONS 11B-403.5.3 AND 11B-403.5.3, THE CLEAR WIDTH OF WALKING SURFACES SHALL BE 36 INCHES MINIMUM. (SEE EXCEPTIONS)
- EXCEPTIONS:
A. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32 INCHES MINIMUM FOR A LENGTH OF 24 INCHES MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48 INCHES LONG MINIMUM AND 36 INCHES WIDE MINIMUM.
- B. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM.
- C. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM, WHEN, BECAUSE OF RIGHT-OF-WAY RESTRICTIONS, NATURAL BARRIERS OR OTHER EXISTING CONDITIONS, THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THE 48-INCH CLEAR SIDEWALK WIDTH WOULD CREATE AN UNREASONABLE HARDSHIP, THE CLEAR WIDTH MAY BE REDUCED TO 36 INCHES.
- D. THE CLEAR WIDTH FOR AISLES SHALL BE 36 INCHES MINIMUM IF SERVING ELEMENTS ON ONLY ONE SIDE AND 44 INCHES MINIMUM IF SERVING ELEMENTS ON BOTH SIDES.
- E. THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO ACCESSIBLE TOILET COMPARTMENTS SHALL BE 44 INCHES EXCEPT FOR DOOR-OPENING WIDTHS AND DOOR SWINGS. 11B-403.5.1

4. WHERE THE ACCESSIBLE ROUTE MAKE A 180 DEGREE TURN AROUND AN ELEMENT WHICH IS LESS THAN 48 INCHES WIDE, CLEAR WIDTH SHALL BE 42 INCHES MINIMUM APPROACHING THE TURN, 48 INCHES MINIMUM AT THE TURN AND 42 INCHES MINIMUM LEAVING THE TURN. 11B-403.5.2

CLEAR FLOOR OR GROUND SPACE

1. CLEAR FLOOR OR GROUND SPACES SHALL MEET THE REQUIREMENTS OF 11B-302 FLOOR OR GROUND SURFACES AND SHALL NOT HAVE CHANGES IN LEVEL EXCEPT FOR SLOPES NOT STEEPER THAN 1:48 (2.083%) 11B-305
2. CLEAR FLOOR OR GROUND SPACE SHALL BE 30 INCHES MINIMUM BY 48 INCHES MINIMUM. 11B-305.3, FIGURE 11B-305.3
3. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE SHALL ADJOIN AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER CLEAR FLOOR OR GROUND SPACES. 11B-305.6
4. CLEAR FLOOR OR GROUND SPACE SHALL BE POSITIONED FOR EITHER FORWARD OR PARALLEL APPROACH TO AN ELEMENT UNLESS OTHERWISE SPECIFIED. 11B-305.5, FIGURE 11B-305.5
5. CLEAR FLOOR OR GROUND SPACE MAY INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 11B-306 KNEE AND TOE CLEARANCE UNLESS OTHERWISE SPECIFIED. 11B-305.4
6. ALDOVES SHALL BE 36 INCHES WIDE MINIMUM IF THEIR DEPTH EXCEEDS 24 INCHES AND THEY PROVIDE CLEAR FLOOR OR GROUND SPACE FOR A FORWARD APPROACH. 11B-305.7, FIGURE 11B-305.7.1
7. ALCOVES SHALL BE 60 INCHES WIDE MINIMUM IF THEIR DEPTH EXCEEDS 15 INCHES AND THEY PROVIDE CLEAR FLOOR OR GROUND SPACE FOR A PARALLEL APPROACH. 11B-305.7, FIGURE 11B-305.7.2

KNEE AND TOE CLEARANCE

1. FOR LAVATORIES AND BUILT-IN DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE, TOE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN WIDTH AND 9 INCHES IN HEIGHT ABOVE THE FINISH FLOOR OR GROUND FOR A DEPTH OF 19 INCHES MINIMUM. 11B-306.2.1
2. FOR ELEMENTS REQUIRED TO PROVIDE TOE CLEARANCE OTHER THAN LAVATORIES AND BUILT-IN DINING AND WORK SURFACES, TOE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN WIDTH AND 9 INCHES IN HEIGHT ABOVE THE FINISH FLOOR OR GROUND FOR A DEPTH OF 17 INCHES MINIMUM UNDER ELEMENTS REQUIRED TO BE ACCESSIBLE. 11B-306.2.3
3. SPACE EXTENDING GREATER THAN 6 INCHES BEYOND THE AVAILABLE KNEE CLEARANCE AT 9 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT BE CONSIDERED TOE CLEARANCE. 11B-306.2.4
4. TOE CLEARANCE SHALL EXTEND 25 INCHES MAXIMUM UNDER AN ELEMENT. EXCEPTION: TOE CLEARANCE SHALL EXTEND 19 INCHES MAXIMUM UNDER LAVATORIES REQUIRED TO BE ACCESSIBLE BY SECTION 11B-213.3.4. 11B-306.2.2
5. WHERE KNEE CLEARANCE IS REQUIRED UNDER AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE KNEE CLEARANCE SHALL BE 11 INCHES DEEP MINIMUM AT 9 INCHES ABOVE THE FINISH FLOOR OR GROUND, AND 8 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND.

- EXCEPTIONS:
A. AT LAVATORIES REQUIRED TO BE ACCESSIBLE BY SECTION 11B-213.3.4, THE KNEE CLEARANCE SHALL BE 27 INCHES HIGH MINIMUM ABOVE THE FINISH FLOOR OR GROUND AT A DEPTH OF 8 INCHES MINIMUM INCREASING TO 29 INCHES HIGH MINIMUM ABOVE THE FINISH FLOOR OR GROUND AT THE FRONT EDGE OF A COUNTER WITH A BUILT-IN LAVATORY OR AT THE FRONT EDGE OF A WALL-MOUNTED LAVATORY FIXTURE. 11B-306.3.3
- B. AT DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE BY SECTION 11B-226.1, KNEE CLEARANCE SHALL EXTEND 19 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND. 11B-306.3.3
6. BETWEEN 9 INCHES AND 27 INCHES ABOVE THE FINISH FLOOR OR GROUND, THE KNEE CLEARANCE SHALL BE PERMITTED TO REDUCE AT A RATE OF 1 INCH IN DEPTH FOR EACH 6 INCHES IN HEIGHT.
- EXCEPTION: THE KNEE CLEARANCE SHALL NOT BE REDUCED AT BUILT-IN DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE BY SECTION 11B-226.1. 11B-306.3.4
7. KNEE CLEARANCE SHALL BE 30 INCHES WIDE MINIMUM. 11B-306.3.5

PROTRUDING OBJECTS

1. OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND NOT MORE THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH.
- EXCEPTION: HANDRAILS SHALL BE PERMITTED TO PROTRUDE 4 1/2 INCHES MAXIMUM. 11B-307.1
2. FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS 12 INCHES MAXIMUM WHEN LOCATED 27 INCHES MINIMUM AND 80 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND, WHERE A SIGN OR OTHER OBSTRUCTION IS MOUNTED BETWEEN POSTS OR PYLONS AND THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12 INCHES. THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27 INCHES MAXIMUM OR 80 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND.
- EXCEPTION: THE SLOPING PORTIONS OF HANDRAILS SERVING STAIRS AND RAMPS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-307.3. 11B-307.3
3. WHERE SIGNS OR OTHER OBJECTS ARE MOUNTED ON POSTS OR PYLONS, AND THEIR BOTTOM EDGES ARE LESS THAN 80 INCHES ABOVE THE FLOOR OR GROUND SURFACE, THE EDGES OF SUCH SIGNS AND OBJECTS SHALL BE ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH. 11B-307.3.1
4. VERTICAL CLEARANCE SHALL BE 80 INCHES HIGH MINIMUM. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
- EXCEPTION: DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. 11B-307.4

ENTRANCE & EXITS

1. ALL ENTRANCES AND ALL EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES.
2. REVOLVING DOORS SHALL NOT BE USED AS A REQUIRED ENTRANCE FOR PERSONS WITH DISABILITIES.
3. DURING PERIODS OF PARTIAL OR RESTRICTED USE OF A BUILDING OR FACILITY, THE ENTRANCES USED FOR PRIMARY ACCESS SHALL BE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES.
4. RECESSED DOORMATS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC.
5. EVERY REQUIRED EXIT DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT.
6. THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY, SHALL PROVIDE A MINIMUM OF 48" OF CLEAR SPACE FROM ANY DOOR OPENING INTO SUCH VESTIBULE WHEN THE DOOR IS POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.

ADMINISTRATION

1. ALTERATIONS SHALL NOT DECREASE OR HAVE THE EFFECT OF DECREASING IN THE ACCESSIBILITY OF A BUILDING OR FACILITY BELOW THE REQUIREMENTS FOR NEW CONSTRUCTION AT THE TIME OF THE ALTERATION. 11B-202.3.1
2. IF ALTERATIONS OF SINGLE ELEMENTS, WHEN CONSIDERED TOGETHER, AMOUNT TO AN ALTERATION OF A ROOM OR SPACE IN A BUILDING OR FACILITY, THE ENTIRE ROOM OR SPACE SHALL BE MADE ACCESSIBLE. 11B-202.3.3
3. WHEN ALTERATIONS OR ADDITIONS ARE MADE TO EXISTING BUILDINGS OR FACILITIES, AN ACCESSIBLE PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION OR ADDITION SHALL BE PROVIDED UNLESS OTHERWISE EXEMPT. 11B-202.4
4. PRIMARY ACCESSIBLE PATH OF TRAVEL SHALL INCLUDE A PRIMARY ENTRANCE TO THE BUILDING OR FACILITY; TOILET AND BATHING FACILITIES SERVING THE AREA; DRINKING FOUNTAINS SERVING THE AREA; PUBLIC TELEPHONES SERVING THE AREA AND SIGNS. 11B-202.4

FLOOR & GROUND SURFACES

1. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. 11B-302.1
2. CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. PILE HEIGHT SHALL BE 1/2 INCH MAXIMUM. 11B-302.2, FIGURE 11B-302.2
3. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH 11B-303 CHANGES INS LEVEL. 11B-302.2
4. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/4 INCH IN DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. 11B-302.3, FIGURE 11B-302.3

CHANGES IN LEVEL

1. VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. 11B-303, FIGURES 11B-303.2 & 11B-303.3
2. CHANGES IN LEVEL GREATER THAN 1/4 INCH IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS OF 11B-405 RAMPS OR 11B-406 CURB RAMPS AS APPLICABLE. 11B-303
3. ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE OR BY GUARDS OR HANDRAILS WITH A GUIDE RAIL CENTERED 2 INCHES MINIMUM AND 4 INCHES MAXIMUM ABOVE THE SURFACE OF THE WALK OR SIDEWALK. THESE REQUIREMENTS DO NOT APPLY BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY. 11B-303.5

TURNING SPACE

1. TURNING SPACES SHALL MEET THE REQUIREMENTS OF 11B-302 FLOOR OR GROUND SURFACES EXCEPT THAT CHANGES IN LEVEL ARE NOT PERMITTED. TURNING SPACES SHALL BE EITHER CIRCULAR OR T-SHAPED. DOORS MAY SWING INTO TURNING SPACES. 11B-304
2. CIRCULAR TURNING SPACES SHALL BE A SPACE OF 60 INCHES DIAMETER MINIMUM AND MAY INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 11B-306 KNEE AND TOE CLEARANCE. 11B-304.1
3. T-SHAPED TURNING SPACES SHALL BE A T-SHAPED SPACE WITHIN A 60 INCH SQUARE MINIMUM WITH ARMS AND BASE 36 INCHES WIDE MINIMUM. EACH ARM OF THE T SHALL BE CLEAR OF OBSTRUCTIONS 12 INCHES MINIMUM IN EACH DIRECTION AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 INCHES MINIMUM. 11B-304.3.2, FIGURE 11B-304.3.2
4. T-SHAPED TURNING SPACES MAY INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 11B-306 KNEE AND TOE CLEARANCE ONLY AT THE END OF EITHER THE BASE OR ONE ARM. 11B-304.3.2



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Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625



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9. WHEN DETECTABLE WARNINGS ARE PROVIDED AT BUS STOP BOARDING AND ALIGHTING AREAS, THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE BOARDING/ALIGHTING AREA AND SHALL BE 36 INCHES MINIMUM IN DEPTH. 11B-705.1.2.4

10. DETECTABLE WARNINGS AT HAZARDOUS VEHICULAR AREAS SHALL BE 36 INCHES IN WIDTH. 11B-705.1.2.5

11. WHEN DETECTABLE WARNINGS ARE PROVIDED AT REFLECTING POOLS, IT SHALL BE 24 INCHES MINIMUM AND 36 INCHES MAXIMUM IN WIDTH. 11B-705.1.2.6

12. ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 1, CHAPTER 5, ARTICLES 2, 3 AND 4. REFER TO CCR TITLE 24, PART 12, CHAPTER 11B, SECTION 12-11B-205 FOR BUILDING AND FACILITY ACCESS SPECIFICATIONS FOR PRODUCT APPROVAL FOR DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES.

GENERAL SITE AND BUILDING ELEMENTS-PARKING SPACES

1. WHERE PARKING SPACES ARE PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 11B-208. FOR THE PURPOSES OF THIS SECTION, ELECTRIC VEHICLE CHARGING STATIONS ARE NOT PARKING SPACES; SEE SECTION 11B-228.

EXCEPTION: PARKING SPACES USED EXCLUSIVELY FOR BUSES, TRUCKS, OTHER DELIVERY VEHICLES, OR VEHICULAR INFOPUND SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-208 PROVIDED THAT LOTS ACCESSED BY THE PUBLIC ARE PROVIDED WITH A PASSENGER LOADING ZONE COMPLYING WITH SECTION 11B-503. 11B-208.1

2. PARKING SPACES COMPLYING WITH SECTION 11B-502 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 11B-208.2 EXCEPT AS REQUIRED BY SECTIONS 11B-208.2.1, 11B-208.2.2 AND 11B-208.2.3. WHERE MORE THAN ONE PARKING FACILITY IS PROVIDED ON A SITE, THE NUMBER OF ACCESSIBLE SPACES PROVIDED ON THE SITE SHALL BE CALCULATED ACCORDING TO THE NUMBER OF SPACES REQUIRED FOR EACH PARKING FACILITY. 11B-208.2

3. FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY SECTION 11B-208.2 TO COMPLY WITH SECTION 11B-502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH SECTION 11B-502. 11B-208.2.4

4. PARKING SPACES COMPLYING WITH SECTION 11B-502 THAT SERVE A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO AN ENTRANCE COMPLYING WITH SECTION 11B-206.4. WHERE PARKING SERVES MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SPACES COMPLYING WITH SECTION 11B-502 SHALL BE DISPERSED AND LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING OR FACILITY, PARKING SPACES COMPLYING WITH SECTION 11B-502 SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.

EXCEPTIONS:

A. ALL VAN PARKING SPACES SHALL BE PERMITTED TO BE GROUPED ON ONE LEVEL WITHIN A MULTI-STORY PARKING FACILITY.

B. PARKING SPACES SHALL BE PERMITTED TO BE LOCATED IN DIFFERENT PARKING FACILITIES IF SUBSTANTIALLY EQUIVALENT OR GREATER ACCESSIBILITY IS PROVIDED IN TERMS OF DISTANCE FROM AN ACCESSIBLE ENTRANCE OR ENTRANCES, PARKING FEE, AND USER CONVENIENCE. 11B-208.3.1

5. CAR AND VAN PARKING SPACES SHALL COMPLY WITH SECTION 11B-502. WHERE PARKING SPACES ARE MARKED WITH LINES, WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.

EXCEPTION: WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OF ACCESS AISLE. 11B-502.1

6. CAR AND VAN PARKING SPACES SHALL BE 216 INCHES LONG MINIMUM. CAR PARKING SPACES SHALL BE 108 INCHES WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 144 INCHES WIDE MINIMUM. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH SECTION 11B-502.3.

EXCEPTION: VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES WIDE MINIMUM. 11B-502.2

7. ACCESS AISLES SERVING PARKING SPACES SHALL COMPLY WITH SECTION 11B-502.3. ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. 11B-502.3

8. ACCESS AISLES SERVING CAR AND VAN PARKING SPACES SHALL BE 60 INCHES WIDE MINIMUM. 11B-502.3.1

9. ACCESS AISLES SHALL EXTEND THE FULL REQUIRED LENGTH OF THE PARKING SPACES THEY SERVE. 11B-502.3.2

10. ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE. PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH. 11B-502.3.3

11. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES. 11B-502.3.4

10. CURB RAMPS AND BLENDED TRANSITIONS SHALL COMPLY WITH SECTION 11B-405.10. 11B-405.5

11. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTIONS OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH. 11B-405.6

12. THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 MAXIMUM. 11B-405.7

13. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO AND WITHIN 24 INCHES OF THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS, AND STREETS SHALL BE AT THE SAME LEVEL. 11B-405.8

14. THE BOTTOM OF DIAGONAL CURB RAMP SHALL HAVE A CLEAR SPACE 48 INCHES MINIMUM OUTSIDE ACTIVE TRAFFIC LANES OF THE ROADWAY. DIAGONAL CURB RAMPS PROVIDED AT MARKED CROSSINGS SHALL PROVIDE THE 48 INCHES MINIMUM CLEAR SPACE WITHIN THE MARKINGS. 11B-405.9

15. DIAGONAL OR CORNER TYPE CURB RAMPS WITH RETURNED CURBS OR OTHER WELL-DEFINED EDGES SHALL HAVE THE EDGES PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW. DIAGONAL CURB RAMPS WITH FLARED SIDES SHALL HAVE A SEGMENT OF CURB 24 INCHES LONG MINIMUM LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING. 11B-405.10

16. CURB RAMPS AND BLENDED TRANSITIONS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH SECTION 11B-705. 11B-405.5.12

17. RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT 1:31 SIDES. THE CLEAR WIDTH OF THE ACCESSIBLE ROUTE AT ISLANDS SHALL BE 60 INCHES WIDE MINIMUM. WHERE CURB RAMPS ARE PROVIDED, THEY SHALL COMPLY WITH SECTION 11B-406. LANDINGS COMPLYING WITH SECTION 11B-405.3 AND THE ACCESSIBLE ROUTE SHALL BE PERMITTED TO OVERLAP. ISLANDS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH SECTION 11B-75. 11B-406.6

DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE

1. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER ON 0.9 INCH MINIMUM AND 0.92 INCH MAXIMUM, A TOP DIAMETER OF 0.45 INCH MINIMUM AND 0.47 INCH MAXIMUM, AND A HEIGHT OF 0.2 INCH. 11B-705.1.1.1

2. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 2.3 INCHES MINIMUM AND 2.4 INCHES MAXIMUM, AND A BASE-TO-BASE SPACING OF 0.65 INCH MINIMUM, MEASURED BETWEEN THE MOST ADJACENT DOMES ON A SQUARE GRID.

EXCEPTION: WHERE INSTALLED IN A RADIAL PATTERN, TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES MINIMUM TO 2.4 INCHES MAXIMUM. 11B-705.1.1.2

3. DETECTABLE WARNING SURFACES AT TRANSIT BOARDING PLATFORM EDGES, BUS STOPS, HAZARDOUS VEHICULAR AREAS, REFLECTING POOLS, AND TRUCK CROSSINGS SHALL COMPLY WITH SECTION 11B-705.1.1.3.1. DETECTABLE WARNINGS AT OTHER LOCATIONS SHALL COMPLY WITH EITHER SECTION 11B-705.1.1.3.1 OR SECTION 11B-705.1.1.3.2. THE MATERIAL USED TO PROVIDE VISUAL CONTRAST SHALL BE AN INTEGRAL PART OF THE SURFACE. 11B-705.1.1.3

4. DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE FS 35538 OF FEDERAL STANDARD 595C. 11B-705.1.1.3.1

5. DETECTABLE WARNING SURFACES SHALL PROVIDE A 70 PERCENT MINIMUM VISUAL CONTRAST WITH ADJACENT WALKING SURFACES. CONTRAST IN PERCENT SHALL BE DETERMINED BY:
CONTRAST PERCENT = [(B1-B2)/B1] X 100 WHERE
B1 = LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND
B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA. (SEE EXCEPTION) 11B-705.1.1.3.2

6. DETECTABLE WARNING SURFACES SHALL DIFFER FROM ADJOINING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

EXCEPTION: DETECTABLE WARNING SURFACES AT CURB RAMPS, ISLANDS OR CUT-THROUGH MEDIANS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-705.1.1.4.

7. DETECTABLE WARNINGS AT CURB RAMPS SHALL EXTEND 36 INCHES IN THE DIRECTION OF TRAVEL. DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN LESS 2 INCHES MAXIMUM ON EACH SIDE, EXCLUDING ANY FLARED SIDES. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE LINE AT THE FACE OF THE CURB MARKING THE TRANSITION BETWEEN THE CURB AND THE GUTTER, STREET, OR HIGHWAY.

EXCEPTION: ON PARALLEL CURB RAMPS, DETECTABLE WARNINGS SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN THE STREET AND SIDEWALK. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN THE STREET AND THE SIDEWALK LESS 2 INCHES MAXIMUM ON EACH SIDE. 11B-705.1.1.2

8. DETECTABLE WARNINGS AT PEDESTRIAN ISLANDS OR CUT-THROUGH MEDIANS SHALL BE 36 INCHES MINIMUM IN DEPTH EXTENDING THE FULL WIDTH OF THE PEDESTRIAN PATH OR CUT-THROUGH LESS 2 INCHES MAXIMUM ON EACH SIDE, PLACED AT THE EDGES OF THE PEDESTRIAN ISLAND OR CUT-THROUGH MEDIAN, AND SHALL BE SEPARATED BY 24 INCHES MINIMUM OF WALKING SURFACE WITHOUT DETECTABLE WARNINGS.

EXCEPTION: DETECTABLE WARNINGS SHALL BE 24 INCHES MINIMUM IN DEPTH AT PEDESTRIAN ISLANDS OR CUT-THROUGH MEDIANS THAT ARE LESS THAN 96 INCHES IN LENGTH IN THE DIRECTION OF PEDESTRIAN TRAVEL. 11B-705.1.2.3

6. THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM. 11B-405.6

7. RAMPS SHALL HAVE LANDINGS AT THE TOP AND THE BOTTOM OF EACH RAMP RUN. LANDINGS SHALL COMPLY WITH SECTION 11B-405.7.

8. LANDINGS SHALL COMPLY WITH SECTION 11B-302. CHANGES IN LEVEL ARE NOT PERMITTED.

EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 11B-405.7.1

9. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. 11B-405.7.2

10. TOP LANDINGS SHALL BE 60 INCHES WIDE MINIMUM. 11B-405.7.2.1

11. THE LANDING CLEAR LENGTH SHALL BE 60 INCHES LONG MINIMUM. 11B-405.7.3

12. BOTTOM LANDINGS SHALL EXTEND 72 INCHES MINIMUM IN THE DIRECTION OF RAMP RUN. 11B-405.7.3.1

13. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING 60 INCHES MINIMUM BY 72 INCHES MINIMUM IN THE DIRECTION OF DOWNWARD TRAVEL FROM THE UPPER RAMP RUN. 11B-405.7.4

14. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY SECTIONS 11B-404.2.4 AND 11B-404.3.2 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. DOORS, WHEN FULLY OPEN, SHALL NOT REDUCE THE REQUIRED RAMP LANDING WIDTH BY MORE THAN 3 INCHES. DOORS, IN ANY POSITION, SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42 INCHES. 11B-405.7.5

15. RAMP RUNS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505.

EXCEPTIONS:
A. CURB RAMPS DO NOT REQUIRE HANDRAILS.

B. AT DOOR LANDINGS, HANDRAILS ARE NOT REQUIRED ON RAMP RUNS LESS THAN 6 INCHES IN RISE OR 72 INCHES IN LENGTH. 11B-405.8

16. EDGE PROTECTION COMPLYING WITH SECTION 11B-405.9.2 SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDINGS.

EXCEPTIONS:

A. EDGE PROTECTION SHALL NOT BE REQUIRED ON RAMPS THAT ARE NOT REQUIRED TO HAVE HANDRAILS AND HAVE SIDES COMPLYING WITH SECTION 11B-406.2.2.

B. EDGE PROTECTION SHALL NOT BE REQUIRED ON THE SIDES OF RAMP LANDINGS SERVING AN ADJOINING RAMP RUN OR STAIRWAY.

C. EDGE PROTECTION SHALL NOT BE REQUIRED ON THE SIDES OF RAMP LANDINGS HAVING A VERTICAL DROP-OFF OF 1/2 INCH MAXIMUM WITHIN 10 INCHES HORIZONTALLY OF THE MINIMUM LANDING AREA SPECIFIED IN SECTION 11B-405.7. 11B-405.9

19. A CURB, 2 INCHES HIGH MINIMUM, OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCHES OF THE FINISH FLOOR OR GROUND SURFACE. TO PREVENT WHEEL ENTRAPMENT, THE CURB OR BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER ALONG THE LENGTH OF THE RAMP. 11B-405.9.2

20. LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. 11B-405.10

CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS

1. PERPENDICULAR RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. 11B-406.2.1

2. WHERE PROVIDED RAMP FLARES SHALL NOT BE STEEPER THAN 1:10. 11B-406.2.2

3. THE RUNNING SLOPE OF THE CURB RAMP SEGMENTS SHALL BE IN-LINE WITH THE DIRECTION OF SIDEWALK TRAVEL. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. 11B-406.3.1

4. A TURNING SPACE 48 INCHES MINIMUM BY 48 INCHES MINIMUM SHALL BE PROVIDED AT THE BOTTOM OF THE CURB RAMP. THE SLOPE OF THE TURNING SPACE IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM. 11B-406.3.2

5. BLENDED TRANSITIONS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:20. 11B-406.4.1

6. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES, OR PARKING ACCESS AISLES. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.

EXCEPTION: DIAGONAL CURB RAMPS SHALL COMPLY WITH SECTION 11B-406.5.9. 11B-406.5.1

7. THE CLEAR WIDTH OF CURB RAMP RUNS (EXCLUDING ANY FLARED SIDES), BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE 48 INCHES MINIMUM. 11B-406.5.2

8. LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS AND BLENDED TRANSITIONS. THE LANDING CLEAR LENGTH SHALL BE 48 INCHES MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING ANY FLARED SIDES, OR THE BLENDED TRANSITION LEADING TO THE LANDING. THE SLOPE OF THE LANDING IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM.

EXCEPTION: PARALLEL CURB RAMPS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-406.5.3. 11B-406.5.3

9. FLOOR OR GROUND SURFACES OF CURB RAMPS AND BLENDED TRANSITIONS SHALL COMPLY WITH SECTION 11B-405.4.

18. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. 11B-404.2.8.1

19. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM. 11B-404.2.8.2

20. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE AS FOLLOWS:

- A. INTERIOR HINGED DOORS AND GATES: 5 POUNDS MAXIMUM.
 - B. SLIDING AND FOLDING DOORS: 5 POUNDS MAXIMUM.
 - C. REQUIRED FIRE DOORS: THE MINIMUM OPERATING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.
 - D. EXTERIOR HINGED DOORS: 5 POUNDS MAXIMUM.
- THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAUGE OTHER DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION. (SEE EXCEPTIONS) 11B-404.2.9

21. SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. (SEE EXCEPTIONS) 11B-404.2.10

22. DOORS, GATES AND SIDE LIGHTS ADJACENT TO DOORS OR GATES, CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE GLAZED PANEL LOCATED 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR.

EXCEPTION: GLAZING PANELS WITH THE LOWEST PART MORE THAN 66 INCHES FROM THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-404.2.11.

23. AUTOMATIC DOORS AND AUTOMATIC GATES SHALL COMPLY WITH SECTION 11B-404.3. FULL-POWERED AUTOMATIC DOORS SHALL COMPLY WITH ANSI/BHMA A156.10. LOW-ENERGY AND POWER-ASSISTED DOORS SHALL COMPLY WITH ANSI/BHMA A156.19. 11B-404.3

24. DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES MINIMUM IN POWER-ON AND POWER-OFF MODE. THE MINIMUM CLEAR WIDTH FOR AUTOMATIC DOOR SYSTEMS IN A DOORWAY SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING OF 32 INCHES WITH ONE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. 11B-404.3.1

25. CLEARANCES AT POWER-ASSISTED DOORS AND GATES SHALL COMPLY WITH SECTION 11B-404.2.4. CLEARANCES AT AUTOMATIC DOORS AND GATES WITHOUT STANDBY POWER AND SERVING AN ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH SECTION 11B-404.2.4.

