



CITY OF NEWPORT BEACH ZONING ADMINISTRATOR STAFF REPORT

March 26, 2026
Agenda Item No. 5

SUBJECT: Emami Residence (PA2025-0173)
▪ Coastal Development Permit

SITE LOCATION: 355 Via Lido Soud

APPLICANT: Brittany Oakes, Brandon Architects

OWNER: Dion Emami

PLANNER: Daniel Kopshever, Assistant Planner
949-644-3235, dkopshever@newportbeachca.gov

LAND USE AND ZONING

- **General Plan Land Use Plan Category:** Multiple Residential (RM)
- **Zoning District:** Multiple Residential (RM)
- **Coastal Land Use Plan Category:** Multiple Unit Residential (RM-E) - (30.0 – 39.9 DU/AC)
- **Coastal Zoning District:** Multiple Residential (RM)

PROJECT SUMMARY

A request for a coastal development permit (CDP) to allow the demolition of an existing single-unit dwelling and the construction of a new 3,942-square-foot, two-story, single-unit dwelling with an attached 697-square-foot two-car garage, for a total floor area of 4,639 square feet. The project includes landscape, hardscape, drainage and accessory structures. The project complies with all development standards and no deviations are requested. All improvements authorized by this CDP will be located on private property (Project).

RECOMMENDATION

- 1) Conduct a public hearing;
- 2) Find this project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment and the exceptions to this exemption do not apply; and
- 3) Adopt Draft Zoning Administrator Resolution No. _ approving the Coastal Development Permit filed as PA2025-0173 (Attachment No. ZA 1).

DISCUSSION

Land Use and Development Standards

- The property is located in the RM (Multiple Unit Residential) Coastal Zoning District, which allows for both single and multi-unit residential development on a single legal lot. A single-unit residence is consistent with the City’s Coastal Land Use Plan, General Plan, and Zoning Code.
- The project is not eligible for a waiver for de minimis development because the property is within the Coastal Commission Appeal Area.
- The property consists of one legal lot and is currently developed with a single-unit dwelling. The existing dwelling unit is approximately 2,038 square feet in size, and the existing garage is approximately 352 square feet.
- The neighborhood is predominantly developed with two-story single-unit dwellings. The proposed design, bulk and scale of the development is consistent with the existing neighborhood pattern of development (see Figure 1 below).

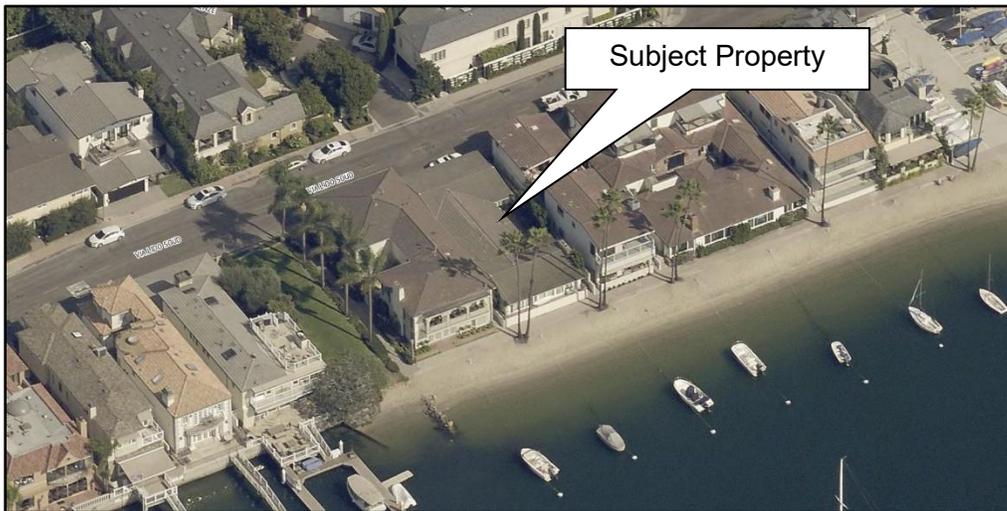


Figure 1: Oblique aerial image of neighborhood

- The proposed development conforms to all applicable development standards, including floor area limit, setbacks, height and off-street parking as evidenced by the project plans and illustrated in Table 1 below:

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Setbacks (min.)		
Front (Via Lido Soud)	4 feet	4 feet
Sides	3 feet	3 feet

Table 1 – Development Standards		
Development Standard	Standard	Proposed
Front (Waterfront)	0 feet	8 feet and 9 inches
3rd Floor Setbacks (min.)	15 feet	No 3 rd floor proposed
Allowable Floor Area (max.)	5,856 square feet	4,638 square feet
Open Volume Area (min.)	439 square feet	767 square feet
Parking (min.)	2 garage spaces	3 garage spaces
Height (max.)	28-foot flat roof 33-foot sloped roof	24-foot sloped roof

Hazards

- The finished floor elevation of the first floor of the proposed structure is 11.89 feet North American Vertical Datum of 1988 (NAVD 88), which complies with the minimum 9.00-foot NAVD 88 elevation standard for new structures.
- A Coastal Hazards Report and Sea Level Rise Analysis (SLR Report) was prepared for the project by PMA Consulting, Inc. dated August 1, 2025. The SLR Report states that the current maximum bay water elevation is 7.7 feet NAVD 88 and may exceed the proposed finished floor elevation of 11.89 feet NAVD 88 during high tide or storm events. The SLR Report analyzes future sea level rise scenarios assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 3.20 feet (likely) to 6.7 feet (very unlikely). Therefore, the SLR Report states that the sea level is estimated to reach approximately 10.9 to 14.4 feet NAVD 88, - (the likely range for sea level rise over 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update). However, based on the latest adopted State of California Sea Level Rise Guidance 2024 Science & Policy Update, the sea level is estimated to only reach approximately 10.5 to 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure). The SLR Report used for the Project anticipates more severe sea level rise than the 2024 guidance and still concludes that structure will not be subject to flooding over its economic lifetime. Furthermore, the SLR Report states that block walls built along the property lines could be constructed to 14.4 NAVD 88 and sufficient to protect the Project in the event that the Medium High-Risk Aversion estimates hold true.
- Under Section 21.30.030 (C)(3)(i)(iv) (Natural Landform and Shoreline Protection) of the Newport Beach Municipal Code (NBMC), the property owner will be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority. The Acknowledgement of Coastal Hazards is included as Condition of Approval No. 3 that will need to be recorded prior to the issuance of building permits.

- The property owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with Section 21.30.015(D)(3)(c) (Waterfront Development - Development Standards) of the NBMC. The Acknowledgement of Coastal Hazards is included as a condition of approval that will need to be satisfied before the issuance of building permits.
- The property is located in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved before the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC before building permit issuance.

Water Quality

- The property abuts coastal waters. A Construction Erosion Control Plan was provided to implement temporary Best Management Practices (BMPs) during construction to minimize erosion and sedimentation and to minimize pollution of runoff and coastal waters derived from construction chemicals and materials. The project design also addresses water quality through the inclusion of a post-construction drainage system that includes drainage and percolation features designed to retain dry weather and minor rain event runoff on-site. Any water not retained on-site is directed to the City's storm drain system.
- Pursuant to Section 21.35.050 (Water Quality and Hydrology Plan) of the NBMC, due to the proximity of the development to the shoreline and the development containing more than 75% of impervious surface area, a Water Quality and Hydrology Plan (WQHP) is required. A preliminary WQHP has been prepared for the project by Toal Engineering, Inc. dated August 20, 2025. The WQHP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, the use of a LID approach to retain the design storm runoff volume on-site, and documentation of the expected effectiveness of the proposed BMPs.

Public Access and Views

- The project site is located between the nearest public road and the sea. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement and the project's impact and be proportional to the impact. In this case, the project includes the demolition of a single-unit dwelling and the reconstruction of a single-unit dwelling on an RM zoned lot. Therefore, the project does not involve a change in land use, density or intensity that will result in increased

demand on public access and recreation opportunities. Furthermore, the project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.

- Coastal access is currently provided and will continue to be provided by the Lido Isle Community Association parks around the outer perimeter of Lido Island which grants pedestrian access. The nearest access to the harbor is available via the Lido Isle Community Association Park approximately 40 feet northwest of the subject property. The project does not include any features that would impede coastal access.
- The project site is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the Coastal Land Use Plan. The nearest coastal viewpoint is from the Lido Island Bridge, approximately 1,743 feet northwest of the property and across the Lido Channel. The nearest coastal view road segments are located along West Coast Highway, approximately 1,935 feet north of the property. These areas offer views of the bay. The proposed project replaces an existing single-unit dwelling with a new single-unit dwelling that complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope consistent with the existing and anticipated neighborhood pattern of development. The Project ultimately should blend into the skyline and does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on existing public views.
- The proposed residence, which is visible from the harbor, implements architectural treatment and visual interest, consistent with the design guidelines of the NBMC. The design implements open space and articulation which prevents the residence from appearing overly bulky. The subject property has a 0-foot front yard setback along the bay, but the design voluntarily provides a setback of 8 feet and 9 inches, which prevents the proposed residence from appearing walled off. The project does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on existing public views.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3 because it has no potential to have a significant effect on the environment.

Class 3 exempts the demolition and construction of limited numbers of new, small, structures including construction of up to six dwelling units in urbanized areas. The proposed project consists of the demolition of one single-unit dwelling and the construction of a new 3942-square-foot, two-story, single-unit dwelling with an attached

697 square-foot, two-car garage in the RM Coastal Zoning District. The project is consistent with the Class 3 exemption.

The exceptions to this categorical exemption under Section 15300.2 are not applicable. The project location does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners and residential occupants of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways), including the applicant, and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

This action shall become final and effective 14 days following the date the Resolution is adopted unless within such time an appeal or call for review is filed with the Community Development Director by the provisions of Title 21 (Local Coastal Program [LCP] Implementation Plan) of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act. For additional information on filing an appeal, contact the Planning Division at 949-644-3200.

Prepared by:



Daniel Kopshever, Assistant Planner

LW/djk

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2026-###

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH, APPROVING A COASTAL DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-UNIT DWELLING AND CONSTRUCT A NEW TWO-STORY SINGLE-UNIT DWELLING AND ATTACHED TWO-CAR GARAGE LOCATED AT 355 VIA LIDO SOUD (PA2025-0173)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Brittany Oakes of Brandon Architects (Applicant) on behalf of Dion Emami (Owner), with respect to property located at 355 Via Lido Soud, and legally described as Lot 921 of Tract 907 (Property), requesting approval of a coastal development permit.
2. The Applicant requests a coastal development permit (CDP) to allow the demolition of an existing single-unit dwelling and the construction of a new 3,942-square-foot, two-story, single-unit dwelling with attached 697-square-foot two-car garage, for a total floor area of 4,639 square feet. The Project includes landscape, hardscape, drainage and accessory structures. The Project complies with all development standards and no deviations are requested. All improvements authorized by this CDP will be located on private property.
3. The Property is categorized Multiple Residential (RM) by the General Plan Land Use Element and is located within the Multiple Residential (RM) Zoning District.
4. The Property is located within the coastal zone. The Coastal Land Use Plan (CLUP) category is Multiple Unit Residential (RM-E) - (30.0 – 39.9 DU/AC) and it is located within the Multiple Residential (RM) Coastal Zoning District.
5. A public hearing was held on March 26, 2026, online via Zoom. A notice of time, place and purpose of the hearing was given in accordance with the Newport Beach Municipal Code (NBMC). Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this hearing.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. The Project is categorically exempt pursuant to Title 14 of the California Code of Regulations Section 15303, Division 6, Chapter 3, Guidelines for Implementation of the California Environmental Quality Act (CEQA) under Class 3 (New Construction or Conversion of Small Structures), because it has no potential to have a significant effect on the environment.
2. Class 3 exempts the demolition and construction of limited numbers of new, small, structures including construction of up to six dwelling units in urbanized areas. The proposed project consists of the demolition of one single-unit dwelling and the

construction of a new 3,942-square-foot, two-story, single-unit dwelling with an attached 697-square-foot, two-car garage in the RM Coastal Zoning District. The project is consistent with the Class 3 exemption.

