



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

June 25, 2026
Agenda Item No. 4

SUBJECT: Jackson Residence (PA2025-0223)

- Lot Merger
- Coastal Development Permit

SITE LOCATION: 2057 and 2061 Ocean Boulevard

APPLICANT: C.J. Light Associates

OWNER: Douglas Jackson

PLANNER: Jerry Arregui, Assistant Planner
949-644-3249, jarregui@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Single-Unit Residential Detached (RS-D)
- **Zoning District:** Single-Unit Residential (R-1)
- **Coastal Land Use Plan Category:** Single Unit Residential Detached – 10.0 - 19.9 DU/AC (RSD-C),
- **Coastal Zoning District:** Single-Unit Residential (R-1)

PROJECT SUMMARY

A request for a coastal development permit and lot merger to merge two properties held under common ownership, demolish the existing single-unit dwelling located at 2057 Ocean Boulevard, and expand the remaining single-unit dwelling at 2061 Ocean Boulevard. Proposed improvements include a 602-square-foot second-floor addition, 779 square feet of attached garage space, and an attached 893-square-foot, two-story, accessory dwelling unit (ADU) resulting in a 4,540-square-foot single-unit dwelling, 1,467 square feet of attached garage space, and an attached ADU. The project would not result in a loss of density, would comply with applicable Title 21 (Local Coastal Program Implementation Plan) development standards, and does not request any deviations from Title 19 (Subdivisions) of the NBMC.

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment; and

- 3) Adopt Draft Zoning Administrator Resolution No. _ approving the Coastal Development Permit and Lot Merger filed as PA2025-0223 (Attachment No. ZA 1).

DISCUSSION

Background

- The subject properties are located at 2057 and 2061 Ocean Boulevard, on the Newport Peninsula, and each are developed with a single-unit dwelling.
- The single-unit dwelling at 2061 Ocean Boulevard is considered nonconforming because an approximately 9-foot-wide portion of the 1st and 2nd floors encroaches approximately 5 feet into the required 10-foot front setback along Ocean Boulevard, near the northwest corner of the property where the parcel line curves at the intersection of Ocean Boulevard and M Street, at the transition between the front and side setbacks.
- Both properties are located within the single-unit residential (R-1) Coastal Zoning District and are categorized as Single-Unit Residential Detached (RS-D) and Single Unit Residential Detached – 10.0 - 19.9 DU/AC (RSD-C) by the General Plan Land Use Element and Coastal Land Use Plan (CLUP), respectively.

Lot Merger

- The project includes a lot merger to combine the two contiguous properties into a single 5,649-square-foot lot by removing the interior property line. The lot merger is illustrated in Figure 1 below and the full lot merger exhibits are provided as attachment No. ZA 3.

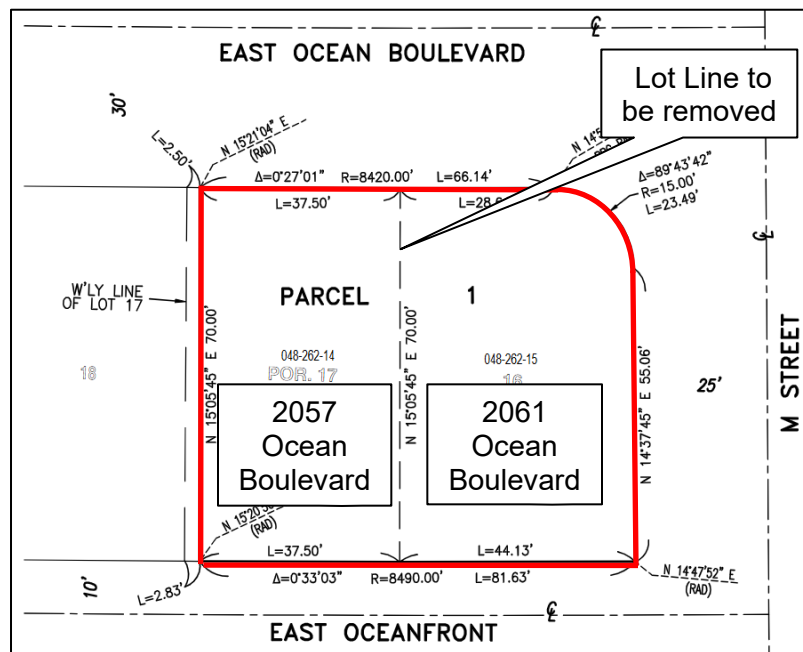


Figure 1: Lot Merger Exhibit

- Section 20.18.030 (Residential Zoning Districts General Development Standards) of the NBMC requires a minimum lot area of 6,000 square feet and a minimum lot width of 60 feet for corner lots. The two existing lots are approximately 2,625 and 3,024 square feet in area and approximately 37.65 and 44.02 feet wide, and neither meet the minimum requirements. The project results in a combined lot area of approximately 5,649 square feet and 81.67 feet in width, which meets minimum lot width requirements and more closely aligns with minimum lot area.
- Lot sizes in the surrounding area generally range from approximately 2,500 to 4,000 square feet, though several nearby properties range from 6,000 to 9,000 square feet and several properties along East Balboa Boulevard range between 10,000 and 30,000 square feet. Lot widths in the surrounding area generally range from approximately 60 to 100 feet. The resulting 5,649-square-foot and 81.67-foot-wide property is within the range of existing lot sizes and widths.
- Legal access to the property and nearby properties is provided from Ocean Boulevard, M Street, and East Ocean Front Alley and will not be affected by the project.
- The project will remain consistent with the character and general orientation of adjacent properties. Additionally, the project is required to meet all of the applicable development standards within Title 20 (Planning and Zoning) of the NBMC and is not expected to deviate from the established pattern of development in a manner that would unreasonably affect the use and enjoyment of neighboring properties

Coastal Development Permit

- The properties are located within the boundaries of the Categorical Exclusion Order (CEO) area as approved by the California Coastal Commission. Properties within the CEO area may be exempt from obtaining a CDP; however the CEO only applies to the development of single- and two-unit residences and does not include lot mergers. Because the project includes merging two properties, a CDP is required.
- The project will demolish the existing single-unit dwelling located at 2057 Ocean Boulevard and expand the remaining single-unit dwelling located at 2061 Ocean Boulevard. The project conforms to all applicable Title 21 (Local Coastal Implementation Program) development standards including floor area limit, setbacks, height, and off-street parking as evidenced by the project plans and illustrated in Table 1 below.

| Table 1 – Development Standards | | | |
|--|--------------------------------|---|---|
| Development Standard | Standard | Existing | Proposed |
| Setbacks (min.) | | | |
| Front (Ocean Boulevard) | 10 feet | 5 feet ¹ | 5 to 25 feet ¹ |
| Side | 4 feet | 4 feet | 4 feet |
| Rear (Ocean Front Alley) | 0 feet | 2 feet, 5 inches | 2 feet, 5 inches |
| Floor Area Limit (max.) | 8,776 sq. ft. | 3,733 sq. ft. | 6,007 sq. ft. |
| ADU Floor Area (max) | 1,000 sq. ft. | 0 sq. ft. | 893 sq. ft. |
| 3rd Floor Limit (max.) | 658 square feet | 0 sq. ft. | 0 sq. ft. |
| Parking (min.) | 3-car garage and 1 ADU space | 4-car garage | 8-car garage |
| Height (max.)² | 24-feet flat 29-feet sloped | 14 feet, 6 inches flat 27 feet, 10 inches sloped | 14 feet, 6 inches flat 27 feet, 10 inches sloped |
| Open Volume (min.) | 658 square feet | 946 sq. ft. (approx.) | 1,765 square feet |

¹ While the majority of the existing building provides the required 10-foot front setback, building encroaches approximately 5 feet into the front setback as described in the *Background* section above.

² Section 20.48.200(F)(3) (Accessory Dwelling Units – Development Standards) of the NBMC specifies at the height limit of an attached ADU shall be the height limit of the underlying zoning district

Nonconforming Setback

- The existing residence located at 2061 Ocean Boulevard is considered legal nonconforming, as it was lawfully established but does not conform to the current 10-foot front setback requirement as shown in Figure 2 below.

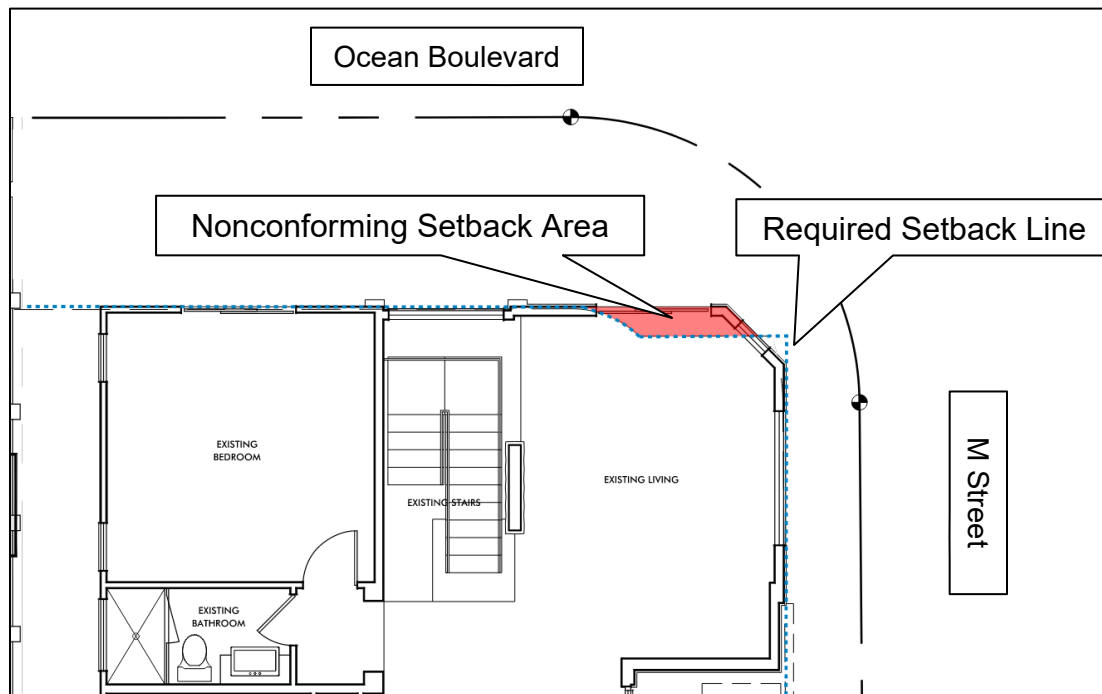


Figure 2: Nonconforming Front Setback

- Section 21.48.200 (B) (Accessory Dwelling Units – Effect of Conforming) of the NBMC, specifies that a project that includes the construction of an ADU shall not be required to correct legally established nonconforming zoning conditions that do not present a threat to public health and safety and are not affected by the construction of the ADU. The proposed ADU and addition are not located near the existing nonconforming portions of the dwelling. Therefore, the project is not required to correct the nonconformity and the single-unit dwelling will remain legal nonconforming.
- Section 21.38.040 (Nonconforming Structures) of the NBMC allows for the expansion of a nonconforming structure up to 50% of existing gross floor area while maintaining existing nonconformities if the nonconformity does not impact coastal access, coastal resources, public coastal views, and is not located in a hazardous area. The project includes a 36% addition, not including the ADU, does not include any features that would obstruct coastal access, and does not obstruct any coastal viewpoints as discussed in the *Public Access, and Views* section below. Additionally, the property is not located near any natural landforms, or abuts the shoreline, and is separated from the beach by a paved road and row of beachfront development and is not located in a hazardous area.
- Section 21.38.040 (G)(2) of the NBMC requires the consideration whether a nonconforming structure could reasonably be made conforming to improve visual quality, whether the addition and retention of the nonconforming elements are visually compatible with the neighborhood, and whether the building is architecturally or historically significant. The project does not include any modifications to the existing nonconforming areas, results in less floor area and massing than the two existing single-unit dwellings and provides more open volume and setbacks than the two existing single-unit dwellings. The proposed design, bulk, and scale of the project is consistent with the existing neighborhood pattern of development and expected future development. Additionally, the nonconforming dwelling is not considered architecturally or historically significant.

Hazards

- While the project is not considered a new structure, the existing first floor of the single-unit dwelling and the proposed ADU will maintain a minimum top of slab elevation of 13.38 feet North American Vertical Datum of 1988 (NAVD 88), which complies with the minimum 9.0-foot NAVD 88 top of slab elevation requirement for interior living areas of new structures. The property is not abutting a shoreline and is separated from the beach by a paved road and row of beachfront development and is approximately 325 feet from the mean high tide line. Given the distance, intervening development and the project exceeding the minimum top of slab elevation by several feet, a coastal hazards report was not required.

Public Access, and Views

- The property is located between the nearest public road and the sea. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project merges two properties, each developed with a single-unit dwelling, into a single property with a single-unit dwelling and ADU. The project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.
- The property is located one block inland from the beach, between L and M Street which are identified by the CLUP as public beach access locations. The project is located entirely on private property and does not include any features that would obstruct coastal access at those locations.
- The project includes total of eight garage parking spaces, which is expected to improve public access opportunities by providing more than the required onsite garage parking spaces, thereby reducing demand for public street parking.
- The potential for the project to degrade coastal views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC. The nearest coastal viewpoint is located at West Jetty View Park, approximately 900 feet east of the property. The project does not obstruct this public view as the project is not visible from that location due to the intervening blocks of development. The project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment. The project will demolish an existing single unit dwelling, add less than 10,000 square feet to an existing single-unit dwelling, and merger two parcels which will conform with the General Plan and NBMC and will continue to maintain access and utility services. Therefore, the Class 3 and 15 exemptions are applicable.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject properties at least 10 days before the scheduled hearing, consistent with the provisions of the NBMC. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

Action on the lot merger shall become final and effective 10 days following the date this Resolution was adopted unless within such time an appeal is filed with the City Clerk in accordance with the provision of Title 19 (Subdivisions) of the NBMC.

Action on the CDP shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the City Clerk by the provisions of Title 21 of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Jerry Arregui
Assistant Planner

JP/ja

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Lot Merger Exhibits
 ZA 4 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, CALIFORNIA, APPROVING A COASTAL DEVELOPMENT PERMIT AND LOT MERGER TO MERGE TWO LOTS UNDER COMMON OWNERSHIP, DEMOLISH ONE EXISTING SINGLE-UNIT DWELLING, AND CONSTRUCT AN ADDITION AND AN ACCESSORY DWELLING UNIT TO THE REMAINING SINGLE-UNIT DWELLING LOCATED AT 2057 AND 2061 OCEAN BOULEVARD (PA2025-0223)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by C.J. Light Associates (Applicant) on behalf of Douglas Jackson (Owner), concerning two contiguous properties located at 2057 and 2061 Ocean Boulevard and legally described as Lot 17 and Lot 16, respectively, Block D, Tract No. 518 (Properties) requesting approval of a coastal development permit and lot merger.
2. The property at 2057 Ocean Boulevard is developed with a 2-story, 1,746-square-foot, single-unit dwelling with an attached 303-square-foot 2-car garage.
3. The property at 2061 Ocean Boulevard is developed with a 2-story, 3,045-square-foot, single-unit dwelling with an attached 688-square-foot 2-car garage. The single-unit dwelling is considered nonconforming, as the Newport Beach Municipal Code (NBMC) requires a 10-foot front setback along Ocean Boulevard; however, a portion of the existing structure encroaches approximately 5 feet into the front setback at the transition between the front and side setbacks at the northwest corner of the property, where the parcel line curves at the intersection of Ocean Boulevard and M Street.
4. The Applicant proposes merging the two Properties (Property) which are held under common ownership, demolishing the existing single-unit dwelling located at 2057 Ocean Boulevard, and expanding the remaining single-unit dwelling at 2061 Ocean Boulevard. Proposed improvements include a 602-square-foot second-floor addition, 779 square feet of additional attached garage space, and an attached 893-square-foot, two-story, accessory dwelling unit (ADU) resulting in a 4,540-square-foot single-unit dwelling with attached ADU and 1,467 square feet of garage space (Project). The Project would not result in a loss of density, would comply with applicable Title 21 (Local Coastal Program Implementation Plan) development standards, and does not request any deviations from Title 19 (Subdivisions) of the NBMC.
5. The Properties are categorized as Single-Unit Residential Detached (RS-D) by the General Plan Land Use Element and are located within the Single-Unit Residential (R-1) Zoning District.

6. The Properties are located within the Coastal Zone. The Coastal Land Use Plan (CLUP) category is Single Unit Residential Detached – 10.0 - 19.9 DU/AC (RSD-C), and it is located within the Single-Unit Residential (R-1) Coastal Zoning District.
7. The Properties are located within the boundaries of the Categorical Exclusion Order (“CEO”), as amended in 2018 (CE-5-NPB-16-1-A1) by the California Coastal Commission (CCC). Properties within the CEO Areas can be exempted from requiring a Coastal Development Permit (CDP). However, the CEO only applies to the development of single- and two-unit residences and does not include lot mergers. Additionally, Section 21.52.035(C)(2) (Projects Exempt from Coastal Development Permit Requirements – Other Existing Structures) of the NBMC requires that projects increasing the floor area by more than 10% obtain a CDP. Because the Project includes merging two lots and constructing an addition greater than 10%, a CDP is required. The Project is not eligible for a waiver for de minimis development because the Properties are in CCC Appeal Area.
8. A public hearing was held on June 25, 2026, online via Zoom. A notice of time, place, and purpose of the hearing was given in accordance with the NBMC. Evidence, both written and oral, was presented to and considered by the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) and Section 15315 under Class 15 (Minor Land Divisions) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.
2. The Class 3 exemption allows the demolition of up to three single-unit residences and additions of up to 10,000 square feet to existing structures. The Project will demolish an existing single unit dwelling and add less than 10,000 square feet to an existing single-unit dwelling. Therefore, the Class 3 exemption is applicable.
3. The exceptions to the Class 3 exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.
4. The Class 15 exemption allows the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning; no variances or exceptions are required; all services and access to the proposed parcels are available; the parcel was not involved in a division of a larger parcel within the previous two years; and the parcel does not have an average slope greater than 20%. This exemption includes minor lot mergers that do not result in the creation of any new parcel and complies with the conditions specified above.

The Project will merge two relatively flat lots into a single lot. The merged lot will be in conformance with the General Plan and NBMC and will maintain both access and utility service. Therefore, the Class 15 exemption is applicable.

SECTION 3. REQUIRED FINDINGS.

Coastal Development Permit

In accordance with Section 21.52.015 (Coastal Development Permits, Findings, and Decision) of the NBMC the following findings, and facts in support of such findings are set forth:

Finding:

A. *Conforms to all applicable sections of the certified Local Coastal Program.*

Fact in Support of Finding:

1. The Project complies with all applicable residential development standards, including, but not limited to, floor area limitation, setbacks, height and parking.
 - a. The maximum floor area limitation is 8,776 square feet and the total proposed floor area is 6,007 square feet.
 - b. The maximum square footage for an attached two-bedroom ADU is 1,000 square feet. The proposed ADU includes two bedrooms and is 893 square feet.
 - c. The majority of the existing single-unit dwelling provides the required 10-foot front setback along Ocean Boulevard; however, an approximately 9-foot-wide portion of the 1st and 2nd floors encroach approximately 5 feet into the front setback. This encroachment is located near the northwest corner of the Property, where the parcel line curves at the intersection of Ocean Boulevard and M Street, at the transition point between the front and side setbacks. The Project will meet the minimum required setbacks including the 10-foot front setback along Ocean Boulevard and the 4-foot setback along each side property line. There is no minimum rear setback requirement from East Oceanfront Alley. The Project does not propose any modification to nonconforming portion of the dwelling and would retain the nonconformity as discussed in Fact 3 in Support of Finding A below.
 - d. The highest guardrail is 14 feet, 6 inches from the established grade (12.50 feet based on the North American Vertical Datum of 1988 NAVD [NAVD 88]) and the highest ridge is 27 feet, 10 inches from the established grade, which complies with the maximum height requirements.
 - e. The Project includes a single-unit dwelling with less than 4,000 square feet of habitable area, an ADU, and proposes eight garage parking spaces within 1,467 square feet of garage area. The Project complies with the minimum two-car

parking space requirement for the single-unit dwelling and the single-car ADU parking requirement.