EXCEPTION: WHERE AUTOMATIC DOORS AND GATES REMAIN OPEN IN THE POWER-OFF CONDITION, COMPLIANCE WITH SECTION 11B-404.2.4 SHALL NOT BE REQUIRED. 11B-404.3.2

26. THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTION 11B-404.2.5. 11B-404.3.3

27. DOORS IN SERIES AND GATES IN SERIES SHALL COMPLY WITH SECTION 11B-404.2.6. 11B-404.3.4

28. MANUALLY OPERATED CONTROLS SHALL COMPLY WITH SECTION 11B-309. THE CLEAR FLOOR SPACE ADJACENT TO THE CONTROL SHALL BE LOCATED BEYOND THE ARC OF THE DOOR SWING. 11B-404.3.5

29. WHERE DOORS AND GATES WITHOUT STANDBY POWER ARE A PART OF A MEANS OF EGRESS, THE CLEAR BREAK OUT OPENING AT SWINGING OR SLIDING DOORS AND GATES SHALL BE 32 INCHES MINIMUM WHEN OPERATED IN EMERGENCY MODE.

EXCEPTION: WHERE MANUAL SWINGING DOORS AND GATES COMPLY WITH SECTION 11B-404.2 AND SERVE THE SAME MEANS OF EGRESS COMPLIANCE WITH SECTION 11B-404.3.6 SHALL NOT BE REQUIRED. 11B-404.3.6

30. REVOLVING DOORS, REVOLVING GATES, AND TURNSTILES SHALL NOT BE PART OF AN ACCESSIBLE ROUTE. 11B-404.3.7

RAMP

1. RAMPS ON ACCESSIBLE ROUTES SHALL COMPLY WITH SECTION 11B-405.

EXCEPTION: IN ASSEMBLY AREAS, AISLE RAMPS ADJACENT TO SEATING AND NOT SERVING ELEMENTS REQUIRED TO BE ON AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-405. 11B-405.1

2. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. 11B-405.2

3. CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48. 11B-405.3

4. FLOOR OR GROUND SURFACES OF RAMP RUNS SHALL COMPLY WITH SECTION 11B-302. CHANGES IN LEVEL OTHER THAN THE RUNNING SLOPE AND CROSS SLOPE ARE NOT PERMITTED ON RAMP RUNS. 11B-405.4

5. THE CLEAR WIDTH OF A RAMP RUN SHALL BE 48 INCHES MINIMUM.

EXCEPTIONS:

A. WITHIN EMPLOYEE WORK AREAS, THE REQUIRED CLEAR WIDTH OF RAMPS THAT ARE A PART OF COMMON USE CIRCULATION PATHS SHALL BE PERMITTED TO BE DECREASED BY WORK AREA EQUIPMENT PROVIDED THAT THE DECREASE IS ESSENTIAL TO THE FUNCTION OF THE WORK BEING PERFORMED.

B. HANDRAILS MAY PROJECT INTO THE REQUIRED CLEAR WIDTH OF THE RAMP AT EACH SIDE 3 1/2 INCHES MAXIMUM AT THE HANDRAIL HEIGHT. 11B-405.5



CONSULTANTS: CIVIL ENGINEER



Nook Coffee Bar

Job site:

3027 East Coast Hwy, Corona Del Mar, CA, 92625



DRAWN BY: JAY HAN

SCALE:

GENERAL NOTES - 3

G-004

15. CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "T". 11B-703.2.4

16. CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER "T". 11B-703.2.5

17. STROKE THICKNESS OF THE UPPERCASE LETTER "T" SHALL BE 15 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER. 11B-703.2.6

18. CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT RAISED CHARACTERS WITHIN A MESSAGE, EXCLUDING WORD SPACES, WHERE CHARACTERS HAVE RECTANGULAR CROSS SECTIONS, SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL BE 1/8 INCH MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM, WHERE CHARACTERS HAVE OTHER CROSS SECTIONS, SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL BE 1/16 INCH MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM AT THE TOP OF THE CROSS SECTIONS. CHARACTERS SHALL BE SEPARATED FROM RAISED BORDERS AND DECORATIVE ELEMENTS 3/8 INCH MINIMUM. 11B-703.2.7

19. SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE RAISED CHARACTER HEIGHT. 11B-703.2.8

20. BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTIONS 11B-703.3 AND 11B-703.4. 11B-703.3

21. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 11B-703.3.1. THE INDICATION OF AN UPPERCASE LETTER OR LETTERS SHALL ONLY BE USED BEFORE THE FIRST WORD OF A SENTENCE AND BEFORE THE FIRST LETTER OF INDIVIDUAL LETTERS OF THE ALPHABET, INITIALS, AND ACRONYMS. 11B-703.3.1

22. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A HORIZONTAL FORM, FLUSH LEFT OR CENTERED. IF TEXT IS MULTI-LINED, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8 INCH MINIMUM AND 1/2 INCH MAXIMUM FROM ANY OTHER TACTILE CHARACTERS AND 3/8 INCH MINIMUM FROM RAISED BORDERS AND DECORATIVE ELEMENTS. (SEE EXCEPTION) 11B-703.3.2

23. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. (SEE EXCEPTION) 11B-703.4.1

24. WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES MINIMUM BY 18 INCHES MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION. WHERE PROVIDED, SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL BE LOCATED AT THE ENTRANCE TO, AND OUTSIDE OF THE ROOM OR SPACE. WHERE PROVIDED, SIGNS IDENTIFYING EXITS SHALL BE LOCATED AT THE EXIT DOOR WHEN APPROACHED IN THE DIRECTION OF EGRESS TRAVEL. (SEE EXCEPTION) 11B-703.4.2

TACTILE EXIT SIGNS

1003.2.8.6.1 [FOR DSAAC & SPM] WHERE REQUIRED. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:

1. EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT".
2. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 - A. "EXIT STAIR DOWN"
 - B. "EXIT RAMP DOWN"
 - C. "EXIT STAIR UP"
 - D. "EXIT RAMP UP"
3. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
4. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
5. EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."

B. SIGNS REQUIRED BY CHAPTER 10, SECTIONS 1009.11 TO PROVIDE INSTRUCTIONS IN AREAS OF REFUGE SHALL COMPLY WITH SECTION 11B-703.5. SIGNS REQUIRED BY CHAPTER 10, SECTION 1009.9 AT DOORS TO AREAS OF REFUGE AND AREAS OF ASSURED OR ASSURED RESCUE SHALL COMPLY WITH SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5 AND INCLUDE AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. 11B-216.4.2

C. SIGNS REQUIRED BY CHAPTER 10, SECTION 1009.10 TO PROVIDE DIRECTIONS TO ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH SECTION 11B-703.5. 11B-216.4.3

D. SIGNS REQUIRED BY CHAPTER 10, SECTION 1010.1.9.7, ITEM 6.4 AT DOORS WITH DELAYED EGRESS LOCKS SHALL COMPLY WITH SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5. 11B-216.4.4

5. SIGNS IDENTIFYING PARKING SPACES AND SIGNS WITHIN PARKING FACILITIES SHALL COMPLY WITH SECTION 11B-216.5.

A. PARKING SPACES COMPLYING WITH SECTION 11B-502 SHALL BE IDENTIFIED BY SIGNS COMPLYING WITH SECTIONS 11B-502.6 AND 11B-502.8. 11B-216.5.1

B. SIGNS WITHIN PARKING FACILITIES SHALL COMPLY WITH SECTION 11B-216.5.2.

6. IN EXISTING BUILDINGS AND FACILITIES WHERE NOT ALL ENTRANCES COMPLY WITH SECTION 11B-404, ENTRANCES COMPLYING WITH SECTION 11B-404 SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. DIRECTIONAL SIGNS COMPLYING WITH SECTION 11B-703.5 THAT INDICATE THE LOCATION OF THE NEAREST ENTRANCE COMPLYING WITH SECTION 11B-404 SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.5, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1, INDICATING THE ACCESSIBLE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE SHALL BE PROVIDED AT JUNCTIONS WHEN THE ACCESSIBLE ROUTE DIVERGES FROM THE REGULAR CIRCULATION PATH. 11B-216.6

7. WHERE EXISTING ELEVATORS DO NOT COMPLY WITH SECTION 11B-407, ELEVATORS COMPLYING WITH SECTION 11B-407 SHALL BE CLEARLY IDENTIFIED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. EXISTING BUILDINGS THAT HAVE BEEN REMODELED TO PROVIDE SPECIFIC ELEVATORS FOR PUBLIC USE THAT COMPLY WITH THESE BUILDING STANDARDS SHALL HAVE THE LOCATION OF AND THE DIRECTIONS TO THESE ELEVATORS POSTED IN THE BUILDING LOBBY ON A SIGN COMPLYING WITH SECTION 11B-703.5, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. 11B-216.7

8. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH SECTION 11B-603, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST TOILET ROOM OR BATHING ROOM COMPLYING WITH SECTION 11B-603 WITHIN THE FACILITY SHALL BE PROVIDED. SIGNS SHALL COMPLY WITH SECTION 11B-703.5 AND SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH SECTION 11B-603, THE TOILET ROOMS OR BATHING ROOMS COMPLYING WITH SECTION 11B-603, THE TOILET ROOMS OR BATHING ROOMS COMPLYING WITH SECTION 11B-603 SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. WHERE CLUSTERED SINGLE USER TOILET ROOMS OR BATHING FACILITIES ARE PERMITTED TO USE EXCEPTIONS TO SECTION 11B-213.2, TOILET ROOMS OR BATHING FACILITIES COMPLYING WITH SECTION 11B-603 SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-73.7.2.1 UNLESS ALL TOILET ROOMS AND BATHING FACILITIES COMPLY WITH SECTION 11B-603. EXISTING BUILDINGS THAT HAVE BEEN REMODELED TO PROVIDE SPECIFIC TOILET ROOMS OR BATHING ROOMS FOR PUBLIC USE THAT COMPLY WITH THESE BUILDING STANDARDS SHALL HAVE THE LOCATION OF AND THE DIRECTIONS TO THESE ROOMS POSTED IN OR NEAR THE BUILDING LOBBY OR ENTRANCE ON A SIGN COMPLYING WITH SECTION 11B-703.5, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. 11B-216.8

9. GEOMETRIC SYMBOLS COMPLYING WITH SECTION 11B-703.7.2.6 SHALL BE PROVIDED AT ENTRANCES TO TOILET AND BATHING ROOMS. (SEE EXCEPTIONS) 11B-216.8.1

10. SIGNS SHALL COMPLY WITH SECTION 11B-703. WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED. 11B-703.1

11. RAISED CHARACTERS SHALL COMPLY WITH SECTION 11B-703.2 AND SHALL BE DUPLICATED IN BRAILLE COMPLYING WITH SECTION 11B-703.3. RAISED CHARACTERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 11B-703.4. 11B-703.2

12. RAISED CHARACTERS SHALL BE 1/32 INCH MINIMUM ABOVE THEIR BACKGROUND. 11B-703.2.1

13. CHARACTERS SHALL BE UPPERCASE. 11B-703.2.2

14. CHARACTERS SHALL BE SANS SERIF. CHARACTERS SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS. 11B-703.2.3

4. PARKING FACILITIES THAT PROVIDE VALET PARKING SERVICES SHALL PROVIDE AT LEAST ONE PASSENGER DROP-OFF AND LOADING ZONE COMPLYING WITH SECTION 11B-503. THE PARKING REQUIREMENTS OF SECTION 11B-208.1 APPLY TO FACILITIES WITH VALET PARKING. 11B-209.4

5. MECHANICAL ACCESS PARKING GARAGES SHALL PROVIDE AT LEAST ONE PASSENGER DROP-OFF AND LOADING ZONE COMPLYING WITH SECTION 11B-503 AT VEHICLE DROP-OFF AND VEHICLE PICK-UP AREAS. 11B-209.5

CHECK-OUT AISLES AND SALES AND SERVICE COUNTERS

1. WHERE PROVIDED, CHECK-OUT AISLES, SALES COUNTERS, SERVICE COUNTERS, FOOD SERVICE LINES, QUEUES, AND WAITING LINES SHALL COMPLY WITH SECTIONS 11B-227 AND 11B-904. 11B-227.1

2. WHERE PROVIDED, AT LEAST ONE OF EACH TYPE OF SALES COUNTER AND SERVICE COUNTER SHALL COMPLY WITH SECTION 11B-904.4. WHERE COUNTERS ARE DISPERSED THROUGHOUT THE BUILDING OR FACILITY, COUNTERS COMPLYING WITH SECTION 11B-904.4 ALSO SHALL BE DISPERSED. 11B-227.3

3. QUEUES AND WAITING LINES SERVING COUNTERS OR CHECK-OUT AISLES REQUIRED TO COMPLY WITH SECTIONS 11B-904.3 OR 11B-904.4 SHALL COMPLY WITH SECTION 11B-403. 11B-227.5

4. ALL PORTIONS OF COUNTERS REQUIRED TO COMPLY WITH SECTION 11B-904 SHALL BE LOCATED ADJACENT TO A WALKING SURFACE COMPLYING WITH SECTION 11B-403. 11B-904.2

5. SALES COUNTERS AND SERVICE COUNTERS SHALL COMPLY WITH SECTION 11B-904.4.1 OR 11B-904.4.2. THE ACCESSIBLE PORTION OF THE COUNTER TOP SHALL EXTEND THE SAME DEPTH AS THE SALES OR SERVICE COUNTER TOP. (SEE EXCEPTIONS) 11B-904.4

6. A PORTION OF THE COUNTER SURFACE THAT IS 36 INCHES LONG MINIMUM AND 34 INCHES HIGH MAXIMUM ABOVE THE FINISH FLOOR SHALL BE PROVIDED. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 11B-305 SHALL BE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE 36 INCH MINIMUM LENGTH OF COUNTER. (SEE EXCEPTIONS) 11B-904.4.1

7. A PORTION OF THE COUNTER SURFACE THAT IS 36 INCHES LONG MINIMUM AND 34 INCHES HIGH MAXIMUM SHALL BE PROVIDED. KNEE AND TOE SPACE COMPLYING WITH SECTION 11B-306 SHALL BE PROVIDED UNDER THE COUNTER. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 11B-305 SHALL BE POSITIONED FOR A FORWARD APPROACH TO THE COUNTER. 11B-904.4.2

8. SELF-SERVICE SHELVES AND DISPENSING DEVICES FOR TABLEWARE, DISHWARE, CONDIMENTS, FOOD AND BEVERAGES SHALL COMPLY WITH SECTION 11B-308. 11B-904.5.1

9. THE TOPS OF TRAY SLIDES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR. 11B-904.5.2

FIXED OR BUILT-IN SEATING, TABLES & COUNTERS

1. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR 11B-502.9

SIGNS

1. NEW OR ALTERED SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 11B-216 AND SHALL COMPLY WITH SECTION 11B-703. THE ADDITION OF OR REPLACEMENT OF SIGNS SHALL NOT TRIGGER AND ADDITIONAL PATH OF TRAVEL REQUIREMENTS. 11B-216.1

EXCEPTIONS:
A. BUILDING DIRECTORIES, MENUS, SEAT AND ROW DESIGNATIONS IN ASSEMBLY AREAS, OCCUPANT NAMES, BUILDING ADDRESSES, AND COMPANY NAMES AND LOGOS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-216. 11B-216.1.1

B. RESERVED. 11B-216.12

C. TEMPORARY, 7 DAYS OR LESS, SIGNS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-216. 11B-216.13

D. IN DETENTION AND CORRECTIONAL FACILITIES, SIGNS NOT LOCATED IN PUBLIC USE AREAS SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B-216. 11B-216.14

2. INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL COMPLY WITH SECTIONS 11B-703.1, 11B-703.2, 11B-703.3, AND 11B-703.5. WHERE PICTOGRAMS ARE PROVIDED AS DESIGNATIONS OF PERMANENT ROOMS AND SPACES, THE PICTOGRAMS SHALL COMPLY WITH SECTION 11B-703.6 AND SHALL HAVE TEXT DESCRIPTORS COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703.5. 11B-216.2 (SEE EXCEPTION)

3. SIGNS THAT PROVIDE DIRECTION TO OR INFORMATION ABOUT THE INTERIOR AND EXTERIOR SPACES AND FACILITIES OF THE SITE SHALL COMPLY WITH SECTION 11B-703.5. 11B-216.3

4. SIGNS FOR MEANS OF EGRESS SHALL COMPLY WITH SECTION 11B-216.4:

A. SIGNS REQUIRED BY CHAPTER 10, SECTION 1013.4 AT DOORS TO EXIT PASSAGEWAYS, EXIT DISCHARGES, EXIT STAIRWAYS SHALL COMPLY WITH SECTIONS 11B-703.1, 11B-703.2, 11B-703.3, AND 11B-703.5. 11B-216.4.1

12. PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH SECTION 11B-502. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED. EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.

13. PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT CARS AND VANS, WHEN PARKED, CANNOT OBSTRUCT THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES. 11B-502.7

14. PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY ARE PARKED. 11B-502.7.1

15. A CURB OR WHEEL STOP SHALL BE PROVIDED IF REQUIRED TO PREVENT ENROACHMENT OF VEHICLES OVER THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES. 11B-502.7.2

PARKING SIGNAGE

1. PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 IN WHITE ON A BLUE BACKGROUND. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE 60 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. (SEE EXCEPTIONS) 11B-502.6

2. PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES. 11B-502.6.1

3. ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250." 11B-502.6.2

4. A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. 11B-502.6.3

5. EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER SECTION 11B-502.6.4.1 OR 11B-502.6.4.2. 11B-502.6.4

6. THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 IN WHITE ON A BLUE BACKGROUND. A MINIMUM 36 INCHES WIDE BY 28 INCHES HIGH. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE. ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH. 11B-502.6.4.1

7. THE PARKING SPACE SHALL BE OUTLINED IN BLUE OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. A MINIMUM 36 INCHES WIDE BY 28 INCHES HIGH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE. ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE. 11B-502.6.4.2

8. PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT CARS AND VANS, WHEN PARKED, CANNOT OBSTRUCT THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES. 11B-502.7

9. PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY PARKED. 11B-502.7.1

10. A CURB OR WHEEL STOP SHALL BE PROVIDED IF REQUIRED TO PREVENT ENROACHMENT OF VEHICLES OVER THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES. 11B-502.7.2

11. AN ADDITIONAL SIGN SHALL BE POSTED EITHER: 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE. 11B-502.9

12. THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH. 11B-502.8.1

13. THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING:

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: _____ OR BY TELEPHONING _____."

PASSENGER LOADING ZONES, DROP-OFF ZONES, AND BUS STOPS

1. PASSENGER DROP-OFF AND LOADING ZONES, EXCEPT THOSE REQUIRED TO COMPLY WITH SECTIONS 11B-209.2.2 AND 11B-209.2.3, SHALL PROVIDE AT LEAST ONE PASSENGER DROP-OFF AND LOADING ZONE COMPLYING WITH SECTION 11B-503 IN EVERY CONTINUOUS 100 LINEAR FEET OF DROP-OFF AND LOADING ZONE SPACE, OR FRACTION THEREOF. 11B-209.2.1

2. IN BUS LOADING ZONES RESTRICTED TO USE BY DESIGNATED OR SPECIFIED PUBLIC TRANSPORTATION VEHICLES, EACH BUS BAY, BUS STOP, OR OTHER AREA DESIGNATED FOR LIFT OR RAMP DEPLOYMENT SHALL COMPLY WITH SECTION 11B-810.2, 11B-209.2.2

3. ON-STREET BUS STOPS SHALL COMPLY WITH SECTION 11B-810.2 TO THE MAXIMUM EXTENT PRACTICABLE. 11B-209.2.3



CONSULTANTS: CIVIL ENGINEER



Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625

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DRAWN BY: JAY HAN

SCALE:

GENERAL NOTES - 4

G-005

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)



CONSULTANTS: CIVIL ENGINEER



CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklist contained in this code. Voluntary green building measures are also included in the application checklist and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county or city and county as specified in Section 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CQ] The provisions of Sections 5.106.1 through 5.106.5 shall apply to newly constructed buildings, additions exceeding 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections related to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings (N) or to additions and/or alterations (A). When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only.
Note: On and after January 1, 2024, certain commercial real property, as defined in Civil Code Section 11011.1, shall have its nonresidential plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 11011.1 for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of nonresidential plumbing fixtures, and duties and responsibilities for the project owner.

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see BSCC)
301.5 HEALTH FACILITIES. (see BSCC)

SECTION 302 MIXED OCCUPANCY BUILDINGS
302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each building category.

SECTION 303 PHASED PROJECTS
303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements, only those code measures related to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3.1 nonresidential additions and alterations.

ABBREVIATION DEFINITIONS:
HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of the State Architect, Structural Safety
CHFD Office of Greenhouse Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL

5.101.1 SCOPE. The provisions of this chapter outline planning, design and development methods that include environmental responsible site selection, building design, construction, and operation, maintenance, restoration and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS
5.102.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not normally exceed 25 (5 percent) at an angle of 80 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles above the luminaire.

ELECTRIC VEHICLE (EV), [BSC-CQ, HCD] An automotive-type vehicle for on-road use, such as passenger automobiles, taxis, buses, vans, neighborhood electric vehicles, electric motorcycles and bikes, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propelled electric vehicles, such as industrial trucks, hoists, lifts, transporters, golf carts, utility ground support equipment, tractors, boats and lawnmowers, are not included.

ELECTRIC VEHICLE (EV) CAPABLE SPACE, [BSC-CQ, DSA-SS and HCD] A vehicle space with electrical panel space and load capacity to support a branch circuit and necessary receptacles for EVSE receptacles.

ELECTRIC VEHICLE (EV) CHARGER, [BSC-CQ, HCD] Off-board charging equipment used to charge an electric vehicle.

ELECTRIC VEHICLE CHARGING STATION (EVCS), [BSC-CQ, DSA-SS, HCD] One or more electric vehicle charging spaces served by EVSE receptacles.

ELECTRIC VEHICLE (EV) READY SPACE (HCD) A vehicle space which is provided with a branch circuit, any necessary receptacles, both underground and/or surface mounted, to accommodate EV charging, terminating in a receptacle or a charger.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE), [BSC-CQ, DSA-SS and HCD] The conductors, including the underground, grounded and equipment grounding conductors and the electric vehicle connectors, attachment plates, armored protection system, and all other fittings, device, power outlets or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

SECTION 5.105 DECONSTRUCTION AND REUSE OF EXISTING STRUCTURES

5.105.1 REUSE. [BSC-CQ] Effective January 1, 2024, alterations to existing buildings with a total floor area of 100,000 square feet or greater shall comply with Section 5.105.2, 5.402.2, or 5.409.3. Additions to existing buildings within the total floor area combined with the existing building(s) is 50,000 square feet or greater shall comply with either Section 5.105.2, Section 5.409.2, or Section 5.409.3. Effective January 1, 2026, the combined floor area shall be 50,000 square feet or greater.

[DSA-SS] Alterations to an existing building(s) where the combined total floor area is 50,000 square feet or greater shall comply with Section 5.105.2, 5.402.2, or 5.409.3. Additions to existing buildings within the total floor area combined with the existing building(s) is 50,000 square feet or greater shall comply with Section 5.105.2, Section 5.409.2, or Section 5.409.3.

Exception [BSC-CQ, DSA-SS: Combined additions to an existing building(s) of two times the area or more of the existing building(s) is not eligible to meet compliance with Section 5.105.2.

5.105.2 Reuse of existing building. An addition or alteration to an existing building shall maintain at a minimum 45 percent compliance with the following elements: foundation, exterior, beams, walls, and floors, and lateral elements and existing building enclosure (roof framing, wall framing and exterior finishes). Window assemblies, portable shading devices, partially armored or hazardous, and hazardous materials that are remediated as part of the project shall not be included in the calculation.

5.105.3.1 Verification of compliance. Documentation shall be provided in the construction documents to demonstrate compliance with Section 5.105.2.

Note: Sample Worksheet WS-3 in Chapter 6 may be used to assist in documenting compliance with this section.

5.105.3 Deconstruction (Reserved).

SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Addition, alteration, or construction of structures shall be designed to prevent the pollution of storm water from the construction activities through one or more of the following measures:

5.106.1.1 Local Treatment. Comply with a locally enacted storm water management and/or erosion control ordinance.

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of all through water and water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
a. Scheduling construction activity during dry weather, when possible.
b. Prevention of natural hillside, vegetation, soil, and buffers around surface waters.
c. Drainage swales or lined ditches to control stormwater flow.
d. Mounding of hydroseeding to stabilize disturbed soils.
e. Erosion control to protect slopes.
f. Protection of storm drain inlets (curbs, catch basins, inlets).
g. Perimeter sediment control (perimeter silt fence, filter rolls).
h. Sediment trap or sediment basin to retain sediment on site.
i. Stabilized construction areas.
j. Wind erosion control.

2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
a. Dewatering activities.
b. Material handling and waste management.
c. Building materials stockpile management.
d. Management of equipment (engines, paints, solvents, etc.).
e. Control of vehicle/haulage loading to contractor's staging area.
f. Vehicle and equipment cleaning and washing.
g. Spill prevention and control.
h. Other housekeeping BMPs acceptable to the enforcing agency.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all locally enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre and one or more acres of a larger common plan of subdivision.

Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre and one or more acres of a larger common plan of subdivision or sale must comply with the post-construction requirements detailed in the applicable National Pollution Discharge Elimination Program (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the California Regional Water Quality Control Board for the project location. (See Hydrologic Unit).

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management. The NPDES permits emphasize runoff reduction through on-site stormwater, infiltration, water conservation, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conservation design measures. Stormwater runoff reduction measures are required to be captured in structural practices and are approved by the enforcing agency.

Refer to the current applicable permits on the State Water Resources Control Board website at www.waterboards.ca.gov/construction/stormwater. Consideration to the stormwater runoff management measures should be given during the initial design process and construction integration into site development.

5.106.3 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 105, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect under Section 105, comply with Section 5.106.4.2.

5.106.4.1 Bicycle parking. [BSC-CQ] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2, or meet the applicable local ordinance, whichever is stricter.

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitor entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one bicycle parking facility.

Exception: Additions or alterations which add new or restored visitor vehicle parking spaces.

5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenanted occupancies, provide secure bicycle parking for 5 percent of the tenanted occupant vehicle parking spaces with a minimum of one bicycle parking facility.

5.106.4.2 For additions or alterations that add 10 or more tenanted-occupant vehicle parking spaces, provide secure bicycle parking for 5 percent of the tenant-occupant vehicle parking spaces, with a minimum of one bicycle parking facility.

5.106.4.3 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenanted-occupant vehicle parking spaces with a minimum of one bicycle parking facility.

5.106.4.4 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following:
1. Covered, lockable enclosures with permanently anchored racks for bicycles.
2. Lockable bicycle racks with permanently anchored racks for bicycles.
3. Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2.1 Student Bicycle Parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1.1 and 5.106.4.2.1.2.

5.106.4.2.1.1 Student Bicycle Parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building.

5.106.4.2.2 Staff Bicycle Parking. Provide permanently secured bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per staff building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles.
- Lockable bicycle racks with permanently anchored racks.
- Lockable, permanently anchored bicycle lockers.

5.106.5.1 Electric vehicle (EV) charging. [N] [BSC-CQ] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.1.1 EV capable spaces, Section 5.106.5.3.2 Electric vehicle charging stations and associated Table 5.106.5.3.1, and Section 5.106.5.4. Electric vehicle charging stations (EVCS)—Power allocation method and associated Table 5.106.5.3.6 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code.

Exceptions:
1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:
a. Where there is no local utility power supply.
b. Where the local utility is unable to supply adequate power.
c. Where there is evidence submitted to the local enforcement agency substantiating the local utility infrastructure design requirements required for the implementation of Section 5.106.5.3 may adversely impact the construction cost of the project.
2. Parking spaces accessible only by automated mechanical car parking systems are not required to comply with this section.

5.106.5.1.1 EV capable spaces. [N] EV capable spaces shall be provided in accordance with Table 5.106.5.3.1.

5.106.5.1.2 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.3.1 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.3.2 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.3.3 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.3.4 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.1 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.2 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.3 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.4 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.5 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.6 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.7 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.8 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

5.106.5.4.9 EVCS. [N] EVCS shall be provided in accordance with Table 5.106.5.3.2.

TABLE 5.106.5.3.1

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS PROVIDED BY EVSE ^a
0-9	0	0
10-29	2	0
30-49	4	2
50-79	6	3
80-100	8	4
101-150	12	6
151-200	16	9
201 AND OVER	20 percent of actual parking spaces	25 percent of EV capable spaces ^b

^a Calculation for spaces shall be rounded up to the nearest whole number.
^b The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count toward the total number of required EV capable spaces shown in column 2.

1. At least one Level 2 EVSE shall be provided.
2. At least one Level 2 EVSE shall be provided.

5.106.5.3.2 Electric vehicle charging stations (EVCS) EV capable spaces shall be provided with electric vehicle supply equipment (EVSE) to create EVCS in the number indicated in Table 5.106.5.3.1. The EVCS provided by Table 5.106.5.3.1 shall be provided with Level 2 EVSE or DCFC, as permitted in Section 5.106.5.3.2.1. At least one Level 2 EVSE shall be provided.