3. The exceptions to this categorical exemption under Section 15300.2 are not applicable. The Project does not impact an environmental resource of hazardous or critical concern, does not result in cumulative impacts, does not have a significant effect on the environment due to unusual circumstances, does not damage scenic resources within a state scenic highway, is not a hazardous waste site, and is not identified as a historical resource.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 21.52.015(F) (Coastal Development Permits, Findings and Decision) of the NBMC, the following findings and facts in support of such findings are set forth:

Finding:

A. Conforms to all applicable sections of the certified Local Coastal Program.

Facts in Support of Finding:

1. The proposed development complies with applicable residential development standards including, but not limited to, floor area limitation, setbacks, height and parking.
 - a. The maximum floor area limitation is 5,856 square feet and the proposed floor area is 4,639 square feet including the attached 697-square-foot garage.
 - b. The Project provides the minimum required setbacks, which are 4 feet from the front property line adjacent to the street, 3 feet from each side's property line, and 0 feet from the rear property line abutting an approximately 55-foot-deep stretch of beach.
 - c. The highest flat element is less than 28 feet from the established grade (11.46 feet per the North American Vertical Datum of 1988 (NAVD 88) and the highest ridge is approximately 24 feet from established grade, which complies with the maximum height limit of 28 feet for flat elements and 33 feet for a sloped roof.
 - d. The Project provides a two-car garage, meeting the minimum two-car garage requirement for a single-family dwelling with less than 4,000 square feet of habitable floor area.
2. The neighborhood is predominantly developed with two-story single-unit dwellings. The proposed design, bulk, and scale of the development is consistent with the existing neighborhood pattern of development.

3. A Coastal Hazards Report and Sea Level Rise Analysis (SLR Report) was prepared for the Project by PMA Consulting, Inc. dated August 1, 2025. The SLR Report states that the current maximum bay water elevation is 7.7 feet NAVD 88 and may exceed the proposed finished floor elevation of 11.89 feet NAVD 88 during high tide or storm events. The SLR Report analyzes future sea level rise scenarios assuming an increase in the maximum water level over the next 75 years (i.e., the life of the structure) of about 3.20 feet (likely) to 6.7 feet (very unlikely). Therefore, the SLR Report states that the sea level is estimated to reach approximately 10.9 to 14.4 feet NAVD 88, - (the likely range for sea level rise over 75-year design life of the structure based on low-risk aversion estimates for sea level rise provided by the State of California, Sea Level Rise Guidance: 2018 Update). However, based on the latest adopted State of California Sea Level Rise Guidance 2024 Science and Policy Update, the sea level is estimated to only reach approximately 10.5 to 12.2 feet NAVD 88 (the likely range for sea level rise over 75-year design life of the structure. The SLR Report used for the Project anticipates more severe sea level rise than the 2024 guidance and still concludes that the structure will not be subject to flooding over its economic lifetime. Furthermore, the SLR Report states that block walls built along the property lines could be constructed to 14.4 NAVD 88 and sufficient to protect the Project in the event that Medium High-Risk Aversion estimates hold true.
4. The finish floor elevation of the proposed single-unit dwelling is at a minimum elevation of 11.98 feet NAVD 88, which complies with the minimum 9.0-foot NAVD 88 elevation standard.
5. The Property is in an area known for the potential of seismic activity and liquefaction. All projects are required to comply with the California Building Code (CBC) and Building Division standards and policies. Geotechnical investigations specifically addressing liquefaction are required to be reviewed and approved prior to the issuance of a building permit. Permit issuance is also contingent on the inclusion of design mitigation identified in the investigations. Construction plans are reviewed for compliance with approved investigations and CBC prior to building permit issuance.
6. Pursuant to NBMC Section 21.30.030(C)(3)(i)(iv) - (Natural Landform and Shoreline Protection), the Owner will be required to enter into an agreement with the City waiving any potential right to protection to address situations in the future in which the development is threatened with damage or destruction by coastal hazards (e.g., waves, erosion and sea level rise). The Waiver of Future Protection is included as a condition of approval that will need to be recorded prior to a final building inspection.
7. The Owner will also be required to acknowledge any hazards present at the site and unconditionally waive any claim to damage or liability against the decision authority, consistent with NBMC Section 21.30.015(D)(3)(c) – (Waterfront Development - Development Standards). The Acknowledgement of Coastal Hazards is included as a condition of approval that will need to be recorded prior to the issuance of building permits.
8. The Property is located adjacent to coastal waters. Pursuant to Section 21.35.030 (Construction Pollution Prevention Plan) of the NBMC, a Construction Pollution Prevention Plan (CPPP) is required to implement temporary Best Management Practices (BMPs)

during construction to minimize erosion and sedimentation, and to minimize pollution of runoff, and coastal waters derived from construction chemicals and materials. A CPPP has been provided and construction plans and activities will be required to adhere to the CPPP.

9. Pursuant to NBMC Section 21.35.050 (Water Quality and Hydrology Plan), due to the proximity of the development to the shoreline and the development containing more than 75 % of impervious surface area, a preliminary Water Quality Management Plan (WQMP) is required. The preliminary WQMP was prepared by Toal Engineering, Inc. dated August 20, 2025. The WQMP includes a polluted runoff and hydrologic site characterization, a sizing standard for BMPs, use of an LID approach to retain the design storm runoff volume on site, and documentation of the expected effectiveness of the proposed BMPs. Construction plans will be reviewed for compliance with the approved WQHP prior to building permit issuance.
10. Proposed landscaping complies with Section 21.30.075 (Landscaping) of the NBMC. Condition of Approval No. 8 is included that requires drought-tolerant species. Before the issuance of building permits, the final landscape plans will be reviewed to verify invasive species are not planted.
11. The Property is not located adjacent to a coastal view road, public access way, or Coastal Viewpoint as identified in the CLUP. The nearest coastal viewpoint is from the Lido Island Bridge, approximately 1,743 feet northwest of the Property and across the Lido Channel. The nearest coastal view road segments are located along West Coast Highway, approximately 1,935 feet north of the Property. These areas offer views of the bay. The proposed project replaces an existing single-unit dwelling with a new single-unit dwelling that complies with all applicable Title 21 (Local Coastal Program Implementation Plan) development standards and maintains a building envelope consistent with the existing and anticipated neighborhood pattern of development. The Property is not visible from the nearest coastal viewpoint or coastal view road segment due to intervening structures, and ultimately the Project should blend into the skyline and does not have the potential to degrade the visual quality of the Coastal Zone or result in significant adverse impacts on existing public views.
12. The Project will replace an existing single-unit dwelling with a new single-dwelling unit that complies with all applicable development standards in the NBMC, and is consistent with the existing neighborhood pattern of development. The Property fronts the bay and can be viewed from the water. The Property has a 0-foot front yard setback along the bay, but the design voluntarily provides a setback of 8 feet and 9 inches, which prevents the proposed residence from appearing walled off. The Project presents the opportunity to enhance views by updating an older structure with a new building and updated design. Glass elements and masonry proposed for the front and rear elevations indicate a high-quality design. The Project will not affect existing views afforded from the identified viewing areas and does not have the potential to degrade the visual quality of the coastal zone or result in significant adverse impacts to public views.

Finding:

B. Conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act if the project is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone.

Facts in Support of Finding:

1. The Property is located between the nearest public road and the sea or shoreline. Section 21.30A.040 (Determination of Public Access/Recreation Impacts) of the NBMC requires that the provision of public access bear a reasonable relationship between the requirement, the Project's impact, and be proportional to the impact. In this case, the Project includes the demolition of a single-unit dwelling and the reconstruction of a single-unit dwelling on a RM zoned lot. Therefore, the Project does not involve a change in land use, density or intensity that will result in increased demand on public access and recreation opportunities. Furthermore, the Project is designed and sited (appropriate height, setbacks, etc.) so as not to block or impede existing public access opportunities.
2. Coastal access is currently provided and will continue to be provided by Lido Isle Community Association parks around the outer perimeter of Lido Island. The parks grant pedestrian access. The nearest coastal access is less than 40 feet northwest of the Property, via a Lido Isle Community Association Park fronting Via Lido Soud. The Project would not impact coastal access opportunities.
3. While Via Lido Soud is the first public road paralleling the sea and the Property is located between Via Lido Soud and the bay, the Project will not affect the public's ability to gain access to, use, and/or view the coast and nearby recreational facilities.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby finds the Project is categorically exempt from the California Environmental Quality Act pursuant to Section 15303 under Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because it has no potential to have a significant effect on the environment.
2. The Zoning Administrator of the City of Newport Beach hereby approves the Coastal Development Permit (PA2025-0173), subject to the conditions set forth in Exhibit "A," which is attached hereto and incorporated by reference.
3. This action shall become final and effective 14 days following the date this Resolution was adopted unless within such time an appeal or call for review is filed with the Community Development Director in accordance with the provisions of Title 21 Local Coastal Implementation Plan of the NBMC. Final action taken by the City may be appealed to the Coastal Commission in compliance with Section 21.64.035 (Appeal to the Coastal Commission) of the City's certified LCP and Title 14 California Code of Regulations, Sections 13111 through 13120, and Section 30603 of the Coastal Act.

PASSED, APPROVED, AND ADOPTED THIS 26TH DAY OF MARCH, 2026.

Benjamin Zdeba, Zoning Administrator

EXHIBIT "A"

CONDITIONS OF APPROVAL

(Project-specific conditions are in italics)

Planning Division

1. The development shall be in substantial conformance with the approved site plan, floor plans, and building elevations stamped and dated with the date of this approval (except as modified by applicable conditions of approval).
2. *Prior to a final building permit inspection, an agreement in a form approved by the City Attorney between the Owner and the City shall be executed and recorded waiving rights to the construction of future shoreline protection devices to address the threat of damage or destruction from waves, erosion, storm conditions, landslides, seismic activity, bluff retreat, sea level rise, or other natural hazards that may affect the Property, or development of the Property, today or in the future. The agreement shall be binding against the property owners and successors and assigns.*
3. *Prior to the issuance of a building permit, the Owner shall submit a notarized signed letter acknowledging all hazards present at the site, assuming the risk of injury or damage from such hazards, unconditionally waiving any claims of damage against the City from such hazards, and to indemnify and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of development. The letter shall be scanned into the plan set prior to building permit issuance.*
4. *Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.*
5. *Prior to the issuance of a building permit, the applicant shall submit a final construction erosion control plan. The plan shall be subject to the review and approval by the Building Division.*
6. *Prior to the issuance of a building permit, the applicant shall submit a final drainage and grading plan. The plan shall be subject to the review and approval by the Building Division.*
7. *Prior to the issuance of a building permit, a copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans.*
8. *Prior to the issuance of a building permit, the applicant shall submit a final landscape and irrigation plan. These plans shall incorporate drought tolerant plantings, non-invasive plant species and water efficient irrigation design. The plans shall be approved by the Planning Division.*

9. *Prior to issuance of a building permit, the final WQHP/WQMP shall be reviewed and approved by the Building Division. Implementation shall comply with the approved CPPP and WQHP/WQMP and any changes could require separate review and approval by the Building Division.*
10. *Should future bay water elevations reach the Finished Floor Elevation of 11.98 feet (NAVD 88), on-site block walls shall be constructed to be adaptable to an elevation of 14.4 feet (NAVD 88), in compliance with the City of Newport Beach Waterfront Project Guidelines and Standards, Harbor Design Criteria Commercial & Residential Facilities.*
11. This approval does not authorize any new or existing improvements (including landscaping) on California Coastal Permit Jurisdiction, State tidelands, public beaches, or the public right-of-way. Any improvements located on tidelands, submerged lands, and/or lands that may be subject to the public trust shall require a coastal development permit (CDP) approved by the California Coastal Commission (CCC).
12. No demolition or construction materials, equipment debris, or waste, shall be placed or stored in a location that would enter sensitive habitat, receiving waters, or a storm drain or result in impacts to environmentally sensitive habitat areas, streams, the beach, wetlands or their buffers. No demolition or construction materials shall be stored on public property.
13. This coastal development permit does not authorize any development seaward of the private property.
14. The applicant is responsible for compliance with the Migratory Bird Treaty Act (MBTA). In compliance with the MBTA, grading, brush removal, building demolition, tree trimming, and similar construction activities shall occur between August 16 and January 31, outside of the peak nesting period. If such activities must occur inside the peak nesting season from February 1 to August 15, compliance with the following is required to prevent the taking of Native Birds pursuant to MBTA:
 - A. The construction area shall be inspected for active nests. If birds are observed flying from a nest or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest shall be delayed until the nest is no longer active. Continue to observe the nest until the chicks have left the nest and activity is no longer observed. When the nest is no longer active, construction activity can continue in the nest area.
 - B. It is a violation of state and federal law to kill or harm a native bird. To ensure compliance, consider hiring a biologist to assist with the survey for nesting birds, and to determine when it is safe to commence construction activities. If an active nest is found, one (1) or two (2) short follow-up surveys will be necessary to check on the nest and determine when the nest is no longer active.
15. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) shall be implemented before and throughout the duration of construction activity as designated in the Construction Erosion Control Plan.