2. While the Project merges two lots, each historically developed with a single-unit dwelling, the Project complies with the Housing Crisis Act of 2019 and Senate Bill 8 (Skinner) because it does not result in the loss of residential density. The State Department of Housing and Community Development (HCD) has verified with the City in an email dated March 23, 2022, that an ADU is considered a housing unit under Government Code Section 66300 provisions to replace existing units. The Owner has certified that the units are not "protected" units under Section 66330 Subdivision (d)(2). The Project is consistent with the General Plan, Local Coastal Program, and Zoning designations that allow the single-unit and accessory dwelling unit land uses. Table 2.1.1-1 (Land Use Categories) of the CLUP specifies that the Single-Unit Residential Detached (RSD) category is intended to provide a range of detached single-family residential dwelling units on a single legal lot. Pursuant to Table 21.18-1 (Allowed Uses) of Section 21.18.20 (Residential Zoning District Land Uses) of the NBMC, "Single-Unit Dwellings-Detached" and "Accessory Dwelling Units" are allowed uses in the R-1 Coastal Zoning District. The Project results in a single-unit dwelling and an ADU which is consistent with the R-1 Coastal Zoning District and land use designations and does not result in a loss of residential density.
3. Pursuant to Section 21.38.030 (Determination of Nonconformity) of the NBMC, the existing single-unit dwelling is considered legal nonconforming as it was lawfully established but does not conform to the current 10-foot front setback requirement. Pursuant to Section 21.48.200 (B) (Accessory Dwelling Units – Effect of Conforming) of the NBMC, a project that includes the construction of an ADU shall not be required to correct legally established nonconforming zoning conditions that do not present a threat to public health and safety and are not affected by the construction of the ADU. Additionally, the ADU and areas of addition are not located near the nonconforming portions of the dwelling. Therefore, the Project is not required to correct the nonconformity, and the single-unit dwelling will remain legal nonconforming.
4. Section 21.38.040 (G)(1) (Nonconforming Structures – Additions) of the NBMC allows for the expansion of nonconforming structures and the retention of existing nonconforming elements subject to the following:
 - a. *Does not impede public access to and along the sea or shoreline and to coastal parks, trails, or coastal bluffs;*
 - b. *Does not block or impair public views to and along the sea or shoreline or to coastal bluffs and other scenic coastal areas;*
 - c. *Conforms to coastal resource protection development regulations of Section 21.28.040 (Bluff (B) Overlay District), Section 21.28.050 (Canyon (C) Overlay District), Section 21.30.030 (Natural Landform and Shoreline Protection), Chapter 21.30A (Public Access and Recreation), or Chapter 21.30B (Habitat Protection); and*

- d. Is not located within an area identified as hazardous due to erosional factors or coastal hazards.*

The Project is located on the corner of Ocean Boulevard and M Street, one street inland from the Balboa Peninsula Beach. The Property is located between L and M Street, which are identified by the CLUP as public beach access locations. The Project is located entirely within private property and does not include any features that would obstruct coastal access or interfere with the existing nearby public beach access locations. The nearest coastal viewpoint is located at West Jetty View Park, approximately 900 feet east of the Property. The Project does not obstruct any public views as it is not visible from that location due to intervening development. The Property is not located in the designated Bluff or Canyon Overlay District and the Property is not near any natural landforms, or abutting a shoreline, and is separated from the beach by a paved road and row of beachfront development and is not located in a hazardous area.

5. Section 21.38.040 (G)(2) (Nonconforming Structures – Additions) of the NBMC allows a nonconforming structure to be expanded up to 50% of the existing gross floor area. The existing residence is developed with 3,733 square feet of gross floor area. The Project proposes 1,381 square feet (36%) of additional floor area, inclusive of the 2nd floor addition and additional garage space. Pursuant to Section 21.48.200 (B) (Accessory Dwelling Units – Effect of Conforming) of the NBMC, the ADU shall not count towards the 50% threshold. Therefore, the Project complies with the limitation for additions to nonconforming residential structures.
6. Pursuant to Section 21.38.040 (G)(2) (Nonconforming Structures – Additions) of the NBMC, when reviewing a CDP for an expansion of a nonconforming residential structure, the review authority shall consider the following:
- Whether the nonconforming structure can be modified to, or replaced with, a conforming structure that would restore or enhance visual quality in a visually degraded area;*
 - Whether the nonconforming structure, with or without the proposed addition, is visually compatible with the character of the surrounding area; and*
 - Whether the nonconforming structure is architecturally or historically significant.*

Modifying the existing residence to comply with the front setback requirement would require removal of a 9-foot-wide portion of the front wall of the residence. The intent of the Project is to provide additional living area by proposing a 602-square-foot addition to the 2nd floor and an attached, 893-square-foot, two story ADU on the southwest side of the Property, away from the existing nonconformity.

The neighborhood is developed with a range of one to three story single-unit dwellings. The additional square footage being added is less than the existing dwelling unit, located at 2057 Ocean Boulevard, which results in more open volume. Additionally, the ADU is setback approximately 25 feet from Ocean Boulevard, where 10 feet is required. The proposed design, bulk, and scale of the Project is consistent with the existing neighborhood pattern of development and expected future development, therefore, the

Project would not create a visually degrading area. The nonconforming residence is not considered architecturally or historically significant.

7. The Project includes an addition to the second floor, additional garage space, and an attached ADU. While the Project is not considered a new structure, the existing first floor of the single-unit dwelling and the proposed ADU will maintain a minimum top of slab elevation of 13.38 feet NAVD 88, which complies with the minimum 9.0-foot NAVD 88 top of slab elevation requirement for interior living areas of new structures. The Property is not abutting a shoreline and is separated from the beach by a paved road and row of beachfront development and is approximately 325 feet from the mean high tide line. Given the distance, intervening development and the Project exceeding the minimum top of slab elevation by several feet, a coastal hazards report was not required.
8. Pursuant to Section 21.30.015(D)(3)(c) (General Site Planning and Development Standards) of the NBMC, the owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority. This requirement is included as Condition of Approval No. 12 which is required to be satisfied prior to the issuance of building permits.
9. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of building permits. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance
10. The Property is not located within the vicinity of coastal view roads but is located within the vicinity of a designated coastal viewpoint as identified in the CLUP. The potential for the Project to degrade coastal views has been analyzed in accordance with Section 21.30.100 (Scenic and Visual Quality Protection) of the NBMC. The nearest identified coastal viewpoint is located at West Jetty View Park, located approximately 900 feet east of the Property. The Project is not visible from that location due to the intervening blocks of development and therefore does not have the potential to degrade not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on public views.

Finding:

- B. *Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.*

Fact in Support of Finding:

1. The Property is located between the nearest public road and the sea. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the

provision of public access bear a reasonable relationship between the requirement and the Project's impact and be proportional to the impact. In this case, the Project merges two lots, each developed with a single-unit dwelling, into a single lot with a single-unit dwelling and ADU. Therefore, the Project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities.

2. The Project includes total of eight garage parking spaces which is expected to improve public access opportunities by providing more than the required onsite garage parking spaces, thereby reducing demand for public street parking.
3. Fact 4 in Support of Finding A is hereby incorporated by reference.

Lot Merger

In accordance with Section 19.68.030(H) (Lot Mergers – Required Findings) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

- C. *Approval of the merger will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the City, and further that the proposed lot merger is consistent with the legislative intent of this title.*

Facts in Support of Finding:

1. The Project will combine two lots under common ownership into a single lot by removing the interior lot line between them. Therefore, the Project is consistent with the purpose and intent of Section 19.04.020 (Purpose and Applicability) of Title 19 (Subdivisions) of the NBMC.
2. The Project is subject to Title 20 (Planning and Zoning) of the NBMC, which is intended to promote orderly development, protect neighborhood character, and preserve public health, safety, and general welfare of the City.
3. General Plan Land Use Element Policy LU 4.2 (Prohibition of New Residential Subdivisions) prohibits new residential subdivisions that would result in additional dwelling units unless authorized by an amendment to the General Plan. The lot merger will not result in the creation of additional lots or dwelling units and is therefore consistent with Policy LU 4.2.
4. The Project has been reviewed by the Building Division, Fire Department, and Public Works Department and conditions of approval which are attached hereto as Exhibit "A".

Finding:

D. *The lots to be merged are under common fee ownership at the time of the merger.*

Fact in Support of Finding:

1. The Properties are under common fee ownership, as evidenced by the preliminary title report submitted with the application.

Finding:

E. *The lots as merged will be consistent or will be more closely compatible with the applicable zoning regulations and will be consistent with other regulations relating to the subject property including, but not limited to, the General Plan and any applicable Coastal Plan or Specific Plan.*

Fact in Support of Finding:

1. The merged lot will retain the Single-Unit Residential (R-1) zoning district, consistent with the surrounding area. The R-1 zoning district is intended to provide areas appropriate for the development of detached, single-family, residential dwelling units on a single lot. The Project proposes a single-family residential dwelling unit with an attached ADU on a single legal lot, consistent with the intent of the R-1 district.
2. Section 20.18.030 (Residential Zoning Districts General Development Standards) of the NBMC establishes a minimum lot area of 6,000 square feet and a minimum lot width of 60 feet for corner lots located within the R-1 zoning district. The Properties are approximately 2,625 and 3,024 square feet, and approximately 37.65 and 44.02 feet wide, respectively, and do not meet minimum requirements. The Project results in an approximately 5,649-square-foot and 81.67-foot-wide corner lot, which complies with the minimum lot width requirement and is more closely compatible with minimum lot area requirement.
3. The Properties are also categorized as Single Unit Residential Detached (RSD-C) by the CLUP, which provides for density ranging from 10.0 to 19.9 dwelling units per acre. The density ranges specified within the CLUP are not intended to establish minimum densities on individual sites, rather to evaluate neighborhoods on a regional scale. Table 21.18-2 (Development Standards for Single-Unit Residential Coastal Zoning Districts) of Section 21.18.030 (Residential Coastal Zoning Districts General Development Standards) of the NBMC, does not include a development standard that establishes minimum density limits for properties within the R-1 Coastal Zoning District. The Project proposes a single-unit dwelling unit with an attached ADU, consistent with the CLUP land use category.
4. The Properties are not located within a specific plan area.

Finding:

F. *Neither the lots as merged nor adjoining parcels will be deprived of legal access as a result of the merger.*

Fact in Support of Finding:

1. Legal access is provided from Ocean Boulevard, M Street, and East Ocean Front Alley, and will not be affected by the Project.
2. The Project will not deprive the adjacent parcels of legal access. Adjacent parcels will maintain the same legal access on Ocean Boulevard, M Street, and East Ocean Front Alley.

Finding:

- G. *The lots as merged will be consistent with the pattern of development nearby and will not result in a lot width, depth or orientation, or development site that is incompatible with nearby lots. In making these findings, the review authority may consider the following:*
- i. *Whether the development of the merged lots could significantly deviate from the pattern of development of adjacent and/or adjoining lots in a manner that would result in an unreasonable detriment to the use and enjoyment of other properties.*
 - ii. *Whether the merged lots would be consistent with the character or general orientation of adjacent and/or adjoining lots.*
 - iii. *Whether the merged lots would be conforming or in greater conformity with the minimum lot width and area standards for the zoning district.*

Facts in Support of Finding:

1. The Project is required to meet all applicable development standards within Title 20 (Planning and Zoning) of the NBMC and is therefore not expected to significantly deviate from the neighborhood pattern of development or result in an unreasonable detriment to the use and enjoyment of other properties.
2. Most properties within the vicinity of the Project range between 2,500 to 4,000 square feet in area; however, several properties range between 6,000 to 9,000 square feet. Additionally, several properties along East Balboa Boulevard range between 10,000 and 30,000 square feet. Therefore, the resulting 5,649-square-foot lot is within the range of existing lot sizes.
3. Properties within the vicinity of the Project range between 60 to 100 feet in width. Therefore, the resulting 81.67-foot-wide lot is within the range of existing lot widths.
4. The Project will create a lot that remains consistent with the character and general orientation of adjacent properties.
5. Fact 1 in Support of Finding A is hereby incorporated by reference.

6. Fact 2 in Support of Finding E is hereby incorporated by reference.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds this Project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) and Section 15315 under Class 15 (Minor Land Divisions) and of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit and Lot Merger filed as PA2025-0223, subject to the conditions set forth in Exhibit "A", which is attached hereto and incorporated by reference.
3. The action on the CDP shall become final and effective 14 days following the date of this Resolution was adopted unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 (Planning and Zoning) of the NBMC.
4. This action on the Lot Merger shall become final and effective 10 days following the date this Resolution was adopted unless within such time an appeal is filed with the City Clerk in accordance with the provision of Title 19 (Subdivisions) of the NBMC.
5. Final action taken by the City may be appealed to the Coastal Commission in accordance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified Local Coastal Program and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 25TH DAY OF JUNE 2026.

Liz Westmoreland, AICP, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

(Project-specific conditions are in italics)

1. The Project shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. Revisions to the approved plans may require an amendment to this CDP or the processing of a new CDP.
3. The Project is subject to all applicable City ordinances, policies, and standards unless specifically waived or modified by the conditions of approval.
4. The Applicant shall comply with all federal, state, and local laws. A material violation of any of those laws in connection with the use may be caused by the revocation of this CDP.
5. This approval may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained are detrimental to the public health, and welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained to constitute a public nuisance.
6. Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.
7. This approval shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
8. *Prior to the recordation of the lot merger, the two lots shall be held entirely under one common fee ownership*
9. *The map shall be submitted to the Public Works Department for final map review and approval. All applicable fees shall be paid*
10. *Prior to the issuance of a demolition permit for demolition of the single unit dwelling located at 2057 Ocean Boulevard, the Applicant shall submit plans to the Building Division for an ADU located at 2061 Ocean Boulevard.*
11. *Prior to the issuance of a building permit for the construction across existing interior lot lines, the Applicant shall provide evidence of the recordation of the lot merger with the County Recorder.*

12. *Prior to the issuance of a building permit, the Owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development.*
13. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers.
14. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.
15. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
16. Debris from demolition shall be removed from work areas each day and removed from the Property within 24 hours of the completion of the Project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
17. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
18. Prior to the issuance of a building permit, the Applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.
19. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.

-
20. The Applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
- A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, 2 or 1 short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
21. Construction activities shall comply with Section 10.28.040 (Construction Activity – Noise Regulations) of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturday, Sundays, or Holidays.
22. All noise generated by the proposed use shall comply with Chapter 10.26 (Community Noise Control) and other applicable noise control requirements of the NBMC.
23. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
24. Should the property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by the current property owner or agent.
25. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold harmless the City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Jackson Residence** including, but not limited to **the Coastal Development Permit and Lot Merger and filed as PA2025-0223**. This indemnification shall include, but not be limited to, damages awarded against the City, if

any, costs of suit, attorney's fees, and other expenses incurred in connection with such claim, action, causes of action, suit, or proceeding whether incurred by the applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all the City's costs, attorneys' fees, and damages, which the City incurs in enforcing the indemnification provisions outlined in this condition. The applicant shall pay to the City upon demand any amount owed to the City under the indemnification requirements prescribed in this condition.

Building Division

26. The Applicant shall obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code (CBC).

Public Works Department

27. The two existing street trees along the 2057 Ocean Boulevard frontage shall be removed and two 48-inch box Strawberry trees (*arbutus undedo*) shall be planted with a minimum of 12 and up to 15-foot spacing from each other and adjacent City trees.
28. The existing gates along the M Street frontage shall be modified to not swing over the sidewalk and public right-of-way.
29. A new sewer cleanout on the existing sewer lateral serving 2057 Ocean Boulevard shall be installed per City Standard 406.
30. A new Americans with Disabilities Act (ADA) compliant curb ramp at the corner of M Street and Ocean Boulevard shall be installed per City Standard.

Fire Department

31. A residential fire sprinkler system complying with NFPA13D shall be required.
32. At least one unobstructed walkway from the front to the rear of the Property at a minimum of 36 inches wide shall be required for emergency access.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP



Coastal Development Permit
Lot Merger
(PA2025-0223)
2057 & 2061 Ocean Boulevard

Attachment No. ZA 3

Lot Merger Exhibits

EXHIBIT 'A'
CITY OF NEWPORT BEACH
LOT MERGER PA2025-0223
(MAP)

| | Existing Parcels AP Number | Proposed Parcels Reference Number |
|---|----------------------------|-----------------------------------|
| DOUGLAS JACKSON AND JEANNE JACKSON, TRUSTEES OF THE JACKSON REVOCABLE TRUST, DATED 12/19/1999 | 048-262-14 | PARCEL 1 |
| DOUGLAS JACKSON AND JEANNE JACKSON, TRUSTEES OF THE JACKSON REVOCABLE TRUST, DATED 12/19/1999 | 048-262-15 | PARCEL 1 |

PARCEL 1:

LOT 16 OF TRACT NO. 518, BLOCK D, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGES 33 THROUGH 36, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE RECORDER OF SAID ORANGE COUNTY.

TOGETHER WITH,

THE EAST 37.5 FEET OF LOT 17 OF TRACT NO. 518, BLOCK D, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGES 33 THROUGH 36, INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE RECORDER OF SAID ORANGE COUNTY.

CONTAINING 5648 SQUARE FEET, MORE OR LESS.

ALL AS SHOWN ON EXHIBIT 'B' ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.



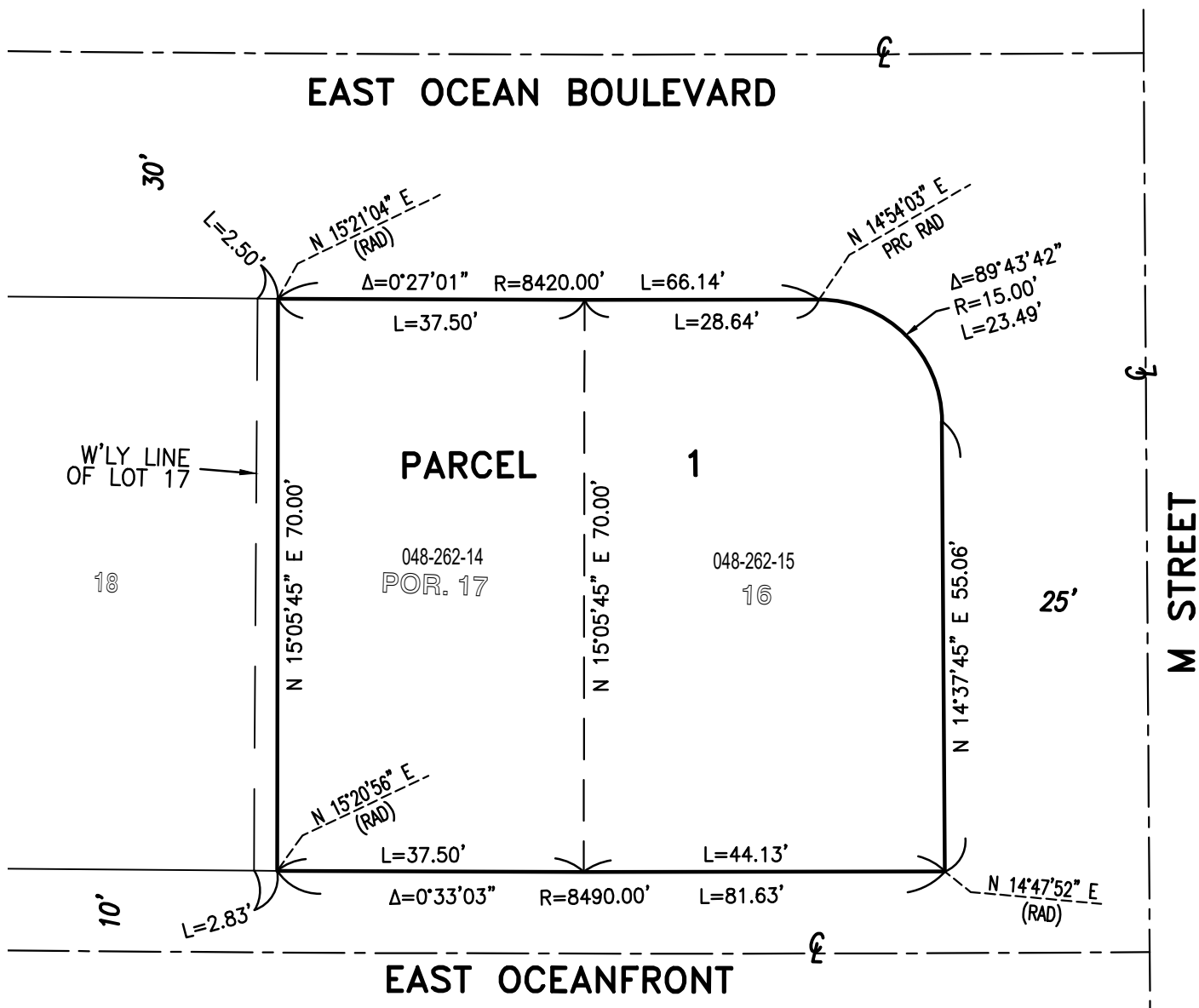
PREPARED BY ME OR UNDER MY DIRECTION
ON: 01/07/26


Wm Alan Brooks **LS 6921**

SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS,
RESERVATIONS, RIGHTS, RIGHTS OF WAY, AND OTHER MATTERS OF RECORD, IF
ANY.