One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accurately supplied to the EV charger.

The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.3.2.1 The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE or EVCS with Level 2 EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.3.2.2 The installation of two low power Level 2 EV charging receptacles shall be permitted to reduce the minimum number of required EV capable spaces without EVSE in Table 5.106.5.3.1 by one.

5.106.5.3.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity shall be reduced by 50 percent.

5.106.5.3.4 Accessible EVCS. When EVCS is accessible, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-229.3.

Note: For EVCS sign, refer to California Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

5.106.5.3.4.1 Accessible electric vehicle charging station (EVCS). When EVCS is installed, accessible EVCS shall be provided in accordance with California Building Code, Chapter 11B, Section 11B-229.3.

5.106.5.3.5 Electric vehicle charging station signage. Electric vehicle charging stations shall be identified by signage or pavement markings in compliance with California Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

Power allocation method shall include the following:
1. Use any kVA combination of EV capable spaces, low power Level 2, Level 2 or DCFC EVSEs.
2. At least one Level 2 EVSE shall be provided.

5.106.5.3.6 Electric vehicle charging stations (EVCS)—Power allocation method. The power allocation method shall be used as specified in the requirements in Section 5.106.5.3.1, Section 5.106.5.3.2 and associated Table 5.106.5.3.1. Use Table 5.106.5.3.6 to determine the total power in kVA required based on the total number of actual parking spaces.

TOTAL NUMBER OF ACTUAL PARKING SPACES	MINIMUM TOTAL kVA @ 6.6 kVA	TOTAL kVA REQUIRED IN ANY COMBINATION OF EV CAPABLE SPACES, LOW POWER LEVEL 2, LEVEL 2, 1, 2 OR DCFC
0-9	0	0
10-29	26.4	26.4
30-49	52.8	52.8
50-79	85.8	85.8
80-100	112.2	112.2
101-150	165	165
151-200	231	231
201 AND OVER	20 percent of actual parking spaces @ 6.6	Total required kVA = P × 20 ÷ 6.6 Where P = Parking spaces in facility

1. Level 2 EVSE @ 6.6 kVA minimum.
2. At least one Level 2 EVSE shall be provided.
3. Maximum allowed kVA to be utilized for EV capable spaces is 75 percent.
4. If EV capable spaces are utilized, they shall meet the requirements of Section 5.106.5.3.1 EV capable spaces.

5.106.5.4. Additions or alterations to existing buildings or parking facilities [A]. [BSC-CQ] Existing buildings or parking facilities being added by one of the following shall comply with Section 5.106.5.3.1, 5.106.5.3.2, 5.106.5.3.3, 5.106.5.3.4, 5.106.5.3.5, 5.106.5.3.6, 5.106.5.3.7, 5.106.5.3.8, 5.106.5.3.9, 5.106.5.3.10, 5.106.5.3.11, 5.106.5.3.12, 5.106.5.3.13, 5.106.5.3.14, 5.106.5.3.15, 5.106.5.3.16, 5.106.5.3.17, 5.106.5.3.18, 5.106.5.3.19, 5.106.5.3.20, 5.106.5.3.21, 5.106.5.3.22, 5.106.5.3.23, 5.106.5.3.24, 5.106.5.3.25, 5.106.5.3.26, 5.106.5.3.27, 5.106.5.3.28, 5.106.5.3.29, 5.106.5.3.30, 5.106.5.3.31, 5.106.5.3.32, 5.106.5.3.33, 5.106.5.3.34, 5.106.5.3.35, 5.106.5.3.36, 5.106.5.3.37, 5.106.5.3.38, 5.106.5.3.39, 5.106.5.3.40, 5.106.5.3.41, 5.106.5.3.42, 5.106.5.3.43, 5.106.5.3.44, 5.106.5.3.45, 5.106.5.3.46, 5.106.5.3.47, 5.106.5.3.48, 5.106.5.3.49, 5.106.5.3.50, 5.106.5.3.51, 5.106.5.3.52, 5.106.5.3.53, 5.106.5.3.54, 5.106.5.3.55, 5.106.5.3.56, 5.106.5.3.57, 5.106.5.3.58, 5.106.5.3.59, 5.106.5.3.60, 5.106.5.3.61, 5.106.5.3.62, 5.106.5.3.63, 5.106.5.3.64, 5.106.5.3.65, 5.106.5.3.66, 5.106.5.3.67, 5.106.5.3.68, 5.106.5.3.69, 5.106.5.3.70, 5.106.5.3.71, 5.106.5.3.72, 5.106.5.3.73, 5.106.5.3.74, 5.106.5.3.75, 5.106.5.3.76, 5.106.5.3.77, 5.106.5.3.78, 5.106.5.3.79, 5.106.5.3.80, 5.106.5.3.81, 5.106.5.3.82, 5.106.5.3.83, 5.106.5.3.84, 5.106.5.3.85, 5.106.5.3.86, 5.106.5.3.87, 5.106.5.3.88, 5.106.5.3.89, 5.106.5.3.90, 5.106.5.3.91, 5.106.5.3.92, 5.106.5.3.93, 5.106.5.3.94, 5.106.5.3.95, 5.106.5.3.96, 5.106.5.3.97, 5.106.5.3.98, 5.106.5.3.99, 5.106.5.3.100.

1. When the scope of construction work includes an increase in power supply to an electric service panel as part of a parking facility addition or alteration, the power supply to the electric service panel shall be increased to meet the requirements of Section 5.106.5.3.1, 5.106.5.3.2, 5.106.5.3.3, 5.106.5.3.4, 5.106.5.3.5, 5.106.5.3.6, 5.106.5.3.7, 5.106.5.3.8, 5.106.5.3.9, 5.106.5.3.10, 5.106.5.3.11, 5.106.5.3.12, 5.106.5.3.13, 5.106.5.3.14, 5.106.5.3.15, 5.106.5.3.16, 5.106.5.3.17, 5.106.5.3.18, 5.106.5.3.19, 5.106.5.3.20, 5.106.5.3.21, 5.106.5.3.22, 5.106.5.3.23, 5.106.5.3.24, 5.106.5.3.25, 5.106.5.3.26, 5.106.5.3.27, 5.106.5.3.28, 5.106.5.3.29, 5.106.5.3.30, 5.106.5.3.31, 5.106.5.3.32, 5.106.5.3.33, 5.106.5.3.34, 5.106.5.3.35, 5.106.5.3.36, 5.106.5.3.37, 5.106.5.3.38, 5.106.5.3.39, 5.106.5.3.40, 5.106.5.3.41, 5.106.5.3.42, 5.106.5.3.43, 5.106.5.3.44, 5.106.5.3.45, 5.106.5.3.46, 5.106.5.3.47, 5.106.5.3.48, 5.106.5.3.49, 5.106.5.3.50, 5.106.5.3.51, 5.106.5.3.52, 5.106.5.3.53, 5.106.5.3.54, 5.106.5.3.55, 5.106.5.3.56, 5.106.5.3.57, 5.106.5.3.58, 5.106.5.3.59, 5.106.5.3.60, 5.106.5.3.61, 5.106.5.3.62, 5.106.5.3.63, 5.106.5.3.64, 5.106.5.3.65, 5.106.5.3.66, 5.106.5.3.67, 5.106.5.3.68, 5.106.5.3.69, 5.106.5.3.70, 5.106.5.3.71, 5.106.5.3.72, 5.106.5.3.73, 5.106.5.3.74, 5.106.5.3.75, 5.10

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)



CONSULTANTS: CIVIL ENGINEER



INDUSTRY-WIDE EPD (INWEPD): A Type II EPD in which the environmental impacts are an average of the typical manufacturing impacts for a range of products within the same product category for a group of manufacturers.

PRODUCT-SPECIFIC EPD: A Type II EPD in which the environmental impacts can be attributed to a product design and manufacturer across multiple facilities.

SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT

5.407.1 MOISTURE CONTROL: Energy modeling control measures by the following methods:
5.407.2.1 Sprinklers: Design and maintain landscape irrigation systems to prevent spray on structures.
5.407.2.2 Etries and openings: Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows:
5.407.2.2.1 Exterior door protection: Primary exterior entries that are covered to prevent water intrusion shall meet the following criteria:
1. An installed awning of at least 4 feet in depth.
2. The door is protected by a roof overhang of at least 4 feet in depth.
3. The door is recessed at least 4 feet.
4. Other methods which provide equivalent protection.
5.407.2.2.2 Flashing: Install flashings integrated with a drainage plane.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 CONSTRUCTION WASTE MANAGEMENT: Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Sections 5.408.1.1, 5.408.1.2, 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent.
5.408.1.1 Construction waste management plan: Where a local jurisdiction does not have a construction and demolition waste management ordinance, require a construction waste management plan that:
1. Identifies the construction and demolition waste materials to be diverted from disposal/separation or reuse.
2. Identifies the construction and demolition waste materials to be recycled on-site (household appliances and other materials).
3. Identifies diversion facilities where construction and demolition waste materials collected will be taken. 4. Specifies that construction and demolition waste materials diverted shall be calculated by weight or volume, but not by bin.

5.408.1.2 Waste Management System: Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.
5.408.1.3 Waste stream reduction: The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency.
5.408.1.4 Documentation: Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1 through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

5.408.2 UNIVERSAL WASTE (UW): All additions and alterations to a building or tenant space that meet the recycling provisions in Section 5.409.1 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats are not located at California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents.
5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS: 100 percent of trees, stumps, roots and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on-site until the end of the construction phase.
Exception: Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.
Notes:
1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow his/her direction for disposal of the material.
2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdafs.ca.gov)

SECTION 5.409 LIFE CYCLE ASSESSMENT

5.409.1 SCOPE (BSC-CO): Envelope (i.e., 200% increase of newly constructed buildings) with a combined floor area of 100,000 square feet or greater shall comply with Section 5.409.2 and Section 5.409.3. Alterations to existing buildings where the combined floor area is 100,000 square feet or greater shall comply with Section 5.409.2 and Section 5.409.3. Additions to existing buildings where the total floor area combined with the existing building(s) is 100,000 square feet or greater shall comply with either Section 5.409.2 or Section 5.409.3. Effective January 1, 2025, the combined floor area shall be 50,000 square feet or greater.
[DAA-88] Projects consisting of newly constructed buildings with a combined floor area of 50,000 square feet or greater shall comply with either Section 5.409.2 or Section 5.409.3. Alterations to existing buildings where the combined floor area is 50,000 square feet or greater shall comply with either Section 5.409.2 or Section 5.409.3. Additions to existing buildings where the combined floor area is 50,000 square feet or greater shall comply with either Section 5.409.2 or Section 5.409.3.

GREEN BUILDING STANDARDS CODE - 2
G-007

DRAWN BY: JAY HAN
SCALE:

Job site:
3025 East Coast Hwy, Corona Del Mar
CA, 92625

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6.106.5.6.2.1 Reduced number of EV capable spaces. The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces indicated in Table 5.106.5.6.1 by one and reduce proportionately the required electrical load capacity to the service panel or sub-panel.
6.106.5.6.2.2 Multiple connectors. EVSE with multiple vehicle connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.6.1 for each EV capability space is achieved after the EVSE.
6.106.5.6.2.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVSE installed in accordance with Section 6.106.5.2.2. When ALMS is installed, the required electrical load capacity specified in Section 5.106.5.6.1 for each EVSE may be reduced when served by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 3.0 ampere to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.
6.106.5.6.3 EVs altering compliance. In lieu of compliance with Section 5.106.5.6.2 EVCS shall be provided with Level 1 or low power Level 2, or a combination of Level 1, low power Level 2 or Level 2 EVSE such that the total power supplied by the combination of EVSE meets the minimum power indicated in Table 5.106.5.6.3, based on the total number of actual parking spaces in each parking facility.

NUMBER OF PARKING SPACES IN A PARKING FACILITY	MINIMUM TOTAL POWER (KVA) REQUIRED FOR EVCS
0-9	0
10-25	7
26-50	14
51-75	20
76-100	27
101-200	50
201 AND OVER	Total required KVA = P * 0.6 * E.E Where P = Parking spaces in facility

6.106.5.6.4 EVCS for alterations of or additions to parking facilities. Alterations of or additions to parking facilities shall provide EVCS in compliance with Section 5.106.5.6.4. The installation of infrastructure for EV capable spaces required to be provided without EVSE shall not be required.
6.106.5.6.4.1 Alterations of or additions to parking facilities. EVCS shall be provided in accordance with the number indicated in Table 5.106.5.6.1 or minimum power indicated in Table 5.106.5.6.3 when the scope of work includes an increase in the number of parking spaces or the addition of parking facilities. The number of parking spaces is added to a parking facility. The number of parking spaces is added to the total number of existing and new parking spaces in the parking facility.
6.106.5.6.4.2 Alterations consisting of the installation of photovoltaic systems. EVCS shall be provided in accordance with the number indicated in Table 5.106.5.6.1 or minimum power indicated in Table 5.106.5.6.3 when a new photovoltaic system is installed in an existing parking facility.
6.106.5.6.5 Requirement to install EVSE. Level 2 EVSE shall be provided in all existing EV capable spaces to EVSE when a project is required by California Administrative Code Section 4.3009 to be submitted for plan approval to the Division of the State Architect. When EVSE is installed in existing EV capable spaces, accessible EVCS shall be provided in accordance with California Building Code Chapter 115.
Exception: Projects in which improvements in parking areas consist only of accessibility improvements are not required to comply with Section 5.106.5.6.5.

6.106.5.6.6 LIGHT POLLUTION REDUCTION (LP): Outdoor lighting systems shall be designed and installed to comply with the following:
1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10.11.4 of the California Administrative Code; and
2. LIGHTING (LP) as defined in BSF 18.1.1.1 (shown in Table A-1 in Chapter 18).
3. Uplight and glare ratings as defined in California Energy Code (shown in Tables 130.2.A and 130.2.B in Chapter 18).
4. Allowable BLD ratings not exceeding those shown in Table 5.106.5.6.6 (N) or comply with a local ordinance which is more restrictive than the California Energy Code.
Exception: (N)
1. Luminaires that qualify as exceptions in Sections 130.2(B) and 140.7 of the California Energy Code.
2. Emergency lighting.
3. Building facade lighting meeting the requirements in Table 140.7.B of the California Energy Code, Part 6.
4. Certain lighting fixtures as allowed by the local enforcing agency, as permitted by Section 101.8 Alternative materials, design and methods of construction.
5. Luminaires with less than 6,200 initial lumens.

ALLOWABLE RATING	LIGHTING ZONE					
	LZ1	LZ2	LZ3	LZ4	LZ5	LZ6
MAXIMUM ALLOWABLE BACKLIT RATING: Luminaires greater than 2 mounting heights (MH) from property line	NA	No Limit	No Limit	No Limit	No Limit	No Limit
Luminaires back hemisphere is 1.2 MH from property line	NA	82	83	84	84	84
Luminaires back hemisphere is 0.5-1.1 MH from property line	NA	81	82	83	83	83
Luminaires back hemisphere is less than 0.5 MH from property line	NA	80	80	81	81	82
MAXIMUM ALLOWABLE UPLIGHT RATING (U) For area lighting	NA	UD	UD	UD	UD	UD
For all other outdoor lighting including decorative luminaires	NA	U1	U2	U3	U3	UR
MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G)	NA	G1	G2	G3	G4	G4
MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G)	NA	G0	G1	G1	G1	G2
MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G)	NA	G0	G0	G1	G1	G1
MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G) MAXIMUM ALLOWABLE GLARE RATING (G)	NA	G0	G0	G0	G1	G1

1. Uplight Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be extended to be beyond the actual property line for purposes of determining compliance with this section.
3. For property lines that abut public walkways and public transit corridors, the property line may be extended to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
3. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in areas shall meet Uplight limits for "all other outdoor lighting".

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A GUIDE TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING APPLICABILITY JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE LOCAL CODE.

6.106.6.1 Facing Backlight. Luminaires with 2MFT of a property line shall be oriented so that the nearest property line is behind the facade, and shall comply with the backlight rating specified in Table 5.106.6.1 based on the lighting zone and distance to the nearest part of that property line.
Exception: Corners. Two property lines for two segments of the same property line have equivalent point to the luminaire, then the luminaire may be oriented so that the intersection of the two lines (the corner) is directly behind the luminaire. The luminaire shall cut over the distance to the nearest point(s) on the property line to determine the required backlight rating.
6.106.6.2 Facing Glare. For luminaires covered by 5.106.6.1, if a property line also exists within or extends into the front hemisphere within 2MFT of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.6.2 based on the lighting zone and distance to the nearest point on the nearest property line within 20 feet.
Note: (N)
1. Table A: California Building Code Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.
2. Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for ES 18-15-11 Table A-1, California Energy Code Tables 130.2.A and 130.2.B.
3. Refer to the California Building Code for requirements for additions and alterations.

6.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:
1. Swales.
2. Water collection and disposal systems.
3. French drains.
4. Water retention gardens.
5. Other water measures which keep surface water away from buildings and lead in groundwater recharge.
Exception: Additions and alterations not including the drainage path.

6.106.10.1 SHADE TREES. Shade trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain trees shall comply with Section 5.304.6.
6.106.10.2 Surface parking areas. Shade tree planting, minimum 810 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.
Exception: Surface parking areas covered by solar photovoltaic shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.
6.106.10.3 Landscape areas. Shade tree plantings, minimum 810 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.
Exception: Playfields for organized sport activities are not included in the total area calculation.
6.106.10.3.1 Hardscape areas. Shade tree plantings, minimum 810 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.
Exception:
1. Walks, landscape areas covered by solar photovoltaic shade structures or shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.
2. Designated and marked play areas of organized sport activities are not included in the total area calculation.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL

5.201.1 SCOPE (BSC-CO): California Energy Code (CASC). For the purpose of mandatory energy efficiency standards in this code, the California Energy Code shall apply to all nonresidential buildings.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL

5.301.1 SCOPE. The water efficiency chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.

SECTION 5.302 DEFINITIONS

5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference):
EPA/UTRICATION ADJUSTMENT FACTOR (EPAU) (DAA-88). An adjustment factor which applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which are two major influences on the amount of water used by the application of the irrigation system.
FOOTPRINT AREA (DAA-88). The total area of the footprint lateral wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.
METRIC FAUCET: A self-closing faucet that dispenses a specific volume of water for each activation cycle. The volume or cycle duration can be fixed or adjustable.
MATERWATER. Pursuant to Health and Safety Code Section 17922.12 "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat of contamination by unwholesome processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks and dishwashers.

MODEL WATER EFFICIENT LANDSCAPE ORNANCE (MWELO). The California model ordinance (landscape design, installation and maintenance practices that will conserve water, mulch and other developer installing landscape greater than 2500 square feet meet an irrigation water budget developed based on landscape area and climatological parameters.
MODEL WATER EFFICIENT LANDSCAPE ORNANCE (MWELO) (DAA-88). The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the specified MWELO, or adopt a local ordinance at least as effective as the MWELO.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.
POTABLE WATER (PCW) Water that is satisfactory for drinking, cooking, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority Having Jurisdiction.

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or for other intended use that would not otherwise occur (Water Code Section 13059 (m)). Simply put, recycled water is water treated to remove matter abating a quality that is suitable to use the water again.
SUMMER (DAA-88) (H) A secondary device beyond a meter that measures water consumption of an individual residential structure in a multi-unit residential structure or commercial structure. (See Civil Code Section 1954.202 (g) and Water Code Section 517 for additional details.)

WATER BUDGET. The estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).

SECTION 5.303 INDOOR WATER USE

5.303.1 WATER USE. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2.
5.303.1.1 Buildings in excess of 600,000 square feet. Separate submeters shall be installed as follows:
1. For each individual toilet, rest room or other tenant space within the building projected to consume more than 150 gallons (580 Liters) including, but not limited to, spaces used by laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.
2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subareas:
a. Makeup water for cooling towers where flow through a greater than 500 gpm (30 L/s).
b. Makeup water for evaporative coolers greater than 6 gpm (24 L/s).
c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).

5.303.1.2 Single commercial multi-tenant buildings. Separate submeters shall be provided for any tenant within a new building or with an addition that is projected to consume more than 1,000 gallons per day.

5.303.2 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:
5.303.2.1 Water Closes. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Single water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Toilet-Type Toilets.
Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.
5.303.2.2 Urinals. 5.303.2.2.1 Floor-mounted Urinals. The effective flush volume of floor-mounted urinals shall not exceed 0.125 gallons per flush.
5.303.2.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush.

5.303.2.3 Showerheads (BSC-CO). 5.303.2.3.1 Single Showerheads. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
5.303.2.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
Note: A hand shower shall be considered a showerhead.

5.303.2.3.3 Single Showerheads. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
5.303.2.3.4 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
Note: A hand shower shall be considered a showerhead.

5.303.2.4 Faucets and Showers. 5.303.2.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 1.5 gallons per minute at 80 psi.
5.303.2.4.2 Kitchen Faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not exceed 2.2 gallons per minute at 80 psi, and must return to a maximum flow rate of 1.8 gallons per minute at 80 psi.
5.303.2.4.3 Wash Basins. Wash basins shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi.
5.303.2.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.
5.303.2.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute (gpm) (inches) at 60 psi.
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

5.303.2.4.6 Pre-rinse spray valve. Where installed, pre-rinse spray valves in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1005.1 (h)(4) Table H-2, Section 1005.3 (h)(4)(A), and Section 1007 (6)(7), and shall be equipped with an air gap at least 80 psi.
FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1005.1 (h)(4) and Section 1005.3 (h)(4)(A).

PRODUCT CLASS (Spray force in ounce force (ozf))	MAXIMUM FLOW RATE (gpm)
Product Class 1 (5 - 33 ozf)	1.00
Product Class 2 (34 - 63 ozf)	1.20
Product Class 3 (64 - 83 ozf)	1.28

5.303.4.7 Food Waste Disposers. Disposers shall either reduce the use of water to no more than 1 gpm when the disposer is not in use (no activity grinding) or shall automatically shut off after no more than 10 minutes of activity. Disposers shall not use more than 2 gpm of water.
Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.

5.303.4.8 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply in full within the addition or area of alteration to this code.

SECTION 5.304 OUTDOOR WATER USE

5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
Notes:
1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.
2. MWELO and supporting documents, including a water budget calculator, are available at: <http://www.water.ca.gov>

5.304.2 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, landscape projects shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2. The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) shall be 65 with an additional water allowance for special landscape areas (SLA) of 0.35.
Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the "proportionate water allowance" as specified in Appendix D of the MWELO.

5.304.4.1 Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet.
5.304.4.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,000 square feet.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

5.401.1 SCOPE. The provisions of this chapter specify the requirements of achieving material conservation, resource efficiency, and green building for new construction and alterations to existing buildings where the total floor area construction waste diversion, employment of scrapwood to reduce pollution through reusing of materials, the installation of energy efficient lighting systems and building commissioning or testing and adjusting.

5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference):
ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.

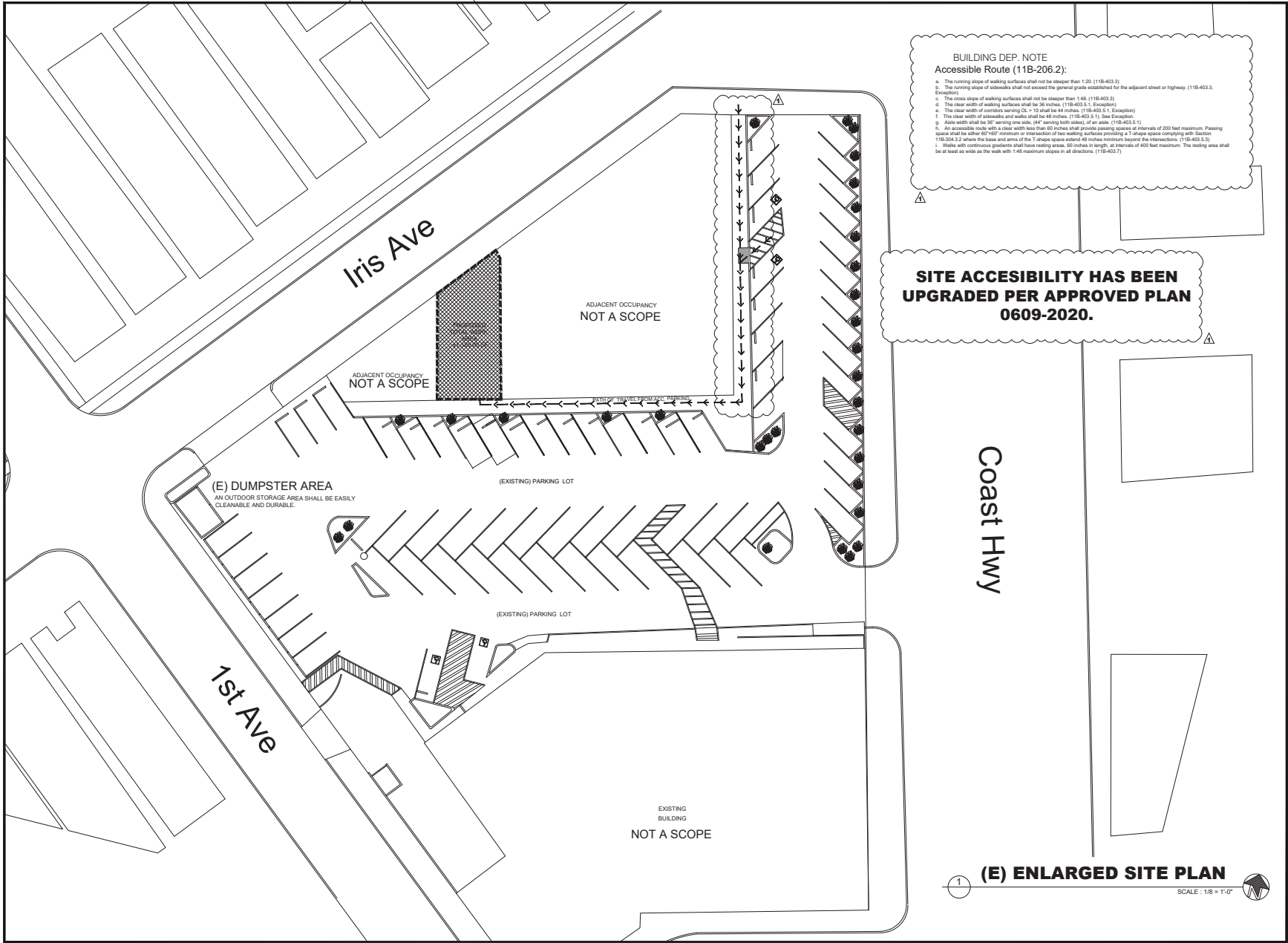
5.402.1.1 SCOPE. The provisions of this chapter specify the requirements of achieving material conservation, resource efficiency, and green building for new construction and alterations to existing buildings where the total floor area construction waste diversion, employment of scrapwood to reduce pollution through reusing of materials, the installation of energy efficient lighting systems and building commissioning or testing and adjusting.

5.402.1.2 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference):
ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.

5.402.1.3 SCOPE. The provisions of this chapter specify the requirements of achieving material conservation, resource efficiency, and green building for new construction and alterations to existing buildings where the total floor area construction waste diversion, employment of scrapwood to reduce pollution through reusing of materials, the installation of energy efficient lighting systems and building commissioning or testing and adjusting.

5.402.1.4 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference):
ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.

5.402.1.5 SCOPE. The provisions of this chapter specify the requirements of achieving material conservation, resource efficiency, and green building for new construction and alterations to existing buildings where the total floor area construction waste diversion, employment of scrapwood to reduce pollution through reusing of materials, the installation of energy efficient lighting systems and building commissioning or testing and adjusting.