16. The discharge of any hazardous materials into storm sewer systems or receiving waters shall be prohibited. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. A designated fueling and vehicle maintenance area with appropriate berms and protection to prevent spillage shall be provided as far away from storm drain systems or receiving waters as possible.
17. Debris from demolition shall be removed from work areas each day and removed from the Property within 24 hours of the completion of the project. Stock-piles and construction materials shall be covered, enclosed on all sites, not stored in contact with the soil, and located as far away as possible from drain inlets and any waterway.
18. Trash and debris shall be disposed in proper trash and recycling receptacles at the end of each construction day. Solid waste, including excess concrete, shall be disposed in adequate disposal facilities at a legal disposal site or recycled at a recycling facility.
19. Revisions to the approved plans may require an amendment to this coastal development permit or the processing of a new coastal development permit.
20. The Project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
21. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Coastal Development Permit.
22. This coastal development permit may be modified or revoked by the Zoning Administrator if determined that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the Property is operated or maintained so as to constitute a public nuisance.
23. All landscape materials and irrigation systems shall be maintained in accordance with the approved landscape plan. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance.
24. Construction activities shall comply with Section 10.28.040 of the NBMC, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7 a.m. and 6:30 p.m., Monday through Friday. Noise-generating construction activities are not allowed on Saturdays, Sundays or holidays.
25. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 (Community Noise Control) of the NBMC and other applicable noise control requirements of the NBMC.

26. Should the Property be sold or otherwise come under different ownership, any future owners or assignees shall be notified of the conditions of this approval by either the current business owner, property owner, or the leasing agent.
27. This coastal development permit shall expire unless exercised within 24 months from the date of approval as specified in Section 21.54.060 (Time Limits and Extensions) of the NBMC, unless an extension is otherwise granted.
28. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of **Emami Residence including, but not limited to, Coastal Development Permit (PA2025-0173)**. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Fire Department

29. The proposed single-unit dwelling shall be equipped with an automatic fire sprinkler system per Fire Department requirements.
30. At least one unobstructed walkway with a minimum 36-inch width shall be provided from the front to the back of the Property for emergency access.

Building Division

31. Exterior wall and opening protection shall comply with the CBC.

Public Works Department

32. All improvements within the public right of way shall be installed per the applicable City Standard.

Attachment No. ZA 2

Vicinity Map

VICINITY MAP

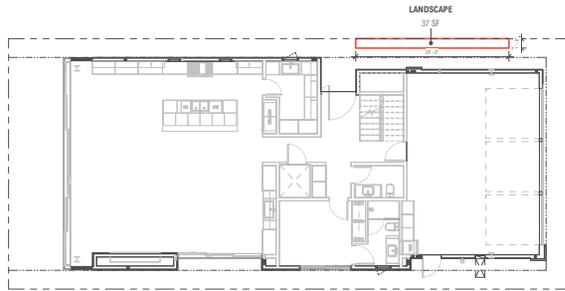


Coastal Development Permit
(PA2025-0173)

355 Via Lido Soud

Attachment No. ZA 3

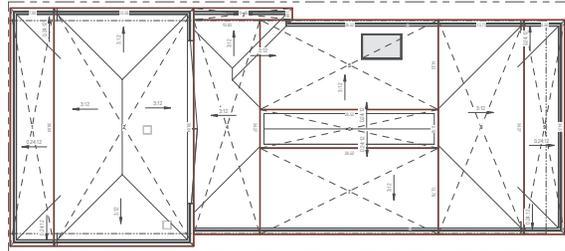
Project Plans



5 LANDSCAPE AREA
1/8" = 1'-0"

TOTAL LANDSCAPE AREA

LANDSCAPE	37 SF
-----------	-------



6 ROOF AREA
1/8" = 1'-0"

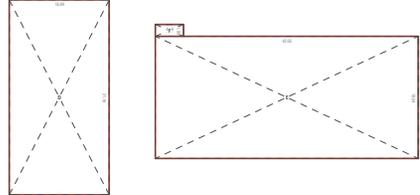
TOTAL ROOF AREA

1	385 SF
2	385 SF
3	385 SF
4	480 SF
5	175 SF
6	385 SF
7	475 SF
8	225 SF
TOTAL ROOF	3055 SF

TOTAL FLAT ROOF AREA

1	385 SF
2	175 SF
3	225 SF
TOTAL FLAT ROOF	785 SF

NOTE: 1100 SF @ 0.02 = 22 SF (MAX ALLOWED FLAT ROOF) + 665 SF (PREPARED FLAT ROOF)



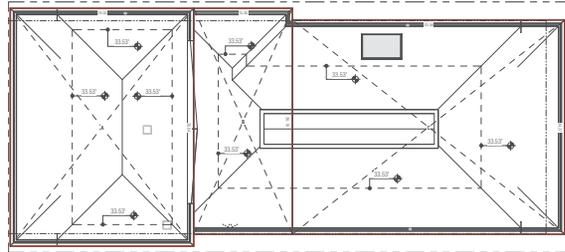
OVERALL ROOF AREA

A	1114 SF
B	571 SF
C	1463 SF
TOTAL ROOF	3148 SF

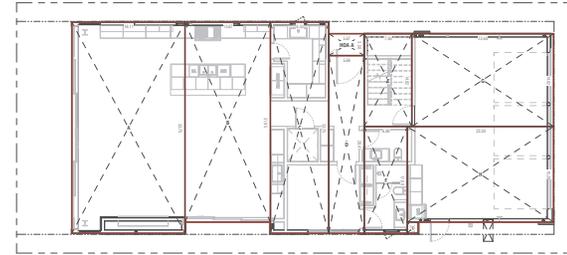
TOTAL ROOF AREA ABOVE Z2

D	480 SF
E	602 SF
F	8 SF
TOTAL ROOF	1090 SF

NOTE: 3100 SF @ 0.02 = 155 SF (MAX ALLOWED OVER Z2) + 1350 SF (PREPARED ROOF OVER Z2)



7 AVG ROOF MAX HT. (HOA)
1/8" = 1'-0"



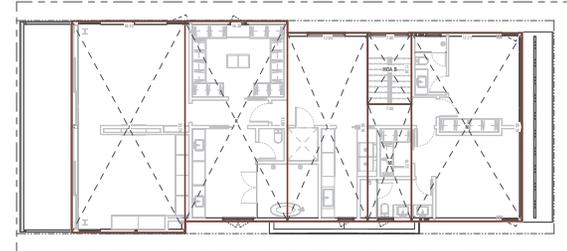
1 FIRST LEVEL AREA PLAN
1/8" = 1'-0"

FIRST LEVEL AREA SCHEDULE (HOA)

LIVING	611 SF
A	457 SF
C	316 SF
D	181 SF
E	112 SF
F	118 SF
WALLS	282 SF
LIVING	1774 SF
GARAGE	236 SF
H	287 SF
J	3 SF
TERRACE	887 SF
GRAND TOTAL	2671 SF

FIRST LEVEL AREA SCHEDULE (CITY)

LIVING	611 SF
A	457 SF
C	316 SF
D	181 SF
E	112 SF
F	118 SF
LIVING	1774 SF
GARAGE	236 SF
H	287 SF
J	3 SF
TERRACE	887 SF
GRAND TOTAL	2671 SF



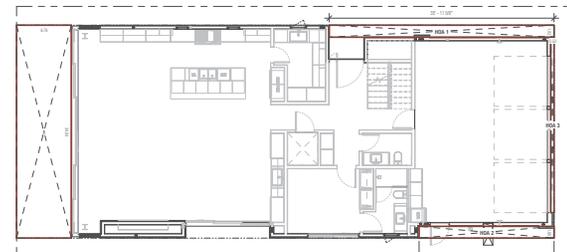
2 SECOND LEVEL AREA PLAN
1/8" = 1'-0"

SECOND LEVEL AREA SCHEDULE (HOA)

LIVING	612 SF
J	524 SF
K	587 SF
M	121 SF
N	122 SF
WALLS	89 SF
CEILING TOTAL	2267 SF

SECOND LEVEL AREA SCHEDULE (CITY)

LIVING	612 SF
K	524 SF
L	387 SF
M	121 SF
N	122 SF
GRAND TOTAL	2167 SF



3 FIRST LEVEL OPEN AREA
1/8" = 1'-0"

FIRST LEVEL OPEN AREA SCHEDULE (HOA)

OPEN AREA	288 SF
WALL 1	68 SF
WALL 2	41 SF
WALL 3	10 SF
GRAND TOTAL	407 SF

FIRST LEVEL OPEN AREA SCHEDULE (CITY)

OPEN AREA	288 SF
GRAND TOTAL	288 SF



4 SECOND LEVEL OPEN AREA
1/8" = 1'-0"

SECOND LEVEL OPEN AREA SCHEDULE (HOA)

OPEN AREA	2	288 SF
3	173 SF	
WALL 4	21 SF	
WALL 5	21 SF	
GRAND TOTAL	421 SF	

SECOND LEVEL OPEN AREA SCHEDULE (CITY)

OPEN AREA	288 SF
3	173 SF
GRAND TOTAL	461 SF



BRANDON ARCHITECTS
151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4646
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
CDP THIRD CHECK

PLAN CHECK NO.
PACDS-0173

PROJECT CONTACT
BRYTANY GARES

THIS DOCUMENT IS THE PROPERTY OF BRANDON ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, ALTERED OR COPIED IN ANY WAY BY ANY OTHER PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BRANDON ARCHITECTS INC. ANY REPRODUCTION OR ALTERATION OF THIS DOCUMENT BY ANY PARTY IS A VIOLATION OF BRANDON ARCHITECTS INC. POLICY. CONSULT THE CDP/CDP AND OTHER PROJECT DOCUMENTS FOR MORE INFORMATION. THIS DOCUMENT IS ASSIGNED TO AN INDIVIDUAL PROJECT. BRANDON ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY. THIS IS AN UNRECORDED AND UNFILED DOCUMENT. IT IS NOT A PUBLIC RECORD AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. IF YOU HAVE ANY QUESTIONS OR NEED TO MAKE CHANGES, PLEASE CONTACT BRANDON ARCHITECTS INC. AT 714.754.4646.

EMAMI RESIDENCE

PROJECT ADDRESS:
355 VIA LEO RD
NEWPORT BEACH, CA 92663

OWNER INFORMATION:
DINA EMAMI
10400 PIONEER BLVD., STE. 3
SANTA FE SPRING, CA 92683

DATE
12.01.25

REVISIONS

NO.	REVISION	DATE
-----	----------	------

AREA PLANS



BRANDON ARCHITECTS
 151 KALAMUS DRIVE, SUITE G-1
 COSTA MESA, CA 92626
 714.764.4640
 WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
 COP THIRD CHECK

PLAN CHECK NO.
 PADS-0173

PROJECT CONTACT
 BRYTANY GARES

THIS DOCUMENT IS THE PROPERTY OF BRANDON ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. BRANDON ARCHITECTS INC. SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DOCUMENTS. BRANDON ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE DOCUMENTS. THIS IS AN ASSURED TO AN INDUSTRY STANDARD OF CARE. BRANDON ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE DOCUMENTS. THIS IS AN ASSURED TO AN INDUSTRY STANDARD OF CARE. BRANDON ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE DOCUMENTS. THIS IS AN ASSURED TO AN INDUSTRY STANDARD OF CARE.

EMAMI RESIDENCE

PROJECT ADDRESS:
 355 VIA LEO RD
 NEWPORT BEACH, CA 92660

OWNER INFORMATION:
 DEEA EMAMI
 10400 PIONEER BLVD, STE. 3
 SANTA FE SPRING, CA 92670

DATE
 12.01.25

REVISIONS
 NO. REVISION DATE

LANDSCAPE PLAN

A-0.2

LANDSCAPE NOTES:
 1. DRAINAGE-SHEDDLE PER MITRE NEEDS FOR ANY WATER PROPOSED IN THE PUBLIC R.O.W.
 2. IF APPLICABLE, SEE PRELIMINARY LANDSCAPE PLAN FOR ALL LANDSCAPE & PAINTING AREAS WITH RESPECTIVE HEIGHTS AND MATERIALS.
 PAINT: PLANTS TO BE BROUGHT TO BEARANT NON-INVASIVE PLANT SPECIES. PLANT HEIGHT 40" MAX.
GENERAL MATERIAL SPECIFICATIONS:
 1. GROUT: COLLS WITH REINFORCEMENT PER ASTM C109, 1 PART PORTLAND CEMENT, 3 TO 3 PARTS LOOSE SAND, 2 PARTS COARSE AGGREGATE.
 2. REINFORCING: #4 - 20,000 PSI ASTM A615 GRADE 40.
 3. SAND: #10 - 4.750 PSI GRADE 40 PER ASTM C109.
 4. CONCRETE: #4 - 4.750 PSI 28-DAY CURE PER ASTM C109.
 5. POLE ALL WALL FOOTING AGAINST NATURAL UNDISTURBED SOILS.
 6. TELEPHONE LANDSCAPE ARCHITECT'S SITE CONDITIONS ARE NOT TO BE CHANGED.
PROJECT LANDSCAPE MATERIALS:
 STONE SHOULD MATCH THE STONE USED ON THE HOUSE.
 FINISHES SHOULD BE FINISHED WITH AN ANTI-REFLECTIVE FINISH.
 ALL LANDSCAPE MATERIALS SHALL BE FINISHED FOR ARCHITECT'S APPROVAL.
 ALL LANDSCAPE MATERIALS SHALL RECEIVE 6 MIL. VEGGEX OR UNDER SIDE FOR WATERPROOF PROTECTION.