EXHIBIT 'B'
 CITY OF NEWPORT BEACH
 LOT MERGER PA2025-0223
 (MAP)

| Owners | Existing Parcels AP Number | Proposed Parcels Reference Number |
|---|----------------------------|-----------------------------------|
| DOUGLAS JACKSON AND JEANNE JACKSON, TRUSTEES OF THE JACKSON REVOCABLE TRUST, DATED 12/19/1999 | 048-262-14 | PARCEL 1 |
| DOUGLAS JACKSON AND JEANNE JACKSON, TRUSTEES OF THE JACKSON REVOCABLE TRUST, DATED 12/19/1999 | 048-262-15 | PARCEL 1 |



SCALE:  1"=20'

LEGEND:

-  EXISTING LOT LINE TO REMAIN
-  EXISTING LOT LINE TO BE REMOVED
-  ADJACENT PROPERTY LINE



PREPARED BY ME OR UNDER MY DIRECTION
 ON: 01/07/26


Wm Alan Brooks **LS 6921**

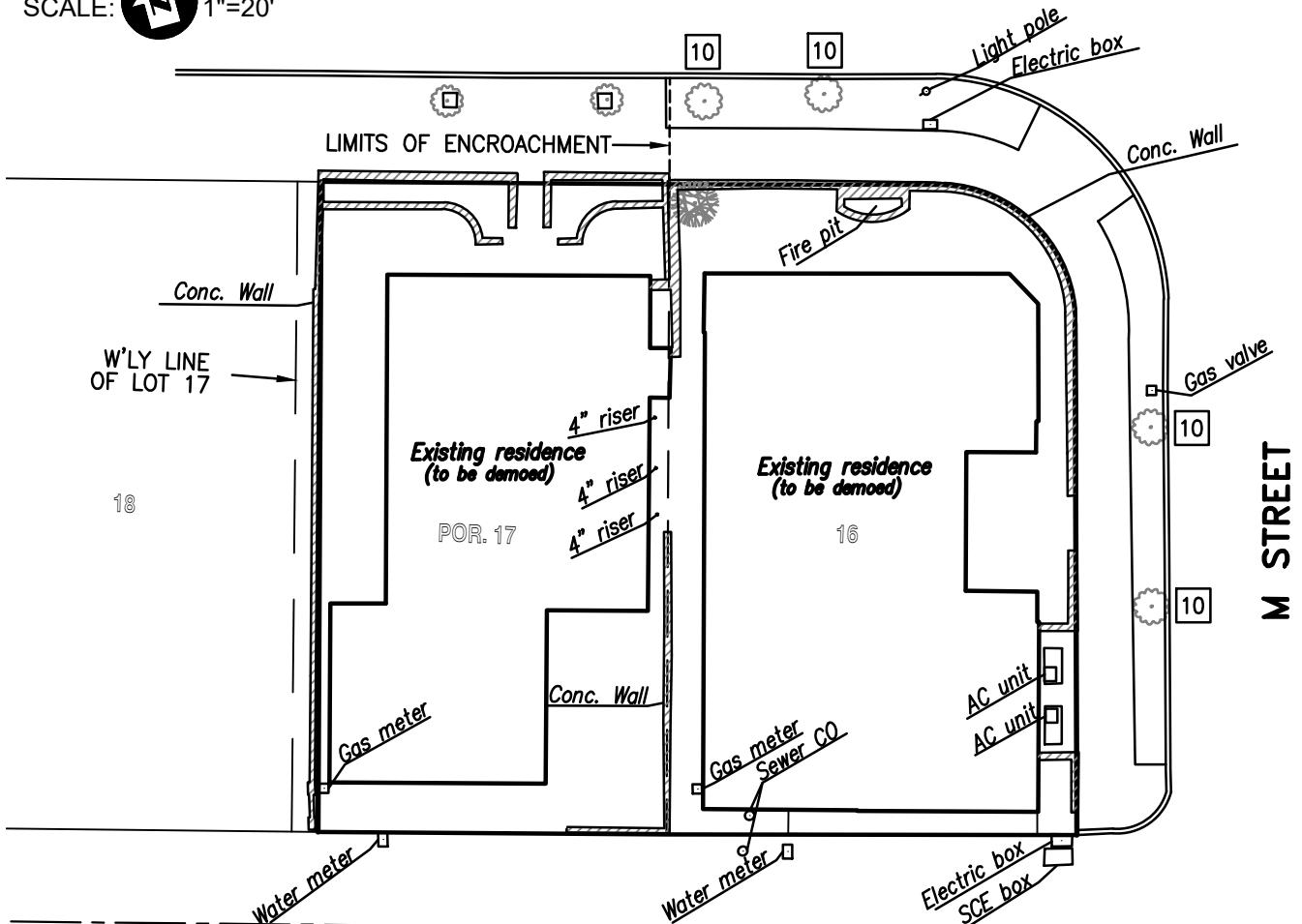
EXHIBIT 'C'
 CITY OF NEWPORT BEACH
 LOT MERGER PA2025-0223
 (SITE PLAN)

SHEET 1 OF 1

| Owners | Existing Parcels AP Number | Proposed Parcels Reference Number |
|---|----------------------------|-----------------------------------|
| DOUGLAS JACKSON AND JEANNE JACKSON, TRUSTEES OF THE JACKSON REVOCABLE TRUST, DATED 12/19/1999 | 048-262-14 | PARCEL 1 |
| DOUGLAS JACKSON AND JEANNE JACKSON, TRUSTEES OF THE JACKSON REVOCABLE TRUST, DATED 12/19/1999 | 048-262-15 | PARCEL 1 |

EAST OCEAN BOULEVARD





SCALE:  1"=20'



EAST OCEANFRONT

10 THE EFFECT OF ENCROACHMENT AGREEMENT BETWEEN OWNER OF LOT 16 AND THE CITY OF NEWPORT BEACH TO ENCROACH WITHIN RIGHT-OF-WAY OF EAST OCEAN BOULEVARD AND M STREET FOR THE PURPOSE OF PLANTING TREES RECORDED OCTOBER 5, 1995 AS INSTRUMENT NO. 1995-438153 OF OFFICIAL RECORDS. (AFFECTS PROPERTY. LOCATION OF TREES SHOWN HEREON)

LEGEND:

-  EXISTING LOT LINE TO REMAIN
-  EXISTING LOT LINE TO BE REMOVED
-  ADJACENT PROPERTY LINE
-  EASEMENT LINE



PREPARED BY ME OR UNDER MY DIRECTION
 ON: 01/07/26


 Wm Alan Brooks LS 6921

SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, RIGHTS, RIGHTS OF WAY, AND OTHER MATTERS OF RECORD, IF ANY.

Attachment No. ZA 4

Project Plans



CHRISTIAN R. LIGHT • ARCHITECT

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8845
Fax (949) 851-1116

The Client, the Architect and other persons engaged in preparing these plans are not to be held responsible for any errors or omissions in this document. It is the responsibility of the client to verify the accuracy of the information provided. The Architect and other persons engaged in preparing these plans are not to be held responsible for any errors or omissions in this document. It is the responsibility of the client to verify the accuracy of the information provided. The Architect and other persons engaged in preparing these plans are not to be held responsible for any errors or omissions in this document. It is the responsibility of the client to verify the accuracy of the information provided.

CUSTOM REMODEL & ADU FOR
2061 E. OCEAN BLVD.
NEWPORT BEACH • CA • 92661

EXISTING PLAN

Job Number 2409

BUILDING DEPT. SUBMITTAL 1
12-05-2025

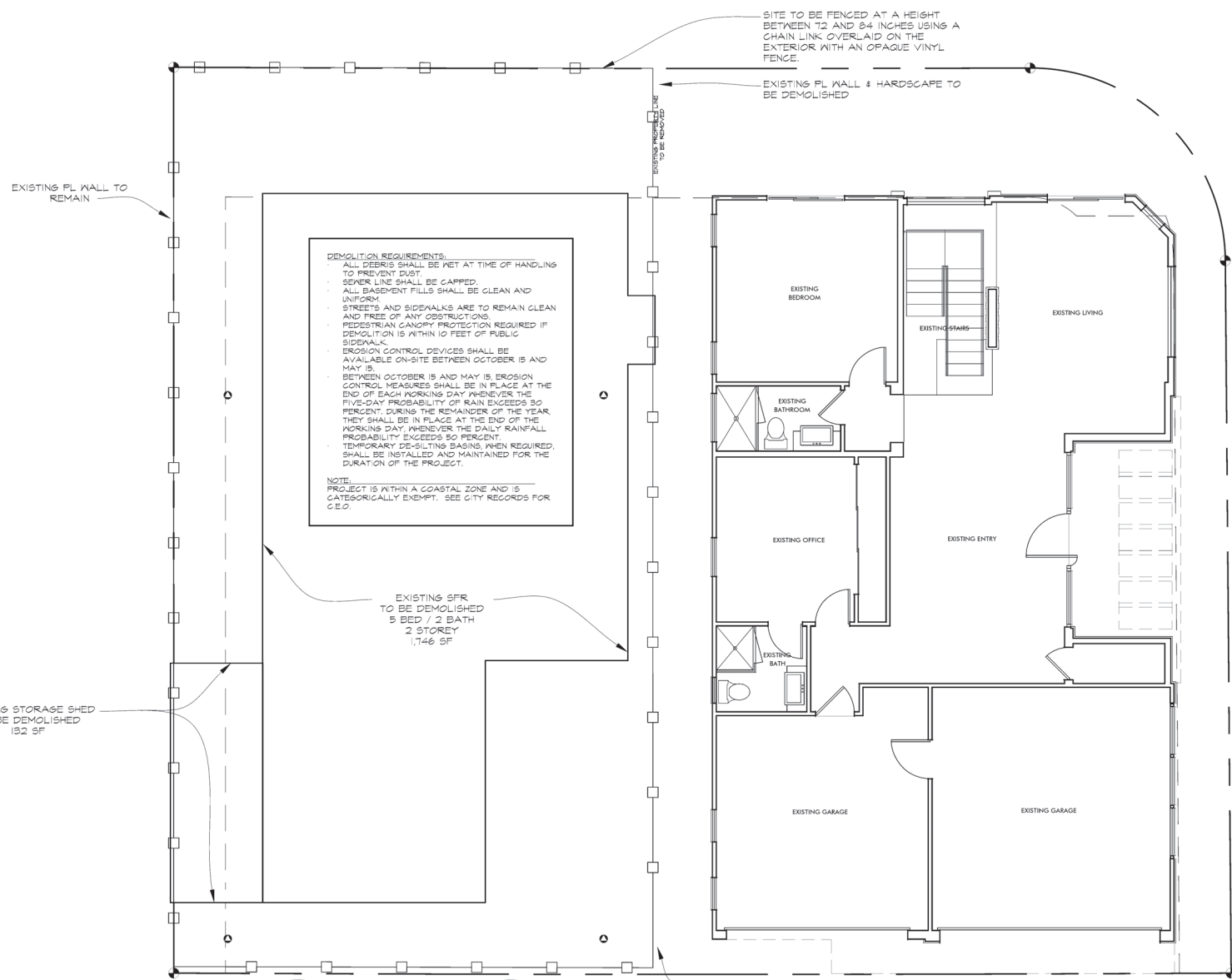
CCC & BUILDING OPT. SUB. 2
2-25-2026

CCC & BUILDING OPT. SUB. 3
3-31-2026

CCC & BUILDING OPT. SUB. 4
3-31-2026



A1



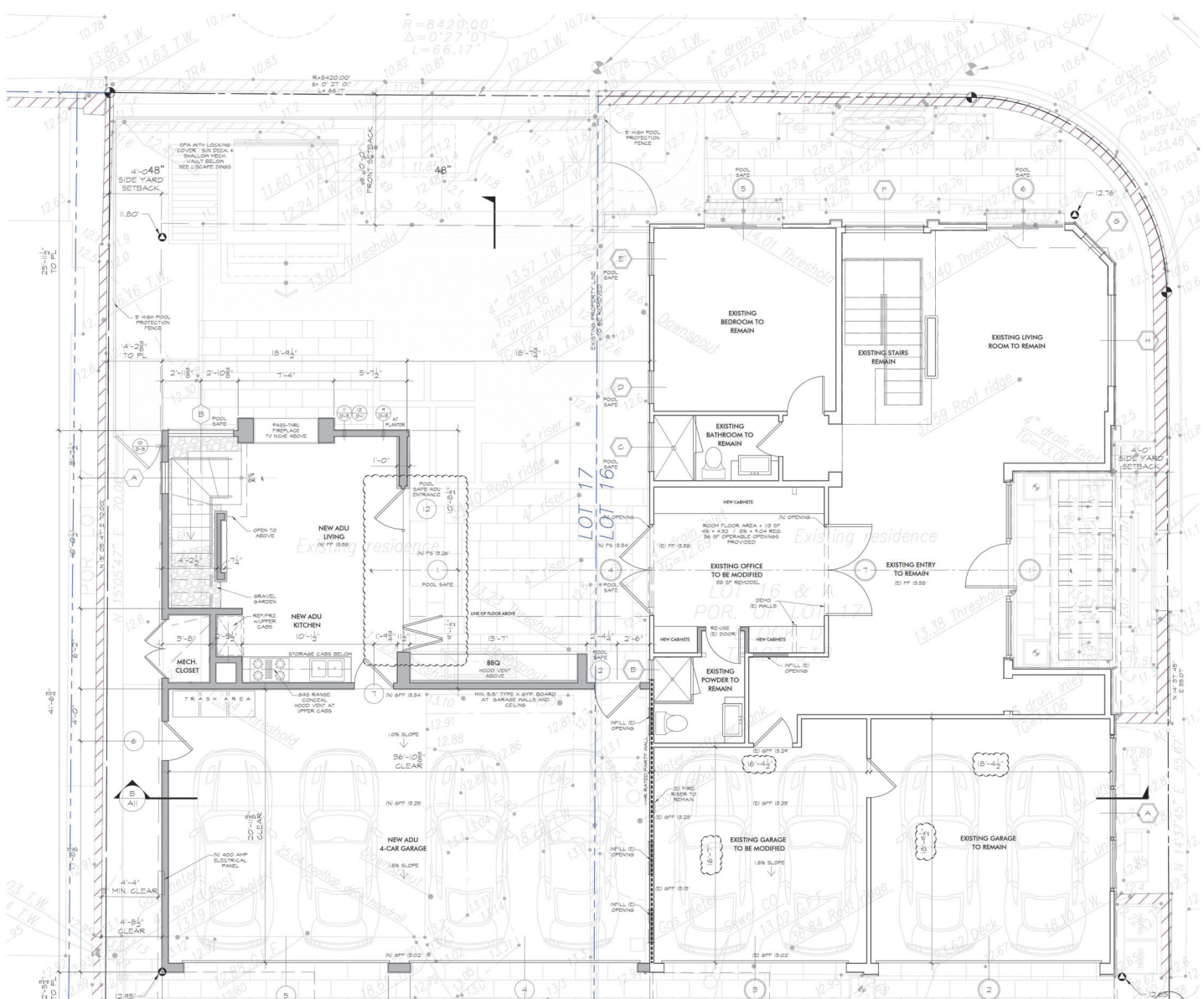
DEMOLITION REQUIREMENTS:

- ALL DEBRIS SHALL BE NET AT TIME OF HANDLING TO PREVENT DUST.
- SEWER LINE SHALL BE CAPPED.
- ALL BASEMENT FILLS SHALL BE CLEAN AND UNIFORM.
- STREETS AND SIDEWALKS ARE TO REMAIN CLEAN AND FREE OF ANY OBSTRUCTIONS.
- PEDESTRIAN CANOPY PROTECTION REQUIRED IF DEMOLITION IS WITHIN 10 FEET OF PUBLIC SIDEWALK.
- EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 50 PERCENT; DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
- TEMPORARY DE-SILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

NOTE:
PROJECT IS WITHIN A COASTAL ZONE AND IS CATEGORICALLY EXEMPT. SEE CITY RECORDS FOR C.E.O.

City of Newport Beach

LOWER LEVEL PLAN
1/4" = 1'-0"



FLOOR PLAN NOTES

- 1. SPATIAL
- 2. LINE OF FLOOR AND/OR WALL ABOVE
- 3. LINE OF FLOOR AND/OR WALL BELOW
- 4. EXTERIORS
- 5A. STONE VENEER PER OWNER
- 5B. WOOD VENEER PER OWNER
- 6. INTERIORS
- 7. MAX RISER HEIGHT SHALL BE 7"
- 8. NTC SHALL HAVE MIN. 1" CLEARANCE ON EACH SIDE AS MEASURED FROM CENTER OF TOILET SHIELD AND PILE
- 9. SHOWER WALL COVERINGS SHALL BE NONABSORBENT SUCH AS CEMENT PLASTER, TILE OR APPROVED EQUAL TO 2" ABS FF AT SHOWER OR TUB PER IRCM 2
- 10. CEMENT, FIBER-CEMENT, FIBER MAT REINFORCED CEMENT, GLASS MAT REINFORCED CEMENT, FIBER REINFORCED GYPSUM BACKERS SHALL BE USED AS BASE FOR WALL TILE IN TUB & SHOWER AREA & WALL & CEILING PANELS IN SHOWER AREAS
- 11. TEMPERED GLAZING WHERE 60" OR LESS ABOVE TUB OR SHOWER FLOOR PER CRC R308 & 5
- 12. 1-HR FIRE RATED PARTY WALL PER R302.3.4.1
- 13. OPENINGS
- 14. THRESHOLD OFFSET 1/2" MIN - 1/162" MAX
- 15. APPLIANCES
- 16. VERIFY ALL CLEAR DIMENSIONS
- 17. REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 18. BUILT-IN DISHWASHER
- 19. COOKTOP WITH VENT HOOD
- 20. CABINETS AND COUNTERS
- 21. BUILT-IN CABINET (C)
- 22. VANITY - 32" AFF
- 23. LINE OF CABINETS/UPPER/LOWER
- 24. PLUMBING
- 25. VERIFY WITH BUILDER SPECS
- 26. SINK WITH GARBAGE DISPOSAL
- 27. HOT MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE FLOOR AND FULL HEIGHT MANSOOP. PROVIDE SHATTER RESISTENT GLASS ENCLOSURE. SHOWER HEAD AT 64" AFF
- 28. WASHER SPACE. PROVIDE RECESSED HOT AND COLD WATER BIBBS, FLOOR PAN AND DRAIN (SECOND FLOOR ONLY)
- 29. MECHANICAL
- 30. DRYER SPACE. PROVIDE DRYER VENT TO OUTSIDE AIR PER 2022 CMC
- 31. SCREENED COMBUSTION AIR VENTS, HIGH AND LOW, PER 2022 CMC

AGING IN PLACE

- NEWLY CONSTRUCTED DWELLINGS SHALL COMPLY WITH AGING IN PLACE AND FALL PREVENTION (CRC R327):
1. AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT FOR GRAB BARS, WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH CRC R327.1.1. PROVIDE CONSTRUCTION DETAIL SHOWING COMPLIANCE WITH THIS REQUIREMENT.
 2. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR, CRC R327.1.2.
 3. AT LEAST ONE BATHROOM AND ONE BATHROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32" INCHES, MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION, CRC R327.1.3.
 4. DOORBELL BUTTONS SHALL NOT BE INSTALLED MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING, CRC R327.1.4.

ADU.

ALL PARTY WALLS AND FLOOR CEILING SEPARATIONS BETWEEN MAIN RESIDENCE AND ACCESSORY DWELLING UNIT SHALL RECEIVE:

TYPE 'X' 5/8" OYD BOARD, 1-HR. FIRE RATED WALL EXTENDS TO UNDERSIDE OF ROOF SHEATHING. PROVIDE (2) LAYERS EACH SIDE, RESILIENT CHANNEL, AND R13 BATT INSULATION. TESTED: 1-HR FIRE RATING AND 55-60 STC PER UL DESIGN U341, NBMC 15.05.230, CBC 109.2 & 109.3.