Nook Coffee Bar

Job site:
 3027 East Coast Hwy, Corona Del Mar
 CA, 92625

▲ building 11182025
 ▲
 ▲

DRAWN BY: JAY HAN
 SCALE:

(E) ENLARGED SITE PLAN
- NO CHANGE -

A - 001



Nook Coffee Bar

Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625

▲ building 11182025

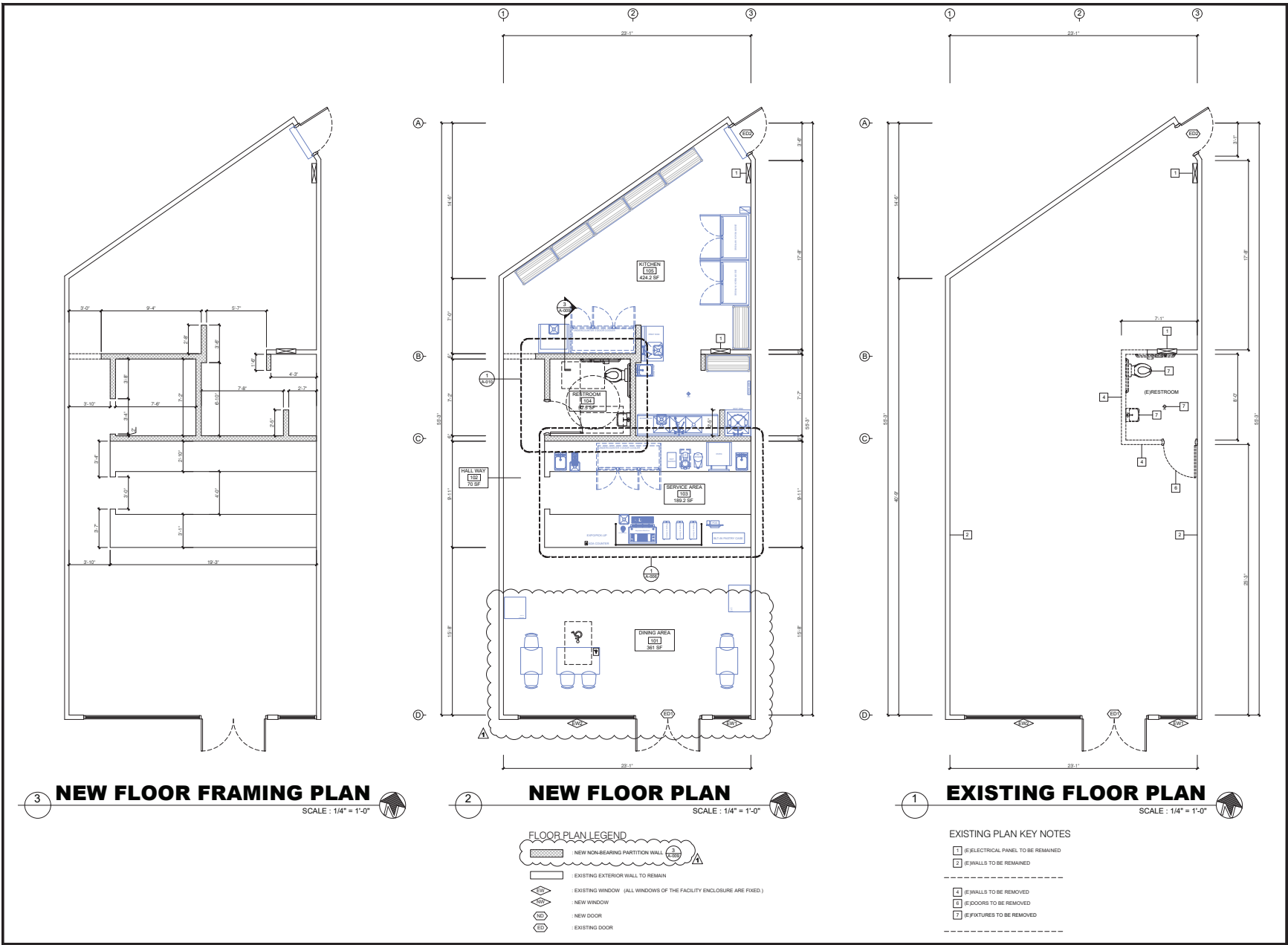
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DRAWN BY: JAY HAN

SCALE: _____

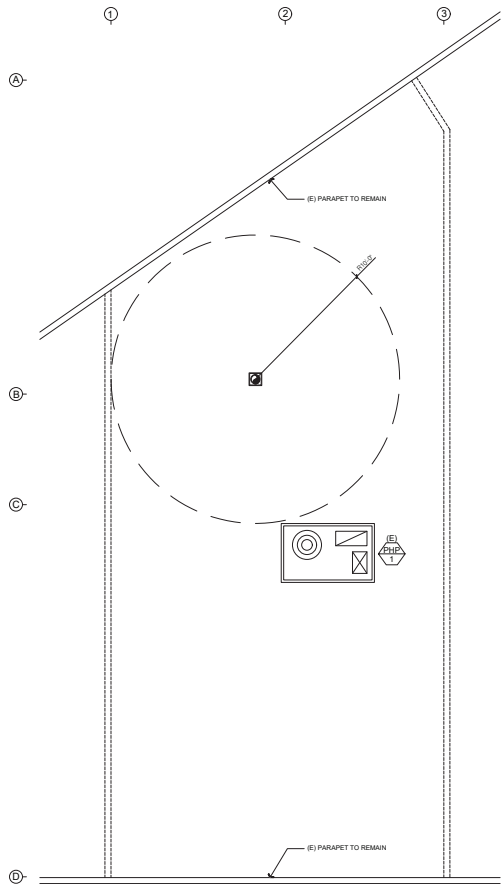
**EXISTING & DEMO PLAN
NEW FLOOR PLAN**

A-003

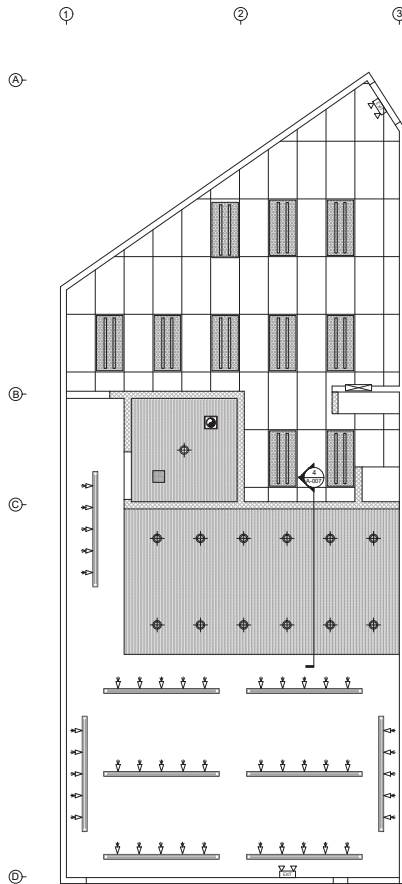


GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE DETAILS.
3. CONTRACTOR SHALL VERIFY EXISTING GRID LINES & COLUMN ACCURACY PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING SLAB ELEVATION AND VERIFY WITH DETAIL.
5. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CODE REQUIRED HEAD ROOM CLEARANCE FOR OVERHEAD PROJECTIONS FROM WALL SURFACES AND HANGING OBJECTS.
6. CONTRACTOR SHALL COORDINATE ALL S.M.E.P. & REFRIGERATION DWG.
7. SEE EQUIPMENT SCHEDULE PLAN SHEET FOR EQUIPMENT LAYOUT AND SCHEDULE

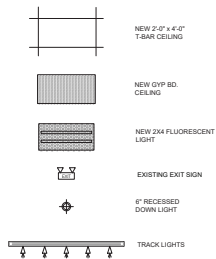


EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



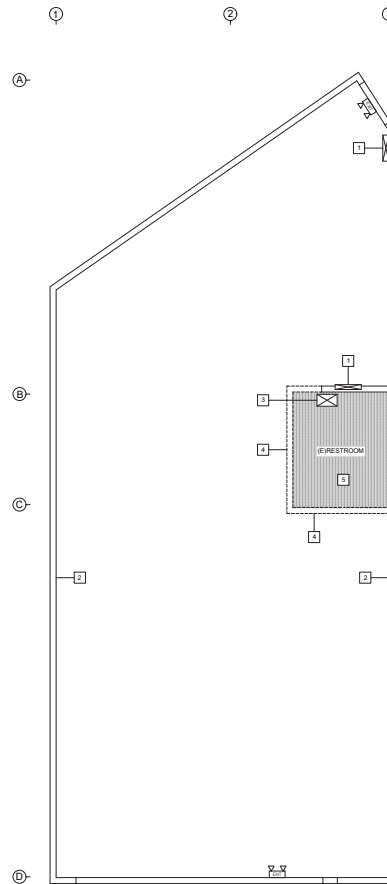
NEW RCP
SCALE: 1/4" = 1'-0"

CEILING PLAN LEGEND



FLOOR PLAN KEY NOTES

- 1] (E) ELECTRICAL PANEL TO BE REMAINED
 - 2] (E) WALLS TO BE REMAINED
 - 3] (E) ELECTRICAL TRANSFORMER TO BE REMAINED
-
- 4] (E) WALLS TO BE REMOVED
 - 5] (E) CEILING TO BE REMOVED



EXISTING RCP
SCALE: 1/4" = 1'-0"

KTIK
COMMERCIAL & RESIDENTIAL

KTIK@KTIK.COM
TEL: 714-81-8002

CONSULTANTS CIVIL ENGINEER



Nook Coffee Bar

Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625



DRAWN BY: JAY HAN

SCALE:

**EXISTING RCP
NEW RCP
EXISTING ROOF PLAN**

A-004

RETAIL FOOD FACILITY / GENERAL STRUCTURAL REQUIREMENTS

FLOORS

A. Floors in food facilities shall be smooth and impervious to water, grease and acid, and be made of easily cleanable construction. Floor surfaces in all areas where food is prepared, packaged, or stored, where janitorial facilities are located, where refuse or hand washing areas and in employee change and storage areas, shall be an approved type that conforms up to the wall or toeboards, at least four (4) inches, in a seamless manner, with a 3/8 inch minimum radius curve. An approved slip foot ceramic, quarry or metal topped base is generally acceptable.

B. Floor drains are required in floors that are washed/scrubbed for cleaning where pressure spray methods for cleaning equipment are used. Trench drains may be used in doorways or where the amount of water used for cleaning will be excessive. High pressure hot water cleaning systems are recommended in addition to floor drains when the degree of roughness of the slip resistant agent is excessive as determined upon evaluation by this Agency.

C. Flooring under equipment and on the covered base shall be completely smooth. Floor surfaces, which contain slip resistant agents, shall be restricted to traffic areas only.

WALLS / CEILINGS

A. Walls and ceilings in all rooms shall be smooth and nonabsorbent with a light colored, washable finish. (Note: light colored is defined as having a light reflectance value of 70% or greater). The requirement does not apply to some areas, such as dining and sales areas; alternative finish colors will be evaluated on a case by case basis.

B. Wall materials other than smooth plaster or stucco shall be smooth, or plywood with properly sealed joints, require submission of a sample.

C. All wall surfaces shall be sealed with a cleanable paint such as: gloss or semi gloss enamel, epoxy, varnish or other equivalent washable finish.

REFRIGERATION

All refrigeration units shall be adequate in capacity to the needs of the proposed operation and shall comply with the following requirements:

A. Be capable of operating so as to maintain the refrigerated foods at or below 41° Fahrenheit at all times.

B. Be specifically constructed for commercial use. Domestic model refrigeration units do not meet the ANSI certified sanitation standards, such as NSF International Food Service Equipment.

C. Be provided with an accurate, readily visible thermometer.

D. Have smooth, nonabsorbent and easily cleanable interior and exterior surfaces. If cement, plywood, or other similar absorbent materials are used, the surfaces must be sealed. All joints must be sealed.

E. Condensate waste from reach-in refrigeration units may be drained into a floor sink or an approved evaporator unit.

F. Cooling coils and related electrical, drainage and refrigerant lines shall be installed in a safe and easily cleanable manner. Drainage and refrigerant lines shall be constructed of nonmetallic materials or properly insulated and covered with an approved, easily cleanable and nontoxic material.

Walk-in Refrigeration Units shall also:

A. Have a covered base with a radius of at least 3/8 inch at the floor/wall juncture; the floor material shall extend up to a height of at least four (4) inches on the walls. Four (4) inch approved metal topped covering with a minimum 3/8 inch radius is acceptable against metal wall surfaces of walk-in refrigeration units.

B. Have condensate waste drained into a floor sink. The floor sink is not to be located inside the walk-in refrigeration unit.

C. Be finished, plywood or other similar absorbent materials are used, the surfaces and joints must be sealed.

FLOOR SINKS

A. All condensate and similar liquid waste shall be drained by means of indirect waste pipes into an open floor sink or approved receptacle.

B. Drain lines must be installed, constructed and maintained to be easily cleanable and prevent the harborage of insects. Installing horizontal runs of drain lines at least 1/2 inch from the wall and six (6) inches off the floor will accomplish this task. All drain lines must terminate at least one (1) inch above the overflow rim of the floor sink to provide an air gap.

C. Install all floor sinks in line with the front edge of the elevated equipment. All floor sinks must be easily accessible for cleaning purposes. Half-exposed floor sinks are not acceptable.

UTENSIL SINK

A. Where multi-service utensils, i.e., pots, pans, etc., are utilized, there shall be provided at least a three (3) compartment stainless steel sink with drain. (Integrally installed stainless steel drain boards).

B. A separate, approved three (3)-compartment sink must be installed within each department in a grocery store which handles unpackaged foods, i.e., deli, meat, bakery, etc., and remote food service operations in restaurants, i.e., sushi bars, espresso bars, oyster bars, etc.

C. The sink must otherwise be capable of accommodating the largest utensil to be washed, and the drain boards shall be as large as the largest sink compartment. Typical dimensions are at least 18" x 12" deep with minimum 18" x 18" drain boards, or 10" x 20" deep with 10" x 20" drain boards. These sizes are generally sufficient to accommodate most food service operations.

HAND WASHING SINKS

A. Hand washing sinks shall be provided in all food preparation areas.

B. Soap and sanitary towels shall be provided in single-serve dispensers at all hand washing sinks.

C. A separate, approved hand washing sink should be installed within each department in a grocery store which handles unpackaged food, i.e., deli, meat, bakery, etc., and remote food service operations in restaurants, i.e., sushi bars, espresso bars, oyster bars, etc.

FOOD PREPARATION SINKS

Food facilities that prepare vegetables or meat may be required to have a food preparation sink. This sink must have an indirect connection to a floor sink.

GENERAL PURPOSE HOT WATER

A. Provide a water heater, which is capable of constantly supplying hot water at a temperature of at least 120° Fahrenheit to all sinks, and other cleanup facilities. In sizing the water heater, the peak hourly demands for all sinks, etc., are added together to determine the minimum required recovery rate.

B. A water heater should not be purchased until this Agency determines the minimum required energy input for the water heater.

LIGHTING

A. All food preparation areas, all dispensing areas, and all bar and fountain glass washing sinks (except where alcoholic beverage utensils are washed), shall be provided with at least 20 foot-candles of light, as measured 30 inches above the floor.

B. Food and storage rooms, refrigeration storage, cooler rooms, and freezing rooms shall be provided with at least 10 foot-candles of light.

EQUIPMENT

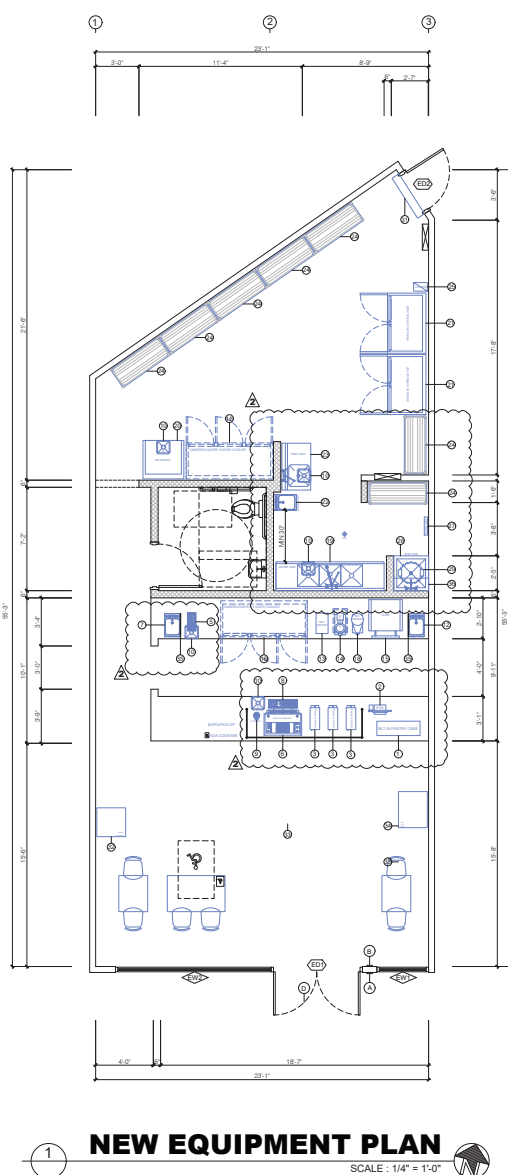
A. All show and display cases, counters, shelves, refrigeration equipment, sinks and other equipment used in connection with the preparation, service and display of food, shall be made of nontoxic materials and so constructed and installed as to be easily cleanable. ANSI certified sanitation standards, such as NSF International Food Service Equipment are required on all equipment.

B. All equipment shall be placed on minimum six (6) inch high, easily cleanable legs or on a four (4) inch high continuous covered curb, or on approved casters, or constructed from the wall in an approved manner.

ALL WINDOWS OF THE FACILITY ENCLOSURE ARE FIXED.

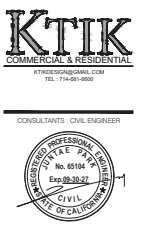
NEW EQUIPMENT SCHEDULE

EQUIPMENT				ELECTRICAL				PLUMBING				DIMENSIONS		REMARKS	
NO.	NAME	MFR.	MODEL NO.	QTY.	BASE	PLUG	VOLT	AMP	HP	HW	CW	WASTE	GAS		BTU/HR
1	BLT-IN PASTRY CASE	BY OWNER	CUSTOM - GLASS CASE	1	ON COUNTER										
2	POS	BY OWNER	Square Register	1	ON COUNTER	NEMA-5-15R	115								
3	Espresso Grinder	SIMONELLI USA	Mythos 2 Grinder	3	ON COUNTER	NEMA-5-15R	115	6							
4															
5	RINSER	OLYMPIA WALUSA	EP99715	1	ON COUNTER						○	○			
6	Espresso Machine	La Marzocco	La Marzocco Linea PB 3 Group	1	ON COUNTER		208	90							(WDH) - 38, 23, 21 *Certification UL 197 NSF-A CAN/CSA C22.2 No. 100 Provide an approved backflow device to the incoming water line. If splash guards are used, extend from the back to the front of the sink. Splash guards must not taper.
7	DROP IN DUMP SINK	REGENCY	#60D1101410K	1	ON COUNTER										
8	RINSER	OLYMPIA WALUSA	EP99724	1	ON COUNTER						○	○			
9	DIPPER WELL	T&B BRASS AND BRONZE	B-2382-01-F05	1	ON COUNTER										
10	FLOOR SINK	BY PLUMBER		5	FLOOR										
11	FLOOR DRAIN	BY PLUMBER		1	FLOOR										DIRECT
12	DROP IN Hand Sink	KROVING	HS 1220	1	ON COUNTER						○	○			DIRECT
13	HOT WATER BOILER	CURTIS	W850T	1	ON COUNTER	NEMA-5-15R	115	14							
14	Coffee Brewer	CURTIS	G4TP196W3100	1	ON COUNTER	NEMA-5-15R	115	14							
15	OVEN	TURBOCHEF	THE 6 TM	1	ON COUNTER	NEMA-5-50P	208	50							
16	UNDERCOUNTER 3 DOOR COOLER	TURBO AIR	MUR72-N	2	CASTER	NEMA-5-15R	115	2.5	1/6						
17															
18	Bulk Coffee Grinder	MafKing	EK43	1	ON COUNTER	NEMA-5-15R	115	7							
19	3 COMP SINK	GSW	SE 1818D	1	22" LEGS						○	○			DIRECT
20	ICE MAKER / BIN	HOBZHAKI	KML-325500M_J	1	6" LEGS	NEMA-5-15R	115	9							
21	REACH IN 2 DOOR REFRIGERATOR	AVANTCO	A-49R-HC	2	CASTER	NEMA-5-15P	115	4	1/4						
22	HAND SINK	Regency	#60DS175P 17" x 15" Wall Mounted Hand Sink	1	WALL						○	○			DIRECT
23	PREP SINK	GSW	SE 181815	1	22" LEGS										
24	WIRE SHELVING	OLYMPIK	J184BC	8	6" LEGS										
25	LOCKER	GSW	EL-S0R	1	6" LEGS										
26	MOP SINK	Regency	#60DSM2424B - BOWL 24x24	1	FLOOR						○	○			DIRECT
27	MOP RACK	ULINE		1	WALL										
28															
29	ELECTRIC TANK WATER HEATER	AD SMITH	DRE-62-12	1	SHELF		208								
30															
31	AIR CURTAIN	AWOCO	FM - 15096A1	1	WALL	NEMA-5-15R	115	3.5							
32	TRASH BIN	BY OWNER		1	CASTER										
33	RETAIL SHELVING	BY OWNER		3	6" LEGS										
34	OPEN AIR CURTAIN FRIDGE	TURBO AIR	TOM-6SLW-N	1	CASTER	NEMA-5-15R	115	7	3/4						
35	SPLASH GUARD			2	ON COUNTER										
36	Chemical Storage Shelf			1	WALL										



NEW EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



Nook Coffee Bar

Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625



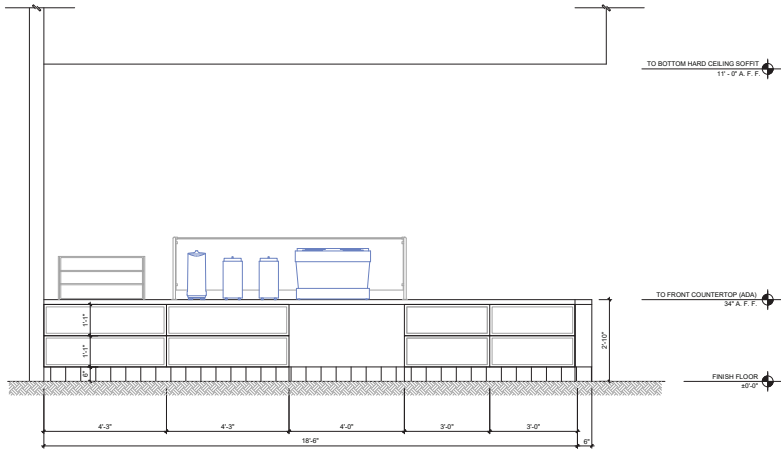
DRAWN BY: JAY HAN

SCALE:

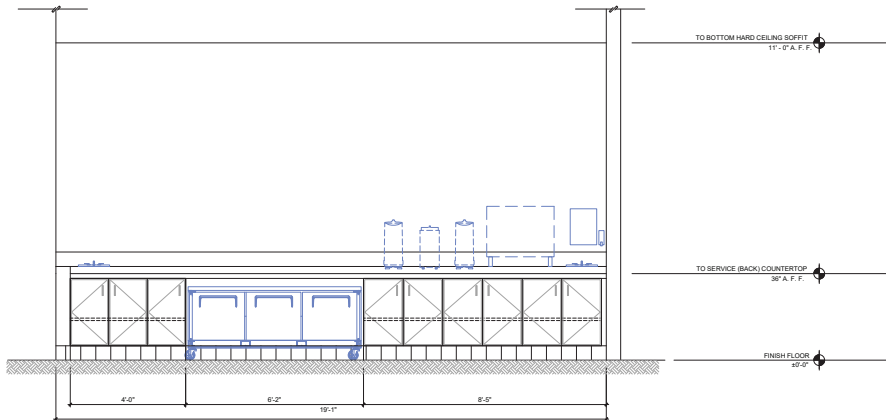
NEW EQUIPMENT PLAN
NEW EQUIPMENT SCHEDULE

A-005

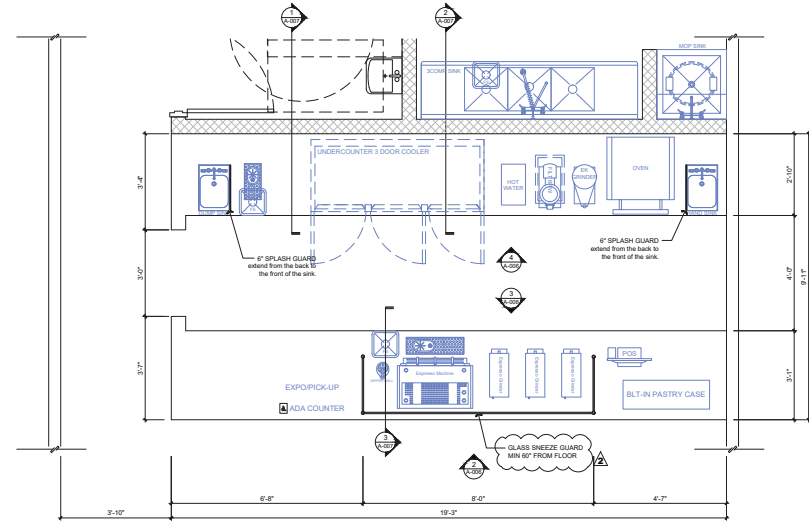
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE DETAILS.
3. CONTRACTOR SHALL VERIFY EXISTING GRID LINES & COLUMN ACCURACY PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING SLAB ELEVATION AND VERIFY WITH DETAIL.
5. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CODE REQUIRED HEAD ROOM CLEARANCE FOR OVERHEAD PROJECTIONS FROM WALL SURFACES AND HANGING OBJECTS.
6. CONTRACTOR SHALL COORDINATE ALL S.M.E.P. & REFRIGERATION DWG.
7. SEE EQUIPMENT SCHEDULE PLAN SHEET FOR EQUIPMENT LAYOUT AND SCHEDULE.