A | LANDSCAPE NOTES

TOTAL PLANTING AREA: 27.81 SF
 1. PLANTING AREA: 27.81 SF
 2. PLANTING AREA: 27.81 SF
 3. PLANTING AREA: 27.81 SF
 4. PLANTING AREA: 27.81 SF
 5. PLANTING AREA: 27.81 SF
 6. PLANTING AREA: 27.81 SF
 7. PLANTING AREA: 27.81 SF
 8. PLANTING AREA: 27.81 SF
 9. PLANTING AREA: 27.81 SF
 10. PLANTING AREA: 27.81 SF
 11. PLANTING AREA: 27.81 SF
 12. PLANTING AREA: 27.81 SF
 13. PLANTING AREA: 27.81 SF
 14. PLANTING AREA: 27.81 SF
 15. PLANTING AREA: 27.81 SF
 16. PLANTING AREA: 27.81 SF
 17. PLANTING AREA: 27.81 SF
 18. PLANTING AREA: 27.81 SF
 19. PLANTING AREA: 27.81 SF
 20. PLANTING AREA: 27.81 SF
 21. PLANTING AREA: 27.81 SF
 22. PLANTING AREA: 27.81 SF
 23. PLANTING AREA: 27.81 SF
 24. PLANTING AREA: 27.81 SF
 25. PLANTING AREA: 27.81 SF
 26. PLANTING AREA: 27.81 SF
 27. PLANTING AREA: 27.81 SF
 28. PLANTING AREA: 27.81 SF
 29. PLANTING AREA: 27.81 SF
 30. PLANTING AREA: 27.81 SF
 31. PLANTING AREA: 27.81 SF
 32. PLANTING AREA: 27.81 SF
 33. PLANTING AREA: 27.81 SF
 34. PLANTING AREA: 27.81 SF
 35. PLANTING AREA: 27.81 SF
 36. PLANTING AREA: 27.81 SF
 37. PLANTING AREA: 27.81 SF
 38. PLANTING AREA: 27.81 SF
 39. PLANTING AREA: 27.81 SF
 40. PLANTING AREA: 27.81 SF
 41. PLANTING AREA: 27.81 SF
 42. PLANTING AREA: 27.81 SF
 43. PLANTING AREA: 27.81 SF
 44. PLANTING AREA: 27.81 SF
 45. PLANTING AREA: 27.81 SF
 46. PLANTING AREA: 27.81 SF
 47. PLANTING AREA: 27.81 SF
 48. PLANTING AREA: 27.81 SF
 49. PLANTING AREA: 27.81 SF
 50. PLANTING AREA: 27.81 SF
 51. PLANTING AREA: 27.81 SF
 52. PLANTING AREA: 27.81 SF
 53. PLANTING AREA: 27.81 SF
 54. PLANTING AREA: 27.81 SF
 55. PLANTING AREA: 27.81 SF
 56. PLANTING AREA: 27.81 SF
 57. PLANTING AREA: 27.81 SF
 58. PLANTING AREA: 27.81 SF
 59. PLANTING AREA: 27.81 SF
 60. PLANTING AREA: 27.81 SF
 61. PLANTING AREA: 27.81 SF
 62. PLANTING AREA: 27.81 SF
 63. PLANTING AREA: 27.81 SF
 64. PLANTING AREA: 27.81 SF
 65. PLANTING AREA: 27.81 SF
 66. PLANTING AREA: 27.81 SF
 67. PLANTING AREA: 27.81 SF
 68. PLANTING AREA: 27.81 SF
 69. PLANTING AREA: 27.81 SF
 70. PLANTING AREA: 27.81 SF
 71. PLANTING AREA: 27.81 SF
 72. PLANTING AREA: 27.81 SF
 73. PLANTING AREA: 27.81 SF
 74. PLANTING AREA: 27.81 SF
 75. PLANTING AREA: 27.81 SF
 76. PLANTING AREA: 27.81 SF
 77. PLANTING AREA: 27.81 SF
 78. PLANTING AREA: 27.81 SF
 79. PLANTING AREA: 27.81 SF
 80. PLANTING AREA: 27.81 SF
 81. PLANTING AREA: 27.81 SF
 82. PLANTING AREA: 27.81 SF
 83. PLANTING AREA: 27.81 SF
 84. PLANTING AREA: 27.81 SF
 85. PLANTING AREA: 27.81 SF
 86. PLANTING AREA: 27.81 SF
 87. PLANTING AREA: 27.81 SF
 88. PLANTING AREA: 27.81 SF
 89. PLANTING AREA: 27.81 SF
 90. PLANTING AREA: 27.81 SF
 91. PLANTING AREA: 27.81 SF
 92. PLANTING AREA: 27.81 SF
 93. PLANTING AREA: 27.81 SF
 94. PLANTING AREA: 27.81 SF
 95. PLANTING AREA: 27.81 SF
 96. PLANTING AREA: 27.81 SF
 97. PLANTING AREA: 27.81 SF
 98. PLANTING AREA: 27.81 SF
 99. PLANTING AREA: 27.81 SF
 100. PLANTING AREA: 27.81 SF

TOTAL LANDSCAPE AREA: 1.00 SF
 1. LANDSCAPE AREA: 1.00 SF
 2. LANDSCAPE AREA: 1.00 SF
 3. LANDSCAPE AREA: 1.00 SF
 4. LANDSCAPE AREA: 1.00 SF
 5. LANDSCAPE AREA: 1.00 SF
 6. LANDSCAPE AREA: 1.00 SF
 7. LANDSCAPE AREA: 1.00 SF
 8. LANDSCAPE AREA: 1.00 SF
 9. LANDSCAPE AREA: 1.00 SF
 10. LANDSCAPE AREA: 1.00 SF
 11. LANDSCAPE AREA: 1.00 SF
 12. LANDSCAPE AREA: 1.00 SF
 13. LANDSCAPE AREA: 1.00 SF
 14. LANDSCAPE AREA: 1.00 SF
 15. LANDSCAPE AREA: 1.00 SF
 16. LANDSCAPE AREA: 1.00 SF
 17. LANDSCAPE AREA: 1.00 SF
 18. LANDSCAPE AREA: 1.00 SF
 19. LANDSCAPE AREA: 1.00 SF
 20. LANDSCAPE AREA: 1.00 SF
 21. LANDSCAPE AREA: 1.00 SF
 22. LANDSCAPE AREA: 1.00 SF
 23. LANDSCAPE AREA: 1.00 SF
 24. LANDSCAPE AREA: 1.00 SF
 25. LANDSCAPE AREA: 1.00 SF
 26. LANDSCAPE AREA: 1.00 SF
 27. LANDSCAPE AREA: 1.00 SF
 28. LANDSCAPE AREA: 1.00 SF
 29. LANDSCAPE AREA: 1.00 SF
 30. LANDSCAPE AREA: 1.00 SF
 31. LANDSCAPE AREA: 1.00 SF
 32. LANDSCAPE AREA: 1.00 SF
 33. LANDSCAPE AREA: 1.00 SF
 34. LANDSCAPE AREA: 1.00 SF
 35. LANDSCAPE AREA: 1.00 SF
 36. LANDSCAPE AREA: 1.00 SF
 37. LANDSCAPE AREA: 1.00 SF
 38. LANDSCAPE AREA: 1.00 SF
 39. LANDSCAPE AREA: 1.00 SF
 40. LANDSCAPE AREA: 1.00 SF
 41. LANDSCAPE AREA: 1.00 SF
 42. LANDSCAPE AREA: 1.00 SF
 43. LANDSCAPE AREA: 1.00 SF
 44. LANDSCAPE AREA: 1.00 SF
 45. LANDSCAPE AREA: 1.00 SF
 46. LANDSCAPE AREA: 1.00 SF
 47. LANDSCAPE AREA: 1.00 SF
 48. LANDSCAPE AREA: 1.00 SF
 49. LANDSCAPE AREA: 1.00 SF
 50. LANDSCAPE AREA: 1.00 SF
 51. LANDSCAPE AREA: 1.00 SF
 52. LANDSCAPE AREA: 1.00 SF
 53. LANDSCAPE AREA: 1.00 SF
 54. LANDSCAPE AREA: 1.00 SF
 55. LANDSCAPE AREA: 1.00 SF
 56. LANDSCAPE AREA: 1.00 SF
 57. LANDSCAPE AREA: 1.00 SF
 58. LANDSCAPE AREA: 1.00 SF
 59. LANDSCAPE AREA: 1.00 SF
 60. LANDSCAPE AREA: 1.00 SF
 61. LANDSCAPE AREA: 1.00 SF
 62. LANDSCAPE AREA: 1.00 SF
 63. LANDSCAPE AREA: 1.00 SF
 64. LANDSCAPE AREA: 1.00 SF
 65. LANDSCAPE AREA: 1.00 SF
 66. LANDSCAPE AREA: 1.00 SF
 67. LANDSCAPE AREA: 1.00 SF
 68. LANDSCAPE AREA: 1.00 SF
 69. LANDSCAPE AREA: 1.00 SF
 70. LANDSCAPE AREA: 1.00 SF
 71. LANDSCAPE AREA: 1.00 SF
 72. LANDSCAPE AREA: 1.00 SF
 73. LANDSCAPE AREA: 1.00 SF
 74. LANDSCAPE AREA: 1.00 SF
 75. LANDSCAPE AREA: 1.00 SF
 76. LANDSCAPE AREA: 1.00 SF
 77. LANDSCAPE AREA: 1.00 SF
 78. LANDSCAPE AREA: 1.00 SF
 79. LANDSCAPE AREA: 1.00 SF
 80. LANDSCAPE AREA: 1.00 SF
 81. LANDSCAPE AREA: 1.00 SF
 82. LANDSCAPE AREA: 1.00 SF
 83. LANDSCAPE AREA: 1.00 SF
 84. LANDSCAPE AREA: 1.00 SF
 85. LANDSCAPE AREA: 1.00 SF
 86. LANDSCAPE AREA: 1.00 SF
 87. LANDSCAPE AREA: 1.00 SF
 88. LANDSCAPE AREA: 1.00 SF
 89. LANDSCAPE AREA: 1.00 SF
 90. LANDSCAPE AREA: 1.00 SF
 91. LANDSCAPE AREA: 1.00 SF
 92. LANDSCAPE AREA: 1.00 SF
 93. LANDSCAPE AREA: 1.00 SF
 94. LANDSCAPE AREA: 1.00 SF
 95. LANDSCAPE AREA: 1.00 SF
 96. LANDSCAPE AREA: 1.00 SF
 97. LANDSCAPE AREA: 1.00 SF
 98. LANDSCAPE AREA: 1.00 SF
 99. LANDSCAPE AREA: 1.00 SF
 100. LANDSCAPE AREA: 1.00 SF

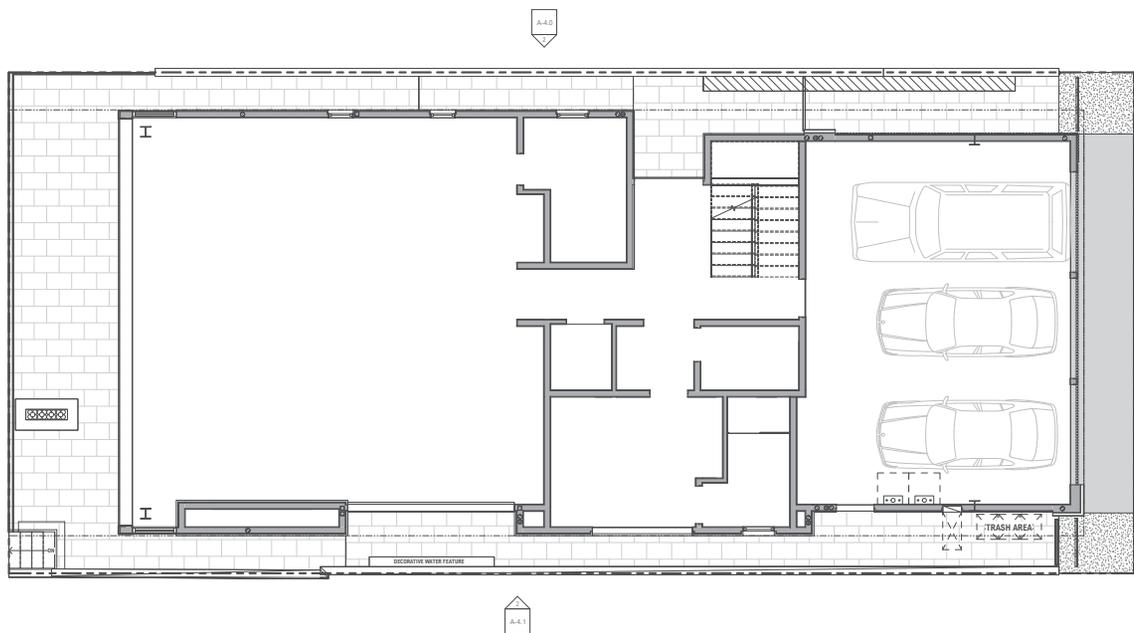
PROJECT ADDRESS:
 355 VIA LEO RD
 NEWPORT BEACH, CA 92660

OWNER INFORMATION:
 DEEA EMAMI
 10400 PIONEER BLVD, STE. 3
 SANTA FE SPRING, CA 92670

DATE
 12.01.25

REVISIONS
 NO. REVISION DATE

B | LANDSCAPE LEGEND



1 | ARCHITECTURAL SITE PLAN



BRANDON ARCHITECTS
 151 KALAMUS DRIVE, SUITE G-1
 COSTA MESA, CA 92626
 714.754.4640
 WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
 CDP THIRD CHECK

PLAN CHECK NO.
 PAC205-6173

PROJECT CONTACT
 BRYTANIA GIBBS

THESE DOCUMENTS ARE THE PROPERTY OF BRANDON ARCHITECTS INC. AND ARE NOT TO BE REPRODUCED, COPIED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BRANDON ARCHITECTS INC. ANY REPRODUCTION OR USE OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF BRANDON ARCHITECTS INC. IS STRICTLY PROHIBITED. BRANDON ARCHITECTS INC. SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT OR TO ANY OTHER PARTY CAUSED BY THE REPRODUCTION OR USE OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF BRANDON ARCHITECTS INC. BRANDON ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT OR TO ANY OTHER PARTY CAUSED BY THE REPRODUCTION OR USE OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF BRANDON ARCHITECTS INC.