LEGEND

| | |
|----------|---|
| [Symbol] | NEW WALL FRAMING |
| [Symbol] | NEW 4" WALL FRAMING |
| [Symbol] | NEW 1/2" MIN BATS & 5/8" OYD PARTY WALL |
| [Symbol] | EXISTING TO REMAIN |
| [Symbol] | EXISTING TO BE REMOVED |

GENERAL NOTES

- SEE CABINET DRAWINGS BY KITCHEN DESIGNER. ALL EQUIPMENT, APPLIANCES, AND FIXTURES ARE AS SELECTED BY BUILDER AND INSTALLED PER MFR'S RECOMMENDATION.
- 1. TEMPERED GLASS (TYP)
 - 2. EMERGENCY EGRESS WINDOW (TYP)
 - 3. NET OPERABLE HEIGHT SHALL BE 27" MIN
 - 4. NET OPERABLE WIDTH SHALL BE 20" MIN
 - 5. FINISH FLOOR HEIGHT OF 4" MAX. UNFINISHED LINE INDICATES SOFFIT ABOVE (U.A.O.). SEE SOFFIT PLAN.
 - 6. ALL LIGHTING SHALL BE HIGH EFFICACY PER SECTION 150.0.0
 - 7. EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEETS 1000, EXC. 5 TO 150.2(A) & APHNE STD. 82.2
 - 8. FACTORY-BUILT FIREPLACES TO BEAR THE STAMP OF AN APPROVED TESTING LAB AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND MANUFACTURER'S INSTRUCTIONS (CRC R1024.1) U.L. 127
 - 9. SAFETY GLAZING DESIGNATION SHALL BE PERMANENTLY MARKED PER CRC R308.1
 - 10. SHOWER SHALL BE PROVIDED WITH MIXING VALVE IN ACCORDANCE WITH AISE 112.18.1 / CSA B125.1 (CRC 408.3)
 - 11. THE POOL BARRIER SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS: (NBMC 15.09, CBC 3102.2.1 (1923), & (SPRC 305.2.7))
 - 10.1. MINIMUM HEIGHT OF 5 FT ABOVE GRADE, MEASURED FROM OUTSIDE OF THE POOL AREA
 - 10.2. MINIMUM 45 INCHES BETWEEN HORIZONTAL MEMBERS
 - 10.3. MAXIMUM 4 INCH CLEARANCE BETWEEN VERTICAL MEMBERS
 - 10.4. NO PART OF THE HORIZONTAL OR VERTICAL MEMBERS, DECORATIVE CUTOUTS SHALL NOT EXCEED 1.75 INCHES IN WIDTH
 - 10.5. MAXIMUM 2 INCH VERTICAL CLEARANCE BETWEEN THE BOTTOM OF FENCE AND GROUND.
 - 10.6. CHAIN LINK MESH MAXIMUM SIZE SHALL BE A 1.75 INCH SQUARE. WHEN PROVIDED WITH SLATS FASTENED AT THE TOP AND BOTTOM WHICH REDUCE THE OPENING TO NO MORE THAN 1.75 INCHES.
 - 12. WHERE ANY WALL OF A DWELLING SERVES AS PART OF A POOL/SPA BARRIER AND DOORS FROM THE DWELLING PROVIDE DIRECT ACCESS TO THE POOL. THOSE DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING: (NBMC 15.09, (SPRC 304.6))
 - 12.1. ALL DOORS PROVIDING DIRECT ACCESS TO THE POOL/SPA AREA FROM THE RESIDENCE SHALL BE EQUIPPED WITH A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED AT 54 INCHES OR MORE ABOVE THE FLOOR.
 - 12.2. ALL DOORS PROVIDING DIRECT ACCESS TO THE POOL/SPA AREA FROM THE RESIDENCE SHALL BE EQUIPPED WITH EXIT ALARMS.
 - 13. RISER HEIGHT AND TREAD DEPTH OF STAIRS SHALL COMPLY WITH THE FOLLOWING:
 - 13.1. MAXIMUM RISE OF 7" AND MINIMUM RUN OF 10"
 - 13.2. PROVIDE A NOSING BETWEEN 0.75" AND 1.25" ON STAIRWAYS WITH SLOID RISERS WHERE TREAD DEPTH IS LESS THAN 11". R311.7.5.3 AND EXCEPTION 1.
 - 13.3. MINIMUM HEADROOM OF 6'-6". R311.7.2
 - 13.4. MINIMUM HEADROOM OF 6'-6". R311.7.2
 - 14. WIDER TREADS SHALL COMPLY WITH THE FOLLOWING:
 - 14.1. SHALL HAVE A MINIMUM TREAD DEPTH OF 10" AT A POINT 12" FROM THE NARROW SIDE, R311.7.2.1 AND R311.7.4
 - 14.2. SHALL HAVE A MINIMUM TREAD DEPTH OF 8" AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR.
 - 15. HANDRAILS SHALL SATISFY THE FOLLOWING:
 - 15.1. PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES, R311.7.8
 - 15.2. HANDRAIL HEIGHT SHALL BE 34" TO 38" ABOVE THE FINISH FLOOR.
 - 15.3. HANDRAIL WITH CIRCULAR CROSS-SECTIONS SHALL HAVE A DIAMETER OF 1 1/2" TO 2". R311.7.8.1 ITEM 1
 - 15.4. HANDRAILS WITH OTHER THAN CIRCULAR CROSS-SECTIONS SHALL HAVE A PERIMETER OF 4" TO 6" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2". R311.7.8.1 ITEM 1
 - 15.5. HANDRAILS WITH A PERIMETER GREATER THAN 6" SHALL COMPLY WITH R311.7.8.5 ITEM 2
 - 15.6. HANDRAILS SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POST OR OTHER OBSTRUCTION EXCEPT AT THE LANDING, VOLUTE, OR TURNOUT ONO LOWEST TREAD, R311.7.8.4, EXCEPTION 14D.
 - 15.7. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1" MINIMUM, R311.7.8.3
 - 16. GUARDS (GUARDRAILS) SHALL MEET THE FOLLOWING:
 - 16.1. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE, R312.1.1
 - 16.2. GUARD HEIGHT SHALL BE A MINIMUM OF 42". R312.1.2
 - 16.3. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE, R312.1.3
 - 16.4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE, R312.1.3, EXCEPTION 1.
 - 16.5. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE, 312.1.3, EXCEPTION 2.
 - 17. THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER JUNE 1, 2019 AS REQUIRED BY NBMC SECTION 15.02.095

C. J. LIGHT ARCHITECTS

CHRISTIAN R. LIGHT • ARCHITECT

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8348
Fax (949) 851-1116

CUSTOM REMODEL & ADU FOR
2061 E. OCEAN BLVD.
NEWPORT BEACH • CA • 92661

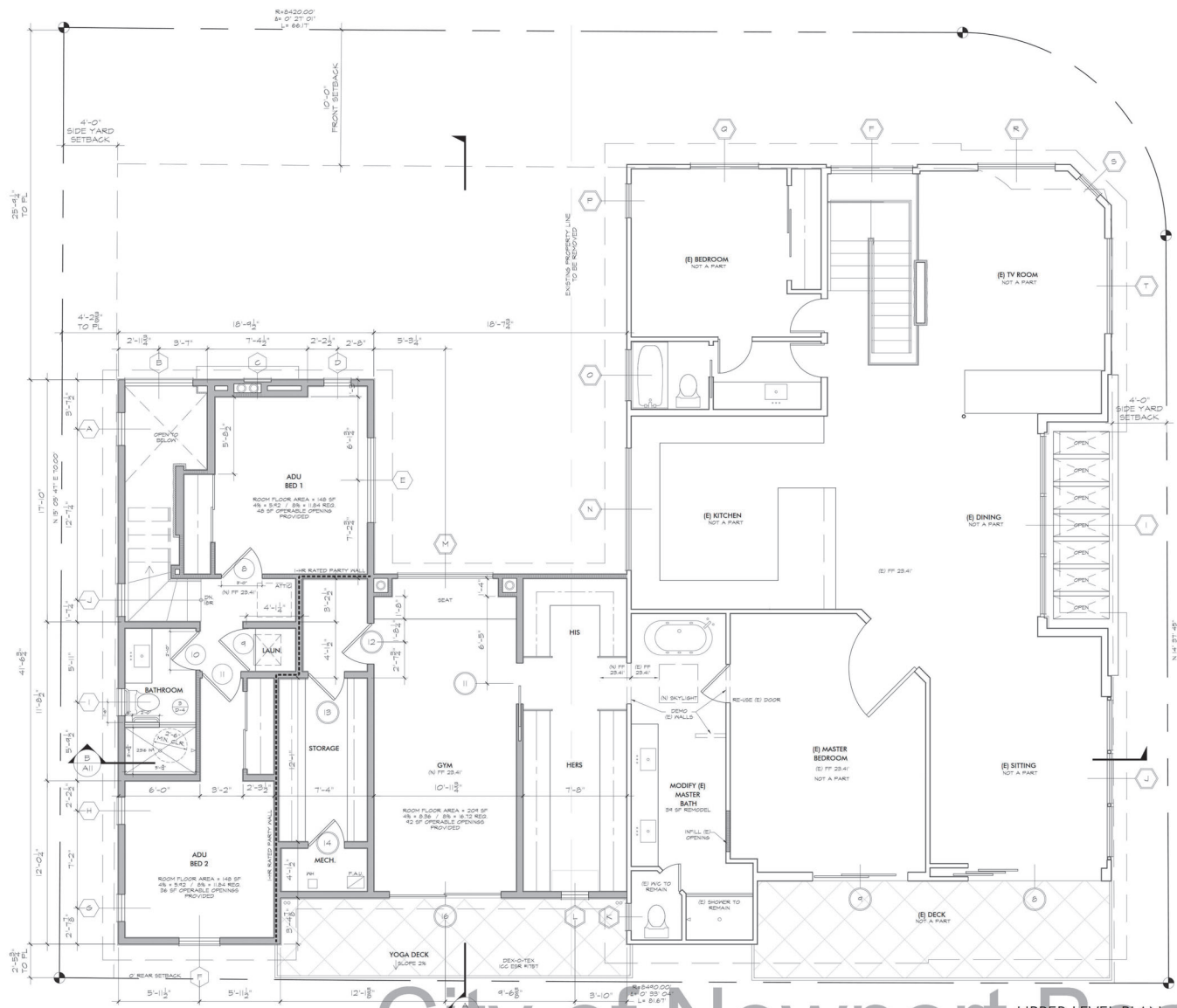
PROPOSED PLAN

Job Number 2409
BUILDING DEPT. SUBMITAL 1
12-05-2025
CCC & BUILDING OPT. SUB. 2
2-25-2025

LICENSED ARCHITECT

CHRISTIAN R. LIGHT
No. 22334
Exp. 5/31/27

City of Newport Beach LOWER LEVEL PLAN



FLOOR PLAN NOTES

- 1. **xx** SYMBOL
- 2. **SPATIAL**
- 3. LINE OF FLOOR AND/OR WALL ABOVE
- 4. LINE OF FLOOR AND/OR WALL BELOW
- 5. **EXTERIORS**
- 6. STONE VENEER PER OWNER
- 7. WOOD VENEER PER OWNER
- 8. **INTERIORS**
- 9. MAX RISER HEIGHT SHALL BE 7"
- 10. R/C SHALL HAVE MIN. 1" CLEARANCE ON EACH SIDE AS MEASURED FROM CENTER OF TOILET SHELVE AND POLE
- 11. SHOWER WALL COVERINGS SHALL BE NONABSORBENT SUCH AS CEMENT PLASTER, TILE OR APPROVED EQUAL TO 7" ABSV FF AT SHOWER OR TUB PER IRC 1203.4
- 12. CEMENT, FIBER CEMENT, FIBER MAT REINFORCED CEMENT, GLASS MAT OVERLUM OR FIBER REINFORCED GYPSUM BACKERS SHALL BE USED AS BASE FOR WALL TILE IN TUB & SHOWER AREA & WALL & CEILING PANELS IN SHOWER
- 13. TEMPERED GLAZING WHERE 60" OR LESS ABOVE TUB OR SHOWER FLOOR PER IRC R308.4.5
- 14. 1-HR FIRE RATED PARTY WALL PER R302.3.4.1
- 15. **OPENINGS**
- 16. THRESHOLD OFFSET 1/2" MIN - 1-1/2" MAX
- 17. **APPLIANCES**
- 18. VERIFY ALL CLEAR DIMENSIONS
- 19. REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER
- 20. BUILT-IN DISHWASHER
- 21. COOKTOP WITH VENT HOOD
- 22. **CABINETS AND COUNTERS**
- 23. VANITY - 32" AFF
- 24. LINE OF CABINETS/UPPER/LOWER
- 25. **PLUMBING**
- 26. VERIFY WITH BUILDER SPECS
- 27. SINK WITH GARBAGE DISPOSAL
- 28. HOT MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE FLOOR AND FULL HEIGHT TRANSOM. PROVIDE SHATTER RESISTENT GLASS ENCLOSURE. SHOWER HEAD AT 4" A.F.F.
- 29. WASHER SPACE. PROVIDE RECESSED HOT AND COLD WATER BIBBS, FLOOR PAN AND DRAIN (SECOND FLOOR ONLY)
- 30. **MECHANICAL**
- 31. DRYER SPACE. PROVIDE DRYER VENT TO OUTSIDE AIR PER 2022 CMC.
- 32. SCREENED COMBUSTION AIR VENTS, HIGH AND LOW, PER 2022 CMC.

GENERAL NOTES

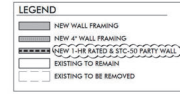
- 33. SEE CABINET DRAWINGS BY KITCHEN DESIGNER. ALL EQUIPMENT, APPLIANCES, AND FIXTURES AS SELECTED BY BUILDER AND INSTALLED PER MFR'S RECOMMENDATIONS
- 34. TEMPERED GLASS (TYP)
- 35. EMERGENCY EGRESS WINDOW (TYP)
- 36. 5.7 SQ. FT. OF CLEAR OPERABLE AREA
- 37. NET OPERABLE HEIGHT SHALL BE 24" MIN.
- 38. NET OPERABLE WIDTH SHALL BE 20" MIN.
- 39. FINISH FLOOR HEIGHT OF 4" MAX. OFF. DASHED LINE INDICATES SOFFIT ABOVE (U.N.O.). SEE SOFFIT PLAN.
- 40. ALL LIGHTING SHALL BE HIGH EFFICACY PER SECTION 1502.0
- 41. EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEES 1000, EXC. 5 TO 150 ZM & AHPME ETC. S2.2
- 42. FACTORY-BUILT FIREPLACES TO BEAR THE STAMP OF AN APPROVED TESTING LAB AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND MANUFACTURER'S INSTRUCTIONS (CRC R1904.1 U.I. 127
- 43. SAFETY GLAZING DESIGNATION SHALL BE PERMANENTLY MARKED PER CRC R308.1
- 44. SHOWER SHALL BE PROVIDED WITH MIXING VALVE IN ACCORDANCE WITH ASSE A12.18.1 / CSA B125.1 (CPC 408.3)
- 45. THE POOL BARRIER SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS: (NSMC 15.09, CBC 3102.2 (1) (923), & (SPRC 305.2.7)
- 46. MINIMUM HEIGHT OF 5FT ABOVE GRADE, MEASURED FROM OUTSIDE OF THE POOL AREA
- 47. MINIMUM 45 INCHES BETWEEN HORIZONTAL MEMBERS
- 48. MAXIMUM ANCH CLEARANCE BETWEEN VERTICAL MEMBERS
- 49. WHEN PART OF THE HORIZONTAL OR VERTICAL MEMBERS, DECORATIVE CUTOUTS SHALL NOT EXCEED 1.5 INCHES IN WIDTH
- 50. MAXIMUM 2 INCH VERTICAL CLEARANCE BETWEEN THE BOTTOM OF FENCE AND GROUND
- 51. CHAIN LINK MESH MAXIMUM SIZE SHALL BE A 1.75-INCH SQUARE. WHEN PROVIDED WITH SLATS FASTENED AT THE TOP AND BOTTOM WHICH REDUCE THE OPENING OF NO MORE THAN 1.75 INCHES
- 52. GATES WITH A BARRIER OR FENCE SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS (NSMC 15.09, CBC 3102.2 (1) (923) & (SPRC 305.2)
- 53. COMPLY WITH FENCE HEIGHT AND SPACING REQUIREMENTS
- 54. INCLUDE SELF-CLOSING, AND SELF LATCHING MECHANISM. THE SELF-LATCHING MECHANISM SHALL BE A MINIMUM 60" ABOVE THE GROUND
- 55. ALL GATES SHALL SWING OUT OF THE POOL AREA
- 56. WHERE ANY WALL OF A DWELLING SERVES AS PART OF A POOL BARRIER AND DOORS FROM THE DWELLING PROVIDE DIRECT ACCESS TO THE POOL. THOSE DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (NSMC 15.09, (SPRC 305.4)
- 57. ALL DOORS PROVIDING DIRECT ACCESS TO THE POOL AREA FROM THE RESIDENCE SHALL BE EQUIPPED WITH A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED AT 54 INCHES OR MORE ABOVE THE FLOOR
- 58. ALL DOORS PROVIDING DIRECT ACCESS TO THE POOL AREA FROM THE RESIDENCE SHALL BE EQUIPPED WITH EXIT ALARMS
- 59. RISER HEIGHT AND TREAD DEPTH OF STAIRS SHALL COMPLY WITH THE FOLLOWING:
- 60. MAXIMUM RISE OF 7" AND MINIMUM RUN (TREAD) OF 10"
- 61. MAXIMUM RISE OF 7" AND MINIMUM RUN (TREAD) OF 10"
- 62. PROVIDE A NOSING BETWEEN 0.75" AND 1.25" ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11". R311.7.5.3 AND EXCEPTION 1
- 63. MINIMUM CLEAR WIDTH OF 36". R311.7.1
- 64. MINIMUM HEADROOM OF 6'-6". R311.7.2
- 65. WIDER TREADS SHALL COMPLY WITH THE FOLLOWING:
- 66. SHALL HAVE A MINIMUM TREAD DEPTH OF 10" AT A POINT 12" FROM THE NARROW SIDE. R311.7.2.1 AND R311.7.4
- 67. SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR.
- 68. HANDRAILS SHALL SATISFY THE FOLLOWING:
- 69. PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. R311.7.8
- 70. HANDRAIL HEIGHT SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS. R311.7.8.1
- 71. HANDRAIL WITH CIRCULAR CROSS-SECTIONS SHALL HAVE A DIAMETER OF 1 1/2" TO 2". R311.7.8.1 (ITEM)
- 72. HANDRAILS WITH OTHER THAN CIRCULAR CROSS-SECTIONS SHALL HAVE A PERIMETER OF 4" TO 6" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2 1/2". R311.7.8.1 (ITEM 1)
- 73. HANDRAILS WITH A PERIMETER GREATER THAN 6" SHALL COMPLY WITH R311.7.8.5 ITEM 2
- 74. HANDRAILS SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POST OR OTHER OBSTRUCTION EXCEPT AT LANDING. VOLUME OR TURNOUT ON LOWEST TREAD. R311.7.8.4. EXCEPTION 1d.
- 75. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1" MINIMUM. R311.7.8.3
- 76. GUARDS (GUARDRAILS) SHALL MEET THE FOLLOWING:
- 77. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. R312.1.1
- 78. GUARD HEIGHT SHALL BE A MINIMUM OF 42". R312.1.2
- 79. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE. R312.1.3
- 80. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 6" DIAMETER SPHERE. R312.1.3. EXCEPTION 1.
- 81. OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4.0" DIAMETER SPHERE. 312.1.3. EXCEPTION 2.
- 82. THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER JUNE 1, 2019 AS REQUIRED BY NSMC SECTION 15.02.095

AGING IN PLACE

- NEWLY CONSTRUCTED DWELLINGS SHALL COMPLY WITH AGING-IN-PLACE AND FALL PREVENTION (CRC R327).
- 1. AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT FOR GRAB BARS, WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH CRC R327.1.1. PROVIDE CONSTRUCTION DETAIL SHOWING COMPLIANCE WITH THIS REQUIREMENT.
 - 2. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. CRC R327.1.2
 - 3. AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32" INCHES, MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION. CRC R327.1.3
 - 4. DOORBELL BUTTONS SHALL NOT BE INSTALLED MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING. CRC R327.1.4.

ADU.