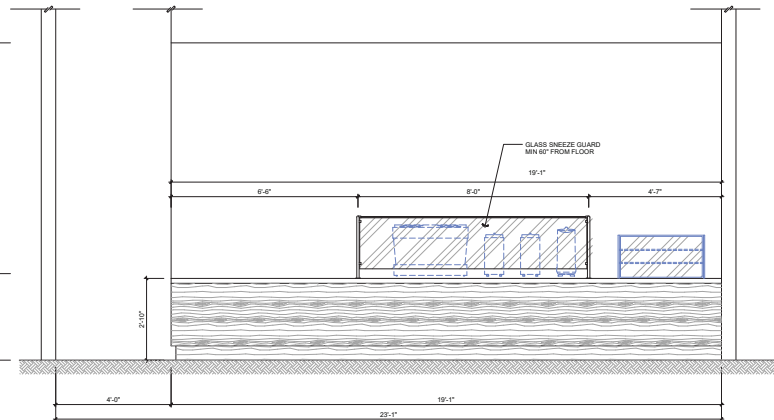
3 **ELEVATION "C"**
SCALE: 1/2" = 1'-0"



4 **ELEVATION "B"**
SCALE: 1/2" = 1'-0"



1 **SERVICE COUNTER ENLARGED PLAN- ACCESSIBLE**
SCALE: 1/2" = 1'-0"



2 **ELEVATION "A"**
SCALE: 1/2" = 1'-0"

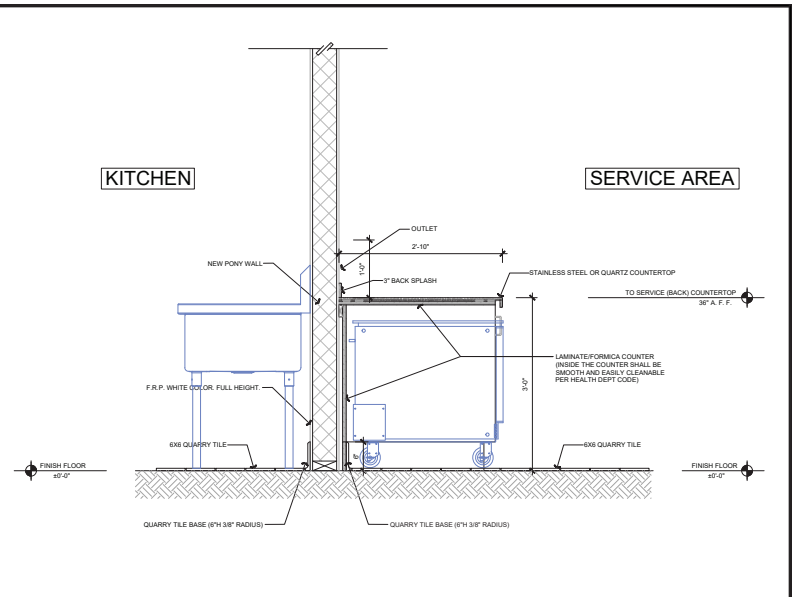
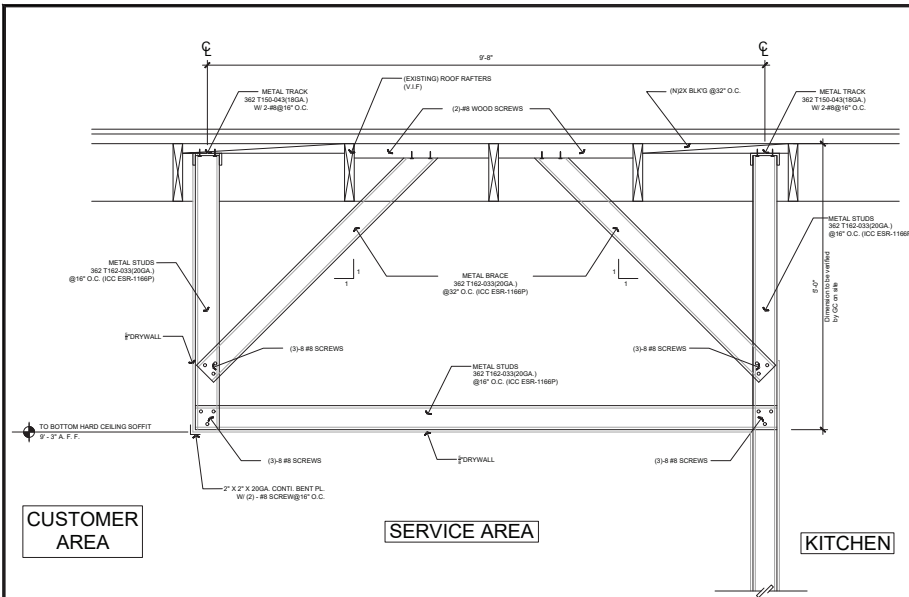
Nook Coffee Bar

Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625

HEALTH REVISION

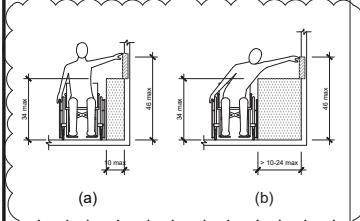
DRAWN BY: JAY HAN
SCALE: _____

ELEVATION
A-006



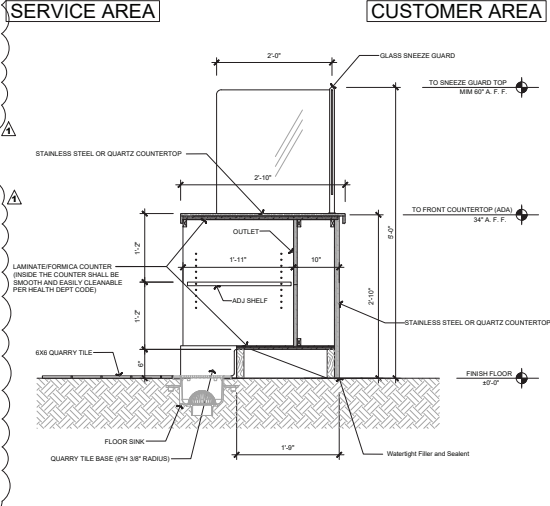
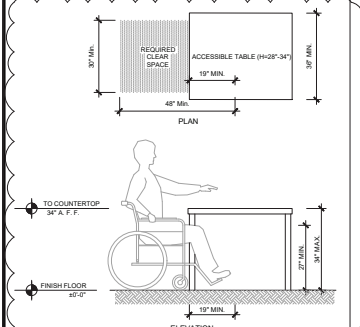
SERVICE COUNTER HARD CEILING SOFFIT SECTION DETAIL SCALE 1" = 1'-0" 4

SERVICE COUNTER SECTION DETAIL - 2 SCALE 1" = 1'-0" 2



GLASS SNEEZE GUARD
 Extend side sneeze guard to the front edge of espresso machine to shield coffee preparation area/counter top. Sneeze guards must shield any straight line between an average customer's reach, assumed to be between 5'4" and 6'7" above the floor, and food/drink handling areas behind the counter.

OBSTRUCTED HIGH SIDE REACH SCALE N.T.S. 6

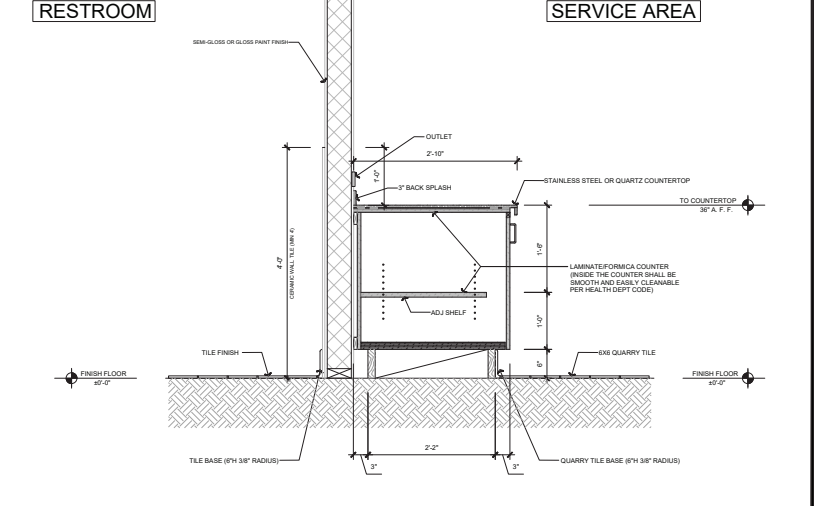


HANDICAP SEATING SCALE N.T.S. 5

SERVICE COUNTER SECTION DETAIL - 3 SCALE 1" = 1'-0" 3

RESTROOM and SERVICE AREA section detail showing countertop, pony wall, and floor tiles."/>

RESTROOM and SERVICE AREA section detail. Components include: SEMI-GLOSS OR GLOSS PAINT FINISH; QUARRY TILE (SEE NOTE); 4'-0" counter top height; FINISH FLOOR @2'-0"; and QUARRY TILE BASE (6" X 3/8" RADIUS).



SERVICE COUNTER SECTION DETAIL - 1 SCALE 1" = 1'-0" 1



Nook Coffee Bar

Job site:
 3027 East Coast Hwy, Corona Del Mar
 CA, 92625

- Building 11182025
- HEALTH REVISION

DRAWN BY: JAY HAN
 SCALE: 1" = 1'-0"

SECTION A-007

FINISH SCHEDULE

GENERAL NOTES	ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS		CEILING	REMARKS	
					SUBSTRATE	FINISH			
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR ERRORS BEFORE PROCEEDING WITH THE WORK. 2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE DETAILS. 3. CONTRACTOR SHALL VERIFY EXISTING GRID LINES & COLUMN ACCURACY PRIOR TO PROCEEDING WITH CONSTRUCTION. 4. CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING SLAB ELEVATION AND VERIFY WITH DETAIL. 5. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CODES REQUIRED: HEAD ROOM CLEARANCE FOR OVERHEAD PROJECTIONS FROM WALL SURFACES AND HANGING OBJECTS. 6. CONTRACTOR SHALL COORDINATE ALL S.M.E.P. & REFRIGERATION DWG. 7. SEE EQUIPMENT SCHEDULE PLAN SHEET FOR EQUIPMENT LAYOUT AND SCHEDULE.	101	(N) DINING AREA	F1	B6	W2	WC1	C6		
	102	(N) SERVICE AREA	F4	B3	W2	WC2	C1		
	103	(N) KITCHEN AREA	F4	B3	W1	WC6	C4		
	104	(N) RESTROOM	F1	B2	W2	WC8	C1		

ROOM FINISH SCHEDULE NOTES

FLOOR FINISH

- F1.** CONCRETE FLOOR: SMOOTH AND SEALED, PATCH & REPAIR AS REQUIRED
- F2.** NEW CONCRETE FLOOR: FINISH TO MATCH F1
- F3.** SMOOTH CERAMIC TILE W/ GROUT TO MATCH TILE, ANTI SLIP, DURABLE, NON ABSORBANT AND EASILY WASHABLE.
- F4.** SMOOTH QUARRY TILE
- F5.** VINYL COMPOSITE TILE (COLOR BY OWNER)
- F6.** CARPET (COLOR BY OWNER)
- F7.** WOOD FLOOR
- F8.** PORCELAIN TILE (COLOR BY OWNER)
- F9.** EPOXY - SMOOTH FINISH UNDER EQUIPMENT WITH SLIP RESISTANCE FINISH AT TRAFFIC AREAS - TROWELLED
- F10.** HAINAUT GRAY MATTE PORCELAIN TILE Size: 24 x 48 WITH 1/16" Gray Grout

HEALTH APPROVED CONCRETE SEALER

- CONCRETE SEALER
- A. ACRI-SHEEN
- B. AQUA-MIX SEALER'S CHOICE GOLD
- C. ROYAL SHEEN

BASE FINISH

- B1.** EPOXY BASE (6" H 3/8" RADIUS) - TROWELLED, CONTINUOUS FROM FLOOR
- B2.** DAL TILE COVE BASE TILE (#S3619TN) HEALTH DEPARTMENT APPROVED TOPSET COVE BASE.
- B3.** QUARRY TILE BASE (6" H 3/8" RADIUS)
- B4.** STAINLESS STEEL BASE (6" H 3/8" RADIUS)
- B5.** 4" VINYL TOPSET BASE.
- B6.** COMMERCIAL GRADE VINYL LIP TO 6" H WITH 3/8" RADIUS.
- B7.** PORCELAIN TILE - 6" HEIGHT CUT. Wall Base :
- B8.** CERAMIC TILE (6" H 3/8" RADIUS)

HEALTH APPROVED COVE BASE

- APPROVED TOPSET CERAMIC COVED BASE
- DAL TILE, #S3619TN**

WALL SUBSTRATE

- W1.** 5/8" WATER RESISTANT GYP. BD. (W.R.G.B.)
- W2.** 5/8" GYP. BD.
- W3.** CONC. WALL
- W4.** SHEET METAL INSULATED, COOLER PANEL.
- W5.** MASONRY WALL
- W7.** GLASS STOREFRONT

WALL FINISH

- WC1.** FLAT PAINT FINISH (COLOR BY OWNER)
- WC2.** SEMI-GLOSS ENAMEL PAINT W/ SMOOTH FINISH, LIGHT-COLORED (70% LIGHT REFLECTANCE VALUE, COLOR BY OWNER)
- WC3.** HIGH GLOSS ENAMEL PAINT FINISH (COLOR BY OWNER)
- WC4.** Festival Metro White Glossy II Ceramic Tile
- WC5.** STAINLESS STEEL PANEL, FULL HEIGHT.
- WC6.** F.R.P. WHITE COLOR, FULL HEIGHT.
- WC7.** WALL PAPER
- WC8.** CERAMIC WALL TILE (MIN 4") AND SEMI-GLOSS OR GLOSS PAINT FINISH
- WC9.** Wall PAPER BY OWNER

CEILING FINISH

- C1.** 5/8" GYP. BD. W/ SMOOTH SEMI-GLOSS OR GLOSS PAINT FINISH (COLOR BY OWNER)
- C2.** 5/8" WATER RESISTANT GYP. BD. W/ SMOOTH PAINT FINISH (70% LIGHT REFLECTANCE VALUE, COLOR BY OWNER) PAINTED WITH SEMI-GLOSS PAINT
- C3.** SHEET METAL INSULATED COOLER PANEL
- C4.** 2x4 WASHABLE, SMOOTH, DURABLE, NON-ABSORBENT, SEMI-HIGH GLOSS CEILING PANEL
 - MANUFACTURE : ARMSTRONG
 - MODEL # : Clean Room-VL
- C5.** 5/8" GYP. BD. W/ SMOOTH FLAT BLACK PAINT FINISH
- C6.** OPEN CEILING - FLAT PAINT (COLOR BY OWNER)

DOOR SCHEDULE

DOOR NO.	NAME	ROOM NAME		DETAILS	DOOR NOTES
		DOOR SIZE	MATERIAL		
ED1	(E) ENTRANCE	3'-0" X 7'-0"	ALUMINUM W/ TEMPERED CLEAR GLASS	EXISTING DOOR AND HARDWARE, SELF CLOSER	(1) Handles, pulls, latches, locks, and other operable parts on doors and gates that are in a path of travel shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist. (11B-404.2.7). (2) Operable parts of door hardware shall be 34" minimum and 44" maximum above the finish floor or ground (11B-404.2.7). (3) Door openings shall provide a clear width of 32" minimum. Swinging doors clear opening shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24" deep shall be 36" minimum. (11B-404.2.3). (4) Swinging door and gate surfaces within 10" of the finish floor shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16" of the same plane as the other. (11B-404.2.10). (5) Maximum force for pushing or pulling open, exterior or interior hinged doors with closers and sliding or folding doors, shall not exceed five pounds. Minimum allowable opening force, for fire doors, not to exceed 15 pounds. (11B-404.2.9) (6) Label placed directly above egress doors. THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
ED2	(E) KITCHEN	3'-0" X 7'-0"	HOLLOW METAL	EXISTING DOOR AND PANIC HARDWARE, SELF CLOSER	
ED3	(N) RESTROOM	3'-0" X 7'-0"	WOOD	SELF-LATCHING & SELF-CLOSING, LEVER TYPE HARD WARE	

LIGHTING SCHEDULE

KEY	SYMBOL	DESCRIPTION / APPLICATION	SIZE OF FIXTURE	QUANTITY	TYPICAL LOCATION	MOUNTING	FINISH	MANUFACTURE	MODEL/CATALOG NUMBER	WATT.	VOLT.	TYPE OF LAMP	NO. OF LAMP	LENS TYPE	REMARK
1		NEW 2X4 FLUORESCENT LIGHT	24" X 48" X 5"	10	(N) KITCHEN AREA	RECESSED	STD	Lithonia Lighting	2GTL4 40L EZ1 LP840	30	105	LED	ARRAY	ACRYLIC	
2		EXISTING EXIT SIGN	12" X 5" X 5"	2	REQUIRED EXIT PATH AND DOORWAY (TENANT SPACE)	CLG. SURFACE	WHITE	EXISTING	EXISTING			EXISTING	EXISTING	EXISTING	
3		6" RECESSED DOWN LIGHT	6"	13	(N) SERVING AREA	RECESSED	ALUMN.	Lithonia Lighting	LITHONIA LDN6 OR EQUAL	12	105	LED	1		DIMMABLE
4		TRACK LIGHTS	6"	23	(N) DINING AREA	Hanger Rod	ALUMN.	Juno	JUNO TL6020 OR EQUAL	15	105	LED	VARIES		DIMMABLE

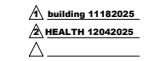


CONSULTANTS CIVIL ENGINEER



Nook Coffee Bar

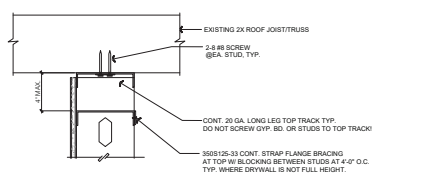
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CA, 92625



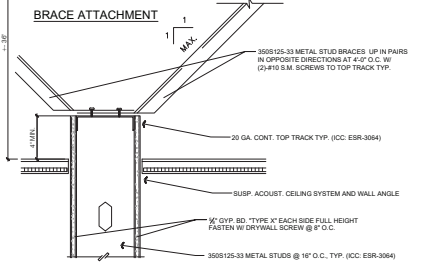
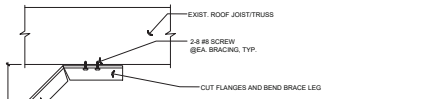
DRAWN BY: JAY HAN
SCALE:

**FINISH SCHEDULE
DOOR & LIGHTING
SCHEDULE**

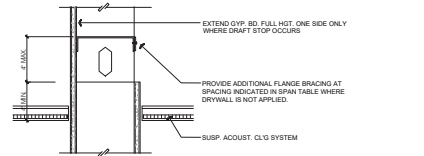
A-008



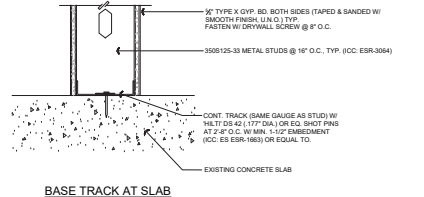
TOP TRACK AT WD. STRUCTURE
 *USE THIS METHOD IF EXISTING SUSPENDED CEILING IS REINFORCED FOR LATERAL LOAD OF THIS PARTITION.



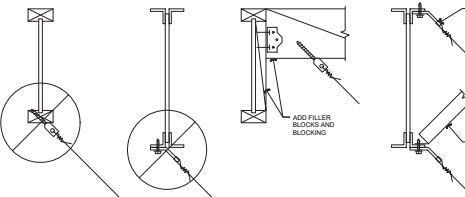
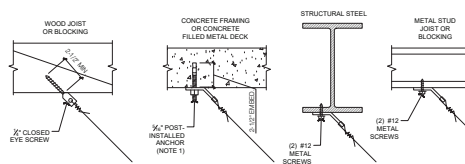
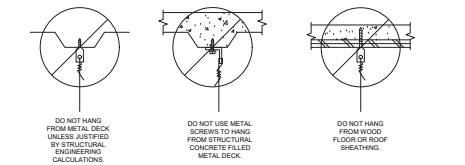
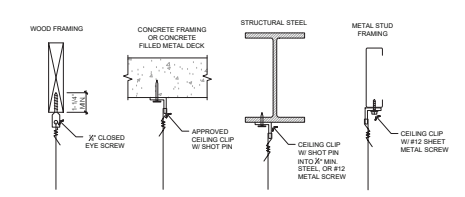
CHANNEL BRACED TOP TRACK
 *USE THIS METHOD IF EXISTING SUSPENDED CEILING IS REINFORCED FOR LATERAL LOAD OF THIS PARTITION.



SUSP. CL'G AT PARTITION



INTERIOR WALL (METAL STUD) DETAIL



BRACING WIRE CONNECTIONS

1. POST-INSTALLED ANCHORS (WEDGE BOLTS, SCREW ANCHORS, ETC.) SHALL BE ICC APPROVED FOR SEISMIC DESIGN CATEGORY 'E'. SPECIAL INSPECTION IS REQUIRED. SHOT PINS INTO CONCRETE SHALL NOT BE USED TO SUPPORT BRACING WIRES.

2. THESE DETAILS ARE PROVIDED AS EXAMPLES ONLY AND DO NOT ADDRESS ALL POSSIBLE FRAMING CONDITIONS. THE DESIGNER SHALL FIELD VERIFY THE EXISTING CONDITIONS AND PROVIDE ACCURATE DETAILS FOR ALL UNIQUE CASES.

STANDARD SUSPENDED "T" BAR CEILING DETAIL

Standard Metal Stud & Ceiling Joist Table							
Interior Non-Load Bearing Partitions (both flanges supported)							
Stud Spacing (ft.)	Gauge	Stud Spacing (ft.)		Stud Spacing (ft.)			
		12	16	24	12	16	24
3-5/8	25	15-10	13-8	11-2			
	20	20-11	19-0	16-7			
6	20	31-8	28-10	23-10			

No partitions or holes drilled within 12" of stud ends.
 Track gauge same as stud with 1/8" track leg height.

Ceiling Joist - Top Flange Braced 4" O.C.							
Stud Spacing (ft.)	Gauge	Stud Spacing (ft.)		Stud Spacing (ft.)			
		12	16	24	12	16	24
3-5/8	20	10-8	9-8	8-0			
	6	20	15-10	13-10	10-0		

*If studs height exceeds table web stiffeners are required.
 A web stiffener is a 4" length of stud spaced to the stud web at both ends of the stud, with four (4) #6 pan-head screws.

COMPRESSION STRUT SCHEDULE

HEIGHT*	EMT OPTION	METAL STUD OPTION
UP TO 6'-0"	2" EMT	260725-33 (20 GA.)
UP TO 6'-0"	1" EMT	260725-33 (20 GA.)
UP TO 7'-0"	1 1/4" EMT	400517-33 (20 GA.)
UP TO 10'-0"		400520-33 (20 GA.)

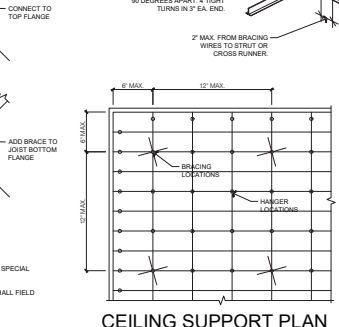
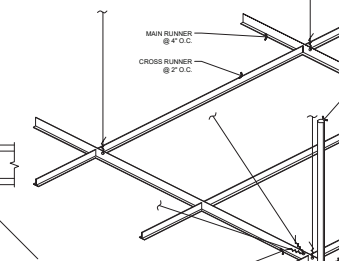
*DISTANCE BETWEEN CEILING AND STRUCTURE ABOVE.

SUSPENDED CEILING NOTES:

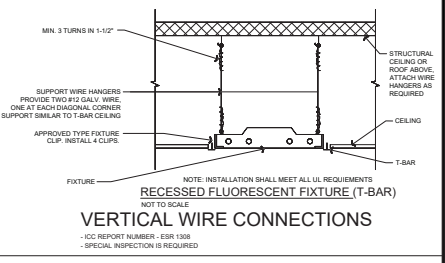
1. A HEAVY DUTY T-BAR GRID SYSTEM SHALL BE USED.

2. CEILING GRIDS AND FIXTURES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS WHERE INSTRUCTIONS CONFLICT WITH THE BUILDING CODE, THE MORE RESTRICTIVE SHALL APPLY.

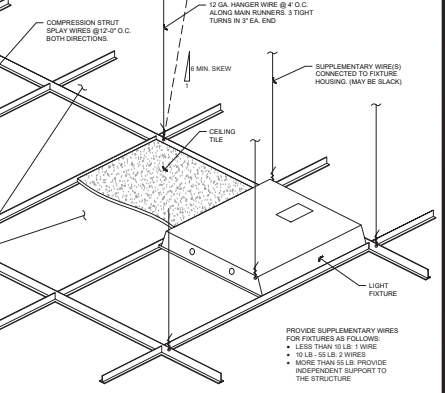
3. SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR AT LEAST 1" MOVEMENT IN ALL HORIZONTAL DIRECTIONS. ALTERNATELY, A SPRING JOINT IS PERMITTED AT THE TOP OF THE SPRINKLER HEAD EXTENSION.



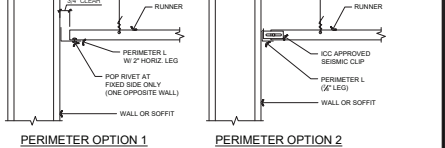
CEILING SUPPORT PLAN



VERTICAL WIRE CONNECTIONS



PERIMETER OPTION 1



PERIMETER OPTION 2



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Nook Coffee Bar

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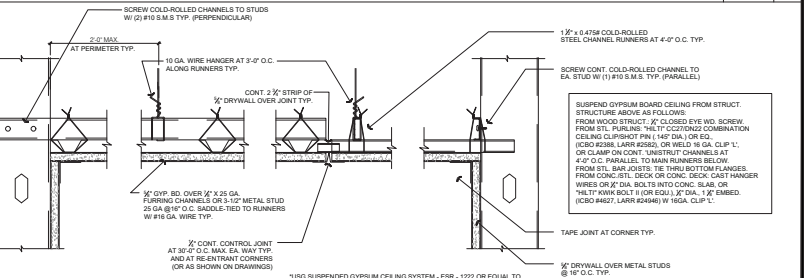


DRAWN BY: JAY HAHN
 SCALE:

SUSPENDED "T" BAR CEILING DETAIL

A-009

SUSPENDED DRYWALL CEILING SYSTEM DETAIL



SUSPENDED DRYWALL CEILING SYSTEM DETAIL

INTERIOR WALL (METAL STUD) DETAIL

SCALE N.T.S. 3

SCALE N.T.S. 2

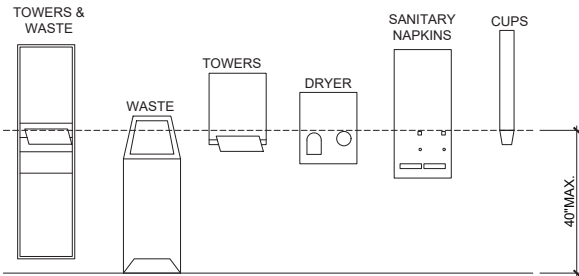
SCALE N.T.S. 1

GENERAL NOTES

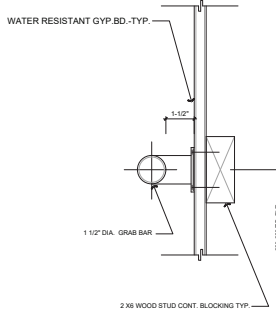
SIGNS RELATED TO TOILETS AND BATHING FACILITIES

- ENTRANCES LEADING TO TOILET ROOMS AND BATHING ROOMS COMPLYING WITH 11B-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL COMPLYING WITH 11B-703.47.7.2.6 TOILET AND BATHING ROOM GEOMETRIC SYMBOLS.
- WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 11B-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOM WITHIN THE FACILITY SHALL BE PROVIDED.
- SIGNS SHALL COMPLY WITH 11B-703.5 VISUAL CHARACTERS AND SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1 ISA.
- WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 11B-603 TOILET AND BATHING ROOMS, THE TOILET ROOMS OR BATHING ROOMS COMPLYING WITH 11B-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1 ISA.
- WHERE CLUSTERED SINGLE USER TOILET ROOMS OR BATHING FACILITIES ARE PERMITTED TO USE EXCEPTIONS TO 11B-213.2 TOILET AND BATHING ROOMS, TOILET ROOMS OR BATHING FACILITIES COMPLYING WITH 11B-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1 ISA UNLESS ALL TOILET ROOMS AND BATHING FACILITIES COMPLY WITH 11B-603 TOILET AND BATHING ROOMS.
- EXISTING BUILDINGS THAT HAVE BEEN REMODELED TO PROVIDE SPECIFIC TOILET ROOMS OR BATHING ROOMS FOR PUBLIC USE THAT COMPLY WITH THESE BUILDING STANDARDS SHALL HAVE THE LOCATION OF AND THE DIRECTIONS TO THESE ROOMS POSTED IN OR NEAR THE BUILDING LOBBY OR ENTRANCE ON A SIGN COMPLYING WITH 11B-703.5 VISUAL CHARACTERS, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1 ISA. (CBC SECTION 11B-216.6)

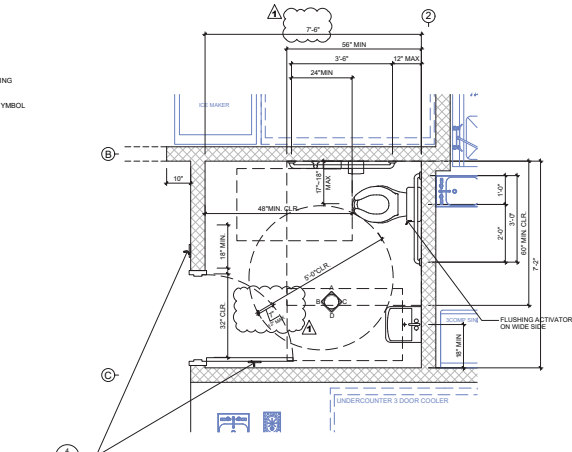
- NOTES:
- PROVIDE APPROVED EXITING ILLUMINATION AND ILLUMINATED EXIT SIGNS WHICH ARE POWERED FROM SEPARATE SOURCES. TITLE 24, 1003.2.9.2.
 - FIRE EXTINGUISHER REQUIREMENTS SHALL BE DETERMINED BY FIELD INSPECTOR FIRE CODE 1002.
 - ALL NEW, USED OR RELOCATED EQUIPMENT SHALL MEET NSF STANDARDS.
 - TOILET FIXTURES AND ACCESSORIES AT STANDARD ADULT MOUNTING HEIGHTS.
 - TOILET PAPER MUST NOT PROTRUDE MORE THAN 3".
 - RESTROOMS AND LOCKER ROOMS TO BE VENTED BY MEANS OF LIGHT SWITCH ACTIVATED EXHAUST FAN OR AIR SHAFTS.
 - ALL FIXTURES SHALL BE PROVIDED BY G.C.
 - PROVIDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON BOTH RESTROOM DOORS.
 - BACKING SHALL BE PROVIDED, AS NECESSARY, BY G.C.
 - VENTILATION IN THE RESTROOM IS LIGHT SWITCH ACTIVATED.



TOILET ROOM ACCESSORIES
SCALE: N.T.S.

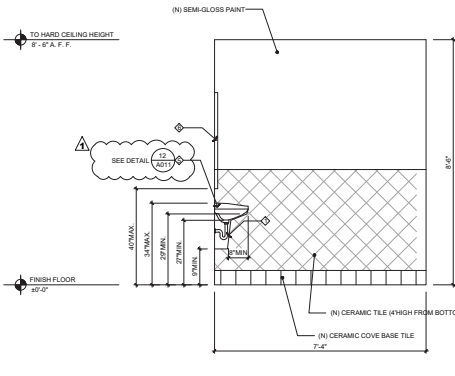


TYP. GRAB BAR DETAIL
SCALE: N.T.S.