EMAMI RESIDENCE

PROJECT ADDRESS:
 355 VIA LEO RD
 NEWPORT BEACH, CA 92660

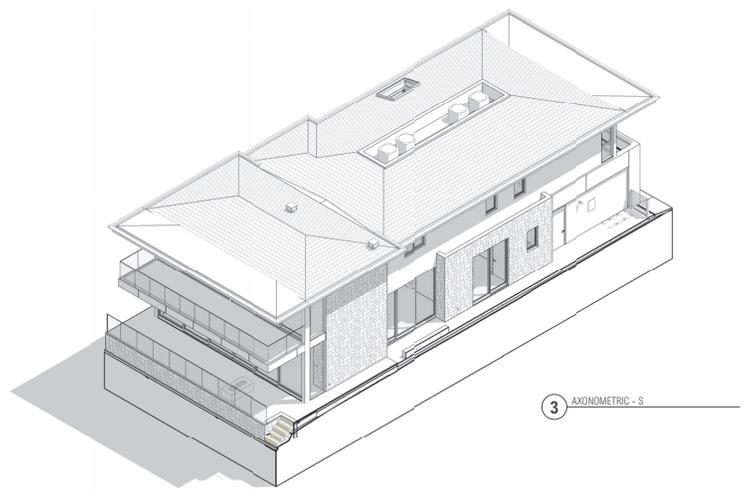
OWNER INFORMATION:
 DEEA EMAMI
 10400 PIONEER BLVD., STE. 3
 SANTA FE SPRING, CA 92683

DATE
 12.01.25

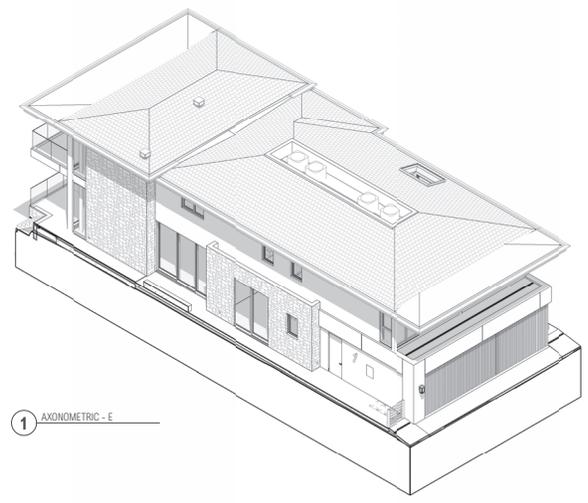
NO.	REVISION	DATE

3D VIEWS

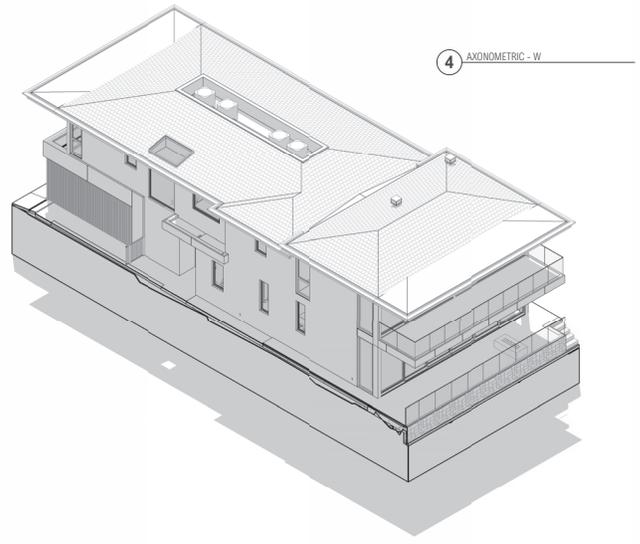
A-1.0



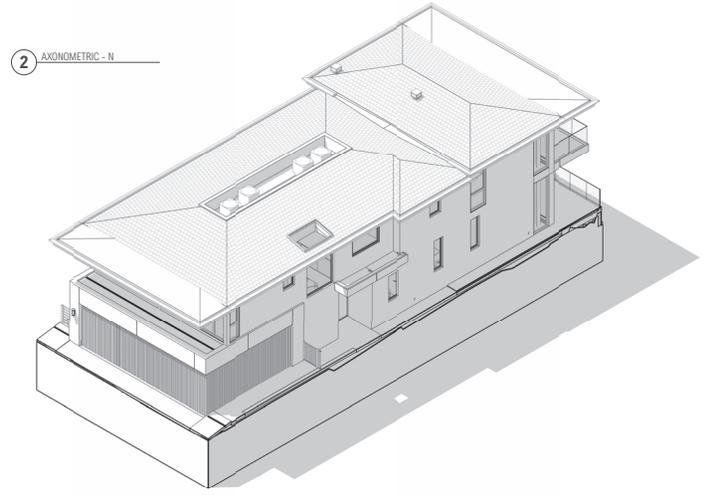
3 AXONOMETRIC - S



1 AXONOMETRIC - E



4 AXONOMETRIC - W



2 AXONOMETRIC - N



BRANDON ARCHITECTS
151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.6240
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
COP THIRD CHECK

PLAN CHECK NO.
PAC25-073

PROJECT CONTACT
BRYTANY GARES

THIS DOCUMENT IS THE PROPERTY OF BRANDON ARCHITECTS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS WRITTEN PERMISSION OF BRANDON ARCHITECTS INC. ANY UNAUTHORIZED REPRODUCTION OR ALTERATION OF THIS DOCUMENT BY ANY PARTY IS A VIOLATION OF BRANDON ARCHITECTS INC.'S POLICY AND IS SUBJECT TO LEGAL ACTION.

EMAMI RESIDENCE

PROJECT ADDRESS:
355 VIA LEON IZUID
NEPESOTA BEACH, CA 92663

OWNER INFORMATION:
DOGA EMAMI
10400 PIONEER BLVD., STE. 3
SANTA FE SPRING, CA 92670

DATE
12.01.25

REVISIONS

NO. REVISION DATE

EXTERIOR ELEVATIONS

A-4.0

WINDOWS & DOORS:

AFFORDED QUALITY PRODUCTS LISTED BELOW
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: 2700 W. GARDEN CENTER ST. 310, BLDG. 1000, PLAINHILL, ALABAMA, AL 36064
PHONE: 334-872-3319
FAX: 205-826-7100
EMAIL: JTF@JUNIPERBROS.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

WINDOWS:

MANUFACTURER: ALUMINUM WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 12501 WINDYBROOK BLVD. P.O. BOX 1020, PLAINHILL, ALABAMA, AL 36064
PHONE: 334-855-7417 OR 334-333-3636
FAX: 334-854-2221
WEB: WWW.ALUM-DOORS.COM

DOORS:

MANUFACTURER: ALUMINUM WINDOWS AND DOORS CO.
PRODUCT: GREGG 60 & 80
COLOR: TO BE APPROVED BY ARCH. & OWNER
ADDRESS: 426 E. COLUMBIA RD., SUITE 104, GILBERT, AZ 85137
PHONE: 852-392-0200
FAX: WWW.PANORAMIC.COM

GARAGE DOORS:

SUPPLIER: ZIEGLER GARAGE DOORS
WEB: WWW.ZIEGLERDOORS.COM
STYLE: CUSTOM
MATERIAL: CUSTOM BUILT WOOD & GLASS

ROOFING:

EXTERIOR 16G SHIPING:
SUPPLIER: HANCO TRADING (ENGINEERED WESTERN RED CEDAR)
TYPE: 16G FULL FINISH, INSTALL PER MANUF. GUIDELINES
COLOR: ARCH. TO APPROVE
CODE: COMPLY WITH THE STRANDINGS TO D-1 ON FILE LISTING & R-100 C-10000
WEIGHT: AVERAGE DRYED 31 LBS/SQ FT

STUCCO:

MANUFACTURER: LA HABRA, PIERCE USA
ADDRESS: 2871 ORANGE GLEN RD., ORANGE, CA 92666
PHONE: 714.623.7025
COLOR: CRISTAL WHITE, ARCH. TO APPY.
FINISH: BRUSHY WALL, TONGUE/EDEGE, NO BULLSEYE. VERTICAL FLIGHT LEVEL TO 3/8" IN 10"
APPLICATION: PROVIDE EXPANSION JOINTS (STUCCO DETAILS), WIDTH TO BE DETERMINED. LOCATIONS TO BE SPECIFIED AND FIELD VENEERED BY ARCH. REF. 270, 270B, 270C
CODE: MIX 1/8" TH. 3/8" MIN. 3-CATERS GRADE 5 PAPER

EXTERIOR STONE (WARRANTY FINISH):

SUPPLIER: ENGINEERED CEMENT COMPOSITES
STONE TYPE: TRANSCENDENCE, TO BE APPROVED BY ARCH. & OWNER
COLOR: 1.1 BROWN & WHITE, TO BE APPROVED BY ARCH. & OWNER
GRANULARITY: 1/2" MAX. (ARCH. TO APPROVE) REF. DET. 500 & 501
FINISHNESS: 1" - 1 1/2" NOMINAL
WEIGHT: 14.8 LB/SQ FT

EXTERIOR AC FINISHING:

MANUFACTURER: ALUMINUM OR EXIST.
MATERIAL: ALUMINUM FINISHING
COLOR: BLACK AND WHITE
FINISH: PER ARCHITECT'S SPECIFICATION
PANEL WEIGHT: PER ELEVATION (ARCH TO APPY)

ROOF / CEILING MATERIAL:

FLAT ROOFING CLASS IV:
PRODUCT: FIBERGLASS CLASS IV
MANUFACTURER: EVERGLARD
COLOR: BLACK
APPLICATION: 3 YEAR ASCE 08 OR 41 CLASS IV
INSTALLATION PER MANUF. REQUIREMENTS - REF. DET. 500 & 501

SLATE TILE ROOFING:

PRODUCT: BLUE NATURAL STONE
SUPPLIER: T&B
COLOR: CLASSIC GRAY, TO BE APPROV. BY OWNER & ARCH.
APPLICATION: CLASSIC GRAY IN MATTERED HIP GABLE, 16 GAUGE COPPER FLASHING, STAGGERED COURSING REF. DET. 500A & B
CODE: CLASS IV ASSEMBLY, INSTALL PER RIBS & T&B TO COMPLY W/ ASTM C496
WEIGHT: APPROX. 70 LBS

GUTTERS:

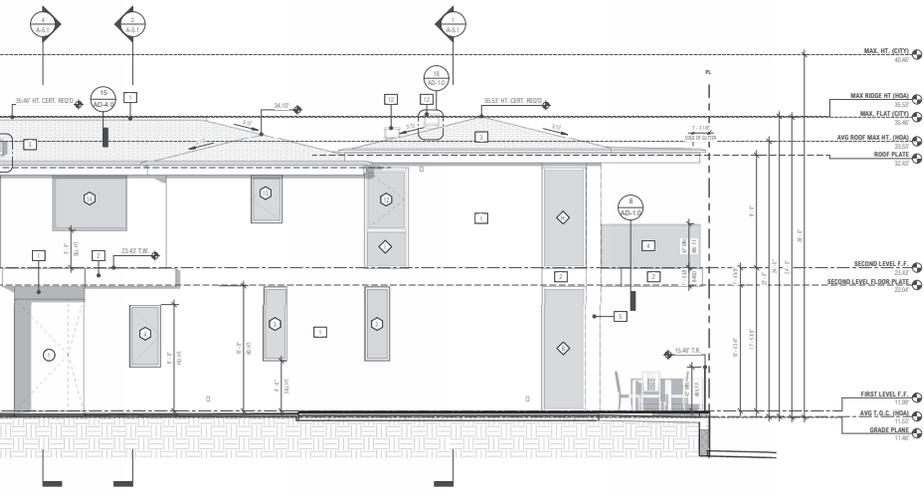
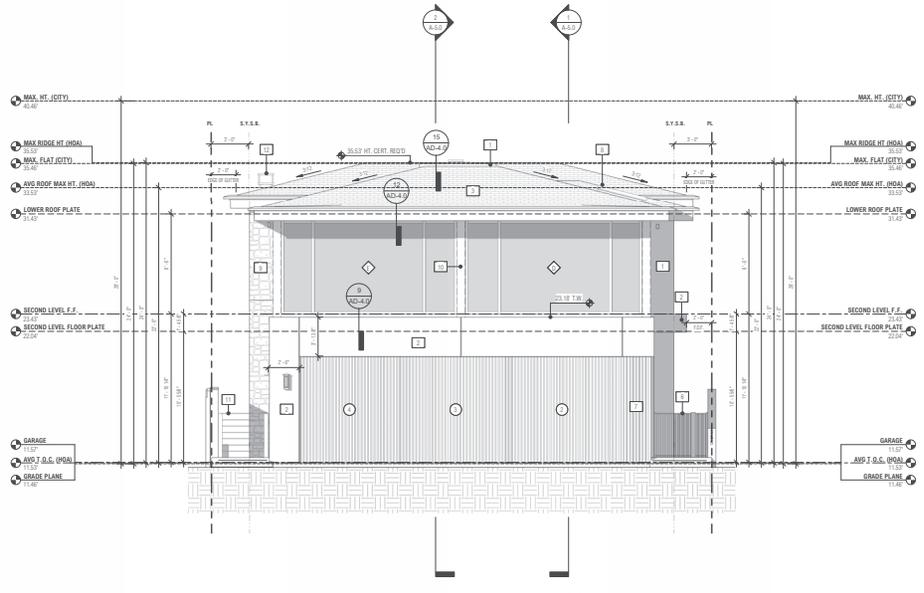
MATERIAL: METAL - ALUM. PAINTED KYNAR
SHAPE: CONDUCED SQUARE (5" VERY W/ ARCH.)

WATERPROOF DECK MEMBRANE:

MANUFACTURER: WESTFOAM
ADDRESS: 775 GARDEN CENTER DRIVE, SAN DIEGO, CA 92161
PRODUCT: ALL WEATHER DECK CLASSIC 40
APPLICATION: DECK FRESH SURFACE TO BE NON-COMBUSTIBLE
CODE: 102 109-007

FLASHING & WATERPROOFING:

PROVIDE CORROSION-RESISTANCE METAL FLASHING PER CMC FOR ALL EXTERIOR FLASHING, MIN. 24 GAUGE COPPER (16 GZ) SHEETS AS PER CMC OR METAL INSTALLATION GUIDELINES. ALL METAL IN CONTACT WITH OR ADJACENT TO THE FLASHING SHALL BE GALVANIZED CORROSION RESISTANT. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.



A MATERIAL SPECIFICATIONS

1. FIBERGLASS ROOF (16G) TEMPORARY AND PERMANENT LAYERS
2. REF. ROOF PLAN (A.03) FOR ALL PLATE FITS, A ROOF FITS.

B GENERAL NOTES

1. STUCCO FINISH: MIN. 1/8" TH. 3/8" MIN. 3-CATERS COLOR GR. DET. REF. MAX. SCHEDULE A-W-4
2. FINISH PAINTED ALUMINUM: REF. MAX. SCHEDULE A-W-4
3. SLATE ROOF: CLASSIC GRAY, 16G FULL FINISH, INSTALL PER MANUF. GUIDELINES
4. EXTERIOR GLASS: QUARTZ, TEmPERED & LAMINATED- MIN. 4" HIGH AND 1/4" - 1/2" MAX. SPREAD OPENING, REF. DET. 500 & 501
5. ARCH. FINISHED COLUMNS: PAINT AS SELECTED - ARCH. TO APPROVE COLOR
6. CM FINISH FLOOR AND SLATE: VERIFY W/ OWNER (MAX. 4" MAX. F&G) SLATE SHALL BE BRANDED WITH OPEN CONSTRUCTION
7. GIBBS GUTTERS - PAINT AS SELECTED AND SEAL AS NOTED, ARCH. TO APPROVE COLOR AND PROFILE - 200 & 200N, PER STRUCT. ENGINEER. USE AS PER PLAN AND DETAILS - VERIFY K&B FOR 200 OR 200N, INSTALL PER MANUF. INSTRUCTIONS & RESTRICTIONS
8. STONE FINISH: REF. MAX. SCHEDULE A-W-4
9. EXPOSED STEEL COLUMNS: PAINT PER STRUCT. ENGINEER, PAINT AS SELECTED AND SEAL AS NOTED - ARCH. TO APPROVE COLOR
10. CM FINISH FLOOR AND SLATE: VERIFY W/ OWNER (MAX. 4" MAX. F&G) SLATE SHALL BE BRANDED WITH OPEN CONSTRUCTION
11. CHIMNEY CAP/FLASHING: VERIFY W/ ARCHITECT (SEE DETAIL) VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION
12. PROVIDE CORROSION-RESISTANCE METAL FLASHING PER CMC FOR ALL EXTERIOR FLASHING, MIN. 24 GAUGE COPPER (16 GZ) SHEETS AS PER CMC OR METAL INSTALLATION GUIDELINES. ALL METAL IN CONTACT WITH OR ADJACENT TO THE FLASHING SHALL BE GALVANIZED CORROSION RESISTANT. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

C KEYNOTES

PLYWOOD SHEATHING NOTES

- 1- ALL PLYWOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH (APA) AMERICAN PLYWOOD ASSOCIATION SPECIFICATIONS AND COMPLY WITH PS1-95 OR PS2-92.
- 2- ALL ROOF PANEL SHEATHING SHALL BE 5/8" (NOM.) TYPE CDX. EXP. 1 APA RATED SHEATHING. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. CONNECT ROOF SHEATHING WITH 80 COMMON NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS U.N.O.
- 3- ALL WALL PANEL SHEATHING SHALL BE 1/2" (NOM.) TYPE CDX. EXP. 1 APA RATED SHEATHING ATTACHED WITH 100 COMMON NAILS SPACED 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS U.N.O.
- 4- INSTALL ALL PLYWOOD SHEATHING WITH THE LONG DIMENSION OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE SHEATHING MANUFACTURER.
- 5- ALL NAILING SHALL BE CAREFULLY DRIVEN AND NOT OVERDRIVEN. THE USE OF STAPLES AND PNEUMATIC NAIL GUNS ARE PROHIBITED FROM USE.
- 6- ALL EXTERIOR EXPOSED PLYWOOD SHALL BE MARINE GRADE.
- 7- ROOF DAPHERSON NAILING MUST BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE

NAILING SCHEDULE

CONNECTION	NAILING	
1. JOIST TO SILL OR GIRDER, TOENAIL		3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END		2-8d
3. 1" x 4" (25 mm x 102 mm) SUBFLOOR OR LESS TO JOIST, FACE NAIL		2-8d
4. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL		16d @ 16" O.C.
SOLE PLATE TO JOIST OR BLOCKING, @ BRACED WALL PANELS		3-16d PER 14"
7. TOP PLATE TO STUD AND NAIL		2-16d
8. STUD TO SOLE PLATE		2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL		16d @ 24" O.C.
10. DOUBLED TOP PLATES, TYP FACE NAIL		16d @ 16" O.C.
11. BLOCKING BETWEEN JOISTS OR TOP PLATES, TOENAIL		3-8d
15. CEILING JOISTS TO PLATE, TOENAIL		3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL		4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL		3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL		3-16d
19. RAFTER TO PLATE, TOENAIL		3-8d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL		2-8d
21. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL		2-8d
22. WIDER THAN 1"x8" TO EACH BEARING, FACE NAIL		3-8d
23. BUILT-UP CORNER STUDS		16d @ 24" O.C.

THERMAL AND MOISTURE PROTECTION

1. COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE ENERGY REGULATIONS.
2. PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED AND MADE WATERIGHT USING LIKE MATERIALS IN ACCORDANCE WITH MRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAILING CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ARCHITECT/ENGINEER, IF NECESSARY, BEFORE PROCEEDING. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE.
3. FIRE RESISTANCE RATED CONSTRUCTION: STEEL BEAMS AND COLUMNS SHALL BE PROTECTED AS REQUIRED FOR 1-HOUR PROTECTION, WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPANCY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES). THE CONSTRUCTION (FLOOR JOISTS) AND THEIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBERS.

STRUCTURAL ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
AC	AMERICAN CONCRETE INSTITUTE	JST	JOIST
ASC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	L	LENGTH
ALT	ALTERNATE	LH	LONG LEG HORIZONTAL
AROH	ARCHITECTURAL	LT	LONG LEG VERTICAL
ARV	ABBREVIATION	LOC	LOCATION
ARV	ABBREVIATION	ML	MACHINERY
BM	BROW	MB	MACHINE BOLT (ASTM B617)
BOF	BOTTOM OF FOOTING	MBM	METAL BUILDING MANUFACTURER
BO	BOTTOM	MFR	MANUFACTURER
BOS	BOTTOM OF STEEL	MH	METAL HANGAR
BP	BASE PLATE	MTL	METAL
BRG	BEARING	(N)	NEW
BDG	BUILDING	NS	NEAR SIDE
CBC	CALIFORNIA BUILDING CODE	OC	ON CENTER
CIP	CAST-IN-PLACE	OH	OPPOSITE HAND
CJ	CONTROL JOINT	OPNG	OPENING
C	CENTER LINE		
CLR	CLEAR		
CMU	CLAY MASONRY UNIT		
COL	COLUMN	PF	POUNDS PER CUBIC FOOT
CONC	CONCRETE	PP	PRECAST
COND	CONDITION	R	PLATE (STEEL)
CONN	CONNECTION	PC	PARTIAL PENETRATION
CONT	CONTINUOUS	PROJ	PROJECTION
C.O.R.	ARCH/ENGINEER REPRESENTATIVE	PSF	POUNDS PER SQUARE FOOT
CP	COMPLETE PENETRATION	PSI	POUNDS PER SQUARE INCH
CSJ	CONSTRUCTION JOINT		
CRD	CENTERED	REF	REFERENCE
		REIN	REINFORCEMENT
DBL	DOUBLE	REQD	REQUIRED
DET	DETAIL	RO	ROUGH OPENING
DN	DOWN		
DWG	DRAWING	SC	SUP CRITICAL
DN	DOWN	SCHD	SCHEDULE
DO	DOWN	SM	SMULAR
DWG	DRAWING	SLV	SLEDE
DN	DOWN	SG	SLAB ON GRADE
DL	DOWN	SPCC	SPECIFICATION
(E)	EXISTING	SQ	SQUARE
EA	EACH	STD	STANDARD
EF	EACH FACE	STFF	STIFFENER
EJ	EXPANSION JOINT	STR	STRAP
EL	ELEVATION	STR	STEEL
ELEV	ELEVATION	T&B	TOP AND BOTTOM
EQ	EQUAL	TO OR T/	TOP OF
EQUIP	EQUIPMENT	1/F	TOP OF FOOTING
EW	EACH WAY	1/S	TOP OF SLAB OR TOP OF STEEL
EXP	EXPANSION	T/W	TOP OF JOIST
EXT	EXTERIOR	THK	THICK(D)
FIN	FOUNDATION	T/C	TOP OF CONCRETE
FF	FINISH FLOOR	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
FRMG	FRAMING	USA	UNITED STATES
FS	FIN SIDE		
FTG	FOOTING		
GA	GALVANIZED		
GA	GAGE		
HCR	HEADER	V OR	VERTICAL
HGR	HANGER	VERT	VERTICAL
HORIZ	HORIZONTAL	VF	VERTICAL IN FIELD
HP	HIGH POINT		
HS	HIGH STRENGTH	W/	WITH
		W/O	WITHOUT
IBC	INTERNATIONAL BUILDING CODE	WP	WORKPOINT
		WT	WEIGHT

RIGID

DESIGN & CONSTRUCTION

P: 800.966.7976
D: 949.331.3907
INFO@RIGIDDC.COM
WWW.RIGIDDC.COM
16501 VENTURA BLVD
EMERY, CA 91436

CONSULTANT

CLIENT

DION EMAMI
10450 PIONEER BLVD.#3
SANTA FE SPRING
CA 90670

PROJECT

355 VIA LIDO SOUD
NEWPORT BEACH
CA 92663

SHEET TITLE

STRUCTURAL GENERAL NOTES
AND ABBREVIATIONS

STAMP:

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. WRITING OF ANY VARIATION FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE SUBMITTED TO AND APPROVED BY ENGINEER PRIOR TO PROCEED WITH FABRICATION.