- ALL PARTY WALLS AND FLOOR CEILING SEPARATIONS BETWEEN MAIN RESIDENCE AND ACCESSORY DWELLING UNIT SHALL RECEIVE:
- TYPE 'X' 5/8" OYD BOARD, 1-HR. FIRE RATED WALL EXTENDS TO UNDERSIDE OF ROOF SHEATHING. PROVIDE (2) LAYERS EACH SIDE, RESILIENT CHANNEL, AND R13 SAFER INSULATION, TESTED, 1-HR FIRE RATING AND 55-60 STC PER UL DESIGN U341, NSMC 15.05.230, CBC 1009.2 & 1209.3



C. J. LIGHT ARCHITECTS
CHRISTIAN R. LIGHT • ARCHITECT
1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

CUSTOM REMODEL & ADU FOR
2061 E. OCEAN BLVD.
NEWPORT BEACH • CA • 92661

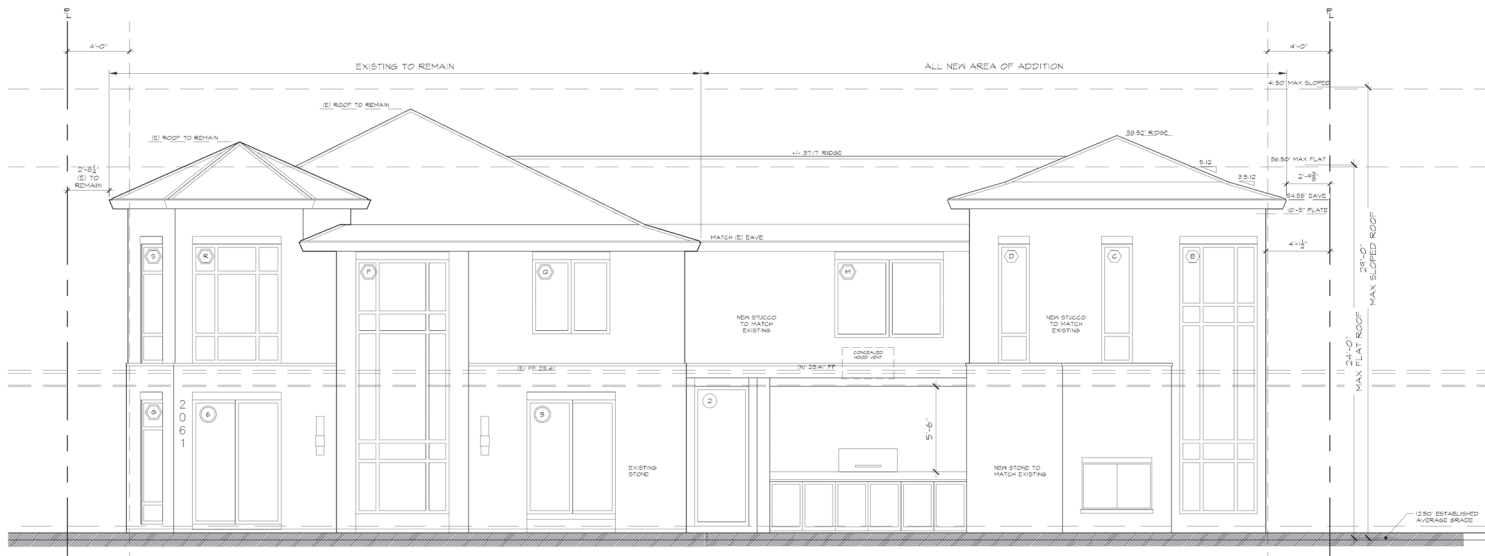
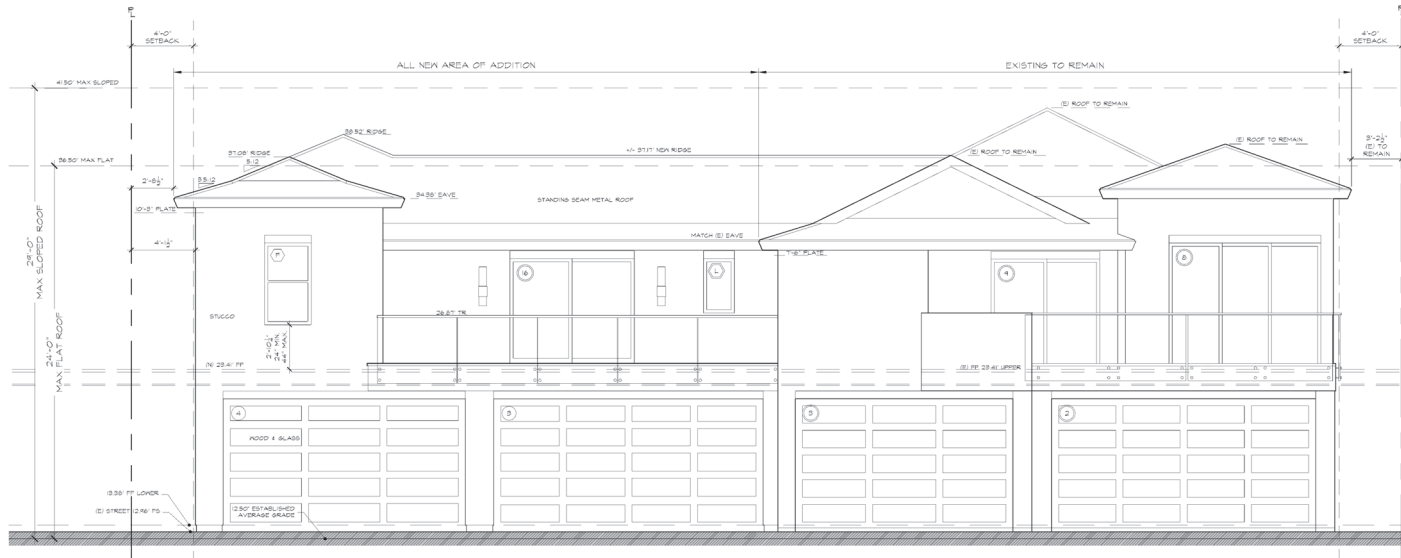
PROPOSED PLAN

| | |
|-----------------------------|------------|
| Job Number | 2409 |
| BUILDING DEPT. SUBMITAL 1 | 12-05-2025 |
| CCC & BUILDING DEPT. SUB. 2 | 2-25-2026 |
| CCC & BUILDING DEPT. SUB. 3 | 3-31-2026 |
| CCC & BUILDING DEPT. SUB. 4 | 3-31-2026 |

LICENSED ARCHITECT
CHRISTIAN R. LIGHT
No. 22334
Exp. 5/31/27
CALIFORNIA

City of Newport Beach

A7



City of Newport Beach

FRONT & REAR ELEVATIONS
1/4" = 1'-0"

C. J. LIGHT ASSOCIATES
CHRISTIAN R. LIGHT - ARCHITECT
1401 Quail Street, Suite 100
Newport Beach, CA 92660
(949) 851-8345
Fax (949) 851-1116

CUSTOM REMODEL & ADU FOR
2061 E. OCEAN BLVD.
NEWPORT BEACH • CA • 92661

PROPOSED ELEVATIONS
Job Number 2409
BUILDING DEPT. SUBMITTAL 1
12-05-2025
CCC & BUILDING DPT. SUB. 2
2-25-2025



A9



CHRISTIAN R. LIGHT • ARCHITECT

1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8245
Fax (949) 851-1116

The drawings, specifications and other documents prepared by Christian R. Light and his firm are to be used for the project and for no other purpose. It is understood that the client is responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities. The drawings are not to be used for any other project without the written consent of Christian R. Light and his firm. The drawings are not to be used for any other project without the written consent of Christian R. Light and his firm. © 2023 C. J. Light Associates.

CUSTOM REMODEL & ADU FOR
2061 E. OCEAN BLVD.
NEWPORT BEACH • CA • 92661

PROPOSED ELEVATIONS

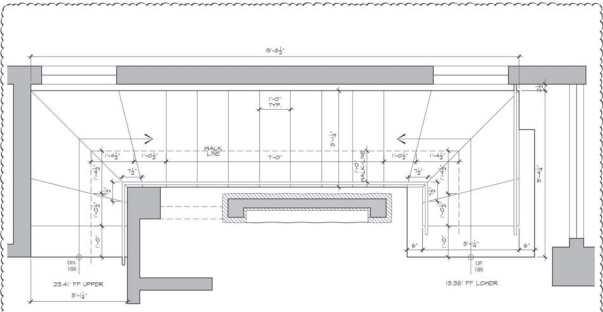
Job Number 2409

BUILDING DEPT. SUBMITTAL 1
12-05-2025
CCC & BUILDING OPT. SUB. 2
2-25-2025

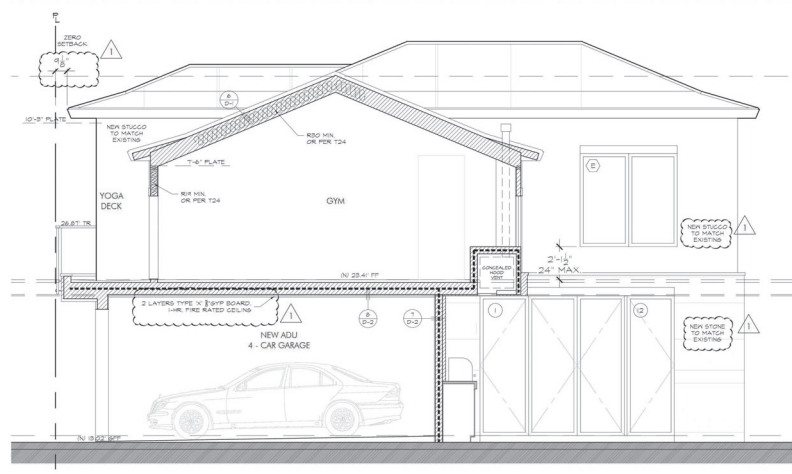


A11

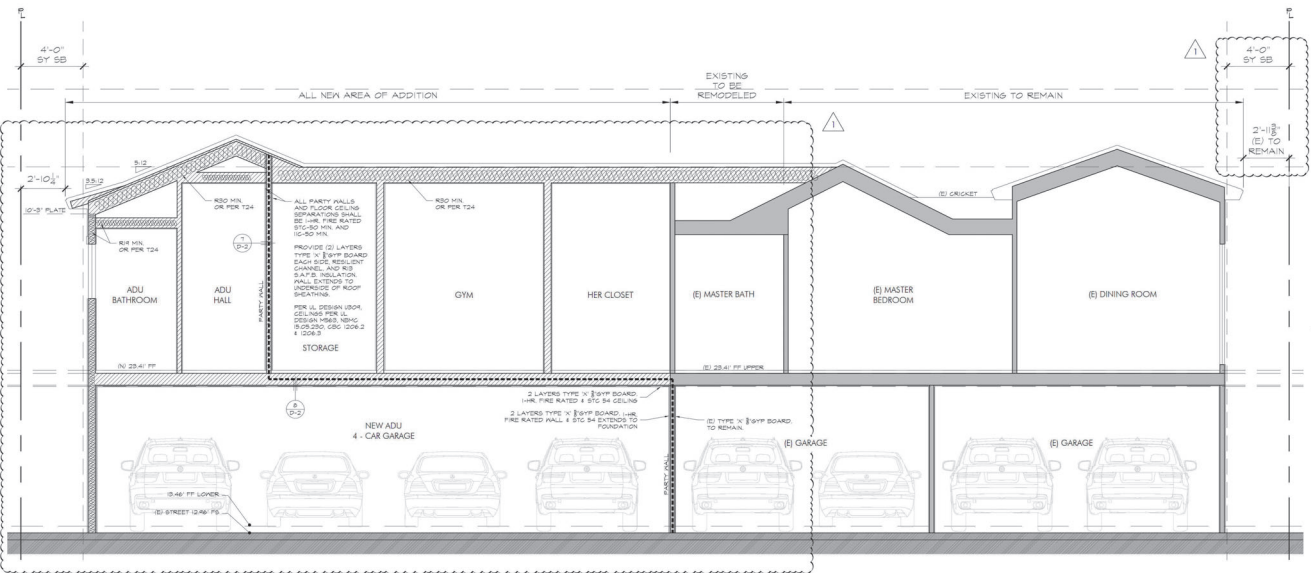
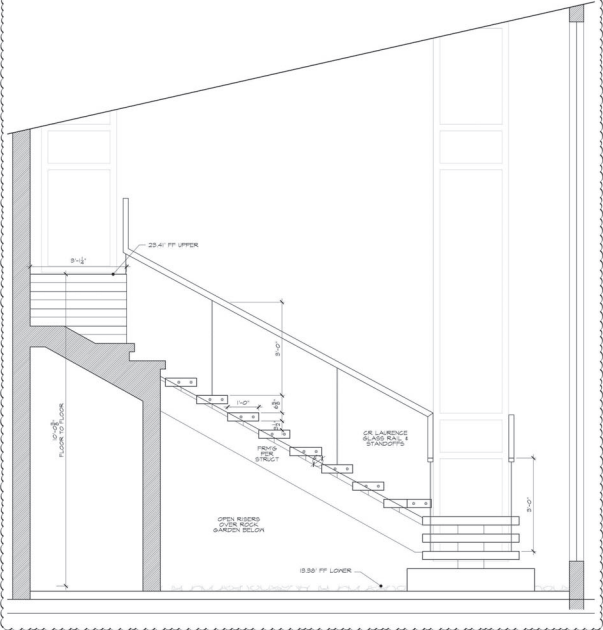
- SOUND TRANSMISSION CONTROL NOTES:**
- APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALL.
 - ALL PENETRATIONS INTO SOUND-RATED PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL BE SEALED WITH AN APPROVED PERMANENT RESILIENT SEALANT.
 - ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES, AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS, OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.
 - EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.
 - METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE LINED.
 - MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT, WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY WITHIN A WALL.



ENLARGED STAIR PLAN
1/2" = 1'-0"



SECTION A-A
1/4" = 1'-0"



SECTION B-B
1/4" = 1'-0"

City of Newport Beach

REMOVE BRICK HARDSCAPE AND INSTALL NEW LANDSCAPING

EXISTING STREET TREE TO BE REMOVED TO MATCH ADJACENT STREET TREE. SEE SHEET 4 FOR AGREEMENT WITH CITY ARBORIST-JOHN NELSON. AGREEMENT DATE: 12/20/24

EXISTING STREET TREE TO BE REMOVED TO MATCH ADJACENT STREET TREE. SEE SHEET 4 FOR AGREEMENT WITH CITY ARBORIST-JOHN NELSON. AGREEMENT DATE: 12/20/24

EXISTING ARBUTUS STREET TREE TO REMAIN

EXISTING ARBUTUS STREET TREE TO REMAIN

NOTE: POOLS, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

NOTE: FENCES, HEDGES, WALLS, HANDRAILS OR ANY COMBINATION THEREOF SHALL NOT EXCEED 42" FROM EXISTING GRADE BEFORE CONSTRUCTION WITHIN THE REQUIRED FRONT SETBACK AREAS(S).

NOTE: FENCES SHALL BE CONSTRUCTED OF OPEN GRILLWORK, BROUGHT IRON, LATTICEWORK, PICKETS, OR SIMILAR MATERIALS SO THAT AT LEAST FORTY (40) PERCENT OF THE FENCE OR WALL IS OPEN, IN LIEU OF THE ABOVE, GLASS OR FLEXIGLAS MAY BE ALLOWED.

SYMBOLS

- 5" SQUARE DECORATIVE BRONZE GRATE IN HARDSCAPE DECK BY ADJACENT PROPERTIES TO BE SELECTED
- 10x4" SQUARE GRATE
- 10x4" ROUND ARBUTUS GRATE
- 10x4" ROUND FLAT GRATE
- 10x4" ROUND FLAT BRASS GRATE
- ◆ 1/2" SLOPE FOR POT, FINE ART AND SEALED PLANTER IRRIGATION, ELECTRICITY AND DRAINAGE (SEE DETAIL)
- ▬ CHANNEL DRAIN WITH BRONZE TRAFFIC GRATE
- FOUNTAIN DRAIN
- 12" SQ. BRONZE TRAFFIC GRATE
- ▬ 4" FLAT LAWN GRATE BETWEEN STEPPERS
- CORRELATED SLOT DRAIN UNDER PAVING
- SDR 35 4" HDN PIPING
- 4" PERFORATED DRAIN WITH GRAVEL AND 1/2" HDN FILTER CLOTH

ABBREVIATIONS

- BTH BROKEN TRUNK HEIGHT
- BS BOTTOM OF STEP
- CL CENTERLINE
- CLR CLEAR
- FF FINISH FLOOR ELEVATION
- FL FLOOR LINE
- FOG FACE OF GROUND
- FOH FACE OF HALL
- FS FINISH SURFACE
- GF GARAGE FINISH FLOOR
- HP HIGH POINT
- INV INVERT ELEVATION
- MAX MAXIMUM
- MIN MINIMUM
- NIC NOT IN CONTRACT
- PA PLANTER AREA
- PC POOL COPING
- PL PROPERTY LINE
- R RADIIUS
- S STEP IN HALL
- SC SPA COPING
- SP SEALED PLANTER
- TC TOP OF CURB
- TP TOP OF FOOTING
- TRC TOP OF FINISH
- TG TOP OF GRADE
- TC TOP OF COLLEEN
- TS TOP OF STEP
- TH TOP OF HALL
- TYP TYPICAL
- WL WATERLINE

- GRADING NOTES**
1. Connect all downspouts to drain system
 2. Maintain 1.5% minimum flow in all hardscape areas
 3. Maintain 2% minimum flow in all planted areas
 4. Backfill all trenches with sand or 100% compacted fill
 5. Use SDR-35 drainage with a 1.5% minimum flow throughout system
 6. Align all deck drains to fall on scorelines or expansion joints where possible
 7. Prior to grading any excavation, contractor shall verify the location of all underground utilities, septic tanks, seepage pits or any other grade items.

SOILS NOTE

These Landscape Construction documents prepared by PCA are for conceptual design and aesthetic intent. The contractor shall be responsible for conducting all soil investigations, including but not limited to, soil sampling, testing, and analysis to determine soil conditions and appropriate grading and drainage. The contractor shall be responsible for providing a geotechnical report to the City of Newport Beach, CA, and the City Engineer. The contractor shall be responsible for providing a geotechnical report to the City of Newport Beach, CA, and the City Engineer. The contractor shall be responsible for providing a geotechnical report to the City of Newport Beach, CA, and the City Engineer.

REFER TO THE SOILS REPORT AND ENGINEER FOR THE FOLLOWING OR OTHER SPECIAL REQUIREMENTS OF THE PROJECT:

- 1. Verify appropriate extended location categories on special conditions of sealed planters, connection of side to roof of house footing or other special conditions of the job.
- 2. The expansive nature of the soil on this lot and the potential for slope creep within 10' from top of slope is noted. The contractor shall be responsible for providing a geotechnical report to the City of Newport Beach, CA, and the City Engineer. The contractor shall be responsible for providing a geotechnical report to the City of Newport Beach, CA, and the City Engineer.

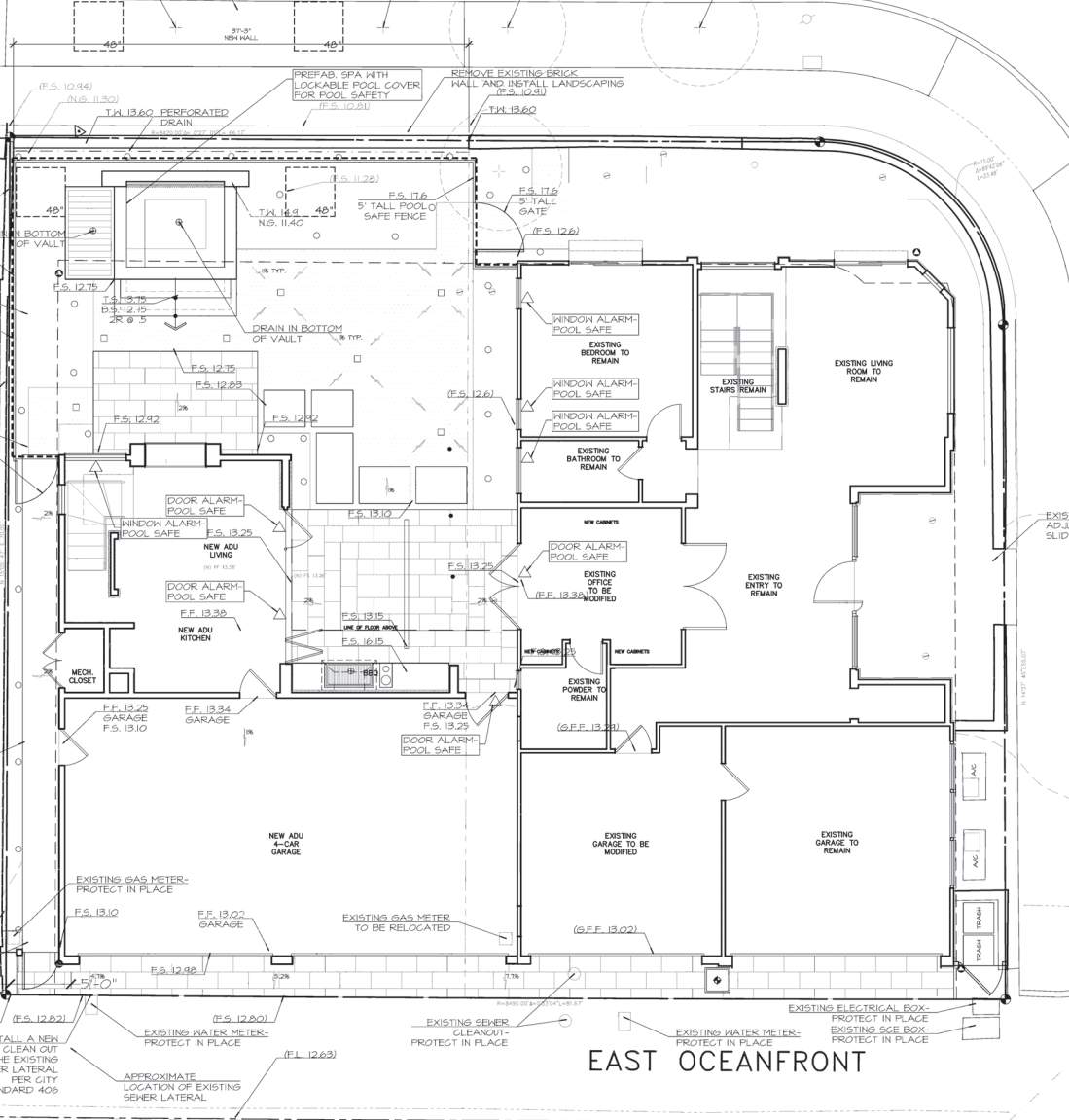
LOT 16

IMPERVIOUS CALCULATION FOR FRONT YARD:

TOTAL FRONT YARD AREA: 373.3 SF.

TOTAL IMPERVIOUS AREA: 120.0 SF.

IMPERVIOUS AREA DOES NOT EXCEED 50% OF THE FRONT YARD.



