

Attachment No. PC 3

Project Plans

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SITE DEVELOPMENT PACKAGE

CLIENT:

ACS DEVELOPMENT GROUP, INC
 FRED F. ALAGHBAND, PRESIDENT
 5020 CAMPUS DRIVE, SUITE 250
 NEWPORT BEACH, CA 92660
 MAIN: 949.263.1920
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ARCHITECT:

ARCHITECTS ORANGE, LLP dba AO
 GISELE WALTER
 174 S. ORANGE STREET, ORANGE, CA 92866
 T: 714.639.9860
 GISELEW@AOARCHITECTS.COM

20071 SW BIRCH ST, NEWPORT BEACH, CA 92660
 PARCEL#: 439-351-12

SUBMITTAL DATE: 2026-03-18

SHEET INDEX

- 00 TITLE SHEET
- T-1.1 ALTA-OVERALL
- T-1.2 ALTA-ENLARGED
- T-1.2a ALTA-PREVIOUS
- T-1.3 VICINITY & ZONING MAP
- T-1.4 TITLE REPORT
- T-1.5 TITLE REPORT
- T-1.6 TITLE REPORT

- A-001 SITE VIEWS - EXISTING & PROPOSED
- A-002 SITE VIEWS - EXISTING & PROPOSED
- A-01 CONCEPTUAL SITE PLAN
- A-02 CONCEPTUAL FLOOR PLANS-OCCUPANCY CALC. & EXITING-LEVEL 1
- A-03 CONCEPTUAL FLOOR PLANS-OCCUPANCY CALC. & EXITING-LEVEL 2
- A-04 CONCEPTUAL FLOOR PLANS-OCCUPANCY CALC. & EXITING-LEVEL 3
- A-05 CONCEPTUAL ROOF PLAN
- A-06 CODE JUSTIFICATION
- A-07 FLOOR AREA CALCS. EXHIBIT

- A-08 CONCEPTUAL ELEVATIONS
- A-09 BUILDING SECTIONS
- A-10 RENDERING VIEWS
- A-11 AXONOMETRIC VIEWS
- A-12 COLOR & MATERIAL BOARD

- C-01 PRELIMINARY GRADING & UTILITY PLAN

- L-01 LANDSCAPE SITE PLAN
- L-02 TREE PLAN
- L-03 SHRUB PLAN
- L-04 SHRUB PLAN

- E-01 SITE PHOTOMETRIC

SEWER IS SERVICED BY COSTA MESA SANITARY DISTRICT (CMSD). APPROVAL OBTAINED 03-18-2026.

WATER IS SERVICED BY IRVINE RANCH WATER DISTRICT (IRWD). APPROVAL OBTAINED 03-18-2026.

PRELIMINARY DRAINAGE STUDY (WQMP) HAS BEEN REVIEWED BY THE CITY'S CONSULTANT. COMMENTS PROVIDED HAVE BEEN ADDRESSED.

ESTABLISHED GRADE CALCULATION:
 55.36 + 54.5 + 54.06 + 55.11 = 219.03; 219/4 = 54.75' = ESTABLISHED GRADE LEVEL

NEW DEVELOPMENT

THE PROPOSED PROJECT IS A TWO STORY 19,156 SF MEDICAL OFFICE BUILDING OVER ON-GRADE PARKING. THE PROJECT WILL BE A WARM SHELL BUILDING FOR FUTURE OUT-PATIENT MEDICAL SERVICE PROVIDERS AND POTENTIALLY 4,000- 5,000 SF OUTPATIENT SURGERY CENTER (AMBULATORY, NOT OSHPD3)

ARCHITECTURAL DESIGN NARRATIVE

THE PROPOSED ARCHITECTURAL EXPRESSION IS ROOTED IN A TIMELESS COASTAL AESTHETIC THAT BALANCES SOLIDITY AND OPENNESS, LIGHT AND SHADOW, AND CONTRASTING TONES. THE DESIGN EMBRACES THE COASTAL ENVIRONMENT THROUGH A HARMONIOUS INTERPLAY OF MASS AND VOID, CREATING A BUILDING THAT FEELS BOTH GROUNDED AND DYNAMIC.

THE COMPOSITION IS ANCHORED BY A DISTINCTIVE ENTRANCE ELEMENT, THOUGHTFULLY ROTATED TO CREATE A DYNAMIC ARRIVAL EXPERIENCE AT THE LOBBY. THIS GESTURE ESTABLISHES A STRONG ARCHITECTURAL IDENTITY WHILE VISUALLY AND PHYSICALLY CONNECTING THE FLOORS THROUGH A SERIES OF CONTINUOUS, ELEGANT COLUMNS THAT REINFORCE VERTICAL COHESION.

OPEN BALCONIES WRAP AROUND THE STRUCTURE, WEAVING BETWEEN THE VERTICAL ARCHITECTURAL ELEMENTS AND THE PRIMARY TOWER MASS. THIS LAYERING GENERATES DEPTH AND MOVEMENT ACROSS THE FAÇADE, PRODUCING A RICH INTERPLAY OF LIGHT AND SHADOW THROUGHOUT THE DAY. THE SHIFTING SHADOWS ANIMATE THE BUILDING'S SURFACES, ENHANCING ITS SCULPTURAL QUALITY.

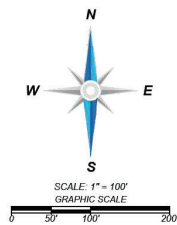
MATERIAL SELECTIONS FURTHER REINFORCE THE DESIGN NARRATIVE. SMOOTH STUCCO IN WARM, LIGHT TONES PROVIDES A REFINED AND INVITING BASE PALETTE, CONTRASTED BY DEFINED TOP AND BOTTOM HORIZONTAL BANDS THAT FRAME THE COMPOSITION. VERTICAL WOOD-LOOK TRELLISES PUNCTUATE THE FAÇADE, INTRODUCING RHYTHM AND TEXTURE WHILE ESTABLISHING A WAVE-LIKE VERTICAL CADENCE THAT ECHOES THE COASTAL CHARACTER.

TOGETHER, THESE ELEMENTS CREATE A COHESIVE ARCHITECTURAL STATEMENT THAT IS CONTEMPORARY YET ENDURING, EXPRESSIVE YET BALANCED.

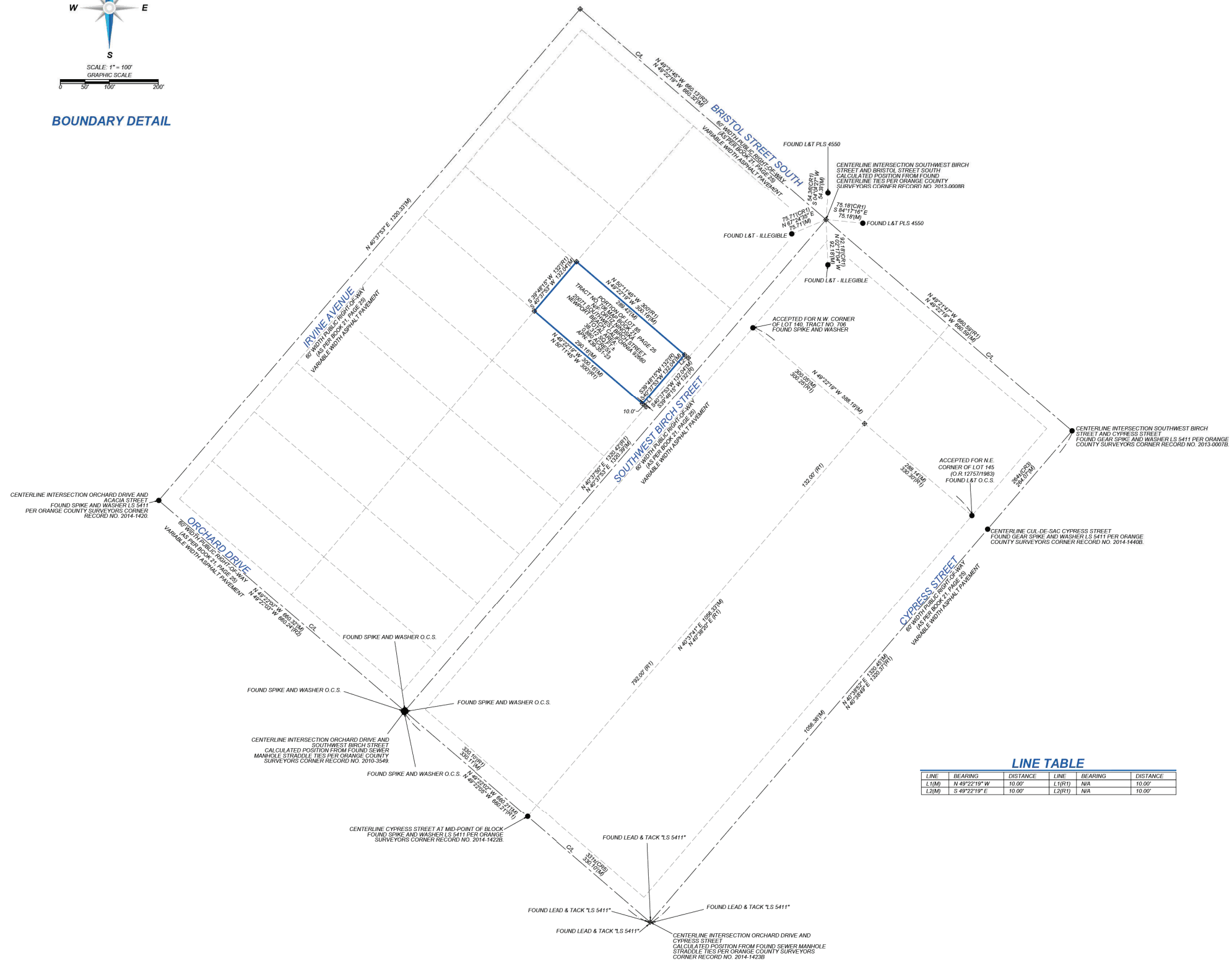
ALTA/NSPS LAND TITLE SURVEY

20071 SOUTHWEST BIRCH STREET

NEWPORT BEACH, ORANGE COUNTY, CALIFORNIA 92660



BOUNDARY DETAIL



LEGEND & SYMBOLS

- FOUND MONUMENT AS-NOTED
- COMPUTED POINT
- (R) RECORD DIMENSION
- (R1) RECORD DIMENSION PER BOOK 21, PAGE 25
- (R2) RECORD DIMENSION PER BOOK 147, PAGE 14
- (M) MEASURED/CALCULATED DIMENSION
- NF NOW OR FORMERLY
- MA MAILING ADDRESS
- L&T LEAD AND TACK
- SQ./T SQUARE FEET
- PROPERTY LINE
- ADJONER TIE LINE
- RIGHT-OF-WAY LINE
- CL CENTERLINE
- EASEMENT LINE

RECORD SURVEY REFERENCES:

(R1) TRACT NO. 706 RECORDED IN BOOK 21 OF MISCELLANEOUS MAPS AT PAGE 25 IN THE OFFICE OF THE RECORDER OF ORANGE COUNTY.

(R2) RECORD OF SURVEY 94-1056 RECORDED IN BOOK 147 AT PAGE 14 IN THE OFFICE OF THE RECORDER OF ORANGE COUNTY.

CORNER RECORD REFERENCES:

(CR1) CENTERLINE INTERSECTION OF BRISTOL STREET AND BIRCH STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2013-00078.

(CR2) CENTERLINE INTERSECTION OF BRISTOL STREET AND CYPRESS STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2013-00078.

(CR3) CENTERLINE CUL-DE-SAC OF CYPRESS STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2014-14408.

(CR4) CENTERLINE INTERSECTION OF ORCHARD DRIVE AND BIRCH STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2010-3549.

(CR5) CENTERLINE INTERSECTION OF ORCHARD DRIVE AND ACACIA STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2014-14228.

(CR6) CENTERLINE INTERSECTION OF ORCHARD DRIVE AND ACACIA STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2014-1420.

SURVEYORS NOTE:

BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY AND PER INFORMATION SHOWN ON TRACT NO. 706 RECORDED IN BOOK 21 OF MISCELLANEOUS MAPS AT PAGE 25 IN THE OFFICE OF THE RECORDER OF ORANGE COUNTY.



DMG, Inc.
2618 San Miguel Dr., ste 290
Newport Beach, CA 92660
Ph: 949-825-7786
Efax: 949-625-9777
www.DMGcorporate.com

SURVEYOR JOB NUMBER:
23-1536.02

SURVEY DRAWN BY:
JDC - 4/30/2025

SURVEY REVIEWED BY:
MB

SHEET:
2 OF 2

NEWPORT BIRCH MEDICAL PLAZA

20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

ALTA-OVERALL



T-1.1

Scale
5/8" = 1'-0"
No. 2025-0301
2026-02-06

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN DEEDITY NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER 93252102-918-KH2-CAM, WITH A COMMITMENT DATE OF APRIL 1, 2025 AT 7:30 A.M.

SCHEDULE A DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 85 OF TRACT NO. 706, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21, PAGE 25 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING SOUTHEASTERLY OF A LINE THAT IS PARALLEL WITH AND 40.00 FEET NORTHWESTERLY FROM THE CENTERLINE OF BIRCH STREET PER RECORD OR SURVEY 92-1098 FILED IN BOOK 138, PAGES 28 THROUGH 32 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER.

EXCEPT THAT PORTION OF SAID LAND AS CONVEYED TO THE COUNTY OF ORANGE IN A DEED RECORDED SEPTEMBER 30, 1996 AS INSTRUMENT NO. 96-498671 OF RECORDS OF ORANGE COUNTY, CALIFORNIA.

APN: 439-351-23

NOTES CORRESPONDING TO SCHEDULE B

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT:
PURPOSE: STREETS, ALLEY, PIPELINES, ELECTRIC POWER, LIGHT AND TELEPHONE LINES, AND ELECTRIC RAILWAYS.
AFFECTS: AS SHOWN ON SAID TRACT MAP (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT:
PURPOSE: PUBLIC USE
AFFECTS: AS SHOWN ON SAID TRACT MAP (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON AGE, RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN, ANCESTRY, FAMILIAL STATUS, SOURCE OF INCOME, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, MEDICAL CONDITION, CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: JUNE 19, 1924
RECORDING NO. BOOK 539, PAGES 138 OF DEEDS (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON AGE, RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN, ANCESTRY, FAMILIAL STATUS, SOURCE OF INCOME, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, MEDICAL CONDITION, CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: FEBRUARY 11, 1927
RECORDING NO. 1454, BOOK 18, PAGE 332 OF OFFICIAL RECORDS
SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LEND OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.
MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS
RECORDING DATE: JULY 17, 2004
RECORDING NO. 2024-189322 OF OFFICIAL RECORDS (AFFECTS, PLOTTED AND SHOWN)
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT REDEVELOPMENT AGENCY: CITY OF NEWPORT BEACH REDEVELOPMENT PROJECT AREA
RECORDING DATE: MAY 4, 1990
RECORDING NO. 90-235869 OF OFFICIAL RECORDS (AFFECTS, BLANKET IN NATURE)

PARKING INFORMATION

NO STRIPED PARKING OBSERVED AT TIME OF SURVEY.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 9605920281 & 9605920282, WHICH BEARS AN EFFECTIVE DATE OF 12/03/2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD. USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD (FLOOD 1) LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH PER CALIFORNIA COORDINATE SYSTEM (CCS83), CALIFORNIA ZONE 6, WHICH IS BASED OFF THE CENTERLINE OF SOUTHWEST BIRCH STREET WHICH BEARS S40°37'53"W PER GPS COORDINATE OBSERVATIONS.

LATITUDE = 33°29'26.612"
LONGITUDE = -117°52'30.1303"
CONVERGENCE ANGLE = -00°53'34.7484"

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT THE TIME OF THE ALTA/NSPS SURVEY.

UTILITY INFORMATION

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

ZONING INFORMATION

PROPERTY IS CURRENTLY ZONED:

"AWAITING ZONING REPORT"

ITEM	REQUIRED	OBSERVED
PERMITTED USE		VACANT LAND
MIN. LOT AREA	38,633 SQ. FT. ±	
MIN. LOT WIDTH	132.04'	
MAX. BLDG COVERAGE	N/A	
MIN. SETBACKS FRONT	N/A	
MIN. SETBACKS SIDE	N/A	
MIN. SETBACKS REAR	N/A	
MAX. BUILDING HEIGHT	N/A	
PARKING REGULAR	0	
PARKING HANDICAP	0	
PARKING TOTAL	0	

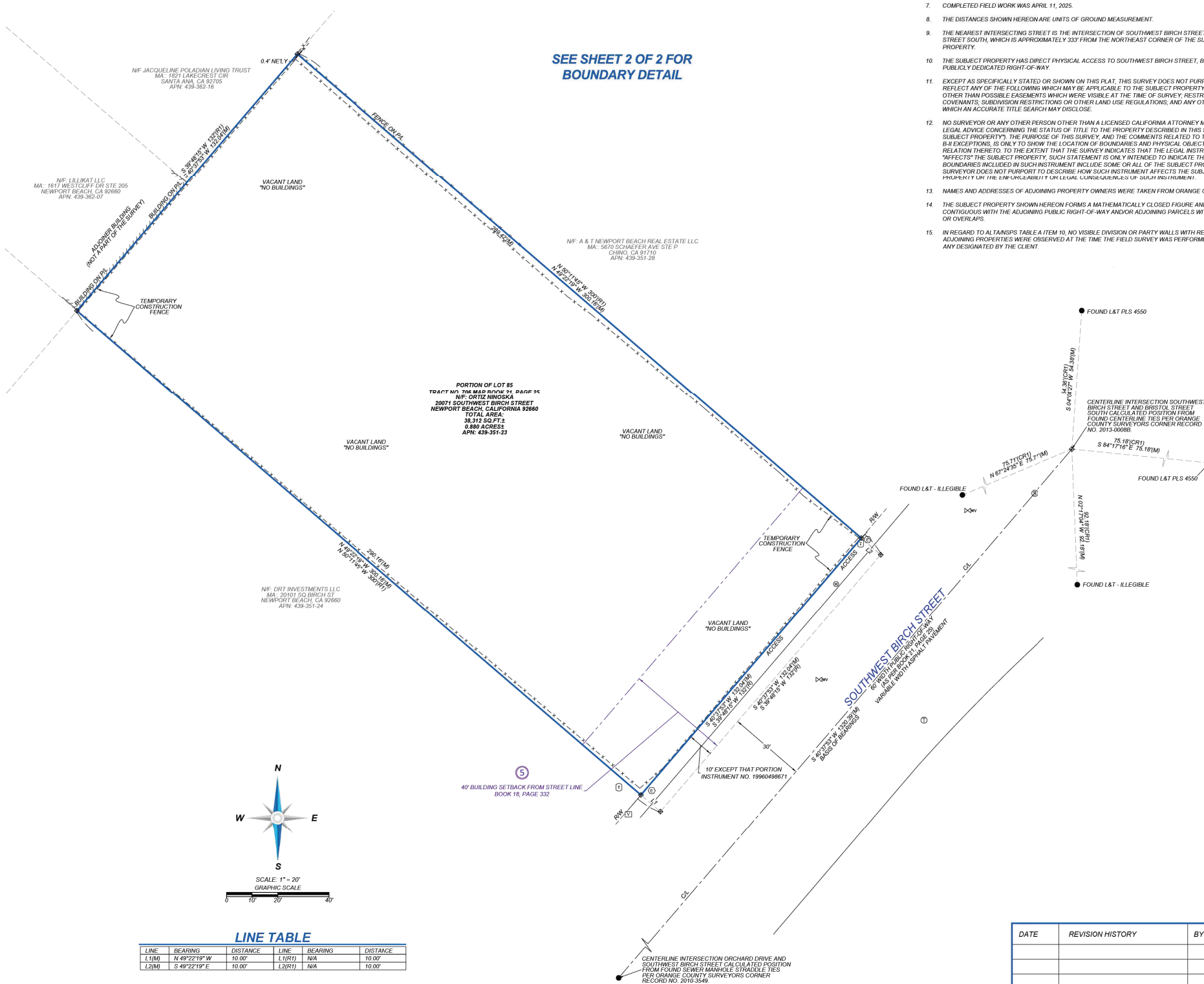
SITE INFORMATION

NF: ORTIZ WINOSKA
20071 SOUTHWEST BIRCH STREET
NEWPORT BEACH, CALIFORNIA 92660
APN: 439-351-23
38,312± SQUARE FEET, OR 0.880± ACRES

ALTA/NSPS LAND TITLE SURVEY

20071 SOUTHWEST BIRCH STREET
NEWPORT BEACH, ORANGE COUNTY, CALIFORNIA 92660

SEE SHEET 2 OF 2 FOR BOUNDARY DETAIL

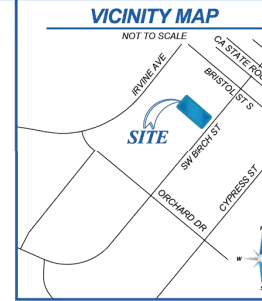


LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1(N)	N 49°22'19" W	10.00'	L1(R)	N/A	10.00'
L2(M)	S 49°22'19" E	10.00'	L2(R)	N/A	10.00'

GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- IN REGARD TO ALTA/NSPS TABLE A ITEM 16, THERE WAS OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS.
- IN REGARD TO ALTA/NSPS TABLE A ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
- AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL.
- AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
- COMPLETED FIELD WORK WAS APRIL 11, 2025.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF SOUTHWEST BIRCH STREET AND BRISTOL STREET SOUTH, WHICH IS APPROXIMATELY 333' FROM THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SOUTHWEST BIRCH STREET, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED CALIFORNIA ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY (THE SUBJECT PROPERTY). THE PURPOSE OF THIS SURVEY AND THE COMMENTS RELATED TO THE SCHEDULE B-EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO. TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY IN THE EVENT OF AN ENFORCEMENT LITIGATION CONCERNING SUCH INSTRUMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM ORANGE COUNTY GIS.
- THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
- IN REGARD TO ALTA/NSPS TABLE A ITEM 10, NO VISIBLE DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PARCELS WERE OBSERVED AT THE TIME THE FIELD SURVEY WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT.



LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- COMPUTED POINT
- UTILITY VALVET
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC VALVET
- WATER METER
- WATER VALVET
- TELECOMMUNICATION PEDESTAL
- PROPERTY LINE
- RECORD DIMENSION
- RECORD DIMENSION PER BOOK 21, PAGE 25
- RECORD DIMENSION PER BOOK 147, PAGE 14
- MEASURED/CALCULATED DIMENSION
- NF NOW OR FORMERLY
- MA MAILING ADDRESS
- L&T LEAD AND TACK
- SQ.FT. SQUARE FEET
- PROPERTY LINE
- ADJOINER TITLE LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- FENCE LINE
- EASEMENT LINE

RECORD SURVEY REFERENCES:

(R1) TRACT NO. 706 RECORDED IN BOOK 21 OF MISCELLANEOUS MAPS AT PAGE 25 IN THE OFFICE OF THE RECORDER OF ORANGE COUNTY.
(R2) RECORD OF SURVEY 94-1056 RECORDED IN BOOK 147 AT PAGE 14 IN THE OFFICE OF THE RECORDER OF ORANGE COUNTY.

CORNER RECORD REFERENCES:

(CR1) CENTERLINE INTERSECTION OF BRISTOL STREET AND BIRCH STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2013-0008B.
(CR2) CENTERLINE INTERSECTION OF BRISTOL STREET AND CYPRESS STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2013-0007B.
(CR3) CENTERLINE CUL-DE-SAC OF CYPRESS STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2014-1446B.
(CR4) CENTERLINE INTERSECTION OF ORCHARD DRIVE AND BIRCH STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2010-3549.
(CR5) CENTERLINE INTERSECTION OF ORCHARD DRIVE PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2014-1422B.
(CR6) CENTERLINE INTERSECTION OF ORCHARD DRIVE AND ACACIA STREET PER ORANGE COUNTY SURVEYORS CORNER RECORD NO. 2014-1420.

SURVEYORS NOTE:

BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY AND PER INFORMATION SHOWN ON TRACT NO. 706 RECORDED IN BOOK 21 OF MISCELLANEOUS MAPS AT PAGE 25 IN THE OFFICE OF THE RECORDER OF ORANGE COUNTY.

SURVEYOR'S CERTIFICATE

TO: COMMONWEALTH LAND TITLE COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 6(A), 6(B), 7(B)(1), 7(C), 8, 9, 10, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 4/11/2025.
DATE OF PLAT OR MAP: 4/30/2025

ROBERT J. WINNICKI
REGISTERED LAND SURVEYOR 8608
STATE OF CALIFORNIA

DMG, Inc.
2618 San Miguel Dr., ste 290
Newport Beach, CA 92660
Ph: 949-825-7786
Efax: 949-625-9777
www.DMGcorporate.com

DATE	REVISION HISTORY	BY

SURVEYOR JOB NUMBER: 23-1536-02	SURVEY DRAWN BY: JDC - 4/30/2025
SURVEY REVIEWED BY: MB	SHEET: 1 OF 2

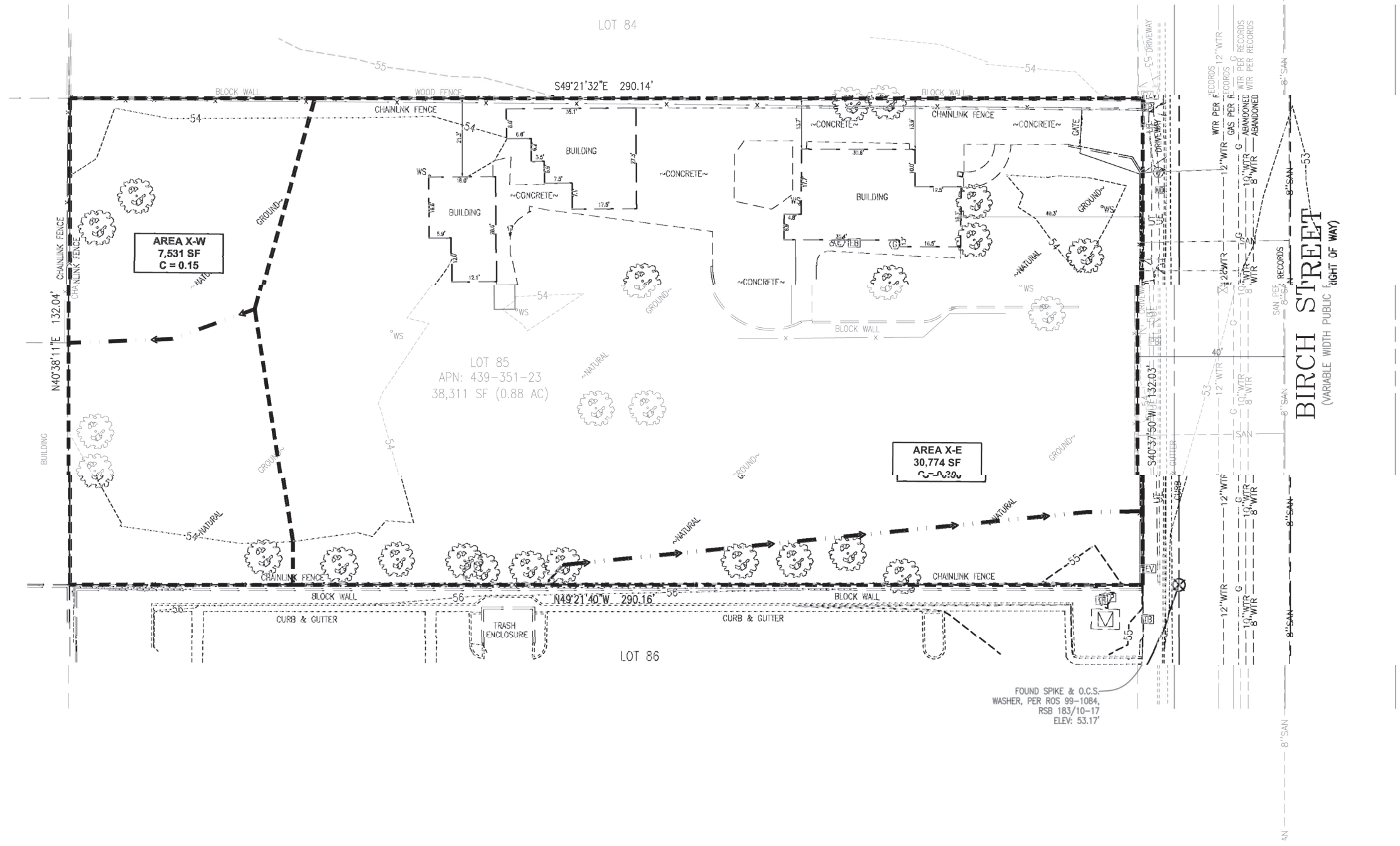
NEWPORT BIRCH MEDICAL PLAZA
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

ALTA-ENLARGED



T-1.2

Scale
Date: 2025-03-01
2026-02-06



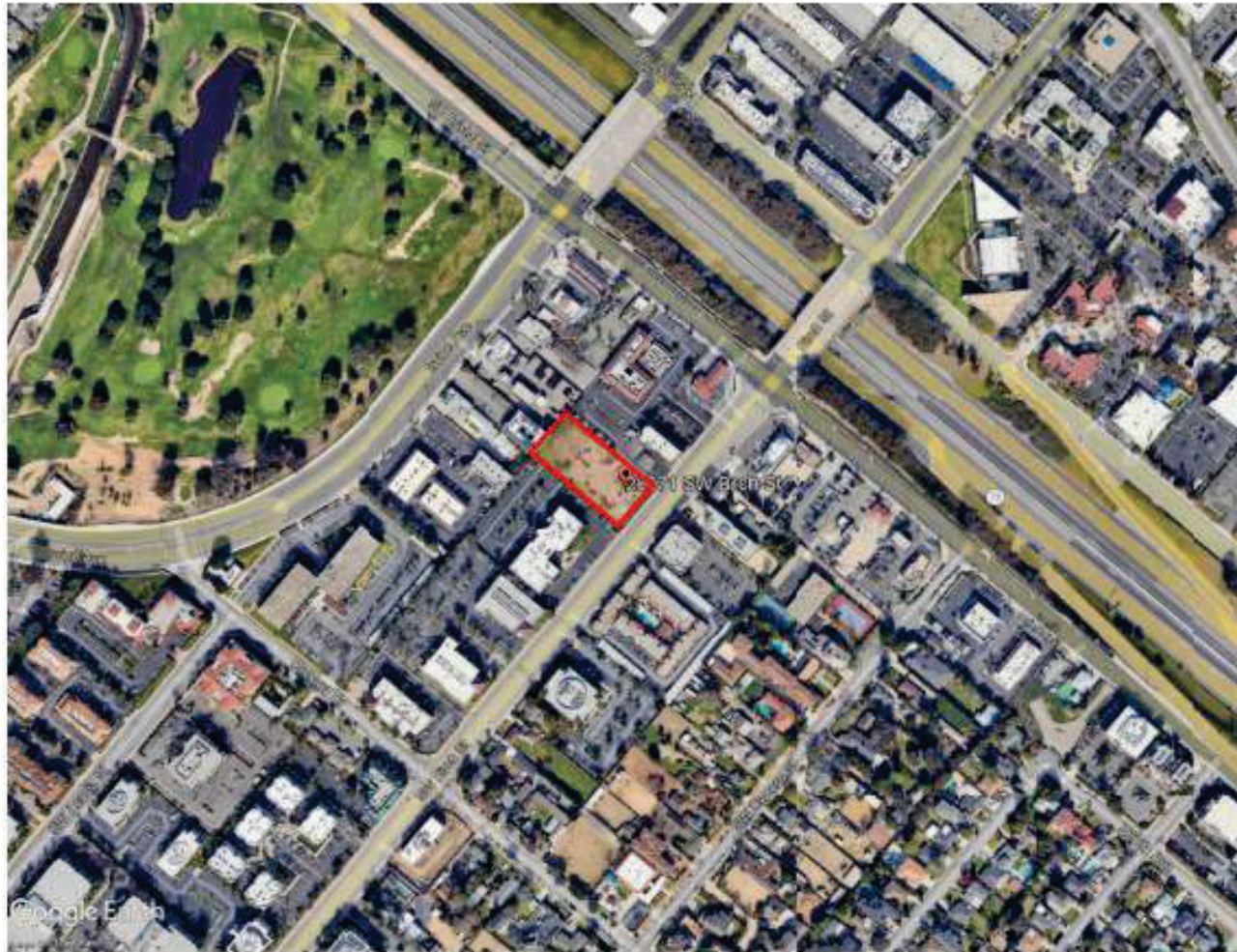
NEWPORT BIRCH MEDICAL PLAZA
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

ALTA-PREVIOUS



T-1.2a

Scale
5/8" = 1'-0"
2025-0301
2026-02-06



VICINITY MAP 



ZONING MAP 

NEWPORT BIRCH MEDICAL PLAZA
 20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

VICINITY & ZONING MAP





4400 MacArthur Blvd, Suite 800
Newport Beach, CA 92660

Prelim Number:

932502102
Update V1

Issuing Policies of Commonwealth Land Title Insurance Company

Order No.: 932502102
TO: Rutan & Tucker, LLP
18575 Jamboree Road, 9th Floor
Irvine, CA 92612
Attn: Michael Benvenuti
Ref No.: 932502102
Title Officer: Chris Maziar
Email: CMaziar@dtic.com
Phone No.: 9497243170
Fax No.: 949 288 6740
Escrow Officer:
Address:
Phone No.:
Fax No.:
Loan No.:

Property: 20071 Birch Street, Newport Beach, CA

In response to the application for a policy of title insurance referenced herein, Commonwealth Land Title Company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of a defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Exclusions from Coverage, and Conditions of said policy forms.

With respect to any contemplated owner's policy, the printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA/ALTA Homeowner's Policy of Title Insurance, which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a binder or commitment should be requested.

Countersigned By:

Ron Howarth
Authorized Officer or Agent
Ron Howarth

- 8. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document. Recording Date: February 11, 1927 Recording No.: 7454, Book 18, Page 332 of Official Records. Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value. Modification(s) of said covenants, conditions and restrictions. Recording Date: July 17, 2024 Recording No.: 2024-180322 of Official Records. 9. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the Redevelopment Plan) as disclosed by a document. Redevelopment Agency: City of Newport Beach Redevelopment Project Area Recording Date: May 4, 1990 Recording No.: 90-235869 of Official Records. 10. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.

END OF EXCEPTIONS

PLEASE REFER TO THE "INFORMATIONAL NOTES" AND "REQUIREMENTS" SECTIONS WHICH FOLLOW FOR INFORMATION NECESSARY TO COMPLETE THIS TRANSACTION.

For APN/Parcel ID(s): 439-351-23

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 85 OF TRACT NO. 706, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21, PAGE 25 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION OF SAID LAND AS CONVEYED TO THE COUNTY OF ORANGE IN A DEED RECORDED SEPTEMBER 30, 1996 AS INSTRUMENT NO. 96-498671, OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PORTION OF SAID LOT 85 LYING SOUTHEASTERLY OF A LINE THAT IS PARALLEL WITH AND 40.00 FEET NORTHWESTERLY FROM THE CENTER LINE OF BIRCH STREET PER RECORD OF SURVEY 92- 1098, FILED IN BOOK 138, PAGES 28 THROUGH 32 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PLOTTED EASEMENTS

REQUIREMENTS

- 1. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below. Limited Liability Company: Newport-birch Holdings, LP a. A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member. b. If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendment thereto with the appropriate filing stamps. c. If the Limited Liability Company is member-managed a full and complete current list of members certified by the appropriate manager or member. A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created. e. If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing. f. If Limited Liability Company is a Single Member Entity, a Statement of Information for the Single Member will be required. g. Each member and manager of the LLC without an Operating Agreement must execute in the presence of a notary public the Certificate of California LLC (Without an Operating Agreement) Status and Authority form. 2. In order to complete this report, the Company requires a Statement of Information to be completed by the following party(ies). Party(ies): All Parties The Company reserves the right to add additional items or make further requirements after review of the requested Statement of Information. NOTE: The Statement of Information is necessary to complete the search and examination of title under this order. Any title search includes matters that are indexed by name only, and having a completed Statement of Information assists the Company in the elimination of certain matters which appear to involve the parties but in fact affect another party with the same or similar name. Be assured that the Statement of Information is essential and will be kept strictly confidential to this file. 3. Unrecorded matters which may be disclosed by an Owner's Affidavit or Declaration. A form of the Owner's Affidavit/Declaration is attached to this Preliminary Report/Commitment. This Affidavit/Declaration is to be completed by the record owner of the land and submitted for review prior to the closing of this transaction. Your prompt attention to this requirement will help avoid delays in the closing of this transaction. Thank you. The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit/Declaration.

END OF REQUIREMENTS

Effective date: September 8, 2025 at 07:30 AM, Update V1 Reissued: September 16, 2025

The form of Policy or Policies of Title Insurance contemplated by this Report is:

ALTA Owner's Policy 2021

1. The estate or interest in the Land hereinafter described or referred to covered by this Report is:

A Fee

2. Title to said estate or interest at the date hereof is vested in: Newport-Birch Holdings, LP, a California limited partnership

3. The Land referred to in this Report is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

INFORMATIONAL NOTES

- 1. Note: None of the items shown in this report will cause the Company to decline to attach ALTA Endorsement Form 9 to an Extended Coverage Loan Policy, when issued. 2. Note: The Company is not aware of any matters which would cause it to decline to attach CLTA Endorsement Form 116 indicating that there is located on said Land a Multiple Family Residence, known as 20071 Birch Street, City of Newport Beach, County of Orange, CA, to an Extended Coverage Loan Policy. 3. Note: The only conveyance(s) affecting said Land, which recorded within 24 months of the date of this report, are as follows: Grantor: Birch Parcel, LLC., a California limited liability company Grantee: Newport-Birch Holdings, LP., a California limited partnership Recording Date: June 3, 2025 Recording No.: 2025-156931, of Official Records Tax Identification No.: 439-351-23 Fiscal Year: 2024-2025 1st Installment: \$24,302.06 2nd Installment: \$24,302.06 Exemption: \$0.00 Code Area: 07-190 5. Note: The charge for a policy of title insurance, when issued through this title order, will be based on the Basic Title Insurance Rate. 6. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities. 7. The application for title insurance was placed by reference to only a street address or tax identification number. The proposed Insured must confirm that the legal description in this report covers the parcel(s) of Land requested to be insured. If the legal description is incorrect, the proposed Insured must notify the Company and/or the settlement company in order to prevent errors and to be certain that the legal description for the intended parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance. 8. Note: If a county recorder, title insurance company, escrow company, real estate broker, real estate agent or association provides a copy of a declaration, governing document or deed to any person, California law requires that the document provided shall include a statement regarding any unlawful restrictions. Said statement is to be in at least 14-point bold face type and may be stamped on the first page of any document provided or included as a cover page attached to the requested document. Should a party to this transaction request a copy of any document reported herein that fits this category, the statement is to be included in the manner described. 9. Note: Any documents being executed in conjunction with this transaction must be signed in the presence of an authorized Company employee, an authorized employee of a Company agent, an authorized employee of the insured lender, or by using Bancserv or other Company-approved third-party service. If the above requirement cannot be met, please call the Company at the number provided in this report.

EXCEPTIONS

At the date hereof, items to be considered and exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

Section A:

The following exceptions will appear in policies when providing standard coverage as outlined below:

- 1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records. 2. Any facts, rights, interests or claims that are not shown by the Public Records but that could be ascertained by an inspection of the land or that may be asserted by persons in possession of the Land. 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records. 4. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records. 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the Public Records. 6. Any lien or right to a lien for services, labor or material not shown by the Public Records.

Section B:

- 1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2025-2026. 2. Any liens or other assessments, bonds, or special district liens including without limitation, Community Facility Districts, that arise by reason of any local, City, Municipal or County Project or Special District. 3. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy. 4. Water rights, claims or title to water, whether or not disclosed by the public records. 5. Intentionally deleted 6. Intentionally deleted 7. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document.

Recording Date: June 19, 1924
Recording No.: Book 530, Pages 128 of Deeds

- 10. Pursuant to Government Code Section 27388.1, as amended and effective as of 1-1-2018, a Documentary Transfer Tax (DTT) Affidavit may be required to be completed and submitted with each document when DTT is being paid or when an exemption is being claimed from paying the tax. If a governmental agency is a party to the document, the form will not be required. DTT Affidavits may be available at a Tax Assessor-County Clerk-Recorder. 11. Note: The policy of title insurance will include an arbitration provision. The Company or the insured may demand arbitration. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Please ask your escrow or title officer for a sample copy of the policy to be issued if you wish to review the arbitration provisions and any other provisions pertaining to your Title Insurance coverage. 12. Due to the special requirements of SB 50 (California Public Resources Code Section 8560 et seq.), any transaction that includes the conveyance of title by an agency of the United States must be approved in advance by the Company's State Counsel, Regional Counsel, or one of their designees.