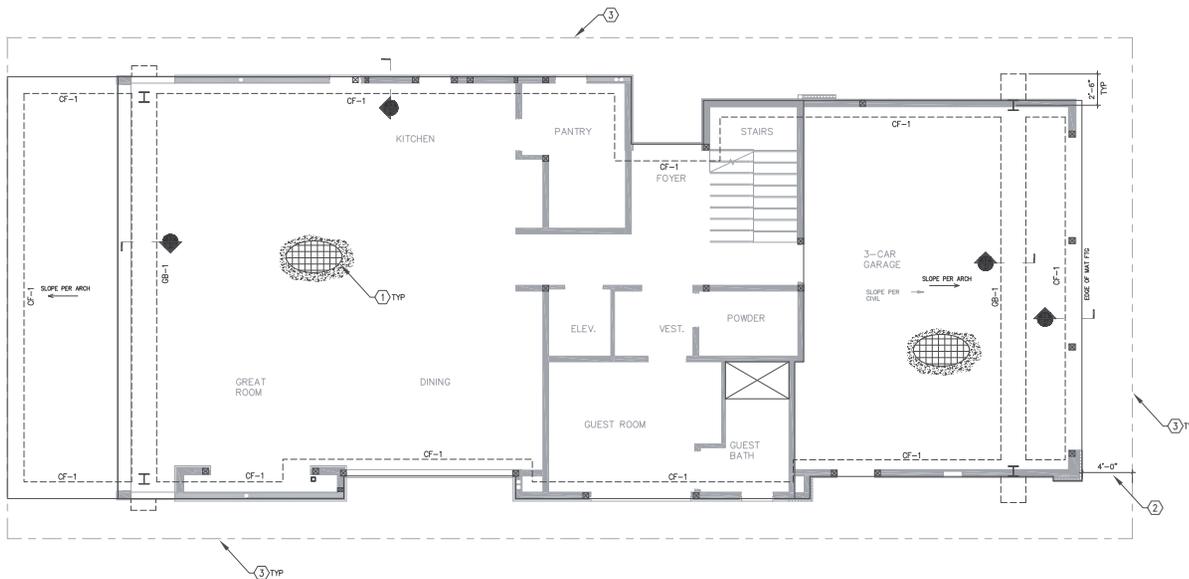
REVISION	BY
△	
△	
△	
△	
△	

DRAWN BY: H.B.
CHECKED BY: H.B.
DATE: 12/11/2025
SCALE:
JOB NO: RGD-E25-xx

SHEET NO.
S - 1.1
OF - SHEETS

PROJECT SUBMITTED FOR CONSTRUCTION

FOUNDATION PLAN
1/4" = 1'-0"



FOOTING AND GRADE BEAM SCHEDULE				
MARK	WIDTH	THICKNESS (Min)	REINFORCING	REMARKS
GB-1	2'-0"	2'-0"	4-#5 T & B W/ #3 @ 18" O.C. TIES	**
CF-1	1'-4"	2'-0"	3-#5 CONT & B W/ #3 @ 18" O.C. TIES	**

FOUNDATION PLAN NOTES:

- FOR GENERAL NOTES, SEE SHEETS S-1.0 AND S-1.1.
- SEE SHEET SD-1.0 FOR TYPICAL FOUNDATION DETAILS.
- CONTRACTOR MUST PROVIDE ADEQUATE SHORING WHEN PERFORMING FOUNDATION EXCAVATION NEXT TO THE EXISTING BUILDING.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION SHOWN AS (VP) AND INFORM EOR OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- SEE ARCHITECTURAL PLANS FOR ALL DIMENSIONS.

KEY NOTES:

- ① INDICATES 12" THICK STRUCUT SLAB ON GRADE W/#5 AT 12" OC EA WAY TOP & BOTTOM.
- ② 4'-0" CLEAR UTILITY EASEMENT, DO NOT EXTEND THE FOOTING INTO THIS SPACE.
- ③ PROPERTY LINE, SEE ARCH PLANS

RIGID
DESIGN & CONSTRUCTION

P: 800.966.7976
D: 949.331.3907
INFO@RIGIDDC.COM
WWW.RIGIDDC.COM
16501 VENTURA BLVD
ENCINO, CA 91436

CONSULTANT

CLIENT
DION EMAMI
10450 PIONEER BLVD.#3
SANTA FE SPRING
CA 90670

PROJECT
355 VIA LIDO SOUD
NEWPORT BEACH
CA 92663

SHEET TITLE
FOUNDATION PLAN

STAMP:

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL BE USED FOR CONSTRUCTION. DIMENSIONS CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR. ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE ENGINEERED. WRITING OF ANY VARIATION FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS TO AND APPROVED BY ENGINEER PRIOR TO PROCEED WITH FABRICATION.

REVISION	BY
△	
△	
△	
△	
△	

DRAWN BY: H.B.
CHECKED BY: H.B.
DATE: 12/11/2025
SCALE:
JOB NO: RGD-E25-xxx
SHEET NO.

S-2.0
OF - SHEETS

PROJECT SET-NOT FOR CONSTRUCTION

CONSULTANT

CLIENT

DION EMAMI
 10450 PIONEER BLVD.#3
 SANTA FE SPRING
 CA 90670

PROJECT

355 VIA LIDO SOUD
 NEWPORT BEACH
 CA 92663

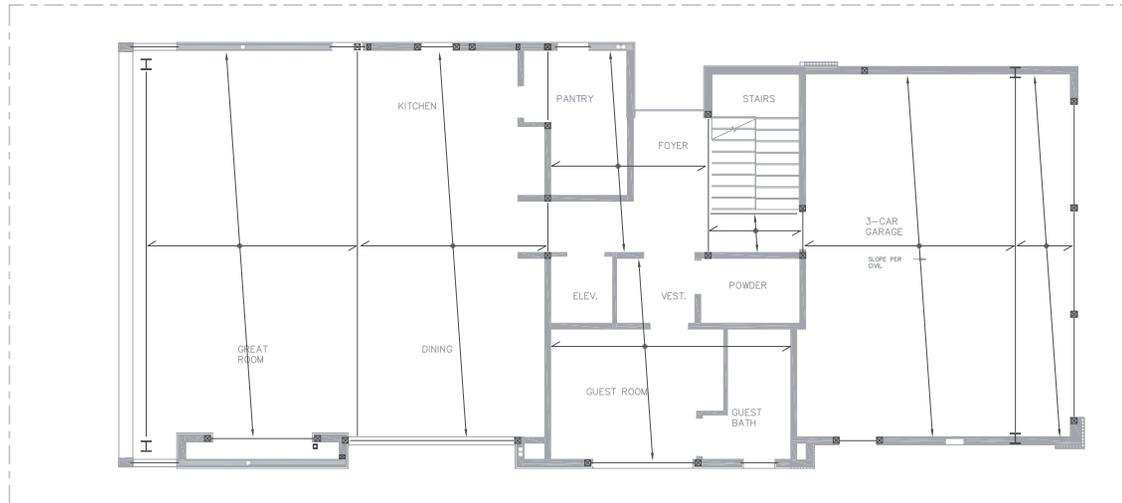
SHEET TITLE

2ND FLOOR FRAMING PLAN

STAMP:

FLOOR FRAMING PLAN NOTES:

1. FOR GENERAL NOTES, SEE SHEETS S-1.0 AND S-1.1.
2. SEE SHEET SD-1.0 FOR TYPICAL FOUNDATION DETAILS.
3. CONTRACTOR MUST PROVIDE ADEQUATE SHORING WHEN PERFORMING FOUNDATION EXCAVATION NEXT TO THE EXISTING BUILDING.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION SHOWN AS (VF) AND INFORM EOR OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.



KEY NOTES:

○ -----

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN THEREON. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND BE RESPONSIBLE FOR ANY VARIATION FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS. ENGINEER'S WRITING OF ANY VARIATION FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE SUBMITTED TO AND APPROVED BY ENGINEER PRIOR TO PROCEED WITH FABRICATION.

REVISION	BY
△	
△	
△	
△	
△	

DRAWN BY: H.B.
 CHECKED BY: H.B.
 DATE: 12/11/2025
 SCALE:
 JOB NO: RGD-E25-xxx
 SHEET NO.

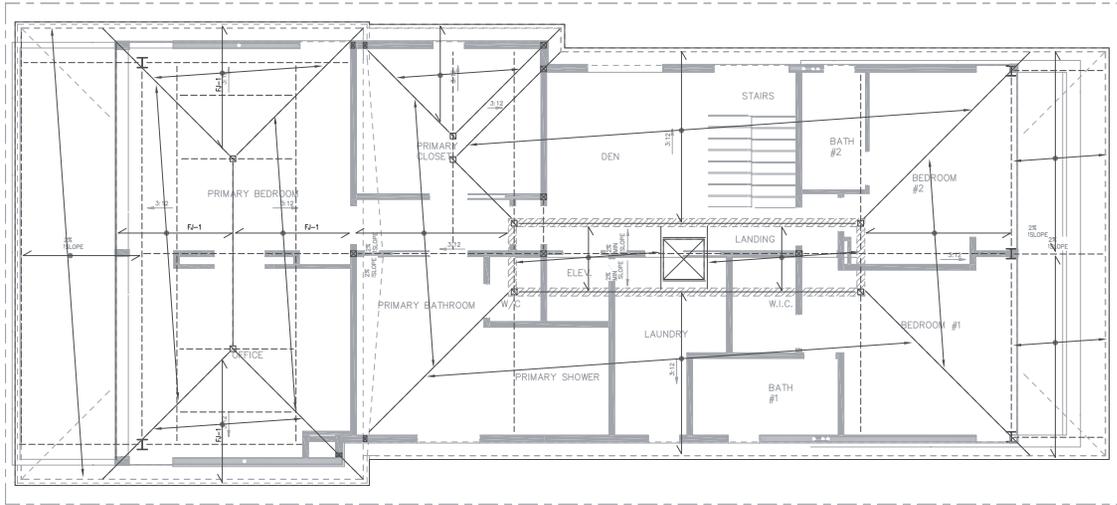
S-2.1
 OF - SHEETS

2ND LEVEL FRAMING PLAN

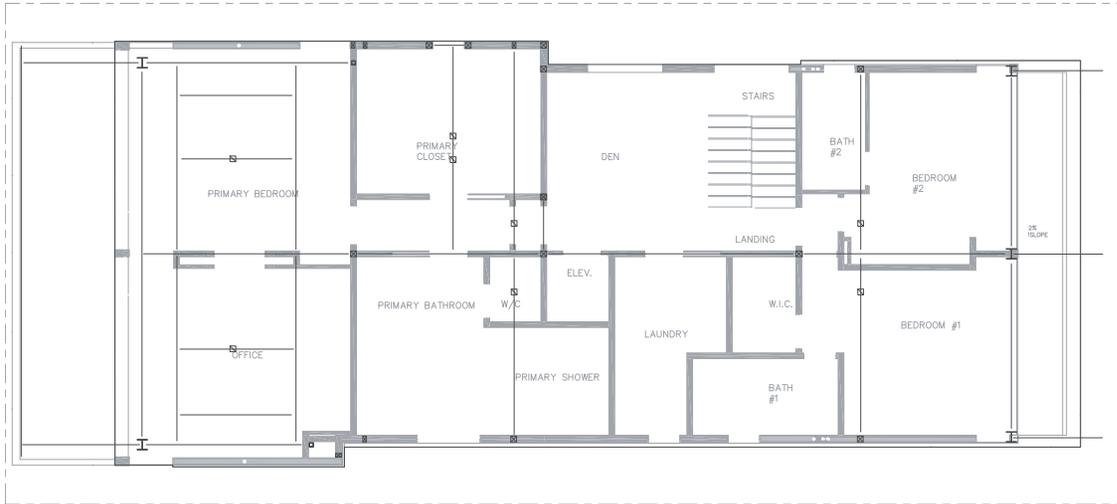
1/4" = 1'-0"



PROJECT SET-NOT FOR CONSTRUCTION



SLOPED ROOF FRAMING PLAN
1/4" = 1'-0" 



ROOF FRAMING PLAN
1/4" = 1'-0" 

ROOF FRAMING PLAN NOTES:

1. FOR GENERAL NOTES, SEE SHEETS S-1.0 AND S-1.1.
2. SEE SHEET SD-1.0 FOR TYPICAL FOUNDATION DETAILS.
3. CONTRACTOR MUST PROVIDE ADEQUATE SHORING WHEN PERFORMING FOUNDATION EXCAVATION NEXT TO THE EXISTING BUILDING.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION SHOWN AS (VF) AND INFORM EOR OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

KEY NOTES:

 ---

RIGID

DESIGN & CONSTRUCTION
P: 800.966.7976
D: 949.331.3907
INFO@RIGIDDC.COM
WWW.RIGIDDC.COM
1650 VENTURA BLVD
ENGERO, CA 91436

CONSULTANT

CLIENT
DION EMAMI
10450 PIONEER BLVD.#3
SANTA FE SPRING
CA 90670

PROJECT
355 VIA LIDO SOUD
NEWPORT BEACH
CA 92663

SHEET TITLE
ROOF FRAMING PLAN
AND
SLOPED ROOF FRAMING PLAN

STAMP:

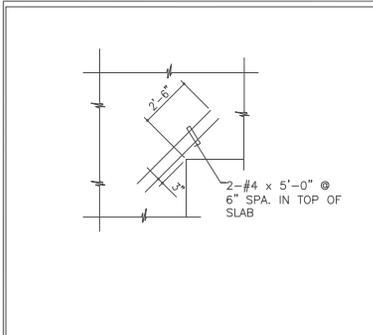
PROJECT SET-NOT FOR CONSTRUCTION

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS INDICATED BY DIMENSION LINES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE NOTICED IMMEDIATELY IN WRITING OF ANY VARIATION FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO AND APPROVED BY ENGINEER PRIOR TO PROCEED WITH FABRICATION.