From: Nelson, John A. J. [Email: jnelson@newportbeach.gov] #

Subject: RE: 2027 East Ocean Blvd, Newport Beach

Date: December 20, 2024 at 10:57 AM. Email: jnelson@newportbeach.gov

CC: Lisa Yamaguchi [Email: liyam@newportbeach.gov], Daniel Stewart [Email: dstewart@newportbeach.gov], Kelly, David [Email: dkelly@newportbeach.gov], [Email: [Redacted]@newportbeach.gov]

All,

This contract written below should provide sufficient documentation that the Inspection Team is asking for:

In order to facilitate the rehabilitation of the parkway and to remove two (2) Problem Trees (as outlined in the City's G1.1 Tree Policy), the City agrees to the following:

1. At the property owner's expense, the removal of two (2) Four microcarpa 'Nimbus' (ID# 3516489 and ID# 3516488) located at 2057 Ocean Blvd (Front 1 and 2).
2. At the property owner's expense, the planting of 2- 48-inch box Strawberry trees (Arbutus unedo) along the footage of 2057 Ocean Blvd.

The trees must be submitted (via e-mail) for inspection prior to planting, see **Submittal Instructions** below.

1. The trees must be planted at least 12 to 15-foot apart from each other and from other existing City trees.

Tree Submittal Procedure: 36-inch box tree (minimum)

- 1.) Prior to tree delivery, please submit nursery photographs to the City Arborist (John Nelson), Brian George (c) or the Landscape Manager Kevin Polzer (c) and the actual trees to be planted to be approved.
- 2.) Upon approval, a tree planting detail will be issued.
- 3.) Multi-trunk trees are automatically rejected.
- 4.) Make sure to obtain an Encroachment Permit, prior to planting, and ensure that the tree is listed on the Permit.



John Nelson, MPA, DEP
City Arborist WE-1774
Public Works - Municipal Operations Division
Office: 949-644-3197
592 Superior Ave
Newport Beach, CA 92663

| | | | |
|------|-----------|-------|--------------|
| DATE | 2-4-11-15 | SCALE | 1/4" = 1'-0" |
| DATE | 4-6-26 | SCALE | 1/4" = 1'-0" |

CLIENT: JACKSON RESIDENCE

PROJECT: GRADING PLAN

DATE: 12-21-24

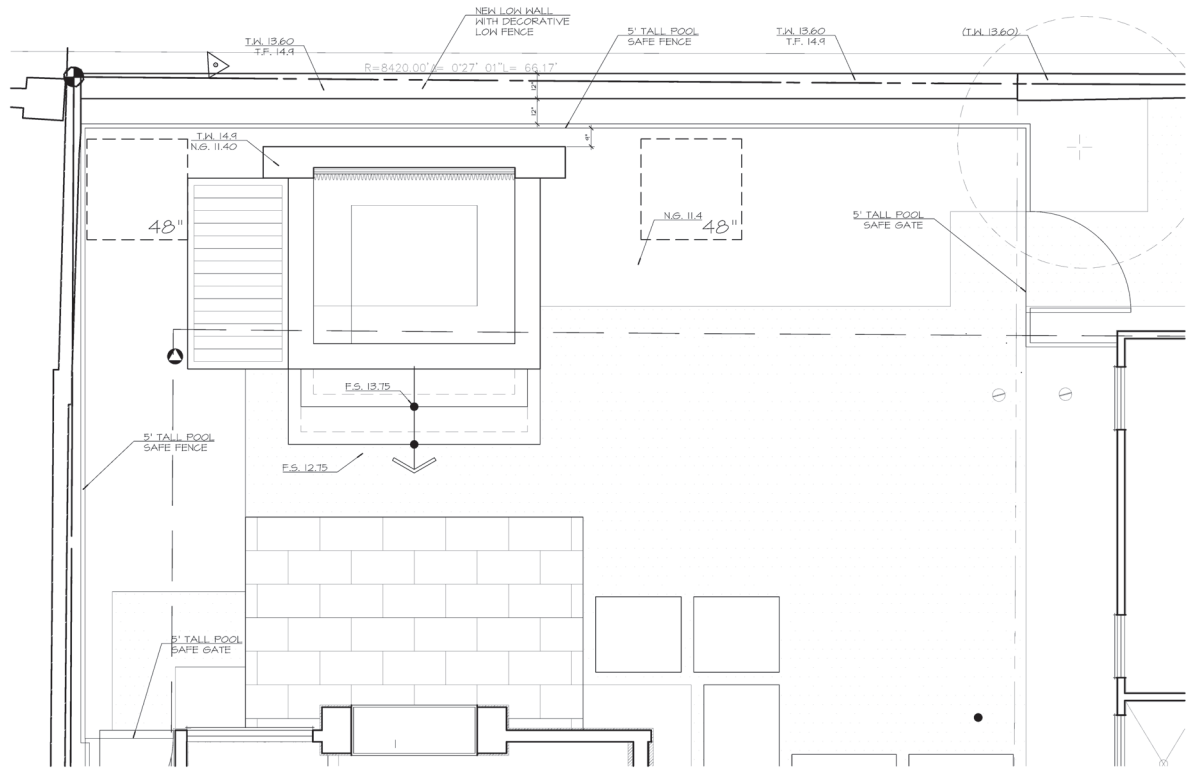
SCALE: 1/4" = 1'-0"



Daniel Stewart & Assoc.
Landscape Architects
27145 CALIFORNIA STATE LICENSE NO. 27145
TEL: 949-261-8800 • FAX: 949-261-2975

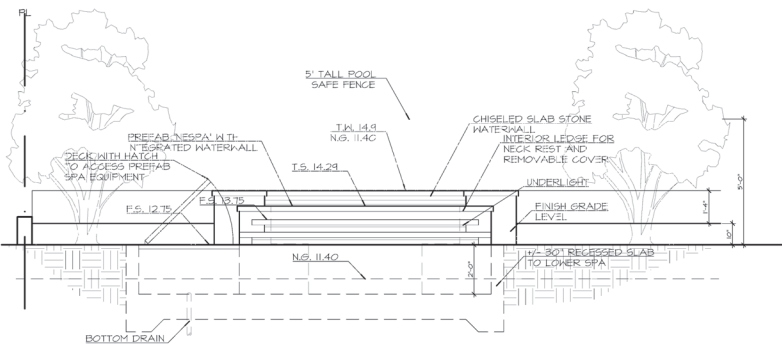
SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "HERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4388
(Two working days before you dig)

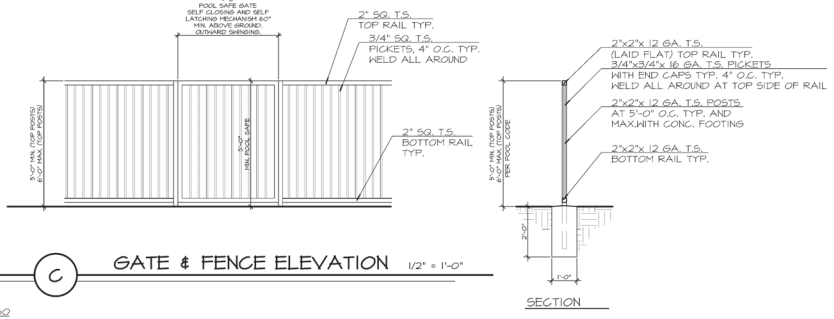


The pool barrier shall comply with the following requirements: (NEMC 15.09, CBC 310.2 (15423), & 15PSC 305.2.1)

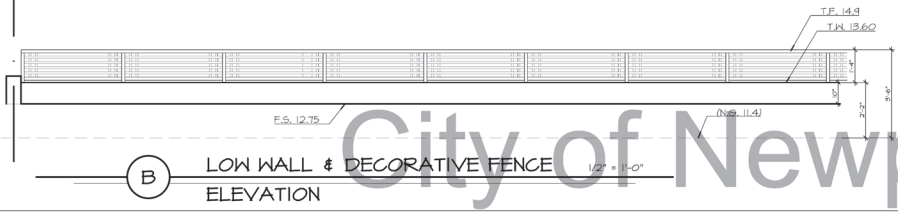
- Minimum height of 5 ft above grade, measured from outside of the pool area.
- Minimum 48 inches between horizontal members.
- Maximum 4-inch clearance between vertical members.
- When part of the horizontal or vertical members, decorative cutouts shall not exceed 1.75 inches in width.
- Maximum 2-inch vertical clearance between the bottom of fence and ground.
- Chain link mesh maximum size shall be a 1.75-inch square. When provided with slats fastened at the top and bottom which reduce the openings to 1.75 inches or less.
- Diagonal members shall form openings of no more than 1.75 inches.



A PREFAB SPA ELEVATION/ SECTION 1/2" = 1'-0"



C GATE & FENCE ELEVATION 1/2" = 1'-0"



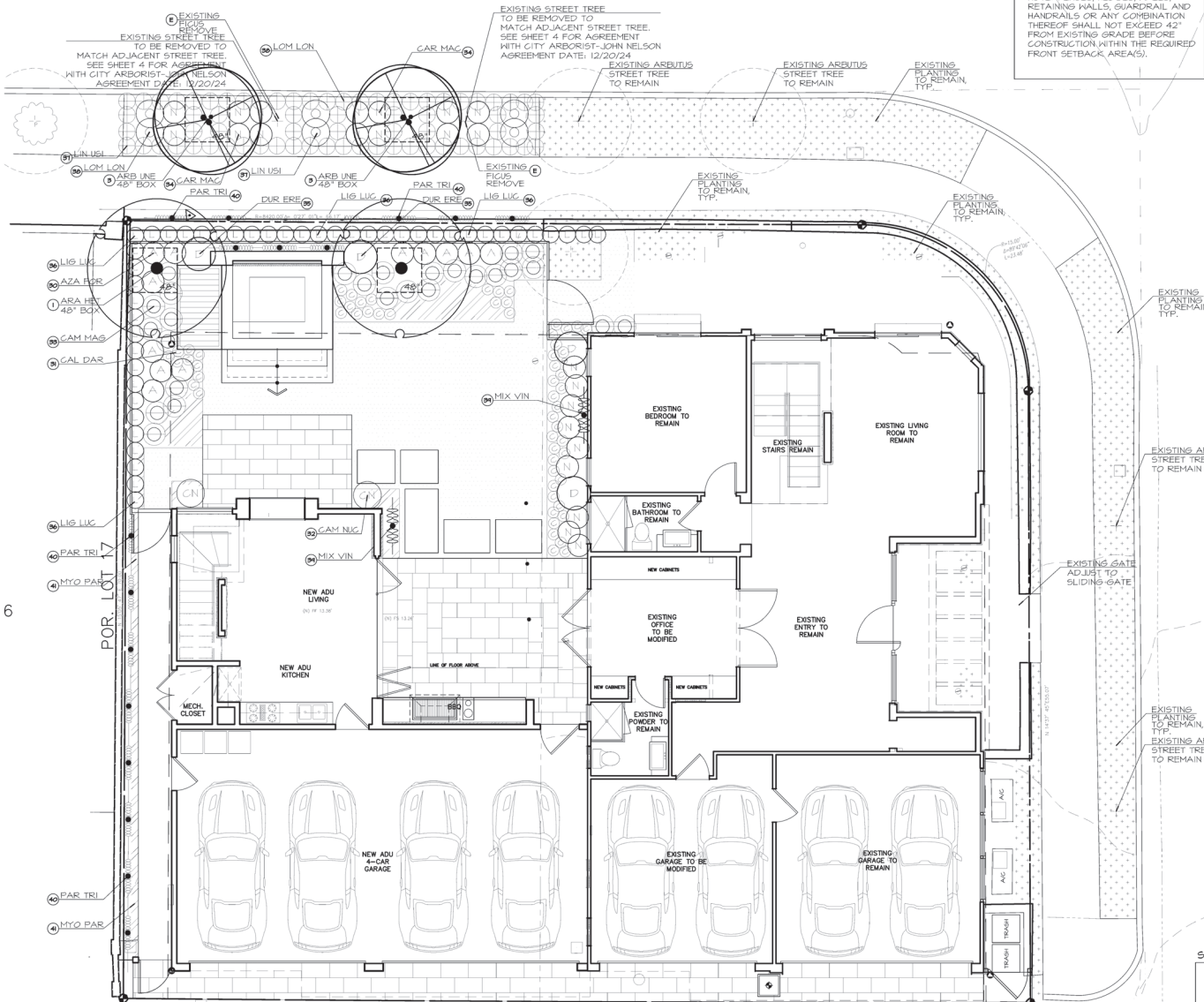
B LOW WALL & DECORATIVE FENCE ELEVATION 1/2" = 1'-0"

City of Newport Beach

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4395
(Two working days before you dig)

| | |
|---|--------------|
| DATE | 24-11-23 |
| JOB NUMBER | 24-11-23 |
| DATE | 4-6-26 |
| DESIGNED BY | LY |
| SCALE | 1/2" = 1'-0" |
| LANDSCAPE ARCHITECT DANIEL STEWART & ASSOCIATES 2711 CALLENDORF AVENUE SUITE 200 NEWPORT BEACH, CA 92660 TEL: 949-261-8800 FAX: 949-261-2975 | |
| | |



| TREES | | | | | |
|-------|---------|-----------------------|------------------------|---------|----------------------|
| NO. | SYM. | NAME | COMMENTS | SIZE | OFF # SIDE (S. VIEW) |
| 1 | ARA HET | ARACARIA HETEROPHYLLA | HORNFORK GUANO TREE | 48" BOX | 30' X 18' |
| 2 | ARB HAR | ARBUSUS HANNA | ANEMIA STRAWBERRY TREE | 36" BOX | 20' X 18' |
| 3 | ARB UNE | ARBUSUS UNEDO | STRAWBERRY TREE | 48" BOX | 20' X 18' |

| SHRUBS | | | | | |
|--------|---------|--|-------------------------|-------------------------|----------------------|
| NO. | SYM. | NAME | COMMENTS | SIZE | OFF # SIDE (S. VIEW) |
| 30 | AZA FOR | AZALEA FORNOSA | FORNOSA AZALEA | 5 gal | 5' X 3' |
| 31 | CAL DAR | CALIFORNIA DARK BLUE | DWARF BLUE CALIFORNIA | 1 gal | 12" X 12" |
| 32 | CAM MAG | CAMELLIA J. NAGIO GEM | | 15 gal | 6' X 6' |
| 33 | CAM MAG | CAMELLIA S. OCTOBER MAGIC WHITE SHIRAZ | | 5 gal | 6' X 4' |
| 34 | CAR HAC | CAROLINA MACROCARPA | NATAL FLIN | 5 gal | 3' X 3' |
| 35 | DUR ERE | DURANTA E. SAPPHIRE SHOWERS | PATIO TREE | 15 gal | 10' X 6' |
| 36 | LIG LUC | LIGULASTRUM LUCIDUM | | 15 gal | 6' X 3' |
| 37 | LM USI | LEMON LUSTROSUM | FLAX (VARIEGATED) | VERIFY VARIETY TO 5 gal | 2' X 6' |
| 38 | LOH LON | LOHNERIA L. LINE TURF LONDON | VERIFY VARIETY TO 1 gal | 3' X 2' | |
| 39 | HEX VIN | TRACHELOSPERMUM JASMINOIDES | TRIXED VINE | 15 GAL | 10' X 5' |
| 40 | PAR TRI | PARENDOGOSUS TRIGONIPATA | BOSTON IVY | 15 gal | 3' X 3' |
| 41 | HYO PAR | HYDRANGEA PARVIFOLIA | HYDRANGEA | 1 gallon @ 10.00" X 2" | |
| 42 | ART TUR | ARTIFICIAL TURF | TIGER TURF | | |

- ### PLANTING NOTES
- All areas with neutral color will be planted with "best color of season" and shall be approved by the Landscape Architect.
 - Turf areas to be seeded with Marathon Type II fescue or equivalent.
 - All shrub areas to be underplanted with the following ground covers:
 - 5 gal areas - Ligularia strumosa, Sedum sp. 16" container spacing
 - 20 gal areas - Sedum sp. 16" container spacing
 - Contractor to provide an automatic irrigation system with 100% coverage and separate sun/shade and turf/groundcover systems.
 - Contractor shall also provide irrigation, and/or drainage in plant pits.
 - Contractor shall not disturb any of the plant materials on this list, unless consulting with the Landscape Architect first.
 - Contractor shall install 2x4 Reboard header board at edge of all turf to shrub areas.

- ### PLANTING SPECIFICATIONS
- Remove all debris, weeds, excess material and rocks larger than 3" in diameter from planting areas.
 - Cross rip or turf and planting areas to a depth of 12" and blend the following amendments into tilled soil to a depth of 12" below surface:
 - 50 lb. 0-10-10 fertilizer
 - 200 lb. 0-10-10 fertilizer with 4% sulfur
 - 200 lb. 0-10-10 fertilizer with 4% sulfur
 - 200 lb. 0-10-10 fertilizer with 4% sulfur
 - 200 lb. agricultural gypsum
 - Locate the planting pits for trees and shrubs twice the diameter and the depth of the root ball, scanty the sides and bottom of the pit. The backfill mix for use around the root ball shall consist of the following:
 - 2 parts by volume soil
 - 1 part by volume coarse-sand, non-sodic and low boron content
 - 1 part by volume organic amendment
 - 2 parts by volume agricultural gypsum amendment
 - 20 lb. 0-10-10 fertilizer
 - 200 lb. agricultural gypsum
 - Use Greenkeeper Phospho tabs (2 gram size 12-8-8) while backfilling the pit, (verify number of tablets with manufacturer's specifications).
 - Soil amendment and backfill mix are provided for bidding purposes only. The contractor shall provide in their bid the actual amount of soil amendment and backfill mix to be used per soil amendment report and recommendations of the Landscape Architect.
 - Secure for fence and shade plants shall be 1/2" away from the soil and 2/3" above the concrete post mass. Set these plants so that when settled the crown will be 1 1/2" above the surrounding grade.
 - Remove all wires from nursery stakes and espalier and attach to fence or wall surface using nails or plastic ties.
 - Five prune all specimen trees after planting under the direction of the Landscape Architect.
 - All specimen trees shall be selected at the source by the Landscape Architect.
 - Upon completion, remove all extraneous materials and debris, broom wash and clean all areas.
 - Actual symbols shall have priority over written quantities. Contractor shall verify quantities and notify Landscape Architect of discrepancies.
 - All plant material, color size and quantities are to be verified with owner.
 - All substitutions shall be approved by Landscape Architect and owner.

SECTION 4216/4217 OF THE GOVERNMENT CODE
REQUIRES A DIG ALERT IDENTIFICATION NUMBER
BE ISSUED BEFORE A PERMIT TO EXCAVATE
WILL BE VALID. FOR YOUR DIG ALERT
IDENTIFICATION NUMBER CALL UNDERGROUND
SERVICE ALERT.
TOLL FREE 1-800-422-4195
(Two working days before you dig)

STREET TREE AGREEMENT:

IN ORDER TO FACILITATE THE REHABILITATION OF THE PARKWAY AND TO REMOVE TWO (2) PROBLEM TREES (AS OUTLINED IN THE CITY'S 6-1 TREE POLICY), THE CITY AGREES TO THE FOLLOWING:

- 1.) AT THE PROPERTY OWNER'S EXPENSE, THE REMOVAL OF TWO (2) FIGS (MORCORA NITIDA) (ID#351648) AND (ID#351648B) LOCATED AT 2051 OCEAN BLVD (FRONT 1 AND 2).
- 2.) AT THE PROPERTY OWNER'S EXPENSE, THE PLANTING OF 2-48 INCH BOX STRAWBERRY TREES (ARBUSUS UNEDO) ALONG THE FRONTAGE OF 2051 OCEAN BLVD.

A.) THE TREES MUST BE SUBMITTED (VIA E-MAIL) FOR INSPECTION PRIOR TO PLANTING, SEE SUBMITTAL INSTRUCTION BELOW.

B.) THE TREES MUST BE PLANTED AT LEAST 12 TO 15 FEET APART FROM EACH OTHER AND FROM OTHER EXISTING CITY TREES.

TREE SUBMITTAL PROCEDURE, 36-INCH BOX TREE (MINIMUM)

- 1.) PRIOR TO TREE DELIVERY PLEASE SUBMIT NURSERY PHOTOGRAPHS TO THE CITY ARBORIST (LOHN NELSON), BRIAN GEORGE (CCD) OR THE LANDSCAPE MANAGER KEVIN PEKAR (CCD) OF THE ACTUAL TREES TO BE PLANTED TO BE APPROVED.
- 2.) UPON APPROVAL A TREE PLANTING DETAIL WILL BE ISSUED.
- 3.) MULTI-TRUNK TREES ARE AUTOMATICALLY REJECTED.
- 4.) MAKE SURE TO OBTAIN AN ENCROACHMENT PERMIT, PRIOR TO PLANTING, AND ENSURE THAT THE TREE IS LISTED ON THE PERMIT.