END OF INFORMATIONAL NOTES

NEWPORT BIRCH MEDICAL PLAZA

20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

TITLE REPORT



T-1.4

Scale
1" = 10'-0"
Date: 2025-0301
2026-02-06

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions. Use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links

- Federal Bureau of Investigation:** <http://www.fbi.gov> | **Internet Crime Complaint Center:** <http://www.ic3.gov>

ATTACHMENT ONE

TM and © Fidelity National Financial, Inc. and/or an affiliate. All rights reserved.
CALIFORNIA LAND TITLE ASSOCIATION
STANDARD COVERAGE POLICY - 1990 (11-09-18)

EXCLUSIONS FROM COVERAGE

- The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:
- (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
 - (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
 - Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
 - Defects, liens, encumbrances, adverse claims or other matters:
 - whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant; and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - resulting in no loss or damage to the insured claimant;
 - attaching or created subsequent to Date of Policy; or
 - resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
 - Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
 - Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
 - Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

- This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:
- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
 - Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
 - Easements, liens or encumbrances, or claims thereof, not shown by the public records.
 - Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
 - (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
 - Any lien or right to a lien for services, labor or material unless such lien is shown by the public records at Date of Policy.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

FIDELITY NATIONAL FINANCIAL
CALIFORNIA PRIVACY NOTICE

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This California Privacy Notice explains how we collect, use, and disclose Personal Information, when and to whom we disclose such information, and the rights you, as a California resident ("Consumer"), have regarding your Personal Information ("California Privacy Rights"). "Personal Information" means information that identifies, relates to, describes, and is reasonably capable of being associated with, or could reasonably be linked, directly or indirectly, with a particular consumer or household. If FNF has collected, used, or disclosed your Personal Information in relation to a job application or employment, independent contractor, officer, owner, or director relationship with FNF, FNF's practices are discussed in our Notice at Collection for Prospective Employees, available at [Prospective California Employees](#).

Some subsidiaries maintain separate California Privacy Notices or privacy statements. If a subsidiary has a separate California Privacy Notice, it will be available on the subsidiary's website, and this California Privacy Notice does not apply.

Collection of categories of Personal Information:

In the preceding twelve (12) months FNF has collected, and will continue to collect, the following categories of Personal Information from you.

- Identifiers such as name, address, telephone number, IP address, email address, account name, social security number, driver's license number, state identification card, passport number, financial information, date of birth, or other similar identifiers;
- Characteristics of protected classifications under California or Federal law;
- Commercial information, including records of personal property, products or services purchased, or other purchasing or consuming histories;
- Internet or other electronic network activity information including, but not limited to browsing history on FNF websites and information regarding a Consumer's interaction with an FNF website;
- Geolocation data;
- Unique biometric data used to authenticate a specific individual such as a fingerprint, retina, or iris image;
- Professional or employment information;
- Education information.

This Personal Information is collected from the following sources:

- Information we receive from you on applications or other forms;
- Information about your transactions with FNF, our affiliates, or others;
- Information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities, or from internet service providers, data analytics providers, and social networks;
- Information from the use of our websites and mobile applications;
- Information we receive directly from you related to doing business with us.

This Personal Information is collected for the following business purposes:

- To provide products and services to you or in connection with a transaction involving you;
- To perform a contract between FNF and the Consumer;
- To improve our products and services;
- To comply with legal obligations;
- To detect and protect against fraudulent or illegal activity;
- To communicate with you about FNF or our affiliates;
- To maintain an account with FNF or our affiliates;

ATTACHMENT ONE

(CONTINUED)

CALIFORNIA LAND TITLE ASSOCIATION
STANDARD COVERAGE OWNER'S POLICY (02-04-22)

EXCLUSIONS FROM COVERAGE

- The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:
- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions, or location of any improvement on the Land;
 - the subdivision of land; or
 - environmental remediation or protection.
 - any governmental forfeiture, police, regulatory, or national security power.
 - the effect of a violation or enforcement of any matter excluded under Exclusion 1 a. or 1 b.
 - Exclusion 1 does not modify or limit the coverage provided under Covered Risk 5 or 6.
 - Any power of eminent domain. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 7.
 - Any defect, lien, encumbrance, adverse claim, or other matter:
 - created, suffered, assumed, or agreed to by the insured Claimant;
 - not known to the Company, not recorded in the Public Records at the Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an insured under this policy;
 - resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - resulting in loss or damage that would not have been sustained if consideration sufficient to qualify the Insured named in Schedule A as a bona fide purchaser had been given for the Title at the Date of Policy.
 - Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transaction vesting the Title as shown in Schedule A is a:
 - fraudulent conveyance or fraudulent transfer;
 - voidable transfer under the Uniform Voidable Transactions Act; or
 - preferential transfer.
 - to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - for any other reason not stated in Covered Risk 9.
 - Any claim of a PACA-PSA Trust. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 8.
 - Any lien on the Title for real estate taxes or assessments imposed or collected by a governmental authority that becomes due and payable after the Date of Policy.
 - Exclusion 6 does not modify or limit the coverage provided under Covered Risk 2.b.
 - Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

EXCEPTIONS FROM COVERAGE

- Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document are excepted from coverage. This policy does not insure against loss or damage and the Company will not pay costs, attorneys' fees, or expenses resulting from the terms and conditions of any lease or easement identified in Schedule A, and the following matters:
- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
 - Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy but that could be (a) ascertained by an inspection of the Land, or (b) asserted by persons or parties in possession of the Land.
 - Easements, liens or encumbrances, or claims thereof, not shown by the Public Records at Date of Policy.
 - Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records at Date of Policy.
 - (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
 - Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy.
 - Any claim to (a) ownership or rights to minerals and similar substances, including but not limited to ore, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, exception, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith, or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B.

PART II

(Variable exceptions such as taxes, easements, CC&R's, etc., are inserted here)

- To maintain the security of our systems, tools, accounts, and applications;
- To verify and authenticate identities and credentials;
- To provide, support, personalize, and develop our websites, products, and services;
- To directly market our products to consumers;
- As described to you when collecting your Personal Information or as otherwise set forth in the California Consumer Privacy Act.

Disclosures of Personal Information for a business purpose:

In the preceding twelve (12) months FNF has disclosed, and will continue to disclose, the categories of Personal Information listed above for a business purpose. We may disclose Personal Information for a business purpose to the following categories of third parties:

- FNF affiliates and subsidiaries;
- Non-affiliated third parties, with your prior consent;
- Businesses in connection with the sale or other disposition of all or part of the FNF business and/or assets;
- Service Providers and non-affiliated third parties such as data analytics providers;
- Law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order.

Sale of Personal Information:

In the preceding twelve (12) months, FNF has not sold or shared Personal Information. FNF does not sell or share Personal Information.

Retention Periods:

Due to the breadth and variety of data collected by FNF, it is not possible for us to provide you with a comprehensive list of timeframes during which we retain each category of Personal Information. FNF retains categories of information as reasonably necessary to satisfy the purpose for which we collect the information. This time period varies depending on the purpose for which we collected the information, the nature and frequency of our interactions and relationship with you, whether we have a legal basis to continue retaining the information, industry practices, the value and sensitivity of the information, and state and federal recordkeeping requirements.

Personal Information of minors:

FNF does not knowingly collect the Personal Information of minors. FNF does not sell or share the information of consumers under sixteen (16) years of age.

Sensitive Personal Information:

FNF does not use or disclose sensitive Personal Information for any purpose other than those specified in the California Consumer Privacy Act.

Right to know:

Consumers have a right to know about Personal Information collected, used, disclosed, shared, or sold, including the categories of such Personal Information, as well as the purpose for such collection, use, disclosure, sharing, or selling, categories of third parties to whom Personal Information is disclosed, shared or sold, and the specific pieces of Personal Information collected about the consumer. Consumers have the right to request FNF disclose what Personal Information it collected, used, and disclosed in the past twelve (12) months.

Right to request deletion:

Consumers have a right to request the deletion of their Personal Information, subject to certain exceptions.

ATTACHMENT ONE

(CONTINUED)

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (7-01-21)

EXCLUSIONS FROM COVERAGE

The following matters are excluded from the coverage of this policy and We will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- a. any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) that restricts, regulates, prohibits, or relates to:
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions, or location of any improvement on the Land;
 - the subdivision of land; or
 - environmental remediation or protection.
- any governmental forfeiture, police, or regulatory, or national security power.
- the effect of a violation or enforcement of any matter excluded under Exclusion 1 a. or 1 b.
- Exclusion 1 does not modify or limit the coverage provided under Covered Risk 8 a, 14, 15, 16, 18, 19, 20, 23, or 27.
- Any power to take the Land by condemnation. Exclusion 2 does not modify or limit the coverage provided under Covered Risk 17.
- Any defect, lien, encumbrance, adverse claim, or other matter:
 - created, suffered, assumed, or agreed to by You;
 - not known to Us, not recorded in the Public Records at the Date of Policy, but Known to You and not disclosed in writing to Us by You prior to the date You became an Insured under this policy;
 - resulting in no loss or damage to You;
 - attaching or created subsequent to the Date of Policy (Exclusion 3.d. does not modify or limit the coverage provided under Covered Risk 5, 8, 1, 25, 26, 27, 28, or 32); or
 - resulting in loss or damage that would not have been sustained if You paid consideration sufficient to qualify You as a bona fide purchaser of the Title at the Date of Policy.
- Lack of a right:
 - to any land outside the area specifically described and referred to in Item 3 of Schedule A; and
 - in any street, road, avenue, alley, lane, right-of-way, body of water, or waterway that abut the Land.
- Exclusion 4 does not modify or limit the coverage provided under Covered Risk 11 or 21.
- The failure of Your existing structures, or any portion of Your existing structures, to have been constructed before, on, or after the Date of Policy in accordance with applicable building codes. Exclusion 5 does not modify or limit the coverage provided under Covered Risk 14 or 15.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law, that the transfer of the Title to You is a:
 - fraudulent conveyance or fraudulent transfer;
 - voidable transfer under the Uniform Voidable Transactions Act; or
 - preferential transfer.
 - to the extent the instrument of transfer vesting the Title as shown in Schedule A is not a transfer made as a contemporaneous exchange for new value; or
 - for any other reason not stated in Covered Risk 30.
- Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
- Negligence by a person or an entity exercising a right to extract or develop oil, gas, minerals, groundwater, or any other subsurface substance.
- Any lien on Your Title for real estate taxes or assessments imposed or collected by a governmental authority that becomes due and payable after the Date of Policy. Exclusion 9 does not modify or limit the coverage provided under Covered Risk 8 a or 27.
- Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19 and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

Right to Correct:

Consumers have the right to correct inaccurate Personal Information.

Right to non-discrimination:

Consumers have a right not to be discriminated against because of exercising their consumer privacy rights. We will not discriminate against Consumers for exercising any of their California Privacy Rights.

Privacy Requests:

To exercise any of your California Privacy Rights, or if acting as an authorized agent on behalf of another individual, please visit [California Privacy Request \(FNF.com/California-privacy\)](#), call us Toll Free at 888-413-1748, or write to the address at the end of this notice.

Upon making a California Privacy Request, FNF will verify the consumer's identity by requiring an account, loan, escrow number, or other identifying information from the consumer.

The above-rights are subject to any applicable rights and obligations including both Federal and California exemptions rendering FNF, or Personal Information collected by FNF, exempt from certain CCPA requirements.

A Consumer may use an Authorized Agent to submit any CCPA request. Authorized agents' requests will be processed like any other CCPA request, but FNF will also require the Consumer provide the agent written Permission to make the request and verify his or her identity with FNF.

FNF website services for mortgage loans:

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice describing the categories, sources, and uses of your Personal Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Information. FNF does not share information collected through the Service Websites, except (1) as required or authorized by contract with the mortgage loan servicer or lender, or (2) as required by law or in the good-faith belief that such disclosure is necessary to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

California Privacy Notice - Effective Date:

This California Privacy Notice was last updated on January 1, 2025.

Contact for more information:

For questions or concerns about FNF's California Privacy Notice and privacy practices, or to exercise any of your California Privacy Rights, please visit [California Privacy \(FNF.com/California-privacy\)](#), call Toll Free 888-413-1748, or contact us by mail at the below address.

Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

ATTACHMENT ONE

(CONTINUED)

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13)

EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - building;
 - zoning;
 - land use;
 - improvements on the Land;
 - land division; and
 - environmental protection.
- This Exclusion does not limit the coverage described in Covered Risk 8 a., 14, 15, 16, 18, 19, 20, 23 or 27.
- The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
- The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
- Risks:
 - that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - that result in no loss to You; or
 - that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8 e., 25, 26, 27 or 28.
- Failure to pay value for Your Title.
- Lack of a right:
 - to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - in streets, alleys, or waterways that touch the Land.
- This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
- The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
- Contamination, explosion, fire, flooding, vibration, fracturing, earthquake or subsidence.
- Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19 and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

NEWPORT BIRCH MEDICAL PLAZA
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

TITLE REPORT



T-1.5

Scale
Job No. 2025-0301
Date 2026-02-06

ATTACHMENT ONE (CONTINUED)

ALTA OWNER'S POLICY (07-01-2021) EXCLUSIONS FROM COVERAGE

- The following matters are excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:
1. Any law, ordinance, permit, or governmental regulation...
2. Any power of eminent domain...
3. Any defect, lien, encumbrance, adverse claim, or other matter...
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights law...
5. Any claim of a PACA/PASA Trust...
6. Any lien on the Title for real estate taxes or assessments...
7. Any discrepancy in the quantity of the area, square footage, or acreage of the Land or of any improvement to the Land

EXCEPTIONS FROM COVERAGE

- Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This policy treats any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated.
1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority...
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy...
3. Easements, liens or encumbrances, or claims thereof...
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title...
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water...
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy...
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land...

Notice of Available Discounts (continued)

The rate will be fifty percent (50%) of the applicable rate, and the transaction must be completed within sixty (60) months of the date of the declaration of the disaster. Standard minimum charge applies based upon property type. No other discounts or special rates, or combination of discounts or special rates, shall be applicable. Applies to a single transaction per property.

- This rate is applicable to the following Zones/Counties:
Zone 1.A: Orange County
Zone 1.B: Riverside and San Bernardino Counties
Zone 2: Los Angeles County
Zone 3: Ventura County
Zone 10: San Diego County
Zone 12: Imperial County

If used for a sale transaction, the applicator of this rate assumes the charge for the Residential Sale Escrow Services (RSES) fee will be split evenly between buyer and seller. As such and regardless of how the calculated applicable RSES will be split between the disaster victim and the other principal, the rate will be applied only to one half (1/2) of the calculated applicable RSES fee, regardless of whether the disaster victim is paying half (1/2) of the RSES fee (as is customary) or paying the entire fee. The rate under this provision will be fifty percent (50%) of disaster victims' one half (1/2) portion only and shall not apply to any portion paid by non-disaster victim. Additional services will be charged at the normal rates.

MILITARY DISCOUNT RATE (CTIC, CLTC, FNTIC, NTINY)

Upon the Company being advised in writing and prior to the closing of the transaction that an active duty, honorably separated, or retired member of the United States Military or Military Reserves or National Guard is acquiring or selling an owner occupied one-to-four family property, the selling owner or acquiring buyer, as applicable, will be entitled to a discount equal to fifteen percent (15%) of the otherwise applicable rates such party would be charged for title insurance policies. Minimum charge: Four Hundred Twenty-Five And No/100 Dollars (\$425.00)

The Company may require proof of eligibility from the parties to the transaction verifying they are entitled to the discount as described. No other discounts or special rates, or combination of discounts or special rates, shall be applicable.

MILITARY RATE (SLTC)

A discount of twenty percent (20%) off the purchase transaction closing and settlement fee or a discount of One Hundred And No/100 Dollars (\$100.00) off the refinance closing and settlement fee, will be applied when the loan is guaranteed by the United States Veterans Administration and the escrow fee is being paid by the consumer and is listed as paid by borrower on the Closing Disclosure and final Settlement Statement.

ATTACHMENT ONE (CONTINUED)

2006 ALTA OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

- The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:
1. (a) Any law, ordinance, permit, or governmental regulation...
2. Rights of eminent domain...
3. Defects, liens, encumbrances, adverse claims, or other matters...
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws...
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority...

EXCEPTIONS FROM COVERAGE

- This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:
NOTE: The 2006 ALTA Owner's Policy may be issued to afford either Standard Coverage or Extended Coverage. In addition to variable exceptions such as taxes, easements, CCR's, etc., the Exceptions from Coverage in a Standard Coverage policy will also include the Western Regional Standard Coverage Exceptions listed below as 1 through 7 below:
1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority...
2. Any facts, rights, interests, or claims that are not shown by the Public Records at Date of Policy...
3. Easements, liens or encumbrances, or claims thereof...
4. Any encroachment, encumbrance, violation, variation, easement, or adverse circumstance affecting the Title...
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water...
6. Any lien or right to a lien for services, labor, material or equipment unless such lien is shown by the Public Records at Date of Policy...
7. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located in, on, or under the Land or produced from the Land...

OWNER'S DECLARATION



Escrow No.: 932502102
Property: 20071 Birch Street, Newport Beach, CA

The undersigned hereby declares as follows:

- (Fill in the applicable paragraph and strike the other)
A. Declarant ("Owner") is the owner or lessee, as the case may be, of certain premises located at 20071 Birch Street, Newport Beach, CA, further described as follows: See Preliminary Report/Commitment No. 932502102 for full legal description (the "Land").
B. Declarant is the _____ of _____ ("Owner"), which is the owner or lessee, as the case may be, of certain premises located at 20071 Birch Street, Newport Beach, CA, further described as follows: See Preliminary Report/Commitment No. 932502102 for full legal description (the "Land").
2. (Fill in the applicable paragraph and strike the other)
A. During the period of six (6) months immediately preceding the date of this declaration no work has been done, no surveys or architectural or engineering plans have been prepared, and no materials have been furnished in connection with the erection, equipment, repair, protection or removal of any building or other structure on the Land or in connection with the improvement of the Land in any manner whatsoever.
B. During the period of six (6) months immediately preceding the date of this declaration certain work has been done and materials furnished in connection with _____ upon the Land in the approximate total sum of \$ _____, but no work whatsoever remains to be done and no materials remain to be furnished to complete the construction in full compliance with the plans and specifications, nor are there any unpaid bills incurred for labor and materials used in making such improvements or repairs upon the Land, or for the services of architects, surveyors or engineers, except as follows:
3. Owner has not previously conveyed the Land; is not a debtor in bankruptcy (and if a partnership, the general partner thereof is not a debtor in bankruptcy); and has not received notice of any pending court action affecting the title to the Land.
4. Except as shown in the above referenced Preliminary Report/Commitment, there are no unpaid or unsatisfied mortgages, deeds of trust, Uniform Commercial Code financing statements, regular assessments, special assessments, periodic assessments or any assessment from any source, claims of lien, special assessments, or taxes that constitute a lien against the Land or that affect the Land but have not been recorded in the public records. There are no violations of the covenants, conditions and restrictions as shown in the above referenced Preliminary Report/Commitment.
5. The Land is currently in use as _____;
occupy/occupies the Land, and the following are all of the leases or other occupancy rights affecting the Land:
6. There are no other persons or entities that assert an ownership interest in the Land, nor are there unrecorded easements, claims of easement, or boundary disputes that affect the Land.
7. There are no outstanding options to purchase or rights of first refusal affecting the Land.
8. Between the most recent Effective Date of the above referenced Preliminary Report/Commitment and the date of recording of the Insured Instrument(s), Owner has not taken or allowed, and will not take or allow, any action or inaction to encumber or otherwise affect title to the Land.

Notice of Available Discounts

Pursuant to Section 2355.3 in Title 10 of the California Code of Regulations Fidelity National Financial, Inc. and its subsidiaries ("FNF") must deliver a notice of each discount available under our current rate filing along with the delivery of escrow instructions, a preliminary report or commitment. Please be aware that the provision of this notice does not constitute a waiver of the consumer's right to be charged the filed rate. As such, your transaction may not qualify for the below discounts.

You are encouraged to discuss the applicability of one or more of the below discounts with a Company representative. These discounts are generally described below; consult the rate manual for a full description of the terms, conditions and requirements for such discount. These discounts only apply to transactions involving services rendered by the FNF Family of Companies. This notice only applies to transactions involving property improved with a one-to-four family residential dwelling.