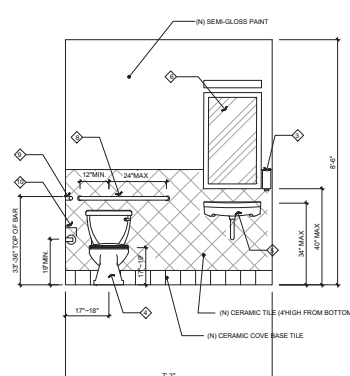


(N) UNISEX RESTROOM ENLARGED PLAN-ACCESSIBLE
SCALE: 1/2" = 1'-0"

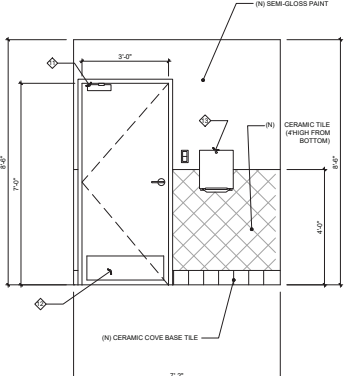
- RESTROOM FIXTURE & ACCESSORY LEGEND
- PIPE INSULATION TYP.
 - SURFACE MOUNTED PAPER TOWEL DISPENSER
 - SURFACE MOUNTED SOAP DISPENSER
 - TANK TYPE FLOOR MOUNTED TOILET
 - WALL MOUNTED LAVATORY SINK
 - 24 X 40 MIRROR (47" HIGH FROM BOTTOM)
 - SEAT COVER DISPENSER
 - 36" GRAB BAR / 1-1/2" ROUND - SEE TYP. GRAB BAR DETAIL
 - 48" GRAB BAR / 1-1/2" ROUND - SEE TYP. GRAB BAR DETAIL
 - TOILET PAPER DISPENSER
 - DOOR CLOSER
 - HICK PLATE
 - PAPER TOWEL DISPENSER



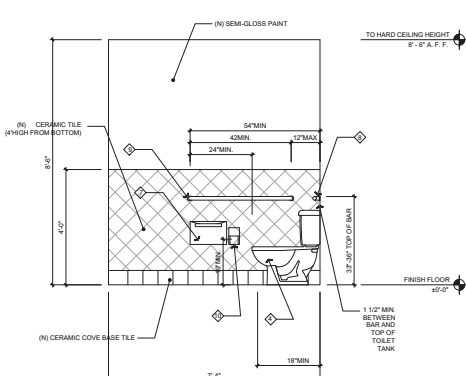
ELEVATION "D"
SCALE: 1/2" = 1'-0"



ELEVATION "C"
SCALE: 1/2" = 1'-0"



ELEVATION "B"
SCALE: 1/2" = 1'-0"



ELEVATION "A"
SCALE: 1/2" = 1'-0"



Nook Coffee Bar

Job site:
3027 East Coast Hwy, Corona Del Mar
CA, 92625

- building 11182025
- _____
- _____

DRAWN BY: JAY HAN
SCALE: _____

(E) UNISEX RESTROOM DETAIL

A-010

MECHANICAL ABBREV.	
ABBREV.	DESCRIPTION
AMB	AMBIENT
BHP	BRAKE HORSE POWER
BTUH	BRITISH THERMAL UNIT PER HOUR
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
COP	COEFFICIENT OF PERFORMANCE
DB	DRY-BULB
DA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EXHAUST AIR
EER	ENERGY EFFICIENT RATIO
EF	EXHAUST FAN
EG	EXHAUST GRILLE/REGISTER
ENT	ENTERING
ESP	EXTERNAL STATIC PRESSURE
F	DEGREE FAHRENHEIT
FLA	FULL LOAD AMP
HP	HORSEPOWER
HZ	HERTZ
IN. W.C.	INCH WATER COLUMN
LBS	POUNDS
LVG.	LEAVING
MAX.	MAXIMUM
MCA	MINIMUM CIRCUIT AMP
MCC	MINIUM CONTROL CENTER
MIN.	MINIMUM
MOCP	MAX. OVER CURRENT PROTECTION
OA	OUTSIDE AIR
RA	RETURN AIR
RG	RETURN GRILLE/REGISTER
RLA	RUNNING LOAD AMP
RPM	REVOLUTION PER MINUTE
SA	SUPPLY AIR
SG	SUPPLY GRILLE
S.P.	STATIC PRESSURE
T/B	TO BELOW
TEF	TOILET EXHAUST FAN
TO	TRANSFER GRILLE
TSP	TOTAL STATIC PRESSURE
TYP	TYPICAL
UTR	UP THROUGH ROOF
WB	WET-BULB
WMS	WIRE MESH SCREEN
W/	WITH

MECHANICAL DUCT SYMBOLS		
SYMBOL	ABBREV.	DESCRIPTION
DOUBLE SINGLE	SA	COLD SUPPLY AIR DUCT
	EA	EXHAUST AIR DUCT
	OSA	OUTSIDE AIR DUCT
	RA	RETURN AIR DUCT
		ROUND DUCT 22 INCHES IN DIAMETER CLEAR INTERNAL DIMENSION
		RECTANGULAR DUCT 24 INCHES WIDE 10 INCHES DEEP. CLEAR INTERNAL DIMENSION
		DUCT WITH INTERNAL LINING
		TRANSITION - RECTANGULAR TO RECTANGULAR OR ROUND TO ROUND
		TRANSITION - RECTANGULAR TO ROUND
		ELBOW WITH TURNING VANE
		RADIUS ELBOW WITH TURNING VANES
		THROAT SIZE IN INCHES
		DUCT SILENCER
		RECTANGULAR DUCT BRANCH
		RISE IN DIRECTION OF AIRFLOW
		DROP IN DIRECTION OF AIRFLOW
	SD	COMBINATION SMOKE & FIRE DAMPER WITH ACCESS DOOR
	FD	FIRE DAMPER
	MD	MOTORIZED DAMPER
	MD	MANUAL VOLUME DAMPER
	BD	BACKDRAFT DAMPER
		FLEXIBLE DUCT CONNECTOR
		CAPED DUCTWORK
		CONICAL TAP #1/MANUAL VOLUME DAMPER
		CONICAL TAP
		FLEXIBLE DUCT
		4-WAY CEILING SUPPLY AIR DIFFUSER
		3-WAY CEILING SUPPLY AIR DIFFUSER
		CEILING RETURN AIR REGISTER/GRILLE
		CEILING EXHAUST AIR REGISTER/GRILLE
		SIDE WALL SUPPLY AIR REGISTER
		SIDE WALL RETURN AIR REGISTER
		SIDE WALL EXHAUST AIR REGISTER
		SUPPLY AIR DUCT - SECTION
		RETURN AIR DUCT - SECTION
		EXHAUST AIR DUCT - SECTION
		OUTSIDE AIR DUCT - SECTION
		ROUND DUCT OR RISER - SECTION
		SPACE TEMPERATURE SENSOR
		UNDERCUT DOOR (UNDER ARCH SECTION)
		DOOR LOUVER (UNDER ARCH SECTION)
		AIR FLOW DIRECTION
		NAME OF EQUIPMENT
		NUMBER OF EQUIPMENT

NOTE:
 1. HEATING, VENTILATING, AND AIR-CONDITIONING SYSTEMS SHALL BE BALANCED BY A LICENSED T&B CONTRACTOR IN ACCORDANCE WITH ONE OF THE FOLLOWING METHODS (CMC 314.1):
 • AABC NATIONAL STANDARDS FOR TOTAL SYSTEM BALANCE
 • ACCA MANUAL B
 • ASHRAE 11.1
 • NEBB PROCEDURAL STANDARDS FOR TESTING ADJUSTING BALANCING OF ENVIRONMENTAL SYSTEMS
 • SMACNA HVAC SYSTEMS TESTING, ADJUSTING AND BALANCING
 2. AN AIR BALANCE TEST WILL BE REQUIRED TO VERIFY THE MINIMUM VOLUME OF OUTSIDE AIR TO COMPLY WITH THE T-24 CALCULATIONS, BEFORE THE FINAL APPROVAL OF THIS PROJECT.

GENERAL NOTES:

- FOLLOW AS CLOSE AS POSSIBLE THE LAYOUT INDICATED ON THE DRAWINGS. HOWEVER, IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN ITEMS INDICATED ON DRAWING OR WITH CODE REQUIREMENTS, THE NOTE OR CODE WHICH PRESCRIBES AND ESTABLISHES THE MORE COMPLETE JOB OR THE HIGHEST STANDARD SHALL PREVAIL. IF IT IS NOT FEASIBLE DUE TO THE JOB CONDITION, CONTRACTOR SHALL OBTAIN THE OWNER REPRESENTATIVE'S APPROVAL FOR A REVISED LAYOUT BEFORE ITS INSTALLATION.
- CUTTING, BORING, SAW CUTTING OR DRILLING THROUGH THE STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED ON THE DRAWINGS OR APPROVED BY THE ARCHITECT/STRUCTURAL ENGINEER AND ISM FIELD ENGINEER PRIOR TO THE INSTALLATION. THE CONTRACTOR SHALL COORDINATE ALL OF THE REQUIRED CUTTING, PATCHING, FRAMING, CORING AND TURNING FOR CEILING DIFFUSERS, REGISTERS AND EQUIPMENT WITH OTHER TRADES.
- WHERE SPECIFIC INSTALLATION AND OPERATING INSTRUCTIONS FOR EQUIPMENT SPECIFIED ARE NOT PROVIDED ON DRAWINGS OR SPECIFICATIONS, INSTALLATION SHALL BE PROVIDED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR RECOMMENDATIONS.
- THE CONTRACTOR SHALL PROVIDE MANUAL AIR VOLUME DAMPERS AT EACH SUPPLY AND RETURN AIR BRANCH DUCT TO BALANCE THE SYSTEM AS REQUIRED.
- ALL CEILING DIFFUSER SIZES SHOWN ARE NECK SIZE. DIFFUSERS, REGISTERS AND GRILLES IN CEILING SHALL BE LOCATED AS INDICATED ON THE ARCHITECTURAL REFLECTED CEILING PLANS.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR THE UL LABEL AND SHALL BE INSTALLED IN THE MANNER FOR WHICH THEY ARE DESIGNED AND APPROVED. HAVE MAINTENANCE LABELS ATTACHED AND MAINTENANCE MANUALS FURNISHED TO THE OWNER'S REPRESENTATIVE.
- ALL EQUIPMENT SHALL MEET THE LISTING REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION STANDARDS.
- ALL WORK SHALL COMPLY WITH CURRENT STATE OF CALIFORNIA MECHANICAL CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES HAVING JURISDICTION. COMPLY WITH CALIFORNIA STATE SAFETY REGULATIONS INCLUDING EARTHQUAKE PROVISIONS. ALL RECTANGULAR DUCTWORK ELBOWS SHALL HAVE TURNING VANES OF DOUBLE THICKNESS AND ALL BRANCH TAKEOFFS.
- EXTRACTORS WITH VANES OF DOUBLE THICKNESS.
- THE CONTRACTOR SHALL STUDY ALL THE DRAWINGS AS SOON AS HE RECEIVED IT AND SHALL PROMPTLY NOTIFY THE OWNER OF ANY DISCREPANCIES OR AMBIGUITIES. ALL INDICATED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES, AND REQUIRED CLEARANCES, AND SHALL ASSUME FULL RESPONSIBILITY FOR COMPLETE COORDINATION REQUIRED WITH OTHER PARTS OF THE WORK AND WITH THE WORK OF OTHER TRADES.
- DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF CALIFORNIA MECHANICAL CODE.
- SECURE ALL CONTRACT DOCUMENTS, INCLUDING INSPECTIONS, PERMITS AND PLAN CHECK, AS REQUIRED.
- FACTORY-MADE FLEXIBLE AIR DUCTS AND CONNECTORS SHALL BE NOT MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS AND FITTINGS. CMC 603.4.1

2022 CALIFORNIA BUILDING CODE (CBC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 2022 CALIFORNIA FIRE CODE (CFC)
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ITEM	DESCRIPTION
PHP 1	EXISTING PACKAGED HEATPUMP CARRIER, 50EZ-036-3, (3TONS) COOLING (BTUH): 35,400 BTUH, 13.5 SEER, 11.5EER HEATING (BTUH): 35,400 BTUH, 7.8HSFPF AIR FLOW (CFM): 1200CFM ELECTRIC: 208/230-1-60, 23.6AMP WEIGHT: 333LB REFRIGERANT: R410A
EP R	CEILING EXHAUST FAN ACCUREX, XCR-B70 UNIT SHALL EXHAUST 68 CFM @ 0.125" ESP. PROVIDE UNIT WITH BACKDRAFT DAMPER & ROOF JACK HVI SONES : 1.4 ELECTRICAL: 120V-1ø, 45 WATTS UNIT SHALL BE CONTROLLED BY LIGHT SWITCH UNIT APPROX. WEIGHT = 9 LBS.

NEW EQUIPMENT SCHEDULE

EQUIPMENT		PLUMBING				DIMENSIONS		REMARKS			
NO.	NAME	MFR.	MODEL NO.	QTY.	BASE	HW	CW	WASTE	GAS	BTU/HR	
1	BLT-IN PASTRY CASE	BY OWNER	CUSTOM - GLASS CASE	1	ON COUNTER						
2	POS	Square	Square Register	1	ON COUNTER						
3	Espresso Grinder	SIMONELLI USA	Mythos 2 Grinder	3	ON COUNTER						
4											
5	RINSER	OLYMPIA WALUSA	EPFR715	1	ON COUNTER			Ø	FS		
6	Espresso Machine	La Marzocco	La Marzocco Linea PB 3 Group	1	ON COUNTER			Ø	FS		(WDH) - 38, 23.21
7	DROP IN DUMP SINK	REGENCY	#6021101410K	1	ON COUNTER		Ø	Ø	FS		(WDH) - 17" x 14" x 10"
8	RINSER	OLYMPIA WALUSA	EPFR728	1	ON COUNTER			Ø	FS		
9	DIPPER WELLS	T&S BRASS AND BRONZE	S-202-01-F05	1	ON COUNTER			Ø	FS		
10	FLOOR SINK	BY PLUMBER		5	FLOOR						
11	FLOOR DRAIN	BY PLUMBER		1	FLOOR				DIRECT		
12	DROP IN Hand sink	KROWNE	HS 1220	1	ON COUNTER		Ø	Ø	DIRECT		
13	HOT WATER BOILER	CURTIS	WB8GT	1	ON COUNTER			Ø			(WDH) - 10, 17.25
14	Coffee Brewer	CURTIS	G4TP1983W100	1	ON COUNTER						
15	OVEN	TURBOCHEF	THE IS TM	1	ON COUNTER						MUST INSTALL 4" LEGS
16	UNDERCOUNTER 3 DOOR COOLER	TURBO AIR	MAUR-72N	2	CASTER						(WDH) - 73, 30.31
17											
18	Bulk Coffee Grinder	Marking	EM43	1	ON COUNTER						
19	3 COMP SINK	GSW	SE 1818D	1	22" LEGS		Ø	Ø	DIRECT		
20	ICE MAKER / BIN	HOSHIZAKI	KML-325/90M_J	1	8" LEGS			Ø	FS		Provide and include a minimum two (2) inch clearance between and walls and the 3-compartment cabinet sink, or an integral end return. The end return must extend up the wall at least eight (8) inches and be sealed to the wall.
21	REACH IN 2 DOOR REFRIGERATOR	AVANTCO	A-46R-4C	2	CASTER						54" x 32 1/4" x 62 1/2"
22	HAND SINK	regency	#600H713P	1	WALL		Ø	Ø	DIRECT		W/ HAND SOAP, TOWEL DISPENSER AND SPLASH GUARDS
23	PREP SINK	SE 1818R		1	22" LEGS		Ø	Ø	FS		Ø" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.
24	WIRE SHELVING	OLYMPIC	J184C	8	8" LEGS						4 TIERS WIRE SHELVING
25	LOCKER	GSW	EL-6DR	1	8" LEGS						Approved open base with a minimum 3/8" radius at the front exposed side of the prep sink.
26	MOP SINK	Regency	#600S24246 - BOWL 24X24	1	FLOOR		Ø	Ø	DIRECT		(WDH) - 20, 29
27	MOP RACK	ULLINE		1	WALL						Provide an approved backflow device to the incoming water pipe
28											
29	ELECTRIC TANK WATER HEATER	AD SMITH	DRE-62-12	1	SHELF			Ø	MOP SINK		12 MIN. 50 GALLONS, 3PHASE (ON TOP SHELF OF THE MOP SINK)
30											
31	AIR CURTAIN	AWOOD	FM - 15096A1	1	WALL						
32	TRASH BIN	BY OWNER		1	CASTER						
33	RETAIL SHELVING	BY OWNER		3	8" LEGS						
34	OPEN AIR CURTAIN FRIDGE	TURBO AIR	TOM-SOLVA	1	CASTER						(WDH) - 51 x 35 x 47
35	SPLASH GUARD			2	ON COUNTER						SELF CONTAINED ON CASTER
36	Chemical Storage Shelf			1	WALL						Ø" SPLASH GUARD extend from the back to the front of the sink

REVISIONS

JS ENGINEERING, INC.
 RESIDENTIAL, COMMERCIAL & INDUSTRIAL
 HVAC, PLUMBING, ELECTRICAL
 410 S. SAN GABRIEL BLVD., #8
 SAN GABRIEL, CA 91776

TENANT IMPROVEMENT - NOOK COFFEE BAR
 3025 EAST COAST HWY., CORONA DEL MAR, CA. 92625

Project:
 Address:

STAMP



Date: 12/17/2025
 Job#: 250842

M1.0

MANDATORY MEASURES: The following circled items represent the Mandatory Measures for all buildings and shall appear as notes on plans.

- A) Manufactured fenestration and exterior doors shall meet all listed requirements in Sec 10-111-(a) under Section 110.6(a), of Part 6. Temporary labels for manufactured fenestration shall have a clearly visible temporary label and shall comply with labeling requirements of NFRC 700. No other values for U-factor, SHGC, VT and Air Leakage are allowed on the temporary label attached to the manufactured fenestration product or exterior door SEC 10-111(a)1.
- B) Rated fenestration shall have a permanent label consistent with their rating and certification that is either a stand-alone label, an extension or tab of an existing permanent certification label being used by the manufacturer/responsible party, or a series of marks or etchings on the product SEC 10-111(a)2.
- C) Joints, penetrations and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather stripped, or otherwise sealed to limit infiltration and exfiltration. SEC 110.7
- D) All insulating material shall be installed in compliance with the flame-spread rating and smoke density requirements of the CBC. SEC 110.8(c)
- E) Solar Ready Building to meet requirements in sections, 110.10(b) through 110.10(d)
- F) Any roofing product used as a cool roof shall be certified and labeled in accordance with the requirements of Sec. 10-113 by the Cool Roof Rating Council (CRRRC) and meet conditions set in Sec. 110.8 (i)
- G) Non-centralized energy management systems shall have setback thermostats; capable to program temperature setpoints for at least four periods within a 24-hr. period. SEC 110.2 (c)
- H) Heat pumps with supplementary electric resistance heaters shall have controls:
 - 1) Preventing supplementary heater operation when heating load can be met by the heat pump alone; and
 - 2) Cut-on temperature for compression heating is higher than cut-on temperature for supplementary heating, cut-off temperature for compression heating is higher than the cut-off temperature for supplemental heating. SEC 110.2 (b)
- I) DDC systems to the Zone level shall be programmed to allow centralized demand shed for non-critical zones by having: (1) Controls capable to increase cooling temperatures by 4 degrees or more in non-critical zones; (2) Controls capable to decrease heating temperatures by 4 degrees or more in non-critical zones; (3) Controls that remotely reset temps in non-critical zones to original operating levels; (4) Controls shall be programmed to provide an adjustable rate of change for the temperature increase, decrease, and reset; and (5) Controls have the features to be disabled or adjusted by authorized facility operators. SEC 110.12 (b)
- J) All recirculated air or outdoor air supplied to occupiable spaces is filtered (minimum MERV 13) before passing through any air conditioning component; the lesser of the minimum rate of outdoor air required by Sec. 120.1 (c), or three complete air changes shall be supplied to the entire building during the one-hour period immediately before the building is normally occupied. SEC 120.1 (b)(c)
- K) All mechanical ventilation and space-conditioning systems shall be designed with ductwork, dampers, and controls which allows outside air rates to be operated at the larger of (1) the minimum levels specified in Section 120.1(c)3 or (2) the rate required for make up of exhaust systems that are required for an exempt or covered process, for control of odors, or for the removal of contaminants within the space. Measured outside air rates of constant and variable volume mechanical ventilation systems shall be within 10% of outside air rate shown on Table 120.1-A. SEC 120.1 (f)
- L) Hotel/Motel Guest Room Thermostats shall have numeric temperature set points in °F and °C, and set point stops accessible only to authorized personnel such that guest room occupants cannot adjust the setpoint more than +5°F (+3°C) SEC 120.2 (c)
- M) The thermostatic controls for HVAC systems shall be capable of being set locally or remotely by to control comfort heating down to 55 °F or lower and cooling up to 85°F or higher. The thermostatic controls shall be capable of providing a dead band range of at least 5 °F within which heating and cooling energy to the zone is shut off or reduce to a minimum. SEC. 120.2 (a) (b)
- N) Outdoor air supply and exhaust equipment shall be installed with dampers that automatically close upon fan shutdown. SEC. 120.2 (f)
- O) Space conditioning systems with DDC zone controls shall have optimum start/stop controls. Minimum controls should function the difference(s) between space temperature(s) and occupied set point(s), the outdoor air temperature(s), and the amount of time prior to scheduled occupancy. SEC. 120.2 (k)
- P) Air distribution system ducts and plenums, including, but not limited to, building cavities, mechanical closets, air-handler boxes and support platforms used as ducts or plenums, shall be installed, sealed and insulated to meet the requirements of Chapter 6 CMC Code and ANSI/SMACNA -006-2006 HVAC Duct Construction Standards Metal and Flexible. Supply-air ducts conveying heated or cooled air shall be insulated to a minimum installed level of R-4.2 (R-8 in unconditioned space), unless ducts are in conditioned space. SEC. 120.4 (a)
- Q) Maximum length of flexible duct and connectors shall not be more than 5 feet. Flexible ducts shall not be used in lieu of rigid elbows.
- R) Each space-conditioning system shall be installed with controls (1) Capable of automatically shutting off the system during periods of non-use and shall have (a) 4-hr timer or; (b) occupancy sensors or; (c) auto time switch controls and accessible manual override for up to 4-hrs. (2) Automatically restart and temporarily operate the system to maintain setback thermostat setpoints for mechanical heating and cooling. (3) Multipurpose, classrooms conference, convention, auditorium and meeting center rooms of certain size which do not have processes or operations that generate dusts, fumes, vapors or gasses shall be equipped with occupant sensor(s) to accomplish the following during unoccupied periods (a) Automatically setup the operating cooling temperature set point by 2°F or more and setback the operating heating temperature set point by 2°F or more and; (b) Automatically reset the minimum required ventilation rate with an occupant sensor ventilation control device according to Section 120.1(c)5. (4) Hotel and motel guest rooms shall have captive card key controls, occupancy sensing controls, or automatic controls such that, no longer than 30 minutes after the guest room has been vacated, setpoints are setup at least +5°F (+3°C) in cooling mode and set-down at least -5°F (-3°C) in heating mode. SEC. 120. (e) (1-4)
- S) Domestic Water heating system is installed, the compliance form 2019-NRCC-PLB-E is required to be completed and affixed to plans.
- T) The piping for all space conditioning and service water heating systems shall be insulated in accordance with TABLE 120.3 -A. SEC. 120.3 (a)
- U) Instantaneous water heaters with an input rating greater than 6.8 kBtu/hr (2 kW) shall have isolation valves on both the cold and hot water supply pipe leaving the water heater. Hose bibs or other fittings shall be installed on each valve for flushing the water heater when the valves are closed. Provide detail. SEC. 110.3 (C)(6)
- V) Lavatories in public restrooms shall have controls that limit the water supply temperature to 110° F.

REVISIONS

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 HVAC, PLUMBING, ELECTRICAL
 410 S. SAN GABRIEL BLVD., #8
 SAN GABRIEL, CA 91776
 Tel: (909) 398-9999
 Email: info@jseengineering.net

Project: **TENANT IMPROVEMENT - NOOK COFFEE BAR**

Address: **3025 EAST COAST HWY., CORONA DEL MAR, CA. 92625**

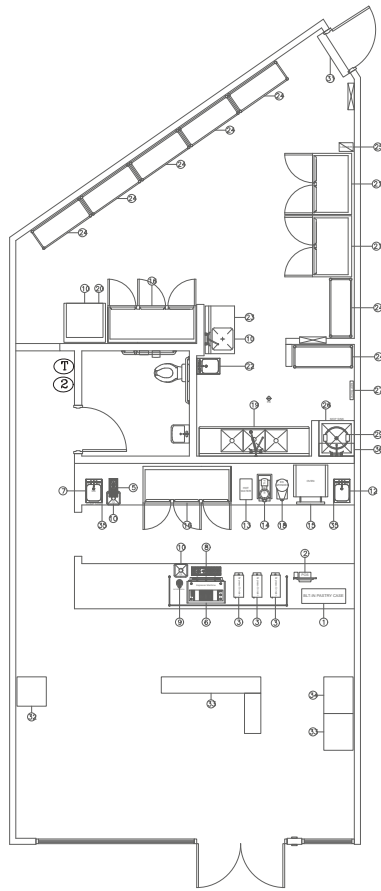
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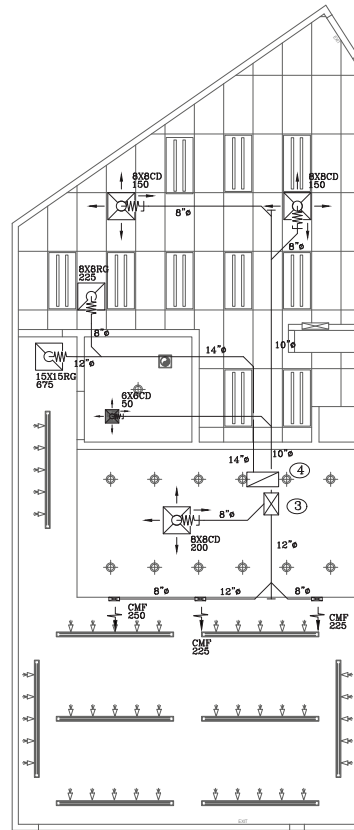
Date: 12/12/2025

JOB# 250842

M1.1



FLOOR PLAN
1/4"=1'-0"

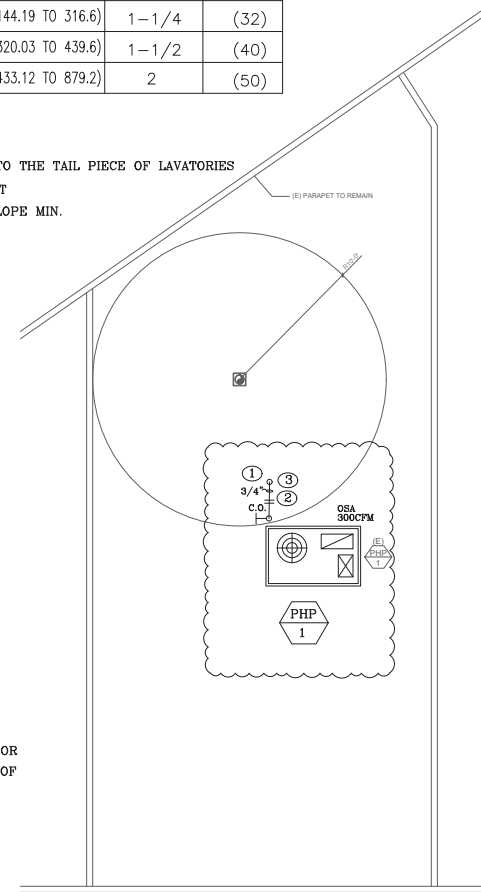


CEILING PLAN
1/4"=1'-0"

CONDENSATE WASTE SIZING			
EQUIPMENT CAPACITY IN PIPE DIAMETER		MINIMUM CONDENSATE	
TONS OF REFRIGERATION	kW	INCHES	MM
UP TO 20	(UP TO 70.34)	3/4	(20)
21 - 40	(73.85 TO 140.67)	1	(25)
41 - 90	(144.19 TO 316.6)	1-1/4	(32)
91 - 125	(320.03 TO 439.6)	1-1/2	(40)
126 - 250	(433.12 TO 879.2)	2	(50)

NOTE:

- ① DN & CONNECTED TO THE TAIL PIECE OF LAVATORIES
- ② ROOF PIPE SURPORT
- ③ 3/4" PIPE W/2% SLOPE MIN.