4

DATE: 4-6-26

SCALE: 1/4" = 1'-0"

PROJECT: JACKSON RESIDENCE

LOCATION: 2051 OCEAN BLVD, NEWPORT BEACH, CA

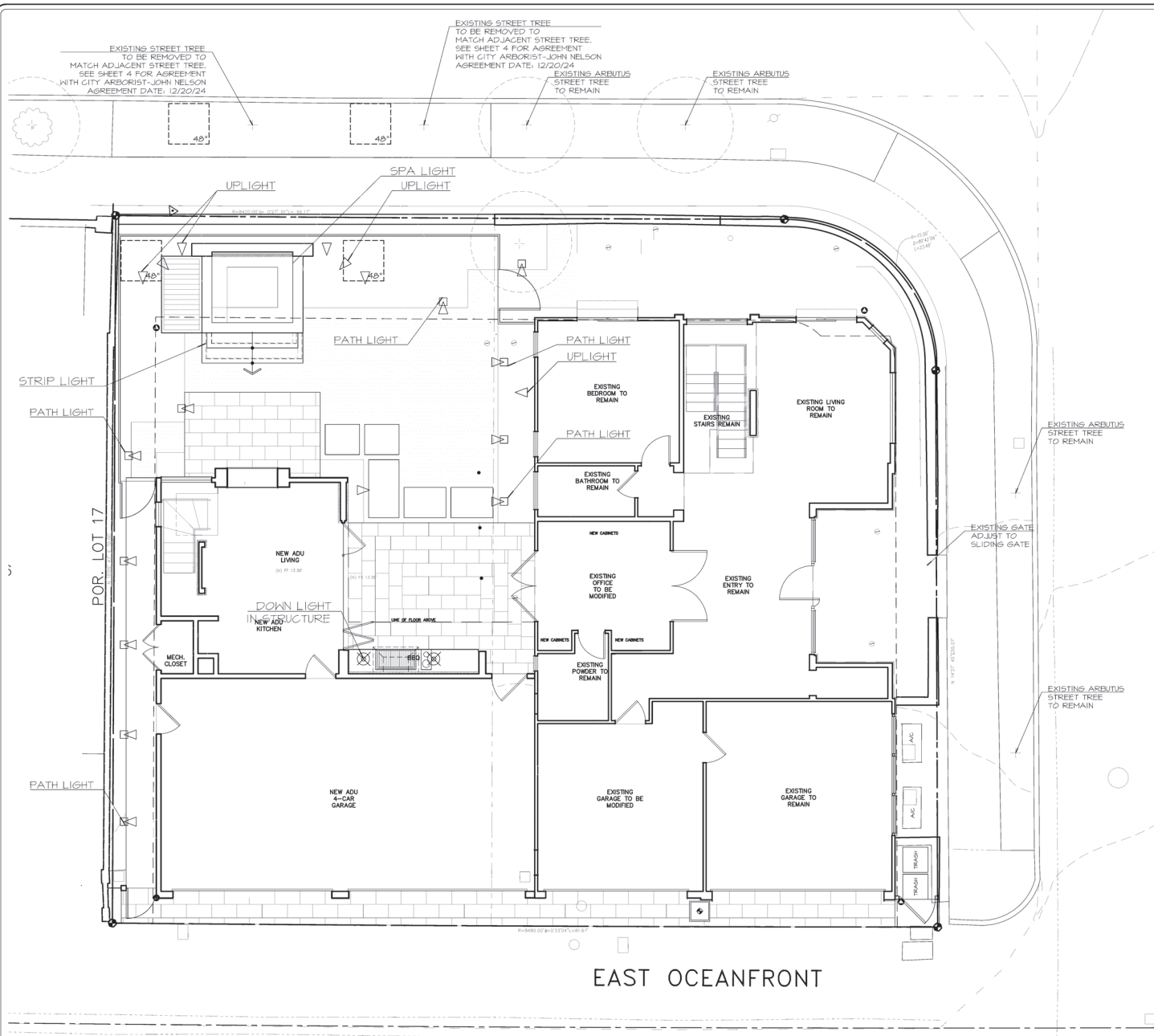
DATE: 12-31-26

PROJECT MANAGER: DANIEL STREWART & ASSOCIATES

PROJECT: JACKSON RESIDENCE

DATE: 12-31-26

PROJECT MANAGER: DANIEL STREWART & ASSOCIATES



LIGHTING LEGEND-SOLID BRASS

| SYM | MANUFACTURE | MODEL | DESCRIPTION |
|-----|--------------|------------------|---|
| △ | SPJ LIGHTING | MR. UNIVERSALITY | SOLID BRASS BULLET UPLIGHT WITH SHIELD 2H MAX |
| ⊗ | SPJ LIGHTING | SPJ-GDS-30W | SOLID BRASS DOWNLIGHT IN STRUCTURE ON DIMMER 2H MAX SPA LIGHT |
| ⊖ | T.B.S. | T.B.S. | |
| --- | SPJ LIGHTING | SPJ-FLEX-STRIP | LED STRIP LIGHTING 2H MAX |
| ▢ | SPJ LIGHTING | MR. UNIVERSE | SOLID BRASS BULLET PATH LIGHT WITH HAT ON STAKE 2H MAX |

NOTE: ALL LIGHT SOLID BRASS LED ON DIMMERS, 3-4 WATTS

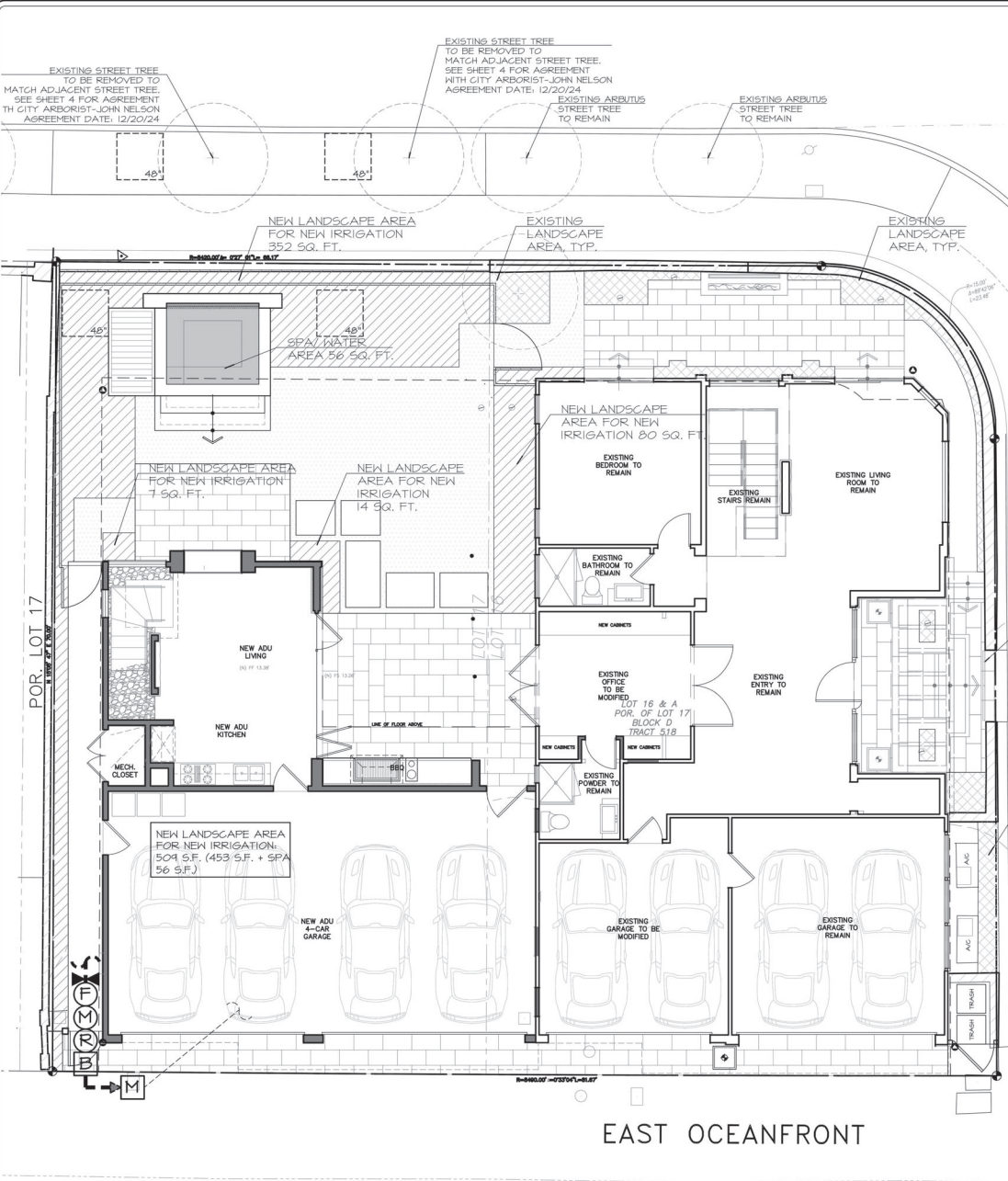
- LIGHTING NOTES**
- COORDINATE W/ ARCHITECT; EXTERIOR HOUSE FIXTURES, CONTROL SWITCH LOCATIONS AND LOAD REQUIREMENT OF LANDSCAPE LIGHTING. HOUSE ELECTRIC PANEL MUST BE ADEQUATE FOR HOUSE AND LANDSCAPE REQUIREMENTS.
 - INSTALL ALL LIGHTING TO CONFORM WITH ALL LOCAL CODES AND PER ASSOCIATION GUIDELINES.
 - VERIFY EXACT FIXTURES WITH OWNER PRIOR TO INSTALLATION.
 - VERIFY FINAL FIXTURE AND CONTROL SWITCH LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
 - CONCEAL ALL WIRING AND HARDWARE
 - SEE POTTING DETAIL FOR MORE INFORMATION.
 - ALL LIGHTING TO BE DIRECTED AWAY FROM STREET AND NEIGHBORS. ADJUST LIGHTING TO AVOID GLARE OR OVER SPILL INTO NEIGHBORING PROPERTIES.

City of Newport Beach

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A 'PERMIT TO EXCAVATE' WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4155
(Two working days before you dig)

SHEET: 5
 JOB NUMBER: 24-115
 DATE: 4-6-26
 DRAWN BY: LY
 SCALE: 1/4" = 1'-0"
 PROJECT: CLAYTON JACKSON RESIDENCE
 ADDRESS: 11111 EAST OCEANFRONT, NEWPORT BEACH, CA
 TITLE: LIGHTING PLAN
 DRAWN BY: [Signature]
 DATE OF CALCULATION: 12-11-25
 CHECKED BY: [Signature]
 DATE OF CHECK: 12-11-25
 Daniel Stewart & Assoc.
 Landscape Architects
 2701 CAMDEN PARKWAY #2
 NEWPORT BEACH, CA 92660
 TEL: (949) 261-2200 • FAX: (949) 261-0975



IRRIGATION NOTE:
 ALL LANDSCAPE AREAS DESIGNATED TO RECEIVE NEW PLANTINGS ARE TO BE IRRIGATED WITH AN AUTOMATICALLY CONTROLLED SYSTEM USING LOW GALLON SPRAY HEADS. BACKFLOW PREVENTION TO BE PROVIDED PER STATE, CITY AND LOCAL CODES.

Project Data:
 OWNER: Doug Jackson
 PROJECT ADDRESS: 2061 & 2057 E Ocean Blvd., Newport Beach
 NEW LANDSCAPE AREA: 453 S.F.
 SPA AREA: 56 S.F.

PROJECT TYPE: New Landscape
 WATER SUPPLY: Domestic Water
 2022 CRC, CBC, CPC, CMC, CEC, CA Energy Code, Cal Green Building
 Standard Codes, City of Newport Beach Local Ordinances

SECTION 4216.027 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL BE VALID. FOR YOUR DIG ALERT IDENTIFICATION NUMBER CALL UNDERGROUND SERVICE ALERT.

TOLL FREE 1-800-422-4185
 (Two working days before you dig)

IRRIGATION MATERIAL LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| [M] | 1/2" DOMESTIC WATER METER (EXISTING) |
| --- | DOMESTIC WATER SERVICE LINE (BY OTHERS) |
| ■ | POINT OF CONNECTION INTO DOMESTIC WATER SERVICE LINE (STATIC WATER PRESSURE: 40-100 PSI; PASADENA WATER AND POWER 80251A 1" R/P BACKFLOW PREVENTER W/ WYE STRAINER) |
| [R] | WILKINS P/COOL 1" PRESSURE REGULATOR (P/ REQUIRED) |
| [M] | HANTER 18V-1016-FS MASTER CONTROL VALVE |
| [P] | HANTER 18V-FS-PCT-100 1" WIRELESS FLOW SENSOR |
| ▼ | NIBCO T-585-70 1-1/4" FULL PORT BALL VALVE |
| [C] | HANTER ACC2-300D-M CONTROLLER (SHALL MOUNT) |
| [M] | HANTER 18V-58N SOLAR-SPNG HEADLIGHT STATION (PAGIA MOUNT/SURFACE MOUNT) |
| [G] | SUPERIOR GB SERIES QUICK COUPLER OR ROSE BIE |
| [R] | HANTER 10V-1016-FS REMOTE CONTROL VALVE |
| [C] | HANTER 10Z-101-40 CONTROL VALVE |
| ▲ | RAIN BIRD XP SERIES (TRIM) INERT FITTINGS (AS REQUIRED) |
| ○ | RAIN BIRD ARVISO AIR VACUUM RELIEF VALVE |
| --- | 1" SCH. 40 PVC PIPE (MAINLINE) |
| --- | 3/4" x 1/2" SCH. 40 PVC PIPE (LATERAL) |
| ----- | 5/8" SCH. 40 PVC PIPE SLEEVINGS (GX SIZE OF PIPE ENCLOSED) |

| * Refer to Pipe Sizing Chart Below to Size Pipe During Installation | | |
|---|-----------|--|
| PIPE SIZING CHART | | |
| GPM | PIPE SIZE | |
| 0 to 6 GPM | 3/4" | |
| 6 to 12 GPM | 1" | |
| 12 to 22 GPM | 1 1/4" | |
| 22 to 30 GPM | 1 1/2" | |
| 30 to 50 GPM | 2" | |

| SPRINKLER HEADS | GPM | PSI | RADIUS |
|--|--------|-----|----------|
| HANTER PROS-06-PRSSO-CV W/ 6A NOZZLE | 18-126 | 30 | 6 FT. |
| RAIN BIRD 1806-SAH-PRSSO W/ 50 GTR MICRO SPRAY | 123 | 30 | 2.5 / 4' |
| RAIN BIRD 1812-SAH-PRSSO W/ 50 GTR MICRO SPRAY | 123 | 30 | 2.5 / 4' |
| RAIN BIRD 1812-SAH-PRSSO W/ 50 GTR MICRO SPRAY | 203 | 30 | 2.5 / 4' |
| HANTER PROS-12-PRSSO-CV W/ W/800GR NOZZLE | 23-18 | 40 | 10' |
| HANTER PROS-06-PRSSO-CV W/ W/800GR NOZZLE | 23-18 | 40 | 10' |
| HANTER PROS-06-PRSSO CV W/ 20 MICRO SPRAY NOZZLE | 18 | 30 | 2" / 10' |
| HANTER PROS-06-CV W/ 3/8" x 1/8" BUBBLER NOZZLE | 29 | 30 | 15' |
| HANTER PROS-06-CV W/ MSB-250 BUBBLER NOZZLE | 10 | 30 | 15' |
| RAIN BIRD 1812-06-1200P SHIELD ONLINE | 10/200 | 100 | 15-75' |

- PRESCRIPTIVE COMPLIANCE OPTION**
- (A) This appendix contains prescriptive requirements which may be used as a compliance option to the Ordinance.
- (B) Compliance with the following items is mandatory and must be documented in a landscape plan in order to use the prescriptive compliance option:
- Submit a Landscape Documentation Package which includes the following elements:
 - Date: 9-23-25
 - Project applicant: Daniel Stewart & Associates on behalf of Doug Jackson
 - Project address: 2057 & 2061 E. Ocean Blvd., Newport Beach, CA
 - Total landscape area: New-453 SF
 - Project type: New Landscape
 - Water supply type: Potable, Newport Beach Water
 - Contact information for the project applicant and project owner: Douglas Jackson 949-640-4567
 - Applicant signature and date with statement, "I agree to comply with the requirements of the prescriptive compliance option to the MWEL0"
 - Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contraindicated by a soil test);
 - Plant material shall comply with all of the following:
 - For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plan factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plan factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water;
 - A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
 - Turf shall comply with all of the following:
 - Turf shall not exceed 25% of the landscape area in residential areas, and turf shall not be planted in non-residential areas
 - Turf shall not be planted on sloped areas which exceed a slope of 1 foot vertical elevation change for every 4 feet of horizontal length;
 - Turf is prohibited in parkways less than 10 feet wide, unless the parkway is adjacent to a parking strip and used to enter and exit vehicles. Any turf in parkways must be irrigated by sub-surface irrigation, or by other technology that creates no over-spray or runoff.
 - Irrigation systems shall comply with the following:
 - Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data
 - Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted.
 - Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range.
 - Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
 - All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC802-2014, "Landscape Irrigation Sprinkler and Emitter Standard." All Sprinkler heads installed in the landscape must document a distribution uniformly low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
 - At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.

Install all materials to comply with all applicable codes and ordinances.

Point of connection at existing water main, verify exact location and water supply, 60PSI and PSI.

The layout shall provide 100% coverage and shall separate turf from shrubs/groundcover areas as well as sun from shade areas.

Provide and install a solid state automatic controller that allows each system to operate independently and locate it inside the garage, or per the owner's direction. Verify whether existing controller may be used.

Provide all appropriate backflow prevention as required by local codes. Install backflow(s) in shrub/ground cover areas and areas from view with shrubs.

Adjust spray heads to eliminate overspray onto walks, walls, patios and streets. Provide pressure compensating nozzles where necessary.

All heads in over-spray cover areas adjacent to turf, walks, patios or other paving shall be pop-ups.

Non pressure laterals shall be PVC class 200 with schedule 40 fittings, threaded fittings to be schedule 80. Burg lateral(s) 1/2" deep minimum.

All pipes located under pavement to be installed in schedule 40 sleeves placed prior to paving.

Whenever possible place control wires, mainline and laterals within the same trench.

Install drip irrigation to all pots, connect tubing.

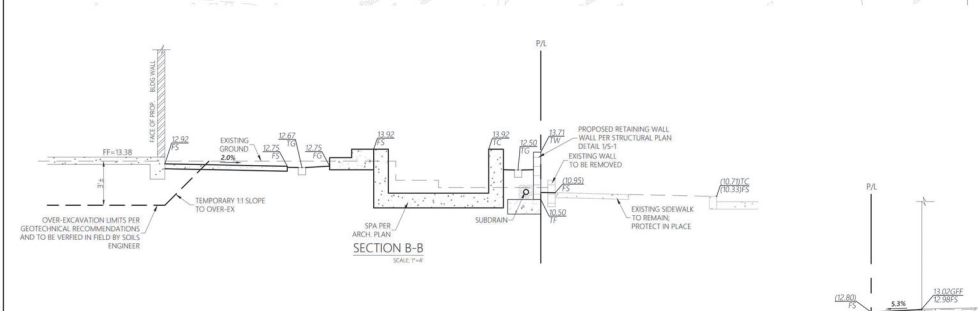
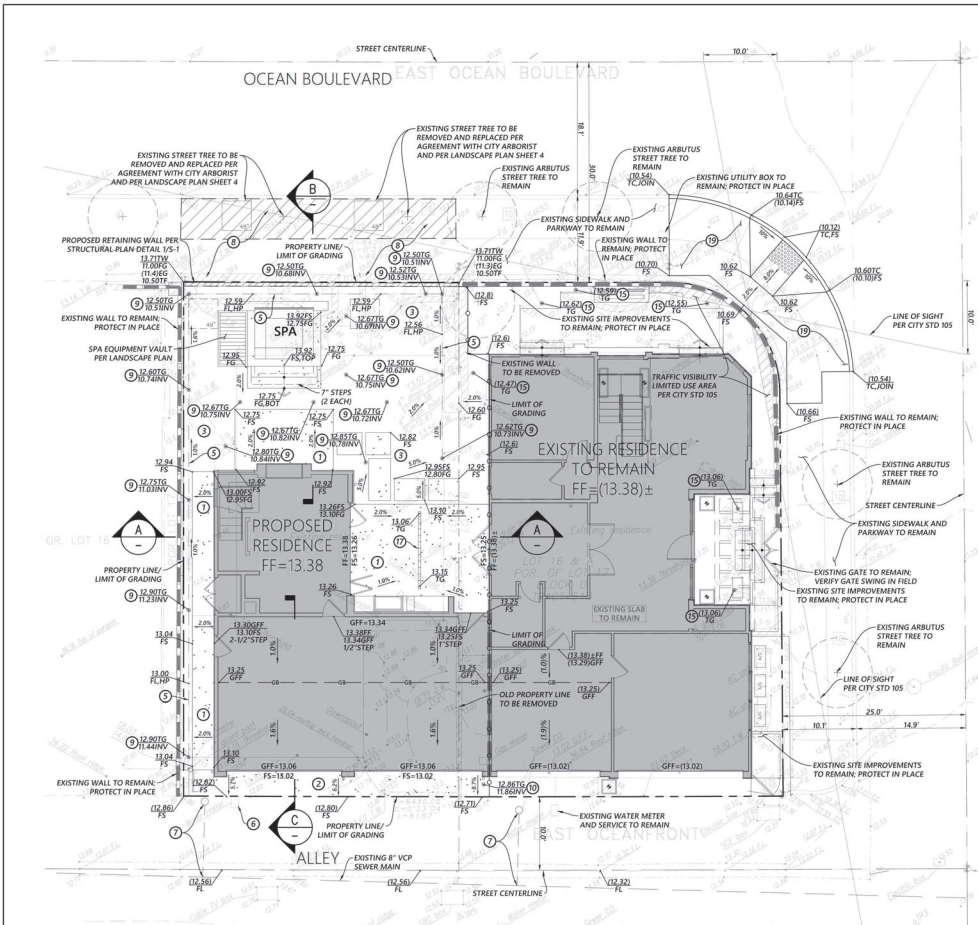
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWEL0.