Not all discounts are offered by every FNF Company. The discount will only be applicable to the FNF Company as indicated by the named discount.

FNF Underwritten Title Companies

- CTC - Chicago Title Company
CLTC - Commonwealth Land Title Company
FNTC - Fidelity National Title Company
FNTCCA - Fidelity National Title Company of California
TICOR - Ticor Title Company of California
LTC - Lawyer's Title Company
SLTC - ServiceLink Title Company

Underwritten by FNF Underwriters

- CTIC - Chicago Title Insurance Company
CLTC - Commonwealth Land Title Insurance Co.
FNTIC - Fidelity National Title Insurance Co.
NTINY - National Title Insurance of New York

Available Discounts

CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS (CTIC, CLTC, FNTIC, NTINY)

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities, provided said charge is normally the church's obligation the charge for an owner's policy shall be fifty percent (50%) to seventy percent (70%) of the appropriate title insurance rate, depending on the type of coverage selected. The charge for a lender's policy shall be forty percent (40%) to fifty percent (50%) of the appropriate title insurance rate, depending on the type of coverage selected.

DISASTER AREA TRANSACTIONS (CTIC, CLTC, FNTIC, NTINY)

This rate is available for individuals or entities that were victims of a national or state disaster. The rate can be used for a Lender's Policy (Standard or Extended), or an Owner's Policy (Standard or Homeowners coverage). To qualify for this rate, the applicant must, prior to the closing of the applicable transaction, make a written request, including a statement meeting the following criteria:

- A. The subject property is in a disaster area declared by the government of the United States or the State of California.
B. The subject property was substantially or totally destroyed in the declared disaster.
C. The subject property ownership has not changed since the time of the disaster.

The rate will be fifty percent (50%) of the applicable rate, and the transaction must be completed within sixty (60) months of the date of the declaration of the disaster.

DISASTER AREA ESCROWS (CTC, CLTC, FNTC, TICOR, LTC)

This rate is available for individuals or entities that were victims of a national or state disaster. The rate can be used for a loan or a sale escrow transaction. To qualify for this rate, the applicant must, prior to the closing of the applicable transaction, make a written request, including a statement meeting the following criteria:

- A. The subject property is in a disaster area declared by the government of the United States or the State of California.
B. The subject property was substantially or totally destroyed in the declared disaster.
C. The subject property ownership has not changed since the time of the disaster.

OWNER'S DECLARATION (continued)

- 9. That the undersigned has not received any written notice of violation of any covenants, conditions or restrictions, if any, affecting the Land.
10. That there are no outstanding unpaid sellers or suppliers of PACA/PASA commodities or products incurred by the Lessee, except:
11. That no notices of claim or notices of intent to preserve claim rights have been received by the Company from PACA/PASA sellers or suppliers of the Lessee, except:

This declaration is made with the intention that Commonwealth Land Title Insurance Company (the "Company") and its policy issuing agents will rely upon it in issuing their title insurance policies and endorsements. Owner, by the undersigned Declarant, agrees to indemnify the Company against loss or damage (including attorneys' fees, expenses, and costs) incurred by the Company as a result of any untrue statement made herein. Additionally, Owner, by the undersigned Declarant, agrees to indemnify and hold the Company harmless during the gap period between the last title examination of the Land that was conducted by, for and/or on behalf of the Company, and the time when the deed, assignments and any other documents creating priority of title are recorded in connection with the sale and/or transfer of the Land.

I declare under penalty of perjury that the foregoing is true and correct and that this declaration was executed on September 17, 2025 at 09:57 AM.

Jones Birch Parcel LLC

BY: _____

NEWPORT BIRCH MEDICAL PLAZA

20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

TITLE REPORT



T-1.6

Scale 1/8" = 1'-0" 2025-0301 2026-02-06



BEFORE



AFTER

NEWPORT BIRCH MEDICAL PLAZA

20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

SITE VIEWS-EXISTING & PROPOSED



A-001

Scale
Job No. 2025-0301
Date 2026-02-06



BEFORE



AFTER

NEWPORT BIRCH MEDICAL PLAZA

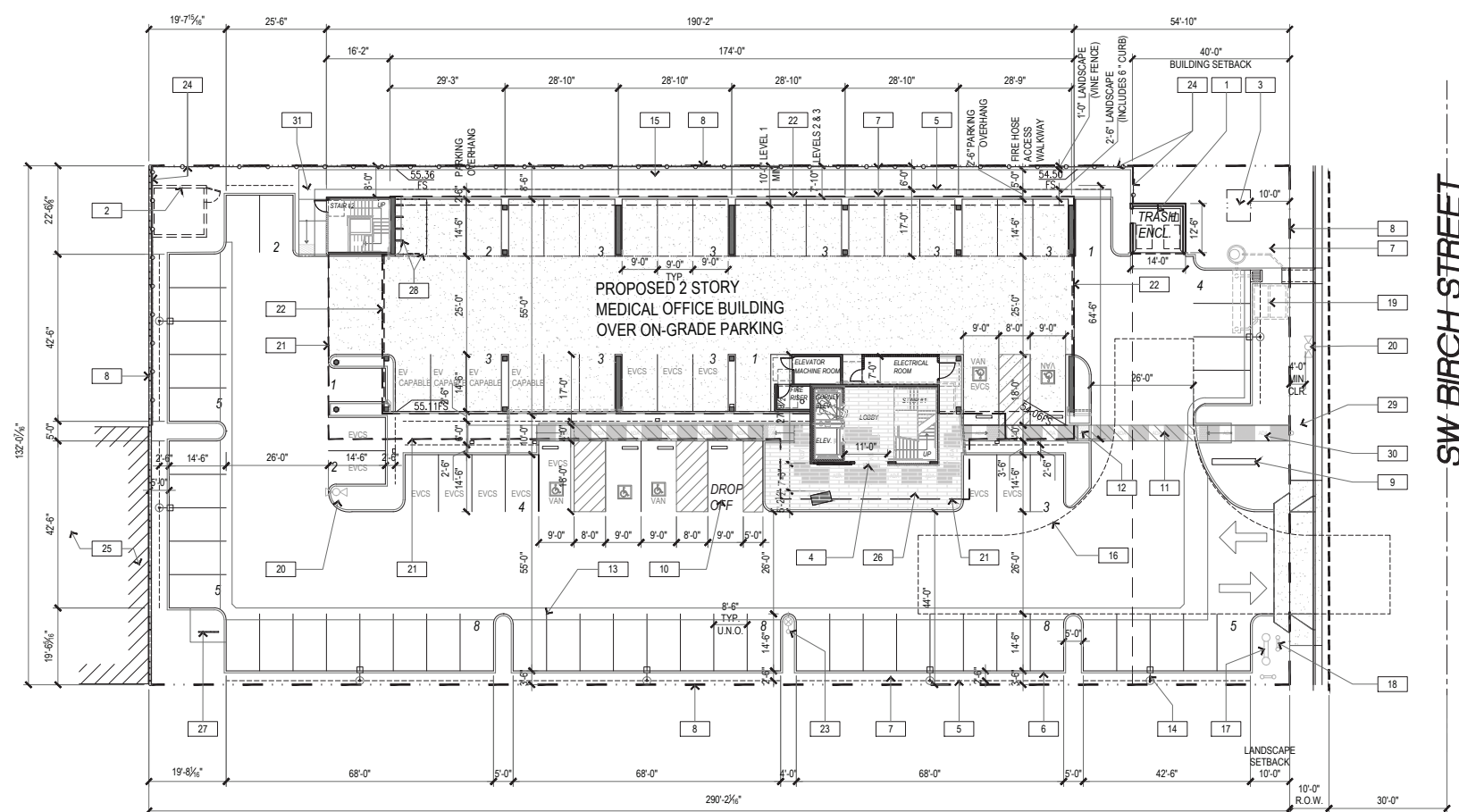
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

SITE VIEWS-EXISTING & PROPOSED



A-002

Scale
Job No. 2025-0301
Date 2026-02-12



ESTABLISHED GRADE CALCULATION:
 55.36 + 54.5 + 54.06 + 55.11 = 219.03
 219.03 / 4 =
 54.75 = ESTABLISHED GRADE LEVEL

PROJECT DESCRIPTION:
 THE PROPOSED PROJECT SITE AT 20071 BIRCH ST. IS A VACANT LOT LOCATED SOUTH WEST OF BRISTOL STREET. THE SITE AREA IS 38,312 SF. AND IS LOCATED IN THE SP7 ZONING AREA. THE ZONING ALLOWS AN FAR OF 50% AND SITE COVERAGE OF 40%.

THE PROPOSED PROJECT IS A TWO-STORY 19,156 SQUARE FEET MEDICAL OFFICE BUILDING OVER ON-GRADE PARKING. THE TOTAL NUMBER OF PROVIDED PARKING STALLS IS 89, INCLUDING 5 ADA, 17 EV CAPABLE STALLS AND ONE DROP-OFF / SHARED MOBILITY STALL. THE BUILDING TENANCY WILL INCLUDE VARIOUS OUTPATIENT MEDICAL SERVICE PROVIDERS AND POTENTIALLY A 4,000 TO 5,000 SF OUTPATIENT SURGERY CENTER (AMBULATORY, NOT OSHPD3).

THE BUILDING LOBBY WILL HAVE AN OPEN STAIRCASE, 2 ELEVATORS AND WILL BE SECURED AFTER BUSINESS HOURS. ONE OF THE 2 ELEVATORS WILL BE GURNEY SIZE. THE BUILDING WILL HAVE OPEN BALCONIES AND WALKWAYS AND WILL ENJOY SOME OF THE VIEWS TO THE SOUTH-WEST OVER THE ADJACENT OFFICE BUILDING'S PARKING LOT. A SECOND OPEN STAIR WILL BE PROVIDED AT THE NORTH WEST CORNER. BUILDING CONSTRUCTION WILL BE POURED-IN-PLACE CONCRETE, TYPE II- FIRE SPRINKLERED.

HOURS OF OPERATION: 7:00 AM TO 6PM

ADDRESS: 20071 SW BIRCH STREET NEWPORT BEACH
 APN: 439-351-23
 TRACT: 85, LOT NO. 706
 ZONING: SP-7
 SITE AREA: 38,312 SF
 COVERAGE: (MAX. ALLOWED: 40%) 12,877 SF (34%)
 FLOOR AREA (MAX. ALLOWED: 50%) 19,156 SF (50%)

PROPOSED USE - MEDICAL OFFICE OVER OPEN PARKING STRUCTURE:
 LEVEL 1: OPEN PARKING STRUCTURE S-2 OCCUPANCY
 LEVEL 2: OUTPATIENT MEDICAL OFFICE B OCCUPANCY
 LEVEL 3: OUTPATIENT MEDICAL B OCCUPANCY
 & UP TO 5,000 SF OUTPATIENT SURGERY (AMBULATORY, NOT OSHPD3)

BUILDING ANALYSIS: TYPE OF CONSTRUCTION TYPE II B - SPRINKLERED
 ALLOWABLE AREA 69,000 SF
 ALLOWABLE HEIGHT 75'

PARKING REQUIRED:
 MEDICAL 19,156 @ 5 / 1000 = 96
 10% REDUCTION FOR DROP-OFF/SHARED MOBILITY - 9
 TOTAL PARKING REQUIRED 87

PARKING TABULATIONS	REQUIRED	PROVIDED (COVERED)	PROVIDED (OUTDOOR)	TOTAL PROVIDED	
EV CAPABLE W/ EVCS*	11	3	8	11	CALGREEN 5.106.5.3.1
VAN ACCESSIBLE EV CAPABLE W/ EVCS	2	1	1	2	CBC 11B-228.3.2.1
EV CAPABLE ONLY*	4	4	0	4	CALGREEN 5.106.5.3.1
TOTAL EV CAPABLE + EV CAPABLE W/ EVCS	17	8	9	17	CALGREEN 5.106.5.3.1
STANDARD *	66	20	48	68	
ACCESSIBLE (9'X18' W/ MIN. 5' AISLE)	1	0	1	1	CBC 11B-288.2
VAN ACCESSIBLE (9'X18' W/ 8' ACCESS AISLE)	2	1	1	2	CBC 11B-288.2
TOTAL NON-EV STANDARD & ACCESSIBLE	69	21	50	71	
DROP OFF	1	0	1	1	
TOTAL PARKING	87	29	60	89	

* 8'-6" MIN. X 17' MIN.; 9' MIN. X 17' MIN. @ 25' DRIVE AISLE

COVERED TRASH ENCLOSURE: 175 SF

LANDSCAPE AREA: 5,213 SF (13.6% OF LOT AREA)

PAVING:
 CONCRETE WALKWAY AREA: 2,556 SF
 AC PAVING AREA: 17,187 SF
 CONCRETE PAVING AREA: 9,320 SF

TOTAL: 29,063 SF (76% OF LOT AREA)

- SITE PLAN NOTES**
- TRASH ENCLOSURE PER NBMC 20.30.120 SOLID WASTE & RECYCLEABLE MATERIALS STORAGE
 - POTENTIAL EMERGENCY GENERATOR ENCLOSURE
 - ELECTRICAL TRANSFORMER LOCATION - TO BE SCREENED WITH LANDSCAPING
 - BUILDING MAIN ENTRANCE
 - DASHED LINE INDICATES CAR OVERHANG
 - 6" CONCRETE CURB - TYP.
 - LANDSCAPE AREAS - SEE LANDSCAPE PLAN
 - PROPERTY LINES
 - LOCATION OF MONUMENT SIGN (6' HIGH MAX.; TO COMPLY WITH NBMC 20.42.080)
 - STRIPED DROP OFF / SHARED MOBILITY SPACE (9' x 18')
 - STRIPED ACCESS AISLE ACCESSIBLE PATH OF TRAVEL
 - TRUNCATED DOMES
 - PARKING STALL STRIPING PER CITY STANDARDS
 - PARKING LOT POLE LIGHTS - DIRECT RAYS CONFINED TO PREMISES
 - 5' WIDE FIRE HOSE ACCESS WALKWAY
 - DASHED LINE INDICATES FIRE TRUCK TURN AROUND HAMMERHEAD
 - FIRE WATER BACK FLOW - SEE CIVIL PLAN
 - PROPOSED IRRIGATION BACK FLOW - SEE LANDSCAPE AND CIVIL PLANS
 - PROPOSED BIO FILTRATION VAULT - SEE GRADING PLAN
 - PROPOSED FIRE HYDRANT - SEE CIVIL PLAN
 - DASHED LINE INDICATES EDGE OF OPEN BALCONY ABOVE
 - DASHED LINE INDICATE EDGE OF BUILDING AREA ABOVE
 - FIRE RISER POST INDICATOR VALVE
 - 6' HIGH PERIMETER LANDSCAPE HEDGE BARRIER - SEE LANDSCAPE DRAWINGS
 - EXISTING BUILDING ON ADJACENT PROPERTY (NOT A PART)
 - ENHANCED PAVING - SEE LANDSCAPE DRAWINGS
 - BIKE RACK (CALGREEN 5.106.4.1.1 SHORT TERM BICYCLE PARKING)
 - LOCKABLE ENCLOSURE W/ BIKE RACKS (CALGREEN 5.106.4.1.2 LONG TERM BICYCLE PARKING)
 - EXISTING STREET LIGHT PULL BOX - SEE CIVIL DRAWINGS (PROTECT-IN-PLACE)
 - INDICATES ACCESSIBLE PATH OF TRAVEL
 - PROVIDE DIRECTIONAL SIGNAGE TO INDICATE FIRE DEPARTMENT HOSE PULL ACCESS AISLE, (NOT FOR EGRESS)