ROOF PLAN
1/4"=1'-0"

NOTE:

- ① 5"ø EAD UTR
- ② THERMOSTAT, 4' ABOVE FLOOR
- ③ EXISTING SAD DN FROM ROOF
- ④ EXISTING RAD UP TO ROOF

REVISIONS

JS ENGINEERING, INC.
RESIDENTIAL, COMMERCIAL & INDUSTRIAL
HVAC, PLUMBING, ELECTRICAL
410 S. SAN GABRIEL BLVD. #8
SAN GABRIEL, CA 91776

Project: TENANT IMPROVEMENT - NOOK COFFEE BAR

Address: 3025 EAST COAST HWY., CORONA DEL MAR, CA. 92625

STAMP



Date: 12/12/2025

JOB# 250842

M2

GENERAL NOTES:

- BEFORE SUBMITTING BID, THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FULLY ACQUANT HIMSELF WITH THE JOB CONDITION, SERVICE REQUIREMENTS BY UTILITY COMPANY AND CONNECTIONS, AND OTHER CONDITIONS INCLUDING TRANSFORMER PAD, ALL NECESSARY PULL BOXES, JUNCTION BOXES, SIZE AND NUMBER OF CONDUITS AND CONDUCTORS, CONDUIT FITTINGS, SERVICE COMPONENTS, PANELBOARDS, ETC., SHALL BE SHOWN ON DRAWINGS. CONTRACTOR IS NOT TO MAKE A COMPLETE AND OPERABLE ELECTRICAL SYSTEM WITHOUT ADDITIONAL COST TO OWNER.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL, LAWS, RULES AND REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION, IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY. FOLLOW THE LOCAL LAWS, RULES AND REGULATIONS FOR ANY CONFLICTS BETWEEN THE CONTRACT AND THE LOCAL LAWS, RULES AND REGULATIONS.
- THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED INSPECTIONS FOR THE EXECUTION OF THE WORK UNDER THIS CONTRACT. HE SHALL FURNISH ALL INSTRUMENTS AND PERFORM ALL TESTS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. HE SHALL ALSO CORRECT ALL FAILURES AND REPLACE ANY DAMAGED PORTIONS OF THE WORK RESULTING FROM THESE TESTS. THE COST OF THE FOREGOING ITEMS SHALL BE PAID BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE CLOSELY WITH THE OWNER AND OTHER TRADES FOR ALL PHASES AND SCHEDULING OF WORK, AND AUTHORIZED IN WRITING BY THE OWNER AT LEAST ONE WEEK PRIOR TO THE EXECUTION OF ANY WORK.
- ALL MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW AND UL LISTED, FREE FROM ALL DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE OF THE WORK.
- THE ELECTRICAL DRAWINGS, CONDUIT RUNS, WIRINGS AND ELECTRICAL INFORMATION ARE DIAGRAMMATIC ONLY, DO NOT SCALE THE ELECTRICAL DRAWINGS TO DETERMINE THE LOCATION OF EQUIPMENT OR UTILITIES.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL LIGHTING FIXTURES, CEILING MOUNTED OUTLETS AND EQUIPMENT.
- ALL RECEPTACLES AND OUTLET MOUNTING HEIGHTS AND EXACT LOCATION SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH-IN WORK.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY TYPES OF CEILING SYSTEMS AND TO FURNISH APPROVED LIGHTING FIXTURES OF THE TYPE REQUIRED FOR MOUNTING IN RELATED CEILING. FIXTURES SHALL BE COMPLETE WITH NECESSARY MOUNTING HARDWARE AND ACCESSORIES. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE LABELED FOR USE IN SUCH LOCATIONS.
- ALL EXCESSIVE LIGHTING FIXTURES, SPEAKERS, PANELBOARDS, SWITCHES, ETC. MOUNTED IN FIRE RATED STRUCTURES SHALL BE ENCLOSED WITH AN APPROVED ENCLOSURE CARRYING THE SAME FIRE RATING AS THE STRUCTURE.
- ELECTRICAL OUTLETS ON OPPOSITE SIDES OF FIRE RATED WALLS AND PARTITIONS MUST BE SEPARATED BY DISTANCE OF 24 INCHES HORIZONTAL, OPENINGS IN FIRE RATED WALLS GREATER THAN 16 SQ. INCHES MUST BE FIRE STOPPED.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS, CEILINGS, FLOORS, ETC., TO MAINTAIN THE FIRE RATING. FURNISH AND INSTALL FIRE RATED ENCLOSURE FOR ALL EQUIPMENT PENETRATING INTO FIRE RATED ENVELOPES, SPACES ETC.
- PORTIONS OF THE CEILING SYSTEMS MAY BE INACCESSIBLE. THEREFORE, THE CONTRACTOR SHALL STRATEGICALLY LOCATE ACCESS BOXES, ETC. WHICH SHALL BE READILY ACCESSIBLE. ALL LIGHTING FIXTURE WIRING, BALLASTS, J-BOXES, ETC. SHALL BE ACCESSIBLE FROM FIXTURE OPENING.
- ALL WIRING AND ELECTRICAL EQUIPMENT INSTALLED FOR MECHANICAL AND PLUMBING EQUIPMENT SHALL BE IN ACCORDANCE WITH DIVISION 15 AND ASSOCIATED DRAWINGS. CONTRACTOR TO OBTAIN THE REQUIRED MECHANICAL AND PLUMBING DRAWINGS AND PROVIDE ALL EQUIPMENT, RACKINGS, WIRING, ETC. AS INDICATED THEREON AS PROVIDED UNDER THE ELECTRICAL WORK.
- ALL FINAL CONNECTIONS TO OWNER FURNISHED EQUIPMENT SHALL BE MADE BY THE CONTRACTOR UNLESS OTHERWISE NOTED. VERIFY ELECTRICAL CHARACTERISTICS AND U.L. LISTING PRIOR TO CONNECTION.
- THE CONTRACTOR SHALL VERIFY THE LOAD INPUT VOLTAGE OF ALL EQUIPMENT PRIOR TO INSTALLATION. ACCEPTING ANY EQUIPMENT RESULT IN LOAD INCREASE SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
- PROVIDE AN ADDITIONAL JUNCTION BOX (SIZE AS REQUIRED) WHERE THE NUMBER OF CONDUCTORS EXCEEDS THE MAXIMUM ALLOWED FOR A GIVEN JUNCTION POINT OR OUTLET. CONDUCTORS SHALL BE THIRTY/THIRY 600 VOLT INSULATION COPPER UNLESS OTHERWISE NOTED. USE PROPER TEMPERATURE RATING OF CONDUCTORS BASED ON THE AMBIENT AIR TEMPERATURE WHERE CONDUCTORS ARE BEING USED. HIGHER AMPACITY CONDUCTORS AND LARGER RACEWAY SHALL BE PROVIDED TO OFFSET THE AMPACITY CORRECTION FACTORS AS INDICATED IN CEC TABLE 310 AND 310.15.
- DO ALL DRILLING, CUTTING, CHANNELING AND PATCHING REQUIRE TO ELECTRICAL WORK AND INDICATED OR HEREIN SPECIFIED. ALL HOLES, GAPS, ETC. IN FLOORS, CEILINGS AND WALLS SHALL BE PATCHED, UNLESS INDICATED OTHERWISE. MANT ALL EXPOSED ELECTRICAL RACEWAYS, CABINETS ENCLOSURES AND FITTINGS TO MATCH IN COLOR ADJACENT SURFACES IN FINISHED AREAS.
- EMERGENCY LIGHTING SHALL BE PROVIDED PER C.B.C. OR LOCAL CODE AND SHALL BE DESIGN TO PROVIDE MINIMUM REQUIRE FOOTCANDLES AND LUMENS.
- ANY CIRCUITING CHANGE SHALL BE APPROVED BY ENGINEER AND SUBMITTED FOR BUILDING & SAFETY REVIEW & APPROVAL.
- ALL ELECTRICAL EQUIPMENT SHALL BE BRACED OR ANCHORED TO RESIST A HORIZONTAL FORCE ACTING IN ANY DIRECTION PER SEISMIC BRACING AND ANCHORING STANDARD, ASCE 7-16 CHAPTER 13 FOR ALL ELECTRICAL COMPONENTS.

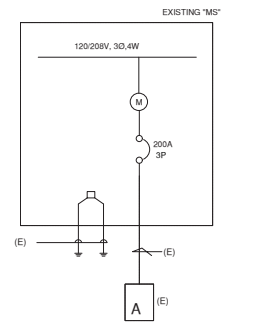
LEGEND AND NOTES

- S₀ SINGLE POLE TOGGLE SWITCH 20 AMP, 120 V, @ 44" AFF
 - S₂ DOUBLE POLE TOGGLE SWITCH 20 AMP, 120 V, @ 44" AFF
 - S₃ THREE WAY SWITCH 20 AMP, 120 V, @ 44" AFF
 - Sm DIMMER SWITCH 1800 WATTS, 15 AMP MINIMUM, 120 V, @ 44" AFF
 - Sm MOTOR RATED SWITCH, HP RATED
 - Sm SINGLE RECEPTACLE, NEMA RATING AS NOTED
 - Sm DUPLEX RECEPTACLE 20 AMP, 120 V GROUNDING TYPE, @ 15" AFF
 - Sm DUPLEX RECEPTACLE 20 AMP 120V GROUNDING TYPE, @ CEILING
 - Sm DOUBLE DUPLEX RECEPTACLE 20 AMP 120V GROUNDING TYPE, @ 15" AFF
 - Sm TELEPHONE OUTLET WITH 3/4" CONDUIT TO TELEPHONE BACKBOARD
 - Sm TEL. OUTLET & DATA OUTLET WITH (2) 3/4" CONDUIT
 - Sm DATA OUTLET WITH 3/4" CONDUIT
 - Sm JUNCTION BOX TO SUIT THE FIELD CONDITIONS
 - Sm MOTOR OUTLET
- NOTES:
- SUBSCRIPT LETTER NEXT TO THE ABOVE SYMBOLS INDICATES DEVICE CONTROLLED.
 - DEVICES AND COVER PLATE COLOR AS SELECTED BY ARCHITECT, SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF OUTLET, UNLESS NOTED. COORDINATE REFRIGERATION OUTLET REQUIREMENT WITH HILLS REFRIGERATION PLAN.
 - RECEPTACLES IN BATHROOM, LAUNDRY ROOM AND KITCHEN SINK AND EXTERIOR LOCATIONS SHALL BE GROUND FAULT TYPE (GFCI)
 - EMERGENCY CIRCUIT. LOCK ON DEVICE FOR BREAKER SERVING CIRCUIT BREAKER
 - SWITCH AND FUSES
 - DISCONNECT SWITCH
 - COMBINATION MAGNETIC STARTER & FUSED DISCONNECT
 - MANUAL MOTOR STARTER 3-P, W / OVER LOAD PROTECTION
 - HOUR/METER SOCKET
 - TRANSFORMER
 - CURRENT TRANSFORMER
 - SWITCHBOARD
 - PANELBOARD
 - TELEPHONE CABINET WITH BACKBOARD
- NOTES: 1. BREAKERS, SWITCHES, FUSES, METER SOCKETS, AND CURRENT CARRYING DEVICES SHALL BE DESIGNED TO WITHSTAND MAXIMUM AVAILABLE FAULT CURRENT (AFC) ESTABLISHED BY SERVING UTILITY
2. SWITCHBOARDS AND PANELBOARDS BUSING SHALL BE BRACED TO WITHSTAND MAXIMUM AVAILABLE FAULT
- CONDUIT HOME RUN TO SOURCE INDICATING PANEL "A" CIRCUITS #1,3&5
- CONDUIT RUN CONCEALED IN CEILING SPACE OR IN WALL
- CONDUIT RUN BELOW FLOORS OR IN GRADE
- HASH MARKS INDICATE QUANTITY OF CONDUCTORS. NO HASH MARK INDICATES 2 #12 AWG. U.O.N. (#10 INDICATES #10 AWG. CONDUCTORS) SIZE OF CONDUIT SHALL BE BASED ON TABLE 1, CHAPTER 9 OF N.E.C. AND TABLE 3A AND 3B SHALL DETERMINE THE CONDUIT SIZES. MINIMUM CONDUIT SIZE SHALL BE 1/2".
- T— TELEPHONE CABLE IN 3/4" CONDUIT
 - TV— TELEVISION ANTENNA CABLE IN 3/4" CONDUIT
 - S— CONDUIT RUN FOR SPEAKER SYSTEM. 3/4" C. U.O.N.
 - F— CONDUIT RUN FOR FIRE ALARM SYSTEM. 3/4" C. U.O.N.

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NOTE:

- All work to comply with 2022 California Electric Code.
- Comply with City of Newport Beach amendments to 2022 CEC. Use rigid metal conduit in all areas exposed to weather. Use ground wire inside all flexible metal conduits. Metal conduit shall not be installed in contact with earth.
- All equipment to be U.L. listed or equivalent.



SINGLE LINE DIAGRAM

NEW EQUIPMENT SCHEDULE

EQUIPMENT				PLUMBING					DIMENSIONS		REMARKS		
NO	NAME	MFR.	MODEL NO.	QTY.	BASE	HW	CW	WASTE	GAS	BTU/HR			
1	BLT-IN PASTRY CASE	BY OWNER	CUSTOM - GLASS CASE	1	DN COUNTER								
2	POS	Square Register		1	DN COUNTER								
3	Espresso Grinder	MAYNARD	Mykonos 2 Grinder	3	DN COUNTER								
4													
5	RINSER	OLYMPIA WALUSA	EPFR715	1	DN COUNTER			O	FS		(WDH)- 38, 23, 21	Certifications UL-197, NSF-8, CAN/CSA-C22.2 No. 109	
6	Espresso Machine	La Marzocco	La Marzocco Linea P3 Group	1	DN COUNTER			O	FS		(WDH)- 10" x 14" x 10"	6" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.	
7	DROP IN DUMP SINK	REGENCY	#6001101410K	1	DN COUNTER	O	O	FS					
8	RINSER	OLYMPIA WALUSA	EPFR724	1	DN COUNTER			O	FS				
9	UPPER WELL	1/8" BRASS AND BRONZE	B-2283-01-F05	1	DN COUNTER			O	FS				
10	FLOOR SINK	BY PLUMBER		5	FLOOR								
11	FLOOR DRAIN	BY PLUMBER		1	FLOOR								
12	DROP IN Hand sink	KROWNE	HS 1220	1	DN COUNTER	O	O	DIRECT				W HAND SOAP, TOWEL DISPENSER AND SPLASH GUARDS 6" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.	
13	HOT WATER BOILER	CURTIS	WB5GT	1	DN COUNTER			O				(WDH)- 10, 17, 25	
14	Coffee Brewer	CURTIS	G4P196W3100	1	DN COUNTER								
15	OVEN	TURBOCHEF	THE G 1M	1	DN COUNTER								MUST INSTALL 4" LEGS
16	UNDERCOUNTER 3 DOOR COOLER	TURBO AIR	MAJR-72-N	2	CASTER								SELF CONTAINED ON CASTER
17													
	Bulk Coffee Grinder	Marking	EM43	1	DN COUNTER								
19	3 COMP SINK	GSW	SE 1918SD	1	22" LEGS	O	O	DIRECT					Provide and indicate a minimum two (2) inch clearance between and with the 3-compartment cabinet sink, or an in-sink end return. The end return must extend up the wall at least eight (8) inches and be sealed to the wall.
20	ICE MAKER / BIN	HOSHIZAKI	NM-32520M_J	1	6" LEGS	O	FS						
21	REACH IN 2 DOOR REFRIGERATOR	ANVIOTTO	A-48R-HC	2	CASTER								54" x 32 1/4" x 82 1/2"
22	HAND SINK	Regency	#60046175P	1	WALL	O	O	DIRECT					W HAND SOAP, TOWEL DISPENSER AND SPLASH GUARDS 6" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.
23	PREP. SINK	GSW	SE 1918TR	1	22" LEGS	O	O	FS					
24	WIRE SHELVING	OLYMPIC	J184BC	8	6" LEGS								4 TIERS WIRE SHELVING ON 4" ROUND LEGS
25	LOCKER	GSW	EL-5DR	1	6" LEGS								
26	MOP SINK	Regency	#600804246 - BOWL 2X24	1	FLOOR	O	O	DIRECT				(WDH)- 29, 29	Approved cover base with a minimum 3/8" radius at the front exposed side of the mop sink. Provide an approved backflow device to the incoming water pipe.
27	MOP RACK	ULINE		1	WALL								
28													
29	ELECTRIC TANK WATER HEATER	AO SMITH	DRE-G2-12	1	SHELF	O		MOP SINK					
30													
31	AIR CURTAIN	AWCOO	FM-1508A1	1	WALL								
32	TRASH BIN	BY OWNER		1	CASTER								
33	RETAIL SHELVING	BY OWNER		3	6" LEGS								
34	OPEN AIR CURTAIN FRIDGE	TURBO AIR	TOM-SOLVAN	1	CASTER							(WDH)- 51 x 35 x 47	SELF CONTAINED ON CASTER
35	SPLASH GUARD			2	DN COUNTER								6" SPLASH GUARD extend from the back to the front of the sink.
36	Chemical Storage Shelf			1	WALL								

NEW CIRCUIT BREAKER SHALL MATCH EXISTING, SAME MANUFACTURER, SAME AIC RATING

PANEL		"A" 120/208V 3 Ø 4 WIRE RECESS MOUNTED 200 AMPERE BUS										AMPERE MAIN		L.O.					
LOCATION																			
CCT NO.	VOLTAGE/AMPERES	DESCRIPTION	OUTLETS			C.B.			PHASE			OUTLETS			DESCRIPTION	VOLTAGE/AMPERES			CCT NO.
			RES	LV	POLE	A	B	C	RES	LV	POLE	A	B	C		Ø A	Ø B	Ø C	
1	499	CUSTOMER & SERVICE LTG	LCL	14	1	20						20	1	1	ESPRESSO GRINDER #3	960	960	2	2
3	438	KITCHEN LIGHTING	LCL	7	1	20						20	1	1	ESPRESSO GRINDER #3	960	960	6	6
5		BROW	LCL	1	1	20						20	1	1	ESPRESSO GRINDER #3	960	960	1	1
7	360	CEILING REC		2	1	20						20	2	1	ESPRESSO MACHINE #6	3000	3000	8	8
9	2076	(E) P/HP		1	3	40						40			(6 1KW)	3050	3050	10	10
11		(Ø TON)										20	1	1	HOT WATER BOILER #13	1680	1680	12	12
13	2076	BROW		1	1	20						30	1	1	COFFEE GRINDER #4	1800	1800	14	14
15	180	ROOF REC		1	1	20						3	1	1	OVEN #15	3333	3333	18	18
17		SPARE		1	1	20						40			(10KW)	3333	3333	18	18
19	3000	WATER HEATER		1	3	40						40			(8KW)	3333	360	20	20
21		(8KW)										40	1	1	LIC 3 DOOR COOLER #16	360	360	22	22
23		3000										20	1	1	BULK COFFEE GRINDER #18	840	840	24	24
25												20	1	1	ICE MAKER #20	1080	1080	28	28
27												15	1	1	LIC 3 DOOR COOLER #16	360	360	28	28
29												15	1	1	REACH IN 2 DOOR REF #21	480	480	30	30
31												15	1	1	REACH IN 2 DOOR REF #21	480	480	32	32
33												15	1	1	AIR CURTAIN #31	480	480	34	34
35												20	1	4	P O B RECEPTACLE	720	720	36	36
37												20	1	1	KITCHEN RECEPTACLE	540	540	38	38
39												20	1	4	CUSTOMER AREA RECEPTACLE	720	720	40	40
41												20	1	1	RESTROOM RECEPTACLE	180	180	42	42
SUB TOTALS											11123	9263	8193						
17058		14997	14489	TOTAL VA/Ø		46484 VA		25%(LCL+LML)		3036 VA		TOTAL VA/Ø		49519 VA		TOTAL AMPS		137 AMP	

REVISIONS

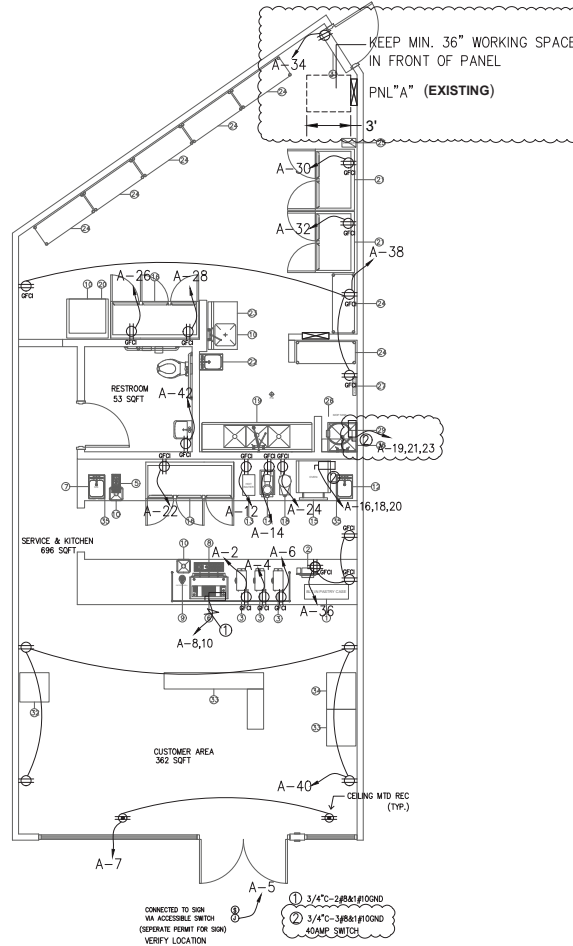
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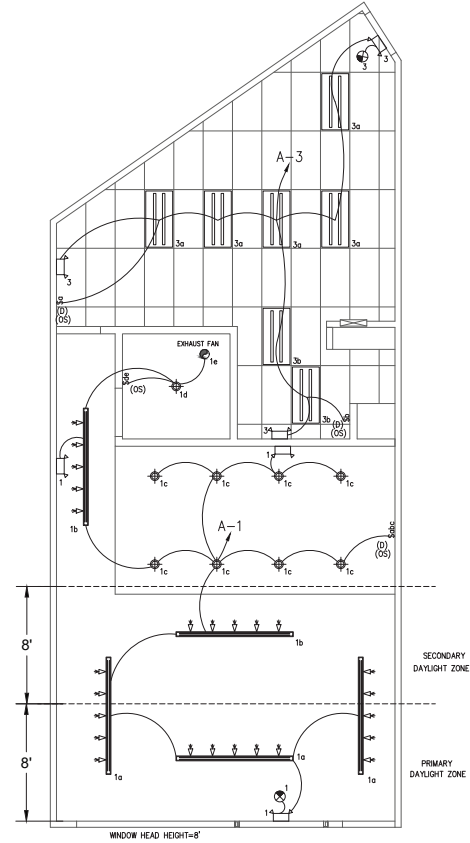
E1

NOTE:
 1) 210.8(D)(5) Other than dwelling unit sinks: All single-phase receptacles rated 150 volts to ground or less, 50 amperes or less and three-phase receptacles rated 150 volts to ground or less, 100 amperes or less installed within 6 feet from the top inside edge of the sink shall have ground fault circuit interrupter protection for personnel.



FLOOR PLAN
 1/4"=1'-0"

POWER PLAN
 1/4"=1'-0"



LIGHTING PLAN
 1/4"=1'-0"

- ① LIGHTS IN SECONDARY DAYLIT AREA LESS THAN 120WATT
NO PHOTO SENSOR REQUIRED
- ② PHOTO SENSOR CEILING MTD. CONTROL LIGHTS IN DAYLIT AREA
- (D) DIMMER SWITCH
COMPLY WITH T-24, 130.1(a), (b)
- (OS) OCCUPANCY SENSOR
COMPLY WITH T-24, 130.1(c)

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E2	

LIGHTING FIXTURE SCHEDULE						
TYPE	SYMBOL	MARK	FIXTURE VA	VOLT	MOUNTING	MANUFACTURE & MODEL
A		2X4 LED LT	50	120	CEILING	LITHONIA, 2LED (600LUMENS) CONTROLLED BY DIMMER
B		RECESS LT	11	120	CEILING	LITHONIA, 17XLED T24 CONTROLLED BY DIMMER
C		EXIT SIGN	2.5	120	CEILING/WALL	BATTERY BACK UP 90" MIN.
D		EMERGENCY LIGHT	30	120	CEILING/WALL	BATTERY BACK UP 90" MIN.
E		TRACK LT	60	120	CEILING	JUNG, T241L2G WITH CURRENT LIMITER CONTROLLED BY DIMMER

STATE OF CALIFORNIA
Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 This document is used to demonstrate compliance with requirements in 218.8, 130.1, 130.2, 130.3, 130.4, 140.6 and 411.0N32 for indoor lighting scopes using the prescriptive path for nonresidential and hotel/motel occupancies. It is also used to document compliance with requirements in 140.3, 170.2(a) and 180.2(b)(6) for indoor lighting scopes using the prescriptive path for multifamily occupancies. Multifamily includes dormitory and senior living facilities.
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Indoor Lighting
 CERTIFICATE OF COMPLIANCE
 Project Name: TENANT IMPROVEMENT-NOOK COFFEE BAR Report Page: (Page 8 of 8)
 Project Address: 3025 EAST COAST HWY Date Prepared: 11/16/2025

CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.0.0 Compliance ID: EnergyPro-8251-1125-2170 Report Generated: 2025-11-06 10:12:13

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REVISIONS

J.S. ENGINEERING, INC.
 RESIDENTIAL, COMMERCIAL & INDUSTRIAL
 HVAC, PLUMBING, ELECTRICAL, MECHANICAL
 410 S. SAN GABRIEL BLVD., #8
 SAN GABRIEL, CA 91776

TENANT IMPROVEMENT - NOOK COFFEE BAR

3025 EAST COAST HWY., CORONA DEL MAR, CA. 92625

Project: _____

Address: _____

STAMP

Date: 12/17/2025

JOB# 250842

E3

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE UTILITIES BEFORE STARTING TRENCHING WORK, OR THE INSTALLATION OF ANY PIPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS & PAYING ALL FEES REQUIRED TO PERFORM WORK SHOWN ON THESE DRAWINGS.
- THE DRAWINGS ARE DIAGRAMMATIC, THE LOCATION OF THE PIPING IS PROXIMATE, COORDINATE THE LOCATION OF PIPING WITH OTHER TRADES, ANY CONFLICTS WITH OTHER TRADES SHALL BE RESOLVED PRIOR TO INSTALLATION.
- UNDERGROUND PIPING SHALL CLEAR ALL FOOTINGS IN AN APPROVED MANNER. SEE STRUCTURAL DRAWINGS FOR REQUIRED CLEARANCE AND FOOTING PENETRATION LOCATIONS.
- UNDERGROUND PIPING SHALL CLEAR ALL FOOTINGS IN AN APPROVED MANNER. SEE STRUCTURAL DRAWINGS FOR REQUIRED CLEARANCE AND FOOTING PENETRATION LOCATIONS.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE LATEST CURRENT EDITION OF THE 2022 CALIFORNIA PLUMBING CODE (CPC) & REGULATIONS, TITLE 24, CALIFORNIA STATE FIRE MARSHALL REQUIREMENTS, TITLE 19 & ALL APPLICABLE CODES AND REGULATIONS.
- CONCEAL ALL PIPING IN FINISHED PORTIONS OF THE BUILDING, UNLESS NOTED OTHERWISE.
- CONSULT ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS, LOCATIONS AND ELEVATION OF FIXTURES.
- SANITARY VENTS THRU ROOFS SHALL TERMINATE AT LEAST 10' AWAY FROM, OR 3' ABOVE ANY OPERABLE WINDOW AND 10' AWAY FROM COMBUSTION AIR OPENINGS AND FRESH AIR INTAKES. PROVIDE VENTS WITH VANDAL PROOF VENT CAPS.
- PROVIDE GAS SHUT-OFF VALVES AT ALL GAS FIRED EQUIPMENT.
- TOILETS SHALL USE 1.28 GALLONS PER FLUSH (GPF) MAXIMUM.
- COMPLY WITH THE STATE OF CALIFORNIA ENERGY CONSUMPTION BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24, SUBCHAPTER 2 & 3) INCLUDING THE FOLLOWING:
 - WATER HEATERS SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AS COMPLYING WITH THEIR EFFICIENCY STANDARD (SECTION 113 (b) TABLE N6.1-1-D)
 - LOW TEMPERATURE PIPE MINIMUM INSULATION, 105°F TO 200°F. (SUBCHAPTER 3 SECTION 123 TABLE N6.1-1-G)
 - LAVATORY FAUCETS AND SINK FAUCETS (NOT INCLUDING SERVICE SINK FAUCETS) SHALL MEET THE FLOW REQUIREMENTS OUTLINED IN THE TITLE 24 SECTION 113 (c) & (b)
 - LAVATORIES IN PUBLIC RESTROOMS PROVIDED WITH HOT WATER SHALL HAVE HOT WATER CONTROLS COMPANY WITH THE FOLLOWING:
 - PERMANENTLY OPERATED WITH OVERRIDE PUSH BUTTON & MAXIMUM OPERATING AT 1.28 GPF. FOR FACILITY RESTROOM THE FLUSH VALVE SHALL BE OPERATED BY AN OSCILLATING HANDLE W/ 1.28 GPF & THIS HANDLE SHALL FACE THE SIDE WALL FURTHEST FROM THE CENTER LINE OF THE FIXTURE.
 - LAVATORIES INSTALL WITH BOTTOM OF APRON 29" ABOVE FINISHED FLOOR. PROVIDE HOT & COLD WATER W/ STOPS FOR FACILITY USE & INSULATE HOT WATER STOP. DRAIN TAILPIECE & TRAP. FOR STUDENTS RESTROOM PROVIDE COLD WATER ONLY METERED FAUCET COMPLETE ASSEMBLY, STOP, DRAIN TAILPIECE AND TRAP.
 - SHOWERS: INSTALL WATER CONTROLS 40" ABOVE THE SHOWER FLOOR. FOR FACILITY SHOWERS PROVIDE A FLEXIBLE HAND HELD SHOWER UNIT WITH A MIN. 60" LONG HOSE WITH HEAD MOUNTED 48" ABOVE THE SHOWER FLOOR.
 - URINAL: INSTALL WITH RIM 17" ABOVE FINISHED FLOOR. FLUSHMETER VALVE FOR FACILITY USE & BATTERY SENSOR OPERATED FLUSH VALVE FOR STUDENTS USE & SHALL BE LOCATED NOT MORE THAN 44" ABOVE THE FINISHED FLOOR. 0.125GPF.
 - DRINKING FOUNTAIN: INSTALL WITH THE CENTERLINE OF THE BUBBLER HEAD LOCATED 36" ABOVE THE FINISHED FLOOR.
- THE SEISMIC BRACING AND ANCHORAGE OF PIPING SHALL BE IN ACCORDANCE WITH GUIDELINES FOR SEISMIC RESTRAINTS OF MANUAL GUIDELINES FOR MECHANICAL SYSTEMS PUBLISHED BY SMACNA.
- STORM DRAIN PIPE SIZING IS BASED ON 4" RAINFALL. USE RECTANGULAR PIPE UNDER SIDEWALK AND THRU CURB IF PIPING IS LARGER THAN 3".
- CONTRACTOR SHALL VISIT JOB SITE AND VERIFY ALL APPLICABLE CONDITIONS PRIOR TO BID.
- EQUIPMENT & APPLIANCES MARKED N.L.C. AS WELL AS EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS, SHALL BE INSTALLED SET IN PLACE AND CONNECTED IN SATISFACTORY OPERATING CONDITION BY THE CONTRACTOR.
- PROVIDE CD AS REQUIRED TO MECHANICAL EQUIPMENT IN COMPLIANCE WITH CPC, SPECIFICATION & DWS.
- WATER HEATERS SHALL COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCQMD) RULE 1146.2.
- WHERE IT HAS BEEN RECOMMENDED BY THE SOIL SURVEY REPORT TO PROVIDE PIPE PROTECTION FROM UNDERGROUND CORROSIVE SOIL(S), PIPES SHALL BE PROTECTED/ ENCASED PER THE INSTALLATION/ENCASMENT PORTIONS OF ASTM-7A, ASTM D 2321 & ANNA C106 AS APPLIES.
- PROVIDE CONDENSATE AND OVERFLOW DRAIN PIPING TO ALL FAN COIL UNITS AND MECHANICAL EQUIPMENT W/ TRAP, UNIONS & FLEXIBLE CONNECTIONS AND SPILL TO APPROVED RECEPTACLE OR CONNECT TO TAILPIECE. INSULATE ALL CONDENSATE AND OVERFLOW DRAIN PIPING INSIDE BUILDINGS. SLOPE ALL PIPING @ 1/8" PER FOOT.
- PROVIDE PIPE INSULATION AS INDICATED ON SPECIFICATION AND INSULATE ALL PLUMBING EXPOSED PIPING WITHIN THE BUILDING IN AMBIENT TEMPERATURES & AIR CONDITIONING AREAS.