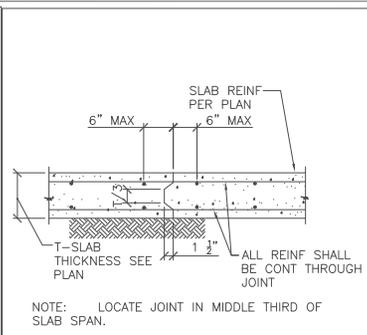
REVISION	BY
	
	
	
	

DRAWN BY: H.B.
CHECKED BY: H.B.
DATE: 12/11/2025
SCALE:
JOB NO: RGD-E25-xx
SHEET NO.

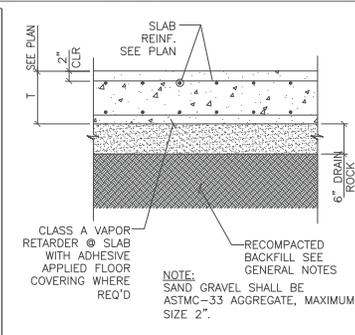
S-2.2
OF - SHEETS



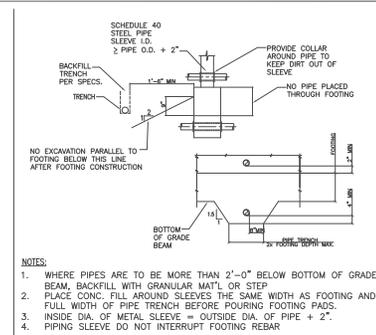
SOG RE-ENFRANT COENER REBAR (5)



SOG CONSTRUCTION JOINT DETAIL (4)



SLAB ON GRADE DETAIL (3)



PIPE THROUGH FOOTING (2)

REINFORCEMENT DEVELOPMENT LENGTHS

REINFORCED CONCRETE	REINFORCEMENT SIZE	f _c (psi)
		28-DAYS
REF. LOCATION	#3 #4 #5 #6 #7 #8 #9 #10 #11	
TOP	19 25 31 37 54 62 70 79 87	4000
OTHER	15 19 24 29 42 48 54 61 67	

REINFORCEMENT CLASS "B" LAP SPLICES (LENGTHS IN INCHES)

REINFORCED CONCRETE	REINFORCEMENT SIZE	f _c (psi)
		28-DAYS
REF. LOCATION	#3 #4 #5 #6 #7 #8 #9 #10 #11	
TOP	24 33 40 49 71 81 91 102 113	4000
OTHER	19 25 31 37 54 62 70 79 87	

RIGID
DESIGN & CONSTRUCTION
P: 800.966.7976
D: 949.331.3907
INFO@RIGIDDC.COM
WWW.RIGIDDC.COM
16501 VENTURA BLVD
EMERY, CA 91436

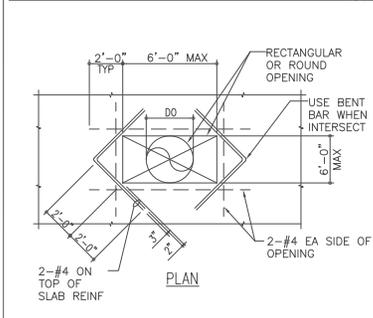
CONSULTANT

CLIENT
DION EMAMI
10450 PIONEER BLVD.#3
SANTA FE SPRING
CA 90670

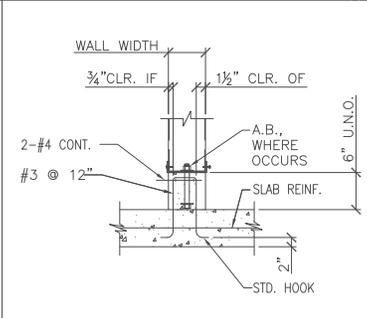
PROJECT
355 VIA LIDO SOUD
NEWPORT BEACH
CA 92663

SHEET TITLE
FOUNDATION TYPICAL DETAILS

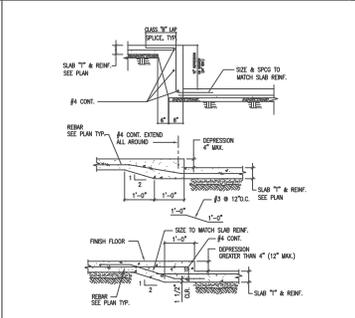
STAMP:



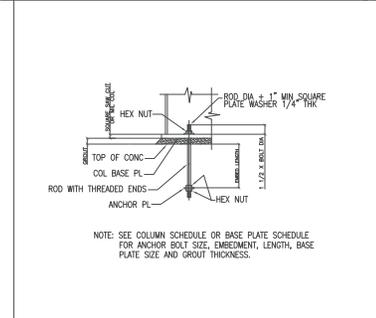
OPENING IN SOG (10)



CONC CURB DETAIL (9)



DEPRESSION IN SOG (8)



ANCHOR BOLT DETAIL (7)

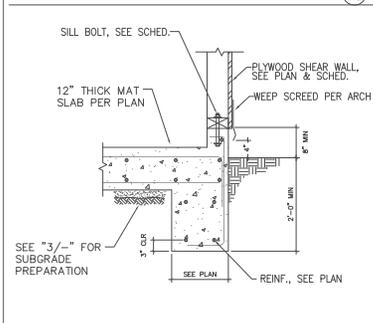
REBAR SPLICE (6)

USE WELDED SPLICE OR MECHANICAL CONNECTOR IF THE LAP SPLICE REINFORCEMENT DOES NOT HAVE A MINIMUM SPACING $3d_b \geq 1/8$ INCHES AND A MINIMUM COVER OF $d_b + 1/8$ INCHES.

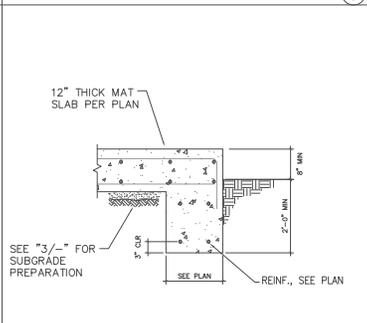
WELDED AND MECHANICAL SPLICES
WELDED SPLICE (DIRECT BUTT SPLICES-FULL PENETRATION)
WELDS SHALL HAVE THE ABILITY TO DEVELOP 125 PERCENT OF THE YIELD STRENGTH FOR THE SPLICED REINFORCEMENT (75 KSI). ALSO, MECHANICAL CONNECTORS SHALL HAVE AND BE INSTALLED PER AN EVALUATION REPORT FROM CDRB EVALUATION SERVICE, INC.

MECHANICAL CONNECTORS
MECHANICAL CONNECTORS SHALL BE TENSION-COMPRESSION TYPE WITH THE ABILITY TO DEVELOP 125 PERCENT OF THE YIELD STRENGTH FOR THE SPLICED REINFORCEMENT (75 KSI). ALSO, MECHANICAL CONNECTORS SHALL HAVE AND BE INSTALLED PER AN EVALUATION REPORT FROM CDRB EVALUATION SERVICE, INC.

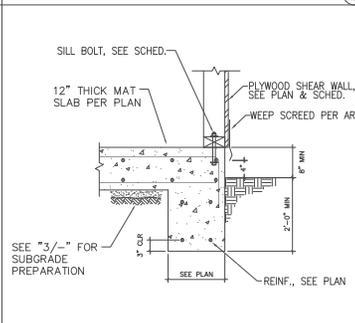
REINFORCEMENT DEVELOPMENT LENGTH AND SPLICE TABLES (GRADE 60 EXCEPT AS NOTED)



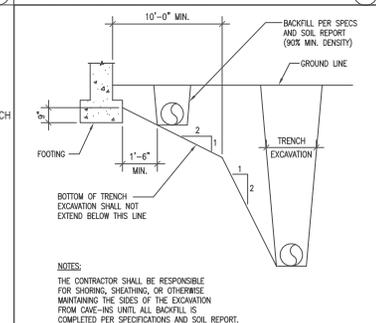
SECTION AT EXTERIOR FOOTING (15)



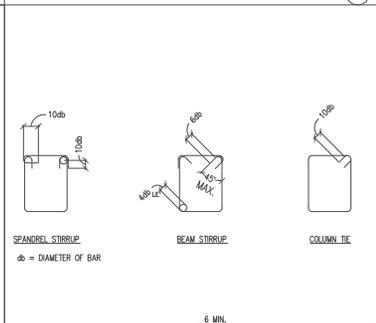
SECTION AT EXTERIOR FOOTING (14)



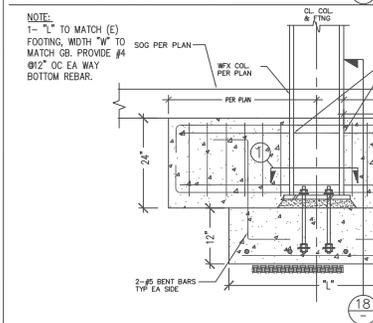
SECTION AT EXTERIOR FOOTING (13)



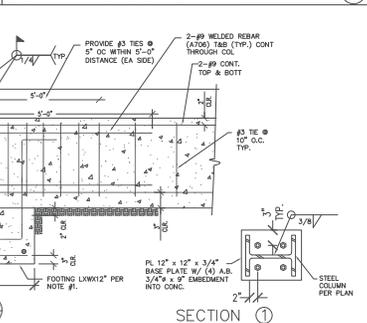
EXCAVATION PARALLEL TO FTG (12)



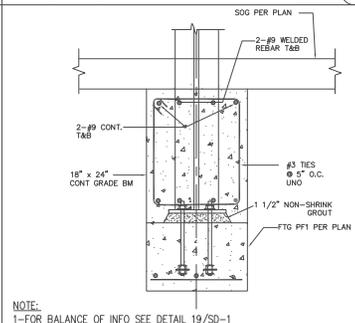
TYPICAL REINFORCING BEND DETAIL (16)



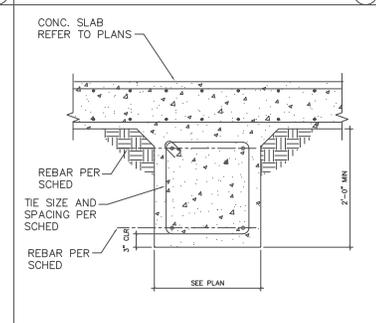
GRADE BEAM TO STEEL COL CONNECTION (19)



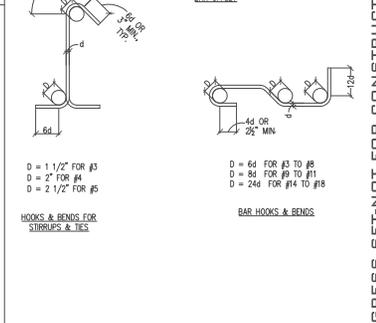
SECTION AT GRADE BEAM (18)



SECTION AT GRADE BEAM (18)



GRADE BEAM SECTION (17)



TYPICAL REINFORCING BEND DETAIL (16)

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. CONTRACTOR SHALL VERIFY DIMENSIONS IMMEDIATELY UPON RECEIVING OF ANY VARIATION FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS. DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE SUBMITTED TO AND APPROVED BY ENGINEER PRIOR TO PROCEED WITH FABRICATION.

REVISION BY

▲		
▲		
▲		
▲		
▲		

DRAWN BY: H.B.
CHECKED BY: H.B.
DATE: 12/11/2025
SCALE:
JOB NO: RGD-E25-xxx
SHEET NO.

SD - 1
OF - SHEETS