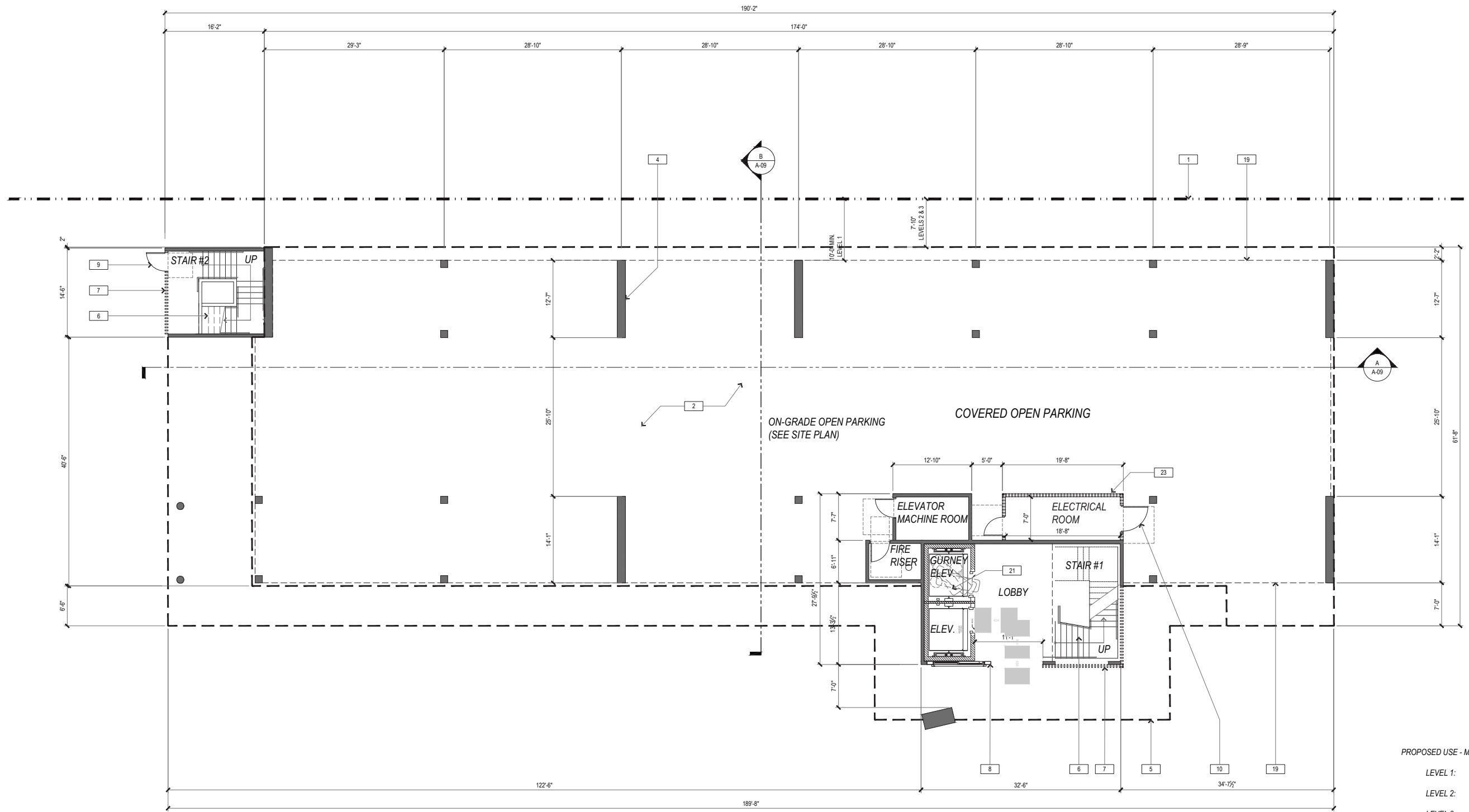
NEWPORT BIRCH MEDICAL PLAZA

20071 SW BIRCH ST NEWPORT BEACH, CA 92660

SITE PLAN



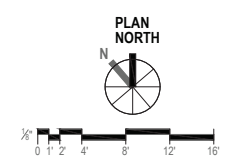
A-01

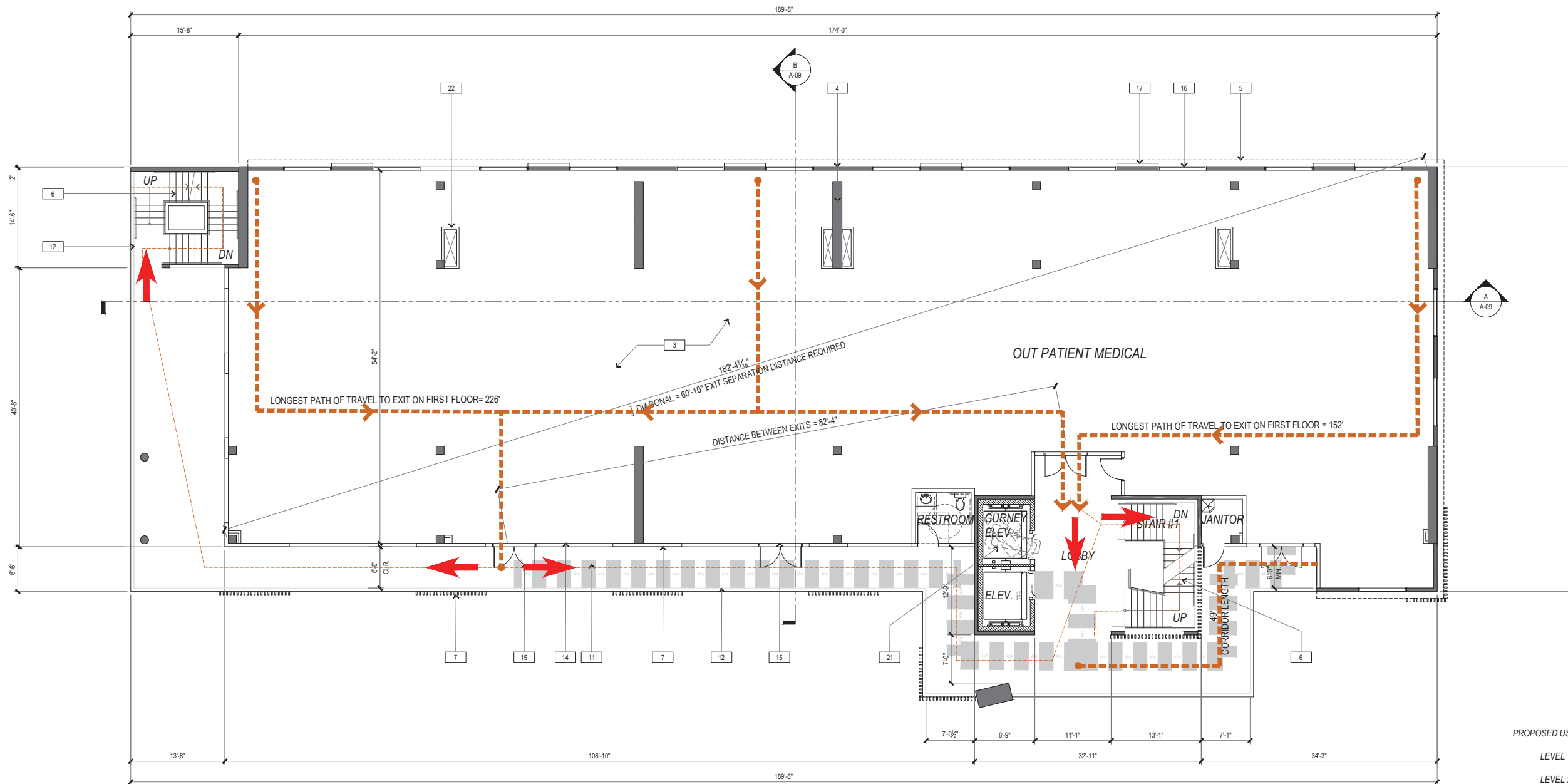


- SITE PLAN NOTES**
1. PROPERTY LINE
 2. CONCRETE PAVING PER CIVIL
 3. POURED-IN-PLACE CONCRETE DECK 12" THICK
 4. POCHÉ AREAS INDICATE POURED-IN-PLACE CONCRETE COLUMNS AND WALLS
 5. DASHED LINE INDICATES LINE OF FLOOR/ROOF DECK ABOVE
 6. OPEN STAIR - PRECAST CONCRETE PLANK TREADS AND LANDINGS
 7. VERTICAL SLATS 2 X 6 WOOD OR METAL (4" GAP)
 8. AUTOMATIC SLIDING DOOR FOR SECURITY
 9. STOREFRONT DOOR FOR SECURITY
 10. HOLLOW METAL DOORS AT ELEVATOR MACHINE ROOM & FIRE RISER ROOM
 11. OPEN BALCONY WALKWAY - POURED-IN-PLACE CONCRETE DECK WITH DECK COVERING
 12. 42" HIGH GLASS GUARDRAIL
 13. PAINTED PLASTER FINISH OVER METAL STUD WALL FRAMING
 14. ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS / SPANDREL GLASS ABOVE +9'-0" AFF
 15. TENANT ENTRY DOOR TO MATCH STOREFRONT SYSTEM AND GLASS, EXACT LOCATIONS TO BE FINALIZED PENDING FUTURE TENANT IMPROVEMENTS
 16. ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS AND SPANDREL GLASS - OPENINGS NOT TO EXCEED 25% THIS SIDE - SEE A-09 FOR OPENING CALCULATION
 17. PLASTER OVER METAL FRAMED WALL PROJECTION
 18. DECORATIVE ROOF OPENING ABOVE
 19. LINE OF SOFFIT ABOVE
 20. [Symbol] INDICATES ACCESSIBLE PATH OF TRAVEL - SEE SITE PLAN A-01 FOR CONTINUATION FROM RIGHT OF WAY AND ACCESSIBLE PARKING
 21. GURNEY SIZE ELEVATOR PER CBC 3002.4A
 22. DUCT SHAFT
 23. 4' HIGH SOLID WALL WITH OPEN SLAT WALL ABOVE

PROPOSED USE - MEDICAL OFFICE OVER OPEN PARKING STRUCTURE:

LEVEL 1:	OPEN PARKING STRUCTURE	S-2 OCCUPANCY
LEVEL 2:	OUTPATIENT MEDICAL OFFICE	B OCCUPANCY
LEVEL 3:	OUTPATIENT MEDICAL & UP TO 5,000 SF OUTPATIENT SURGERY (AMBULATORY, NOT OSHPD3)	B OCCUPANCY



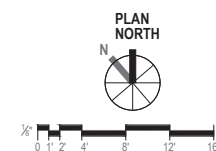


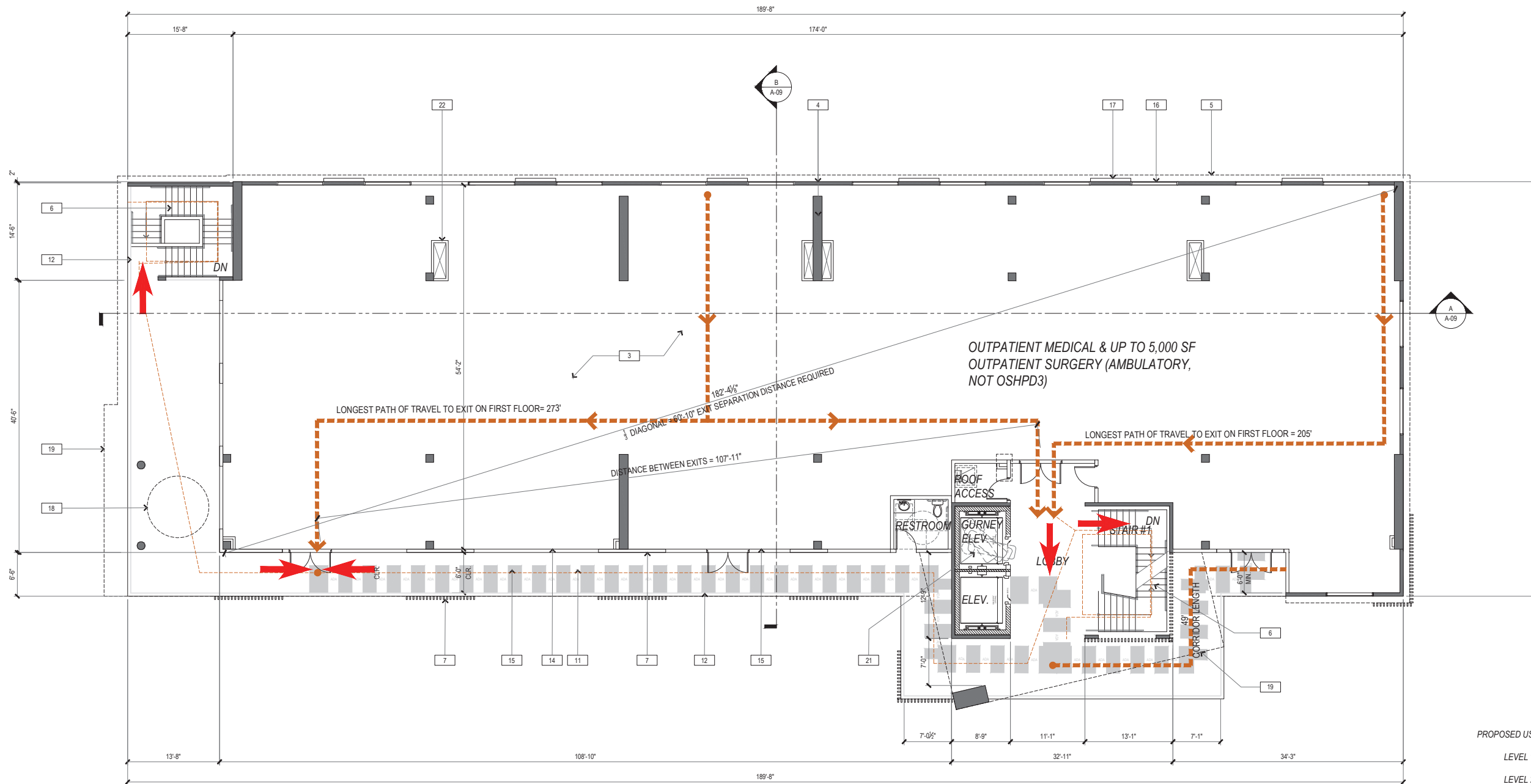
- SITE PLAN NOTES**
- PROPERTY LINE
 - CONCRETE PAVING PER CIVIL
 - POURED-IN-PLACE CONCRETE DECK 12" THICK
 - POCHE AREAS INDICATE POURED-IN-PLACE CONCRETE COLUMNS AND WALLS
 - DASHED LINE INDICATES LINE OF FLOOR/ROOF DECK ABOVE
 - OPEN STAIR - PRECAST CONCRETE PLANK TREADS AND LANDINGS
 - VERTICAL SLATS 2 X 6 WOOD OR METAL (4" GAP)
 - AUTOMATIC SLIDING DOOR FOR SECURITY
 - STOREFRONT DOOR FOR SECURITY
 - HOLLOW METAL DOORS AT ELEVATOR MACHINE ROOM & FIRE RISER ROOM
 - OPEN BALCONY WALKWAY - POURED-IN-PLACE CONCRETE DECK WITH DECK COVERING
 - 42" HIGH GLASS GUARDRAIL
 - PAINTED PLASTER FINISH OVER METAL STUD WALL FRAMING
 - ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS / SPANDREL GLASS ABOVE +9'-0" AFF
 - TENANT ENTRY DOOR TO MATCH STOREFRONT SYSTEM AND GLASS, EXACT LOCATIONS TO BE FINALIZED PENDING FUTURE TENANT IMPROVEMENTS
 - ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS AND SPANDREL GLASS - OPENINGS NOT TO EXCEED 25% THIS SIDE - SEE A-09 FOR OPENING CALCULATION
 - PLASTER OVER METAL FRAMED WALL PROJECTION
 - DECORATIVE ROOF OPENING ABOVE
 - LINE OF SOFFIT ABOVE
 - INDICATES ACCESSIBLE PATH OF TRAVEL - SEE SITE PLAN A-01 FOR CONTINUATION FROM RIGHT OF WAY AND ACCESSIBLE PARKING
 - GURNEY SIZE ELEVATOR PER CBC 3002.4A
 - DUCT SHAFT
 - 4' HIGH SOLID WALL WITH OPEN SLAT WALL ABOVE

PROPOSED USE - MEDICAL OFFICE OVER OPEN PARKING STRUCTURE:

LEVEL 1:	OPEN PARKING STRUCTURE	S-2 OCCUPANCY
LEVEL 2:	OUTPATIENT MEDICAL OFFICE	B OCCUPANCY
LEVEL 3:	OUTPATIENT MEDICAL & UP TO 5,000 SF OUTPATIENT SURGERY (AMBULATORY, NOT OSHPD3)	B OCCUPANCY

	NET FLOOR AREA (SQ. FT.)	LOAD FACTOR	OCC.	REQ. EXITS (TABLE 1009.3.4C)	PROV. EXITS	EGRESS STAIR WIDTH (REQD.) (3 PER OCC)	EGRESS DOOR WIDTH (REQD.) (2 PER OCC)	EGRESS STAIR WIDTH PROVIDED	EGRESS DOOR WIDTH PROVIDED
LEVEL 3	9,028	150	61	2	2	61 x 3 = 18.3'	61 x 2 = 12.2'	88"	64"
LEVEL 2	9,028	150	61	2	2	61 x 3 = 18.3'	61 x 2 = 12.2'	88"	64"
TOTAL	18,052	150	122	2	2	-	122 x 2 = 24.4'	-	128"



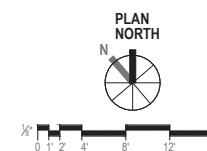


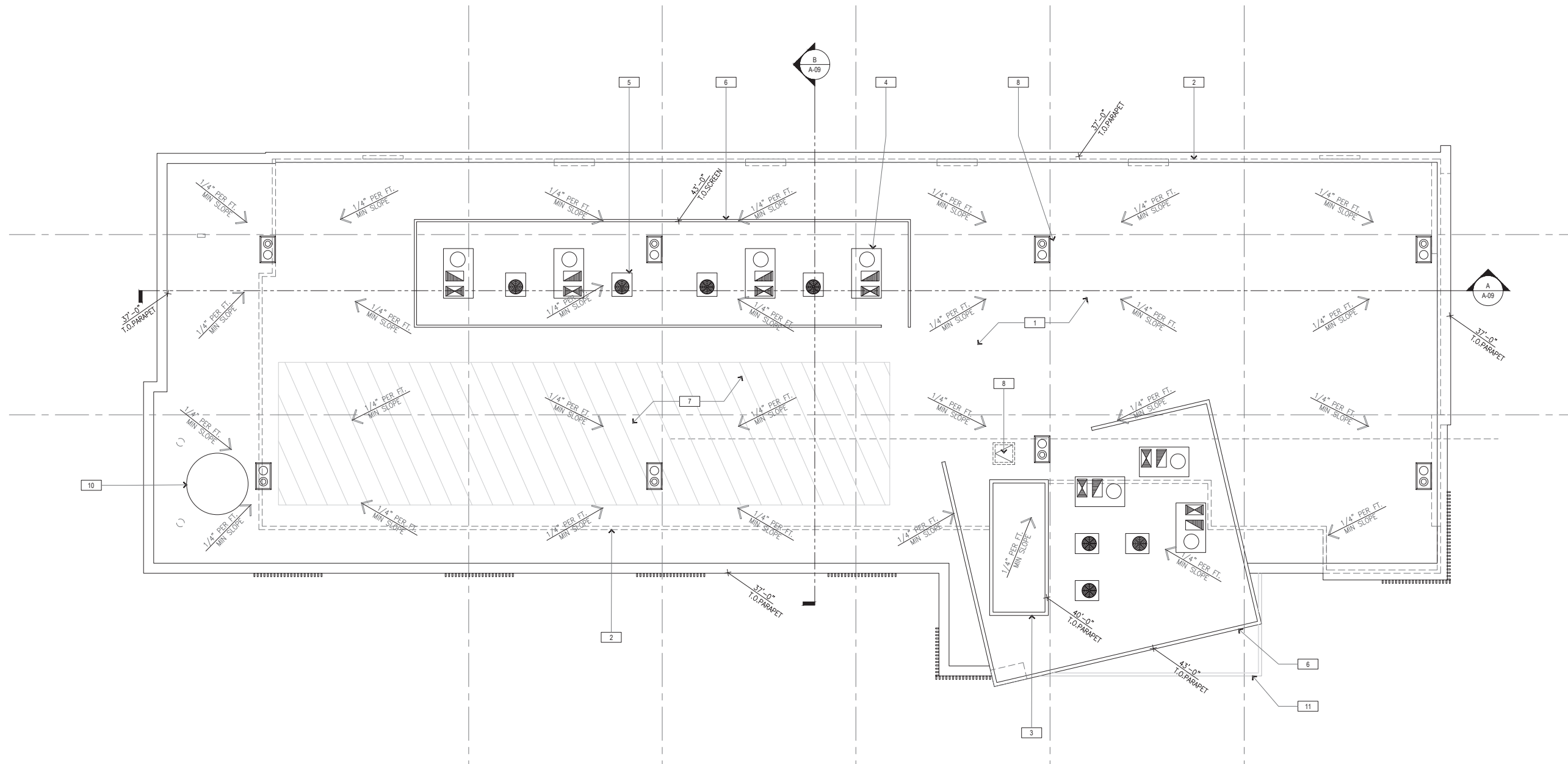
- SITE PLAN NOTES**
- PROPERTY LINE
 - CONCRETE PAVING PER CIVIL
 - POURED-IN-PLACE CONCRETE DECK 12" THICK
 - POCHE AREAS INDICATE POURED-IN-PLACE CONCRETE COLUMNS AND WALLS
 - DASHED LINE INDICATES LINE OF FLOOR/ROOF DECK ABOVE
 - OPEN STAIR - PRECAST CONCRETE PLANK TREADS AND LANDINGS
 - VERTICAL SLATS 2 X 6 WOOD OR METAL (4" GAP)
 - AUTOMATIC SLIDING DOOR FOR SECURITY
 - STOREFRONT DOOR FOR SECURITY
 - HOLLOW METAL DOORS AT ELEVATOR MACHINE ROOM & FIRE RISER ROOM
 - OPEN BALCONY WALKWAY - POURED-IN-PLACE CONCRETE DECK WITH DECK COVERING
 - 42" HIGH GLASS GUARDRAIL
 - PAINTED PLASTER FINISH OVER METAL STUD WALL FRAMING
 - ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS / SPANDREL GLASS ABOVE +9'-0" AFF
 - TENANT ENTRY DOOR TO MATCH STOREFRONT SYSTEM AND GLASS, EXACT LOCATIONS TO BE FINALIZED PENDING FUTURE TENANT IMPROVEMENTS
 - ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS AND SPANDREL GLASS - OPENINGS NOT TO EXCEED 25% THIS SIDE - SEE A-09 FOR OPENING CALCULATION
 - PLASTER OVER METAL FRAMED WALL PROJECTION DECORATIVE ROOF OPENING ABOVE
 - LINE OF SOFFIT ABOVE
 - INDICATES ACCESSIBLE PATH OF TRAVEL - SEE SITE PLAN A-01 FOR CONTINUATION FROM RIGHT OF WAY AND ACCESSIBLE PARKING
 - GURNEY SIZE ELEVATOR PER CBC 3002.4A
 - DUCT SHAFT
 - 4' HIGH SOLID WALL WITH OPEN SLAT WALL ABOVE

PROPOSED USE - MEDICAL OFFICE OVER OPEN PARKING STRUCTURE:

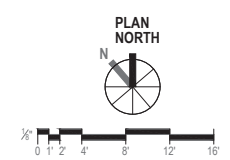
LEVEL 1:	OPEN PARKING STRUCTURE	S-2 OCCUPANCY
LEVEL 2:	OUTPATIENT MEDICAL OFFICE	B OCCUPANCY
LEVEL 3:	OUTPATIENT MEDICAL & UP TO 5,000 SF OUTPATIENT SURGERY (AMBULATORY, NOT OSHPD3)	B OCCUPANCY

	NET FLOOR AREA (SQ. FT.)	LOAD FACTOR	OCC.	REQ. EXITS (TABLE 1009.3.4C)	PROV. EXITS	EGRESS STAIR WIDTH (REQ.) (3 PER OCC)	EGRESS DOOR WIDTH (REQ.) (2 PER OCC)	EGRESS STAIR WIDTH PROVIDED	EGRESS DOOR WIDTH PROVIDED
LEVEL 3	9,026	150	61	2	2	61 x 3 = 18.3'	61 x 2 = 12.2'	88"	64"
LEVEL 2	9,026	150	61	2	2	61 x 3 = 18.3'	61 x 2 = 12.2'	88"	64"
TOTAL	18,052	150	122	2	2	-	122 x 2 = 24.4'	-	128"