MEP COMPONENT ANCHORAGE NOTE

ALL MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE DSA APPROVED CONSTRUCTION DOCUMENTS. WHERE NO DETAIL IS INDICATED, THE FOLLOWING SHALL BE ANCHORED OR BRACED TO MEET THE FORCE AND DISPLACEMENT REQUIREMENTS PRESCRIBED IN THE DSA:

- *) 2022 CBC, SECTIONS 1617A.1.8 THROUGH 1617A.1.26
- *) ASCE 7-16 CHAPTER 13, 26 AND 30.

- ALL PERMANENT EQUIPMENT AND COMPONENTS.
- TEMPORARY OR MOVABLE EQUIPMENT THAT IS PERMANENTLY ATTACHED (E.G. HARD WIRED) TO THE BUILDING UTILITY SERVICES SUCH AS ELECTRICITY, GAS OR WATER.
- MOVABLE EQUIPMENT WHICH IS STATIONED IN ONE PLACE FOR MORE THAN 8 HOURS AND HEAVIER THAN 400 POUNDS ARE REQUIRED TO BE ANCHORED WITH TEMPORARY ATTACHMENTS.

THE FOLLOWING MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE POSITIVELY ATTACHED TO THE STRUCTURE, BUT THE ATTACHMENT NEED NOT BE DETAILED ON THE PLANS. THESE COMPONENTS SHALL HAVE FLEXIBLE CONNECTIONS PROVIDED BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT.

- COMPONENTS WEIGHING LESS THAN 400 POUNDS AND HAVE A CENTER OF MASS LOCATED 4 FEET OR LESS ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT.
- COMPONENTS WEIGHING LESS THAN 20 POUNDS, OR IN THE CASE OF DISTRIBUTED SYSTEMS, LESS THAN 5 POUNDS PER FOOT, WHICH ARE SUSPENDED FROM A ROOF OR FLOOR OR HUNG FROM A WALL.

FOR THOSE ELEMENTS THAT DO NOT REQUIRE DETAILS ON THE APPROVED DRAWINGS, THE INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD AND THE DSA DISTRICT STRUCTURAL ENGINEER. THE PROJECT INSPECTOR WILL VERIFY THAT ALL COMPONENTS AND EQUIPMENT HAVE BEEN ANCHORED IN ACCORDANCE WITH ABOVE REQUIREMENTS.

PIPING SYSTEM BRACING NOTE

- PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS SHALL BE BRACED TO COMPLY WITH THE FORCES AND DISPLACEMENTS PRESCRIBED IN:
 - *)ASCE 7-16 SECTION 13.3 AS DEFINED
 - *)ASCE 7-16 SECTION 13.6.8, 13.6.7, 13.6.5.6, AND
 - *)2022 CBC, SECTIONS 1617A.1.23, 1617A.1.24, 1617A.1.25 AND 1617A.1.26.
- THE BRACING AND ATTACHMENTS TO THE STRUCTURE SHALL BE DETAILED ON THE APPROVED DRAWINGS OR BRACING AND ATTACHMENTS AREA BASED ON A PRE-APPROVED INSTALLATION GUIDE (E.G. SMACNA OR OSHPD OPW).
- COPIES OF THE MANUAL SHALL BE AVAILABLE ON THE JOBSITE PRIOR TO THE START OF HANGING AND BRACING OF THE PIPE, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS.

PIPE MATERIALS

SERVICES	LOCATION	MATERIAL	JOINING METHOD	REMARKS
DOMESTIC COLD & HOT WATER	UNDERGROUND	RIGID COPPER (TYPE K)	BRAZED	NOT TO EXCEED 20% OF PERCENT JOINT FITTINGS. SHOULD STREET PRESSURE EXCEED 80 PSI, A PRESSURE REDUCING VALVE ASSEMBLY SHALL BE INSTALLED. NO JOINTS SHALL BE ALLOWED UNDER BUILDING SLAB. GATE VALVES SHALL BE BRONZE WITH ENDS TO SUITE PIPE, NONDRINKING STEM FOR 150 PSI WORKING PRESSURE.
	ABOVE GROUND	RIGID COPPER (TYPE L)	SOLDERED	ABS PIPE MAY BE USED WHEN FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY
SANITARY WASTE SEWER	UNDERGROUND	CAST IRON SOIL PIPE & FITTINGS OR OTHER APPROVED MATERIAL	HUBLESS	ABS PIPE MAY BE USED WHEN FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY
	ABOVE GROUND	CAST IRON SOIL PIPE & FITTINGS OR OTHER APPROVED MATERIAL	HUBLESS	ABS PIPE MAY BE USED WHEN FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY
SANITARY WASTE VENT	ABOVE GROUND	CAST IRON SOIL PIPE & FITTINGS OR OTHER APPROVED MATERIAL	HUBLESS	ABS PIPE MAY BE USED WHEN FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY
	UNDERGROUND	SCHEDULE 40 BLACK STEEL	WELDED	PROVIDE APPROVED GAS PRESSURE REGULATORS, NATURAL GAS RIGHT AND LEFT HAND NIPPLES AND COUPLINGS SHALL BE NEW BLACK IRON. UNIONS SHALL NOT BE USED EXCEPT AT UNITS AND VALVES.
LOW PRESSURE GAS	UNDERGROUND	SCHEDULE 40 BLACK STEEL	WELDED	PROVIDE APPROVED GAS PRESSURE REGULATORS, NATURAL GAS RIGHT AND LEFT HAND NIPPLES AND COUPLINGS SHALL BE NEW BLACK IRON. UNIONS SHALL NOT BE USED EXCEPT AT UNITS AND VALVES.
	ABOVE GROUND	SCHEDULE 40 BLACK STEEL	WELDED	PROVIDE APPROVED GAS PRESSURE REGULATORS, NATURAL GAS RIGHT AND LEFT HAND NIPPLES AND COUPLINGS SHALL BE NEW BLACK IRON. UNIONS SHALL NOT BE USED EXCEPT AT UNITS AND VALVES.

NOTE:
 1. ALL PIPE PENETRATION SHALL BE PROVIDED WITH PIPE SLEEVES IN COMPLIANCE WITH CPC 2022 313.0 AND 313.1.0.
 2. GAS VALVES 1" AND LARGER VALVES SHALL BE IRON BODY WITH BRONZE SQUARE HEAD PLUG.
 3. GAS VALVES 1-1/4" AND LARGER VALVES SHALL BE IRON BODY WITH BRONZE SQUARE HEAD PLUG.
 4. NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND UNDER ANY BUILDING OR STRUCTURE UNLESS INSTALLED IN GAS TIGHT AND ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST 6 INCHES ABOVE GRADE OR STRUCTURE. BUILDING/STRUCTURE SHALL INCLUDE STRUCTURES SUCH AS PORCHES AND STEPS, WEATHER COVERED OR UNCOVERED, BREZZEZIMATS, ROOFED PATIOS, GARPGIRS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES. THE CONDUIT SHALL EXTEND TO A POINT AT LEAST 12 INCHES BEYOND ANY AREA WHERE IT IS REQUIRED TO BE INSTALLED ON TO THE OUTSIDE WALL OF A BUILDING AND THE OUTER END SHALL NOT BE SEALED, WHERE THE CONDUIT TERMINATES WITHIN A BUILDING, IT SHALL BE READILY ACCESSIBLE AND THE SPACE BETWEEN THE CONDUIT AND THE GAS PIPING SHALL BE SEALED TO PREVENT LEAKAGE OF GAS INTO THE BUILDING. PER CHAPTER 12 OF THE 2022 C.F.C.

DOMESTIC WATER CALCULATION

1. STATIC PRESSURE @ STREET MAIN	MAX. 60 PSI
2. PRESSURE LOSS THRU WATER METER	5 PSI
PRESSURE LOSS DUE TO HEIGHT: (15' x 0.43 P/ Ft) =	6.5 PSI
PRESSURE REQUIRE AT THE LAST OUTLET:	20 PSI
PRESSURE AVAILABLE FOR FRICTION LOSS: (50-5-6.5-20)=	16.5 PSI
3. TOTAL DEVELOPED LENGTH + 25% =	150 FEET
4. FRICTION LOSS: 18.5 X 100 / 150 = 12.33 PSI /100 FT	

DOMESTIC WATER PIPING SIZING			
SIZE	COLD WATER (MAX. 8FT/S)	HOT WATER (MAX. 5FT/S)	FD FLUSH TANK
1/2"	4	3	
3/4"	14	7	
1"	28	17	
1-1/4"	55	26	
1-1/2"	95	45	
2"	245	115	

MISC. EQUIPMENT SCHEDULE

MARK	EQUIPMENT	LOCATION/SERVICE	DESCRIPTION
WH-1	WATER HEATER		ELECTRIC WATER HEATER 50 GALLON, 9KW A.O.S.M. # DRE-52-12
ET-1	EXPANSION TANK		ZURN MODEL XT, MODEL# XT-8, 2.1GALLON, 8"(DIA)X10-1,2"(H)

FIXTURE CONNECTION SCHEDULE (BRANCH SIZES)

MARK	FIXTURE	WASTE	TRAP	VENT	C.B.	H.W.	ICW	HW	G	REMARKS
WC	WATER CLOSET	4"	INT	2"	3/4"	-	-	-	-	FLOOR MOUNTED FLUSH TANK LOW ELONGATED BOWL W/ OPEN-FRONT-SEAT CONSUMPTION 1.6GPF. DSA APPROVED. 1/5 "CLOSET 3 FLOUSE"
L	LAVATORY	2"	2"	1-1/2"	3/4"	3/4"	-	-	-	WALL HUNG COMBINATION FAUCET W/ "WHEELCHAM" 9141.011, 0.5GPM MAX.
TM	THERMO MIXING VALVE	-	-	-	-	-	-	-	-	THERMO MIXING VALVE, LEAD FREE, LINE SIZE WATTS, # U13495
FD	FLOOR DRAIN	2"	2"	1-1/2"	1/2"	-	-	-	-	SQUARE TOP OR ROUND W/ AIP EXCEPT IN SHOWER ROOMS (SEE ARCHITECTURAL DWS FOR FINISHED SURFACE INCREASE. VENT SIZE TO 2" IF DRAIN IS FLAT VENTED)
MS	SERVICE SINK	3"	3"	2"	3/4"	3/4"	-	-	-	PROVIDE BACKFLOW PREVENTION DEVICE MAX. FLOW RATE 1.8 GPM
FS	FLOOR SINK	2"	2"	1-1/2"	-	-	-	-	-	PROVIDE WITH AN APPROVED REMOVABLE AND ACCESSIBLE STRAINER OR GRATE
HS	HAND SINK	2"	2"	1-1/2"	3/4"	3/4"	-	-	-	WALL MOUNTED HAND SINK WITH GOOSENECK FAUCET AND SIDE SPLASH-MAX. FLOW RATE 1.8 GPM
PS	PREP. SINK	2"	2"	1-1/2"	3/4"	3/4"	-	-	-	MAX. FLOW RATE 1.8 GPM
CS	3 COMPARTMENT SINK	2"	2"	1-1/2"	3/4"	3/4"	-	-	-	MAX. FLOW RATE 1.8 GPM
TP	TRAP PRIMER	-	-	-	1/2"	-	-	-	-	PRECISION PLUMBING W/ ACCESS PANEL, 50Y & UNION 240, 2-1/2"

NOTE:
 1. CONFIRM PLUMBING FIXTURE SELECTIONS WITH THE ARCHITECTURAL PLANS AND SPECIFICATIONS PRIOR TO ORDERING.

INSULATION SCHEDULE

DESCRIPTION	TYPE	PIPE SIZE						FIELD-APPLIED JACKET
		1/2"-3/4"	1"	1-1/4" - 2"	2-1/2" - 4"	5" - 6"	8" & ABV.	
DOMESTIC HOT WATER	PERFORMED MINERAL FIBER PIPE INSULATION W/ VAPOUR BARRIER	1"	2"	2"	2"	2"	2"	EXPOSED, INTERIOR INSTALLATIONS: PIPING, VALVES AND FITTINGS SHALL BE PERFORMED PVC CONCEALED, INTERIOR INSTALLATIONS: PIPING, (NONE) VALVES AND FITTINGS SHALL BE PVC
DOMESTIC HOT WATER RETURN	PERFORMED MINERAL FIBER PIPE INSULATION W/ VAPOUR BARRIER	1"	2"	2"	2"	2"	2"	

NOTE:
 INSULATION SHALL BE PROVIDED ON ALL HOT WATER AND CIRCULATING PIPING AND THE FIRST 8 ON THE COLD WATER FROM THE WATER HEATER PER CPC SEC. 609.11 AND TITLE 24 PART 6 AS FOLLOW:
 A. HOT WATER PIPE INSULATION FOR PIPE LESS THAN 2 INCHES SHALL MEET THE MINIMUM WALL THICKNESS INDICATED ON TITLE 24 PART 6, TABLE 120.3-A.
 B. INSULATION WALL THICKNESS SHALL BE NOT LESS THAN 2 INCHES FOR A PIPE OF 2 INCHES OR MORE IN DIAMETER. (CPC 609.12)

PLUMBING ABBREVIATIONS

ABBREVIATION	DESCRIPTION
ADA	AMERICAN WITH DISABILITIES ACT
AD	AREA DRAIN
AP	ACCESS PANEL
FD	FLOOR DRAIN
FS	FLOOR SINK
FU	FIXTURE UNIT
FV	FLUSH VALVE
GPM	GALLON PER MINUTE
GPR	GAS PRESSURE REGULATOR
HZ	HERTZ
MIN.	MINIMUM
MAX.	MAXIMUM
MFG	MEDIUM PRESSURE GAS
NTS	NOT TO SCALE
NIC	NOT IN CONTRACT
POC	POINT OF CONNECTION
PRV	PRESSURE REGULATING VALVE
BPV	BACKFLOW PREVENTER
SOV	SHUT-OFF VALVE
TYP	TYPICAL
VTR	VENT THRU ROOF
WH	WATER HEATER
EW	INSTANT HOT WATER HEATER
W/	WITH
SQ.FT.	SQUARE FEET
IW	INDUSTRIAL WASTE
GW	GREASE WASTE
SW	SANITARY WASTE
T.D.L.	TOTAL DEVELOPED LENGTH
PSI	POUNDS PER SQUARE INCH
BTU	BRITISH THERMAL UNITS
FCCO	FLOOR CLEANOUT
COTG	CLEANOUT TO GRADE
V	VENT
CW	COLD WATER
HW	HOT WATER
WHA	WATER HAMMER ARRESTOR
WCO	WALL CLEANOUT
HB	HOSE BIBB
TM	THERMOSTATIC MIXING VALVE
DISP.	DISPENSER
MFR	MANUFACTURER
(E)	EXISTING
EC	EVAPORATIVE COOLER
ET	EXPANSION TANK
FG	FUEL GAS (LOW PRESSURE)
WM	WATER METER
GM	GAS METER

PLUMBING LEGEND

SYMBOL	DESCRIPTION
---	WASTE/SEWER BELOW GRADE
---	WASTE/SEWER ABOVE GRADE
---	FLOOR CLEANOUT
---	CLEANOUT TO GRADE
---	SANITARY VENT
---	COLD WATER PIPE
---	HOT WATER PIPE
---	HOT WATER RECIRCULATION LINE
---	FILTERED COLD WATER
---	FCW
---	WATER HAMMER ARRESTOR
---	WALL CLEANOUT
---	CHECK VALVE
---	GATE VALVE
---	GAS COCK
---	GREASE WASTE
---	SANITARY WASTE
---	PRESSURE REDUCING VALVE
---	INDUSTRIAL COLD WATER
---	HOSE BIBB
---	PIPE RISE
---	PIPE DROP
---	THERMOSTATIC MIXING VALVE

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

REVISIONS
 12-09-2025

JS ENGINEERING, INC.
 RESIDENTIAL, COMMERCIAL & INDUSTRIAL
 HVAC, PLUMBING, ELECTRICAL, MECHANICAL
 410 S. SAN GABRIEL BLVD., #8
 SAN GABRIEL, CA. 91776

TENANT IMPROVEMENT - NOOK COFFEE BAR
 Project:
 Address:
 3025 EAST COAST HWY., CORONA DEL MAR, CA. 92625

STAMP
 Date: 12/12/2025
 JOB# 250842

P1

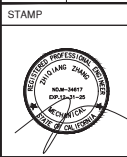
NEW EQUIPMENT SCHEDULE

EQUIPMENT					PLUMBING					DIMENSIONS	REMARKS		
NO.	NAME	MFR.	MODEL NO.	QTY.	BASE	HW	CW	WASTE	GAS			BTU/HR	
1	BLT-IN PASTRY CASE	BY OWNER	CUSTOM - GLASS CASE	1	ON COUNTER								
2	POS	Square	Square Register	1	ON COUNTER								
3	Espresso Grinder	SIMONELLI USA	Mythos 2 Grinder	3	ON COUNTER								
4													
5	RINSER	OLYMPIA WA USA	EPRR715	1	ON COUNTER		○	FS					
6	Espresso Machine	La Marzocco	La Marzocco Linea PB 3 Group	1	ON COUNTER		○	FS			(WDH) - 38, 23, 21		Certifications UL-197, NSF-6, CAN/CSA-C22.2 No. 109 Provide an approved backflow device to the incoming water pipe
7	DROP IN DUMP SINK	REGENCY	#60DI1101410K	1	ON COUNTER	○	○	FS			(WDH) - 10" x 14" x 10"		6" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.
8	RINSER	OLYMPIA WA USA	EPRR724	1	ON COUNTER		○	FS					
9	DIPPER WELL	T&S BRASS AND BRONZE	B-2282-01-F06	1	ON COUNTER		○	FS					
10	FLOOR SINK	BY PLUMBER		5	FLOOR			FS					
11	FLOOR DRAIN	BY PLUMBER		1	FLOOR			DIRECT					
12	DROP IN Hand sink	KROWNE	HS 1220	1	ON COUNTER	○	○	DIRECT					W/ HAND SOAP, TOWEL DISPENSER AND SPLASH GUARDS 6" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.
13	HOT WATER BOILER	CURTIS	WB5GT	1	ON COUNTER		○				(WDH) - 10, 17, 25		
14	Coffee Brewer	CURTIS	G4TP1S63W3100	1	ON COUNTER								
15	OVEN	TURBOCHEF	THE IS TM	1	ON COUNTER								MUST INSTALL 4" LEGS
16	UNDERCOUNTER 3 DOOR COOLER	TURBO AIR	MUR-72-N	2	CASTER						(WDH) - 73, 30, 31		SELF CONTAINED ON CASTER
17													
18	Bulk Coffee Grinder	Mahlkonig	EK43	1	ON COUNTER								
19	3 COMP SINK	GSW	SE 18183D	1	22" LEGS	○	○	DIRECT					Provide and indicate a minimum two (2) inch clearance between end walls and the 3-compartment utensil sink, or an integral end return. The end return must extend up the wall at least eight (8) inches and be sealed to the wall.
20	ICE MAKER / BIN	HOSHIZAKI	KML-325500M_J	1	6" LEGS		○	FS					
21	REACH IN 2 DOOR REFRIGERATOR	AVANTCO	A-49R-HC	2	CASTER						54"w x 32 1/4"d x 82 1/2"h		
22	HAND SINK	regency	#800HS17SP 17" x 15" Wall-Mounted Hand Sink	1	WALL	○	○	DIRECT					W/ HAND SOAP, TOWEL DISPENSER AND SPLASH GUARDS 6" SPLASH GUARD must extend from the back to the front of the sink. Splash guards must not taper.
23	PREP. SINK	GSW	SE 18181R	1	22" LEGS	○	○	FS					
24	WIRE SHELVING	OLYMPIC	J1848C	8	6" LEGS								4 TIERS WIRE SHELVING
25	LOCKER	GSW	EL-5DR	1	6" LEGS								ON 6" ROUND LEGS
26	MOP SINK	Regency	#600SM24246 - BOWL 24X24	1	FLOOR	○	○	DIRECT			(WDH) - 29, 29		Approved cove base with a minimum 3/8" radius at the front exposed side of the mop sink. Provide an approved backflow device to the incoming water pipe
27	MOP RACK	ULINE		1	WALL								
28													
29	ELECTRIC TANK WATER HEATER	AO SMITH	DRE-62-12	1	SHELF		○	MOP SINK					12 KW, 50 GALLONS, 3PHASE (ON TOP SHELF OF THE MOP SINK)
30													
31	AIR CURTAIN	AWOCO	FM - 1509SA1	1	WALL								
32	TRASH BIN	BY OWNER		1	CASTER								
33	RETAIL SHELVING	BY OWNER		3	6" LEGS								
34	OPEN AIR CURTAIN FRIDGE	TURBO AIR	TOM-S0LW-N	1	CASTER						(WDH) - 51 x 35 x 47		SELF CONTAINED ON CASTER
35	SPLASH GUARD			2	ON COUNTER								6" SPLASH GUARD extend from the back to the front of the sink
36	Chemical Storage Shelf			1	WALL								

REVISIONS
 12-08-2025

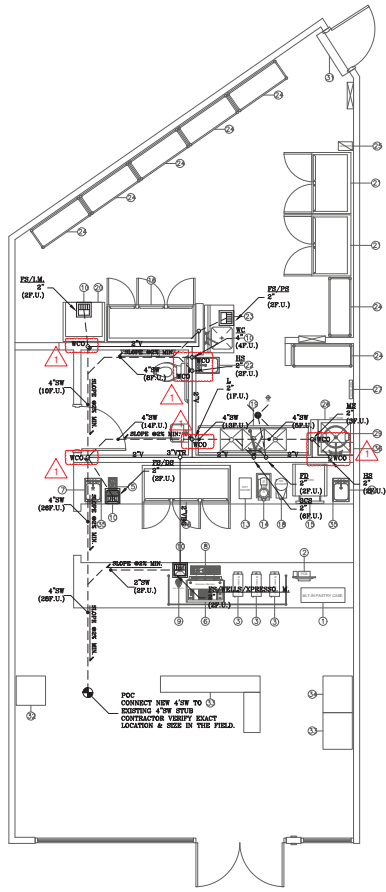
JS ENGINEERING, INC.
 RESIDENTIAL, COMMERCIAL & INDUSTRIAL
 HVAC, PLUMBING, ELECTRICAL
 410 S. SAN GABRIEL BLVD. #8
 SAN GABRIEL, CA 91776

Project: TENANT IMPROVEMENT - NOOK COFFEE BAR
 Address: 3025 EAST COAST HWY., CORONA DEL MAR, CA. 92625

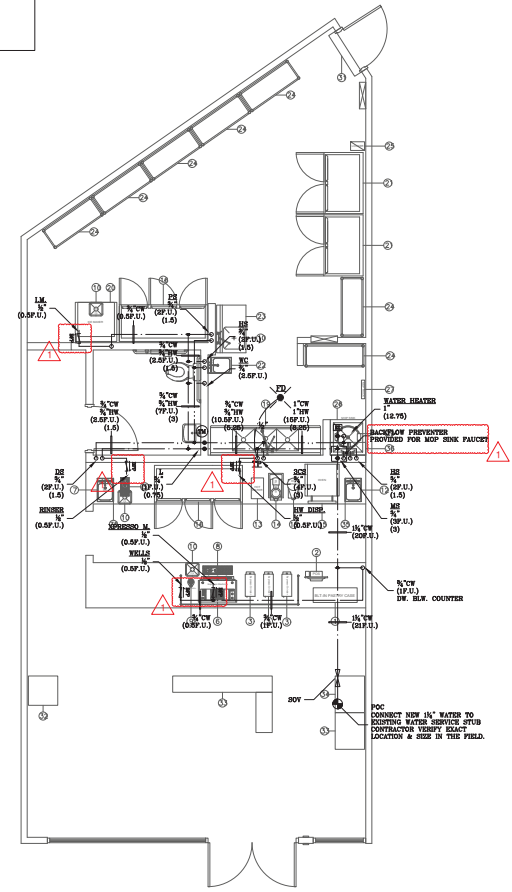
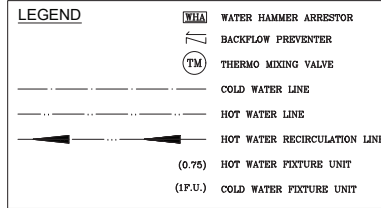


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FLOOR PLAN (WASTE & VENT)
1/4"=1'-0"

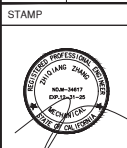


FLOOR PLAN (HOT & COLD)
1/4"=1'-0"

REVISIONS
12-08-2025

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SAN GABRIEL, CA 91776

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