D. Stewart 9-8-25

PROJECT: JACKSON RESIDENCE
 ADDRESS: 2057 & 2061 E. OCEAN BLVD., NEWPORT BEACH, CA
 DATE: 4-6-26
 DRAWN BY: L.Y.
 SCALE: 1/4" = 1'-0"

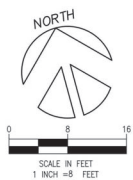
Daniel Stewart & Assoc.
 Landscape Architects
 2700 CAMDEN PARKWAY #200
 NEWPORT BEACH, CA 92660
 TEL: 949-261-2800 • FAX: 949-261-2975

12-21-26
 CITY OF CALIFORNIA
 SEAL OF THE CITY ENGINEER



LEGEND

- TOP TOP OF SLOPE
 - TRW TOP OF RETAINING WALL
 - TOS TOP OF SLAB
 - TC TOP OF CURB
 - TC TOP OF COPING OR TOP OF CURB
 - TW TOP OF WALL
 - TR TOP OF RAILING
 - TS TOP OF STEMWALL
 - EG EXISTING GRADE
 - FS FINISHED SURFACE
 - FL FLOW LINE
 - FG FINISHED GRADE
 - GR GRADE BARE
 - HP HIGH POINT
 - INV INVERT
 - GF GARAGE FINISHED FLOOR
 - EG EXISTING GRADE
 - NG NATURAL GRADE
 - NG EXISTING SPOT ELEVATION
- HARDSCAPE PER ARCH. PLAN
 --- PROPERTY LINE AND LIMIT-OF-WORK
 --- PROPOSED RETAINING WALL PER STRUCTURAL PLAN DETAIL 1/5-1
 --- BUILDING STEMWALL
 --- EXISTING ELEVATION CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CIVILSCAPES ENGINEERING



WQMP NOTE:
 ANY CHANGES TO THE HARDSCAPE / LANDSCAPE MUST BE INDICATED ON A REVISED PRECISE GRADING PLAN, APPROVED BY THE CITY, AND MAY TRIGGER A WATER QUALITY MANAGEMENT PLAN (WQMP) CONSISTENT WITH THE MODEL WQMP, EXHIBIT J.11

CONSTRUCTION NOTES

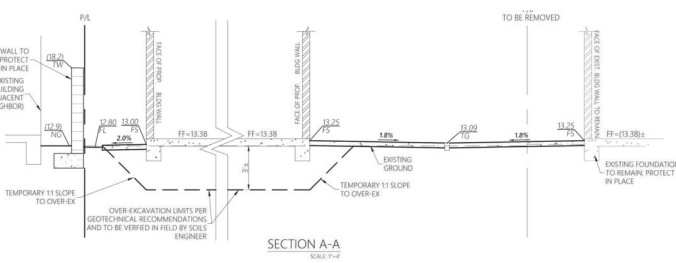
- 1 HARDSCAPE PER ARCHITECT'S PLAN.
- 2 DRIVEWAY PER ARCHITECT'S PLAN.
- 3 PLANTER AREA PER ARCHITECT'S PLAN.
- 4 WALL OR FENCE PER ARCHITECT'S PLAN.
- 5 EXISTING FLOWLINE PER DETAIL HEREON.
- 6 EXISTING METER IS SUBSTANDARD, REMOVE AND REINSTALL 1-INCH WATER METER PER CITY OF NEWPORT BEACH STANDARD DRAWING STD 406. PROTECT SERVICE LINE FROM METER TO WATER MAIN. METER AND SERVICE SIDE SHALL BE CONFIRMED BY MEP CONSULTANT.
- 7 FIELD VERIFY LOCATION AND CONDITION OF EXISTING SEWER LATERAL. TO SATISFACTION OF CITY ENGINEER REMOVE EXISTING CLEANOUT AND PROVIDE NEW SEWER CLEANOUT WITH TRAFFIC RATED BOX PER CITY OF NEWPORT BEACH STANDARD DRAWING STD 406.
- 8 REMOVE EXISTING WALL WITHIN PUBLIC RIGHT-OF-WAY. REMOVE EXISTING DECORATIVE HARDSCAPE AND RECONSTRUCT PARKWAY WITH TURF OR DROUGHT TOLERANT LANDSCAPING PER CITY OF NEWPORT BEACH STANDARD DRAWING STD 80 AND PER LANDSCAPE PLAN. EXISTING SIDEWALK TO REMAIN. AN ENCROACHMENT AGREEMENT PERMIT WILL BE REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY.
- 9 FURNISH & INSTALL 6" NDS SPEE-D-BASIN W/6" GREEN ATRIUM GRATE PER DETAIL ON SHEET C.3.
- 10 FURNISH & INSTALL 6" NDS SPEE-D-BASIN W/8" BRASS SYSTEM TO REMAIN, PROTECT IN PLACE.
- 11 EXISTING AREA DRAIN AND STORM DRAIN SYSTEM TO REMAIN, PROTECT IN PLACE.
- 12 4-INCH WIDE NDS TRENCH DRAIN W/ LIGHT GREY GRATE.
- 13 RECONSTRUCT SIDEWALK CURB RAMP PER CITY OF NEWPORT BEACH STANDARD DRAWING STD 181, CASE '1'.

*** ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.

**** ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-41 LICENSED PIPELINE CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.

TRENCH AND EXCAVATION NOTE

1. CONTRACTOR SHALL USE CITY STANDARD FORM '30-DAY NOTICE OF INTENT TO EXCAVATE' TO NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 30 DAYS PRIOR TO STARTING EXCAVATION OR SHORING. CITY STANDARD FORM CAN BE OBTAINED AT: <http://www.newportbeachca.gov/home/showdocument?id=17395>. PROOF OF CERTIFIED DELIVERY IS REQUIRED AT THE TIME OF PERMIT ISSUANCE.
2. CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND/OR UNDERPINNING.
3. CONTINUOUS SPECIAL INSPECTION, PER SECTION 1705.6, SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.



City of Newport Beach

CIVILSCAPES
 ENGINEERING
 28052 CAMINO CAPISTRANO, STE 213
 LAGUNA HILLS, CA 92657
 949.484.8115 info@civilscales.com

PRECISE GRADING PLAN FOR JACKSON RESIDENCE GRADING PLAN
 2057 EAST OCEAN BOULEVARD
 NEWPORT BEACH, CA 92661

REVISIONS

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |

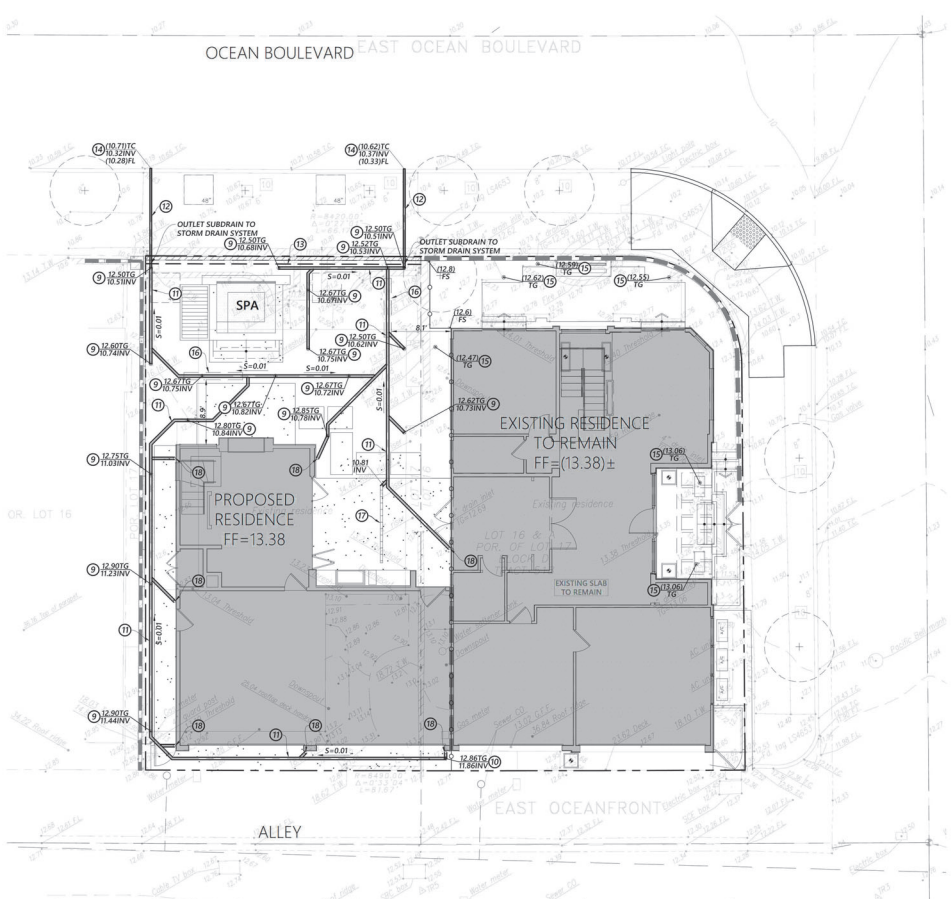


JOB NO. 24040
 DATE 4/16/2026
 SHEET NO.

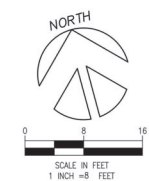
C2
 SHEET NO. 2 OF 6



City of Newport Beach



- LEGEND**
- TOP TOP OF SLOPE
 - TRW TOP OF RETAINING WALL
 - TOS TOP OF SLAB
 - TG TOP OF GRATE
 - TC TOP OF COPING OR TOP OF CURB
 - TW TOP OF WALL
 - TR TOP OF RAILING
 - TS TOP OF STEMMALL
 - EG EXISTING GRADE
 - FS FINISHED SURFACE
 - FL FLOW LINE
 - FG GRADE BREAK
 - GP HIGH POINT
 - INV INVERT
 - GFF GARAGE FINISHED FLOOR
 - EG EXISTING GRADE
 - NG NATURAL GRADE
 - NG () EXISTING SPOT ELEVATION
 - HARDSCAPE PER ARCH. PLAN
 - - - PROPERTY LINE AND LIMIT-OF-WORK
 - - - PROPOSED WALL
 - - - BUILDING STEMMALL
 - (102.6) OR EXISTING ELEVATION CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CIVILSCAPES ENGINEERING



WQMP NOTE:
 ANY CHANGES TO THE HARDSCAPE / LANDSCAPE MUST BE INDICATED ON A REVISED PRECISE GRADING PLAN, APPROVED BY THE CITY, AND MAY TRIGGER A WATER QUALITY MANAGEMENT PLAN (WQMP) CONSISTENT WITH THE MODEL WQMP, EXHIBIT 7.11.

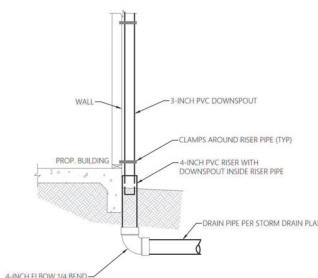
- CONSTRUCTION NOTES**
1. FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" GREEN ATRIUM GRATE PER DETAIL HEREON.
 2. FURNISH & INSTALL 4" NDS SPEE-D BASIN W/6" BRASS SQUARE GRATE PER DETAIL HEREON.
 3. FURNISH & INSTALL 4-INCH SDR-35 PVC STORM DRAIN (OR APPROVED EQUAL) PER CPC. INCLUDE REQUIRED JOINTS AND FITTINGS PER CPC. CONSTRUCT TRENCH, BEDDING, AND BACKFILL PER ASTM D 2321 AND SOILS REPORT.
 4. FURNISH & INSTALL 4-INCH PERFORATED PVC SUBDRAIN (OR APPROVED EQUAL) PER CPC. INCLUDE REQUIRED JOINTS AND FITTINGS PER CPC. CONSTRUCT TRENCH, BEDDING, AND BACKFILL PER ASTM D 2321 AND SOILS REPORT.
 5. FURNISH & INSTALL 3-INCH SDR-35 PVC STORM DRAIN (OR APPROVED EQUAL) PER CPC. INCLUDE REQUIRED JOINTS AND FITTINGS PER CPC. CONSTRUCT TRENCH, BEDDING, AND BACKFILL PER ASTM D 2321 AND SOILS REPORT.
 6. CONSTRUCT SIDEWALK & PRIVATE DRAIN THROUGH CURB PER CITY OF NEWPORT BEACH STANDARD DRAWING STD 184.
 7. EXISTING AREA DRAIN AND STORM DRAIN SYSTEM TO REMAIN. PROTECT IN PLACE.
 8. CONSTRUCT 6" LINEAR FOOT PERFORATED PIPE AND GRAVEL TRENCH DRAIN PER DETAIL HEREON.
 9. 4-INCH WIDE NDS TRENCH DRAIN W/ LIGHT GREY GRATE.
 10. CONNECT ROOF DRAIN DOWNSPOUT TO PRIVATE STORM DRAIN SYSTEM PER DETAIL HEREON.

TRENCH AND EXCAVATION NOTE

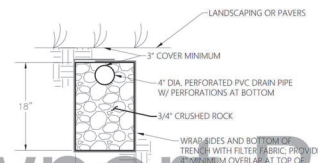
1. CONTRACTOR SHALL USE CITY STANDARD FORM "30-DAY NOTICE OF INTENT TO EXCAVATE" TO NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 30 DAYS PRIOR TO STARTING EXCAVATION OR SHORING. CITY STANDARD FORM CAN BE OBTAINED AT: <http://www.newportbeachca.gov/home/showdocument?id=17395>. PROOF OF CERTIFIED DELIVERY IS REQUIRED AT THE TIME OF PERMIT ISSUANCE.
2. CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND/OR UNDERPINNING.
3. CONTINUOUS SPECIAL INSPECTION, PER SECTION 1705.6, SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.



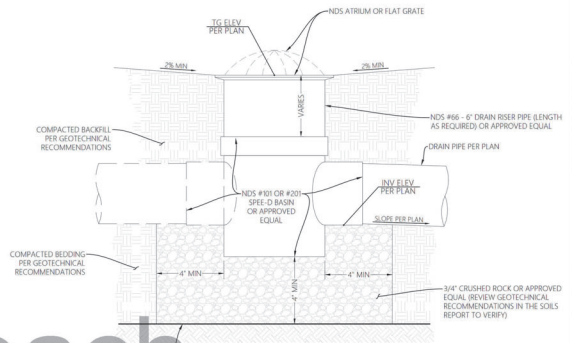
5-8-26



16 DOWNSPOUT CONNECTION DETAIL
 NO SCALE



16 PERFORATED DRAIN PIPE AND TRENCH
 NO SCALE



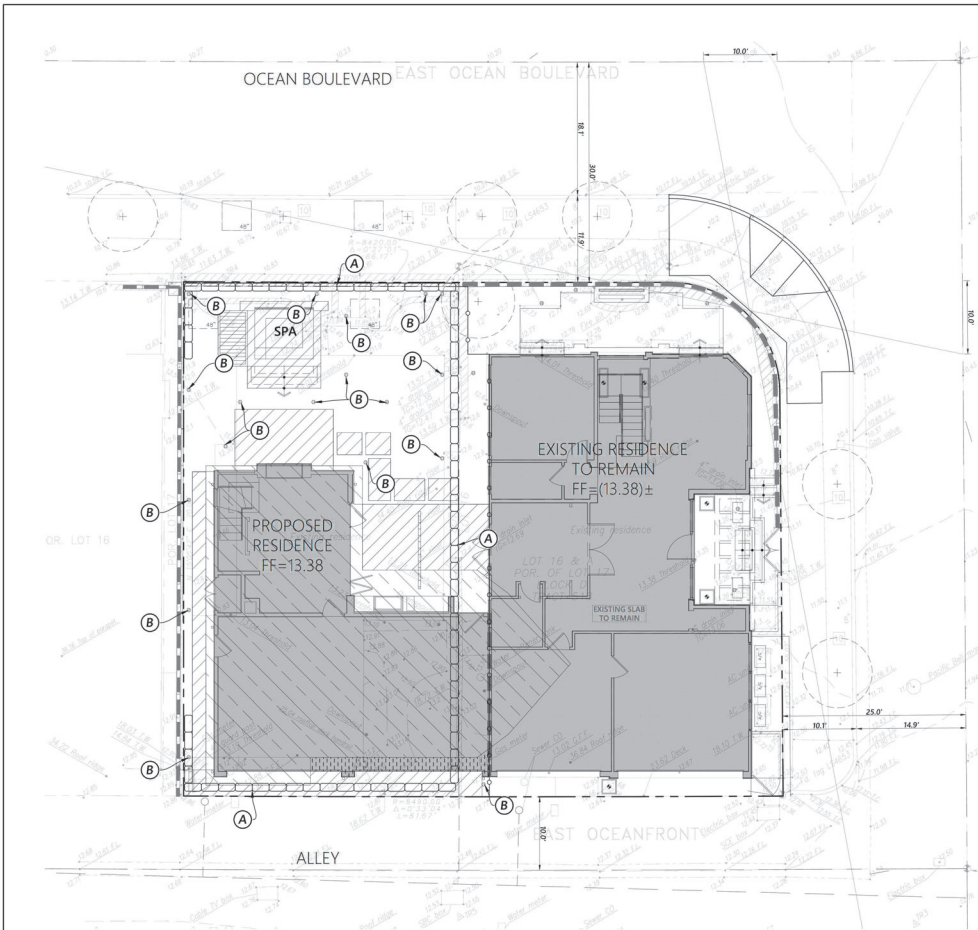
9/10 NDS SPEE-D BASIN DETAIL
 NO SCALE

CIVILSCAPES
 ENGINEERING
 28052 CAMINO CAPISTRANO, STE 213
 LAGUNA NIGUEL, CA 92677
 949.484.8115 info@civilscales.com

**PRECISE GRADING PLAN
 FOR JACKSON RESIDENCE
 STORM DRAIN PLAN**
 2057 EAST OCEAN BOULEVARD
 NEWPORT BEACH, CA 92661

| REVISIONS | NO. | REVISION | DATE |
|-----------|-----|----------|------|
| | | | |
| | | | |
| | | | |
| | | | |

JOB NO. 24040
 DATE 4/16/2026
 SHEET NO. C3



WQMP NOTE:
 ANY CHANGES TO THE HARDSCAPE / LANDSCAPE MUST BE INDICATED ON A REVISED PRECISE GRADING PLAN, APPROVED BY THE CITY, AND MAY TRIGGER A WATER QUALITY MANAGEMENT PLAN (WQMP) CONSISTENT WITH THE MODEL WQMP, EXHIBIT 7.1.

EROSION CONTROL CONSTRUCTION NOTES

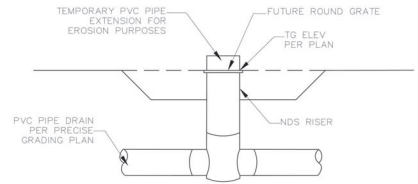
- Ⓐ INSTALL GRAVEL BAG BARRIER PER CASCA SE-8 AND SE-6
- Ⓑ INLET PROTECTION PER DETAIL HEREON

NOTES:

1. CONTRACTOR SHALL PROVIDE ONSITE CONCRETE WASHOUT FACILITY AND COMPLY WITH CASCA BMP WM-5.
2. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNNOTS, VEHICLE TRACKING, OR WIND.
3. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNNOTS.



Ⓐ GRAVEL BAG DETAIL
NO SCALE



Ⓑ AREA DRAIN INLET PROJECTION
NO SCALE

IMPERVIOUS AREA CALCULATIONS

| | |
|---|---|
| | PROPOSED IMPERVIOUS ROOF AREA = 1,474 SF |
| | PROPOSED IMPERVIOUS SLAB AREA = 49 SF |
| | PROPOSED IMPERVIOUS HARDSCAPE AREA = 658 SF |
| TOTAL PROPOSED IMPERVIOUS AREA = 2,181 SF < 5,000 SF THEREFORE OKAY | |



City of Newport Beach

CIVILSCAPES
 ENGINEERING
 28052 CAMINO CAPISTRANO, SITE 213
 LAGUNA NIGUEL, CA 92677
 949.484.8115 info@civilscales.com

**PRECISE GRADING PLAN
 FOR JACKSON RESIDENCE
 CONST. POLLUTION PREVENTION PLAN**
 2057 EAST OCEAN BOULEVARD
 NEWPORT BEACH, CA 92661

REVISIONS

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |

JOB NO. 24040
 DATE 4/16/2026
 SHEET NO.

C4

SHEET NO. 4 OF 6