- SITE PLAN NOTES**
1. BUILT-UP ROOFING (COOL ROOF) OVER RIGID INSULATION OVER POURED-IN-PLACE CONCRETE ROOF DECK 10" THICK
 2. DASHED LINE INDICATES LINE OF WALL BELOW
 3. ELEVATOR OVERRUN
 4. ROOF TOP MECHANICAL HEAT PUMPS FOR LEVEL 3 FUTURE TTS
 5. ROOF TOP MECHANICAL SPLIT SYSTEM CONDENSER FOR LEVEL 2 FUTURE TTS
 6. MECHANICAL SCREEN
 7. SOLAR ZONE (SEPARATE PERMIT)
 8. ROOF ACCESS HATCH
 9. ROOF DRAINS
 10. DECORATIVE ROOF OPENING
 11. BALCONY EDGE AND GUARDRAIL AT LEVEL 3 BELOW



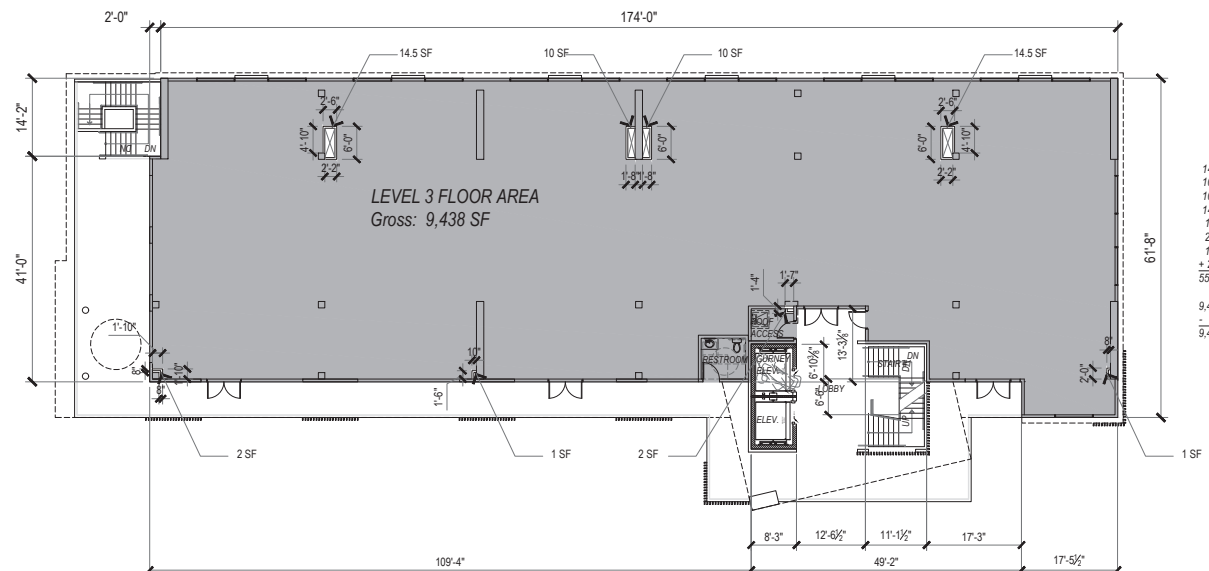
NEWPORT BIRCH MEDICAL PLAZA
 20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

CONCEPTUAL ROOF PLAN

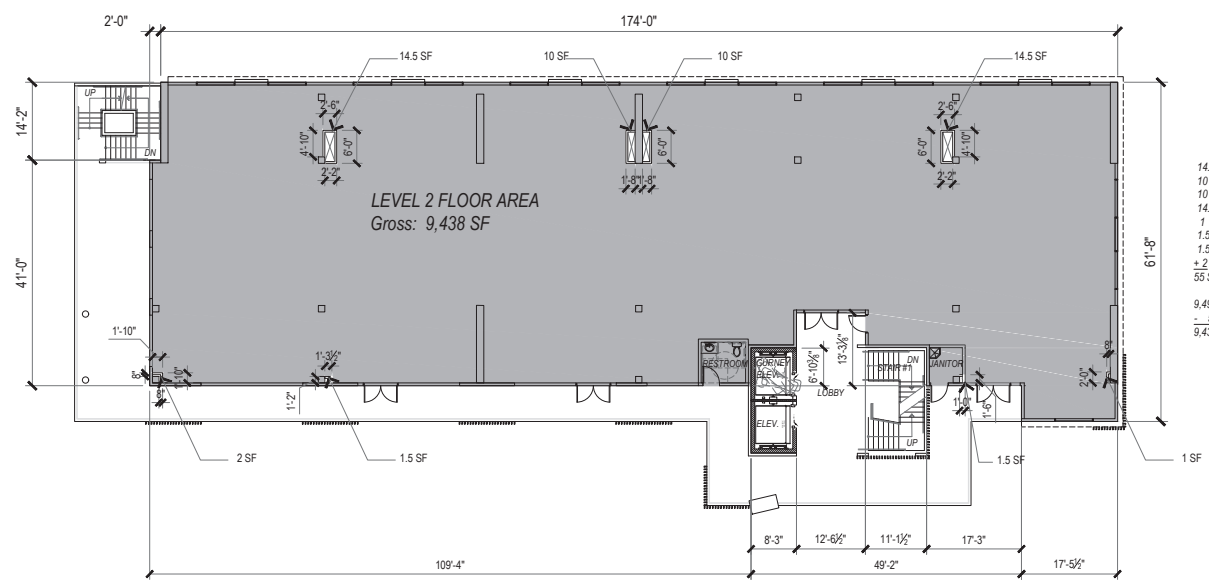
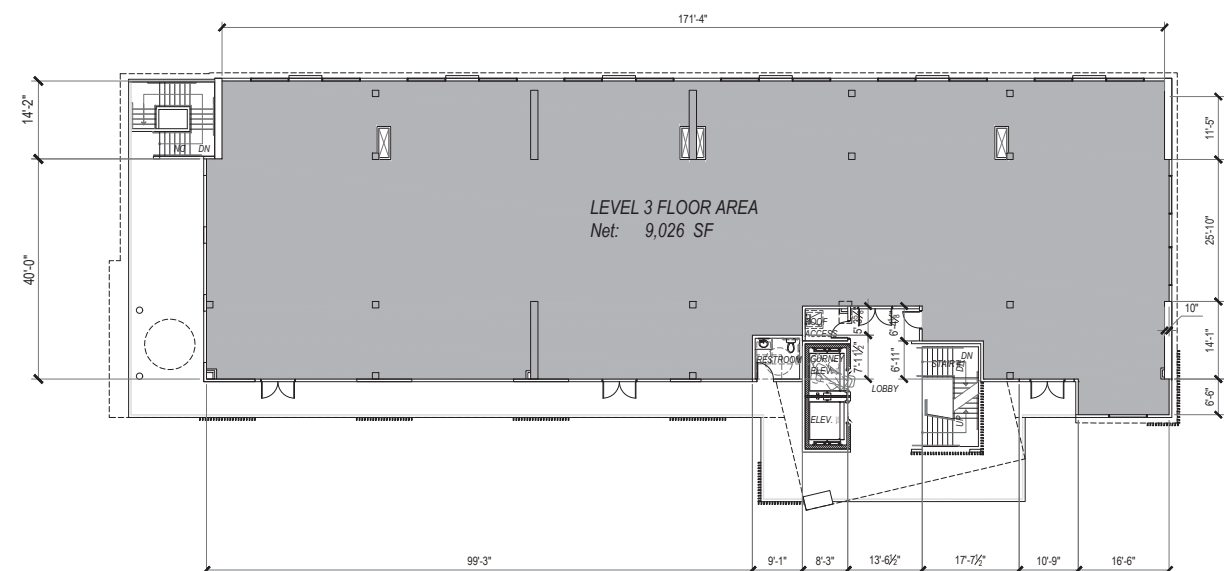


A-05

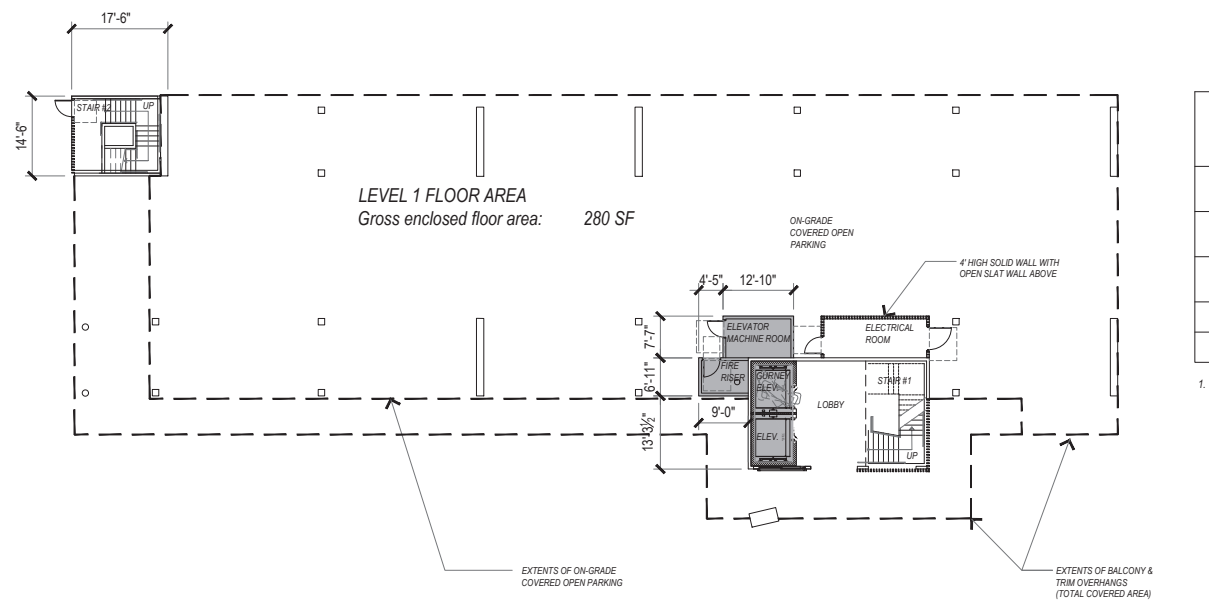
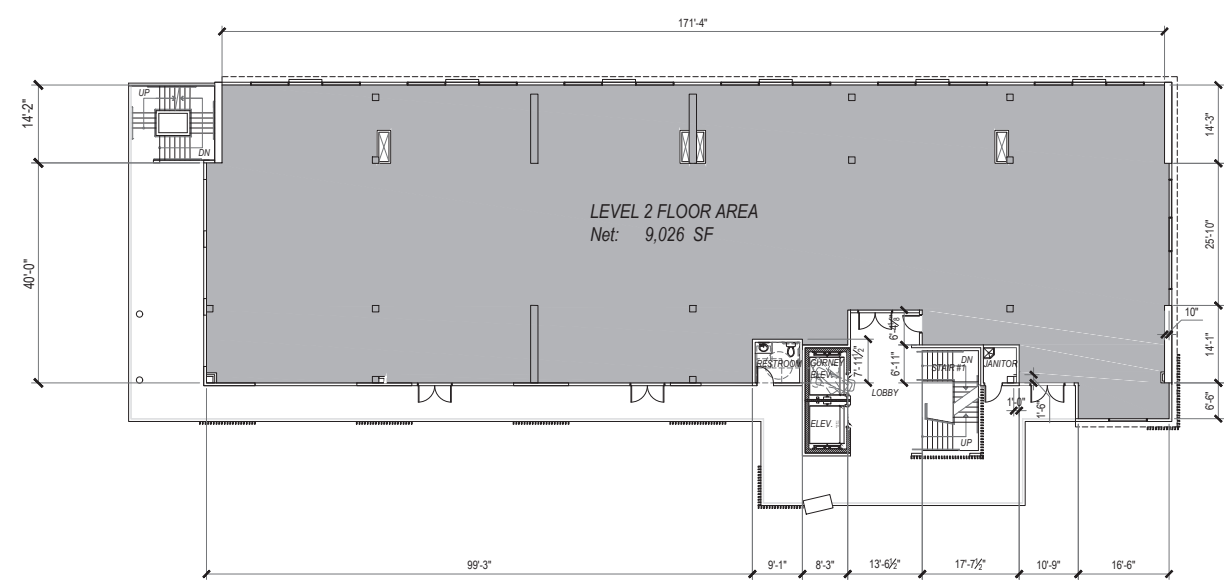
Scale
 Date: 2025-03-01
 Date: 2026-02-06



14.5
10
14.5
1
2
1
+2
55 SF TOTAL AREA MECHANICAL SHAFTS
9,493 AREA INCLUDING MECHANICAL SHAFTS
- 55 TOTAL AREA MECHANICAL SHAFTS
9,438 SF GROSS FLOOR AREA - LEVEL 3

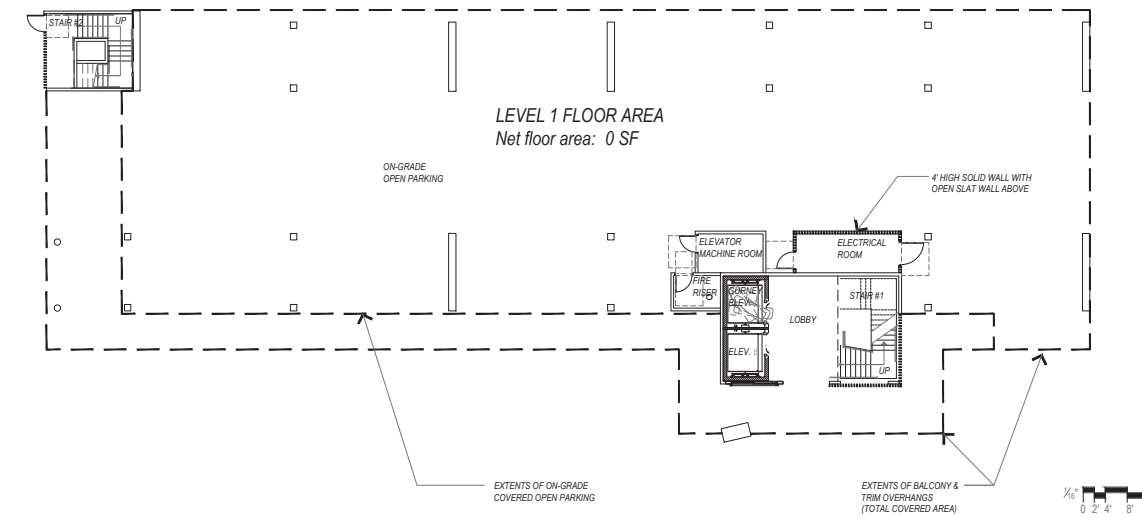


14.5
10
10
14.5
1
1.5
1.5
+2
55 SF TOTAL AREA MECHANICAL SHAFTS
9,493 AREA INCLUDING MECHANICAL SHAFTS
- 55 TOTAL AREA MECHANICAL SHAFTS
9,438 SF GROSS FLOOR AREA - LEVEL 2



	GROSS FLOOR AREA SQ. FT.
LEVEL 3	9,438
LEVEL 2	9,438
LEVEL 1	280
TOTAL	19,156

1. EXTERIOR WALLS ARE INCLUDED IN CALCULATIONS



	NET FLOOR AREA SQ. FT.
LEVEL 3	9,026
LEVEL 2	9,026
LEVEL 1	0
TOTAL	18,052

1. EXTERIOR WALLS, STAIRWAY, ELEVATOR SHAFT, ELECTRICAL ROOM, FIRE RISER ROOM & ELEVATOR MACHINE ROOM ARE NOT INCLUDED IN CALCULATIONS

NEWPORT BIRCH MEDICAL PLAZA

20071 SW BIRCH ST NEWPORT BEACH, CA 92660

FLOOR AREA CALCULATIONS



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

0 | 20 | 40
SCALE: 1"=20' @ 24"x36"

NEWPORT BIRCH MEDICAL PLAZA

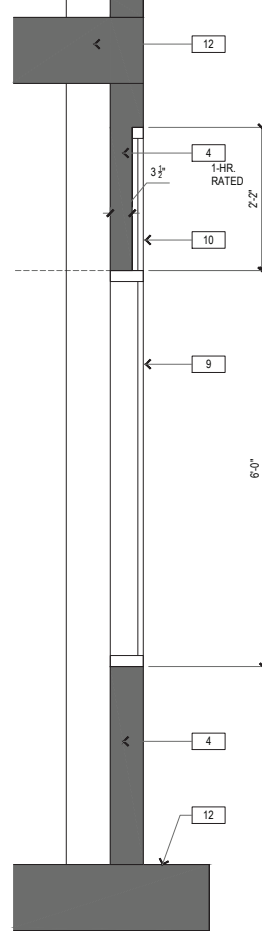
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

CONCEPTUAL ELEVATIONS



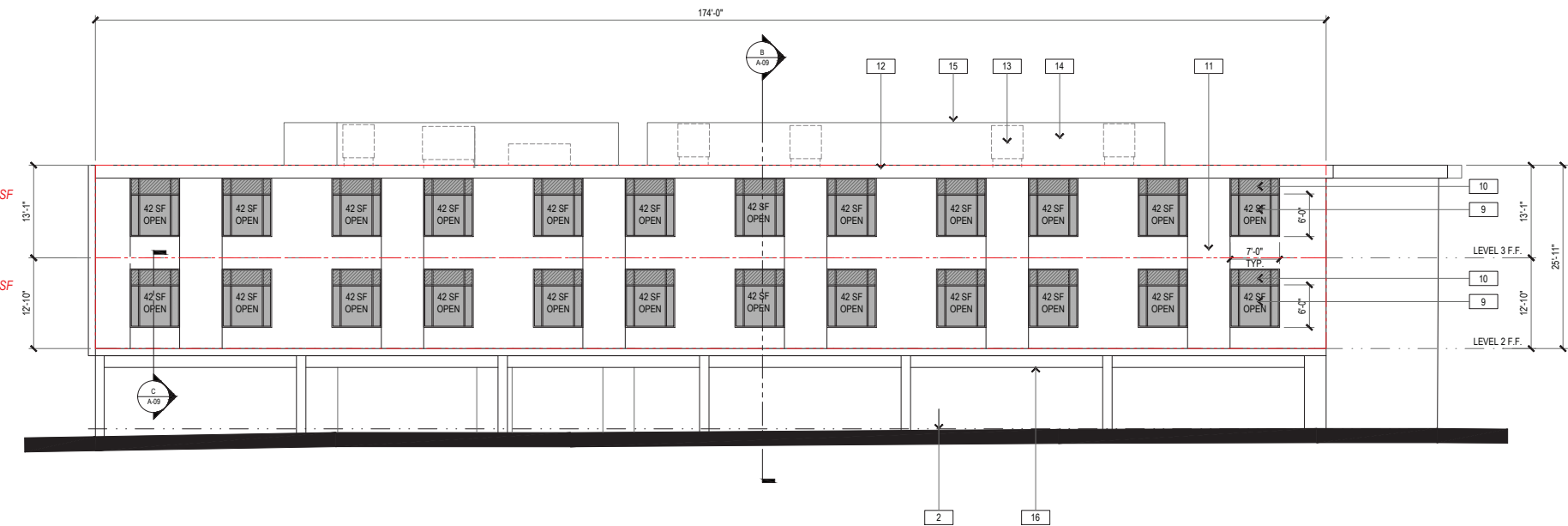
A-08

Scale
Date: 2025-0301
2026-02-06



TOTAL WALL AREA LEVEL 3 = 2,276 SF
7 OPENINGS @ 42 SF = 508 SF
508 / 2,233 = 22.32%

TOTAL WALL AREA LEVEL 2 = 2,233 SF
7 OPENINGS @ 42 SF = 508 SF
508 / 2,233 = 22.75%



NORTH ELEVATION

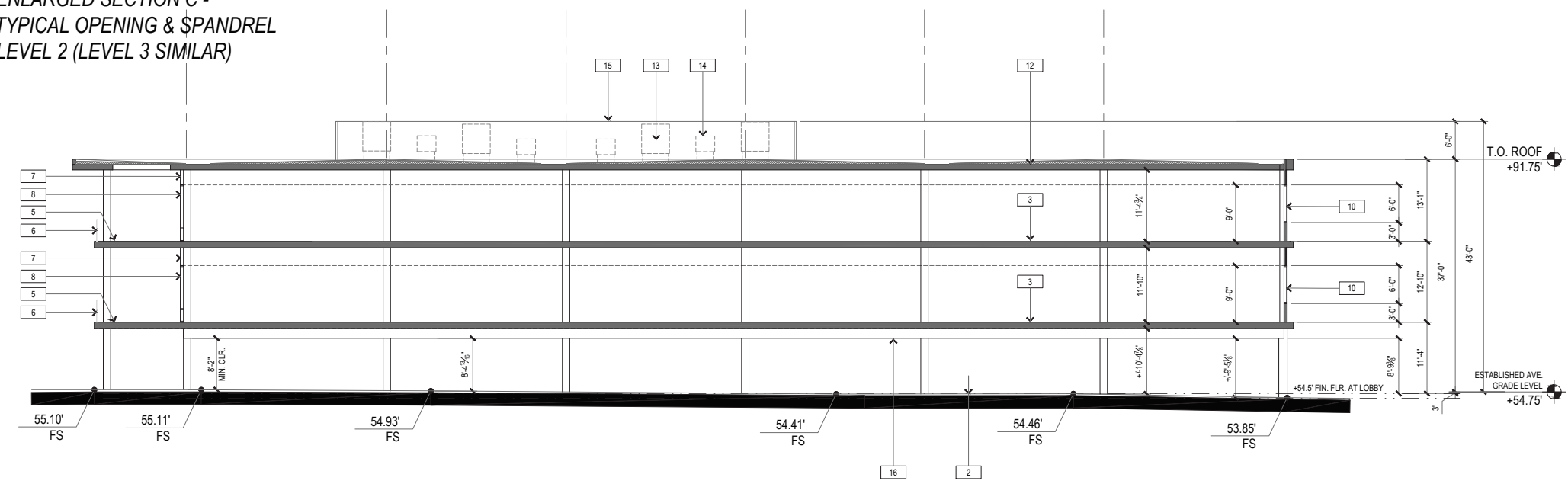
SITE PLAN NOTES

1. PROPERTY LINE
2. CONCRETE PAVING PER CIVIL
3. POURED-IN-PLACE CONCRETE DECK 12" THICK
4. POCHÉ AREAS INDICATE POURED-IN-PLACE CONCRETE WALLS AND FLOOR / ROOF DECK
5. OPEN BALCONY WALKWAY - POURED-IN-PLACE CONCRETE DECK WITH DECK COVERING
6. 42" HIGH GLASS GUARDRAIL
7. PAINTED PLASTER FINISH OVER METAL STUD WALL FRAMING
8. ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS
9. ALUMINUM STOREFRONT SYSTEM WITH VISION GLASS - OPENINGS NOT TO EXCEED 25% THIS SIDE - SEE OPENING CALCULATIONS BELOW
10. ALUMINUM STOREFRONT SYSTEM WITH SPANDREL GLASS IN FRONT OF POURED-IN-PLACE CONCRETE 1-HR. RATED WALL
11. PLASTER OVER METAL FRAMED WALL PROJECTION IN FRONT OF CONCRETE - 1-HR. RATED WALL
12. BUILT-UP ROOFING (COOL ROOF) OVER RIGID INSULATION OVER POURED-IN-PLACE CONCRETE ROOF DECK 10" THICK
13. ROOF TOP MECHANICAL HEAT PUMPS FOR LEVEL 3 FUTURE TIS (CONCEALED BEHIND MECHANICAL SCREEN)
14. ROOF TOP MECHANICAL SPLIT SYSTEM CONDENSER FOR LEVEL 2 FUTURE TIS (CONCEALED BEHIND MECHANICAL SCREEN)
15. MECHANICAL SCREEN
16. DROPPED SOFFIT OVER LEVEL 1 PARKING TO CONCEAL SPRINKLER AND PLUMBING LINES; RECESSED LIGHT FIXTURES

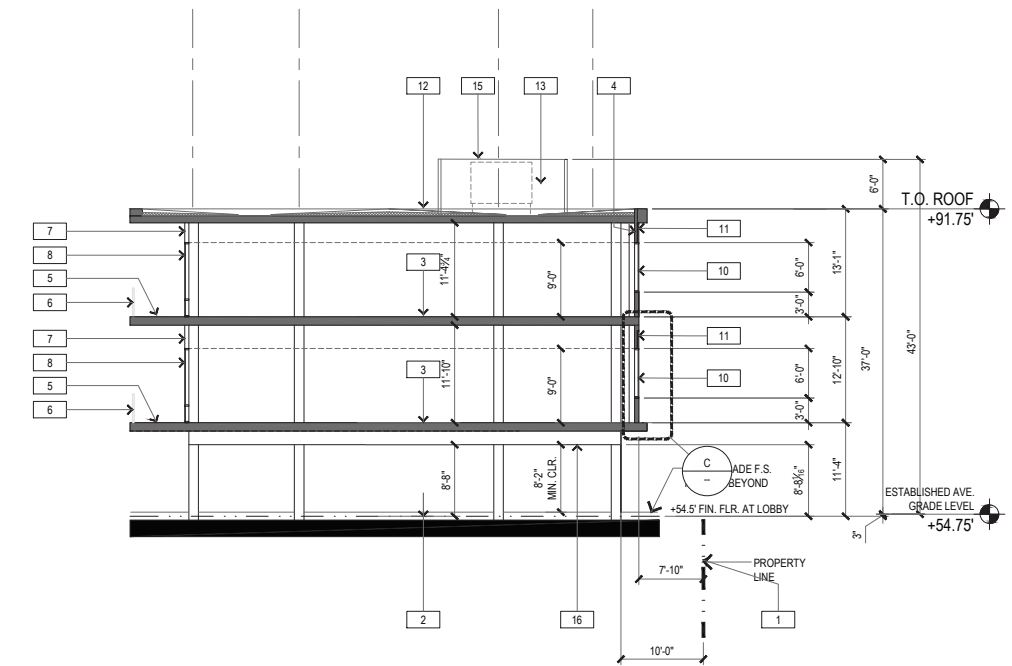
UNPROTECTED OPENING CALCULATIONS

- LEVEL 1
MINIMUM FIRE SEPARATION DISTANCE = 10 FT
(UNLIMITED PER CBC TABLE 705.8 NOTE G) - SEE SECTION B
- LEVEL 2 & LEVEL 3
MINIMUM FIRE SEPARATION DISTANCE = 7'-10" FT
(25% MAXIMUM UNPROTECTED OPENINGS ALLOWED PER CBC TABLE 705.8)
SEE NORTH ELEVATION AND ENLARGED SECTION C

ENLARGED SECTION C -
TYPICAL OPENING & SPANDREL
LEVEL 2 (LEVEL 3 SIMILAR)



SECTION A



SECTION B





NEWPORT BIRCH MEDICAL PLAZA
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

RENDERING VIEWS



A-10
Scale
Job No. 2025-0301
Date 2026-02-06



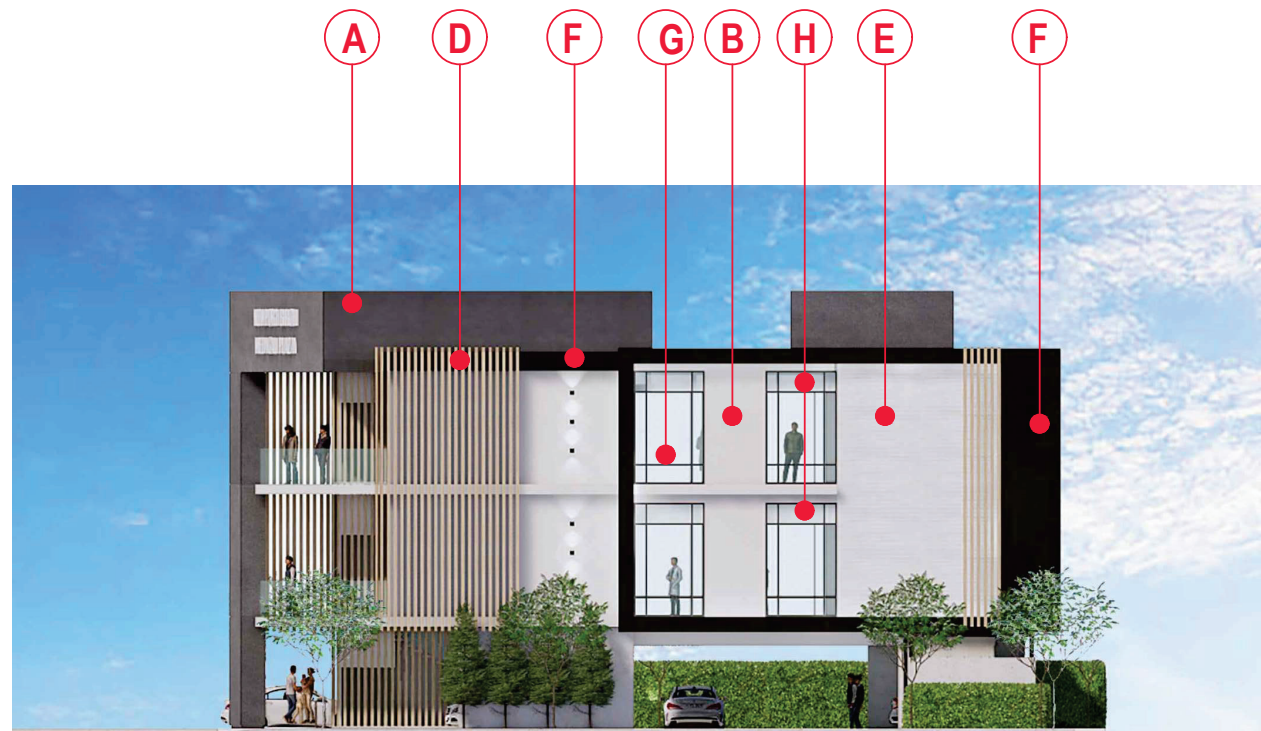
NEWPORT BIRCH MEDICAL PLAZA
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

AXONOMETRIC VIEWS



A-11

Scale
Date 2025-03-01
Date 2026-02-06

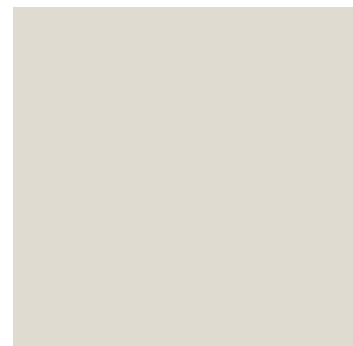


A. PAINT



MANUF: SHERWIN WILLIAMS
 COLOR: SW 7076 CYBERSPACE
 DESCRIPTION: SMOOTH STUCCO

B. PAINT



MANUF: SHERWIN WILLIAMS
 COLOR: SW 7015 REPOSE GRAY
 DESCRIPTION: SMOOTH STUCCO

C. PAINT



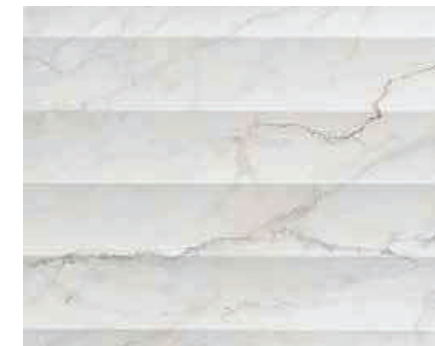
MANUF: SHERWIN WILLIAMS
 COLOR: SW 7017 DORIAN GRAY
 DESCRIPTION: SMOOTH STUCCO

D. METAL-WOOD PATTERN



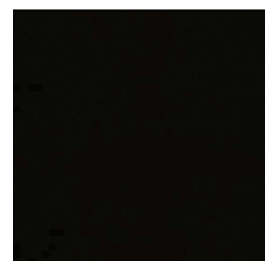
MANUF: B & C AWNING
 COLOR/PATTERN: TO MATCH OAK BY
 SPECERAMICS (D)

E. CERAMIC TILE



MANUF: TILE BAR
 PATTERN: LUMAR WAVES
 COLOR: APUANO ORO WHITE
 DIMENSIONS: 24"X 48"

F. BREAK METAL



COLOR: TO MATCH
 STOREFRONT

G. WINDOW SYSTEM



MANUF: ARCADIA
 COLOR: AB-8 BLACK

H. GLASS



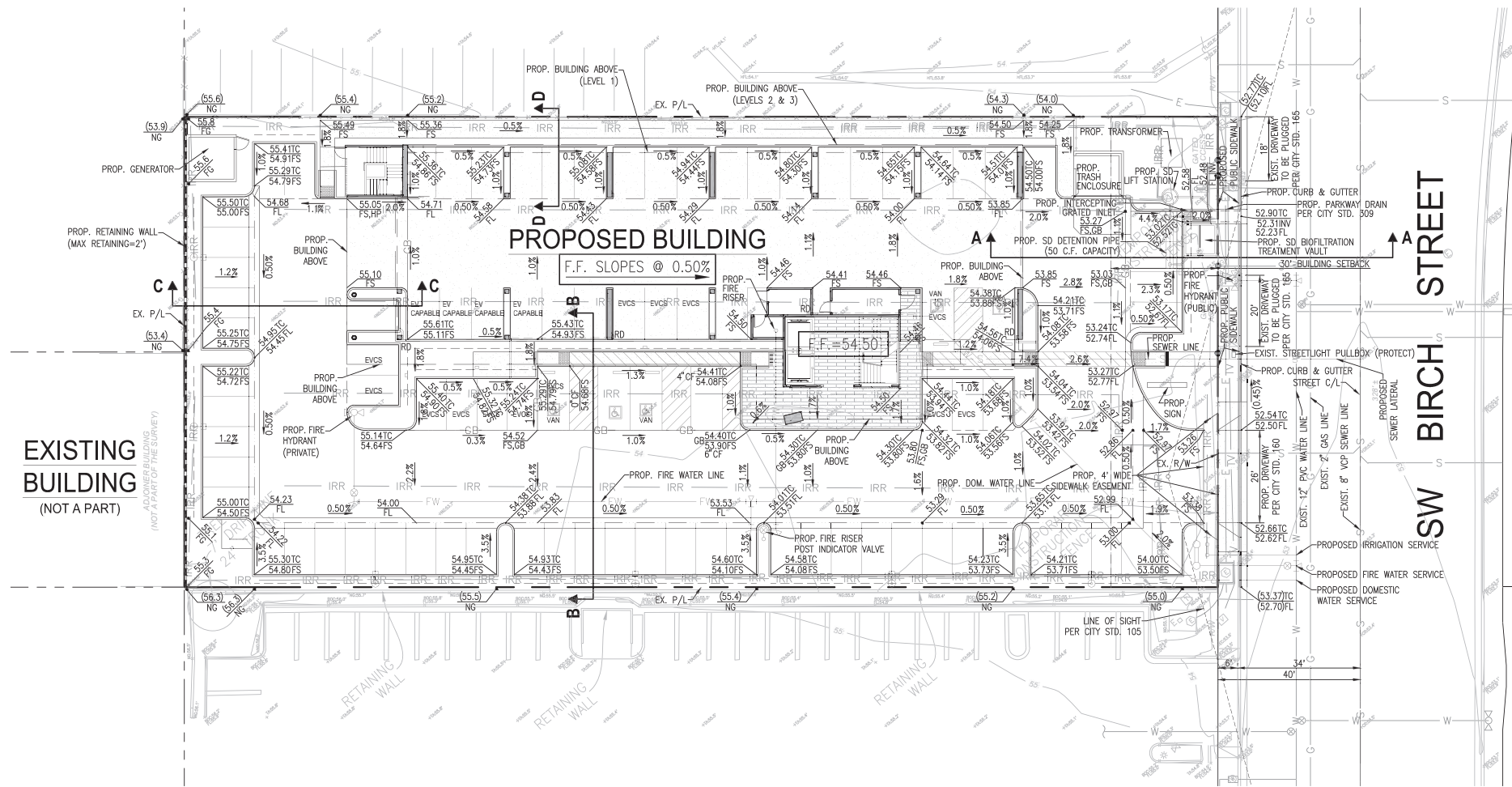
SOLARBAN TO MEET TITLE-24
 COMPLIANCE/MATCHING SPANDREL
 GLASS AT UPPER LITE (ABOVE +9'-0" AFF)

NEWPORT BIRCH MEDICAL PLAZA

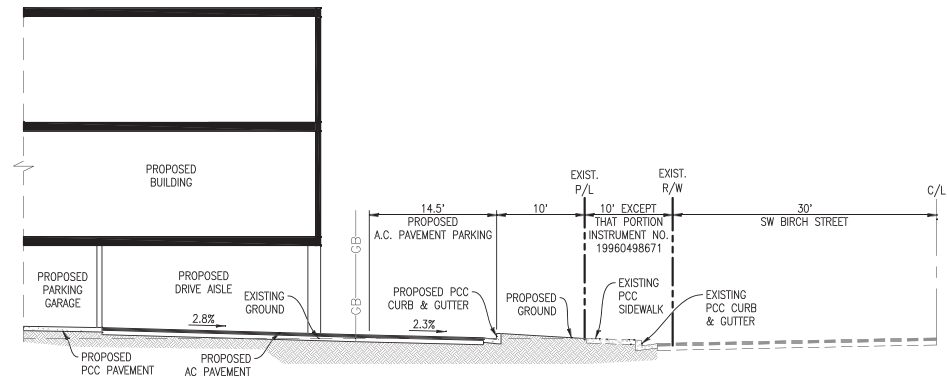
20071 SW BIRCH ST, NEWPORT BEACH, CA 92660

COLOR & MATERIAL BOARD

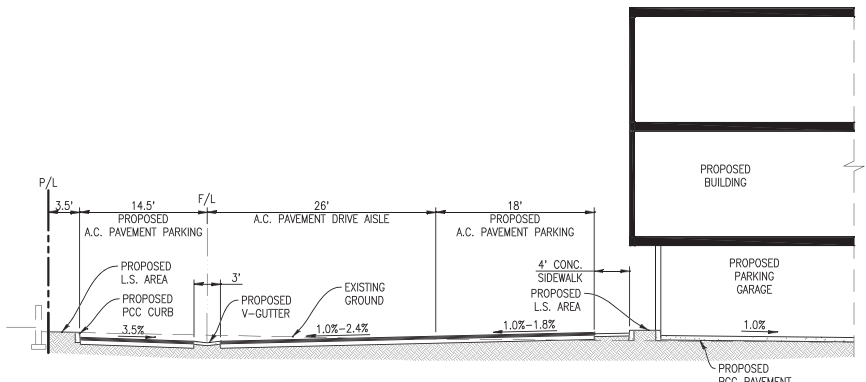




PRELIMINARY GRADING PLAN



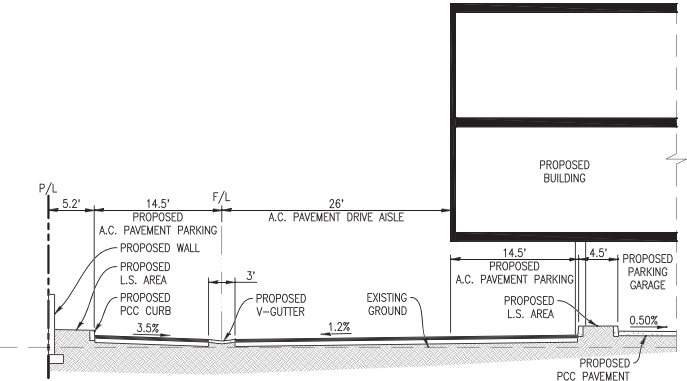
SECTION A-A
SCALE: 1"=10'



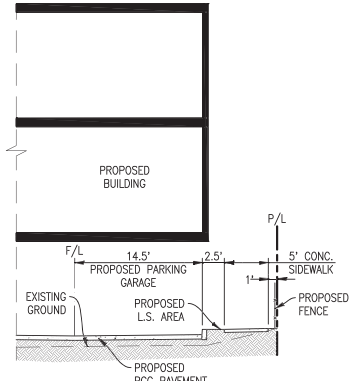
SECTION B-B
SCALE: 1"=10'

ABBREVIATIONS

- AC - ASPHALT CONCRETE
- BW - BACK OF WALK
- C&G - CURB & GUTTER
- CB - CATCH BASIN
- CF - CURB FACE
- C/L - CENTERLINE
- CONC. - CONCRETE
- DWY - DRIVEWAY
- EXIST. - EXISTING
- FF - FINISHED FLOOR
- FG - FINISHED GRADE
- FL - FLOWLINE
- FS - FINISHED SURFACE
- GB - GRADE BREAK
- INV - INVERT
- M.H. - MANHOLE
- PCC - PORTLAND CEMENT CONCRETE
- P/L - PROPERTY LINE
- PROP. - PROPOSED
- R/W - RIGHT-OF-WAY
- SD - STORM DRAIN
- ST - STREET
- TC - TOP OF CURB
- TG - TOP OF GRATE



SECTION C-C
SCALE: 1"=10'



SECTION D-D
SCALE: 1"=10'

NEWPORT BIRCH MEDICAL PLAZA
20071 SW BIRCH ST NEWPORT BEACH, CA 92660

WALDEN & ASSOCIATES CIVIL ENGINEERS
LAND SURVEYORS
PLANNERS

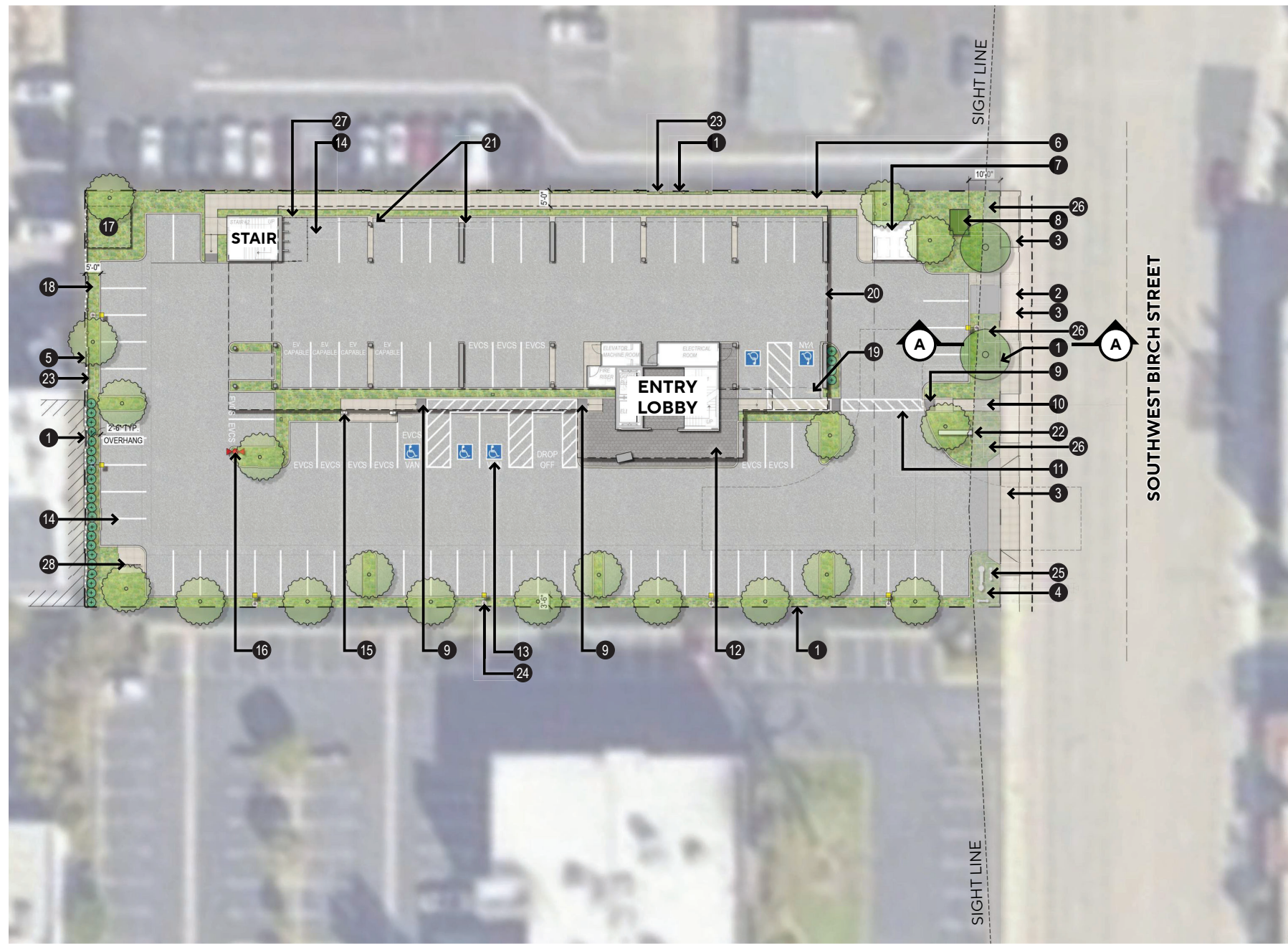
2552 WHITE ROAD, SUITE B, IRVINE, CA 92614
(949) 660-0110 FAX: 660-0418

AO Architecture. Design. Relationships.

144 North Orange Street, Orange, California 92666
714 / 639-9860
architectsorange.com

C-01

Scale 1" = 20'
Date 2/22/20
2229-506-001
2026-3-18



KEYNOTE LEGEND	
1	PROPERTY LINE
2	EXISTING PAVING TO REMAIN - PROTECT IN-PLACE
3	PROPOSED RIGHT-OF-WAY IMPROVEMENTS PER CIVIL
4	PROPOSED PLANTING AREA - TYP.
5	RETAINING WALL PER CIVIL ENGINEER
6	5'-0" WIDE C.I.P. CONCRETE FIRE ACCESS PATH
7	TRASH ENCLOSURE PER ARCHITECT
8	ELECTRICAL TRANSFORMER PER CIVIL/ELECTRICAL ENGINEER
9	TRUNCATED DOMES AT ADA CURB RAMP
10	5'-0" MIN. WIDE C.I.P. CONCRETE WALKWAY
11	STRIPED CROSSWALK PER CIVIL ENGINEER
12	DECORATIVE PRECAST CONCRETE PAVERS AT BUILDING ENTRY
13	ADA PARKING STALLS PER CIVIL ENGINEER - TYPICAL
14	STANDARD PARKING STALLS PER CIVIL ENGINEER - TYPICAL
15	ELECTRIC VEHICLE CHARGING STATION PER ARCHITECT
16	FIRE HYDRANT PER CIVIL ENGINEER
17	FUTURE ELECTRIC GENERATOR PER ARCHITECT
18	2'-6" CAR OVERHANG AT PARKING STALLS, TYP.
19	WHEEL STOPS AT ADA PARKING STALLS, TYP. PER CIVIL ENGINEER
20	LEVEL 2 FOOTPRINT ABOVE
21	STRUCTURAL WALLS AND COLUMNS PER ARCHITECT
22	MONUMENT SIGNAGE PER SIGNAGE CONSULTANT
23	6' HIGH LANDSCAPE HEDGE BARRIER
24	LIGHT STANDARD PER LIGHTING DESIGNER - TYP.
25	EXISTING AND PROPOSED UTILITIES PER CIVIL ENGINEER - TYP.
26	3:1 BERM ALONG STREET FRONTAGE
27	LONG-TERM BIKE PARKING PER ARCHITECT
28	BIKE RACK PER ARCHITECT

- GENERAL DESIGN NOTES**
1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
 2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF NEWPORT BEACH REQUIREMENTS.
 3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF NEWPORT BEACH REQUIREMENTS.
 4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.

IRRIGATION DESIGN NOTES

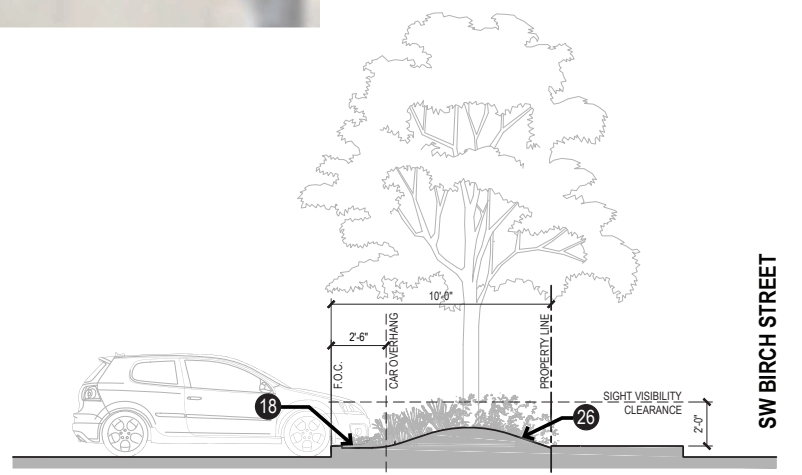
THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

PLANTING DESIGN NOTES

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF NEWPORT BEACH GUIDELINES.

PROJECT SUMMARY

OVERALL SITE AREA	38,280 S.F. (.88 AC)
OVERALL LANDSCAPE AREA	5,213 S.F.
LANDSCAPE COVERAGE	13.6%



SECTION A-A' - SECTION THROUGH LANDSCAPE BERM
SCALE: 1/4"=1'-0"

NEWPORT MEDICAL PLAZA
20071 SW BIRCH ST. NEWPORT BEACH, CA 92660

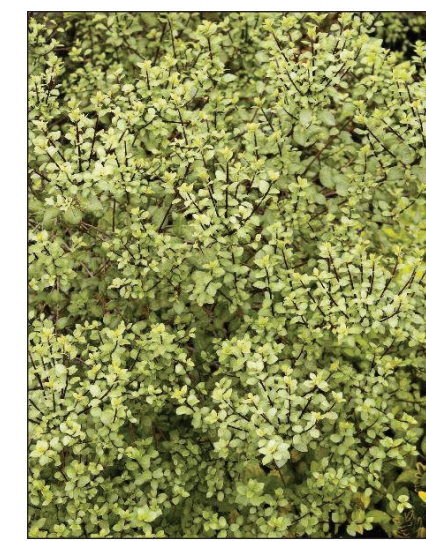
LANDSCAPE DOCUMENTATION PACKAGE
LANDSCAPE SITE PLAN



L01
Scale: 1" = 20'
2025-0301
2024-03-13
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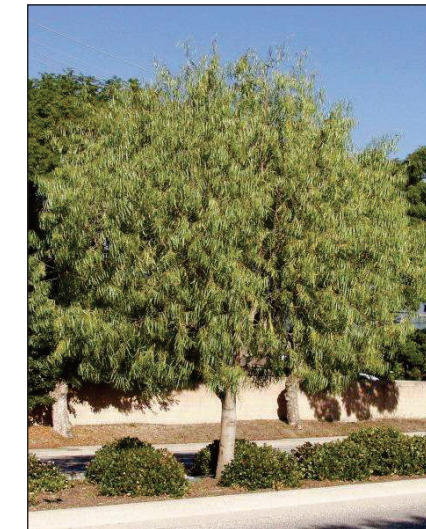
TREE LEGEND					
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	WUCOLS	DESCRIPTION
●	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN KOHUHU	24" BOX	26	L	SCREENING HEDGE HEDGE AT 36" O.C.
	PODOCARPUS ELONGATUS 'MONMAL' ICE BLUE YELLOW-WOOD	24" BOX		M	
●	GEIJERA PARVIFLORA AUSTRALIAN WILLOW	24" BOX	21	L	STANDARD TRUNK, MATCHING
●	TRISTANIA CONFERTA BRISBANE BOX	24" BOX	2	M	STANDARD TRUNK, MATCHING MAINTAIN 7' CLEAR CANOPY



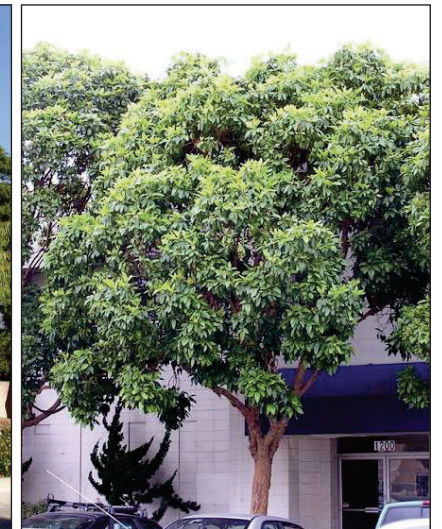
PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'
(SILVER SHEEN KOHUHU)
HEIGHT: 15' - 25'
SPREAD: 10' - 15'



PODOCARPUS ELONGATUS 'MONMAL'
(ICE BLUE YELLOW-WOOD)
HEIGHT: 15' - 25'
SPREAD: 15' - 25'



GEIJERA PARVIFLORA
(AUSTRALIAN WILLOW)
HEIGHT: 20' - 30'
SPREAD: 15' - 20'



TRISTANIA CONFERTA
(BRISBANE BOX)
HEIGHT: 30' - 40'
SPREAD: 25'

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LANDSCAPE DOCUMENTATION PACKAGE
TREE PLAN



L02
Scale: 1" = 20'
2025-0301
2024-03-13
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SHRUB LEGEND					
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	O.C. SPACING	QTY	WUCOLS
	HEMEROCALLIS 'STELLA D' ORO' DAYLILY	5 GAL.	24" (TRIANGULATE)	82	M
	LOMANDRA LONGIFOLIA 'BREEZE' SPINY HEADED MAT RUSH	5 GAL.	24" (TRIANGULATE)	605	L
	RHAPHIOLEPIS INDICA INDIA HAWTHORN	15 GAL.	24" (HEDGE)	188	M
	PHILODENDRON 'XANADU' WINTERBOURN PHILODENDRON	5 GAL.	30" (TRIANGULATE)	65	M
	PITTIOSPORUM TOBIRA 'WHEELERI' WHEELER'S DWARF PITTIOSPORUM	5 GAL.	36" (TRIANGULATE)	X	M
	DYMONDIA MARGARETAE SILVER CARPET	1 GAL.	18" (TRIANGULATE)	1,725	L



HEMEROCALLIS 'STELLA D' ORO'
(DAILILY)
HEIGHT: 1'
SPREAD: 1'



LOMANDRA LONGIFOLIA 'BREEZE'
(SPINY HEADED MAT RUSH)
HEIGHT: 2' - 3'
SPREAD: 2' - 4'



RHAPHIOLEPIS INDICA
(INDIAN HAWTHORN)
HEIGHT: 4' - 6'
SPREAD: 4' - 6'



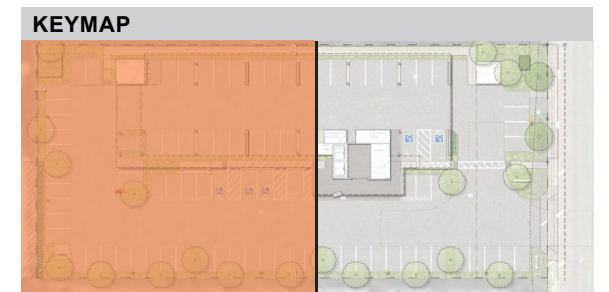
PHILODENDRON 'XANADU'
(WINTERBOURN PHILODENDRON)
HEIGHT: 2' - 3'
SPREAD: 3' - 4'



PITTIOSPORUM TOBIRA 'WHEELERI'
(WHEELER'S DWARF PITTIOSPORUM)
HEIGHT: 2' - 3'
SPREAD: 4' - 5'



DYMONDIA MARGARETAE
(SILVER CARPET)
HEIGHT: 1'-3"
SPREAD: 1'-2"



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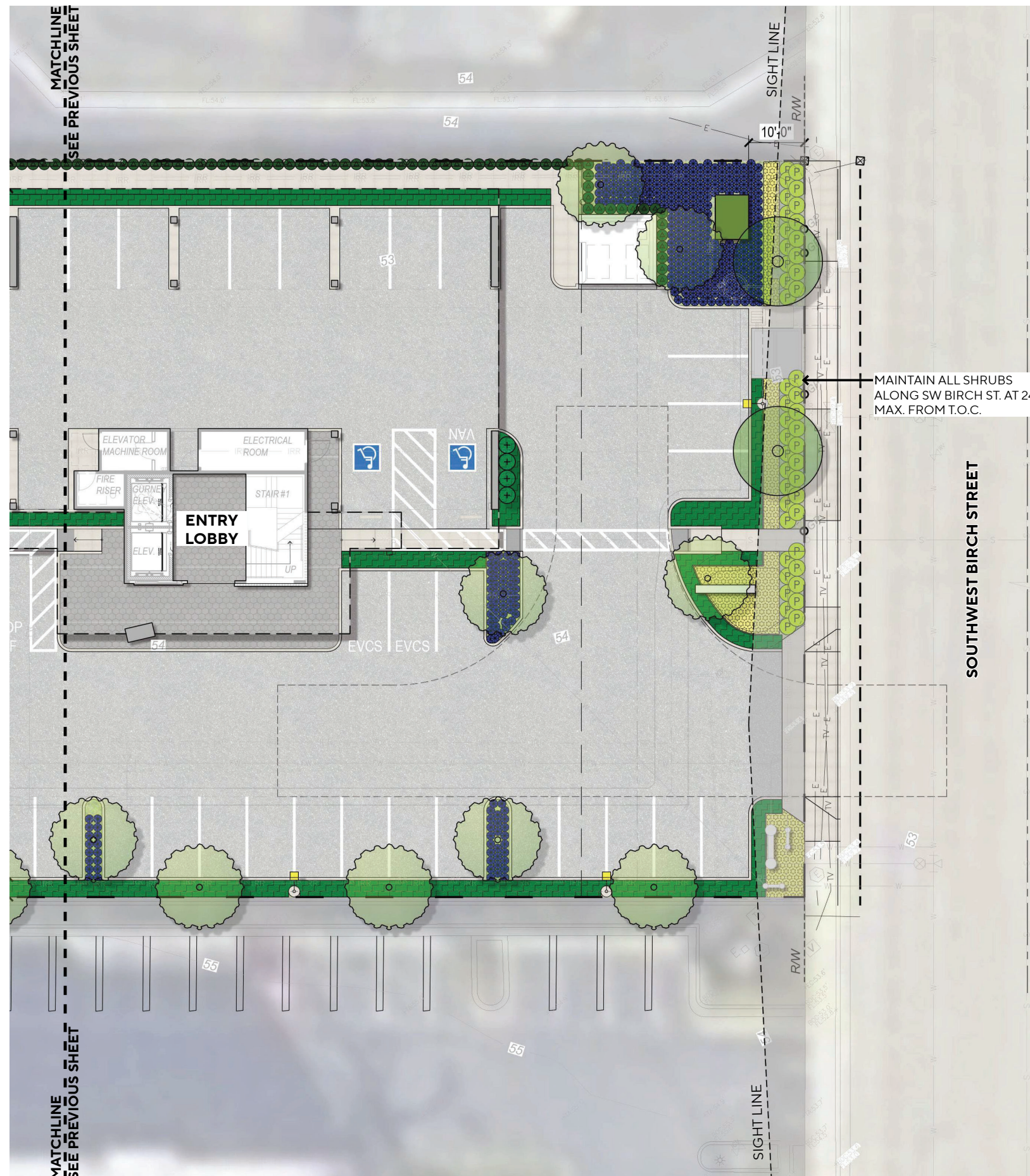
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SHRUB PLAN



L03

Scale: 1" = 10'
Date: 2025-03-01
2024-03-13

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SHRUB LEGEND					
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	O.C. SPACING	QTY	WUCOLS
	HEMEROCALLIS 'STELLA D' ORO' DAYLILY	5 GAL.	24" (TRIANGULATE)	82	M
	LOMANDRA LONGIFOLIA 'BREEZE' SPINY HEADED MAT RUSH	5 GAL.	24" (TRIANGULATE)	605	L
	RHAPHIOLEPIS INDICA INDIA HAWTHORN	15 GAL.	24" (HEDGE)	188	M
	PHILODENDRON 'XANADU' WINTERBOURN PHILODENDRON	5 GAL.	30" (TRIANGULATE)	65	M
	PITTOSPORUM TOBIRA 'WHEELERI' WHEELER'S DWARF PITTOSPORUM	5 GAL.	36" (TRIANGULATE)	X	M
	DYMONDIA MARGARETAE SILVER CARPET	1 GAL.	18" (TRIANGULATE)	1,725	L



HEMEROCALLIS 'STELLA D' ORO'
(DAILILY)
HEIGHT: 1'
SPREAD: 1'



LOMANDRA LONGIFOLIA 'BREEZE'
(SPINY HEADED MAT RUSH)
HEIGHT: 2' - 3'
SPREAD: 2' - 4'



RHAPHIOLEPIS INDICA
(INDIAN HAWTHORN)
HEIGHT: 4' - 6'
SPREAD: 4' - 6'



PHILODENDRON 'XANADU'
(WINTERBOURN PHILODENDRON)
HEIGHT: 2' - 3'
SPREAD: 3' - 4'



PITTOSPORUM TOBIRA 'WHEELERI'
(WHEELER'S DWARF PITTOSPORUM)
HEIGHT: 2' - 3'
SPREAD: 4' - 5'



DYMONDIA MARGARETAE
(SILVER CARPET)
HEIGHT: 1'-3"
SPREAD: 1'-2"



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LANDSCAPE DOCUMENTATION PACKAGE
SHRUB PLAN



L04

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